

*Mills + Schnoering*

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Revisions

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Project Name & Address

**ROGERS HOUSE  
CONSTRUCTED  
RUIN**

MERCER COUNTY  
MERCER COUNTY PARK

Project No: 1507  
Drawn By: IE  
Checked By: MV  
Date: OCTOBER 1, 2017

Issued For  
**CONSTRUCTION  
DOCUMENTS**  
Drawing Title  
COVER SHEET

Sheet Number

**A-0.0**

# ROGERS HOUSE CONSTRUCTED RUIN

MERCER COUNTY, MERCER COUNTY PARK

M+Sa PROJECT NO.: 1507

CONSTRUCTION DOCUMENTS - OCTOBER 1, 2017



## ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	FLR	FLOOR(ING)	PVMT	PAVEMENT
AP	ACCESS PANEL	FD	FLOOR DRAIN	PLAM	PLASTIC LAMINATE
ACT	ACOUSTICAL CEILING TILE	FM	FLOOR MAT & FRAME	PLYWD	PLYWOOD
A/C	AIR CONDITIONING	FT	FEET	PVC	POLYVINYL CHLORIDE
ALT	ALTERNATE	FTG	FOOTING	PSI	POUNDS PER SQUARE
ALUM	ALUMINUM	FR	FRAME(ED), (ING)	INCH	INCH
AB	ANCHOR BOLT	FBD	FURNISHED BY OTHERS	PSF	POUNDS PER SQUARE
ARCH	ARCHITECT(URAL)	FURR	FURRED (ING)	FOOT	FOOT
ASPH	ASPHALT				
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	GA	GAGE, GAUGE	QTY	QUANTITY
AUX	AUXILIARY	GALV	GALVANIZED	RAD	RADIUS
BRG	BEARING	GC	GENERAL CONTRACTOR	REF	REFERENCE
BD	BOARD	GL	GLASS, GLAZING	REFR	REFRIGERATOR
BOT	BOTTOM	GWB	GYPSUM WALLBOARD	REINF	REINFORCING
BLDG	BUILDING	HC	HANDICAPPED	REQ	REQUIRE(D)
		HDR	HEADER	REV	REVISION(S), REVISED
		HVAC	HEATING/VENTILATION/	R	RISER
CAB	CABINET			RD	ROOF DRAIN
CARP	CARPET	HT	HEIGHT	RM	ROOM
CLG	CEILING	HM	HOLLOW METAL	RO	ROUGH OPENING
CTR	CENTER	HORIZ	HORIZONTAL		
CL	CENTERLINE	HB	HOSE BIB	SEC	SECTION
CT	CERAMIC TILE	HWH	HOT WATER HEATER	SHT	SHEET
CLR	CLEAR(ANCE)			SIM	SIMILAR
CL	CLOSET	IN	INCH	STC	SOUND TRANSMISSION
COL	COLUMN	INSUL	INSULATE(D), (ING)	S	SOUTH
CONC	CONCRETE	INT	INTERIOR	SPEC	SPECIFICATION(S)
CMU	CONCRETE MASONRY UNIT			SQ	SQUARE
CONST	CONSTRUCTION	JAN	JANITOR	SF	SQUARE FEET
CONT	CONTINUE/CONTINUOUS	JT	JOINT	SS	STAINLESS STEEL
CI	CONTROL JOINT	JST	JOIST	STD	STANDARD
COORD	COORDINATE	LAV	LAVATORY	STL	STEEL
CORR	CORRIDOR	LT	LIGHT	STOR	STORAGE
				STR	STRUCTURAL
				SUSP	SUSPENDED
DEMO	DEMOLISH, DEMOLITION				
DTL	DETAIL	MB	MARKER BOARD		
DIAG	DIAGONAL	MFR	MANUFACTURE(R)	TB	TACKBOARD
DIA	DIAMETER	MO	MASONRY OPENING	THK	THICKNESS
DIM	DIMENSION	MAX	MAXIMUM	T&G	TONGUE AND GROOVE
DN	DOWN	MECH	MECHANIC(AL)	TOS	TOP OF SLAB
DWR	DRAWER	MTL	METAL	TO STL	TOP OF STEEL
DWG	DRAWING	MIN	MINIMUM	TOW	TOP OF WALL
D	DRAIN	MISC	MISCELLANEOUS	TYP	TYPICAL
		MTD	MOUNTED		
EA	EACH			UL	UNDERWRITERS
E	EAST	NOM	NOMINAL	LABORATORY	
ELEC	ELECTRIC(AL)	N	NORTH	UNO	UNLESS OTHERWISE NOTED
EWC	ELECTRIC WATER COOLER	N/A	NOT APPLICABLE		
EMER	EMERGENCY	NIC	NOT IN CONTRACT		
ENCL	ENCLOSE (URE)	NTS	NOT TO SCALE	VERT	VERTICAL
EQ	EQUAL	NO	NUMBER	VIF	VERIFY IN FIELD
EQUIP	EQUIPMENT			VCT	VINYL COMPOSITE TILE
EXIST	EXISTING	OFF	OFFICE		
EJ	EXPANSION JOINT	OC	ON CENTER(S)	WC	WATER CLOSET
EXP	EXPOSED	OPG	OPENING	WWF	WELDED WIRE FABRIC
EXT	EXTERIOR	OPP	OPPOSITE	W	WEST
				W	WIDTH, WIDE
FIN	FINISH(ED)	PTD	PAINTED	W/	WITH
FFL	FINISH FLOOR LEVEL	PVG	PAVE(D), (ING)	W/O	WITHOUT
FE	FIRE EXTINGUISHER			WD	WOOD
FEC	FIRE EXTINGUISHER CABINET				

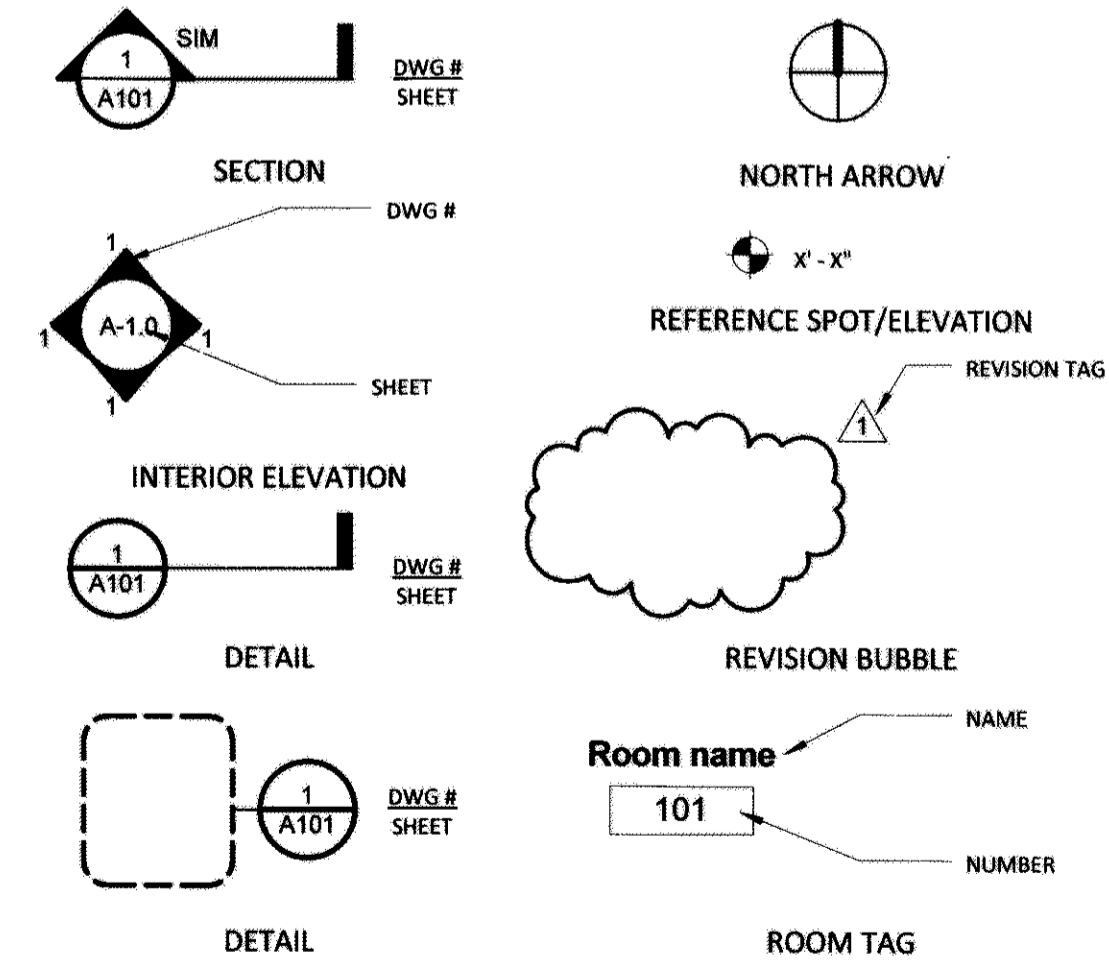
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EP-2.1	ELECT & PLUMBING DETAILS, SCHEDULES, & RISERS

## MATERIALS LEGEND

	EARTH		WOOD BLOCKING/ FRAMING
	CRUSHED STONE		PLYWOOD
	CONCRETE		WOOD, FINISHED
	CONCRETE MASONRY UNIT		GYPSUM BOARD
	BRICK		GLASS
	STONE		BATT INSULATION
	STEEL		RIGID INSULATION
	WOOD SHIM		

## TYPICAL SYMBOLS



## PROJECT TEAM

### OWNER

MERCER COUNTY PARK  
640 SOUTH BROAD STREET, TRENTON, NJ 08650  
Phone: 609.989.6549

### ARCHITECT

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### STRUCTURAL

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### CIVIL ENGINEER

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103 COLLEGE ROAD EAST, THIRD FLOOR PRINCETON, NJ 08540  
Phone: 609.967.2323

### LANDSCAPES

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120 W STATE ST, TRENTON, NJ 08608  
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### M/E/P

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300 ALEXANDER PARK SUITE #310, PRINCETON, NJ 08540  
Phone: 609.716.6160

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**GENERAL NOTES:**  
 APPLICABLE TO ALL CIVIL ENGINEERING SHEETS CONTAINED IN THIS SITE PLAN DOCUMENT SET.

1. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF REGULATORY AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".

2. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS/HER SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE GROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.

3. UTILITIES TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY IF/AS APPROPRIATE.

4. EXISTING INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM THE FOLLOWING SOURCES:

A) TOPOGRAPHIC AND PLANIMETRIC INFORMATION SHOWN HEREON WAS PREPARED BY ROBINSON AERIAL SURVEY'S INC., ONE EDGEVIEW DRIVE, HACKETTSTOWN, N.J. 07840, DATE OF FLIGHT APRIL 25, 2015, JOB NO. 15036. GROUND CONTROL WAS PERFORMED BY VAN NOTE-HARVEY ON MAY 8, 2015. ADDITIONAL PHYSICAL FEATURES AND VERIFICATION OF TOPOGRAPHY WAS PERFORMED BY VAN NOTE-HARVEY ON MAY 27, 2015.

B) PLAN ENTITLED, "ENVIRONMENTAL CONSTRAINTS OF ROGERS HOUSE AREA PREPARED FOR MILLS + SCHNEIDER ARCHITECTS, LLC, SITUATED IN WEST WINDSOR TWP., MERCER CO., N.J., DATED MAY 28, 2015", PREPARED BY VAN NOTE-HARVEY ASSOCIATES, ORDER No. 42455-825-31.

5. HORIZONTAL DATUM SHOWN HEREIN IS NEW JERSEY STATE PLANE COORDINATE SYSTEM (N.J.S.P.C.S.) NORTH AMERICAN DATUM (NAD '83).

6. VERTICAL DATUM SHOWN HEREIN IS NORTH AMERICAN VERTICAL DATUM (NAVD '88).

7. CONTRACTOR TO VERIFY PROPOSED LAYOUT AND ELEVATIONS IN THE FIELD AND COMMUNICATE ANY DISCREPANCIES TO THE ENGINEER SUCH THAT THE PROPER ADJUSTMENT CAN BE MADE PRIOR TO CONSTRUCTION.

8. THE CONTRACTOR SHALL CALL THE "ONE NUMBER TO CALL SYSTEM" 1-800-272-1000, NOT LESS THAN 72 HOURS NOR MORE THAN 10 WORKING DAYS, PRIOR TO PLANNED WORK TO NOTIFY UTILITY OWNERS OF THE INTENT TO START WORK. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING NON-MEMBER UTILITY OWNERS INDIVIDUALLY. ALL WORK SHALL BE COORDINATED WITH ALL APPROPRIATE UTILITY OWNERS, PRIOR TO THE START OF CONSTRUCTION.

9. ALL CONTRACTORS ARE REQUIRED TO NOTIFY ENGINEER (VNHA) IMMEDIATELY (AND PRIOR TO CONSTRUCTION) OF ANY PLAN/SPECIFICATION DISCREPANCIES, CONFLICTS, APPARENT ERRORS, OMISSIONS, OR OF ANY OTHER INFORMATION CONTAINED HEREIN, WHICH THE CONTRACTOR FEELS IS UNCLEAR AS TO MEANING. ENGINEER WILL PROVIDE CLARIFICATION AND, IF NECESSARY, CORRECTIONS AS REQUIRED BY THE CONTRACTOR FOR PERFORMANCE OF CONTRACTORS WORK.

10. MERCER COUNTY AND THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS BEFORE ANY LAND DISTURBANCE.

11. IF REQUIRED, THE CONTRACTOR SHALL SUBMIT TO MERCER COUNTY FOR REVIEW AND APPROVAL A HAULING PLAN FOR REMOVAL OF CONSTRUCTION AND/OR DEMOLITION DEBRIS FROM THE SITE.

12. ALL NEW TRAFFIC SIGNAGE AND STRIPING SHALL CONFORM TO MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND DESIGN DETAILS AS IDENTIFIED ON THE PLANS.

**SITE GRADING NOTES:**  
 1. NO TOPSOIL SHALL BE REMOVED FROM AREAS INTENDED FOR LAWN OR OPEN SPACE UNLESS REQUIRED FOR MINIMUM GRADING. TOPSOIL REMOVED DURING CONSTRUCTION SHALL BE REDISTRIBUTED WITHIN THE SITE TO PROVIDE AT LEAST 6" OF TOPSOIL OVER ALL AREAS OF THE SITE LIMITS AND SHALL BE STABILIZED IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL NOTES.

2. ALL STRUCTURAL FILL REQUIRED IN AREAS OF PROPOSED IMPROVEMENTS SUCH AS UTILITIES, STORM DRAINAGE, BUILDING, PAVEMENTS, WALKS, ETC. MUST BE PLACED AND COMPACTED ETC. IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER FOR THE TYPE OF MATERIAL UTILIZED.

3. HANDICAP RAMPS SHALL BE PROVIDED AT ALL SIDEWALK INTERSECTIONS AT DRIVEWAYS, PARKING AREAS, ETC., AND SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.

4. NO WALKWAY SLOPE SHALL BE GREATER THAN 20:1 (5%) AND A CROSS SLOPE NO GREATER THAN 2%.

5. ALL PROPOSED GRADING SHALL HAVE A MAXIMUM 3:1 SLOPE.

6. MINIMUM ROAD AND PARKING AREA GRADES OF NOT LESS THAN 0.5% SHALL BE MAINTAINED WITH 0.75% MINIMUM PREFERRED UNLESS NOTED ON PLANS.

7. ALL AREAS BEYOND LIMITS OF CLEARING ARE TO REMAIN UNDISTURBED.

**PAVING NOTES:**  
 1. THE CONTRACTOR SHALL NOTIFY MERCER COUNTY AND VNHA IN WRITING 48 HOURS PRIOR TO PAVING.

2. ALL ACCESS DRIVE AND PARKING WILL BE POROUS ASPHALT. SEE DETAIL SHEET CE-7.

3. ALL SUBGRADES SHALL CONFORM TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.

4. INSTALLATION METHODS AND MATERIALS FOR ALL BITUMINOUS CONCRETE SHALL FOLLOW THE PROCEDURES AND SPECIFICATIONS OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION.

5. PAVING SHALL NOT TAKE PLACE WHILE RAINING.

6. FOR STANDARD PAVING IF REQUIRED, ALL BITUMINOUS STABILIZED BASE MATERIALS SHALL BE HOT MIX 1-2 CONFORMING TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.

7. FOR STANDARD PAVING IF REQUIRED, ALL F.A.B.C. WEARING SURFACE (TOP COURSE) MATERIAL SHALL BE HOT MIX 1-5 CONFORMING TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.

8. FOR STANDARD PAVING IF REQUIRED, PRIOR TO THE PLACEMENT OF THE TOP COURSE, THE PAVEMENT SHALL BE SWEEPED, ANY AREAS OF DISTRESSED PAVEMENT SHALL BE REPLACED AT THE DIRECTION OF MERCER COUNTY, AND A TACK COAT OF 0.10 GALLONS PER SQUARE YARD OR AS CONDITIONS WARRANT SHALL BE APPLIED.

9. FOR STANDARD PAVING IF REQUIRED, WHEN AN EXISTING PAVEMENT IS TO BE OVERLAID, ALL DISTRESSED AREAS OF THE EXISTING PAVEMENT SHALL BE REPLACED AS DESCRIBED IN NO. 8 ABOVE. THE EXISTING PAVEMENT SHALL BE SWEEPED, TACKED WITH 0.10 GALLONS OF TACK OIL PER SQUARE YARD AND RECEIVE A LEVELING COURSE OF STABILIZED BITUMINOUS BASE MIX 1-2. THE TOP COURSE SHALL BE APPLIED IMMEDIATELY FOLLOWING THE LEVELING COURSE TO ASSURE A GOOD BONDING OF THE SURFACES.

**UTILITY NOTES:**  
 1. ALL PROPOSED ELECTRIC SERVICES SHALL BE INSTALLED UNDERGROUND AND COORDINATED WITH APPLICABLE UTILITY COMPANY. DETAILED UTILITY PLANS PREPARED BY LORING CONSULTING ENGINEERS.

2. ALIGNMENT OF UTILITIES WHICH CROSS EXISTING VEGETATION SHALL BE ADJUSTED IN ORDER TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION SUBJECT TO PROPER UTILITY SPACING AND EASEMENT REQUIREMENTS.

3. ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS AND PARKING AREAS INCLUDING SEWER, WATER, ELECTRICAL, TELEPHONE, AND STORM SYSTEMS SHALL BE RESTORED IN ACCORDANCE WITH DETAILS SHOWN HEREON.

4. PRECAST OR CAST-IN-PLACE REINFORCED CONCRETE STRUCTURES MAY BE UTILIZED FOR DRAINAGE UPON SUBMISSION AND APPROVAL OF SHOP DRAWINGS BY ENGINEER. ALL SHOP DRAWINGS ARE TO BE CERTIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER. ALL PRECAST AND CAST-IN-PLACE STRUCTURES ARE TO BE DESIGNED TO H-20 LOADING REQUIREMENTS.

5. ANY DRAINAGE STRUCTURE THAT IS TO BE UNCOVERED FOR MORE THAN 8 HOURS SHALL BE PROTECTED WITH BARRICADES IN ACCORDANCE WITH THE MUTCD OR OSHA STANDARDS.

6. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS CONSTRUCTION OF STORM SYSTEM PROGRESSES IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION.

7. ALL STORM SYSTEM CONSTRUCTION SHALL BEGIN AT THE LOWEST ELEVATION.

8. ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION.

PROPOSED TREE, SEE LANDSCAPE PLANS BY HERITAGE LANDSCAPES (TYP.)

POROUS ASPHALT DRIVE - 10' WIDE

POROUS ASPHALT WALK - 8' WIDE (TYP.)

PROPOSED TREE, SEE LANDSCAPE PLANS BY HERITAGE LANDSCAPES (TYP.)

ALTERNATE 1: PATIO PAVING

PATIOS - SEE PLANS BY HERITAGE LANDSCAPES

EXISTING BUILDING RUINS TO REMAIN

ALTERNATE 2: CEMETERY WALL & RENOVATION

CRUSHED STONE WALK - 6' WIDE

SELECTIVE REMOVAL OF TREES, SEE LANDSCAPE PLANS BY HERITAGE LANDSCAPES

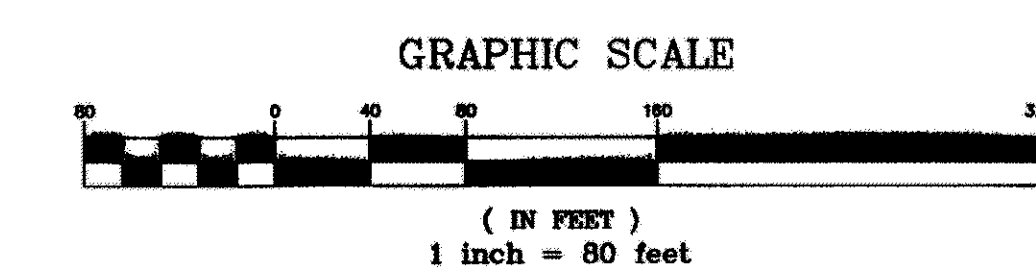
ALTERNATE 3: PEACH ORCHARD

4 ACCESSIBLE PARKING SPACES

**LEGEND:**  
 FRESHWATER WETLAND BOUNDARY - WET  
 FRESHWATER WETLAND TRANSITION AREA BOUNDARY - WTB  
 STATE OPEN WATER BOUNDARY - SOW  
 RIPARIAN ZONE/SPECIAL WATER RESOURCE PROTECTION AREA (SWRPA) - RZ

WATER VALVE  
 FIRE HYDRANT  
 FIELD LOCATED TREE  
 SPOT ELEVATION  
 EXISTING CONTOUR  
 TREE TO BE REMOVED (SEE LANDSCAPE PLANS)  
 PROPOSED TREE (SEE LANDSCAPE PLANS)  
 EXISTING TREE LINE FROM ROBINSON AERIALS

**NOTES:**  
 1. THE FRESHWATER WETLANDS/STATE OPEN WATER BOUNDARIES SHOWN HEREON WERE FIELD MAPPED BY VAN NOTE-HARVEY ASSOCIATES, P.C. (VNHA) ON MAY 13 & 14, 2015 AND FIELD SURVEYED BY VNHA.  
 2. THE FRESHWATER WETLAND AND STATE OPEN WATER BOUNDARIES SHOWN HEREON ARE SUBJECT TO VERIFICATION BY THE NJDEP.  
 3. THE ASSUMED 150-FOOT WIDE FRESHWATER WETLAND TRANSITION AREA BOUNDARY (WETLAND BUFFER) SHOWN HEREON IS ASSUMED PER A NATURAL HERITAGE DATABASE REPORT ISSUED FOR THE SITE AND IS SUBJECT TO VERIFICATION BY NJDEP.  
 4. THE NEW JERSEY FLOOD HAZARD (NJFH) AREA DESIGN FLOOD ELEVATION (73'± TO 75'±) FOR THE TRIBUTARY TO ASSUNPINK CREEK WAS ESTABLISHED BY VNHA PER N.J.A.C. 7:13 METHOD 5 APPROXIMATION METHOD AND IS SUBJECT TO VERIFICATION BY NJDEP.  
 5. THE RIPARIAN ZONE/ SPECIAL WATER RESOURCE PROTECTION AREA (SWRPA) SHOWN HEREON PER N.J.A.C. 7:8.  
 6. THE 300-FOOT RIPARIAN ZONE SHOWN HEREON PER N.J.A.C. 7:13-4.1(C)1 AND IS SUBJECT TO VERIFICATION BY NJDEP.



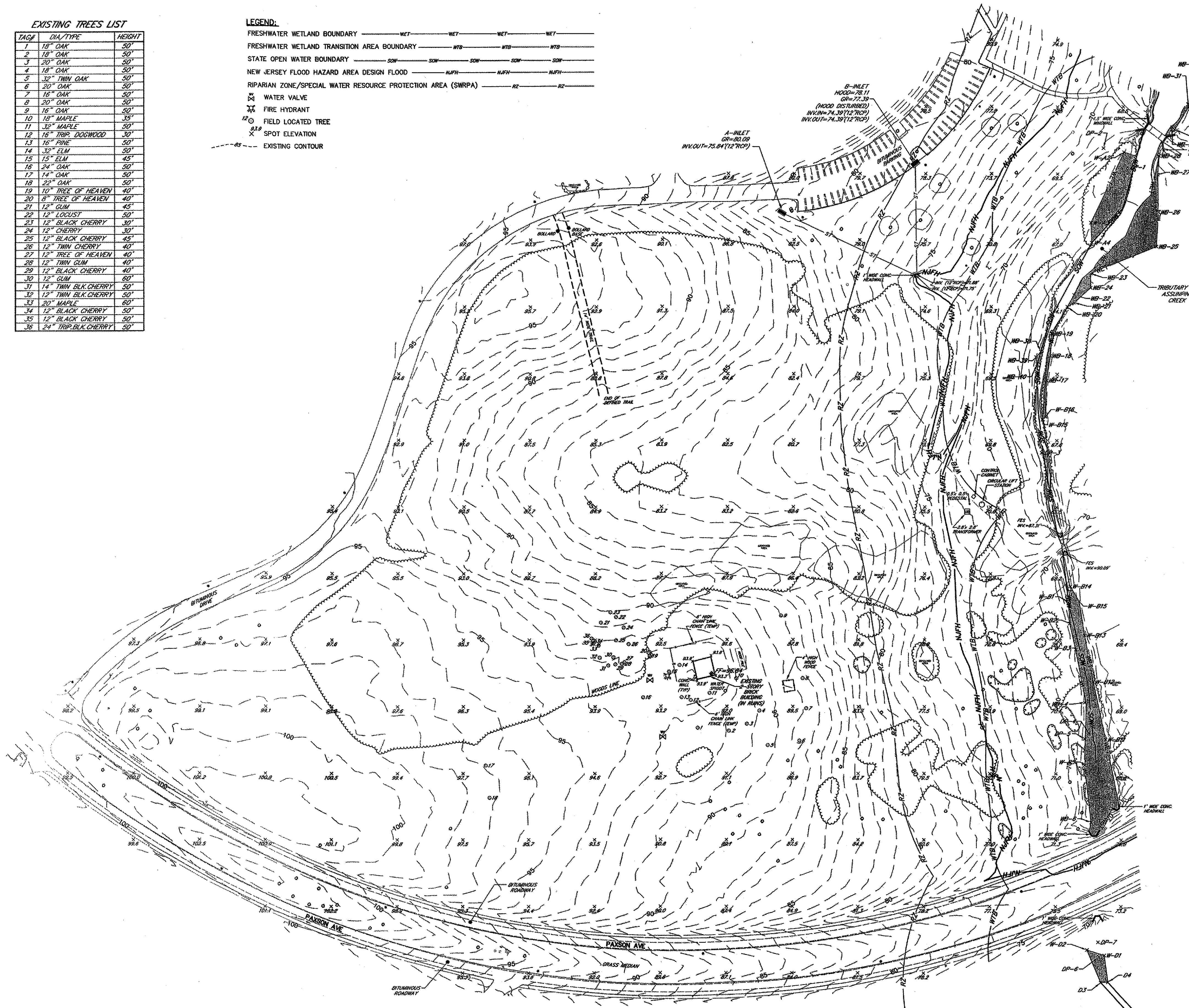
<p>van note-harvey associates, inc.          consulting engineers, planners &amp; land surveyors          103 College Road East • Princeton, NJ 08540 • 609-987-2323          211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600          www.vannoteharvey.com Certificate of Authorization No. 240A38271300 Since 1984.</p>	
<p>OVERALL SITE PLAN OF ROGERS HOUSE CONSTRUCTED RUINS PREPARED FOR MERCER COUNTY PARK COMMISSION SITUATED IN</p>	
<p>WEST WINDSOR TOWNSHIP MERCER CO., N.J. SCALE 1" = 80' NOVEMBER 9, 2015</p>	
<p>2. UPDATE FOR REBID 10/1/17 JRM TOS</p>	<p>DRAWN BY MNK FIELD BK ORDER No. FILE No. SHEET No. DATE 11/9/15 42455-400-21 180-C-1</p>
<p>1. PATIO LAYOUT 6/1/16 JFM</p>	<p>CHECKED BY BRP DATE 11/9/15</p>
<p>REV. DESCRIPTION DATE DFT. BY CKD. BY</p>	<p>THOMAS E. O'SHEA N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228</p>

**EXISTING TREES LIST**

TAG#	DIA/TYPER	HEIGHT
1	18" OAK	50'
2	18" OAK	50'
3	20" OAK	50'
4	18" OAK	50'
5	32" THIN OAK	50'
6	20" OAK	50'
7	16" OAK	50'
8	20" OAK	50'
9	16" OAK	50'
10	12" MAPLE	35'
11	32" MAPLE	50'
12	16" TRIP DOGWOOD	30'
13	16" PINE	50'
14	32" ELM	50'
15	12" ELM	45'
16	24" OAK	50'
17	14" OAK	50'
18	22" OAK	50'
19	10" TREE OF HEAVEN	40'
20	8" TREE OF HEAVEN	40'
21	12" GUM	45'
22	12" LOCUST	50'
23	12" BLACK CHERRY	30'
24	12" CHERRY	30'
25	12" BLACK CHERRY	45'
26	12" THIN CHERRY	40'
27	12" TREE OF HEAVEN	40'
28	12" THIN GUM	40'
29	12" BLACK CHERRY	40'
30	12" GUM	60'
31	14" THIN BLK CHERRY	50'
32	12" THIN BLK CHERRY	50'
33	20" MAPLE	60'
34	12" BLACK CHERRY	50'
35	12" BLACK CHERRY	50'
36	24" TRIP BLK CHERRY	50'

**LEGEND:**

- FRESHWATER WETLAND BOUNDARY ——— WET ——— WET ——— WET ——— WET
- FRESHWATER WETLAND TRANSITION AREA BOUNDARY ——— WTB ——— WTB ——— WTB ——— WTB
- STATE OPEN WATER BOUNDARY ——— SOW ——— SOW ——— SOW ——— SOW ——— SOW
- NEW JERSEY FLOOD HAZARD AREA DESIGN FLOOD ——— NJFH ——— NJFH ——— NJFH ——— NJFH
- RIPIARIAN ZONE/SPECIAL WATER RESOURCE PROTECTION AREA (SWRPA) ——— RZ ——— RZ ——— RZ ——— RZ
- WATER VALVE
- FIRE HYDRANT
- FIELD LOCATED TREE
- SPOT ELEVATION
- EXISTING CONTOUR



**NOTES:**

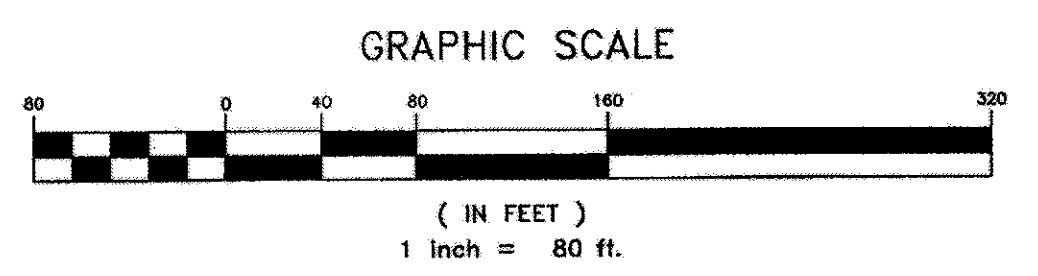
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- 5.) THE RIPIARIAN ZONE/ SPECIAL WATER RESOURCE PROTECTION AREA (SWRPA) SHOWN HEREON PER N.J.A.C. 7:8.
- 6.) THE 300-FOOT RIPIARIAN ZONE SHOWN HEREON PER N.J.A.C. 7:13-4.1(C) AND IS SUBJECT TO VERIFICATION BY NJDEP.
- 7.) HORIZONTAL LOCATIONS OF SITE IMPROVEMENTS SHOWN HEREON ARE REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (2011), CONTOURS AND SPOT ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- 8.) STUDY AREA OF SITE CONSTRAINTS SHOWN HEREON IS THE LIMITS OF THE TOPOGRAPHY AND GROUND FEATURES.


**REFERENCE PLANS:**

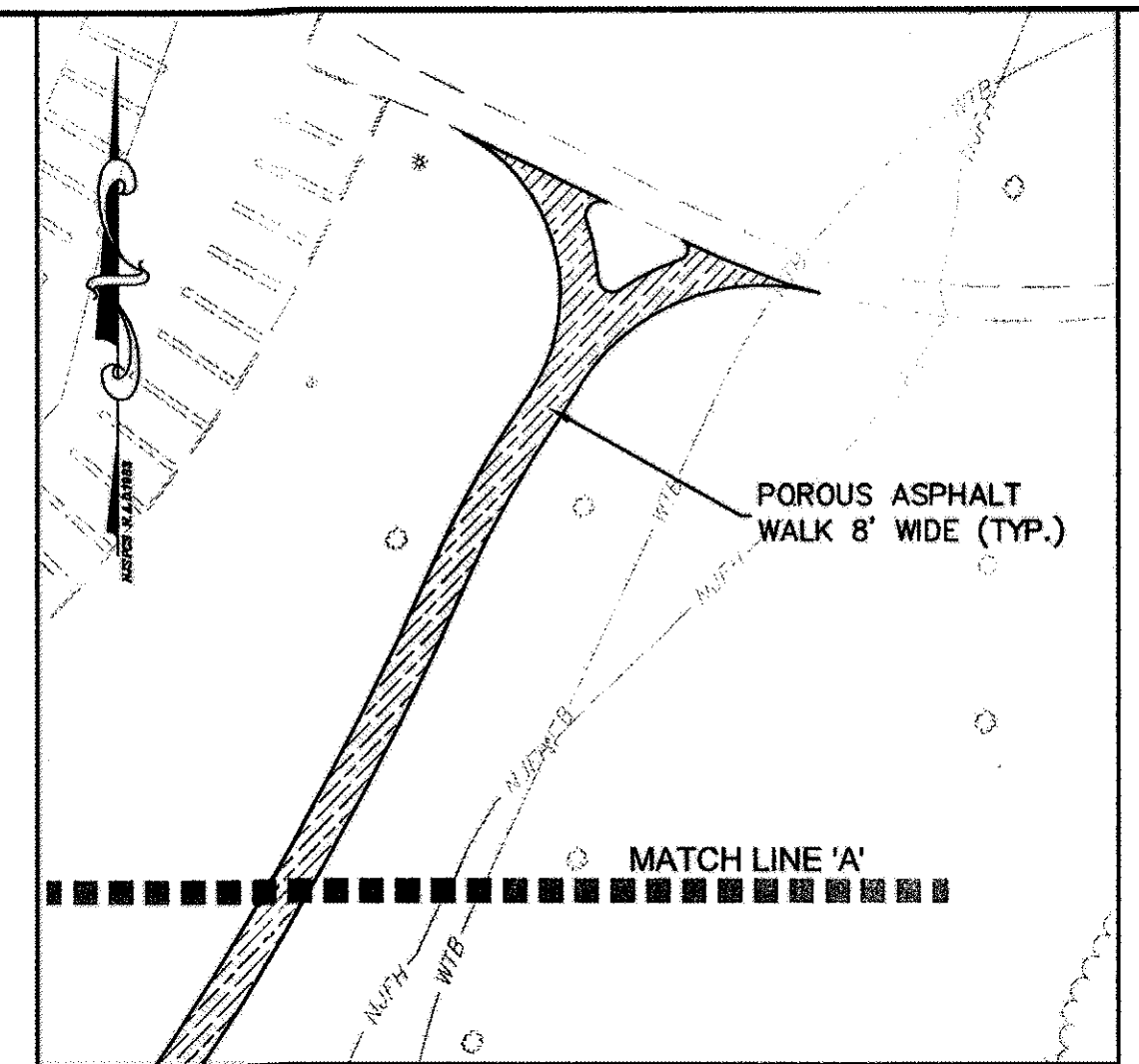
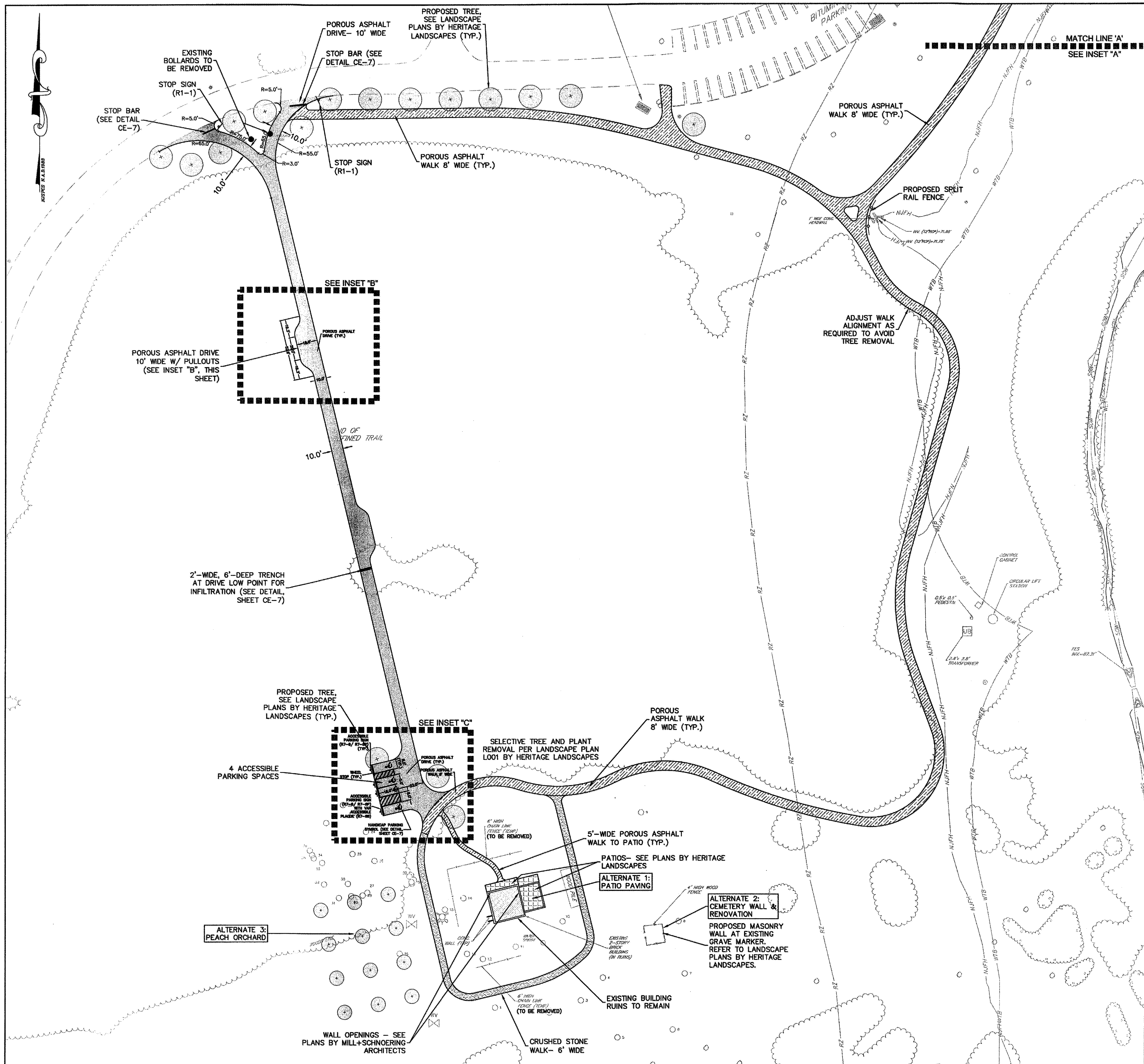
- 1.) TOPOGRAPHIC AND PLANIMETRIC INFORMATION SHOWN HEREON WAS PREPARED BY ROBINSON AERIAL SURVEYS INC., ONE EDGEVIEW DRIVE HACKETTSTOWN, N.J. 07840, DATE OF FLIGHT APRIL 25, 2015, JOB NO. 15036. GROUND CONTROL WAS PERFORMED BY VAN NOTE-HARVEY ON MAY 8, 2015. ADDITIONAL PHYSICAL FEATURES AND VERIFICATION OF TOPOGRAPHY WAS PERFORMED BY VAN NOTE-HARVEY ON MAY 27, 2015.
- 2.) PLAN ENTITLED, "ENVIRONMENTAL CONSTRAINTS OF ROGERS HOUSE AREA PREPARED FOR MILLS AND SCHWENING ARCHITECTS, LLC, SITUATED IN WEST WINDSOR TWP., MERCER CO., N.J., DATED MAY 28, 2015", PREPARED BY VAN NOTE-HARVEY ASSOCIATES, ORDER No. 42455-825-31.

**CAUTION**

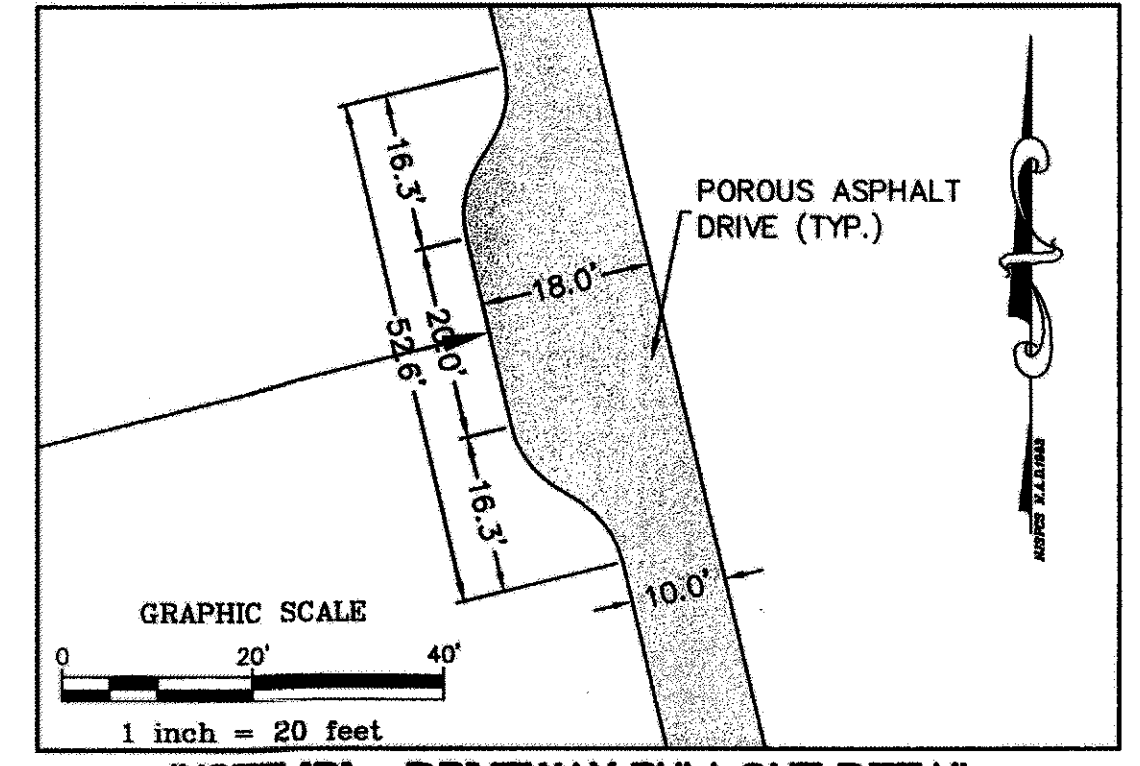
IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.



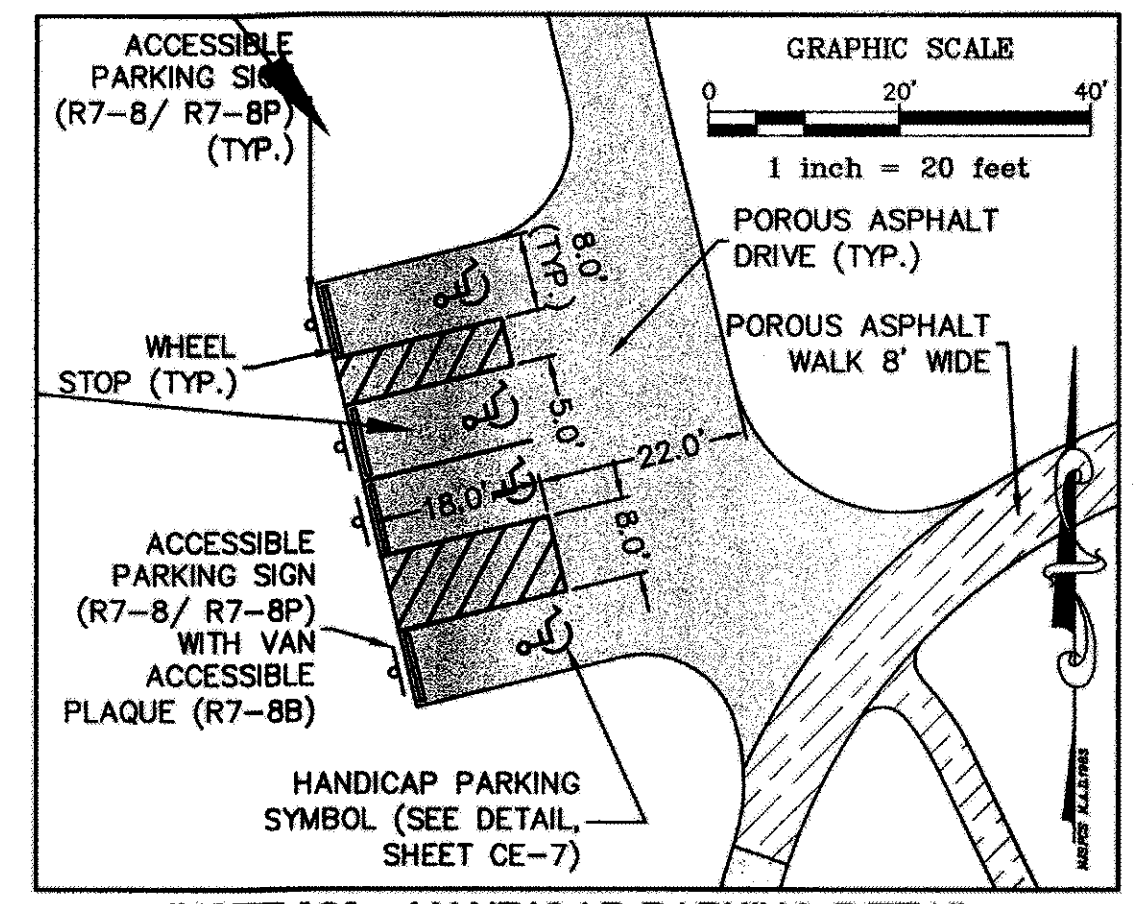
<b>van note-harvey associates, pc</b> consulting engineers, planners & land surveyors 103 College Road East • Prittsboro, NJ 08540 • 609-967-2323 211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600 www.vannoteharvey.com		
EXISTING CONDITIONS SURVEY OF ROGERS HOUSE CONSTRUCTED RUINS AT MERCER COUNTY PARK PREPARED FOR MERCER COUNTY PARK COMMISSION SITUATED IN		
WEST WINDSOR TWP. SCALE 1"=80'	MERCER CO., N.J. JUNE 2, 2015	
DRAWN BY <i>DR</i> CHECKED BY <i>KRR</i>	FIELD BK WW Z60 PAGE 47-49	ORDER No. 42455- 100-11
<b>KENNETH R. RAIKE</b> N.J. PROFESSIONAL LAND SURVEYOR LIC. NO. GS 36753		FILE No. WEST WINDSOR SHEET No. <b>CE-2</b>



**INSET 'A'**  
SCALE: 1" = 40'



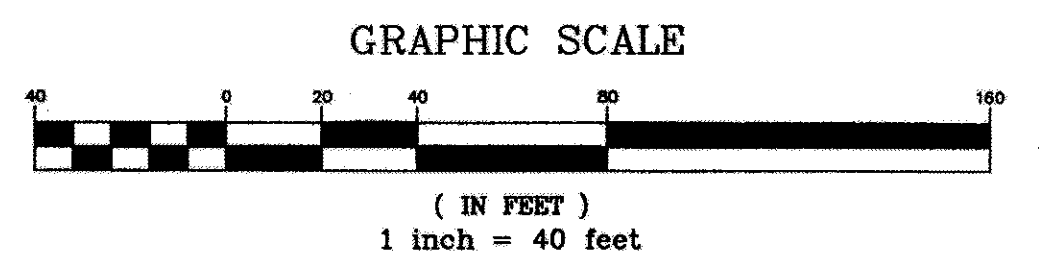
**INSET 'B' - DRIVEWAY PULLOUT DETAIL**  
SCALE: 1" = 20'



**INSET 'C' - HANDICAP PARKING DETAIL**  
SCALE: 1" = 20'

- NOTES:**
- BUILDING SECURITY LIGHTING AND ELECTRICAL SUPPLY AS PER PLANS PREPARED BY LORING CONSULTING ENGINEERS.
  - LANDSCAPING AS PER PLANS PREPARED BY HERITAGE LANDSCAPES

- PROPOSED LEGEND:**
- EXISTING BUILDING
  - POROUS ASPHALT DRIVE
  - POROUS ASPHALT WALK
  - STONE SCREENINGS WALK
  - PATIO
  - ACCESSIBLE PARKING
  - RADIUS
  - TRAFFIC SIGN
  - SPLIT RAIL FENCE



THOMAS E. O'SHEA  
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228

11/9/15  
DATE OF SIGN

729016

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**LAYOUT PLAN**  
OF  
ROGERS HOUSE CONSTRUCTED RUINS  
PREPARED FOR  
MERCER COUNTY PARK COMMISSION  
SITUATED IN

WEST WINDSOR TOWNSHIP  
SCALE 1" = 40'  
DATE 11/9/15

MERCER CO., N.J.  
NOVEMBER 9, 2015

REV.	DESCRIPTION	DATE	DFT. BY	CHK. BY
3.	UPDATE FOR REBID	10/1/17	JRM	TOS
2.	PATIO LAYOUT	6/1/16	JFM	
1.	ELC AND PLUMBING	4/18/16	JFM	

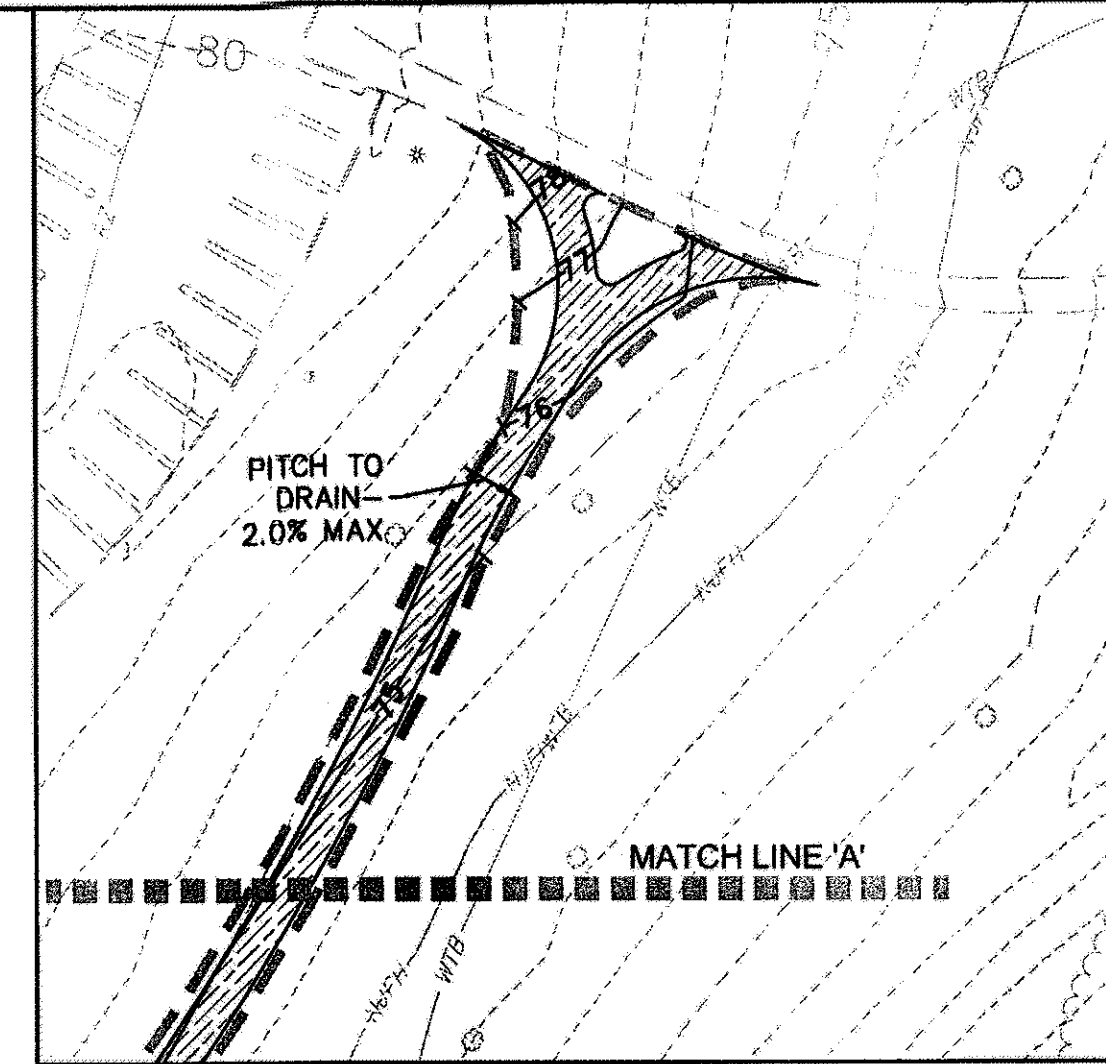
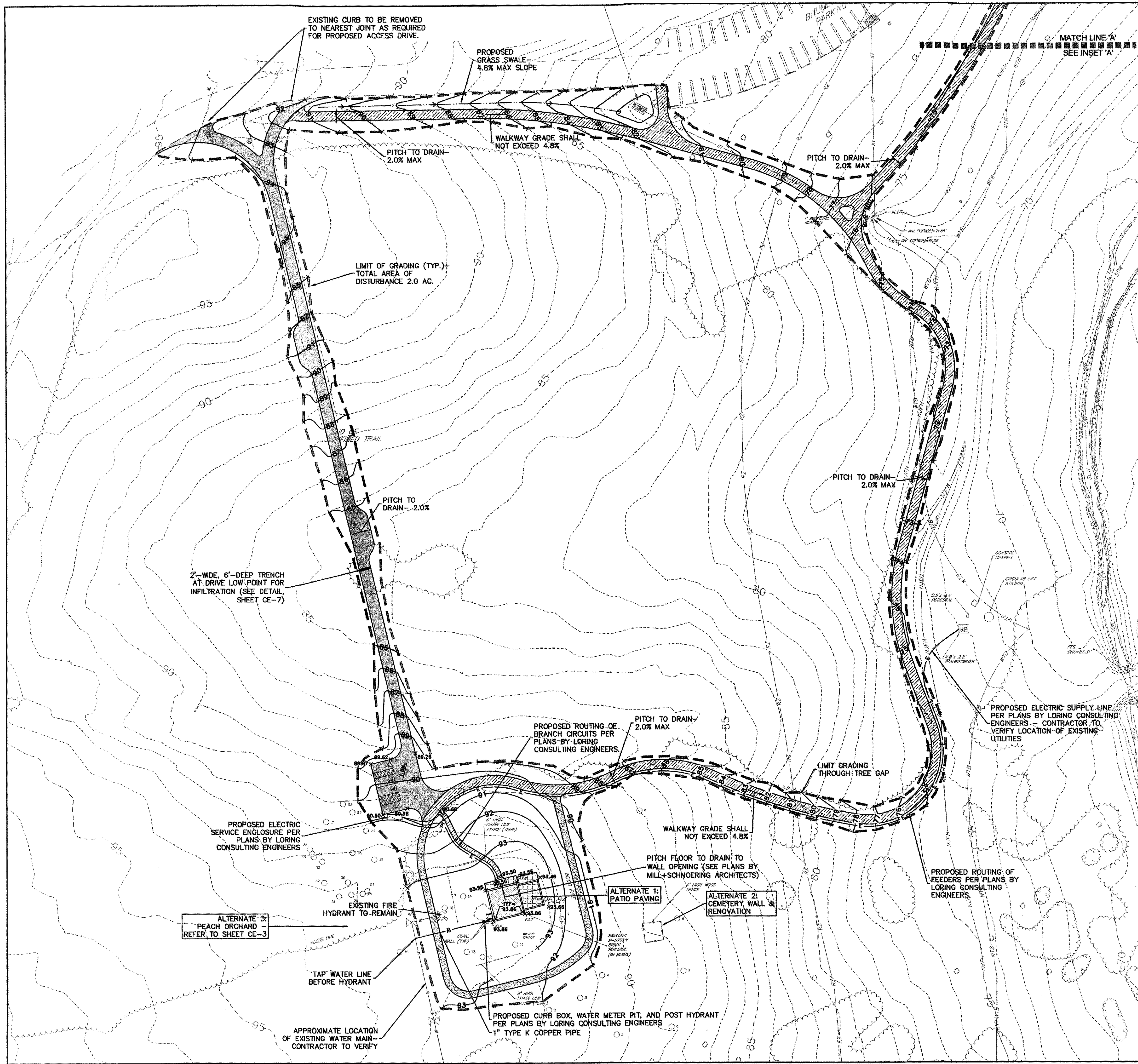
DRAWN BY MNK  
DATE 11/9/15

CHECKED BY BRP  
DATE 11/9/15

FIELD BK ORDER No. FILE No. SHEET No.  
PAGE 42455-400-21 180-C-1 **CE-3**

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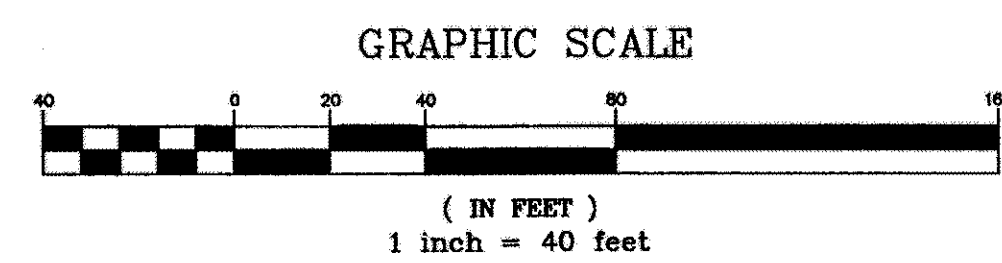
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- PROPOSED LEGEND:**
- EXISTING BUILDING
  - POROUS ASPHALT DRIVE
  - POROUS ASPHALT WALK
  - STONE SCREENINGS WALK
  - PATIO
  - ACCESSIBLE PARKING
  - SPLIT RAIL FENCE
  - CONTOUR
  - SPOT ELEVATION
  - LIMIT OF GRADING
  - WATER LINE
  - ELECTRIC SERVICE

- NOTES:**
- BUILDING SECURITY LIGHTING AND ELECTRICAL SUPPLY AS PER PLANS PREPARED BY LORING CONSULTING ENGINEERS.
  - LANDSCAPING AS PER PLANS PREPARED BY HERITAGE LANDSCAPES

- ABBREVIATIONS:**
- LP/HP LOW POINT / HIGH POINT
  - ME MATCH EXISTING
  - MAX. MAXIMUM
  - MIN. MINIMUM
  - TS/BS TOP OF STAIR / BOTTOM OF STAIR
  - TYP. TYPICAL



REV.	DESCRIPTION	DATE	DFT. BY	CHK. BY
4.	UPDATE FOR REBID	10/1/17	JRM	TOS
3.	PATIO LAYOUT	6/1/16	JFM	
2.	ELC AND PLUMBING	4/18/16	JFM	
1.	ADD INFILTRATION TRENCH	1/22/16	MNK	BRP

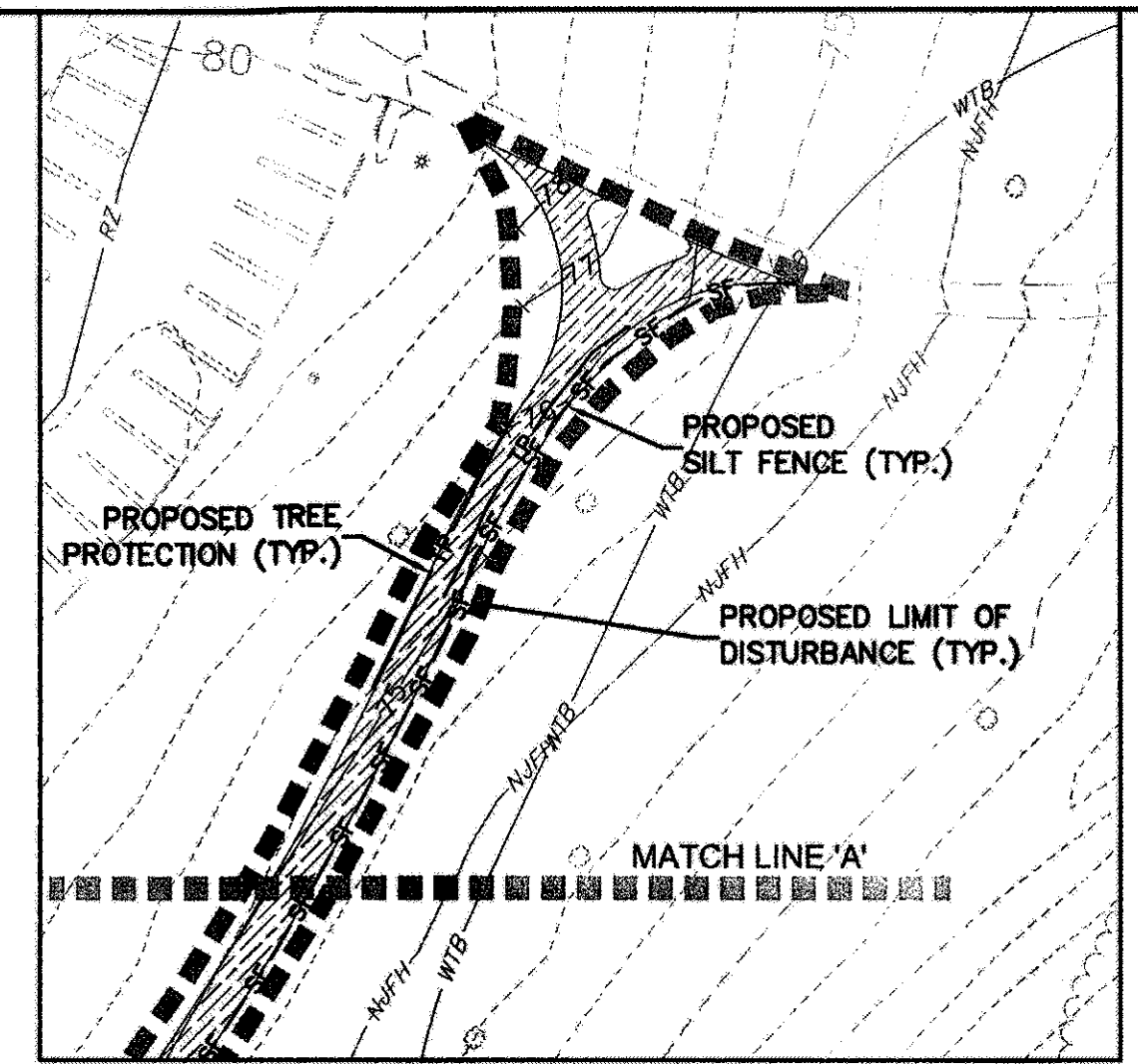
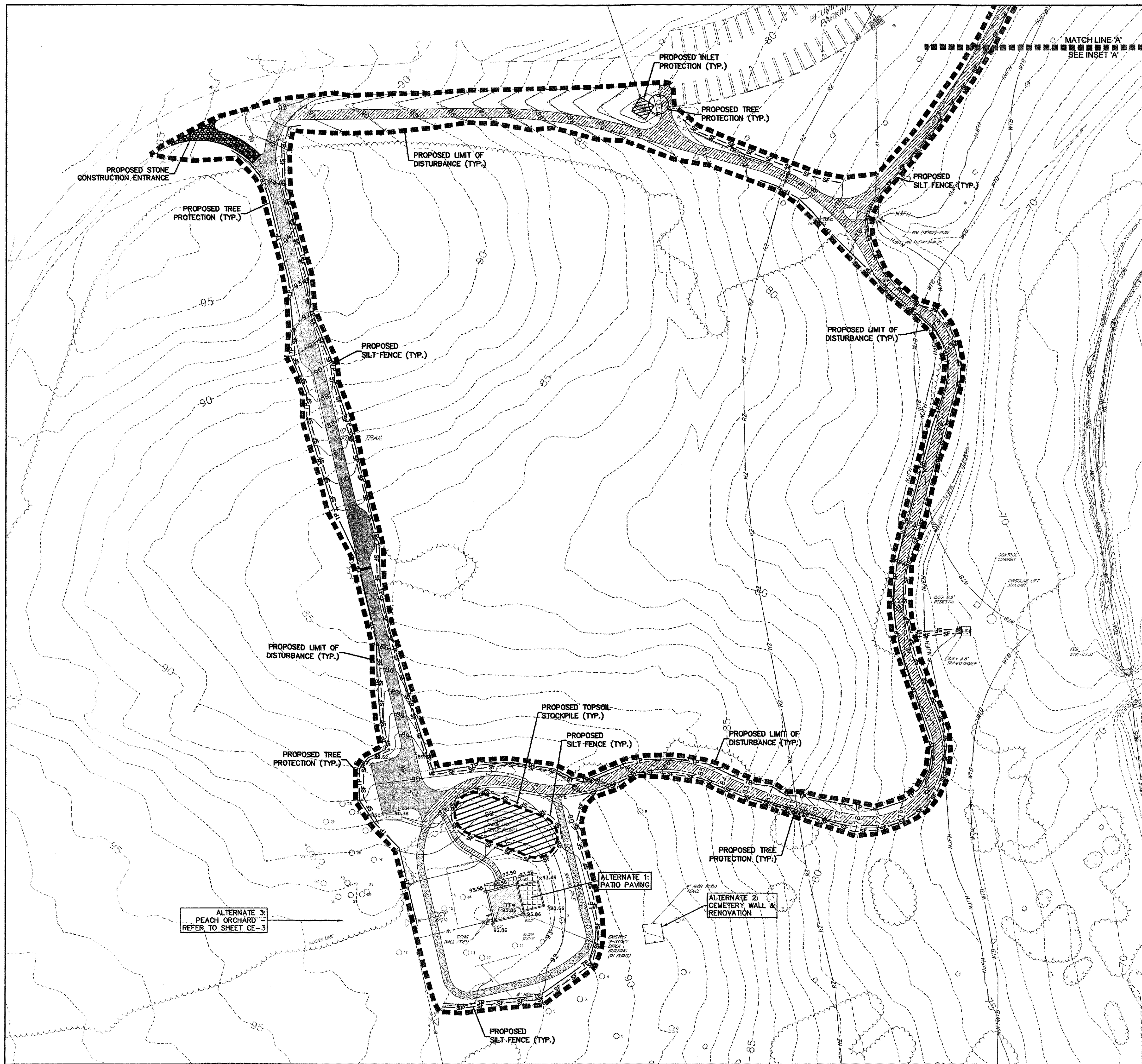
THOMAS E. O'SHEA  
 N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228

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**GRADING, DRAINAGE, AND UTILITY PLAN OF ROGERS HOUSE CONSTRUCTED RUINS PREPARED FOR MERCER COUNTY PARK COMMISSION SITUATED IN**

WEST WINDSOR TOWNSHIP MERCER CO., N.J.  
 SCALE 1" = 40' NOVEMBER 9, 2015

DRAWN BY: MNK	ORDER No. 42455-	FILE No. 180-C-1	SHEET No. CE-4
DATE 11/9/15	PAGE 400-21		
CHECKED BY: BRP			
DATE 11/9/15			



**INSET 'A'**  
SCALE: 1" = 40'

**CONSTRUCTION SEQUENCE:**

NO.	DESCRIPTION	DURATION
1.	NOTIFY MSCSD 48 HOURS PRIOR TO THE START OF CONSTRUCTION	2 DAYS
2.	INSTALL SEDIMENT CONTROL BARRIERS AS SHOWN ON APPROVED SOIL EROSION AND SEDIMENT CONTROL PLANS. INSTALLATION OF TREE PROTECTION FENCING AND SILT FENCING AS REQUIRED.	1 WEEK
3.	REMOVE TREES & ITEMS FOR SELECTIVE DEMOLITION AS SHOWN ON THE APPROVED SITE PLANS. COORDINATE ALL TREE REMOVALS WITH THE APPROVED LANDSCAPING PLANS.	2-3 WEEKS
4.	INSTALL UNDERGROUND UTILITIES	2 WEEKS
5.	GRADE & CONSTRUCT PROPOSED POROUS ASPHALT DRIVE, PARKING, AND WALKS	4 WEEKS
6.	RECONSTRUCT EXISTING RUINS PER ARCHITECTURAL PLANS	1 MONTH
7.	INSTALL SIGNAGE	1 DAY
8.	FINISH GRADING AND STABILIZE WITH 5" OF TOPSOIL, PERMANENT SEED AND/OR LANDSCAPE ALL REMAINING DISTURBED AREAS AS PER APPROVED LANDSCAPING PLANS.	2 WEEKS
9.	FINISH PAVING OF PARKING AND DRIVE AREAS	1 WEEK
10.	STRIP PARKING AREAS	1 WEEK
11.	UPON FINAL SITE STABILIZATION OF DISTURBED AREAS, REMOVE ANY REMAINING SEDIMENT CONTROL STRUCTURES. REMOVE SEDIMENT AS REQUIRED.	1 WEEK

- NOTES:**
- DURATIONS ARE APPROXIMATE AND ARE DEPENDENT ON WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION.
  - VARIOUS ITEMS MAY OCCUR SIMULTANEOUSLY OVER VARIOUS PORTIONS OF THE SITE.
  - SITE CONTRACTOR SHALL MAINTAIN ALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION UNTIL FINAL ACCEPTANCE BY MERCER COUNTY.
  - CONSTRUCTION SITE RUNOFF SHALL NOT BE PERMITTED TO ENTER THE POROUS PAVEMENT AREA UNTIL FULL STABILIZATION OF THE DRAINAGE AREA HAS BEEN ACHIEVED.

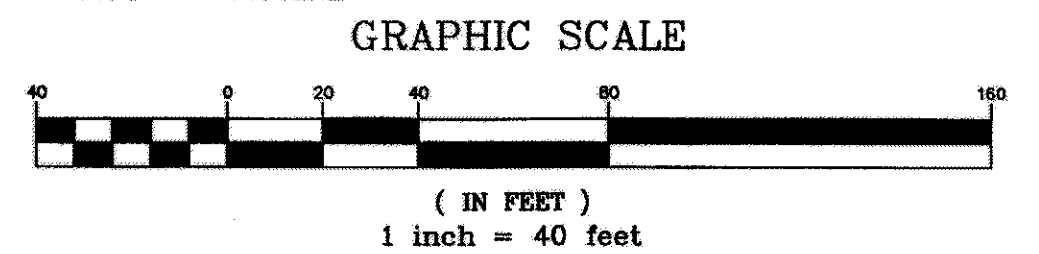
**PROPOSED LEGEND:**

	EXISTING BUILDING		INLET PROTECTION
	POROUS ASPHALT DRIVE		LIMIT OF DISTURBANCE
	POROUS ASPHALT WALK		SILT FENCE
	STONE SCREENINGS WALK		TREE PROTECTION
	PATIO		STONE CONSTRUCTION ENTRANCE
	SPLIT RAIL FENCE		TOPSOIL STOCKPILE
	CONTOUR		
	WATER LINE		
	ELECTRIC SERVICE		

- NOTES:**
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE SHOWN HEREON WILL BE REMOVED IMMEDIATELY TO PREVENT WASHING OR TRACKING OF SOIL AWAY FROM THE PROJECT AREA AND AS A MINIMUM, PRIOR TO THE COMPLETION OF CONSTRUCTION EACH DAY.
  - DUST SHALL BE CONTROLLED DURING CONSTRUCTION VIA THE APPLICATION OF WATER UNTIL THE SURFACE IS WET, OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
  - TEMPORARY DRIVING SURFACES WITHIN ROADWAYS/PARKING AREAS AS A RESULT OF ANY CONSTRUCTION DISTURBANCE SHALL BE 3/4" STONE OR BASE PAVEMENT UNTIL FINAL PAVEMENT IS PLACED. SOIL RIDING SURFACES WILL NOT BE PERMITTED.

**ABBREVIATIONS:**

LP/HP	LOW POINT / HIGH POINT
ME	MATCH EXISTING
MAX.	MAXIMUM
MIN.	MINIMUM
TS/BS	TOP OF STAIR / BOTTOM OF STAIR
TYP.	TYPICAL



ALTERNATE 3:  
PEACH ORCHARD  
REFER TO SHEET CE-3

ALTERNATE 1:  
PATIO PAVING

ALTERNATE 2:  
CEMETERY WALL &  
RENOVATION

2.	UPDATE FOR REBD	10/1/17	JRM	TOS
1.	PATIO LAYOUT	6/1/16	JFM	
REV.	DESCRIPTION	DATE	DRN BY	CHK BY
 <b>THOMAS E. O'SHEA</b> N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228				
11/9/15 DATE OF SCD				

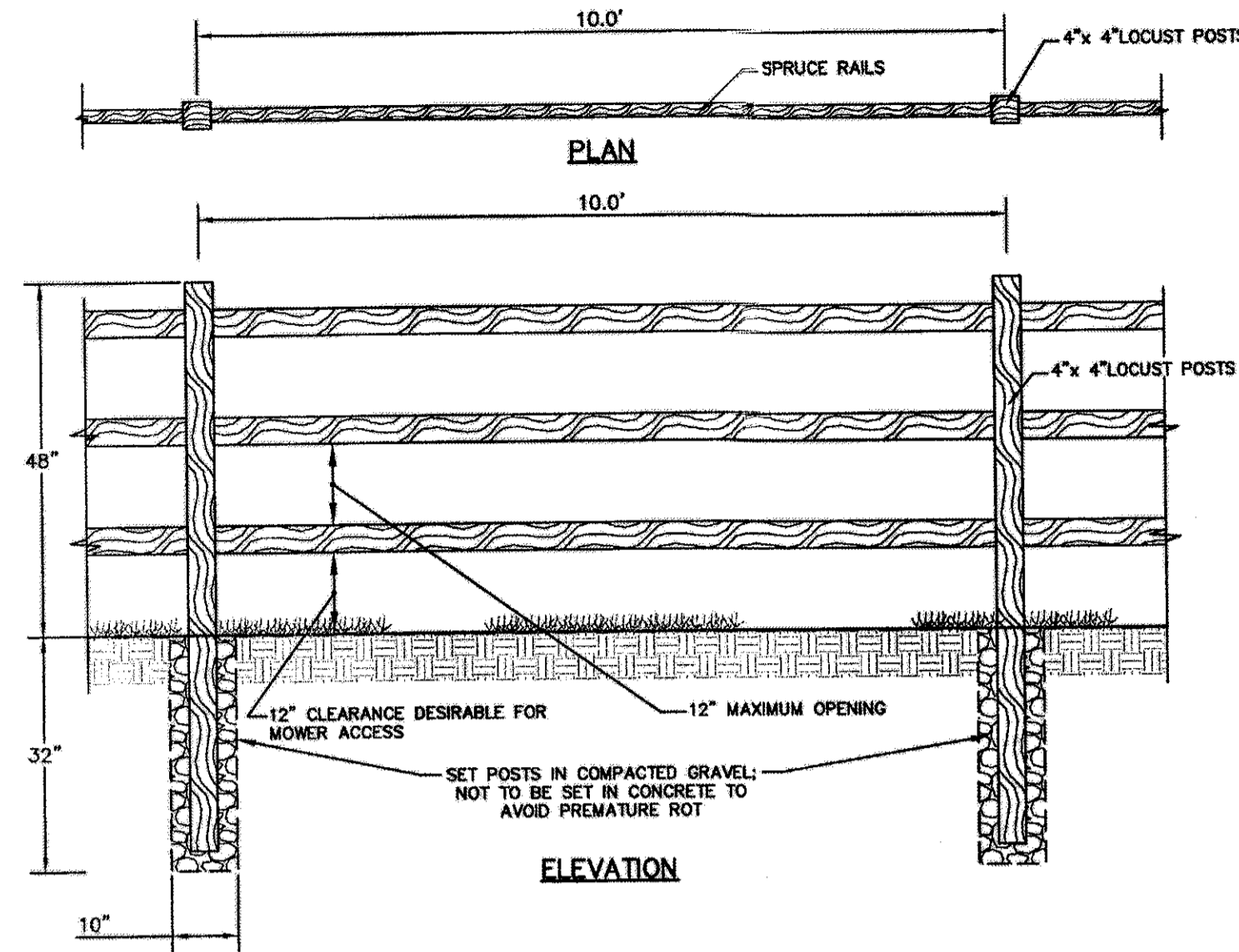
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**SOIL EROSION AND SEDIMENT CONTROL PLAN**  
OF  
ROGERS HOUSE CONSTRUCTED RUINS  
PREPARED FOR  
MERCER COUNTY PARK COMMISSION  
SITUATED IN

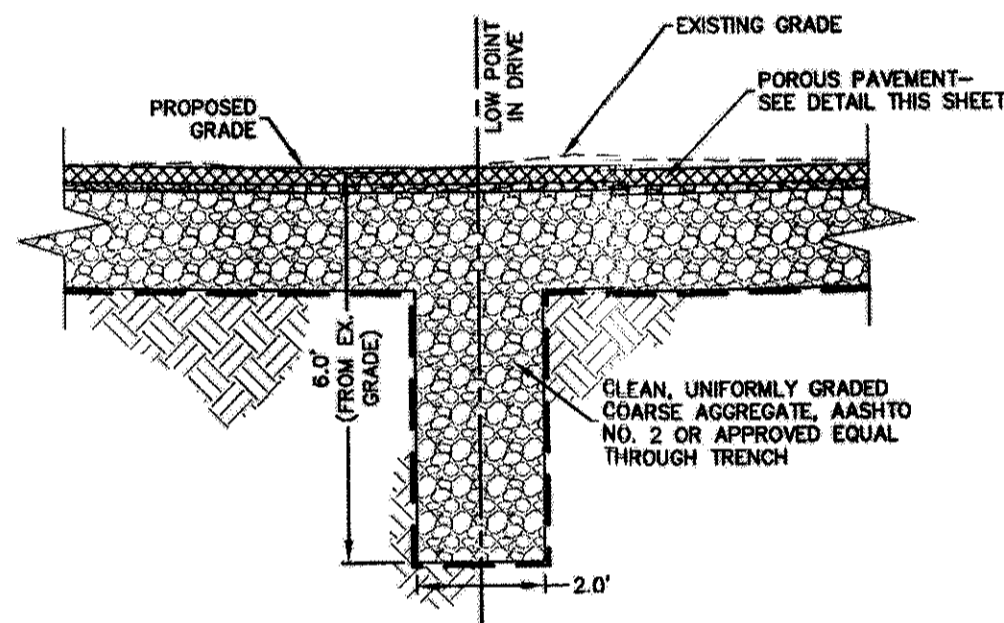
WEST WINDSOR TOWNSHIP  
SCALE 1" = 40'  
MERCER CO., N.J.  
NOVEMBER 9, 2015

DRAWN BY	MNK	FIELD BK	ORDER No.	FILE No.	SHEET No.
DATE	11/9/15	PAGE	42455-400-21	180-C-1	CE-5
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DATE	11/9/15				

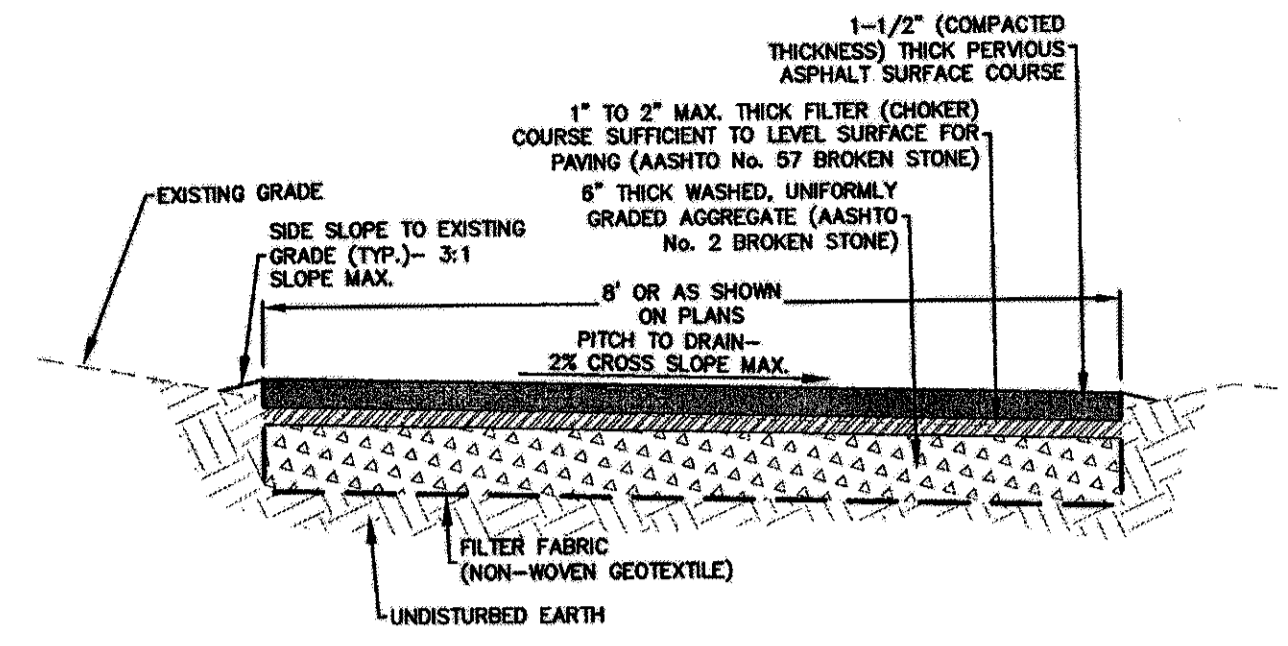




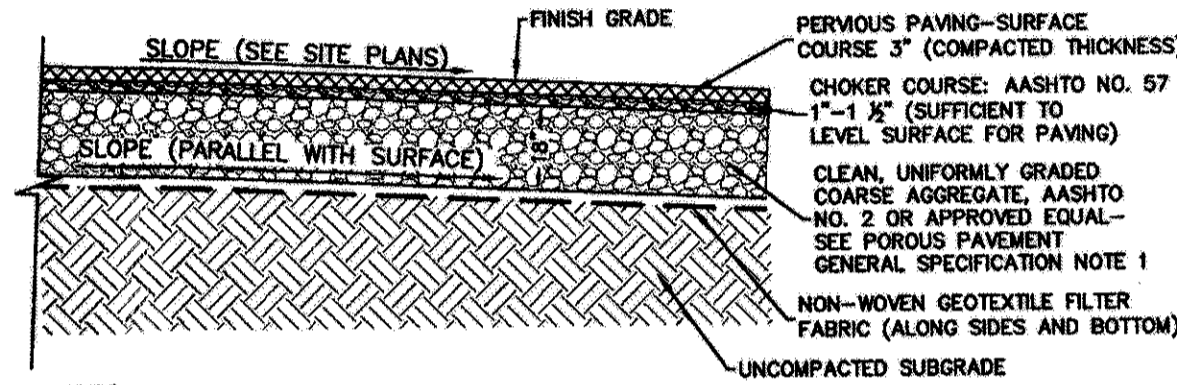
**SPLIT RAIL FENCE DETAIL**  
N.T.S.



**INFILTRATION TRENCH IN DRIVE DETAIL**  
N.T.S.



**POROUS ASPHALT WALK DETAIL**  
N.T.S.



**POROUS PAVEMENT TYPICAL SECTION**  
N.T.S.

**POROUS PAVEMENT CONSTRUCTION SEQUENCE**

- The porous pavement should be installed toward the end of the construction period, if possible.
- The existing subgrade under the stone bed areas should NOT be compacted or subject to excessive construction equipment traffic prior to geotextile and stone bed placement.
- Where erosion of subgrade has caused accumulation of the materials and/or surface ponding, this material shall be removed with light equipment and the underlying soils aerated to a minimum depth of 6 inches with a York rake (or equivalent) and light tractor. All fine grading shall be done by hand. All bed bottoms should be at a level grade unless specified otherwise.
- Earthen berms/traffic islands (where applicable) between stone bed areas should be left in place during excavation. These berms do not require compaction if proven stable during construction.
- Geotextile and stone bed aggregate should be placed immediately after approval of subgrade preparation. Geotextile should be placed in accordance with manufacturer's standards and recommendations. Adjacent strips of geotextile should overlap a minimum of 18 in. The geotextile should extend at least 4 feet outside of bed and folded back along the edges of the finished bed to prevent runoff or sediment from entering the storage bed. This edge strip should remain in place until all base soils contiguous to beds are stabilized and vegetated. As the site is fully stabilized, excess geotextile along bed edges can be cut back to bed edge.
- Clean (washed) uniformly graded stone aggregate (AASHTO No. 2) shall be placed in the bed in 8-inch lifts. Each layer should be lightly compacted, with the construction equipment kept off the bed bottom as much as possible. One pass with vibration is allowable (low amplitude, high frequency) to interlock aggregates. Continuous vibratory passes are not allowed.
- Apply tack coat 64E-22 as specified in NJDOT Standard Specification (S.S.) 401.03.02.2. Place asphalt at a laydown temperature of 225°F or recommended by the binder manufacturer. Ensure that the porous asphalt meets the thickness and tolerance requirements specified in S.S. Tables 902.03.03-1 and 902.03.03-2. Spread and grade asphalt as specified in S.S. 401.03.03.E. Do not apply polymerized joint adhesive or tack coat to longitudinal joints.
- The porous asphalt should be placed directly on the leveled stone subbase in a single 4 inch loose lift and compacted with a minimum of two (2) passes of a non-vibratory, 2-roll roller, to a finished depth of 3 inches. Rollers shall be operated at a slow, uniform speed not exceeding 2 1/2 mph. If necessary to prevent adhesion of the porous asphalt to the rollers, keep the wheels moistened with water mixed with a very small amount of detergent. Remove and replace porous asphalt that becomes loose, broken, or otherwise defective or that shows an excess or deficiency of asphalt binder material.
- When paving in sections, keep the rollers for the first lane approximately 6 inches from the unconfined edge adjacent to the second paving operation. After porous asphalt from the second pass is placed against the unconfined edge of the mat from the first pass, compact the asphalt on both sides of the joint. Prevent lateral displacement of the unconfined edge during the compaction operation. Ensure that the edge of the drums of the rollers extends over the free edge of the mat by at least 8 inches. When compacting the butt or edge joint, while paving the adjacent lane, place the roller on the newly paved pavement by approximately 6 inches.
- The full permeability of the finished pavement surface should be tested by application of clean water at a rate of at least 5 gpm over the surface using a hose or other distribution device. All applied water should infiltrate directly without puddle formation, ponding or surface runoff.
- The proposed porous pavement area of the site shall be cordoned off from heavy construction equipment and the stockpiling of materials shall be prohibited.
- Do not allow traffic or construction equipment on the porous asphalt until the surface temperature is less than 170°F. Vehicular traffic shall be restricted from the finished surface for a minimum of 72 hours following final paving.

**POROUS PAVEMENT GENERAL SPECIFICATIONS**

- Stone for infiltration beds shall be 2-inch to 1-inch uniformly graded coarse aggregate, with a wash loss of no more than 0.5%, AASHTO size number 2 per AASHTO Specifications or approved equivalent, Part I, 19th Ed., 1998, or later and shall have voids 40% as measured by ASTM-C29. Choker base course aggregate for beds shall be 3/8 inch to 3/4 inch uniformly graded coarse aggregate AASHTO size number 57 per Table 4, AASHTO Specifications, Part I, 13th Ed., 1998 (p. 47).
- Non-Woven Geotextile shall consist of needed nonwoven polypropylene fibers and meet the following properties:
  - Grab Tensile Strength (ASTM-D4632) > 120 lbs
  - Mullen Burst Strength (ASTM-D3786) > 225 psi
  - Flow Rate (ASTM-D4491) > 95 gal/min/ft sq
  - UV Resistance after 500 hrs (ASTM-D4355) > 70%
 Heat-set or heat-cured fabrics are not permitted. Acceptable types include Miraf 140 N, Geotex 451, or approved others.
- Pipe (where applicable) shall be continuously perforated, smooth interior, with a minimum inside diameter of 8-inches. High-density polyethylene (HDPE) pipe shall meet AASHTO M252, Type S or AASHTO M294, Type S.
- Storm Drain Inlets and Structures
  - Concrete Construction: Concrete construction shall be in accordance with current NJDOT specifications.
  - Precast concrete inlets and manholes: Precast concrete inlets may be substituted for cast-in-place structures and shall be constructed as specified for cast-in-place.
  - All PVC Catch Basins/Overflows/Inlets/Drains shall have H-20 rated grates.
  - Steel reinforcing bars over the top of the outlet structure, where specified, shall conform to ASTM A615, grades 60 and 40.
- Pervious Bituminous Asphalt
 

Bituminous surface course for porous paving should be three (3) inches thick (compacted thickness) with a bituminous mix of 5.75% to 6.75% by weight dry aggregate. In accordance with ASTM D6300, drain down of the binder shall be no greater than 0.3%. If more absorptive aggregates, such as limestone, are used in the mix, then the amount of bitumen is to be based on the testing procedures outlined in the National Asphalt Pavement Association's Informational Report 131 - "Pervious Asphalt Pavements" (2003) or NJDOT equivalent.

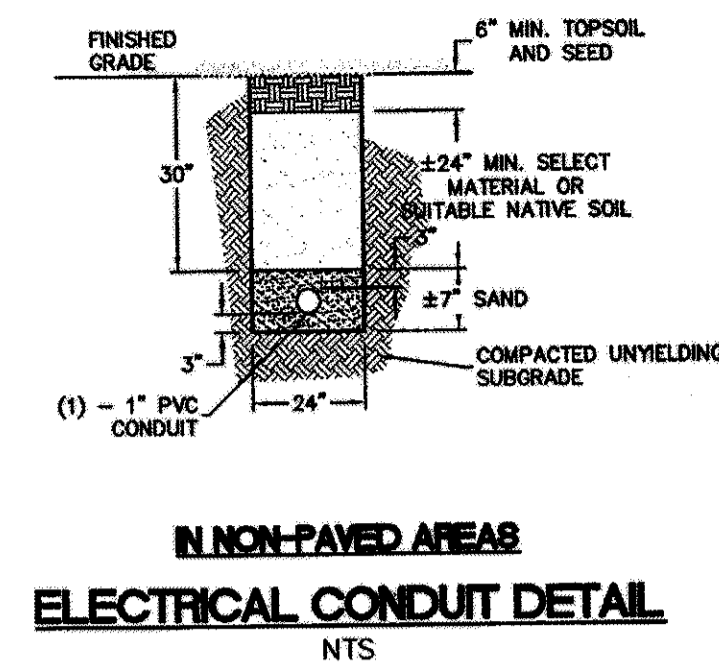
Use neat asphalt binder modified with an elastomeric polymer to produce a binder meeting the requirements of PG 64E-22 as specified in AASHTO M-11. The elastomeric polymer shall be styrene-butadiene-styrene (SBS), or approved equal, applied at a rate of 3% by weight of the total binder. The composite materials shall be thoroughly blended at the asphalt refinery or terminal prior to being loaded into the transport vehicle. The polymer modified asphalt binder shall be hot and stored as stable.

Aggregate shall be minimum 90% crushed material and have a gradation of:

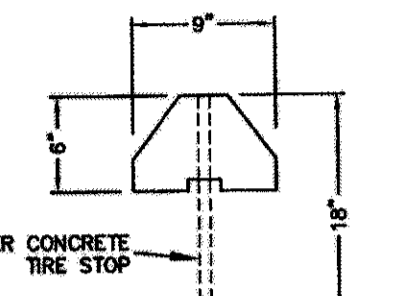
U.S. Standard Sieve Percent Passing 1/2 (12.5 mm) 100% 3/8 (9.5 mm) 100% 20# (850 microns) 100% 10# (2.0 mm) 100% 4.75 (No. 30) 100% 2.5 (No. 60) 100% 1.18 (No. 125) 100% 0.85 (No. 175) 100% 0.6 (No. 250) 100% 0.425 (No. 35) 100% 0.25 (No. 60) 100% 0.15 (No. 100) 100% 0.075 (No. 200) 100%

Do not place pavement if it is precipitating. Do not allow trucks to leave the plant when precipitation is imminent. The Contractor may resume operations when the precipitation has stopped and the surface is free of water. Do not pave if the ambient temperature is below 50°F.

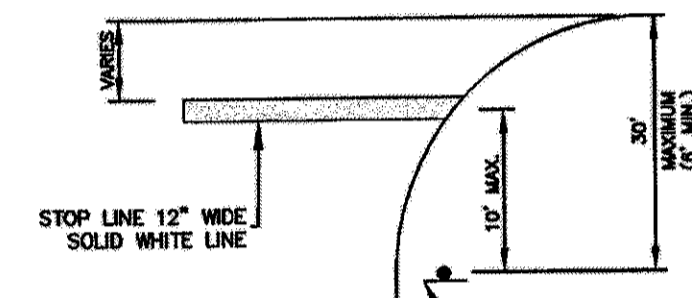
The temperature of the bituminous mix shall be between 300 degrees Fahrenheit and 350 degrees Fahrenheit (based on the recommendations of the asphalt supplier).



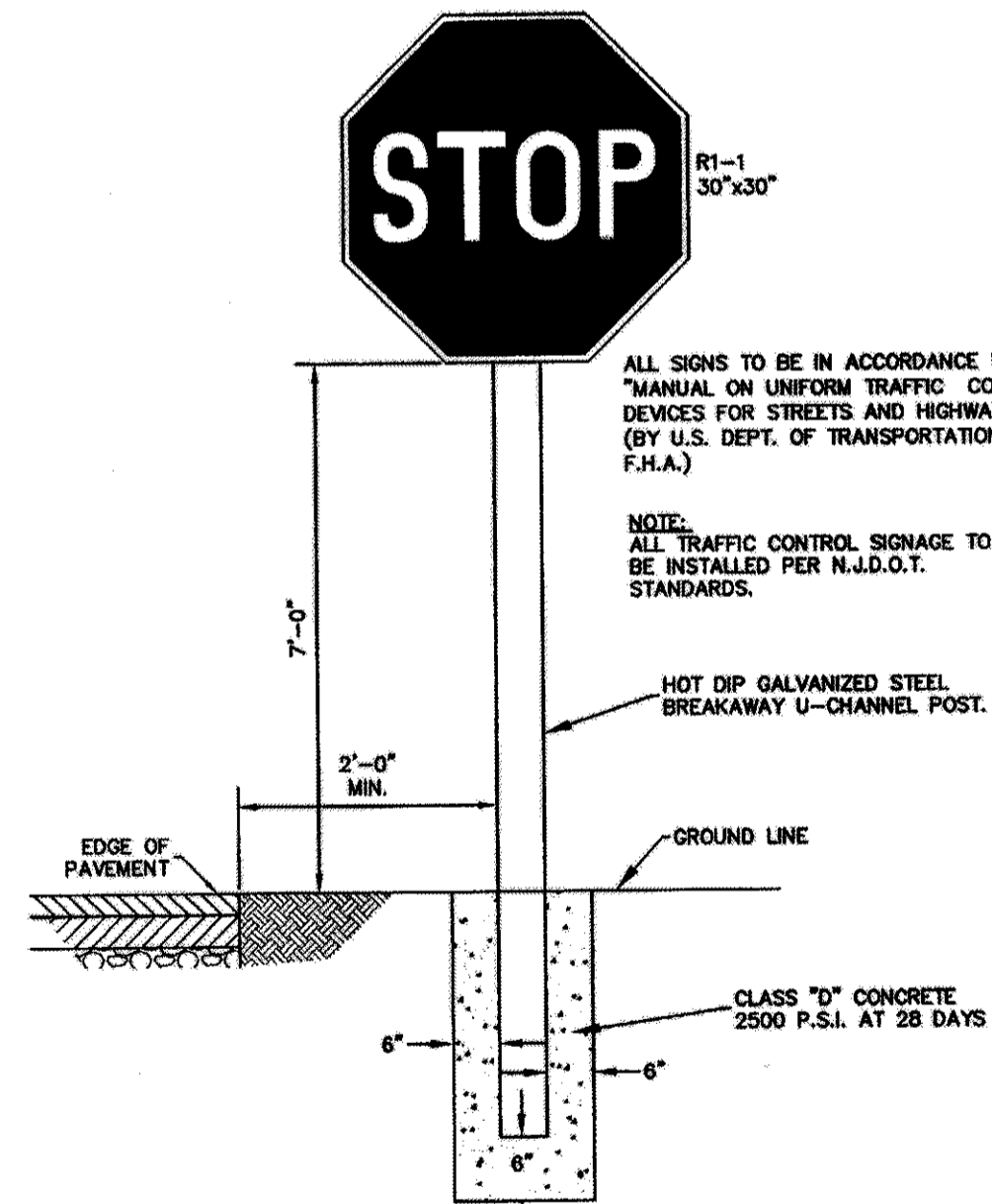
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N.T.S.



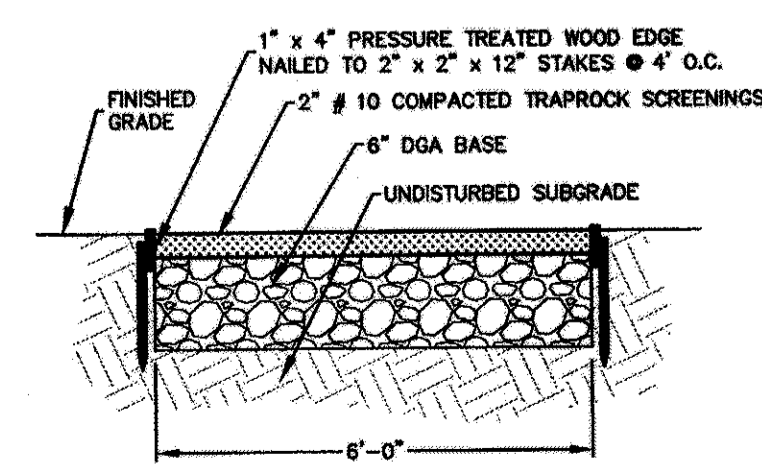
**CONCRETE WHEEL STOP DETAIL**  
N.T.S.



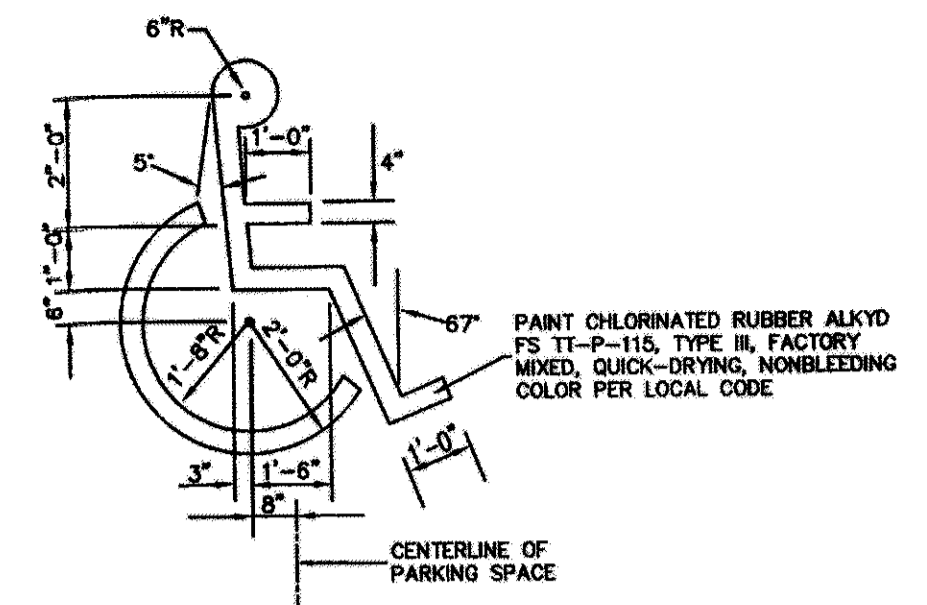
**STOP LINE DETAIL**  
N.T.S.



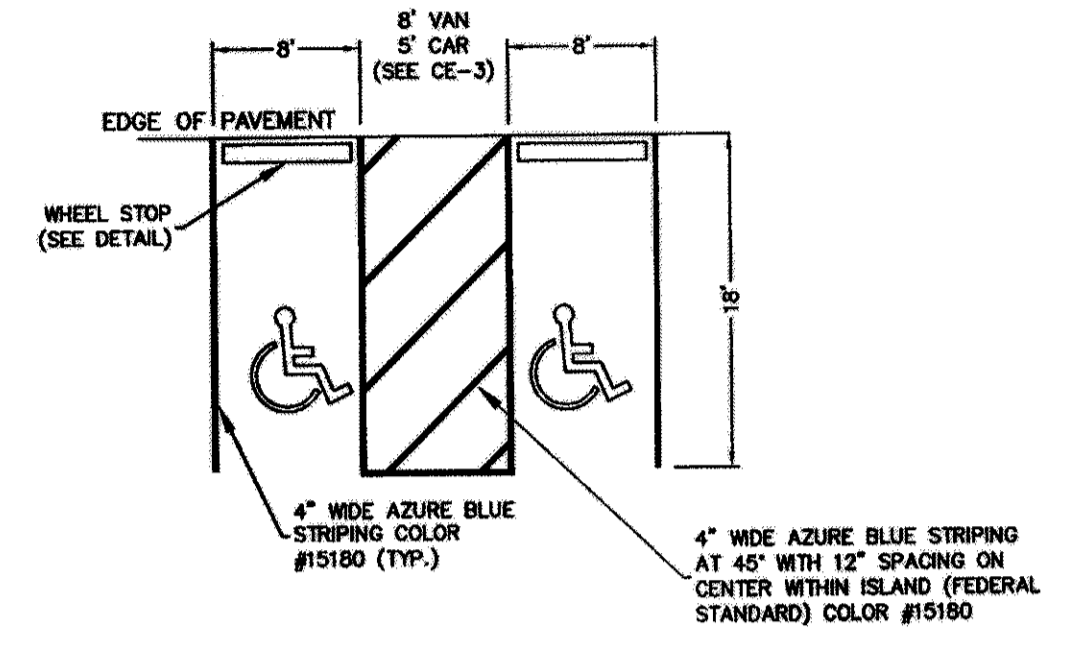
**TYPICAL SIGN MOUNTING DETAIL**  
N.T.S.



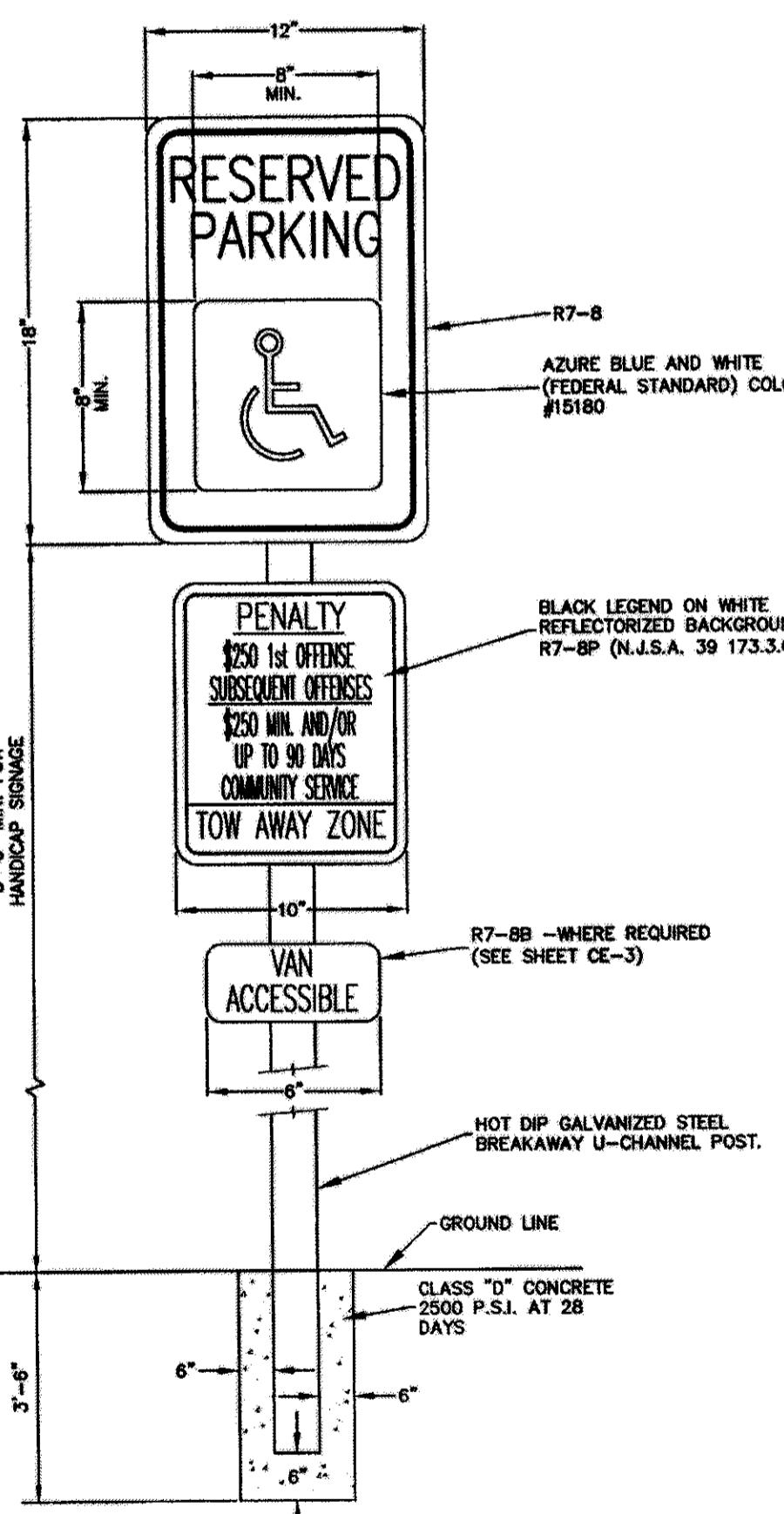
**CRUSHED STONE WALK DETAIL**  
N.T.S.



**ACCESSIBLE PARKING SYMBOL**  
N.T.S.



**ACCESSIBLE PARKING SPACE DETAIL**  
N.T.S.



**ACCESSIBLE PARKING SPACE SIGN DETAIL**  
N.T.S.

1.	ADD INFILTRATION TRENCH	1/22/16	MNK	BRP
REV.	DESCRIPTION	DATE	DF.T.B.Y	OKD.BY

THOMAS E. O'SHEA  
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 31228

**van note-engineers, pc**  
consulting engineers, planners & land surveyors  
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**CONSTRUCTION DETAILS**  
OF  
**ROGERS HOUSE CONSTRUCTED RUINS**  
PREPARED FOR  
**MERCER COUNTY PARK COMMISSION**  
SITUATED IN

WEST WINDSOR TOWNSHIP  
SCALE AS SHOWN

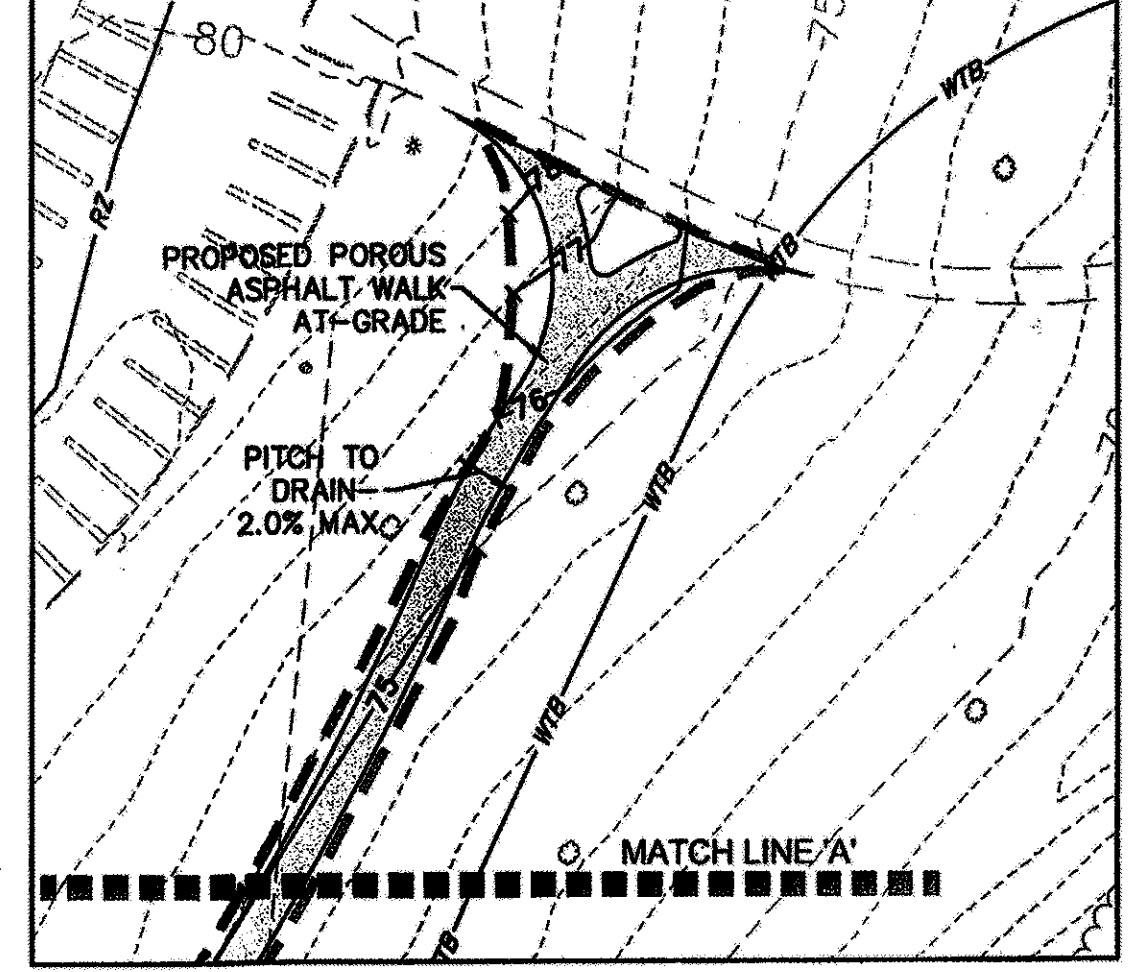
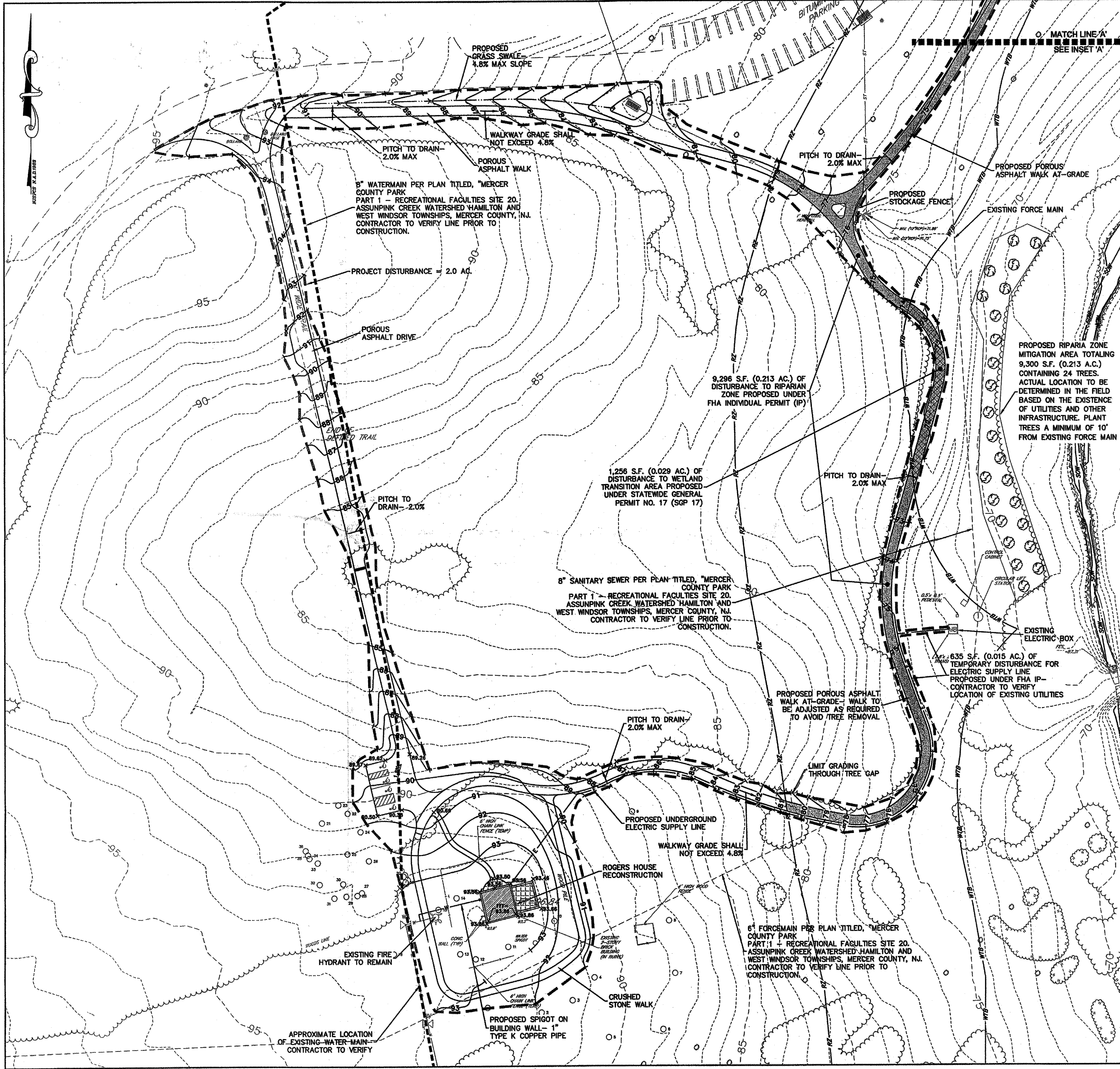
MERCER CO., N.J.  
NOVEMBER 9, 2015

DRAWN BY: MNK  
DATE: 11/9/15  
CHECKED BY: BRP  
DATE: 11/9/15

FIELD BK: 42455-400-21  
ORDER NO: 42455-400-21  
FILE NO: 180-C-1  
SHEET NO: CE-7

N:\P\42455\DWG\42455-DTL-PLT.DWG





**GENERAL NOTES:**

- 1) THIS PLAN HAS BEEN PREPARED FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE FLOOD HAZARD CONTROL ACT RULE N.J.A.C. 7:13 AND THE FRESHWATER WETLANDS PROTECTION ACT RULES N.J.A.C. 7:27A.
- 2) CAUTION: IF DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY BE ALTERED.
- 3) ALL TEMPORARILY DISTURBED AREAS WITHIN THE RIPARIAN ZONE SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS.

**REFERENCE PLANS:**

- 1) FOR SITE DEVELOPMENT INFORMATION SHOWN HEREON, PLEASE REFER TO A SET OF PLANS PREPARED BY VAN NOTE-HARVEY ASSOCIATES, P.C. ENTITLED "SITE PLAN OF THE ROGERS HOUSE CONSTRUCTED RUINS," DATED NOVEMBER 9, 2015, SHEET NUMBERS CE-1 THROUGH CE-7.

**PLANTING SCHEDULE:**

1. ALL NEWLY PLANTED TREES SHALL BE OF NURSERY GROWN STOCK.
2. THE ENTIRETY OF THE MITIGATION AREA WILL BE CLEARED OF DEBRIS PRIOR TO PLANTING.
3. TREES SHALL BE PLANTED IN NATURAL GROVES AND SPACED AN AVERAGE OF 20 FEET ON CENTER.
4. THE GROUND WITHIN THE PLANTING AREA SHALL BE PROPERLY PREPARED, CONDITIONED AND MULCHED AS NECESSARY TO PROMOTE VIGOROUS GROWTH OF THE PLANTED MATERIALS.
5. THE GROUND SHALL BE SEEDDED WITH MEADOW GRASS MIX ERNMX-173.
6. ALL WOODY AND HERBACEOUS PLANTS SHALL BE SPECIES INDIGENOUS TO THE AREA.
7. PLANTINGS SHALL BE PROTECTED TO MINIMIZE WILDLIFE DAMAGE WITH TREE SLEEVES AND/OR NETTING, AS REQUIRED TO PREVENT DEER RUB.
8. ALL PLANTING IN THE RIPARIAN ZONE SHALL BE MONITORED AND MAINTAINED FOR AT LEAST THREE GROWING SEASONS.
9. EACH STRATUM (HERB, SHRUB, TREE) OF THE MITIGATION AREA SHALL BE MAINTAINED TO AVOID INVASIVE SPECIES COLONIZING THE MITIGATION AREA.
10. FOR OPTIMAL ESTABLISHMENT OF PLANTINGS, FINAL PLANTING INSTALLATION LOCATIONS WILL BE DETERMINED IN THE DESIGNATED MITIGATION AREA IN THE FIELD IN ACCORDANCE WITH THE TYPICAL PLANTING SCHEMATIC OR AS ADJUSTED BY THE MITIGATION DESIGNER.
11. PLANTING MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)
12. PLANT 24 TREES, MINIMUM 1" - 1 1/2" CALIPER, IN ANY COMBINATION OF CARYA OVATA, QUERCUS ALBA, QUERCUS PALUSTRIS, ACER SACCHARINUM, CORYLUS CORNIGERUS, LIRIODENDRON TULIPIFERA, PRINUS STROBUS, AND PLATANUS OCCIDENTALIS IN MITIGATION AREA. SPECIES WILL BE EVENLY DISTRIBUTED THROUGHOUT THE ENTIRE MITIGATION AREA.

**CERTIFICATION:**

THIS IS TO CERTIFY THAT NO FILL WILL BE PLACED ON THE PROJECT SITE AT OR BELOW ELEVATION 75.0, WHICH IS THE HIGHEST NEW JERSEY FLOOD HAZARD AREA DESIGN FLOOD (NFHAD) ELEVATION ON THE PROJECT SITE PER N.J.A.C. 7:13-3.5. PER N.J.A.C. 7:13-3.5, THE NFHAD ELEVATION RANGES FROM ELEVATION 73.01 TO 75.0, WHICH WAS DETERMINED AS FOLLOWS:

- WATERSHED MANAGEMENT AREA - 11
- OVERALL DRAINAGE AREA OF THE STREAM ALONG THE PROJECT SITE - 358 ACRES
- TABLE 1 FLOOD DEPTH = 9 FEET ABOVE STREAM BED ELEVATION
- THE STREAM BED ELEVATION RANGES FROM APPROXIMATELY 64.0 FEET TO APPROXIMATELY 66.0 FEET, THEREFORE THE NFHAD ELEVATION RANGES FROM 73.0 FEET TO 75.0 FEET.
- TABLE 2 FLOOD DEPTH OF ROADWAY = 1.5 FEET
- THE TOP OF THE DOWNSTREAM PEDESTRIAN BRIDGE = 71.1 FEET, PLUS 1.5 FEET = 72.6 FEET, THE TOP OF THE MIDSTREAM PATHWAY = 71.3 FEET, PLUS 1.5 FEET = 72.8 FEET, THEREFORE, USE THE NFHAD ELEVATION RANGE OF 73.0 TO 75.0 FEET, WHICH IS THE HIGHER ELEVATION RANGE USING EITHER A DOWNSTREAM ROAD OR STREAMBED AS THE BASIS OF THE NFHAD ELEVATION.

A LIMITED AMOUNT OF FILL TO BE PLACED ABOVE CONTOUR 75.0.

**CONSTRAINTS LEGEND:**

- FRESHWATER WETLAND BOUNDARY
- FRESHWATER WETLAND TRANSITION AREA BOUNDARY
- STATE OPEN WATER BOUNDARY
- RIPARIAN ZONE/SPECIAL WATER RESOURCE PROTECTION AREA (SWRPA)

**PROPOSED LEGEND:**

- LIMIT OF GRADING
- WATER LINE
- ELECTRIC SERVICE
- DISTURBANCE PROPOSED UNDER FHA IP
- DISTURBANCE PROPOSED UNDER SGP
- PROPOSED TREE COMPENSATION PLANTINGS FOR RZ DISTURBANCE

**GRAPHIC SCALE**  
1 inch = 40 feet

**PLANTING SCHEMATIC**  
1" = 20'

**Approved**  
New Jersey Department of Environmental Protection  
Division of Land Use Regulation

**JOHN C. RYDER**  
N.J. PROFESSIONAL ENGINEER LIC. NO. GE 38287

11/9/15  
DATE OF SIGN

**van note-harvey associates, pc**  
consulting engineers, planners & land surveyors  
103 College Road East • Princeton, NJ 08540 • 609-987-2323  
211 Bayberry Drive • Cape May Court House, NJ 08210 • 609-465-2600  
www.vannoteharvey.com

N.J.A.C. 7:7A AND 7:13 PERMIT PLAN  
OF  
ROGERS HOUSE CONSTRUCTED RUINS  
PREPARED FOR  
MERCER COUNTY PARK COMMISSION  
SITUATED IN

WEST WINDSOR TOWNSHIP  
SCALE 1" = 40'  
NOVEMBER 9, 2015

DRAWN BY	MNK	FIELD BK	ORDER No.	FILE No.	SHEET No.
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DATE	11/9/15				

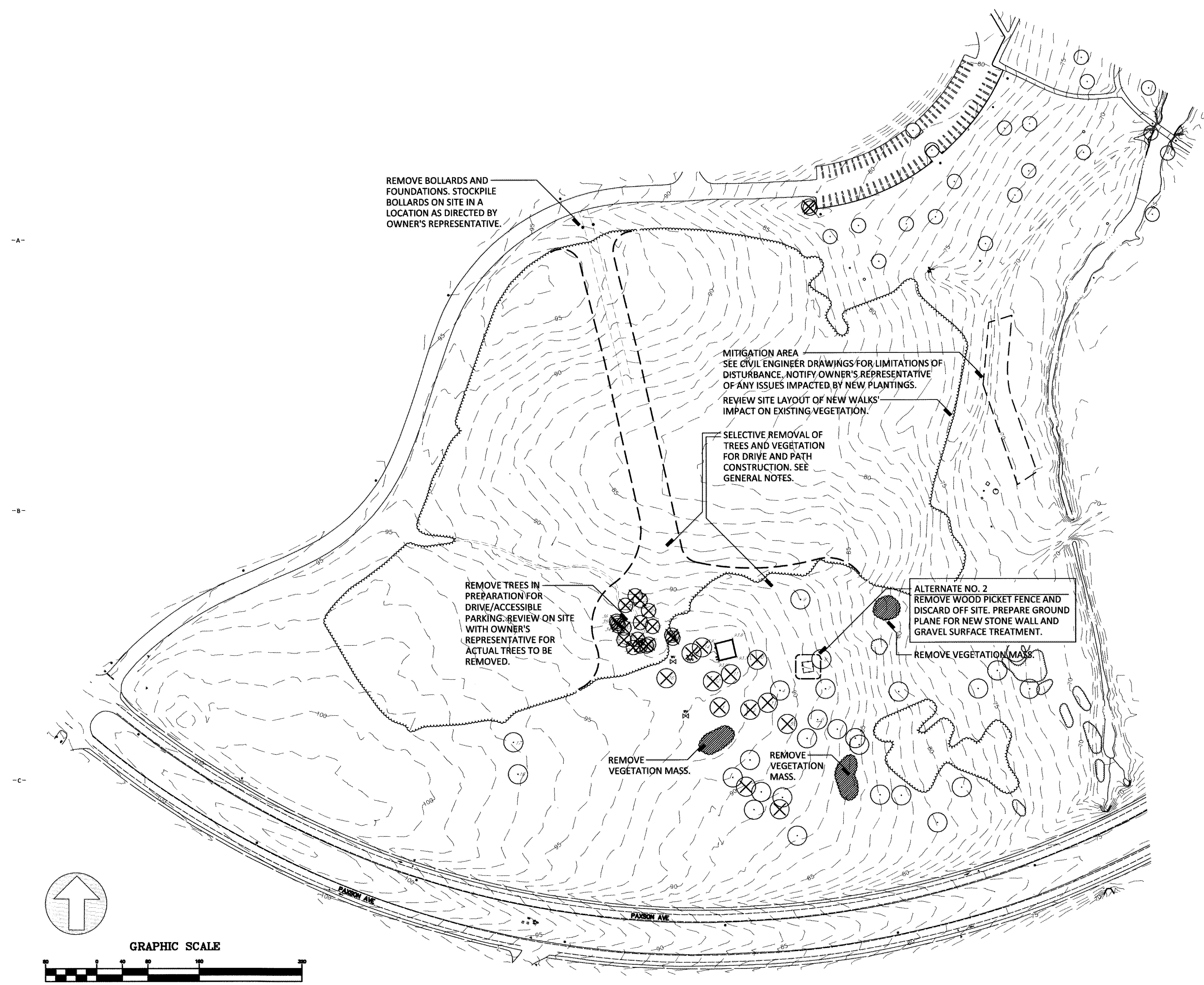
*Patricia M. O'Donnell*

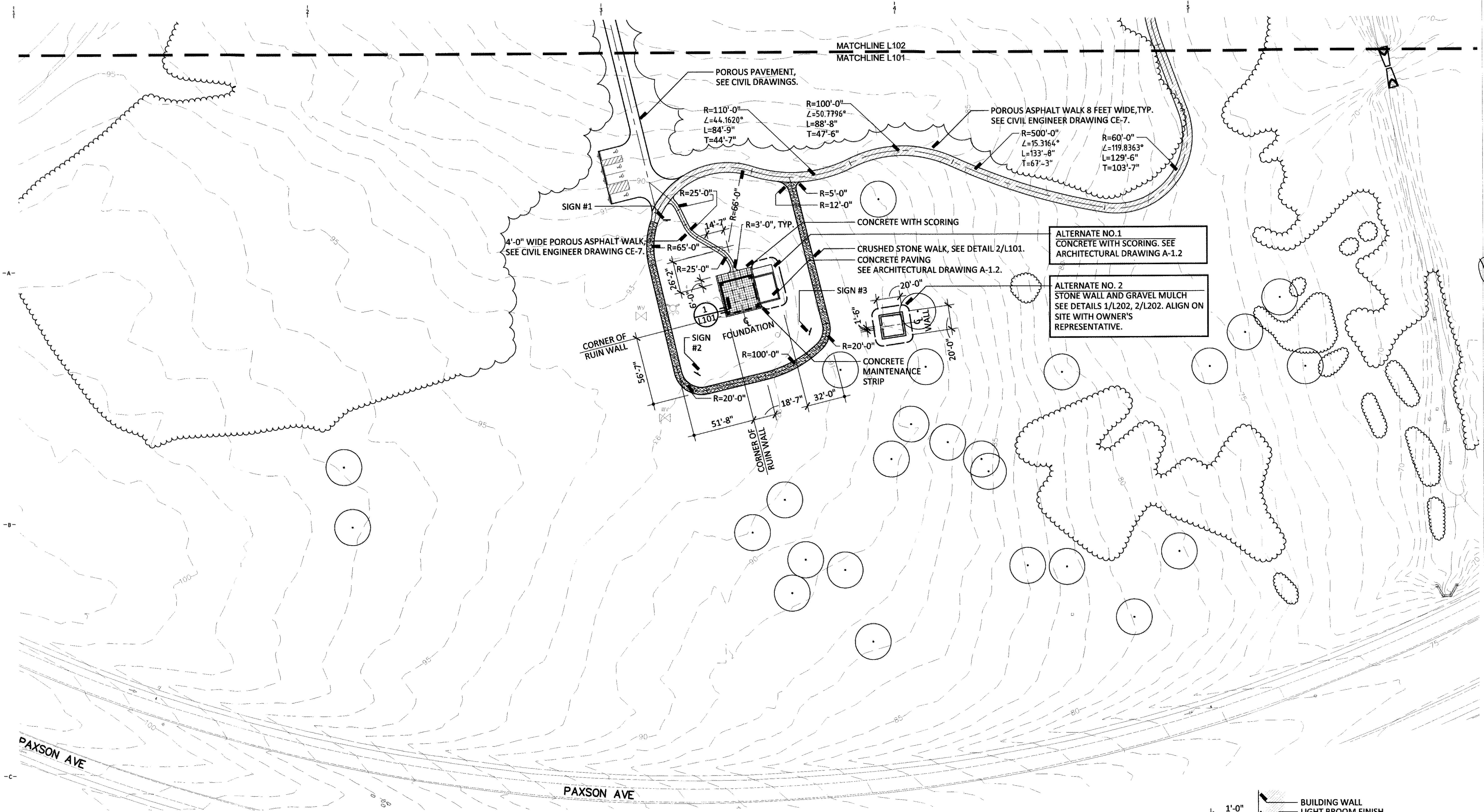
**GENERAL NOTES**

- SEDIMENTATION AND EROSION CONTROLS ARE TO BE IN PLACE PRIOR TO STARTING VEGETATION REMOVALS OPERATIONS.
- TREE PROTECTION MEASURES TO BE IN PLACE PRIOR TO STARTING REMOVAL OPERATIONS.
- PROVIDE A SCHEDULE OF TREES SPECIES AND CALIPER SIZE OF TREES INDICATED FOR REMOVAL ON SITE. MARK AND REVIEW TREES ON SITE WITH OWNER'S REPRESENTATIVE PRIOR TO TREE REMOVAL OPERATIONS
- UNDERSTORY INVASIVE SPECIES ARE TO BE REMOVED WITHIN CONSTRUCTION AREA.
- UNDERSTORY NATIVE SHRUBS TO BE RETAINED WHERE THEY ARE NOT OTHERWISE AFFECTED BY EARTH MOVING OPERATIONS OR NEW CONSTRUCTION.

**LEGEND**

- ⊗ WATER VALVE
- ⊗ FIRE HYDRANT
- FIELD LOCATED TREE
- EXISTING TREE
- ⊗ TREE TO BE REMOVED
- EXISTING VEGETATION
- EXISTING VEGETATION TO BE REMOVED
- - - EXISTING TRAIL
- 81.5' SPOT ELEVATION
- - - EXISTING CONTOUR





MATCHLINE L102  
MATCHLINE L101

POROUS PAVEMENT,  
SEE CIVIL DRAWINGS.

POROUS ASPHALT WALK 8 FEET WIDE, TYP.  
SEE CIVIL ENGINEER DRAWING CE-7.

4'-0" WIDE POROUS ASPHALT WALK  
SEE CIVIL ENGINEER DRAWING CE-7.

ALTERNATE NO. 1  
CONCRETE WITH SCORING. SEE  
ARCHITECTURAL DRAWING A-1.2

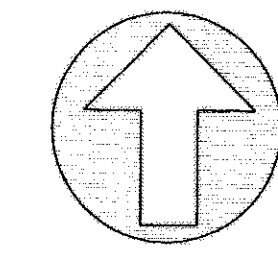
ALTERNATE NO. 2  
STONE WALL AND GRAVEL MULCH  
SEE DETAILS 1/L202, 2/L202. ALIGN ON  
SITE WITH OWNER'S  
REPRESENTATIVE.

CORNER OF  
RUIN WALL

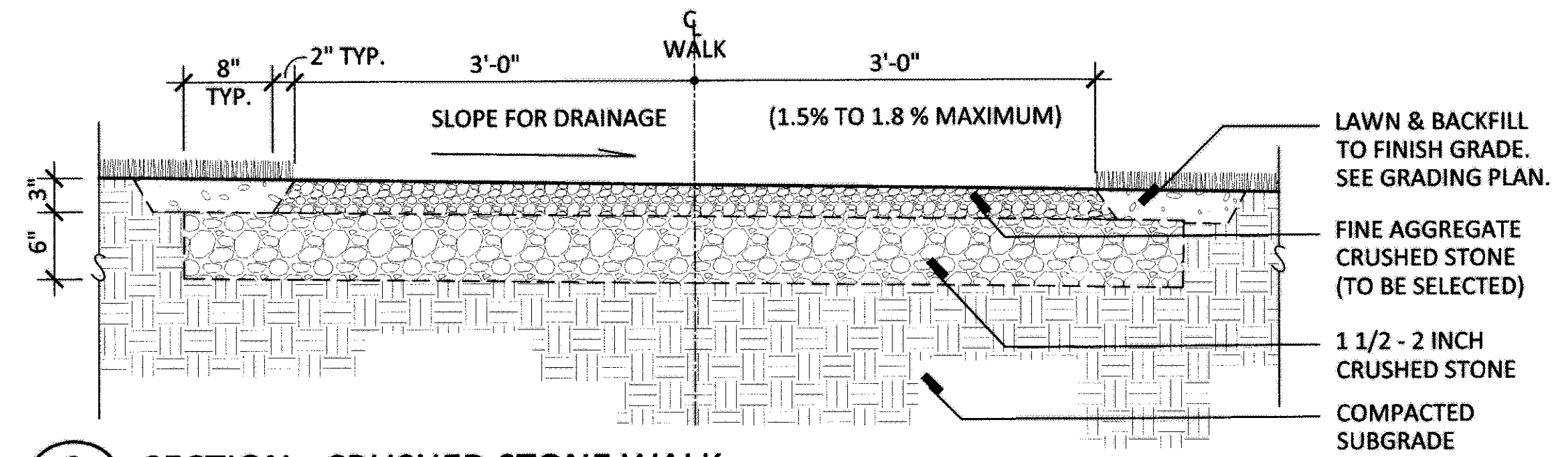
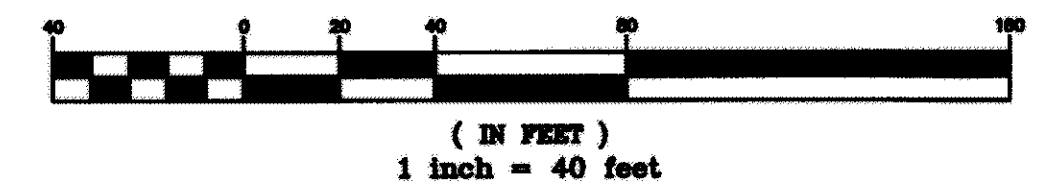
CORNER OF  
RUIN WALL

PAXSON AVE

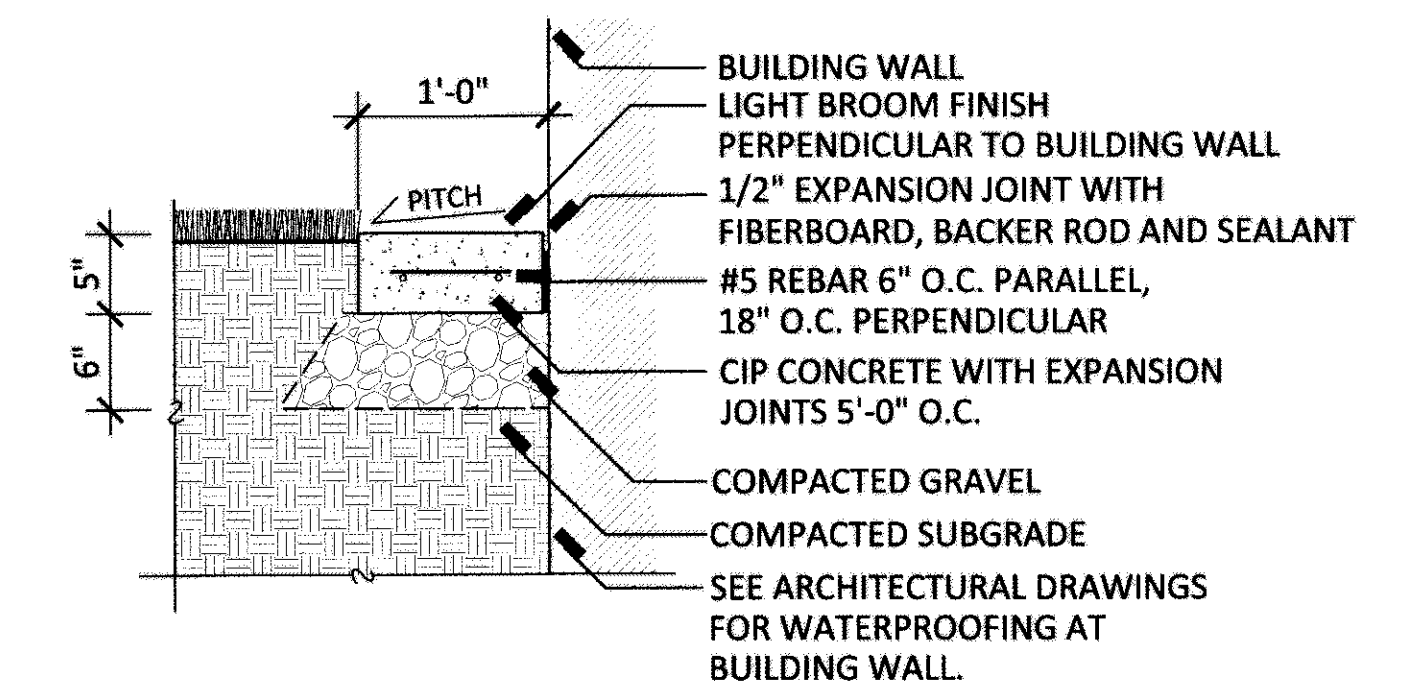
PAXSON AVE



GRAPHIC SCALE



**2** SECTION - CRUSHED STONE WALK  
L101 SCALE - 1"=1'-0"



**1** SECTION - CONCRETE MAINTENANCE STRIP  
L101 SCALE - 1"=1'-0"

Michael J. Mills FAIA  
NIC - 8207  
Michael Schoeninger AIA  
NIC - 12164

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NIC - AS00707

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Project Name & Address

Rogers House  
Constructed  
Ruin

Mercer County Park

Project No

Drawn By

Checked By

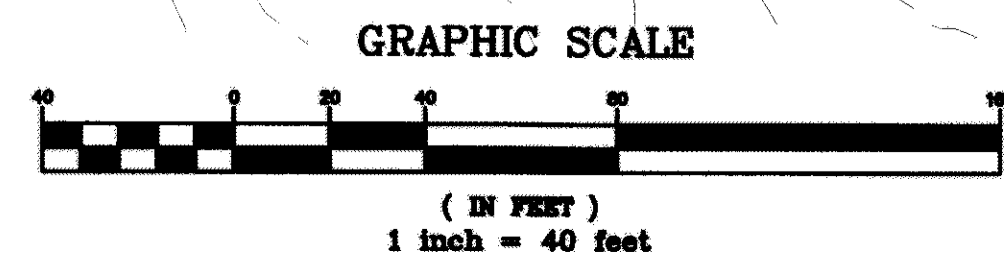
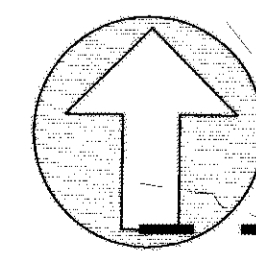
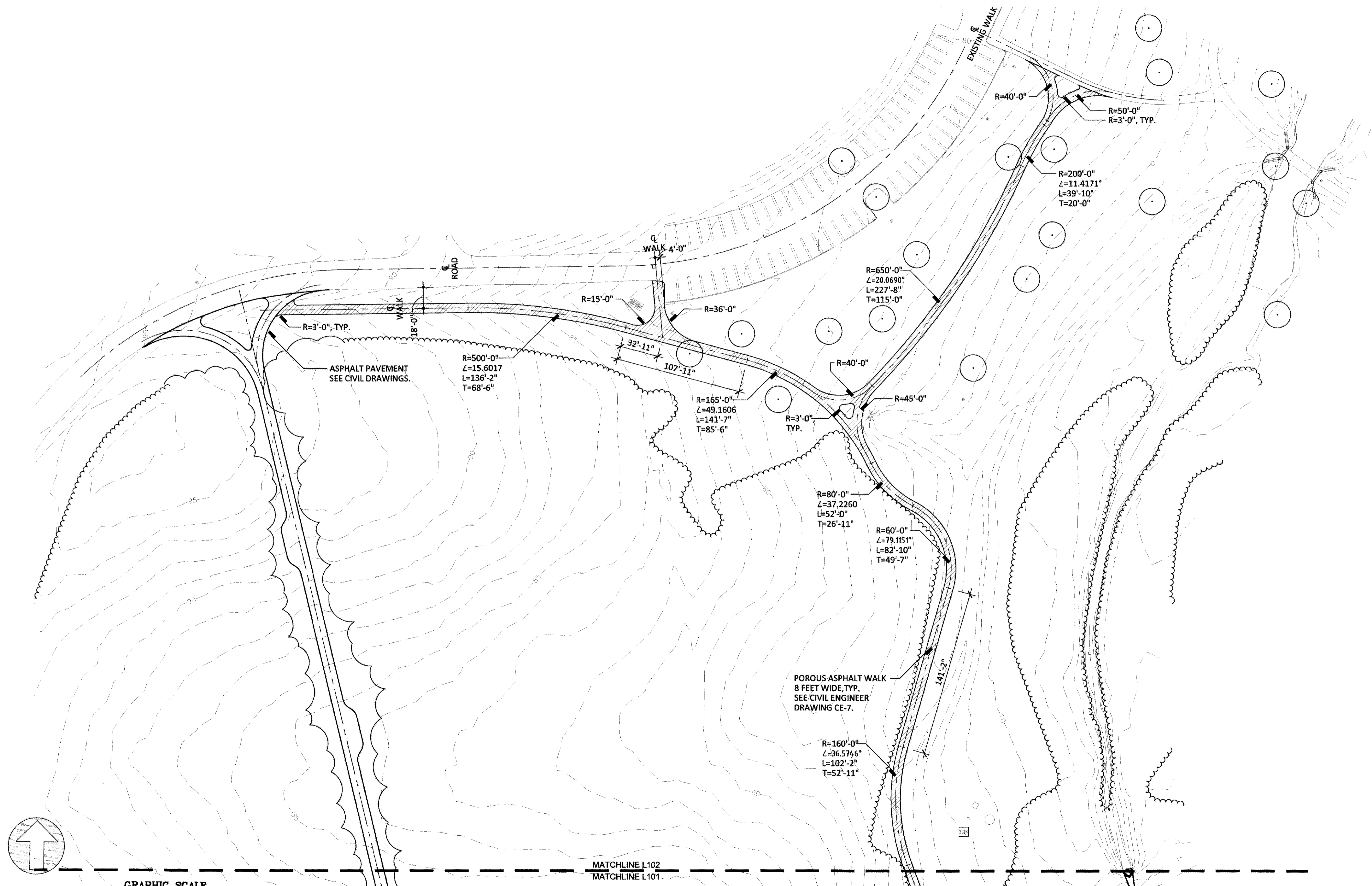
Date October 1, 2017

Issued For  
**CONSTRUCTION  
DOCUMENTS**

Drawing Title  
**LANDSCAPE  
LAYOUT PLAN**

Sheet Number  
**L101**

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MATCHLINE L102  
MATCHLINE L101

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Project Name & Address

**Rogers House  
Constructed  
Ruin**

Mercer County Park

Project No.

Drawn By

Checked By

Date

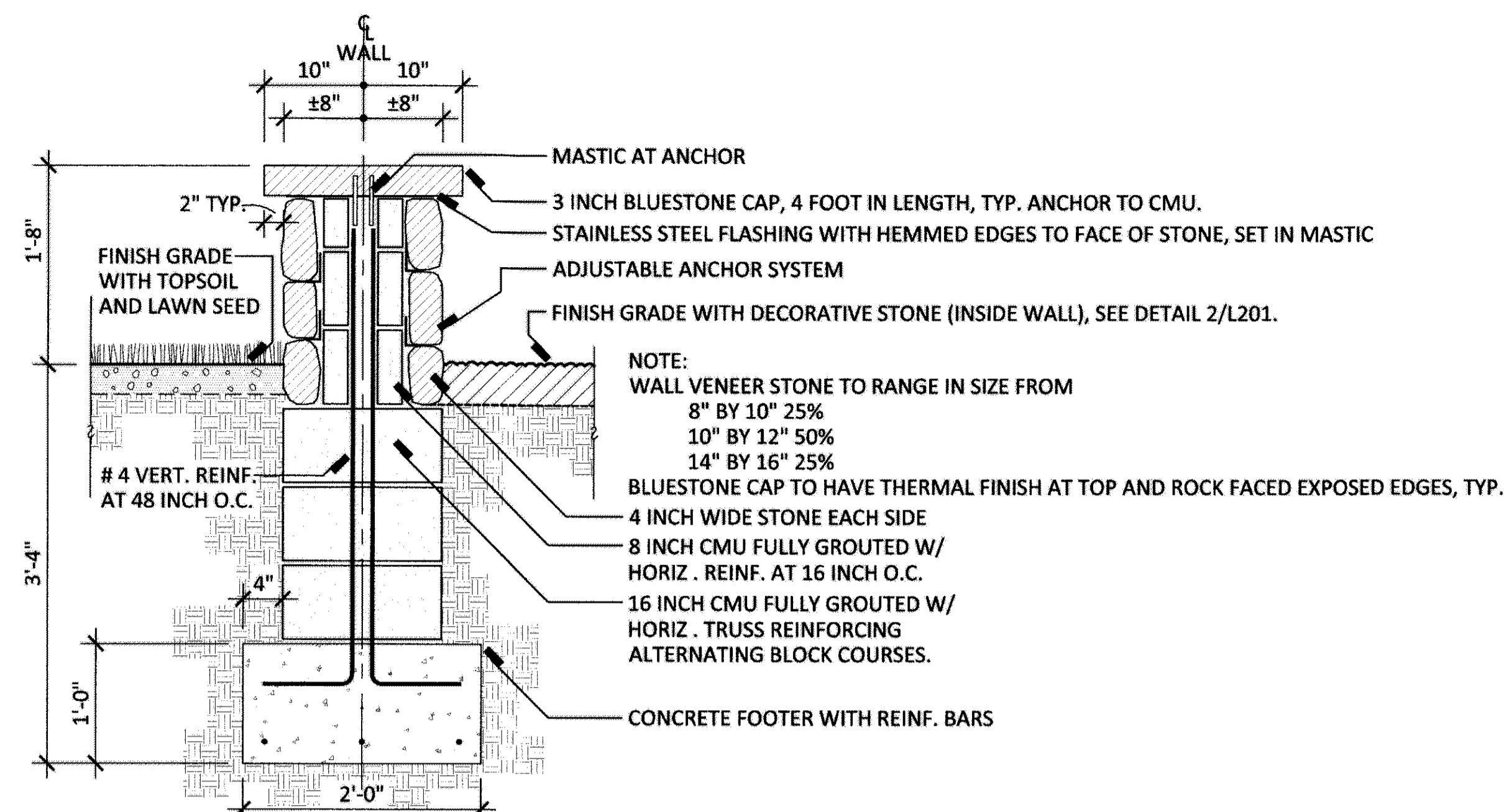
October 1, 2017

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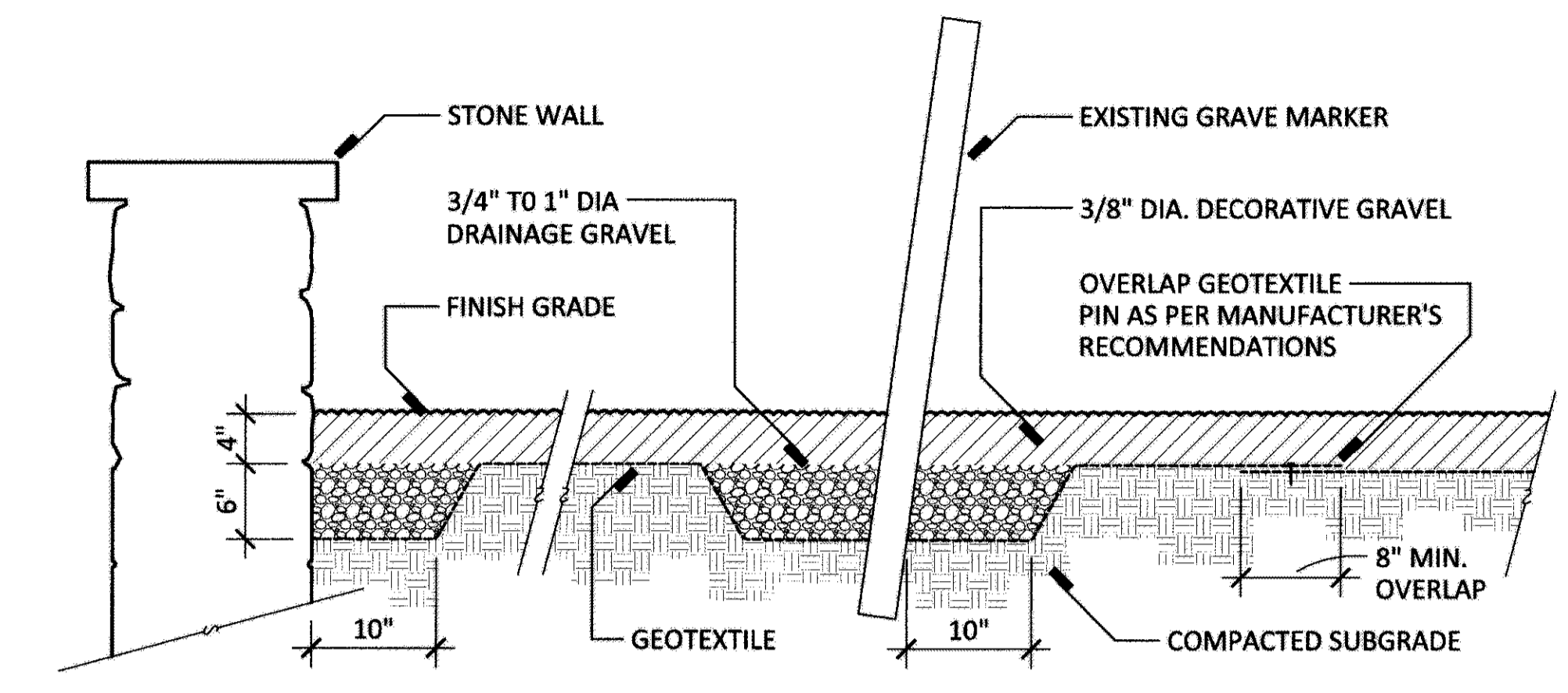
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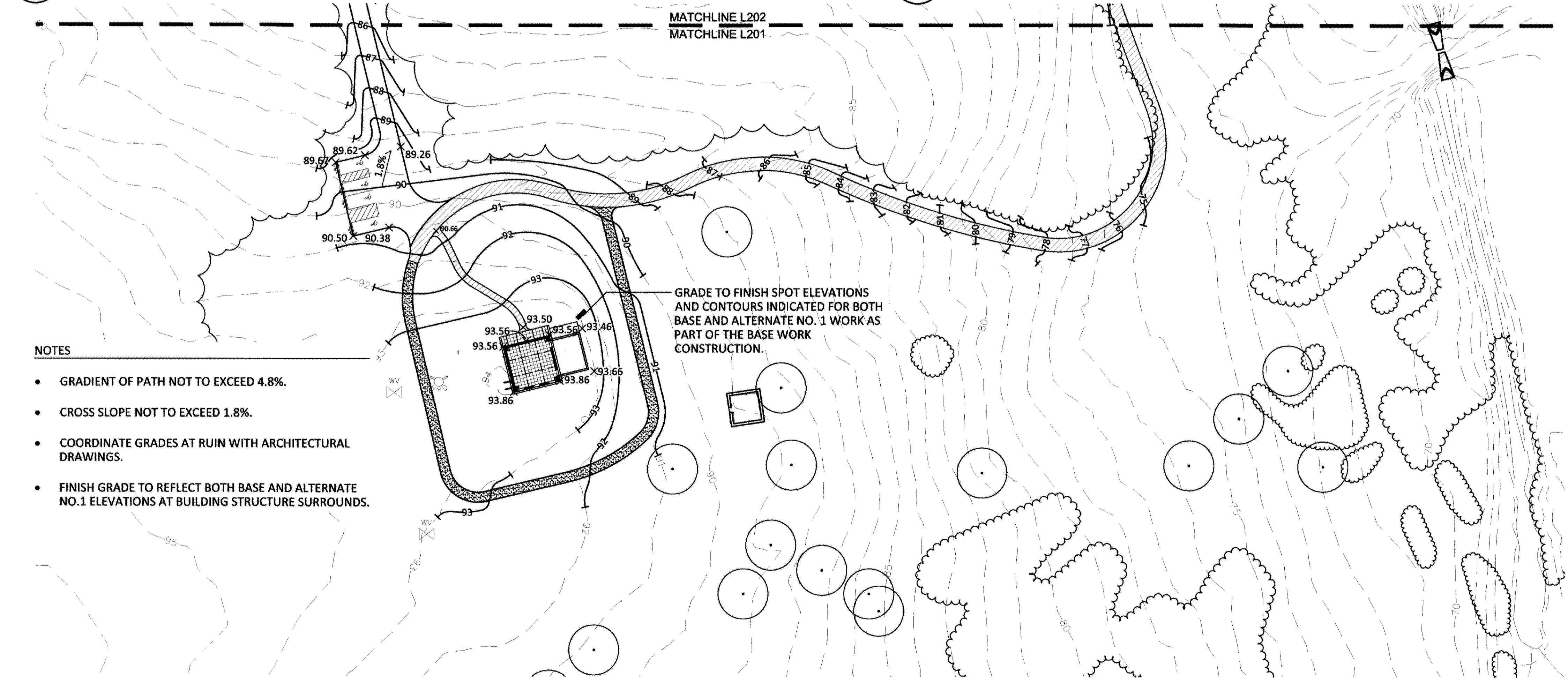
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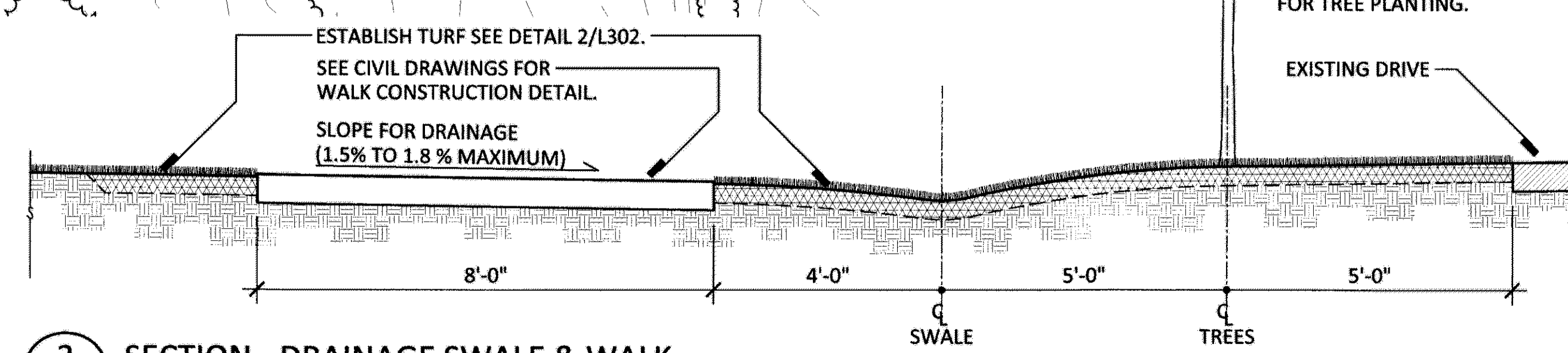
**1 SECTION - STONE WALL AT GRAVEYARD SITE (ALTERNATE NO. 2)**  
 L201 SCALE - 1"=1'-0"



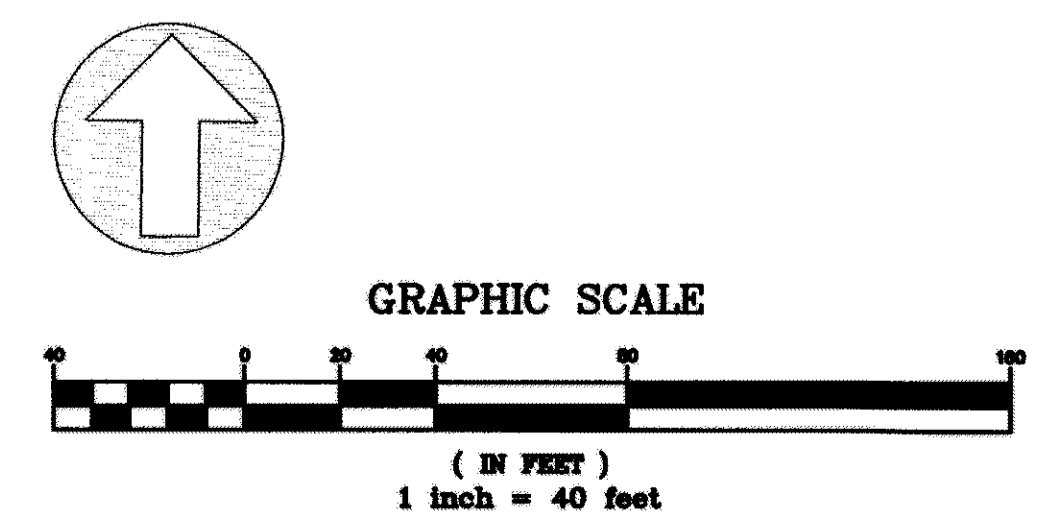
**2 SECTION - DECORATIVE STONE AT GRAVE MARKERS (ALTERNATE NO. 2)**  
 L201 SCALE - 1"=1'-0"



- NOTES**
- GRADIENT OF PATH NOT TO EXCEED 4.8%.
  - CROSS SLOPE NOT TO EXCEED 1.8%.
  - COORDINATE GRADES AT RUIN WITH ARCHITECTURAL DRAWINGS.
  - FINISH GRADE TO REFLECT BOTH BASE AND ALTERNATE NO.1 ELEVATIONS AT BUILDING STRUCTURE SURROUNDS.



**3 SECTION - DRAINAGE SWALE & WALK**  
 L201 SCALE - 1/2"=1'-0"



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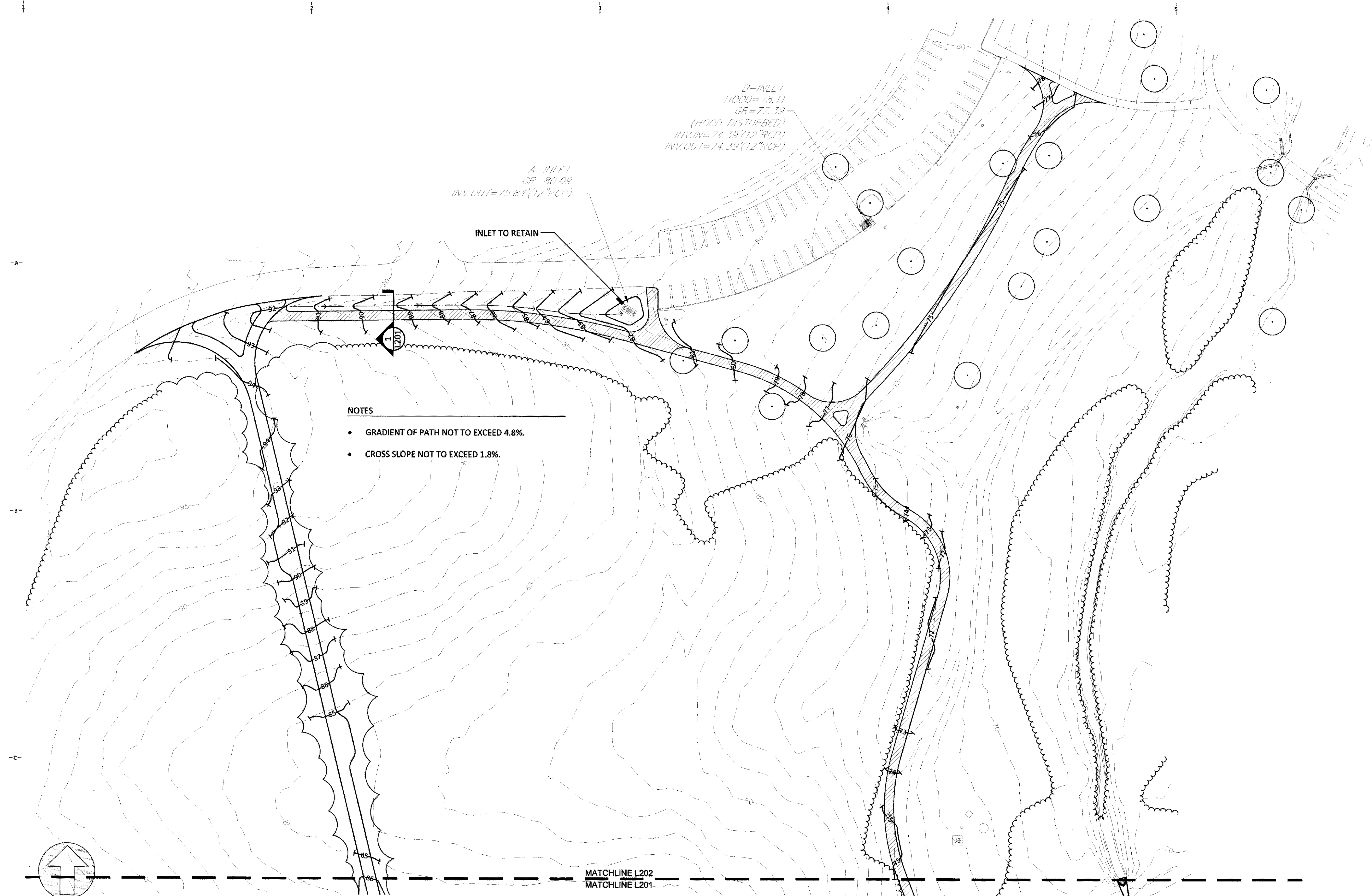
Project Name & Address  
**Rogers House Constructed Ruin**

Mercer County Park

Project No.  
 Drawn By  
 Checked By  
 Date **OCTOBER 1, 2017**

Issued For  
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 Drawing Title  
**LANDSCAPE GRADING PLAN**

Sheet Number  
**L201**



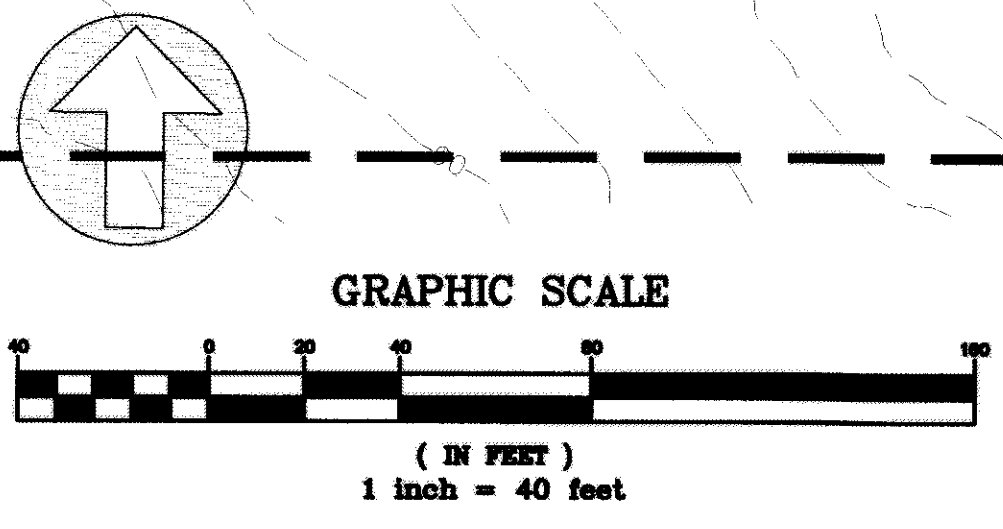
- NOTES**
- GRADIENT OF PATH NOT TO EXCEED 4.8%.
  - CROSS SLOPE NOT TO EXCEED 1.8%.

B-INLET  
 HOOD=78.11  
 GR=77.39  
 (HOOD DISTURBED)  
 INV. IN=74.39 (12" RCP)  
 INV. OUT=74.39 (12" RCP)

A-INLET  
 GR=80.09  
 INV. OUT=75.84 (12" RCP)

INLET TO RETAIN

MATCHLINE L202  
 MATCHLINE L201



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Project Name & Address  
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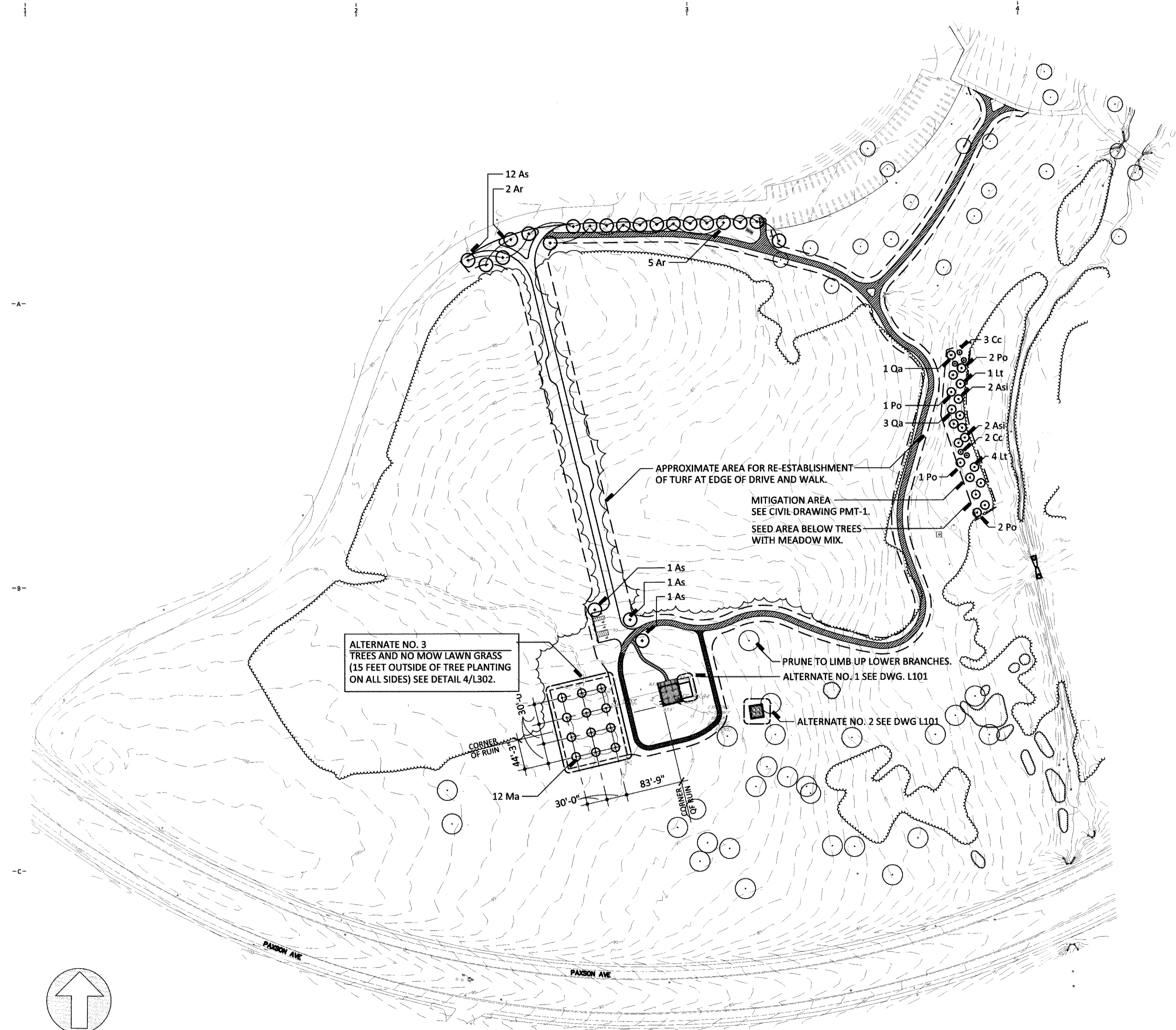
Mercer County Park

Project No.  
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 Checked By  
 Date **OCTOBER 1, 2017**

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 GRADING PLAN**

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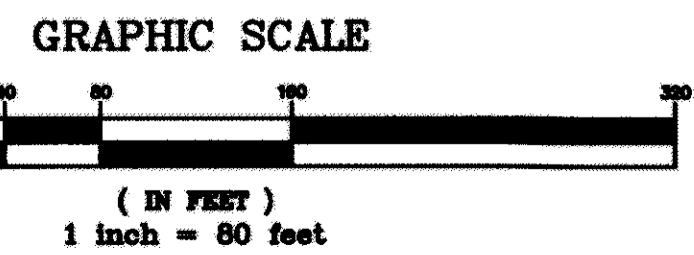
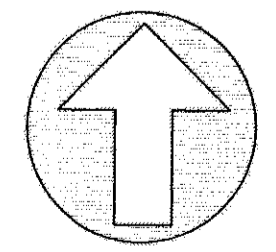


ALTERNATE NO. 3  
TREES AND NO MOW LAWN GRASS  
(15 FEET OUTSIDE OF TREE PLANTING  
ON ALL SIDES) SEE DETAIL 4/L302.

APPROXIMATE AREA FOR RE-ESTABLISHMENT  
OF TURF AT EDGE OF DRIVE AND WALK.  
MITIGATION AREA  
SEE CIVIL DRAWING PMT-1.  
SEED AREA BELOW TREES  
WITH MEADOW MIX.

PRUNE TO LIMB UP LOWER BRANCHES.  
ALTERNATE NO. 1 SEE DWG. L101

ALTERNATE NO. 2 SEE DWG L101



GENERAL NOTES PLANTING

- LANDSCAPE CONTRACTOR TO REVIEW CONDITIONS ON SITE IN ADVANCE OF PLANTING OPERATIONS AND NOTIFY THE PROJECT MANAGER AND OWNERS REPRESENTATIVE IN WRITING OF DEFICIENCIES IN SITE PREPARATION THAT WILL ADVERSELY AFFECT PLANTING OPERATIONS AND ESTABLISHMENT OF HEALTHY PLANT MATERIALS.
- TREES AND SHRUBS TO BE LOCATED ON SITE AND APPROVED BY THE OWNERS REPRESENTATIVE. MATERIALS TO BE ADJUSTED AS REQUESTED BY THE OWNER'S REPRESENTATIVE.
- REVIEW CIVIL ENGINEERING DRAWING (PMT-1) FOR COORDINATION OF PLANTINGS WITHIN THE PROPOSED MITIGATION AREA. NOTIFY PROJECT MANAGER AND OWNERS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE PLANTING AND LANDSCAPE INSTALLATION WORK BETWEEN THE TWO DRAWINGS. DO NOT PROCEED WITH LANDSCAPE INSTALLATION WITHOUT CLARIFICATION AND DIRECTION PROVIDED IN WRITING.
- INSTALL PROTECTIVE TREE SLEEVES AND/OR PROTECTIVE NETTING ON INDIVIDUAL TREES TO PROTECT TREES FROM DEER RUB.
- PLANT MATERIALS IN THE RIPARIAN ZONE MITIGATION AREA (S) INSTALLED AS PART OF THIS CONTRACT WORK ARE TO BE MONITORED AND MAINTAINED FOR NOT LESS THAT THREE GROWING SEASONS. PLANTINGS DETERMINED TO BE FAILING OR DEAD BY THE OWNER'S REPRESENTATIVE OR OWNER SHALL BE REPLACED AS PER THE CONTRACTS SIZE AND SPECIES.
- MEADOW SEEDINGS ARE TO BE MAINTAINED FOR THREE GROWING SEASONS TO AVOID INVASIVE SPECIES COLONIZATION WITHIN THE MITIGATION AREA. WEED TO REMOVE INVASIVE SPECIES ESTABLISHMENT AND RESEED AS NECESSARY TO MAINTAIN A HEALTHY MEADOW AREA.
- NO-MOW/LOW GROW SEEDING AREA BELOW THE ORCHARD AND ALONG THE DRIVE IS TO BE MAINTAINED FOR THREE GROWING SEASONS TO AVOID INVASIVE SPECIES COLONIZATION. WEED TO REMOVE INVASIVE SPECIES ESTABLISHMENT AND RE-SEED AS NECESSARY TO MAINTAIN A HEALTHY NO-MOW/LOW-GROW AREA.
- PROVIDE INSPECTION REPORTS FOR MONITORING OF THE MITIGATION AREA PLANTING TO THE OWNERS REPRESENTATIVE AND OWNER FOR THE DURATION OF THE MONITORING AND MAINTENANCE PERIOD.
- REFER TO TECHNICAL SPECIFICATIONS SECTIONS 32 9200 LAWNES AND 32 9300 PLANTS FOR INSTRUCTION ON THE PURCHASE, INSTALLATION, MANAGEMENT AND MAINTENANCE FOR PLANTING OF TREES, SHRUBS, GROUNDCOVERS, HERBACEOUS MATERIALS, LAWNS AND MEADOW GRASS.

QTY	CODE	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES
7	Ar	Acer rubrum	Red Maple	1 1/2 - 2" CAL	B&B
15	As	Acer saccharum	Sugar Maple	1 1/2 - 2" CAL.	B&B
4	Asi	Acer saccharinum	Silver Maple	1-1 1/2" CAL.	B&B
5	Cc	Cercis canadensis	Eastern Redbud	1-1 1/2" CAL.	B&B
5	Lt	Liriodendron tulipifera	Tuliptree Poplar	1-1 1/2" CAL.	B&B
6	Po	Platanus occidentalis	American Sycamore	1-1 1/2" CAL.	B&B
4	Qa	Quercus alba	White Oak	1-1 1/2" CAL.	B&B

ALTERNATE NO. 3 PLANT LIST

12	Ma	Malus 'Professor Sprenger'	Professor Sprenger Crab	1-1 1/2" CAL.	B&B
----	----	----------------------------	-------------------------	---------------	-----

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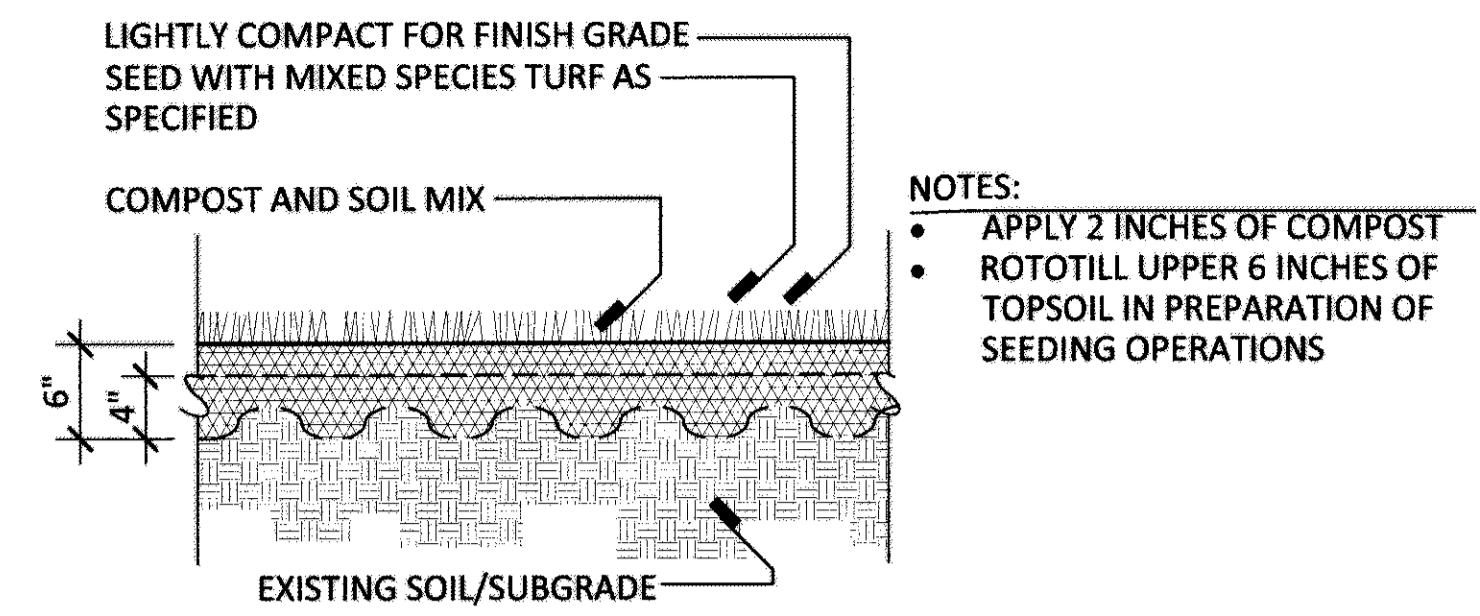
Project Name & Address  
**Rogers House  
Constructed  
Ruin**

Mercer County Park

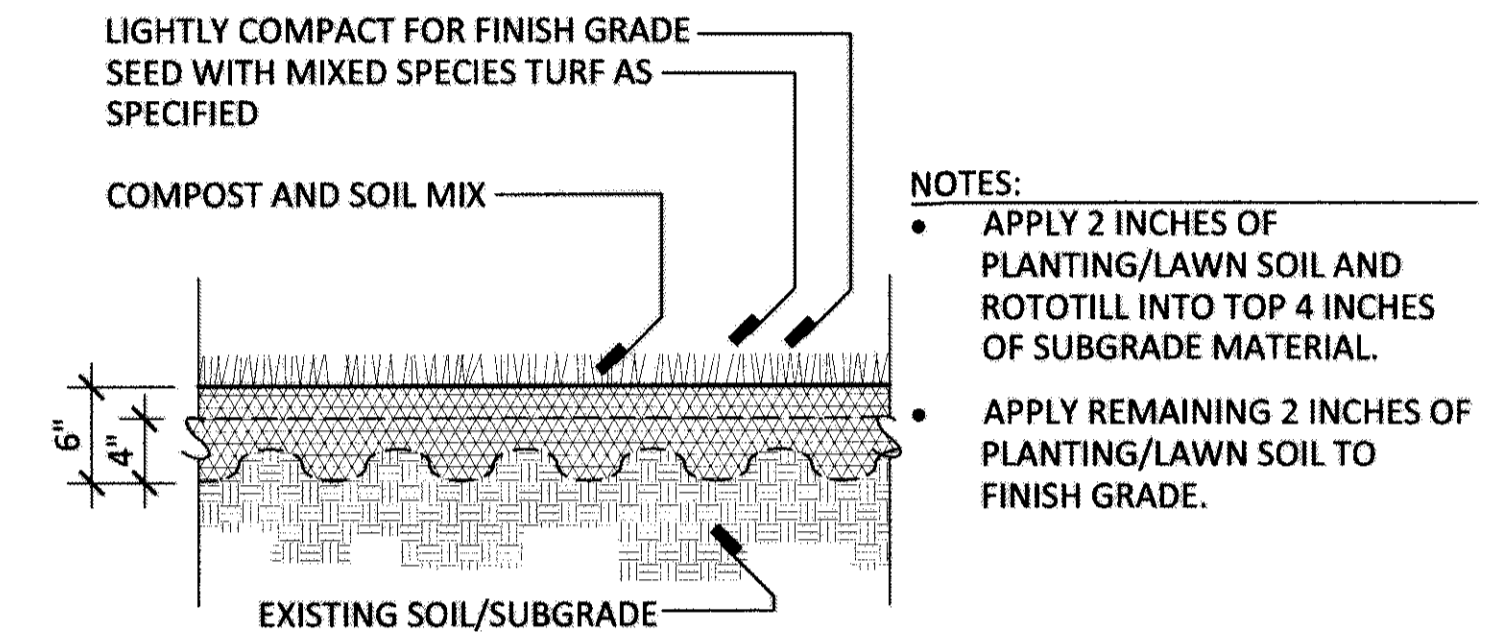
Project No.  
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Checked By  
Date  
OCTOBER 1, 2017

Issued For  
**CONSTRUCTION  
DOCUMENTS**  
Drawing Title  
**LANDSCAPE  
PLANTING PLAN**

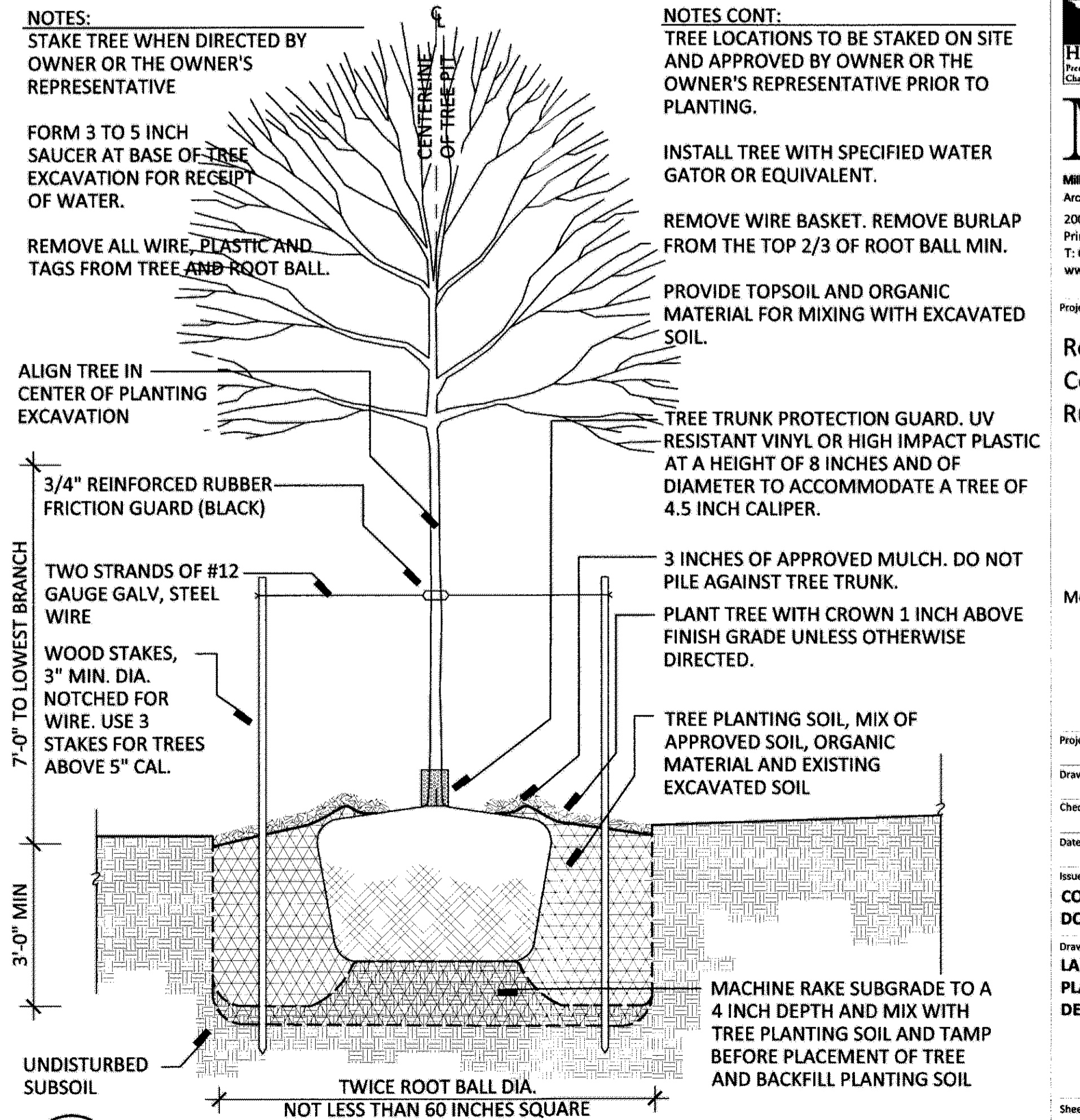
Sheet Number  
**L301**



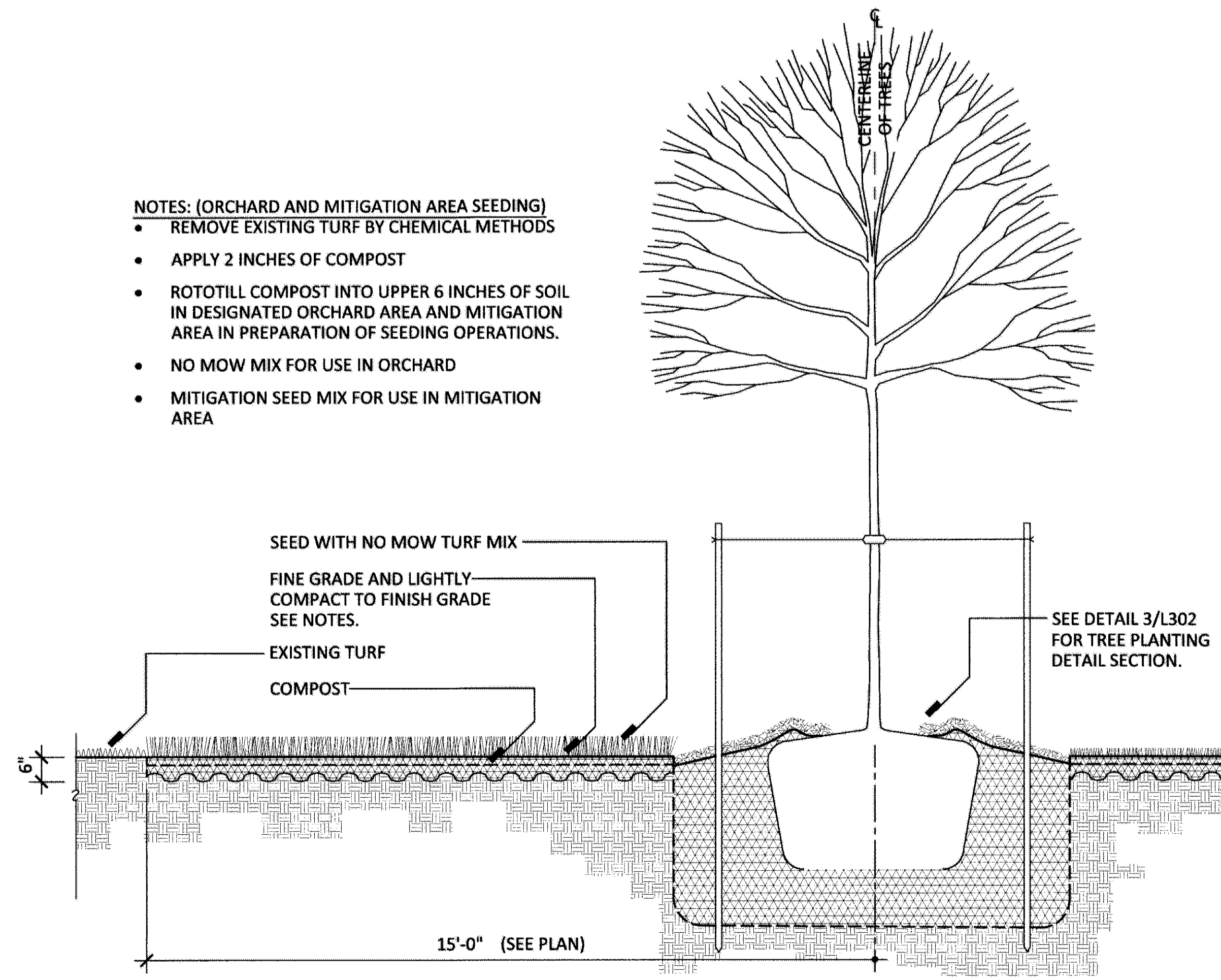
**1**  
SECTION - TURF REESTABLISHMENT IN AREAS DISTURBED BY CONSTRUCTION  
L302 SCALE - NOT TO SCALE



**2**  
SECTION - TURF ESTABLISHMENT IN AREAS OF REGRADING OR SOIL DISTURBANCE  
L302 SCALE - NOT TO SCALE



**3**  
SECTION - TREE PLANTING  
L302 SCALE - NOT TO SCALE



**4**  
SECTION - NO MOW TURF AT ORCHARD AND MEADOW MIX AT MITIGATION AREA  
L302 SCALE - 1/2"=1'-0"

- NOTES: (ORCHARD AND MITIGATION AREA SEEDING)**
- REMOVE EXISTING TURF BY CHEMICAL METHODS
  - APPLY 2 INCHES OF COMPOST
  - ROTOTILL COMPOST INTO UPPER 6 INCHES OF SOIL IN DESIGNATED ORCHARD AREA AND MITIGATION AREA IN PREPARATION OF SEEDING OPERATIONS.
  - NO MOW MIX FOR USE IN ORCHARD
  - MITIGATION SEED MIX FOR USE IN MITIGATION AREA

- NOTES:**
- STAKE TREE WHEN DIRECTED BY OWNER OR THE OWNER'S REPRESENTATIVE

FORM 3 TO 5 INCH SAUCER AT BASE OF TREE EXCAVATION FOR RECEIPT OF WATER.

REMOVE ALL WIRE, PLASTIC AND TAGS FROM TREE AND ROOT BALL.

ALIGN TREE IN CENTER OF PLANTING EXCAVATION

3/4" REINFORCED RUBBER FRICTION GUARD (BLACK)

TWO STRANDS OF #12 GAUGE GALV. STEEL WIRE

WOOD STAKES, 3" MIN. DIA. NOTCHED FOR WIRE. USE 3 STAKES FOR TREES ABOVE 5" CAL.

7'-0" TO LOWEST BRANCH

3'-0" MIN

UNDISTURBED SUBSOIL

TWICE ROOT BALL DIA. NOT LESS THAN 60 INCHES SQUARE

- NOTES CONT:**
- TREE LOCATIONS TO BE STAKED ON SITE AND APPROVED BY OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.

INSTALL TREE WITH SPECIFIED WATER GATOR OR EQUIVALENT.

REMOVE WIRE BASKET. REMOVE BURLAP FROM THE TOP 2/3 OF ROOT BALL MIN.

PROVIDE TOPSOIL AND ORGANIC MATERIAL FOR MIXING WITH EXCAVATED SOIL.

TREE TRUNK PROTECTION GUARD. UV RESISTANT VINYL OR HIGH IMPACT PLASTIC AT A HEIGHT OF 8 INCHES AND OF DIAMETER TO ACCOMMODATE A TREE OF 4.5 INCH CALIPER.

3 INCHES OF APPROVED MULCH. DO NOT PILE AGAINST TREE TRUNK.

PLANT TREE WITH CROWN 1 INCH ABOVE FINISH GRADE UNLESS OTHERWISE DIRECTED.

TREE PLANTING SOIL, MIX OF APPROVED SOIL, ORGANIC MATERIAL AND EXISTING EXCAVATED SOIL

MACHINE RAKE SUBGRADE TO A 4 INCH DEPTH AND MIX WITH TREE PLANTING SOIL AND TAMP BEFORE PLACEMENT OF TREE AND BACKFILL PLANTING SOIL

Michael J. Mills FAIA  
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Patricia M. O'Donnell FASLA  
NIC - AS00707

Revisions

Heritage Landscapes  
Preservation Landscapes Architects & Planners  
Charlotte, Vermont & Norwich, Connecticut

**M+S**  
a

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Project Name & Address

Rogers House  
Constructed  
Ruin

Mercer County Park

Project No

Drawn By

Checked By

Date

OCTOBER 1, 2017

Issued For

CONSTRUCTION DOCUMENTS

Drawing Title

LANDSCAPE PLANTING DETAILS

Sheet Number

L302

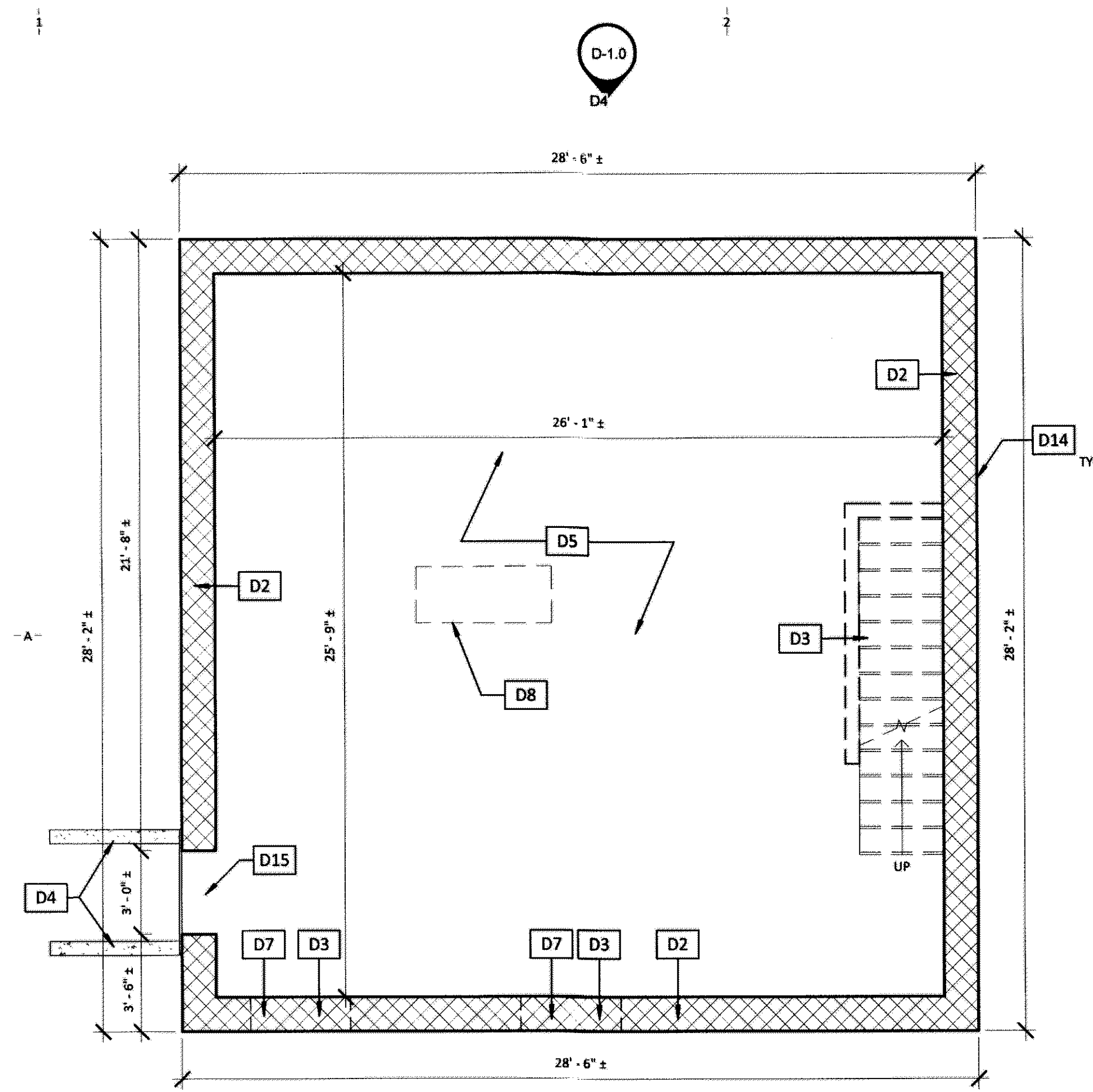


Mills

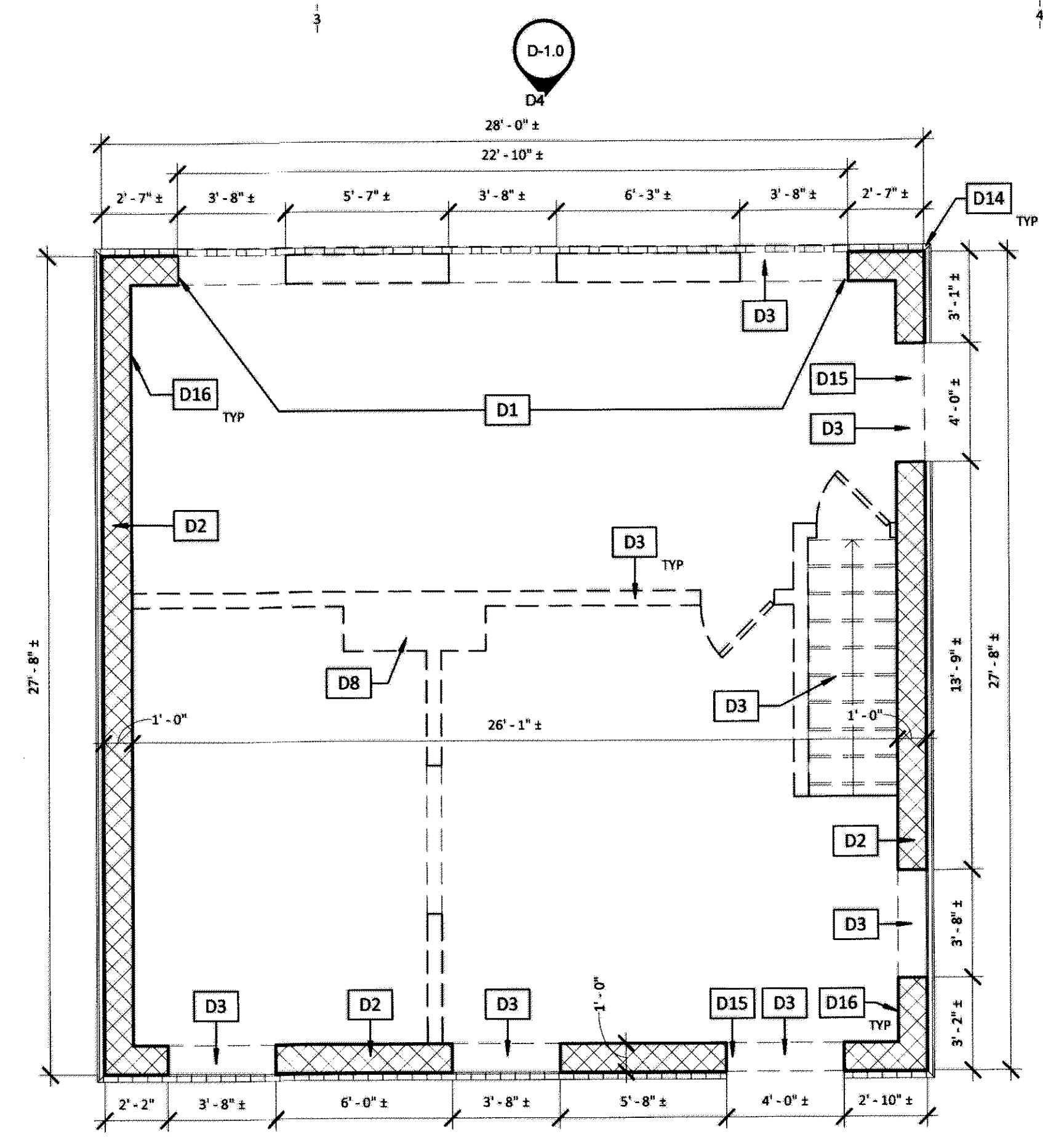
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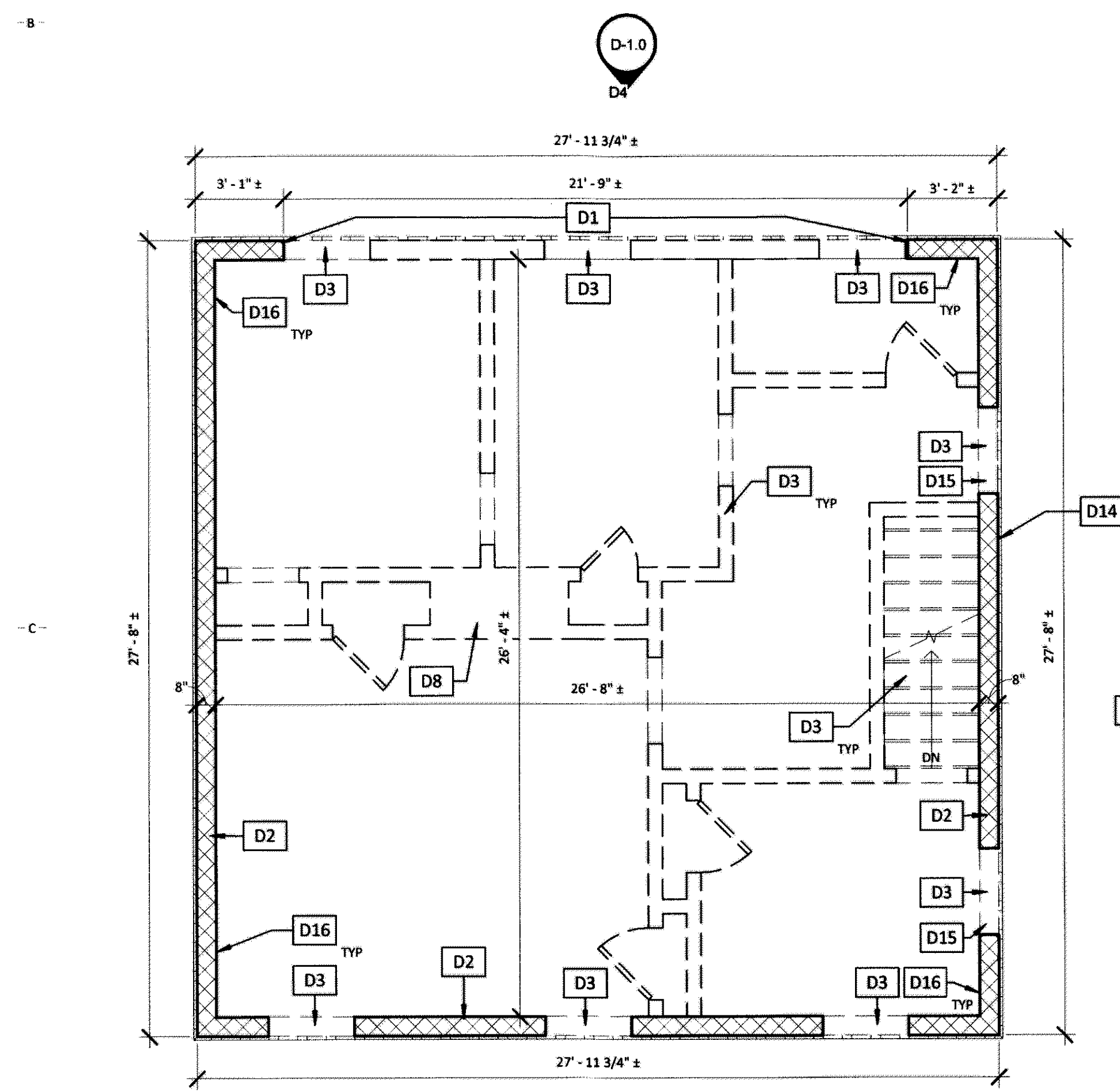
Revisions



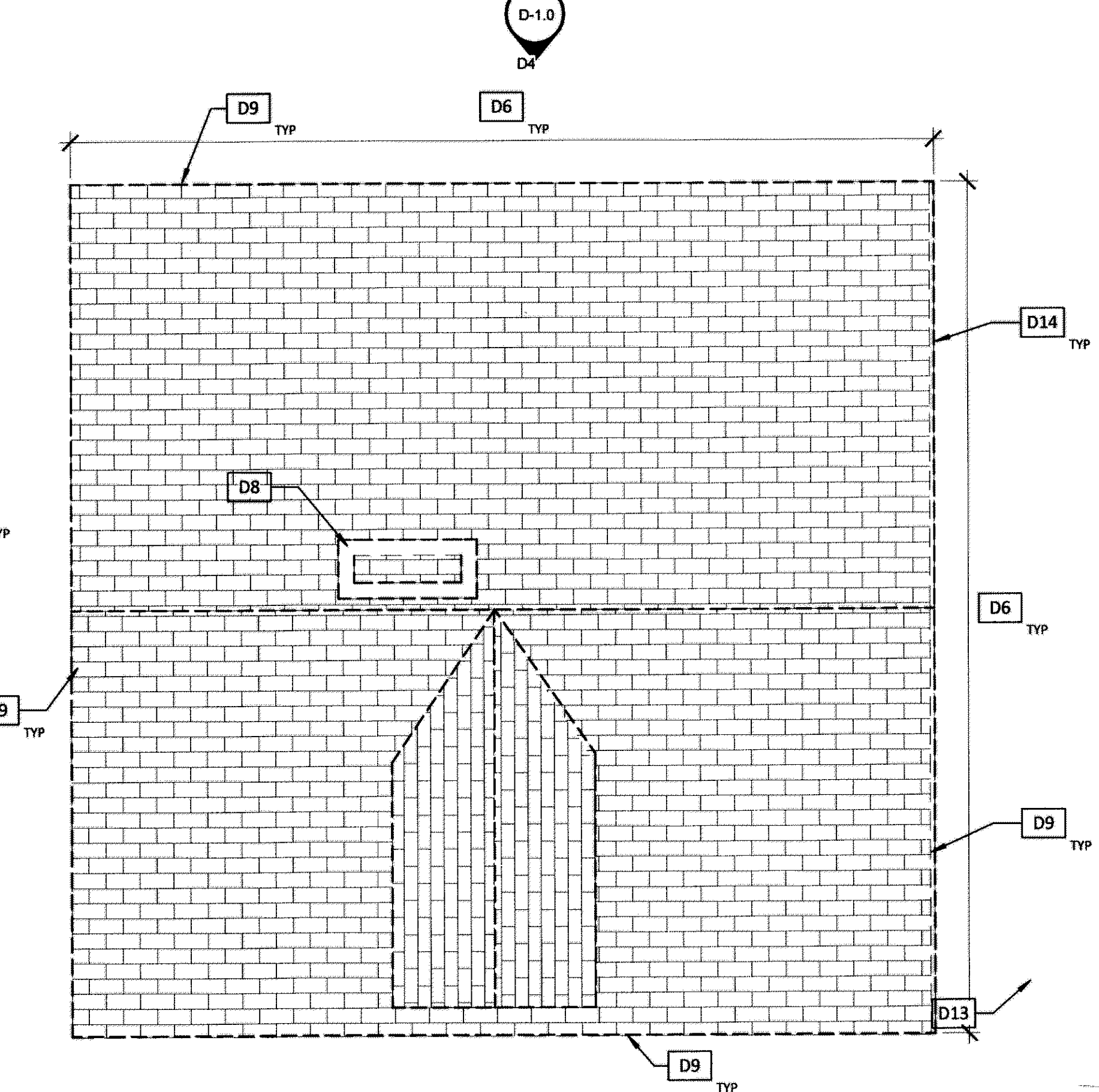
**B1** DEMOLITION PLAN - BASEMENT  
SCALE: 1/4" = 1'-0"



**B3** DEMOLITION PLAN - FIRST FLOOR  
SCALE: 1/4" = 1'-0"



**D1** DEMOLITION PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"



**D3** DEMOLITION PLAN - ROOF  
SCALE: 1/4" = 1'-0"

**DEMOLITION FLOOR PLAN LEGEND**

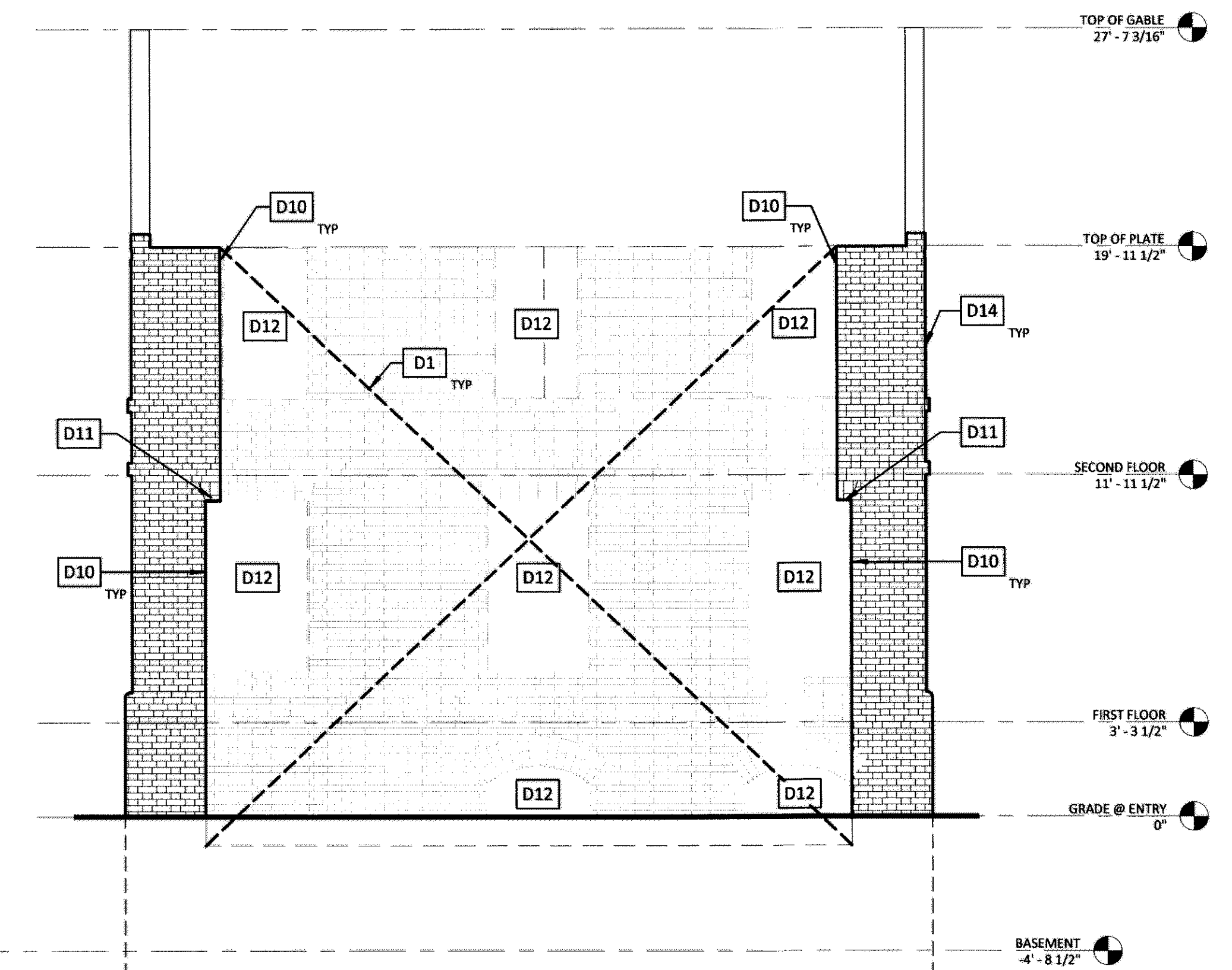
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	PARTIAL DEMOLITION OF WALL, SEE DEMOLITION NOTES
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	GENERAL AREA OF DEMOLITION, SEE DEMOLITION NOTES FOR MORE INFORMATION
	KEYNOTE TAG

**DEMOLITION GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL CONDITIONS IN FIELD PRIOR TO DEMOLITION AND TO CORRDINATE ALL DEMOLITION ACTIVITIES WITH INTENDED CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT FOR RESOLUTION.
- PROTECT ALL CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION OF ADJACENT CONSTRUCTION. REPAIR/REPLACE CONSTRUCTION TO REMAIN DAMAGED DURING DEMOLITION TO MATCH THE QUALITY OF THE NEW WORK.
- ALL DEMOLITION WORK WILL BE DONE WITH HAND TOOLS.
- REVIEW RELOCATION OF EXISTING ELECTRICAL SWITCHES, OUTLETS, FIXTURES (IF ANY) WITH ARCHITECT PRIOR TO DEMOLITION.
- SALVAGED ITEMS TO BE REINSTALLED IN CONJUNCTION WITH NEW WORK TO BE STORED IN A SAFE, SECURE, AND DRY LOCATION AND TO NOT INTERFERE WITH OCCUPANT EGRESS, ACTIVITIES, OR SPACE REQUIREMENTS.
- CONTRACTOR TO DISPOSE OF DEMOLISHED MATERIALS OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE SIGNED AND SEALED ENGINEERED DEMOLITION DOCUMENTS. CONTRACTOR'S ENGINEER SHALL BE A NEW JERSEY LICENSED ENGINEER.

**DEMOLITION KEYNOTES**

- D1** REMOVE EXISTING WALL FROM BELOW GRADE TO FULL HEIGHT, AT WIDTH INDICATED, ALL EXISTING BRICK IS TO BE SALVAGED AND STORED FOR REUSE.
- D2** TEMPORARY SHORING WILL BE REQUIRED TO HOLD THE REMAINING THREE BRICK WALLS IN PLACE
- D3** ALL WOOD COMPONENTS OF THE BUILDING SHALL BE REMOVED INCLUDING FRAMING, WINDOWS, DOORS, LINTELS, FURRING, FLOORING, STAIRS, MISCELLANEOUS LUMBER, INTERIOR PARTITIONS, AND TRIM.
- D4** EXISTING RETAINING WALLS TO REMAIN
- D5** ALL EQUIPMENT SHALL BE REMOVED INCLUDING PIPING, WIRING AND ALL ASSOCIATED MATERIALS
- D6** REMOVE EXISTING ROOFING, FRAMING, TRIM, GUTTERS AND ALL ASSOCIATED MATERIAL IN THEIR ENTIRETY
- D7** EXISTING ARCHED MASONRY OPENINGS ABOVE
- D8** REMOVE EXISTING MASONRY CHIMNEY
- D9** REMOVE EXISTING CORNICE IN ITS ENTIRETY
- D10** DEMOLITION EXTENT: ALIGN WITH EXISTING WINDOW JAMB
- D11** DEMOLITION EXTENT: ALIGN WITH EXISTING WINDOW HEAD
- D12** OUTLINE OF EXISTING MASONRY OPENINGS IN REMOVED WALL
- D13** REMOVE WALL TO 1'-0" BELOW NEW PAVING ELEVATION
- D14** REMOVE EXISTING BRACING IN ITS ENTIRETY, INCLUDING LUMBER, FASTENERS, CONNECTIONS, AND FOOTINGS. COORDINATE REMOVAL WITH CONTRACTOR'S DEMOLITION ENGINEER.
- D15** REMOVE EXISTING WOOD LINTELS. PROVIDE TEMPORARY SHORING AS REQUIRED.
- D16** REMOVE ALL EXISTING PLASTER AND FURRING TO EXISTING MASONRY.



**D4** DEMOLITION ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"

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Project Name & Address

**ROGERS HOUSE  
CONSTRUCTED RUIN**

MERCER COUNTY  
MERCER COUNTY PARK

Project No 1507

Drawn By IE

Checked By MV

Date OCTOBER 1, 2017

Issued For **CONSTRUCTION DOCUMENTS**

Drawing Title **FLOOR PLANS - DEMOLITION**

Sheet Number

**D-1.0**

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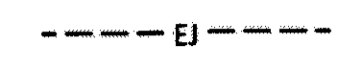


*Mills*

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Michael Schroering AIA  
NIC - 12164

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Revisions

**FLOOR PLAN LEGEND**

-  EXIST MASONRY WALL
-  COLUMN LINE
-  EXPANSION JOINT
-  ALTERNATE KEYNOTE
-  KEYNOTE TAG

**GENERAL FLOOR PLAN NOTES**

1. ALL DIMENSIONS TO FINISHED FACE OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. REPORT ALL DISCREPANCIES IN THESE DRAWINGS AND RELATED SPECIFICATIONS TO ARCHITECT FOR RESOLUTION PRIOR TO START OF CONSTRUCTION. FAILURE TO VERIFY ALL CONDITIONS AFFECTING THE WORK AND FAILURE TO REPORT DISCREPANCIES WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE COORDINATION OF ALL ASPECTS OF THE WORK.
3. ALL MATERIAL TO REMAIN IS TO BE PROTECTED DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE.
4. REFER TO SPECIFICATIONS AND ALL TRADE DRAWINGS FOR ADDITIONAL INFORMATION.
5. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SUPPORT AND SHORING.

**PLAN KEYNOTES**

- P1 EXISTING MASONRY WALL
- P2 NEW OPENING IN EXISTING MASONRY WALL w/ STEEL PLATE OR STEEL TUBE COVER AT NEWLY EXPOSED EDGES
- P3 STAMPED CONCRETE ACCENT, FLUSH w/ ADJACENT. REFER TO A-1.2.
- P4 STEEL CONNECTION TO EXISTING MASONRY WALL, REFER TO STRUCTURAL.
- P5 STEEL PLATE ON EXISTING MASONRY SHELF
- P6 EXISTING MASONRY OPENING w/ STEEL PLATE INSERTS
- P7 CONCRETE PIER AND CONCRETE FOOTING BELOW, REFER TO STRUCTURAL.
- P8 STEEL COLUMNS, REFER TO STRUCTURAL
- P9 STEEL BEAMS, REFER TO STRUCTURAL
- P10 EXISTING MASONRY SHELF BELOW
- P11 INFILL TO GRADE w/ COMPACTED FILL AS REQUIRED
- P12 EXISTING BASEMENT ACCESS OPENING: INFILL w/ SOLID 12" CMU, COVER w/ 1" CEMENT PARING BOTH SIDES
- P13 EXISTING ARCHED MASONRY OPENINGS ABOVE w/STEEL PLATE INSERTS
- P14 STAMPED CONCRETE SLAB ON GRADE. REFER TO A-1.2. SLOPE AS INDICATED
- P15 STAMPED CONCRETE FIELD PATTERN
- P16 STAMPED CONCRETE ACCENT PATTERN #1 - ORIGINAL WALL LOCATIONS
- P17 STAMPED CONCRETE ACCENT PATTERN #2 - ORIGINAL CHIMNEY LOCATIONS
- P18 STAMPED CONCRETE ACCENT PATTERN #3 - ORIGINAL STAIR LOCATION
- P19 NEW STEEL LINTEL. REFER TO STRUCTURAL.

**ALTERNATES**

- ALTERNATE #1 PATIO PAVING
- ALTERNATE #2 CEMETERY WALL & DEMOLITION
- ALTERNATE #3 PEACH ORCHARD

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Project Name & Address

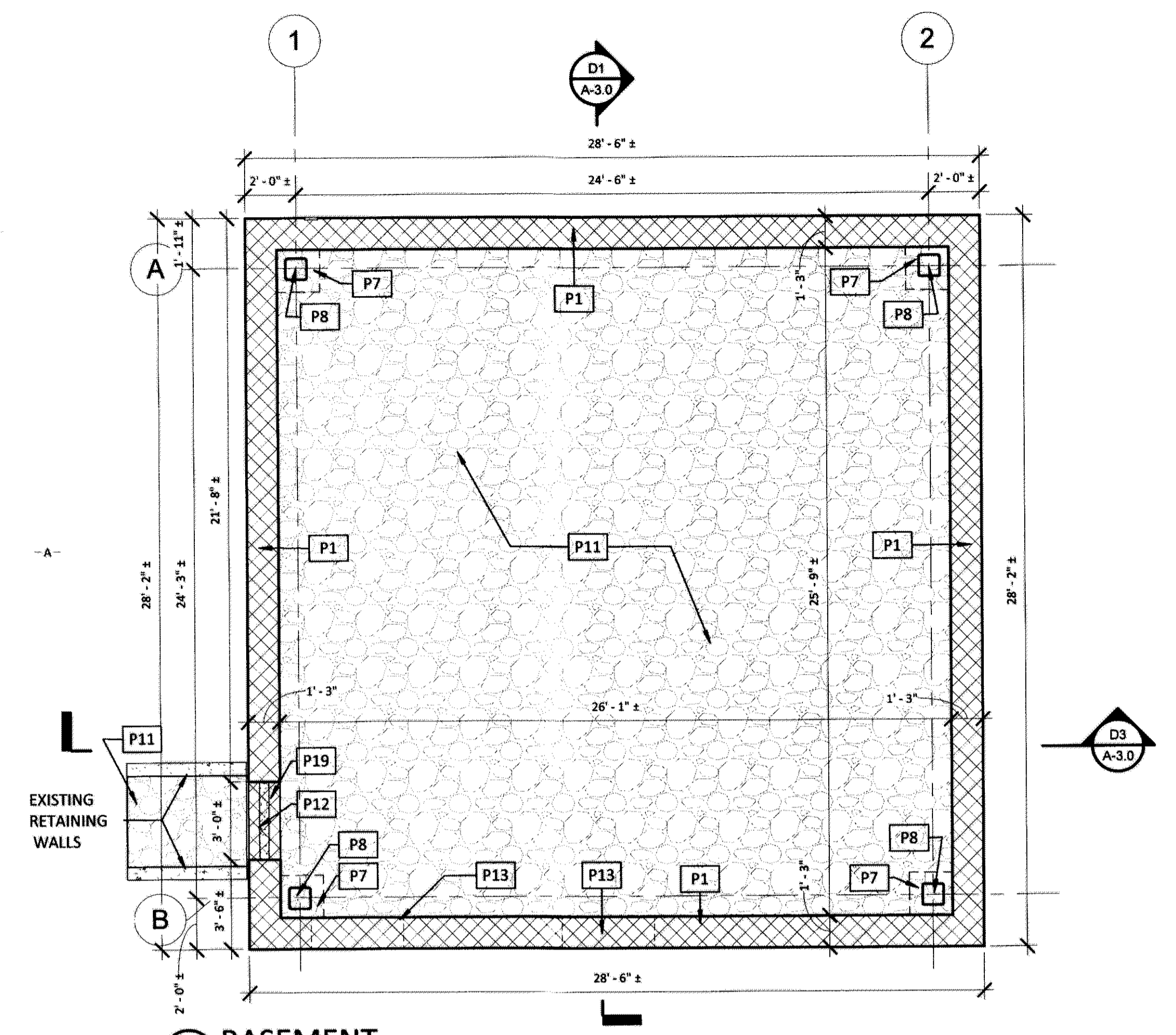
**ROGERS HOUSE  
CONSTRUCTED  
RUIN**

MERCER COUNTY  
MERCER COUNTY PARK

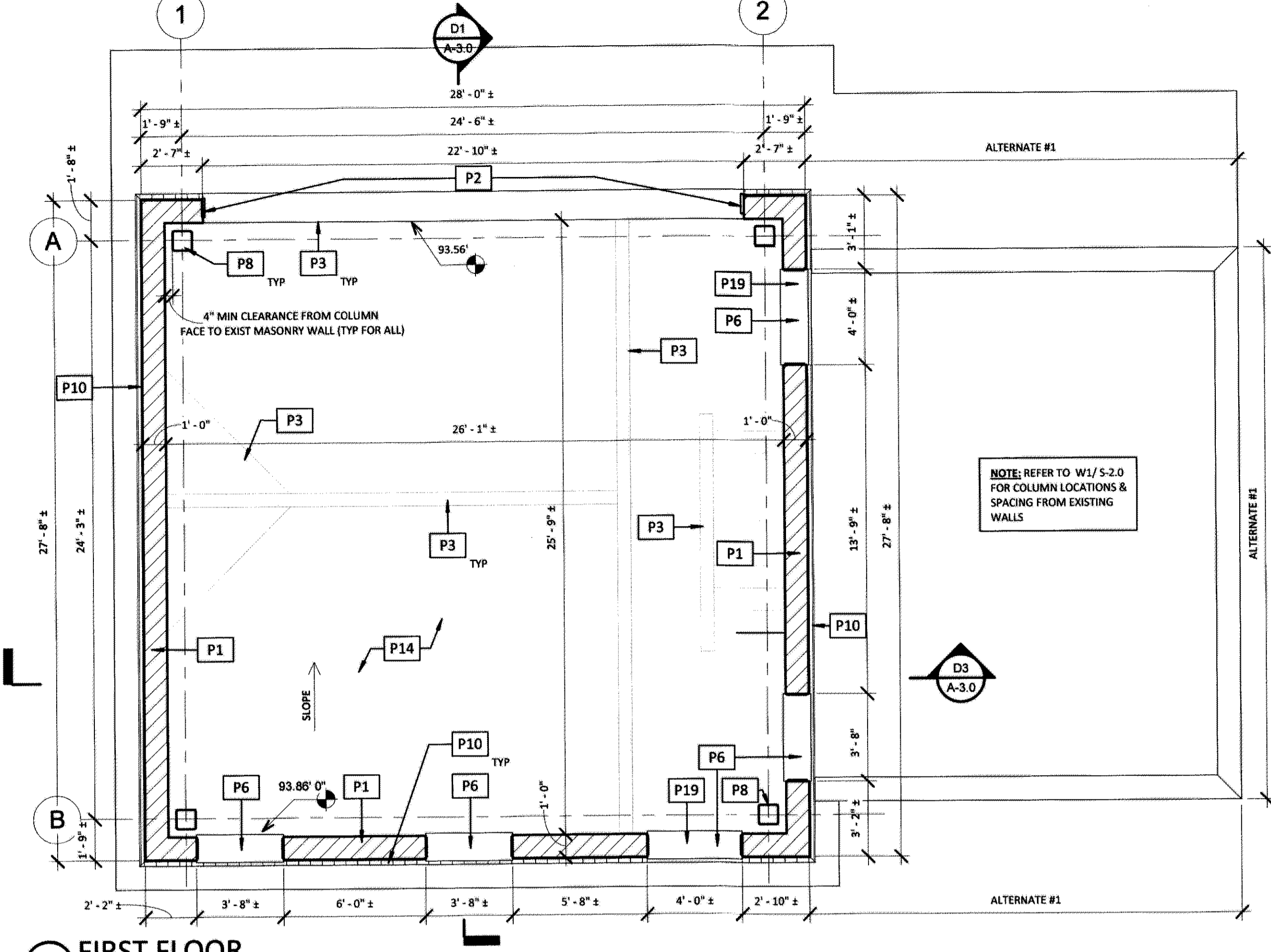
Project No 1507  
Drawn By IE  
Checked By MV  
Date OCTOBER 1, 2017  
Issued For  
**CONSTRUCTION DOCUMENTS**  
Drawing Title  
FLOOR PLANS

Sheet Number

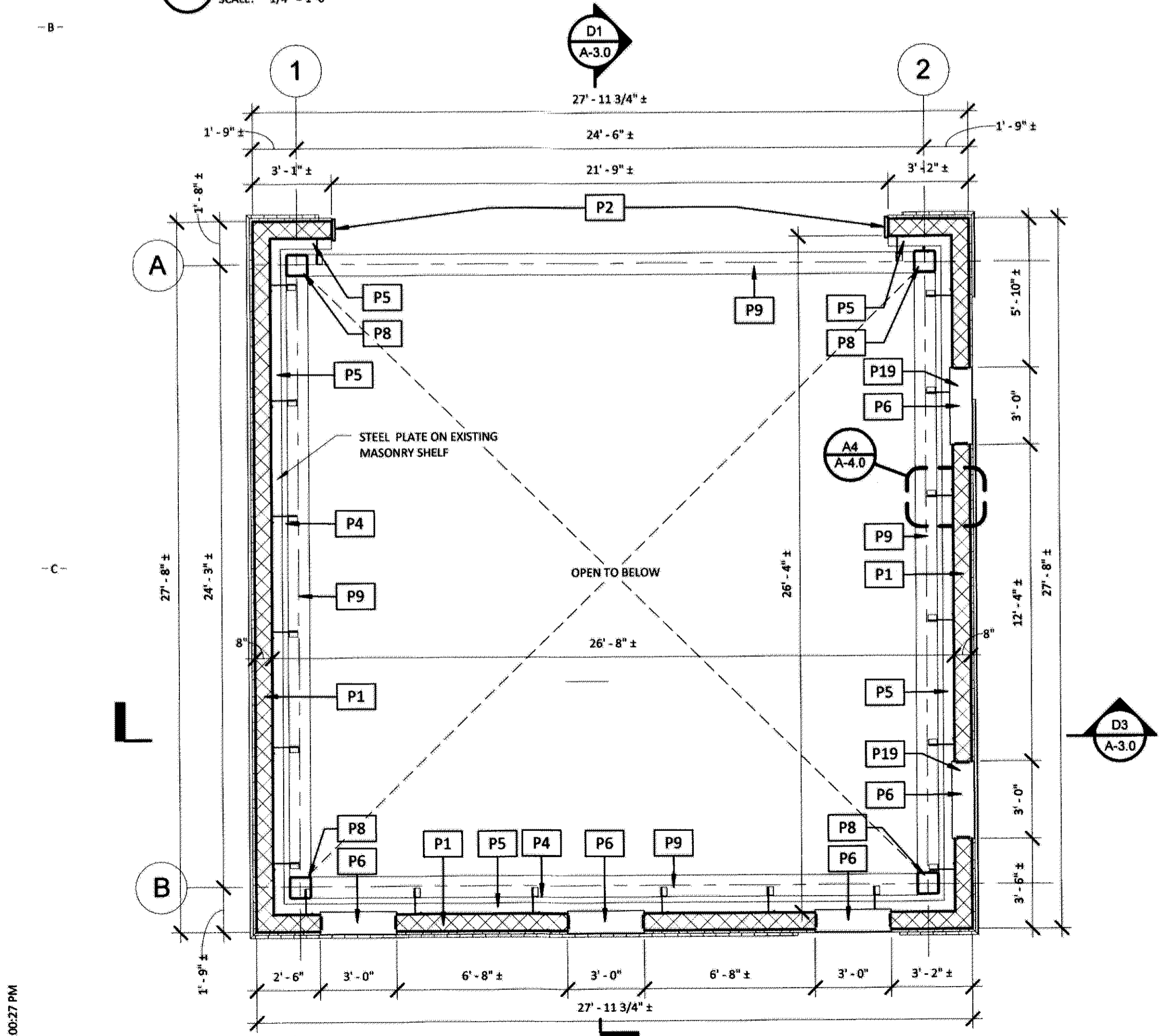
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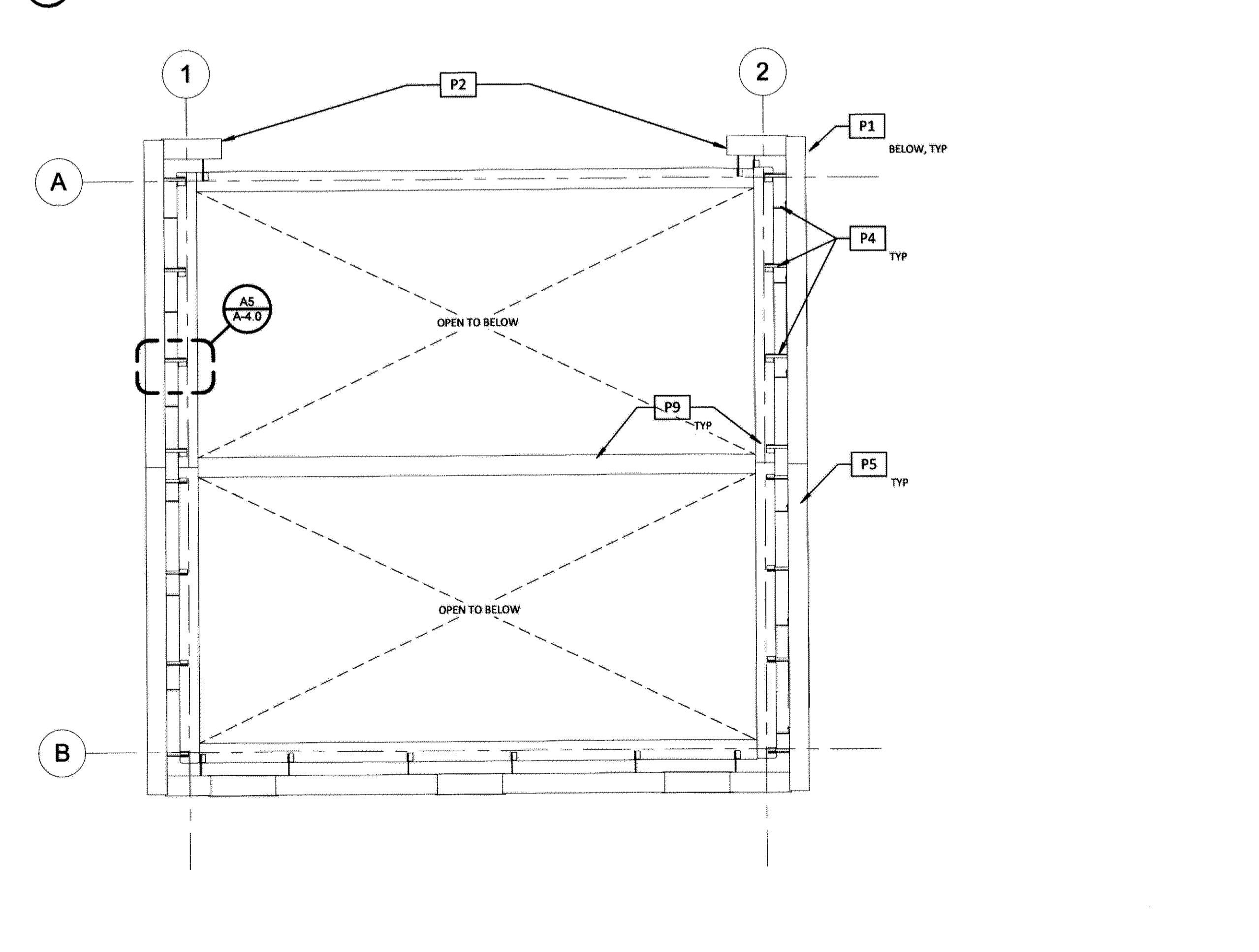
**B1 BASEMENT**  
SCALE: 1/4" = 1'-0"



**B3 FIRST FLOOR**  
SCALE: 1/4" = 1'-0"



**D1 SECOND FLOOR**  
SCALE: 1/4" = 1'-0"



**D3 ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

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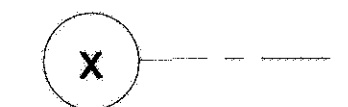
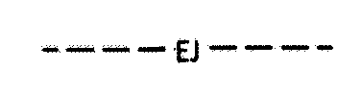


*Michael J. Mills*

Michael J. Mills FAIA  
 NJC - 8207  
 Michael Schnoering AIA  
 NJC - 12164

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Revisions

**FLOOR PLAN LEGEND**

-  EXIST MASONRY WALL
-  COLUMN LINE
-  EXPANSION JOINT
-  ALTERNATE KEYNOTE
-  KEYNOTE TAG

**GENERAL FLOOR PLAN NOTES**

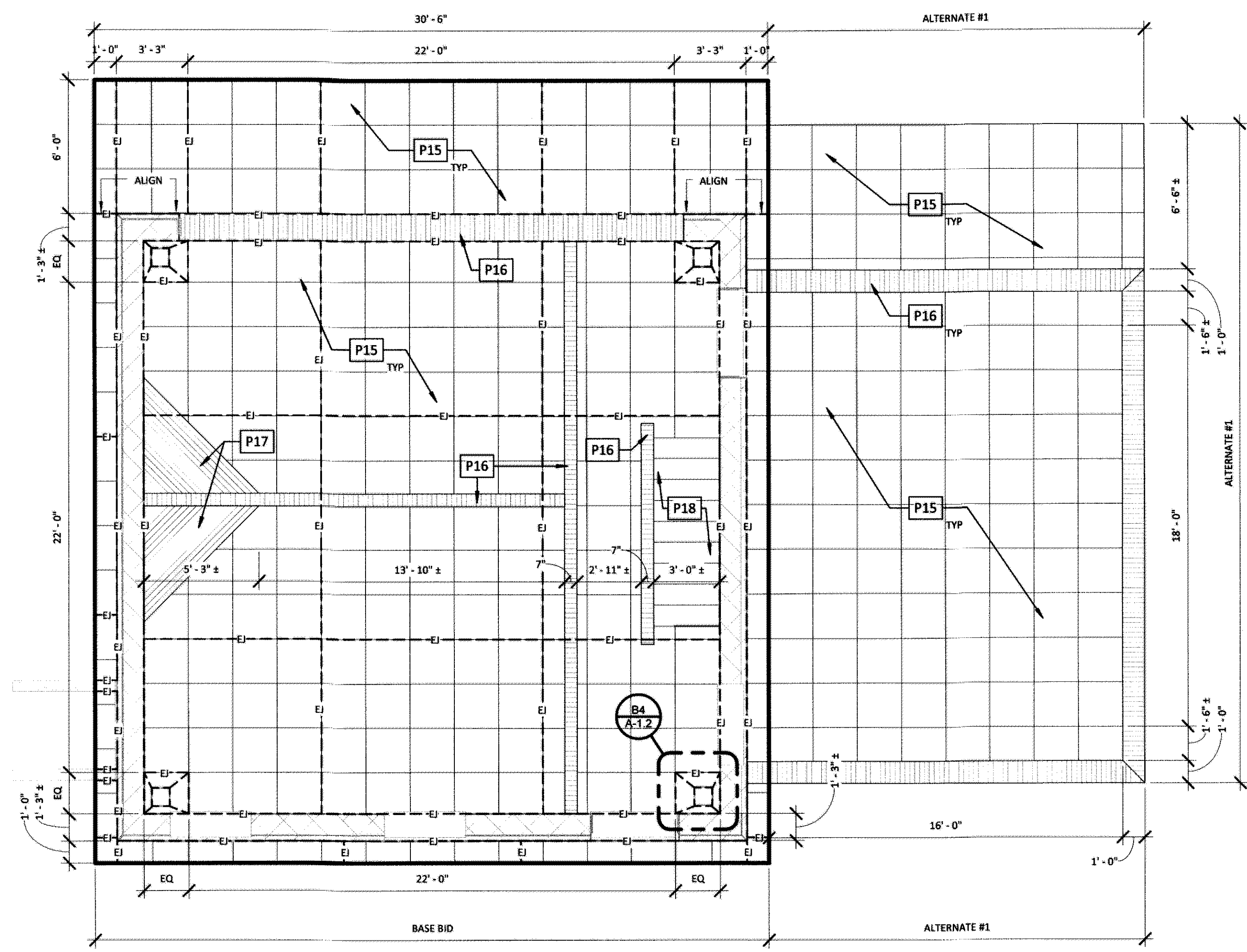
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**PLAN KEYNOTES**

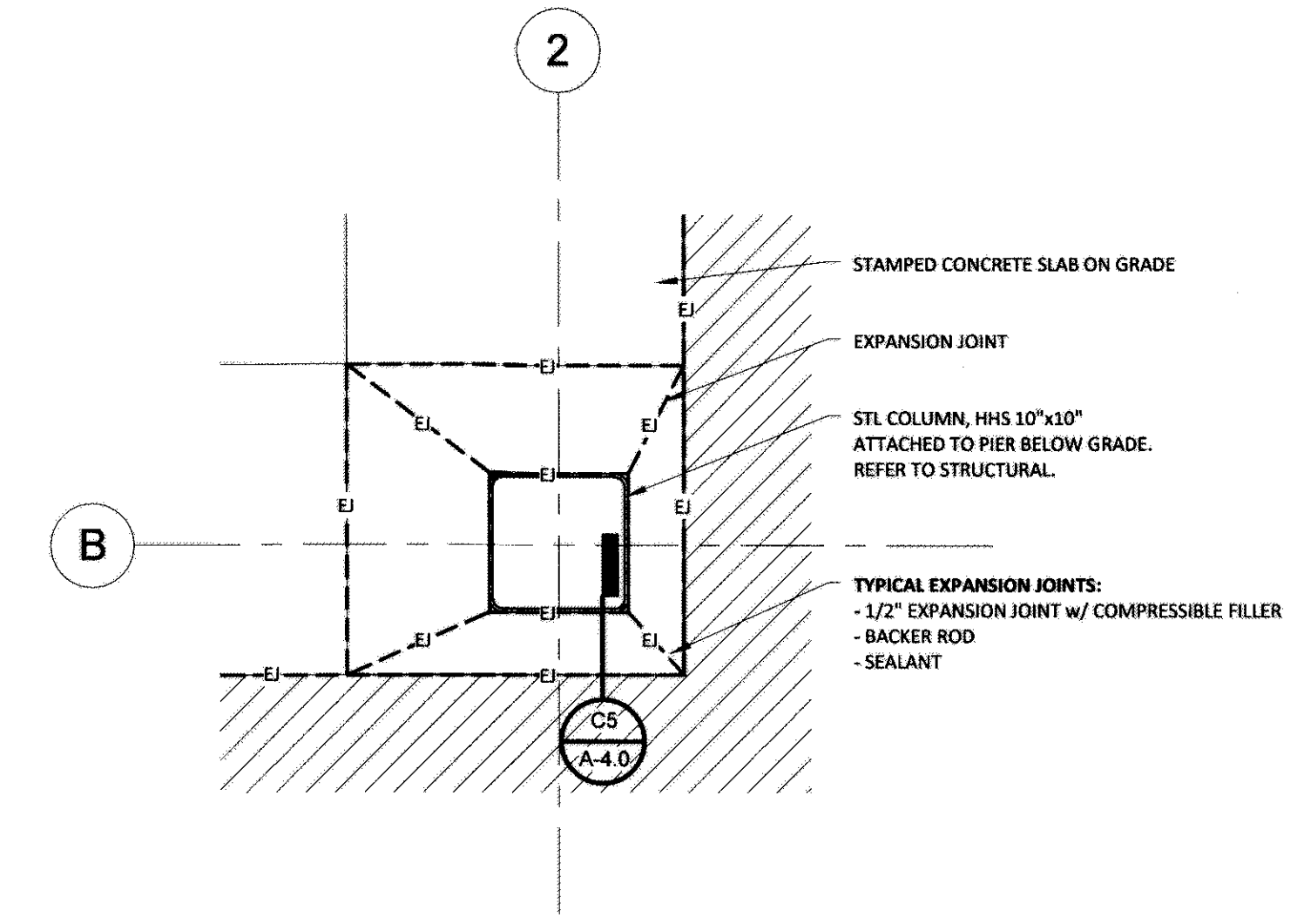
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- P8 STEEL COLUMNS, REFER TO STRUCTURAL
- P9 STEEL BEAMS, REFER TO STRUCTURAL
- P10 EXISTING MASONRY SHELF BELOW
- P11 INFILL TO GRADE w/ COMPACTED FILL AS REQUIRED
- P12 EXISTING BASEMENT ACCESS OPENING: INFILL w/ SOLID 12" CMU, COVER w/ 1" CEMENT PARGING BOTH SIDES
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- P18 STAMPED CONCRETE ACCENT PATTERN #3 - ORIGINAL STAIR LOCATION
- P19 NEW STEEL LINTEL. REFER TO STRUCTURAL.

**ALTERNATES**

- ALTERNATE #1 PATIO PAVING
- ALTERNATE #2 CEMETERY WALL & DEMOLITION
- ALTERNATE #3 PEACH ORCHARD



**B1 PAVING PLAN**  
 SCALE: 1/4" = 1'-0"



**B4 PAVING DETAIL - STL COLUMN**  
 SCALE: 1" = 1'-0"

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Project Name & Address  
**ROGERS HOUSE CONSTRUCTED RUIN**

MERCER COUNTY  
 MERCER COUNTY PARK

Project No 1507  
 Drawn By IE  
 Checked By MV  
 Date OCTOBER 1, 2017  
 Issued For CONSTRUCTION DOCUMENTS  
 Drawing Title PAVING PLAN

Sheet Number  
**A-1.2**

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*mills*

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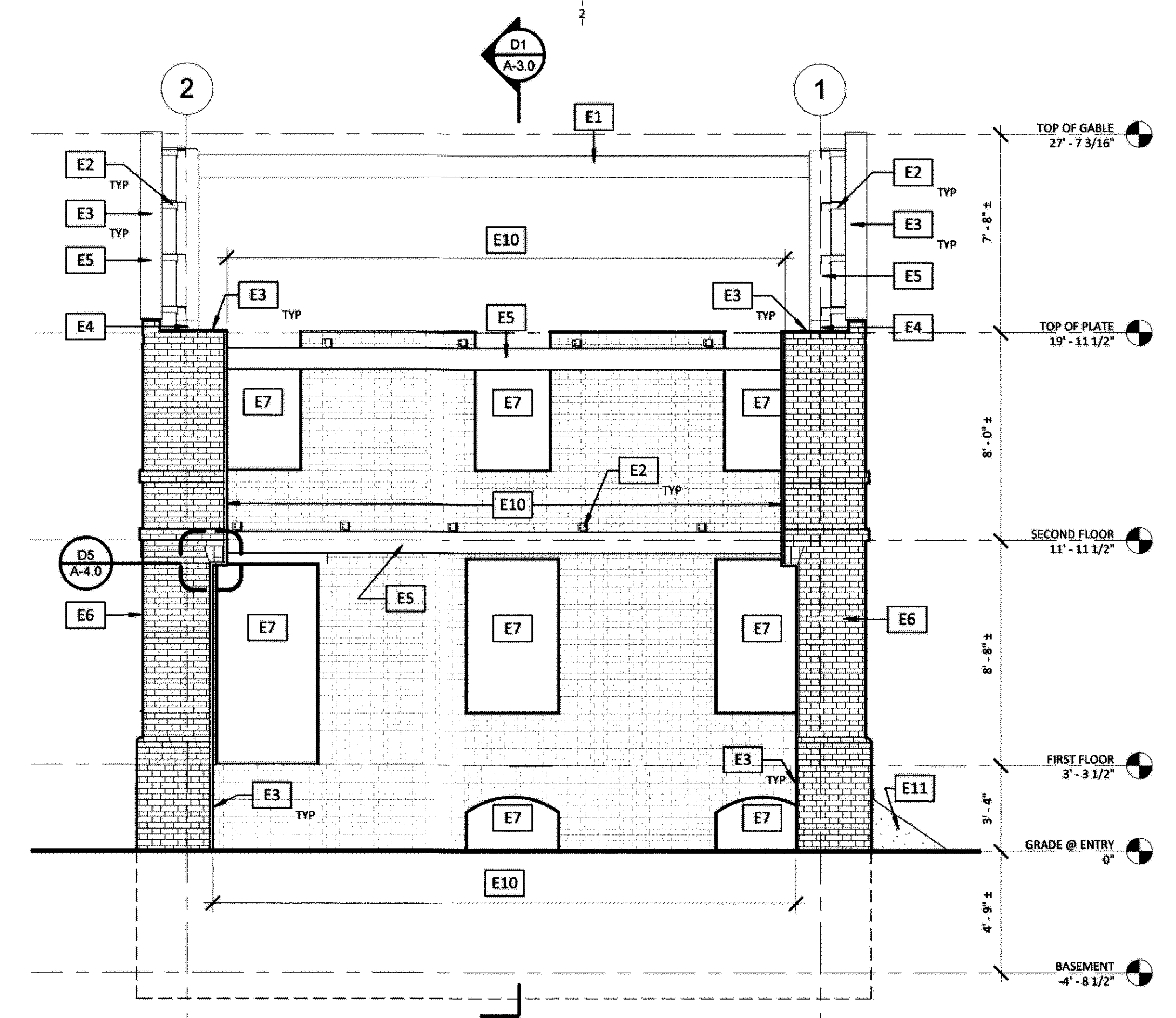
Revisions

**ELEVATION LEGEND**

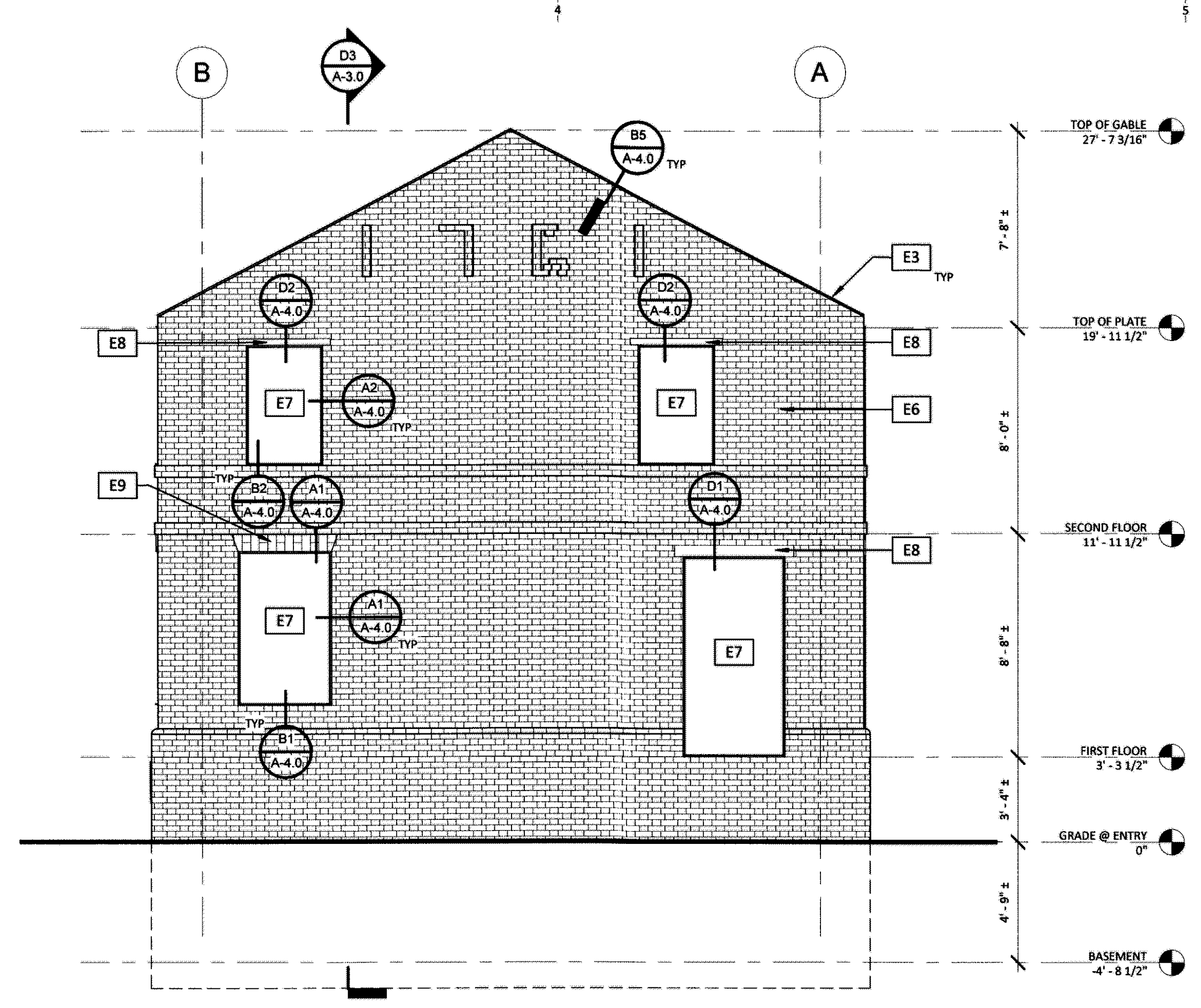
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- ALT ## ALT ## TYP ALTERNATE KEYNOTE
- ## ## TYP KEYNOTE TAG

**ELEVATION KEYNOTES**

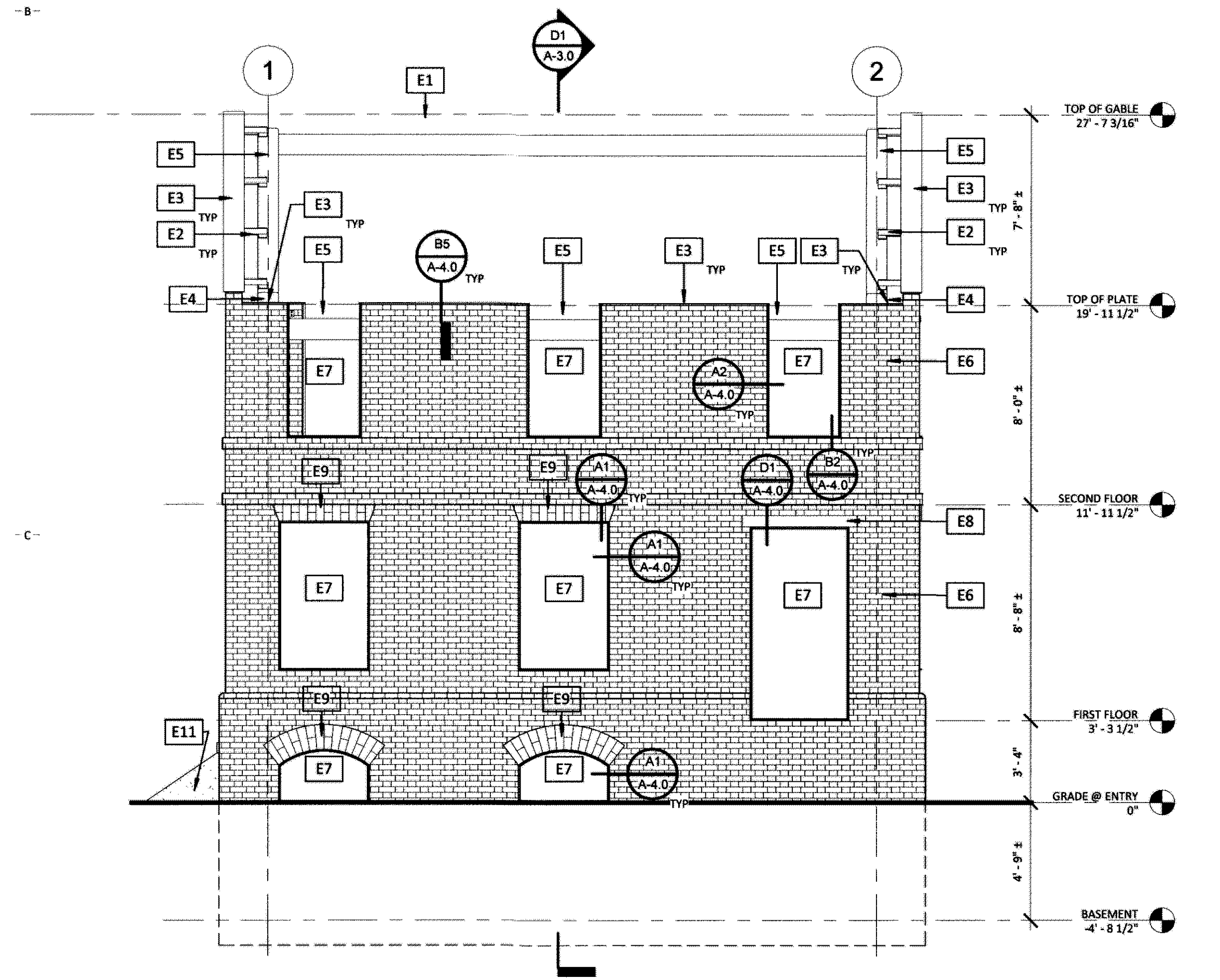
- E1 STEEL RIDGE BEAM, REFER TO STRUCTURAL
- E2 STEEL CONNECTOR, REFER TO STRUCTURAL
- E3 STEEL PLATE WALL CAP
- E4 STEEL COLUMN, REFER TO STRUCTURAL
- E5 STEEL BEAM, REFER TO STRUCTURAL
- E6 EXISTING MASONRY WALL
- E7 STEEL MASONRY OPENING w/ STEEL PLATE INSERTS. STEEL PLATE SHALL BE BUTT JOINT AND FULLY WELDED AT EACH CORNER
- E8 STEEL TUBE LINTEL
- E9 EXISTING MASONRY ARCH
- E10 NEW MASONRY OPENING
- E11 EXISTING RETAINING WALL
- E12 PARGING



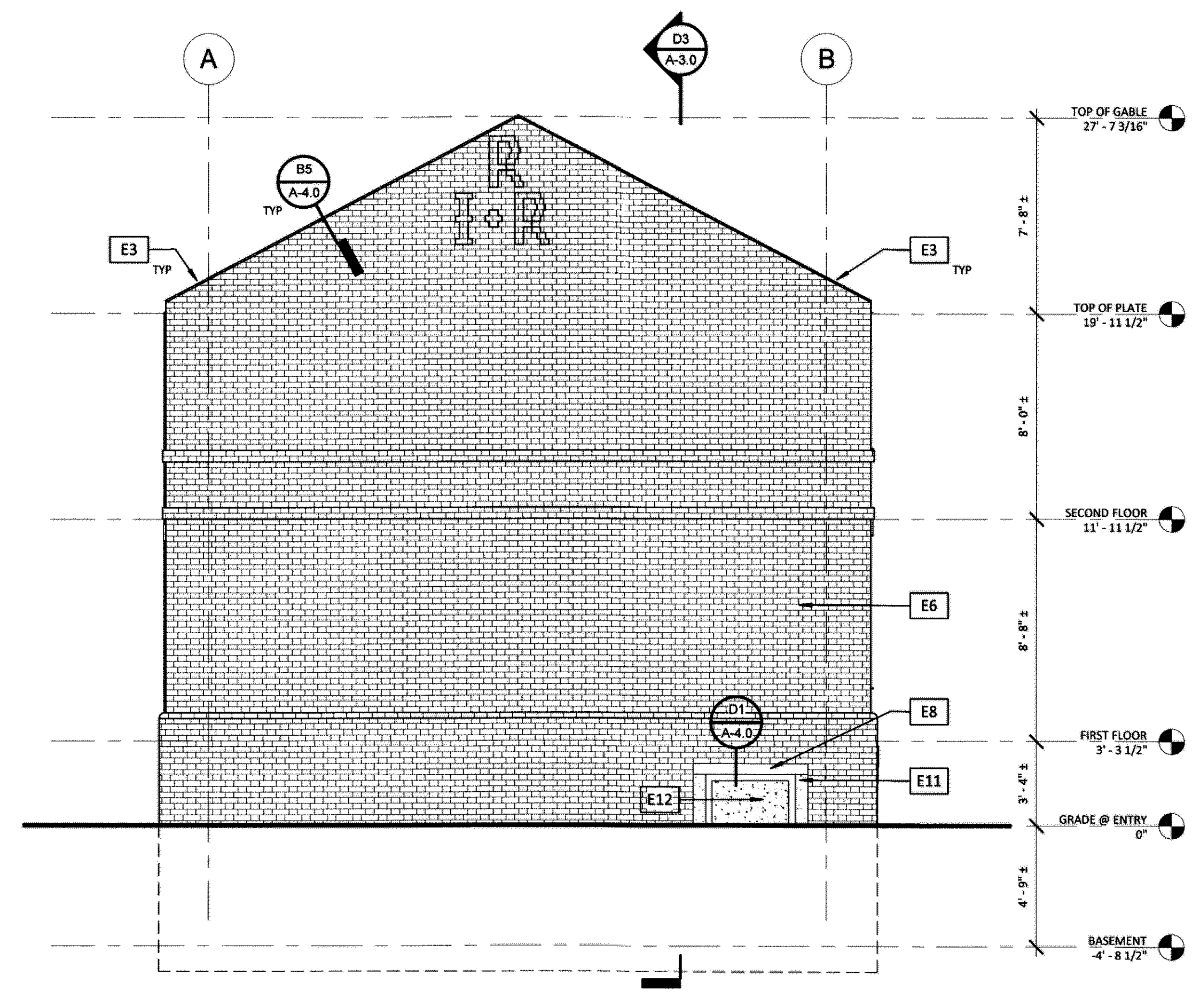
**B1 NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**B4 EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**D1 SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**D4 WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"

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 www.msarchitectsllc.com

Project Name & Address  
**ROGERS HOUSE  
 CONSTRUCTED  
 RUIN**

MERCER COUNTY  
 MERCER COUNTY PARK

Project No 1507  
 Drawn By IE  
 Checked By MV  
 Date OCTOBER 1, 2017  
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**CONSTRUCTION  
 DOCUMENTS**  
 Drawing Title  
**EXTERIOR ELEVATIONS**

Sheet Number

**A-2.0**

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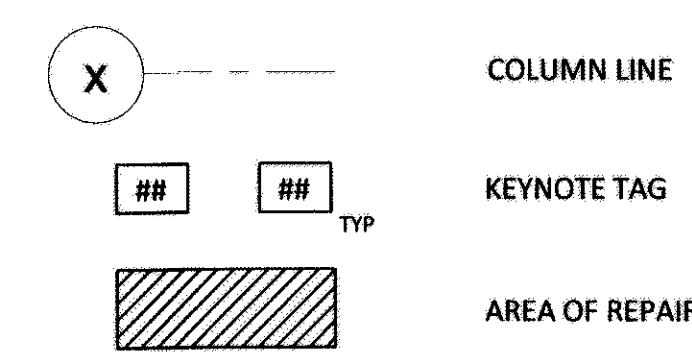
*mill + mills*

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NIC - 12164

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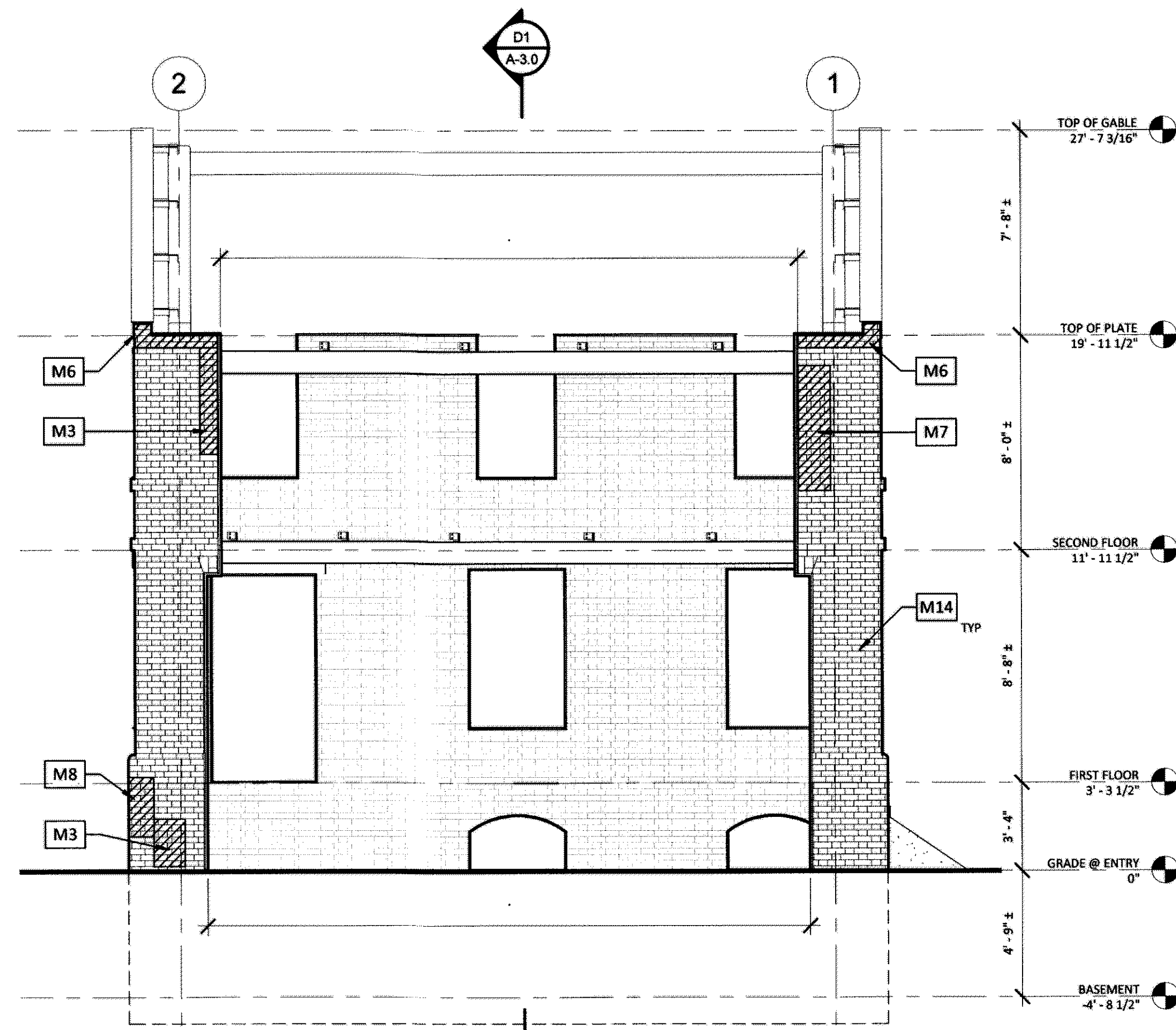
Revisions

**ELEVATION LEGEND**

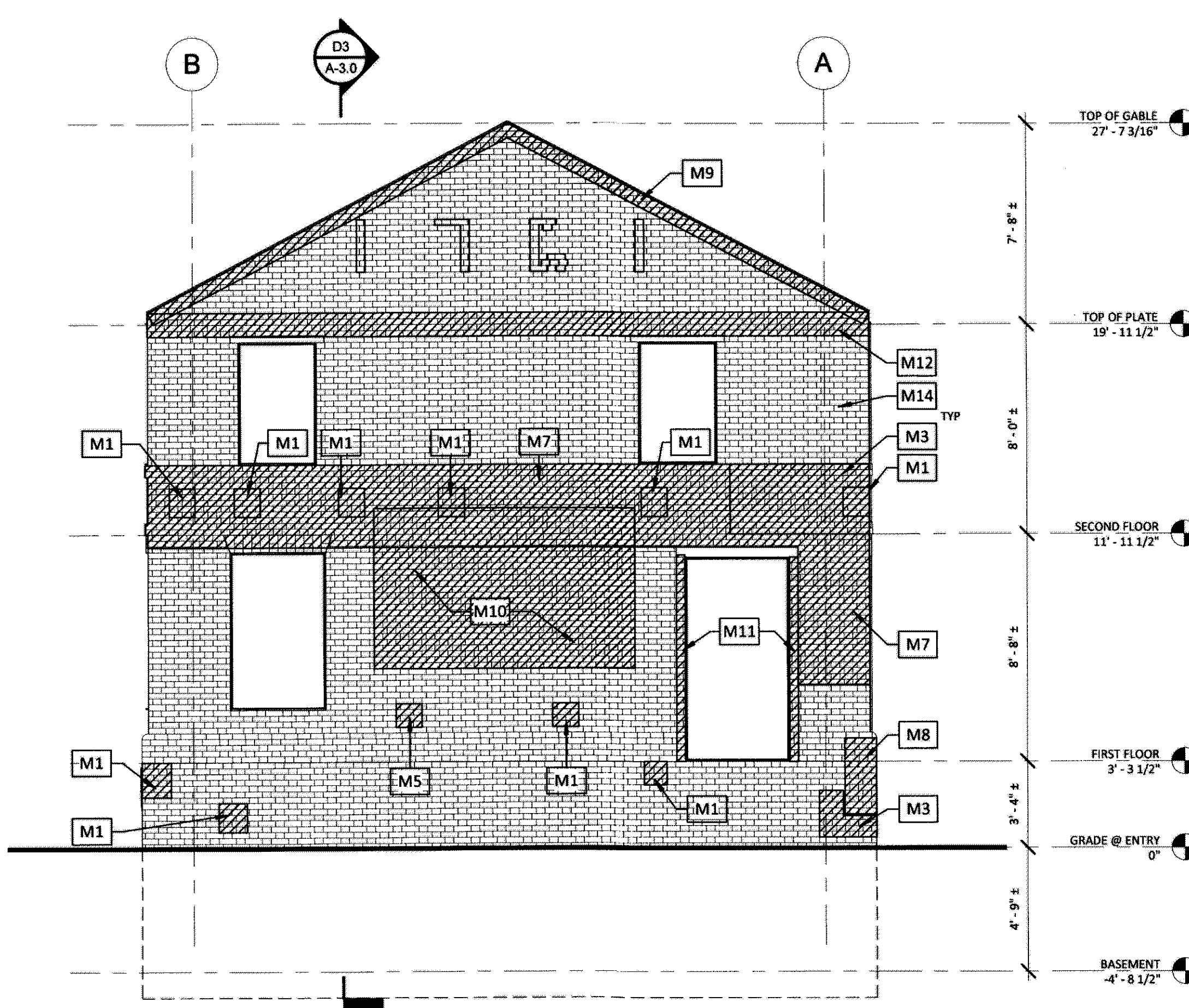


**MASONRY REPAIR KEYNOTES**

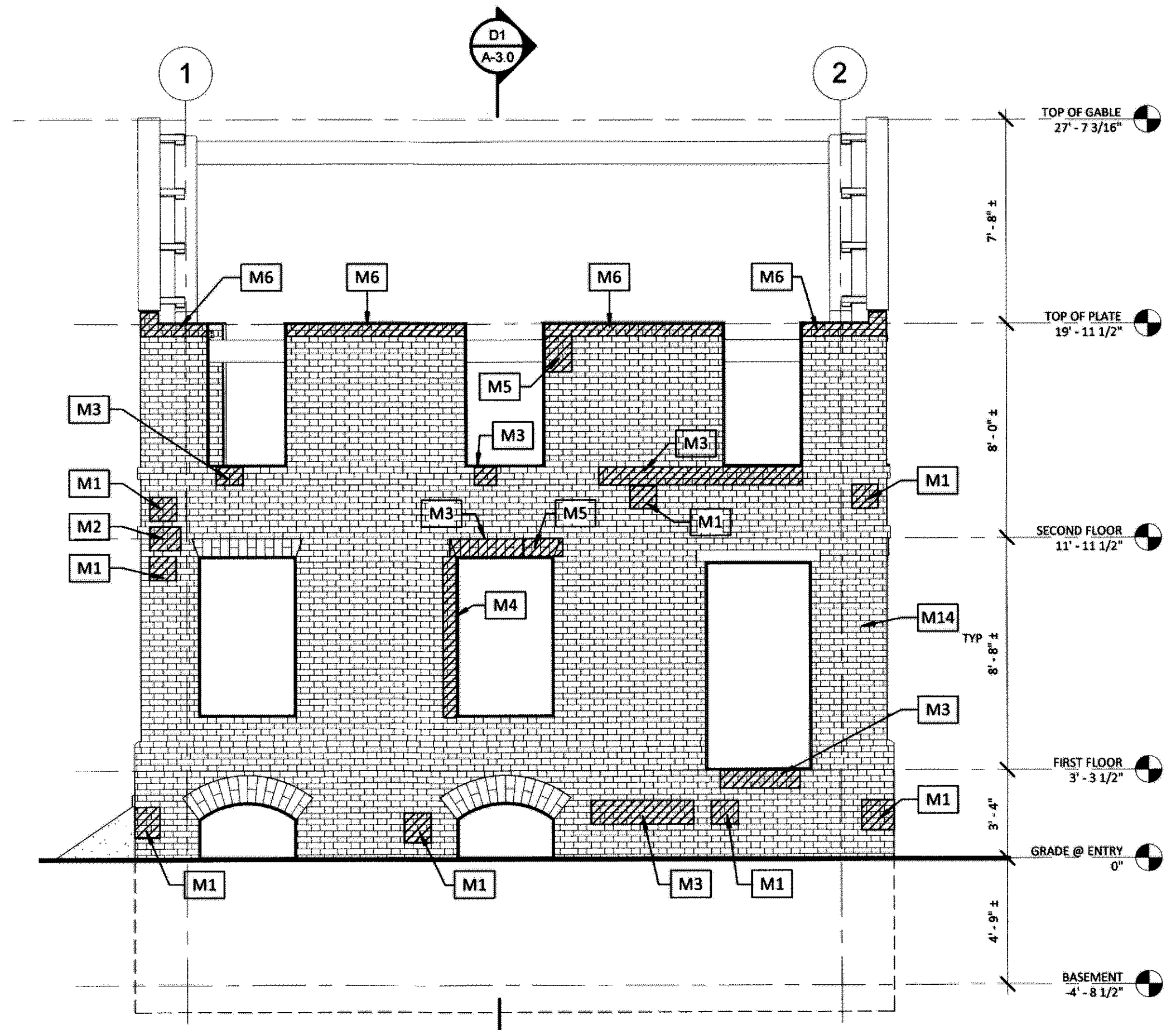
- M1** REPLACE EXISTING BRICK w/ SALVAGED BRICK APPROXIMATELY 12"x12"
- M2** REPOINT MORTAR TO MATCH EXISTING. EXISTING DAMAGED BRICK TO REMAIN.
- M3** REPOINT MORTAR TO MATCH EXISTING
- M4** PATCH DAMAGED BRICK w/ MORTAR
- M5** REMOVE DAMAGED BRICK. REPLACE w/ SALVAGED BRICK.
- M6** REPLACE MISSING OR DAMAGED BRICK AS REQUIRED FOR FLAT TOP OF WALL.
- M7** REMOVE ALGAE
- M8** REPLACE MISSING BRICK w/ SALVAGED BRICK APPROXIMATELY 12"x12"
- M9** REPLACE MISSING OR DAMAGED BRICK AS REQUIRED AND PATCH w/ MORTAR AS REQUIRED FOR FLAT TOP OF SLOPED GABLE WALL.
- M10** REMOVE EXISTING WOOD NAILERS, NAILS, AND ALL OTHER NON-MASONRY ITEMS.  
REMOVE LOOSE MASONRY AND MORTAR AT JAMBS OF OPENING. REMOVE DAMAGED BRICK TO CREATE TOOTHED OPENING. INFILL w/ SALVAGED BRICK TO CREATE FLAT, SMOOTH JAMBS.
- M11** REPAIR/REPLACE/REPOINT BRICK AS REQUIRED AT REMOVED CORNICE
- M12** REMOVE ALL PIPES. PATCH/REPAIR BRICK AS REQUIRED.
- M13** REMOVE ALL PIPES. PATCH/REPAIR BRICK AS REQUIRED.
- M14** GENERAL NOTE: REPOINT AND REPAIR ALL BRICK DAMAGED BY EXISTING BRACING.



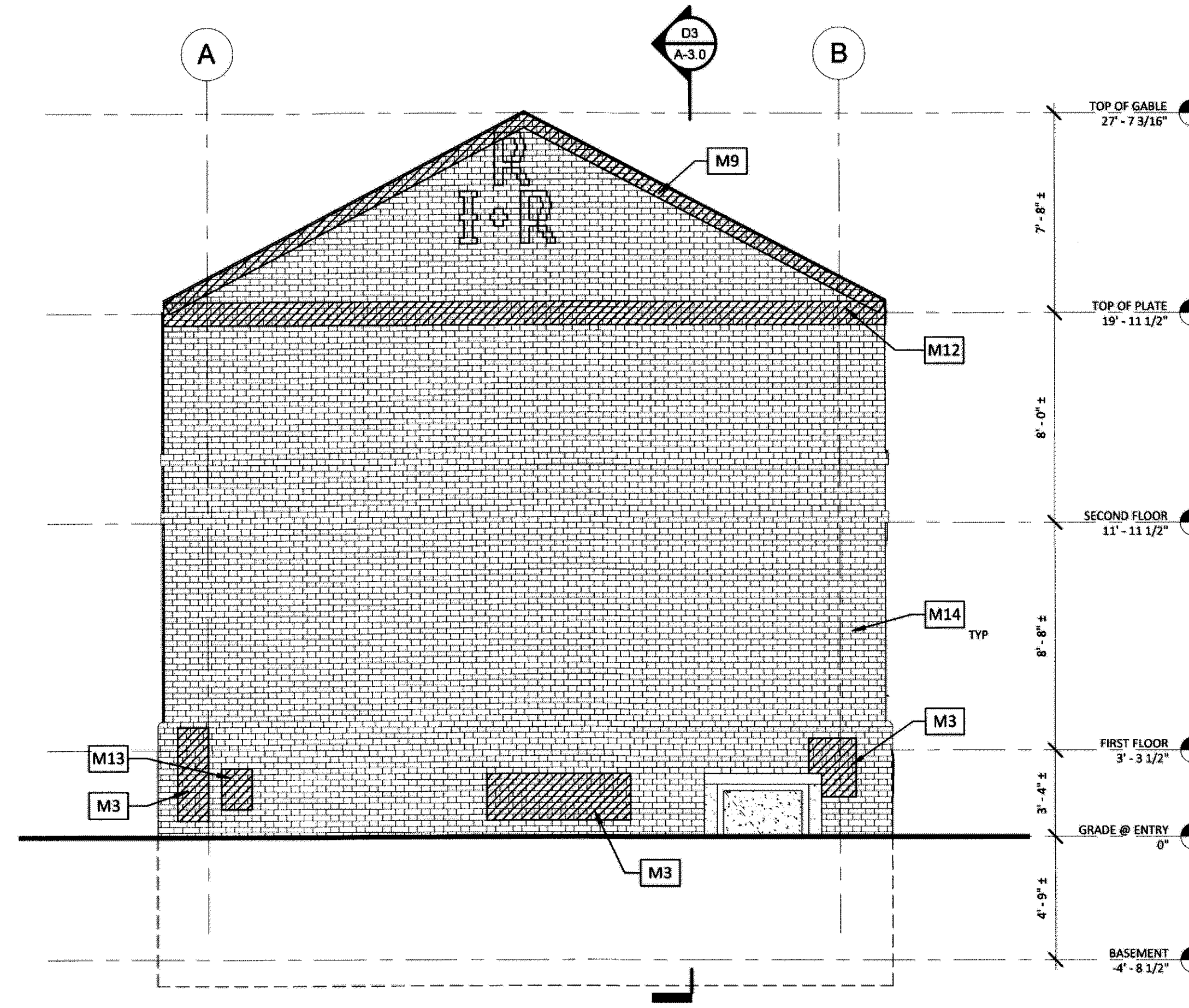
**B1 NORTH ELEVATION - MASONRY REPAIRS**  
SCALE: 1/4" = 1'-0"



**B4 EAST ELEVATION - MASONRY REPAIRS**  
SCALE: 1/4" = 1'-0"



**D1 SOUTH ELEVATION - MASONRY REPAIRS**  
SCALE: 1/4" = 1'-0"



**D4 WEST ELEVATION - MASONRY REPAIRS**  
SCALE: 1/4" = 1'-0"

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www.msarchitectsllc.com

Project Name & Address

**ROGERS HOUSE  
CONSTRUCTED  
RUIN**

MERCER COUNTY  
MERCER COUNTY PARK

Project No 1507  
Drawn By IE  
Checked By MV  
Date OCTOBER 1, 2017

Issued For  
**CONSTRUCTION  
DOCUMENTS**

Drawing Title  
EXTERIOR ELEVATIONS  
MASONRY REPAIRS

Sheet Number

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*mills*

Michael J. Mills FAIA  
 MIC - 8207  
 Michael Schnoering AIA  
 NIC - 12164

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**ROGERS HOUSE  
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MERCER COUNTY  
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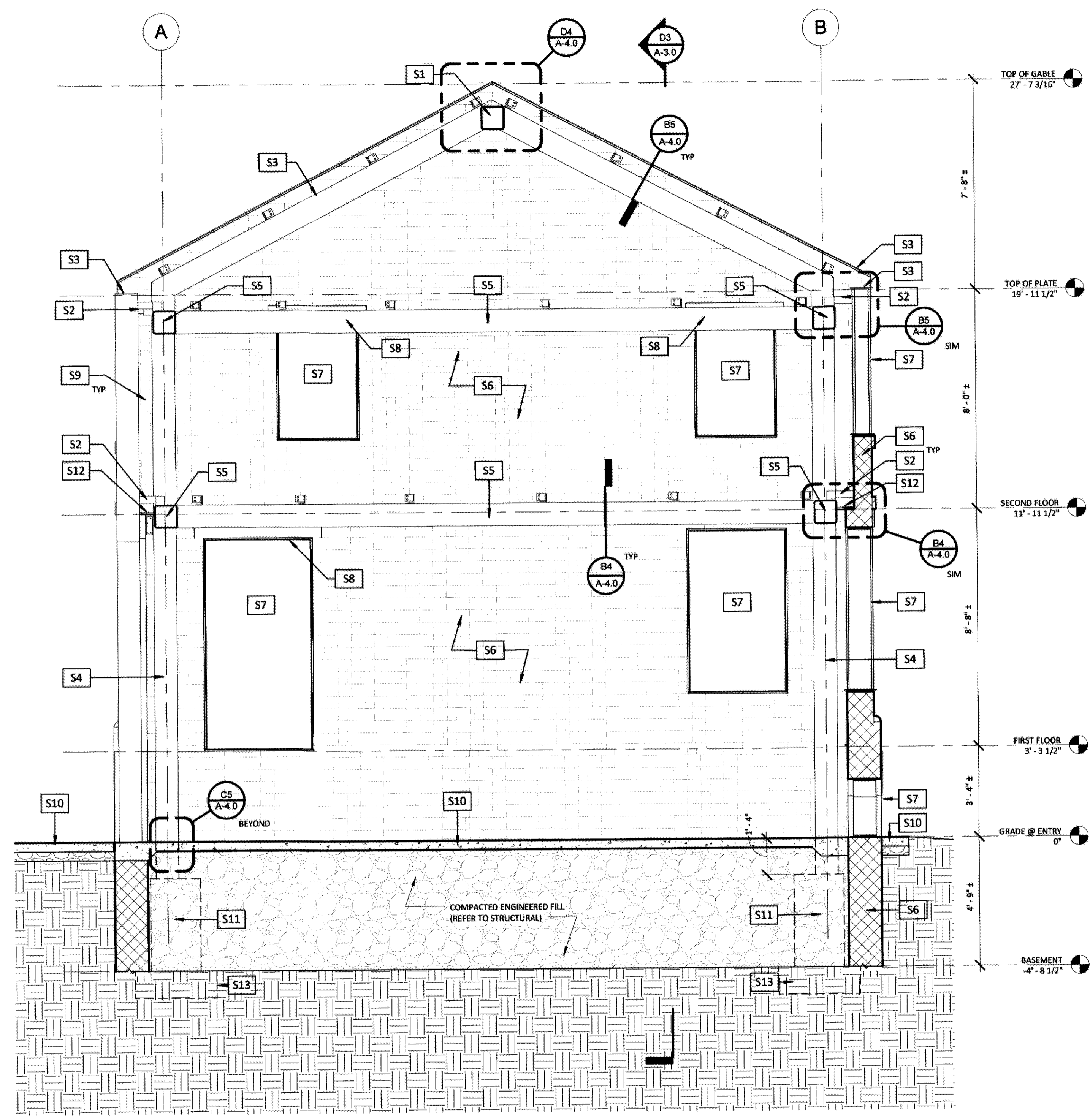
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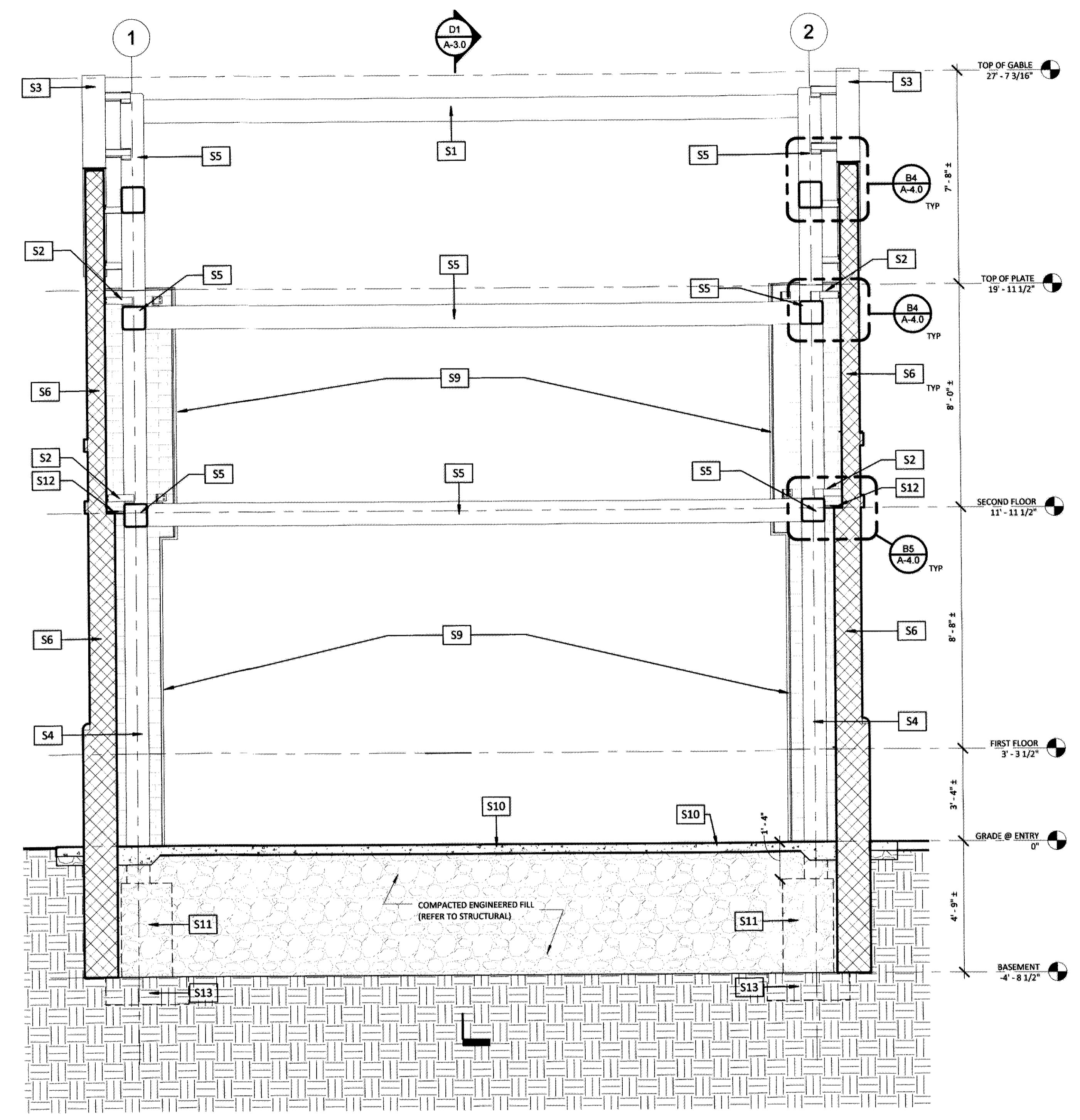
Drawing Title  
**SECTIONS**

Sheet Number

**A-3.0**



**D1 BUILDING SECTION - X - X**  
 SCALE: 3/8" = 1'-0"



**D3 BUILDING SECTION - Y - Y**  
 SCALE: 3/8" = 1'-0"

**SECTION LEGEND**

- X** --- COLUMN LINE
- ALT ##** **ALT ##** --- ALTERNATE KEYNOTE  
TYP
- ##** **##** --- KEYNOTE TAG  
TYP

**SECTION KEYNOTES**

- S1** STEEL RIDGE BEAM, REFER TO STRUCTURAL
- S2** STEEL CONNECTOR, REFER TO STRUCTURAL
- S3** STEEL PLATE WALL CAP
- S4** STEEL COLUMN, REFER TO STRUCTURAL
- S5** STEEL BEAM, REFER TO STRUCTURAL
- S6** EXISTING MASONRY WALL
- S7** EXISTING MASONRY OPENING w/ STEEL PLATE INSERTS
- S8** STEEL TUBE LINTEL
- S9** NEW MASONRY OPENING w/ STEEL PLATE CAP
- S10** STAMPED CONCRETE SLAB ON GRADE. REFER TO A-1.2 FOR PATTERN. REFER TO STRUCTURAL FOR ADD'L INFO.
- S11** CONCRETE PIERS, REFER TO STRUCTURAL
- S12** STEEL PLATE ON EXISTING MASONRY SHELF
- S13** CONCRETE FOOTING, REFER TO STRUCTURAL

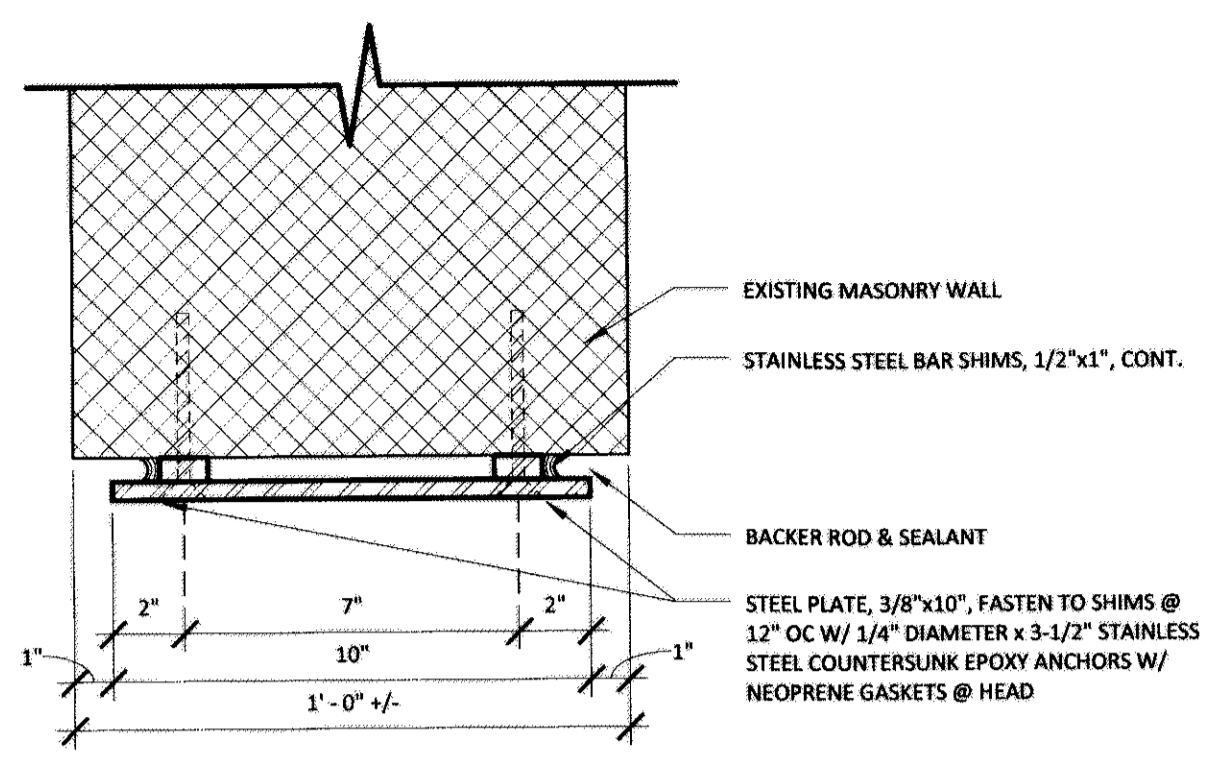
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*mill*

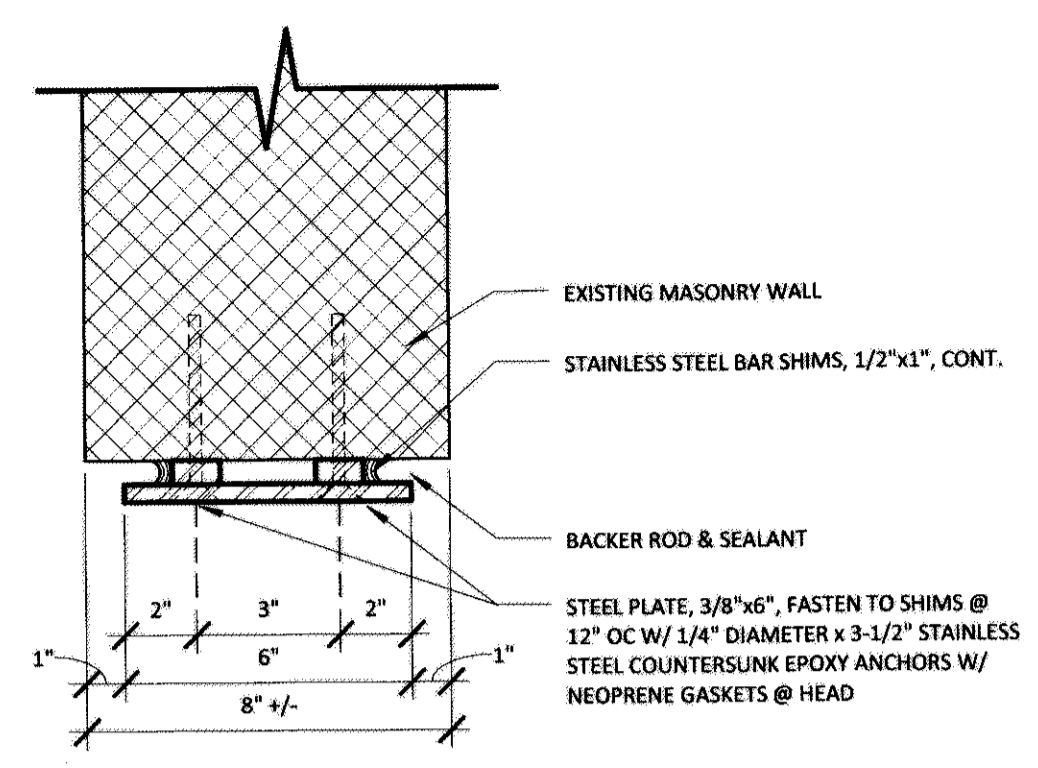
Michael J. Mills FAIA  
 NJC - 8207  
 Michael Schoenring AIA  
 NJC - 12164

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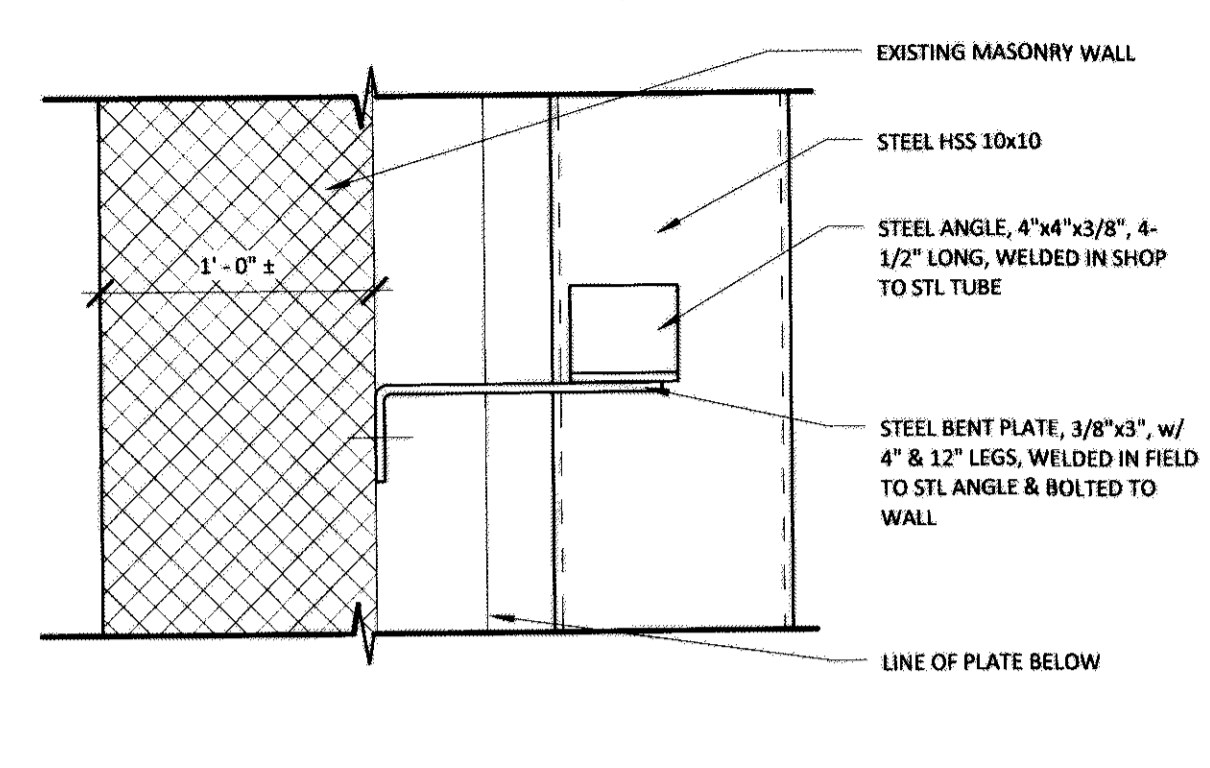
Revisions



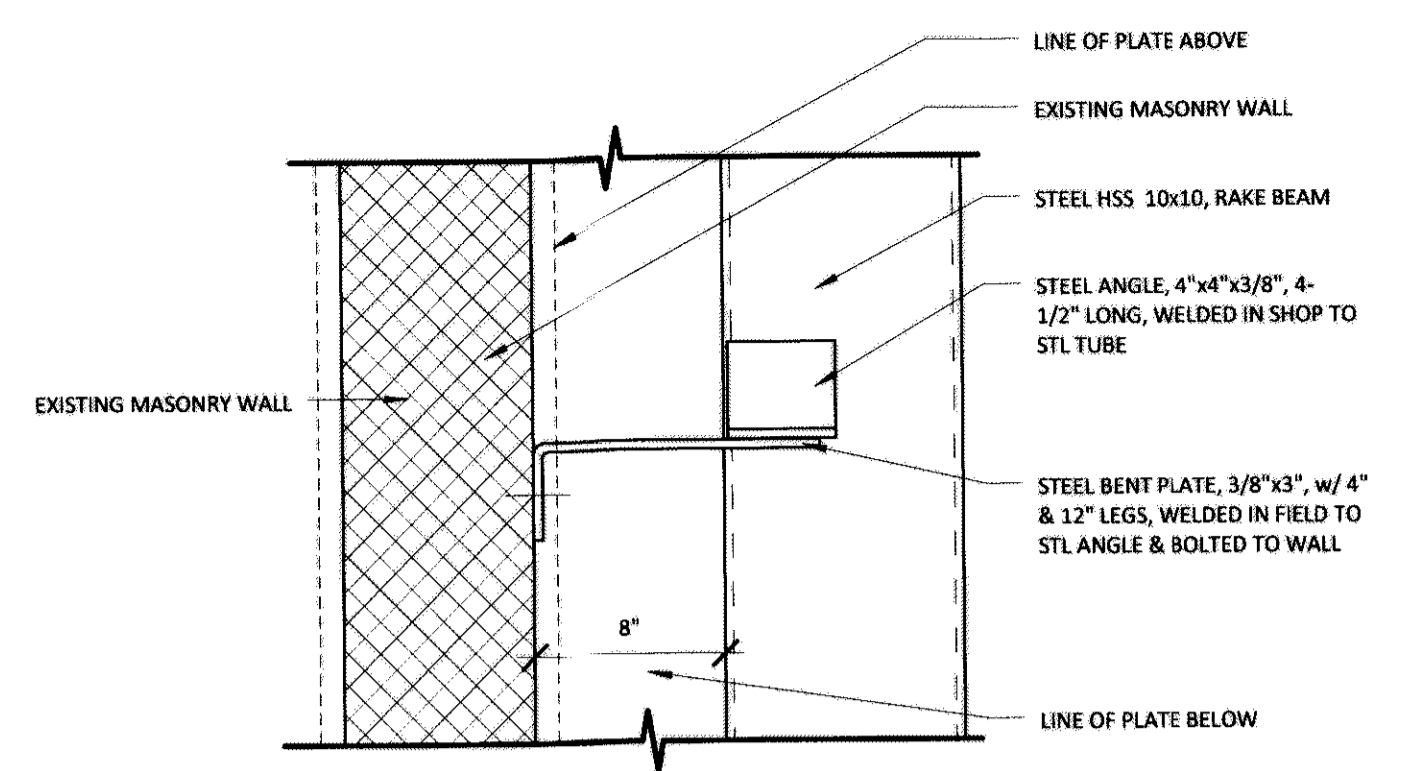
**A1 MASONRY - HEAD/JAMB DTL (1ST FLR)**  
 SCALE: 3" = 1'-0"



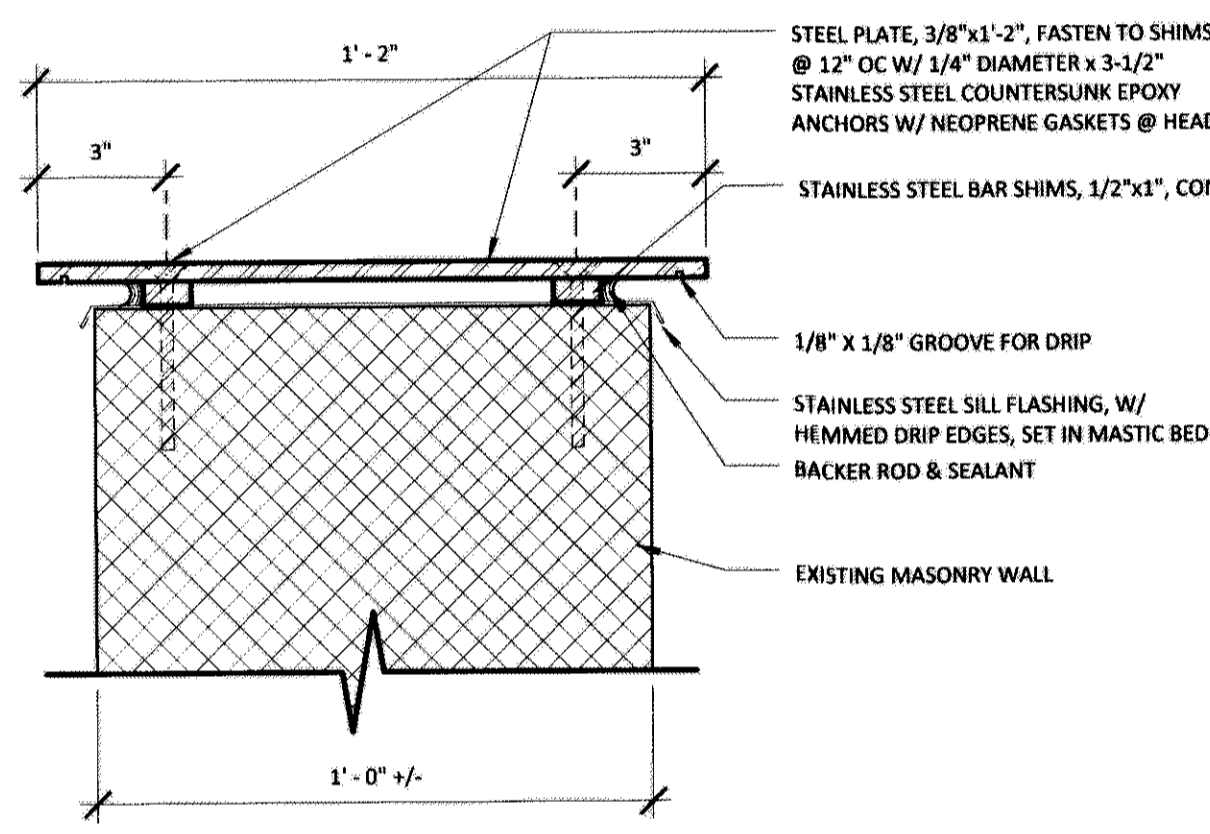
**A2 MASONRY - JAMB DTL (2ND FLR)**  
 SCALE: 3" = 1'-0"



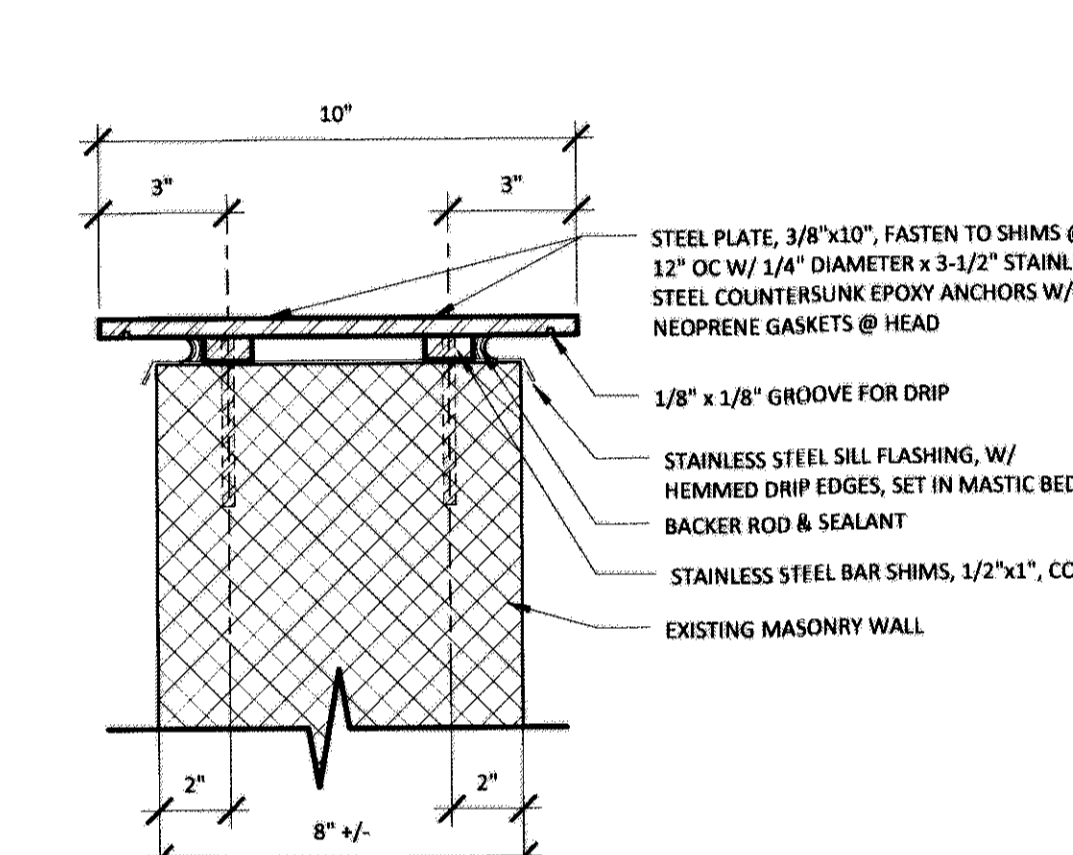
**A4 STEEL-MASONRY - PLAN DTL (2ND FLR)**  
 SCALE: 1 1/2" = 1'-0"



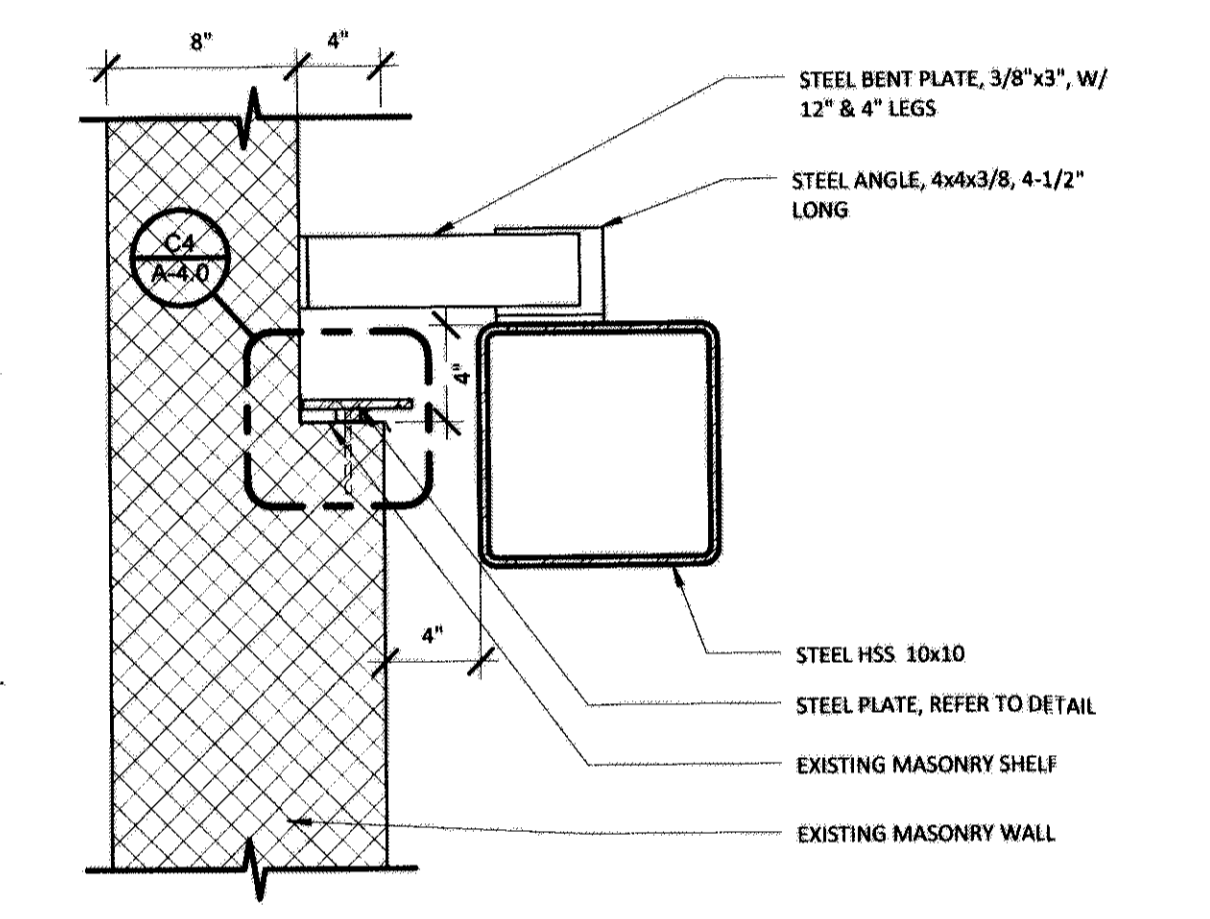
**A5 STEEL-MASONRY - PLAN DTL (GABLE)**  
 SCALE: 1 1/2" = 1'-0"



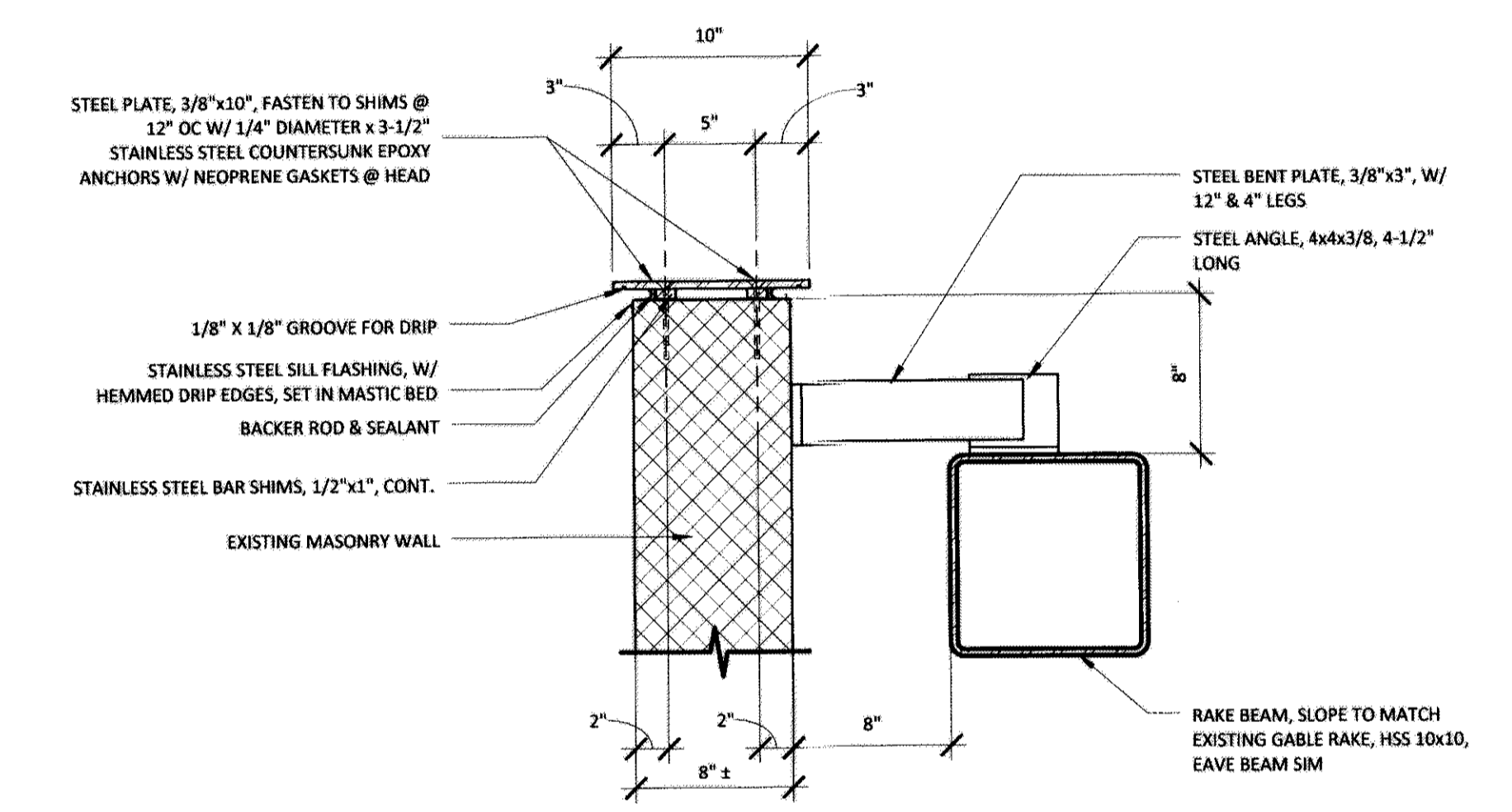
**B1 MASONRY - SILL DTL (1ST FLR)**  
 SCALE: 3" = 1'-0"



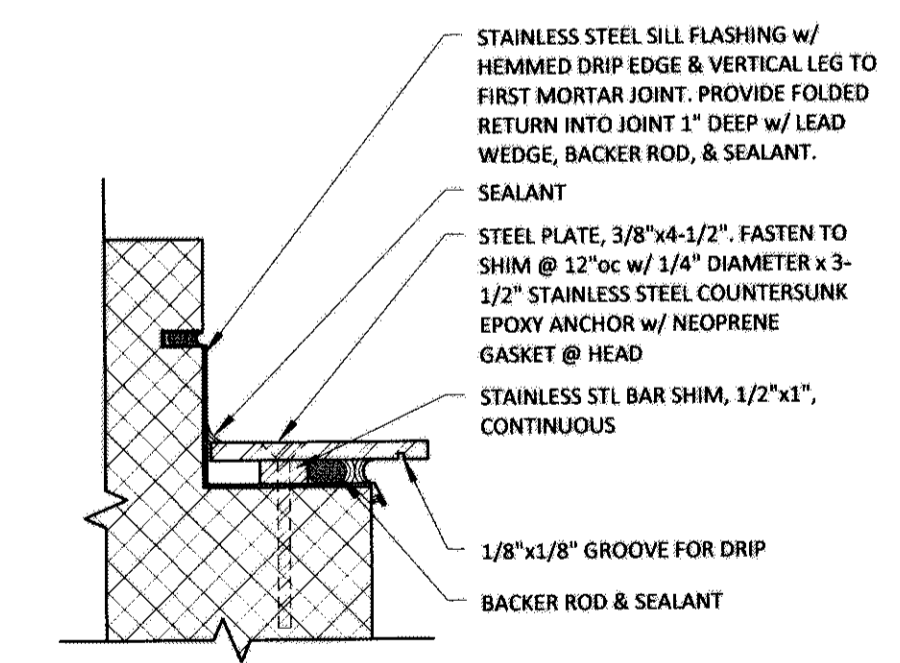
**B2 MASONRY - SILL (2ND FLR)**  
 SCALE: 3" = 1'-0"



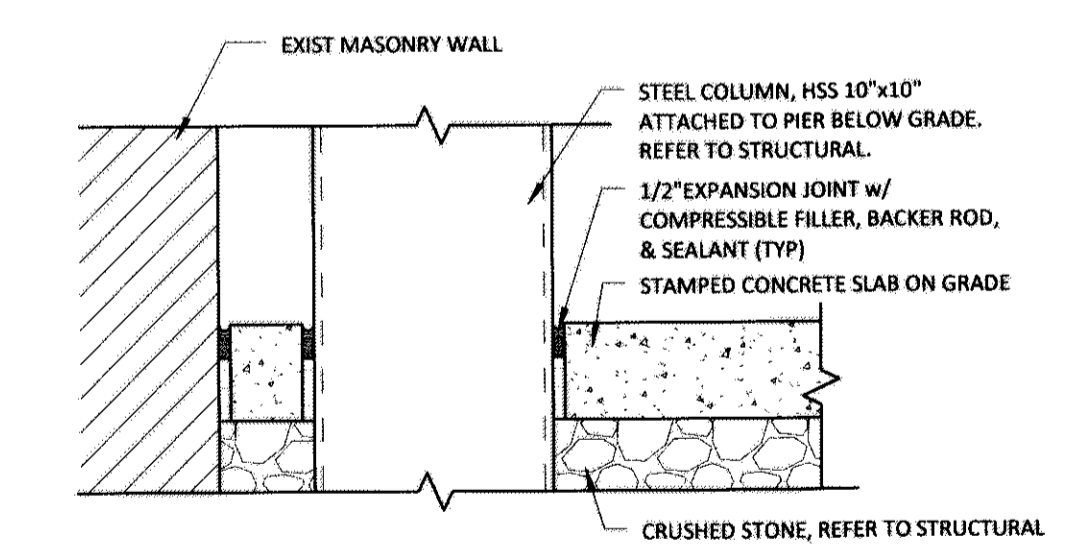
**B4 STEEL-MASONRY - SECTION DTL (2ND FLR)**  
 SCALE: 1 1/2" = 1'-0"



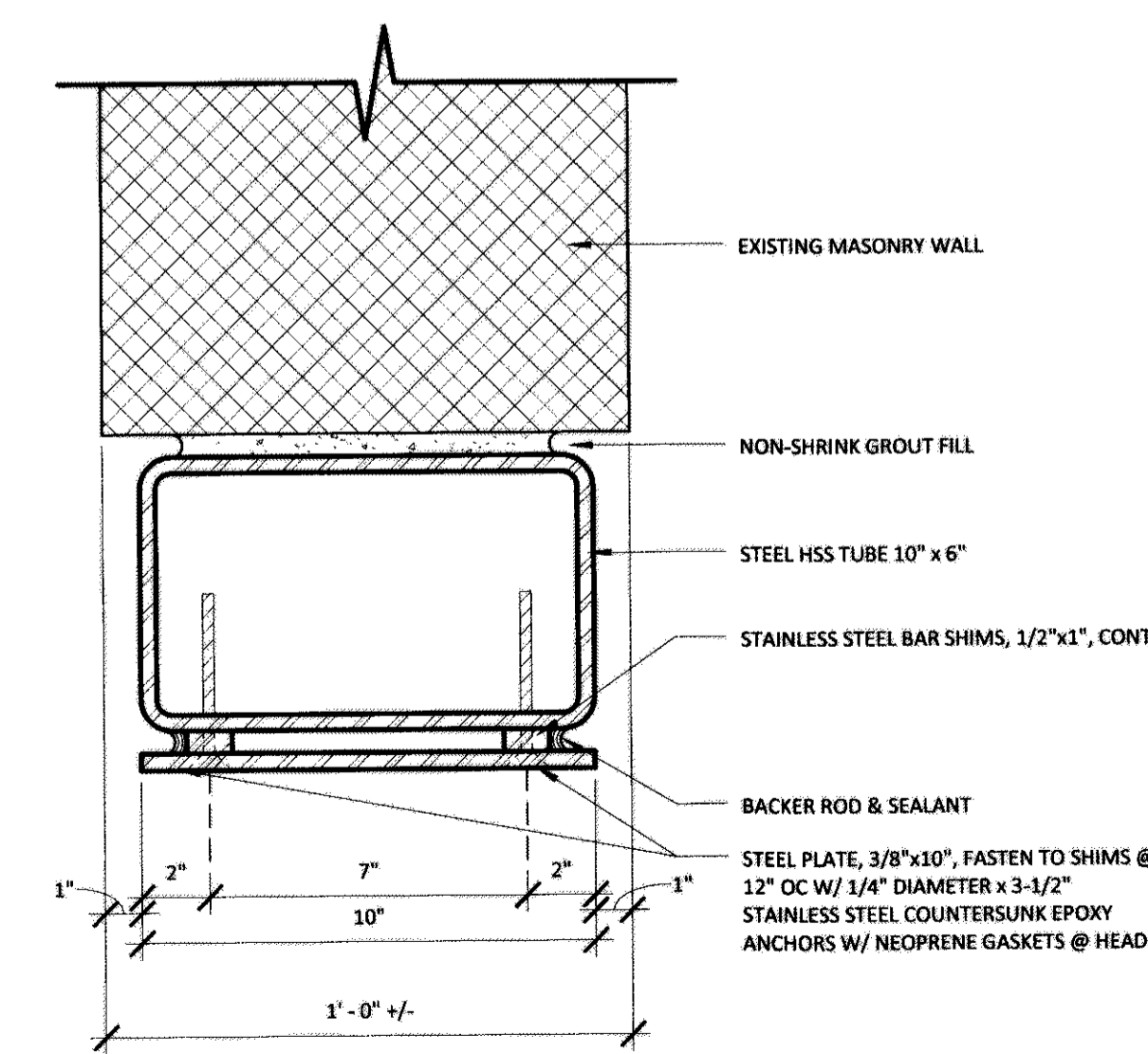
**B5 STEEL-MASONRY - SECTION DTL (TOP OF WALL)**  
 SCALE: 1 1/2" = 1'-0"



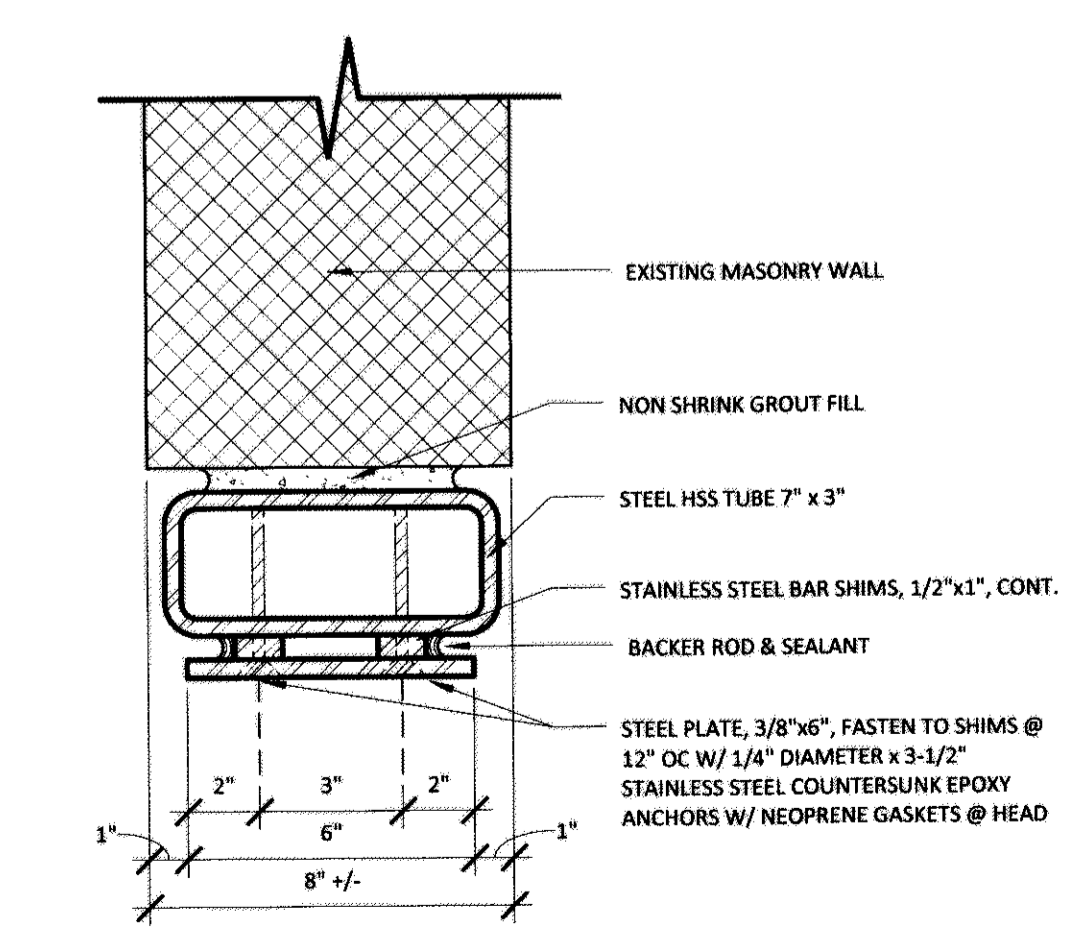
**C4 STEEL-MASONRY - SECTION DTL (STL PLATE)**  
 SCALE: 3" = 1'-0"



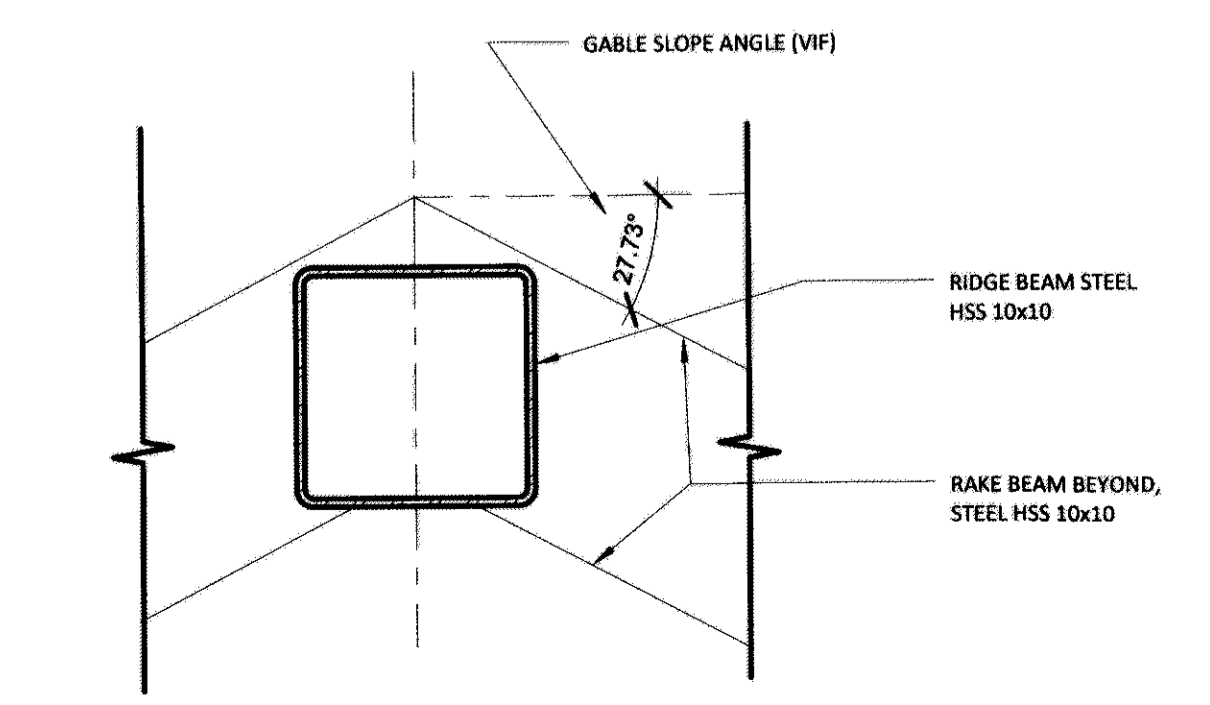
**C5 CONCRETE-COLUMN - SECTION DTL (TYPICAL)**  
 SCALE: 1 1/2" = 1'-0"



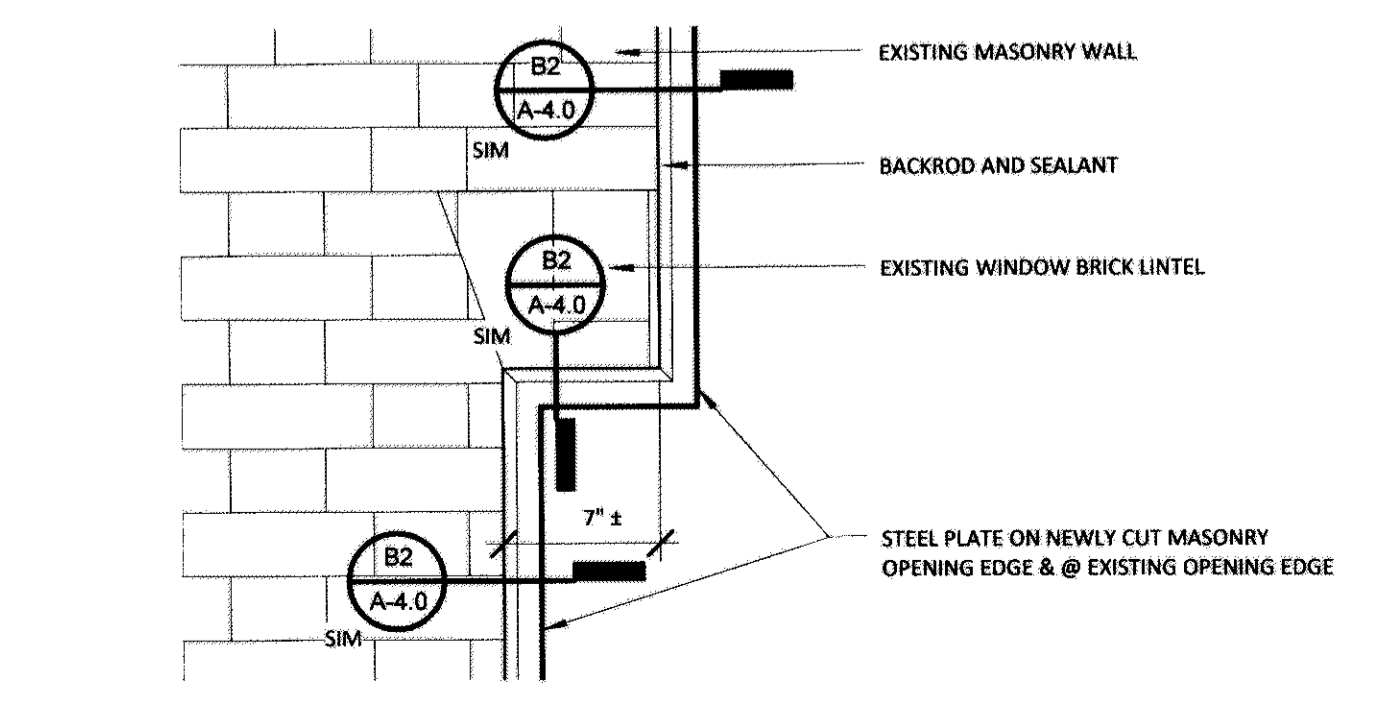
**D1 MASONRY - HEAD DTL (1ST FLR)**  
 SCALE: 3" = 1'-0"



**D2 MASONRY - HEAD DTL (2ND FLR)**  
 SCALE: 3" = 1'-0"



**D4 RIDGE BEAM DTL**  
 SCALE: 1 1/2" = 1'-0"



**D5 MASONRY CUT - ELEVATION DTL (NORTH WALL)**  
 SCALE: 1 1/2" = 1'-0"

9/25/2017 3:27:35 PM

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Project Name & Address

**ROGERS HOUSE  
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 RUIN**

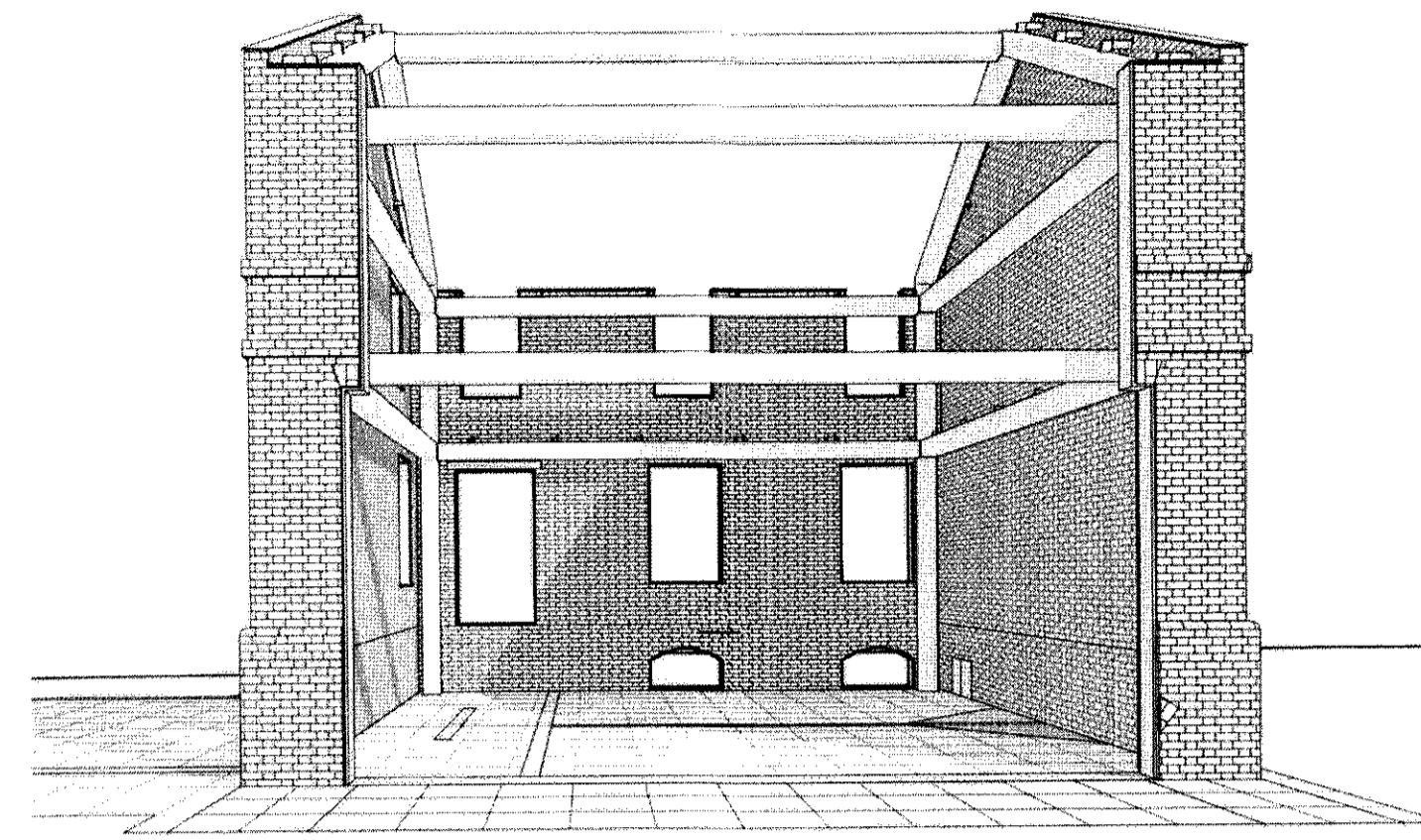
MERCER COUNTY  
 MERCER COUNTY PARK

Project No 1507  
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 Checked By MV  
 Date OCTOBER 1, 2017

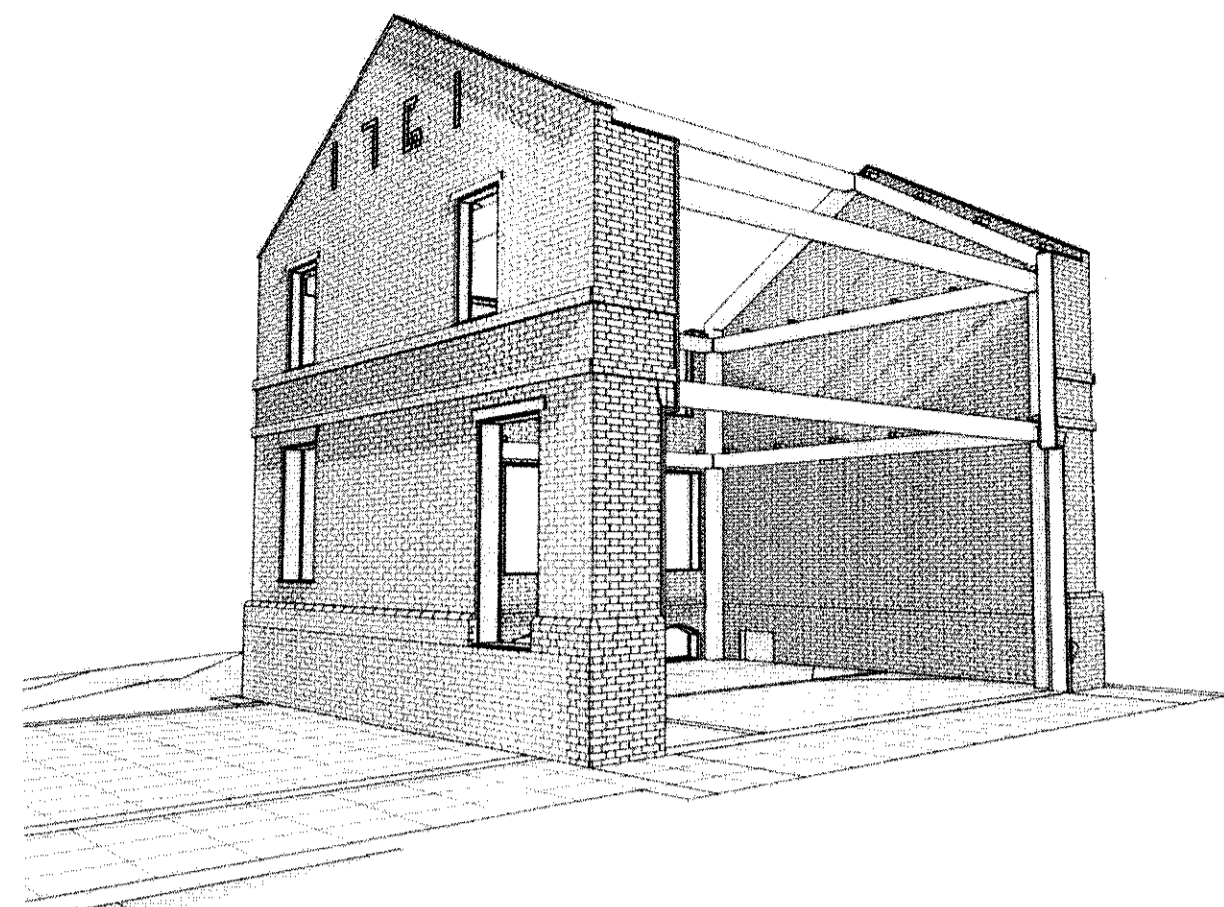
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 DOCUMENTS**  
 Drawing Title  
 DETAILS

Sheet Number

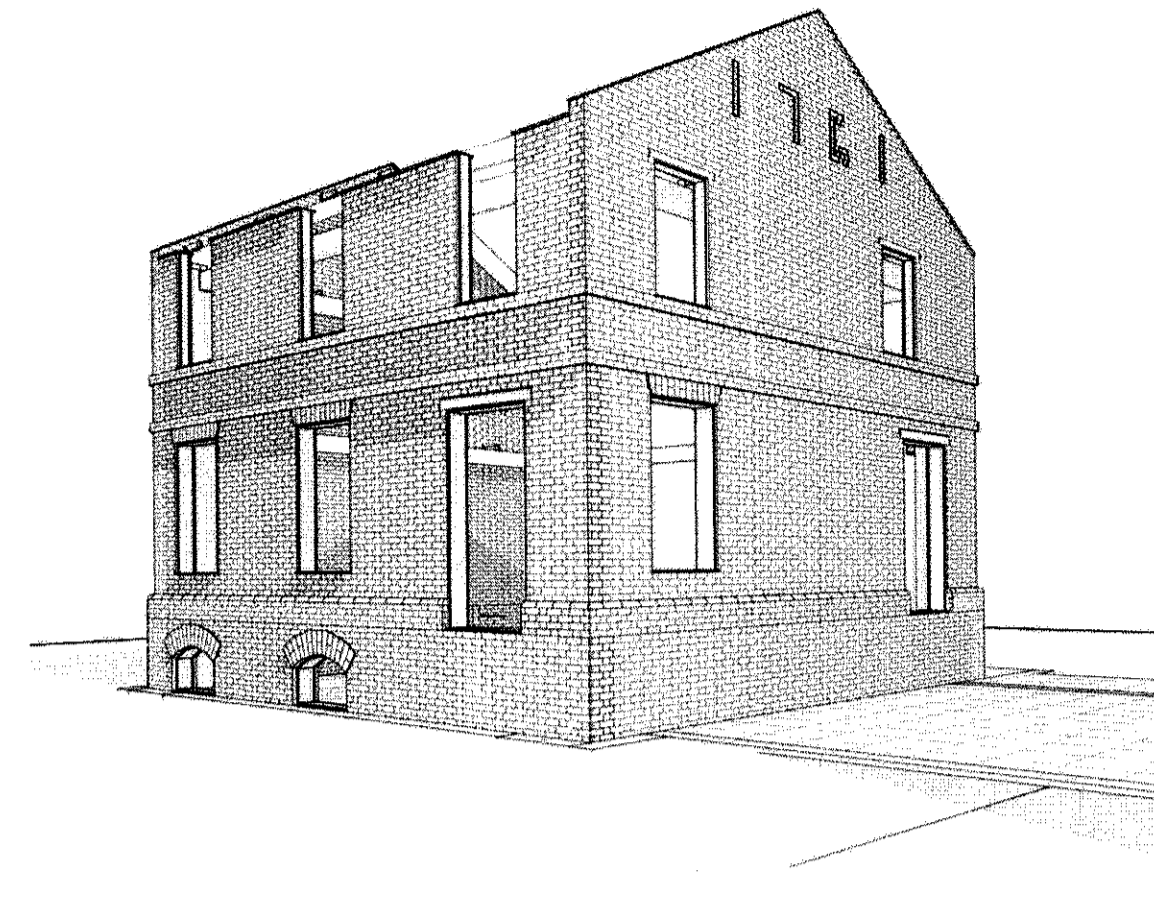
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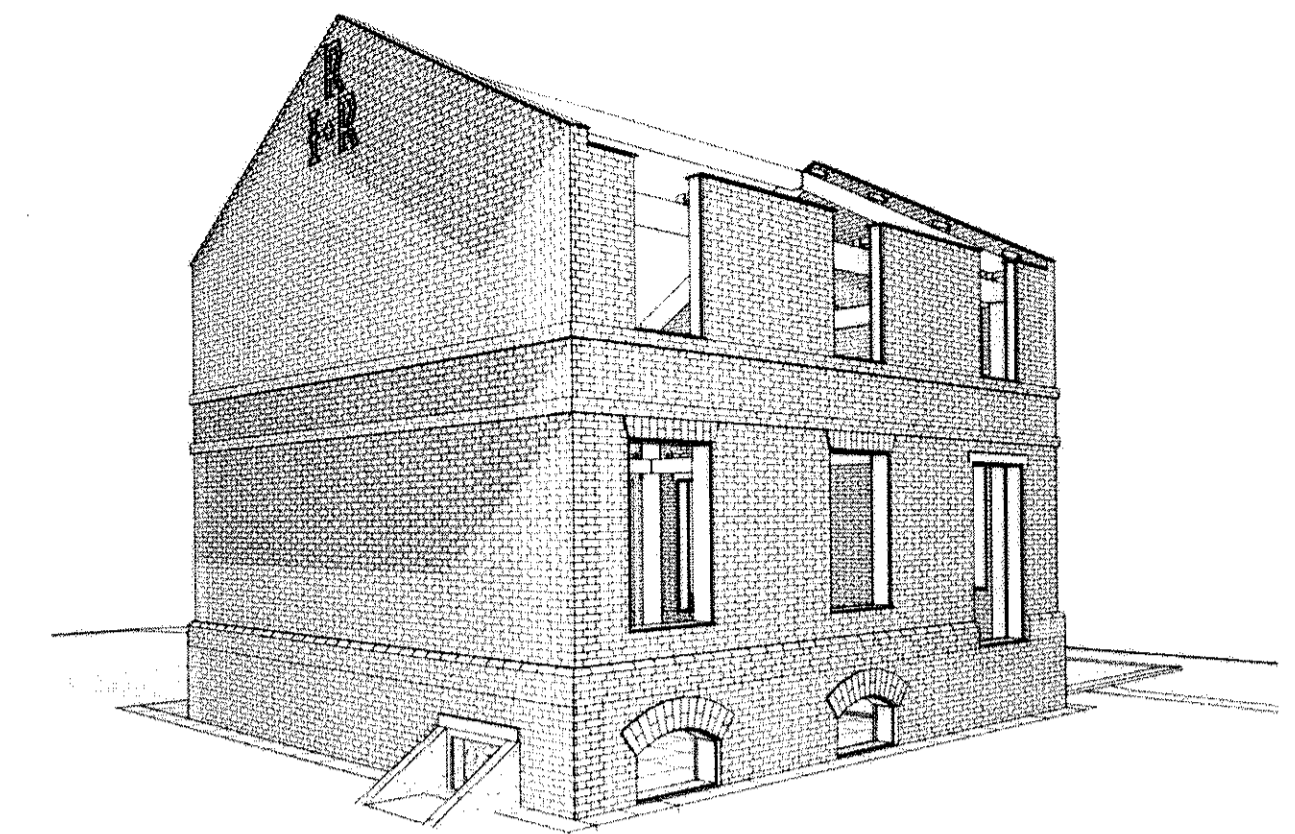
**A1** 3D View - FROM NORTH  
SCALE:



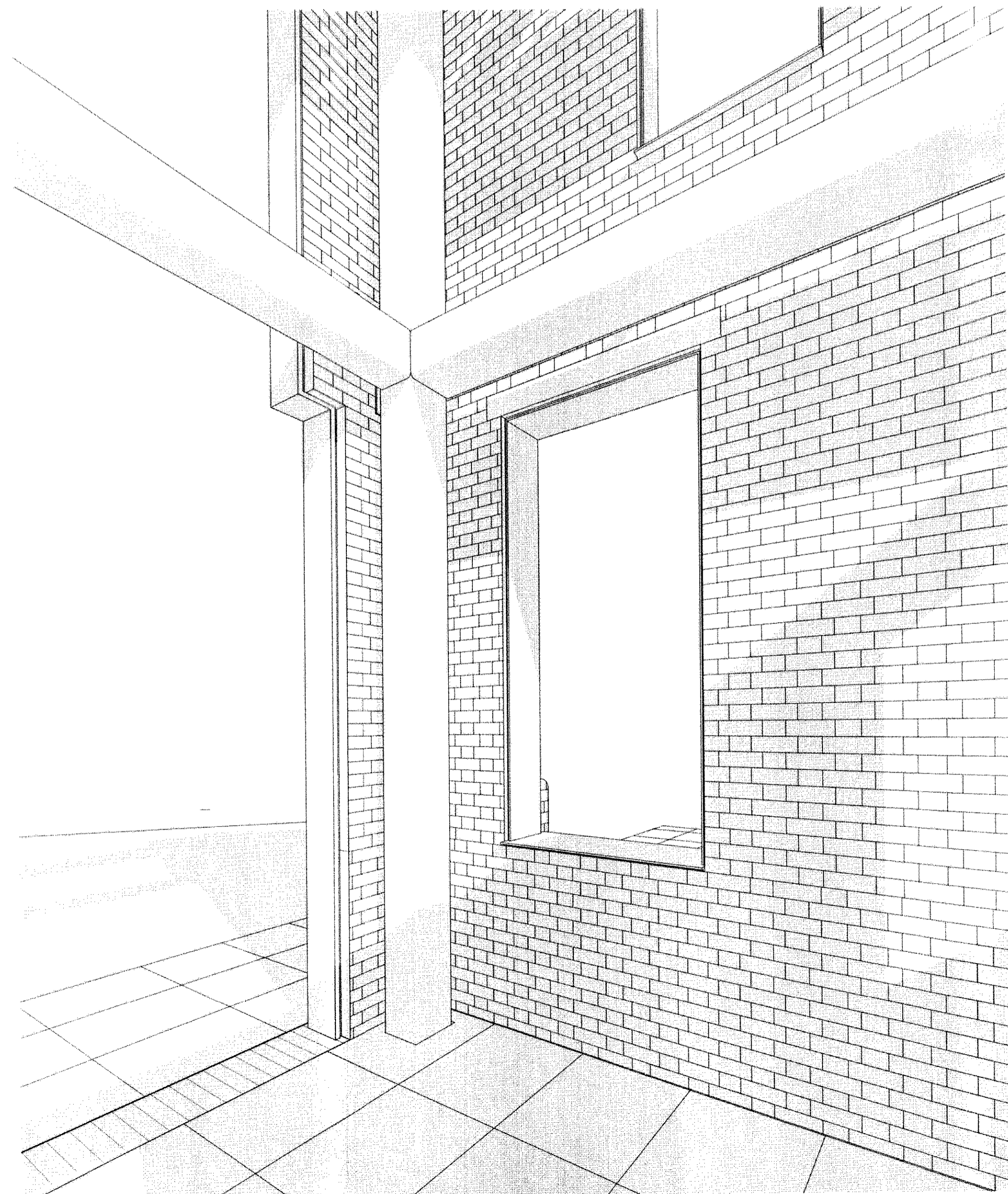
**A2** 3D View - FROM NORTH EAST  
SCALE:



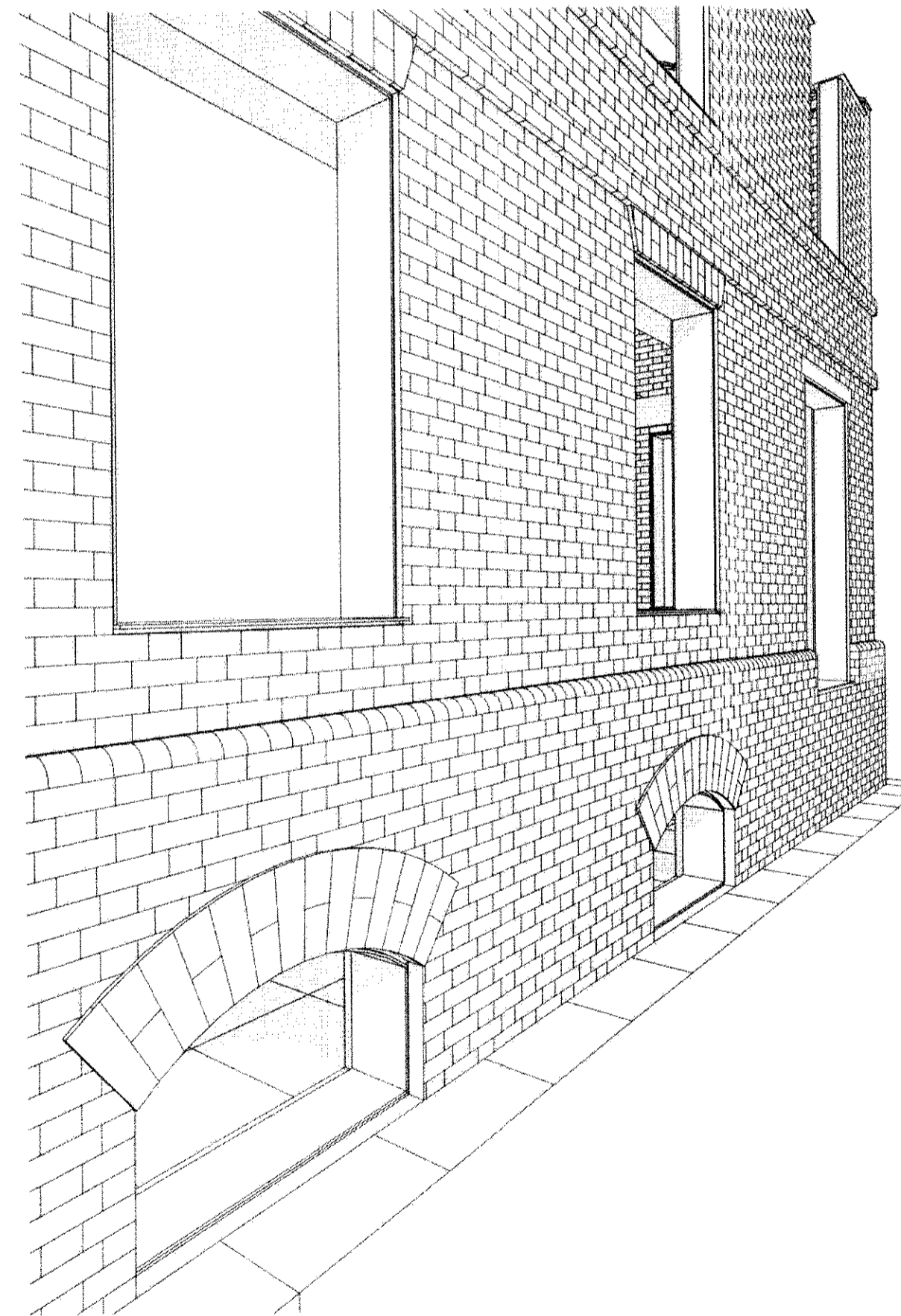
**A4** 3D View - FROM SOUTH EAST  
SCALE:



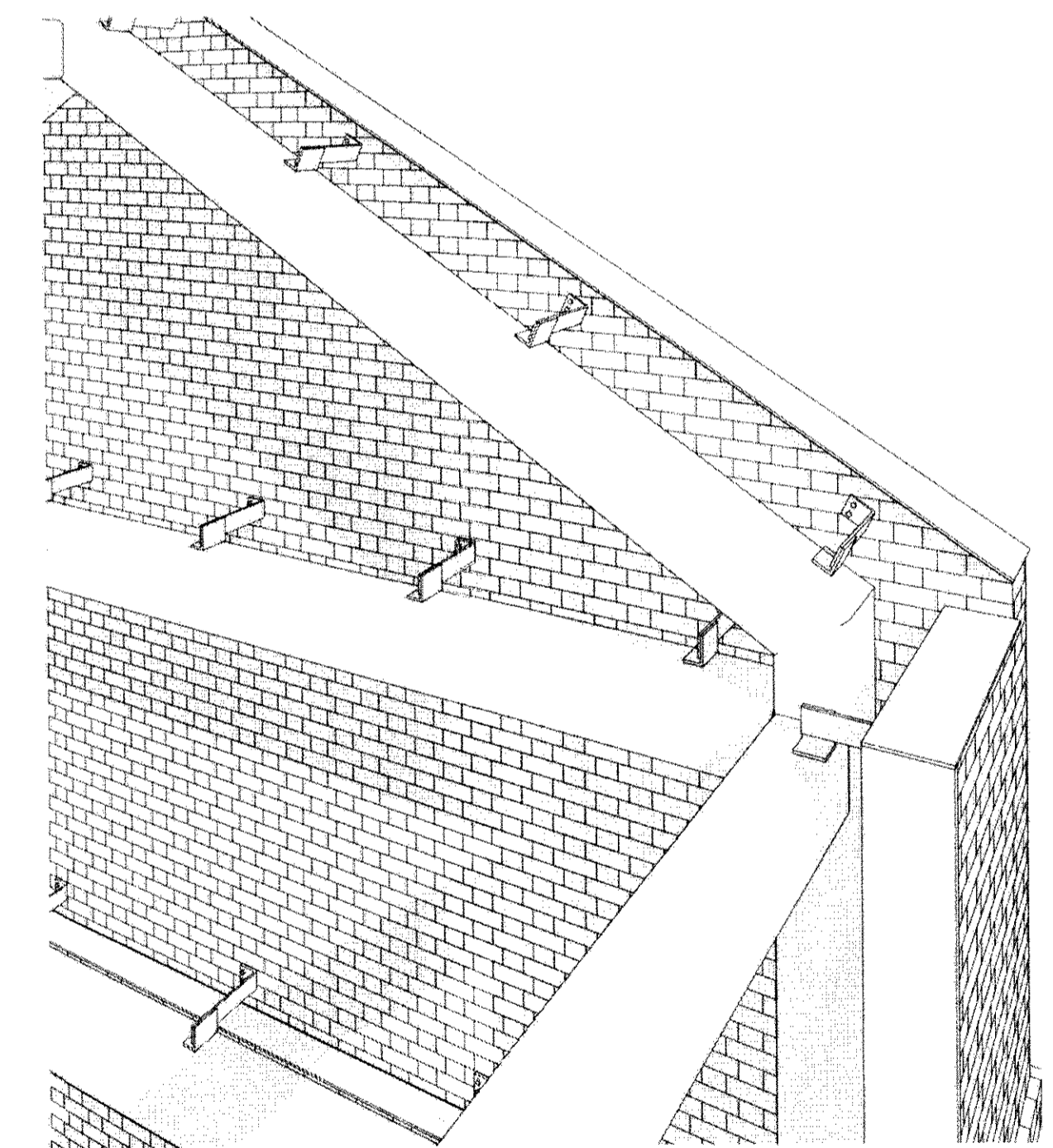
**A5** 3D View - FROM SOUTH WEST  
SCALE:



**D1** NORTH WALL DETAIL  
SCALE:



**C3** SOUTH WALL DETAIL  
SCALE:



**C5** NORTH WEST WALL DETAIL  
SCALE:

*Michael J. Mills*

Michael J. Mills FAIA  
NJ - 8207  
Michael Schnoering AIA  
NJ - 12164

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Project Name & Address

**ROGERS HOUSE  
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MERCER COUNTY  
MERCER COUNTY PARK

Project No 1507  
Drawn By IE  
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Date OCTOBER 1, 2017

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DOCUMENTS**

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PERSPECTIVES

Sheet Number

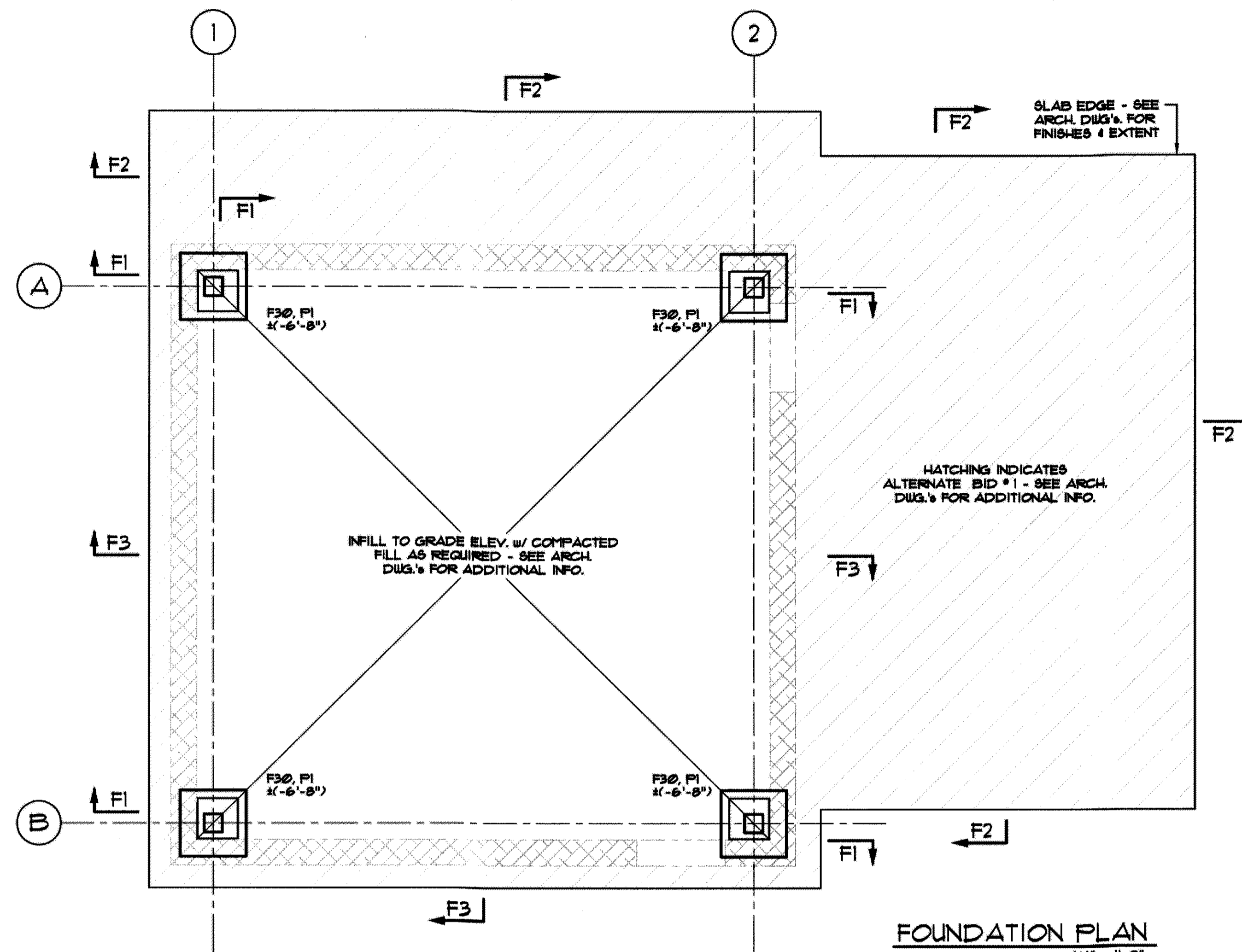
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 NJC - 12164

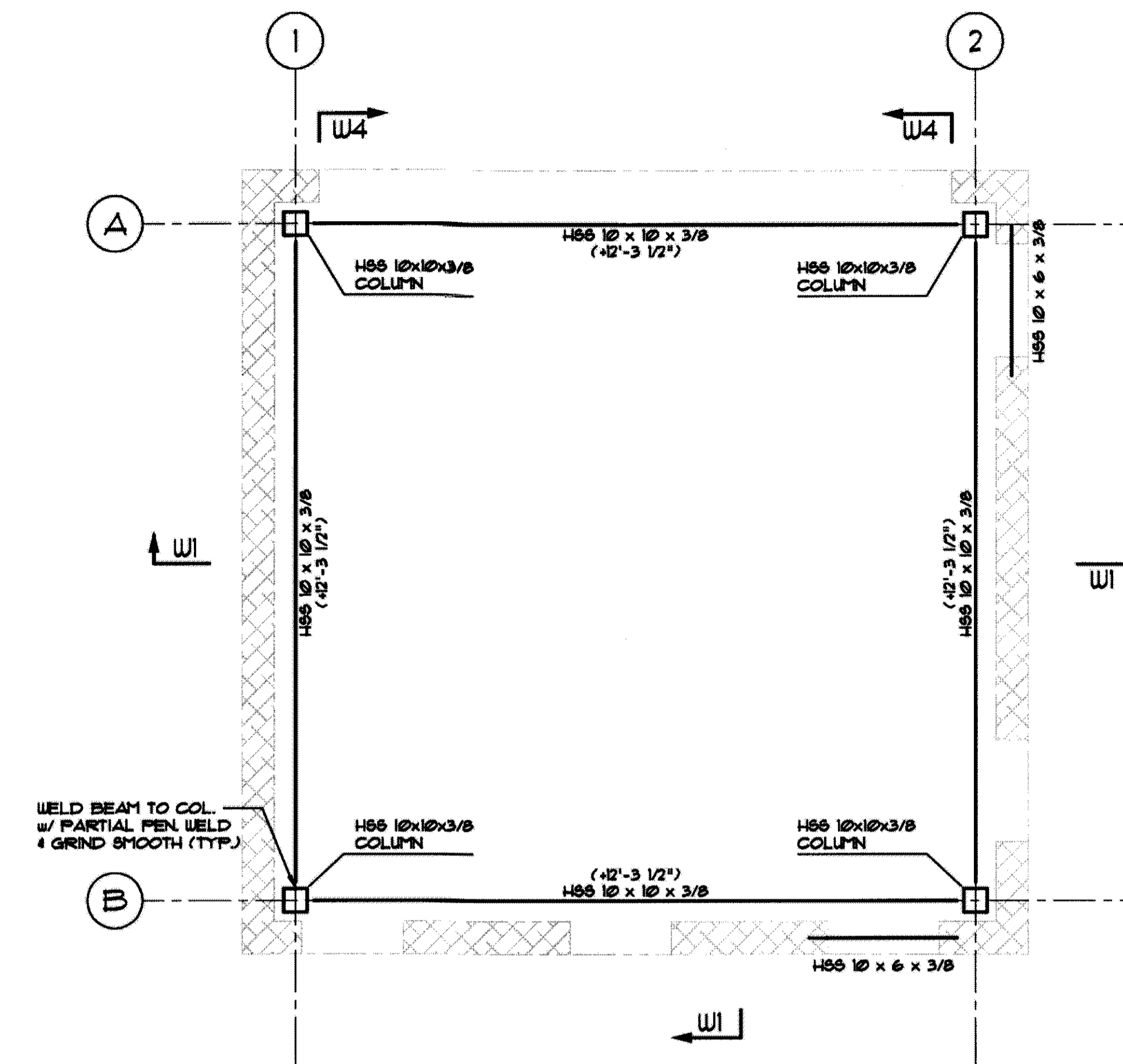
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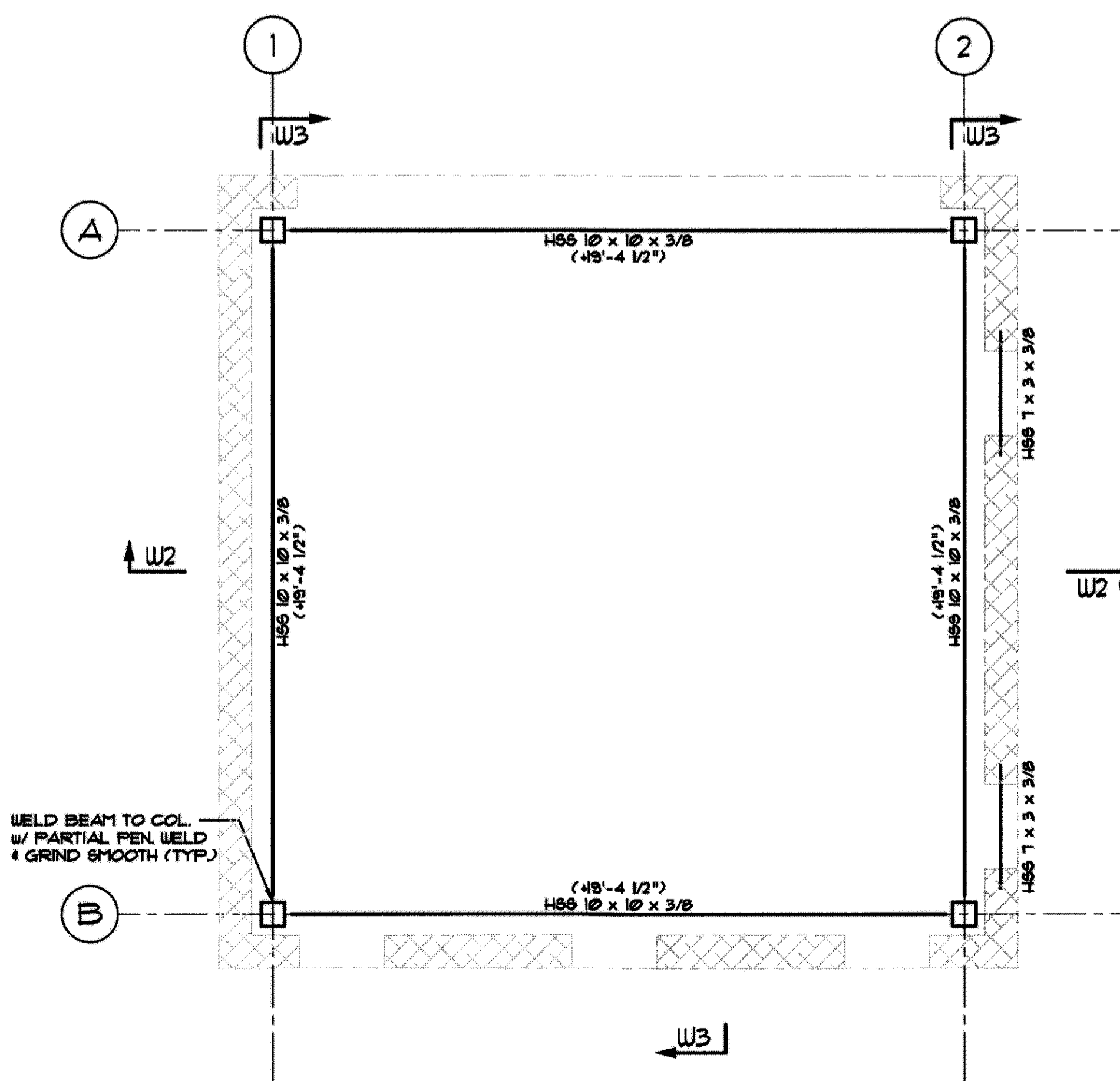
**FOUNDATION PLAN**

1/4" = 1'-0"  
 ELEVATION TOP OF FINISHED FLOOR: +36.84' ABOVE DATUM  
 EL. 0'-0" UNLESS OTHERWISE NOTED THIS < > ON PLAN.  
 FLOOR SLAB: 4" CONC. SLAB + 6"x6" W/4x14 W/WF. ON A VAPOR  
 BARRIER OVER 6" MIN. DRAINAGE FILL UNLESS OTHERWISE NOTED.  
 ELEVATION BOTTOM OF FOOTINGS NOTED THIS ( ) ON  
 PLAN BELOW DATUM EL. 0'-0".  
 REFERENCE ARCHITECTURAL DWG.'s FOR LOCATION & DETAILING  
 OF CONTROL & CONSTRUCTION JOINTS.



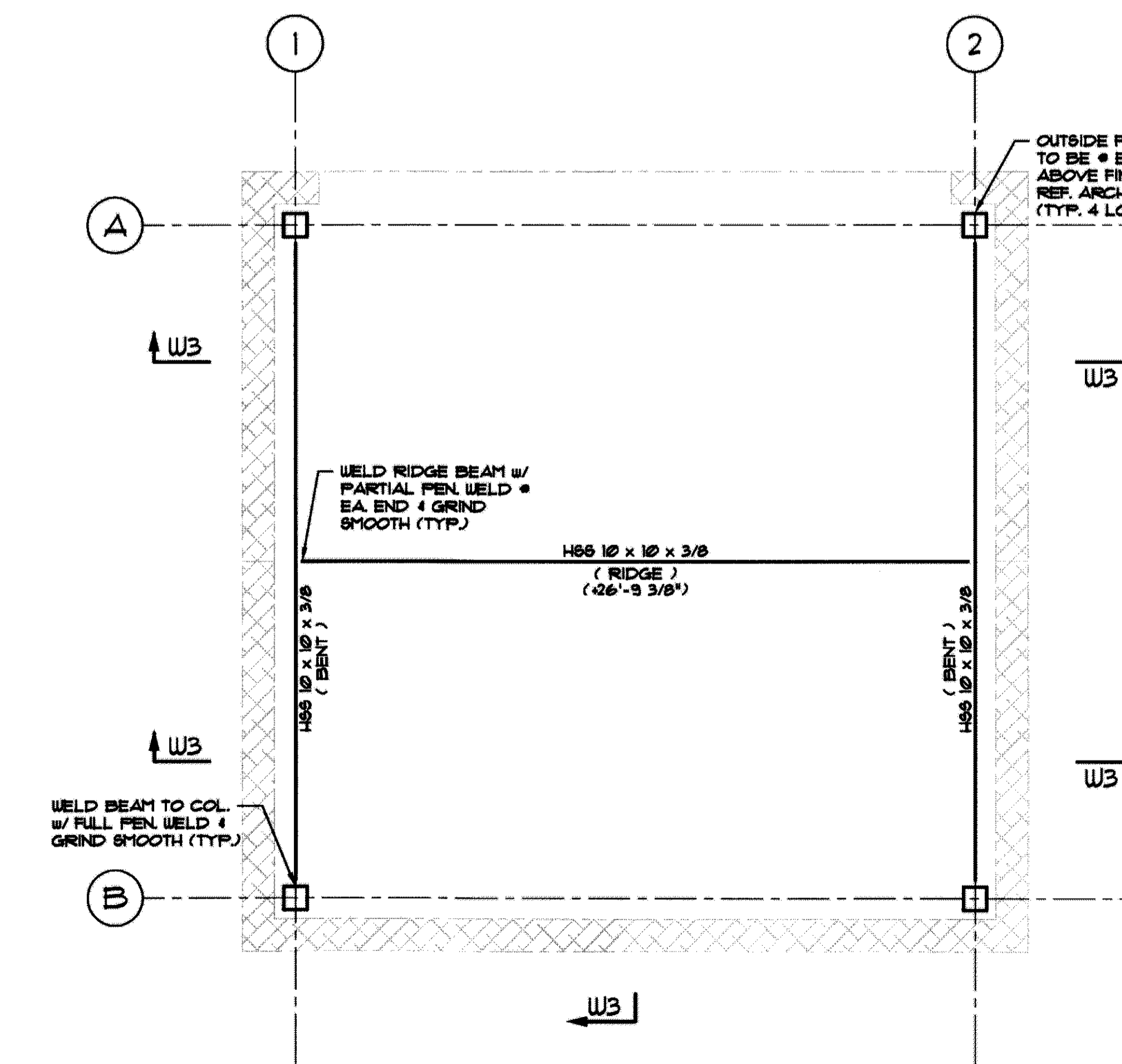
**SECOND FLOOR PLAN**

1/4" = 1'-0"  
 ELEVATION TOP OF STEEL NOTED THIS ( ) FROM  
 DATUM EL. 0'-0".



**ATTIC FLOOR PLAN**

1/4" = 1'-0"  
 ELEVATION TOP OF STEEL NOTED THIS ( ) FROM  
 DATUM EL. 0'-0".



**ROOF PLAN**

1/4" = 1'-0"  
 ELEVATION TOP OF STEEL NOTED THIS ( ) FROM  
 DATUM EL. 0'-0".



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Project Name & Address

**ROGERS  
 HOUSE  
 CONSTRUCTED  
 RUIN**

MERCER COUNTY  
 MERCER COUNTY PARK

Project No 1507

Drawn By RDR

Checked By SIR

Date OCTOBER 1, 2016

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**CONSTRUCTION  
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Drawing Title  
**STRUCTURAL PLANS**

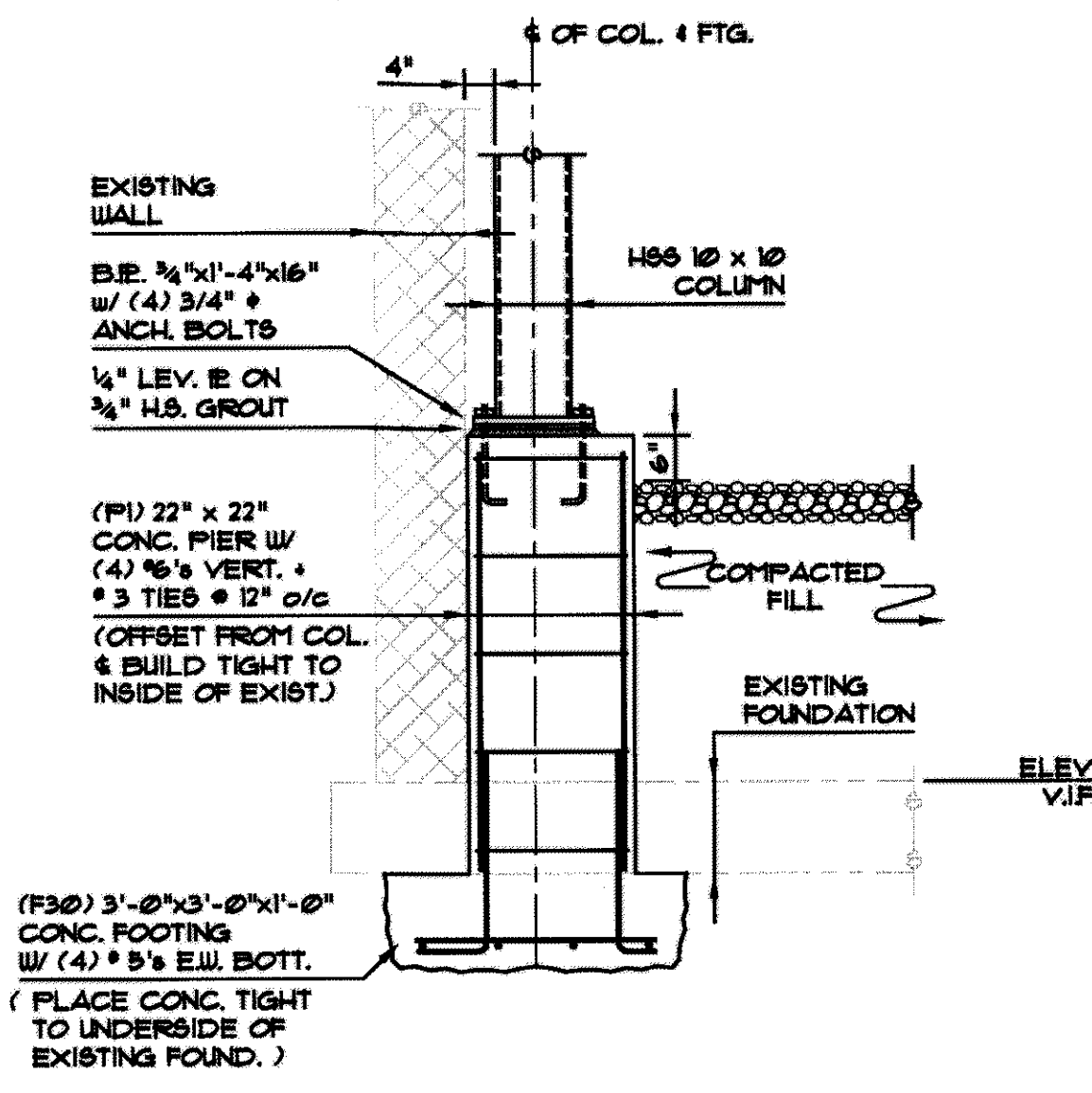
Sheet Number

**S-1.0**

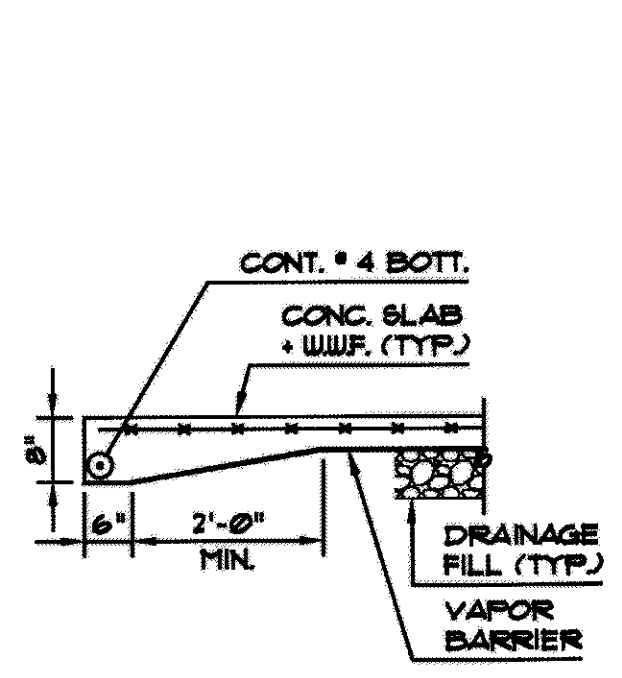
Harrison-Hamnett, P.C.  
 Consulting Structural Engineers  
 40 Knowles Street, Princeton, New Jersey 08534  
 Ph: 609-818-1808 www.hhpce.com

*John K. Harrison*  
 JOHN K. HARRISON N.J.P.E. #31198 9/26/17 DATE

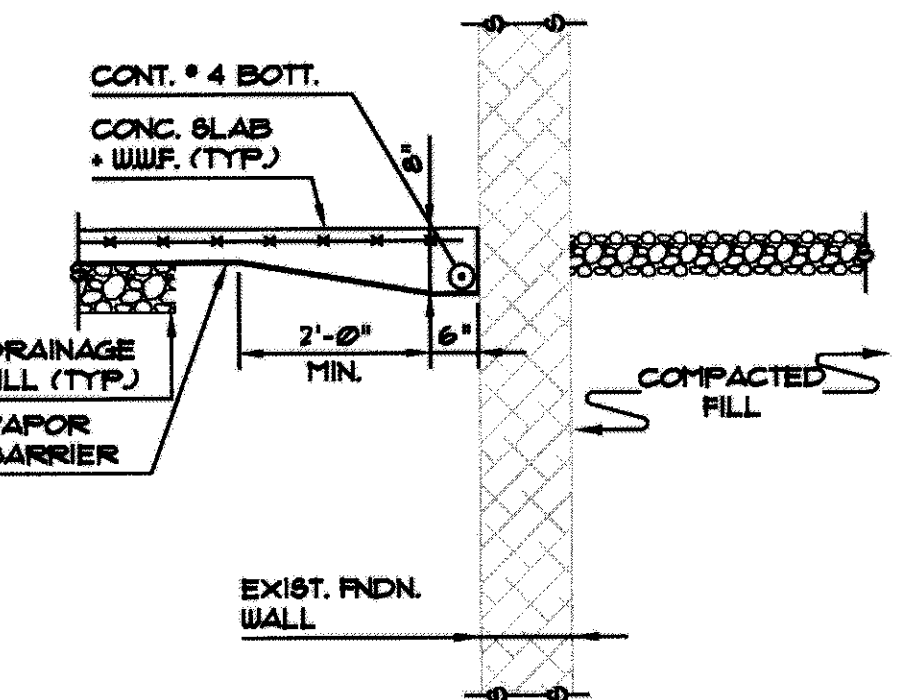
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SECTION - F1  
1/2' x 1'-0"

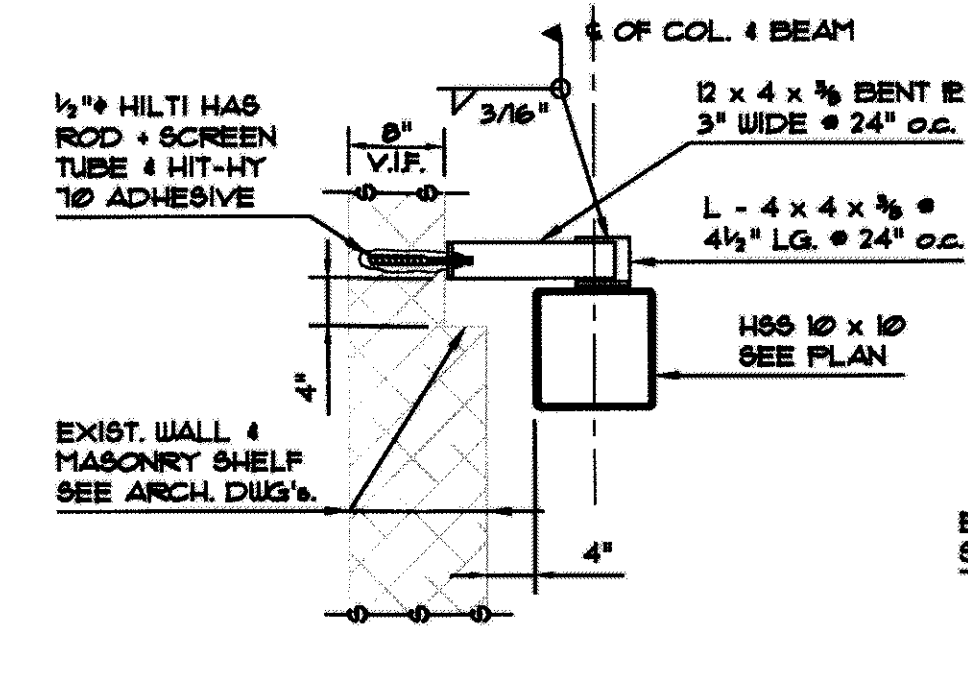


SECTION - F2  
1/2' x 1'-0"

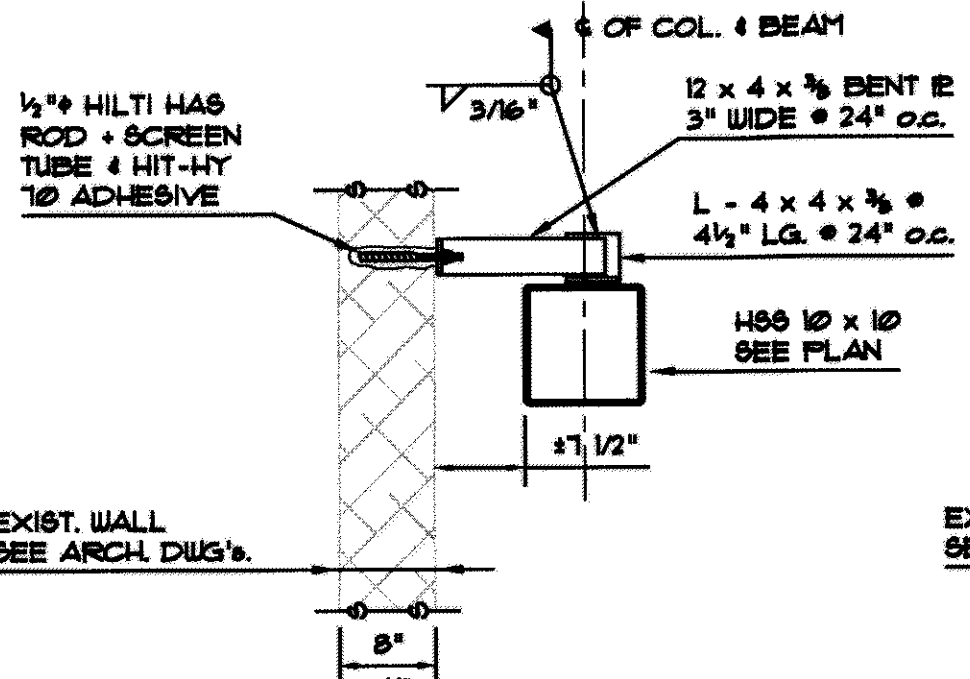


SECTION - F3  
1/2' x 1'-0"

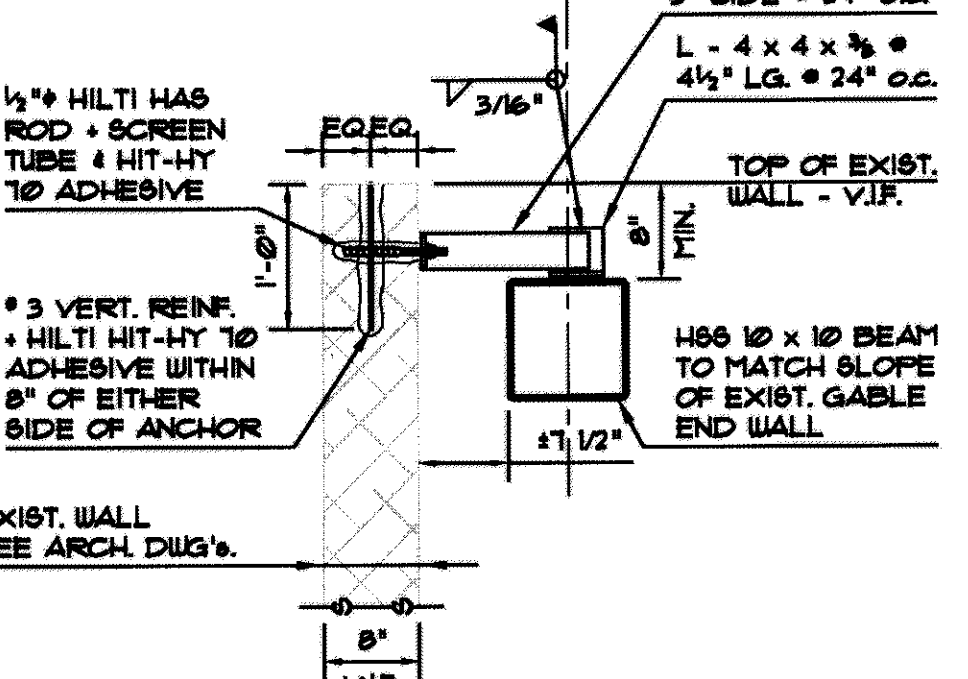
**UNDERPINNING NOTES:**  
 1. EXISTING WALL TO BE UNDERPINNED AT NEW SPREAD FOOTING LOCATIONS IN 3'-0" MAXIMUM SECTIONS. DECREASE LENGTH OF SECTIONS IF PIECES OF EXISTING FOUNDATION WALL BECOME LOOSE.  
 2. UNDERPIN WALLS IN ALTERNATING SEQUENCE.  
 3. EXISTING STRUCTURE AND SOIL EXCAVATION TO BE SHORED DURING CONSTRUCTION.



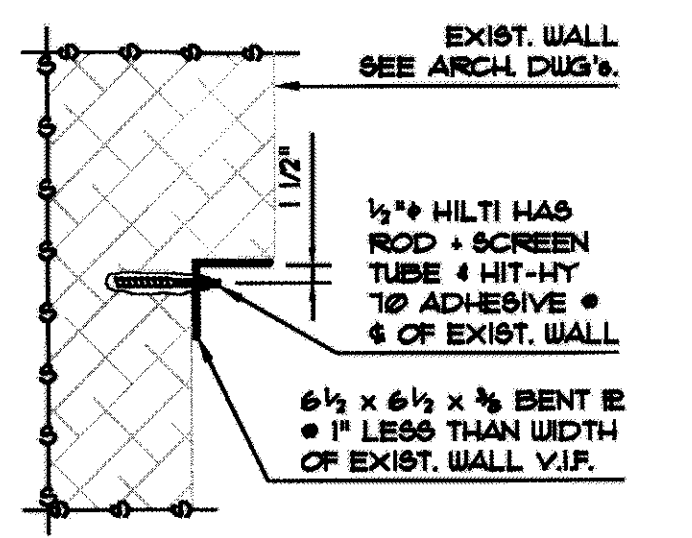
SECTION - W1  
3/4' x 1'-0"



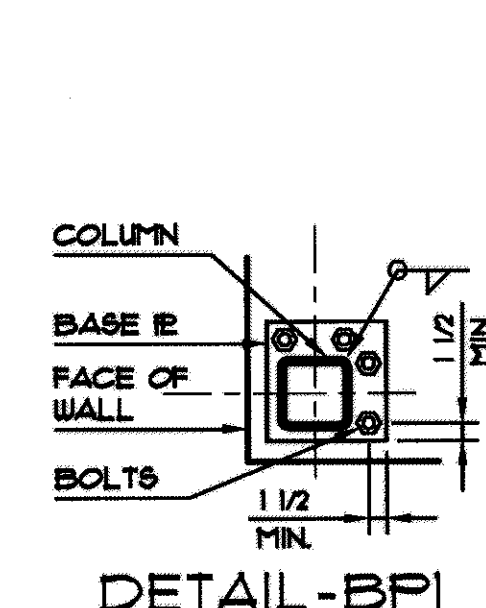
SECTION - W2  
3/4' x 1'-0"



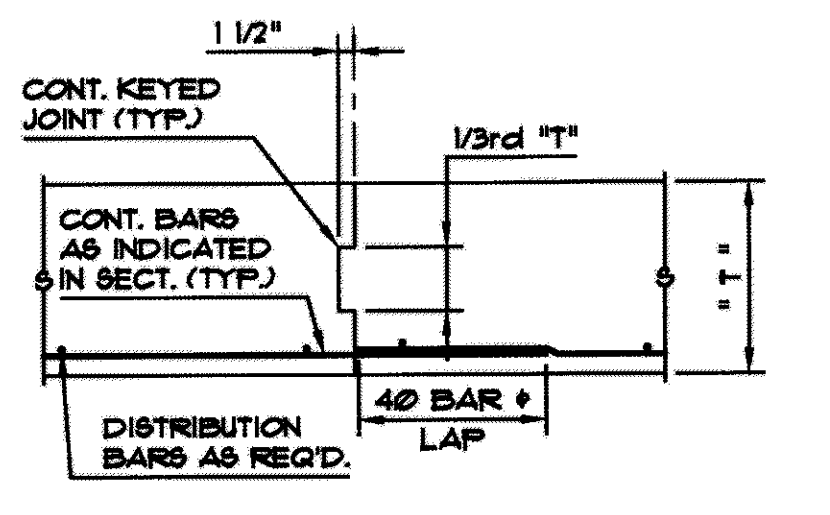
SECTION - W3  
3/4' x 1'-0"



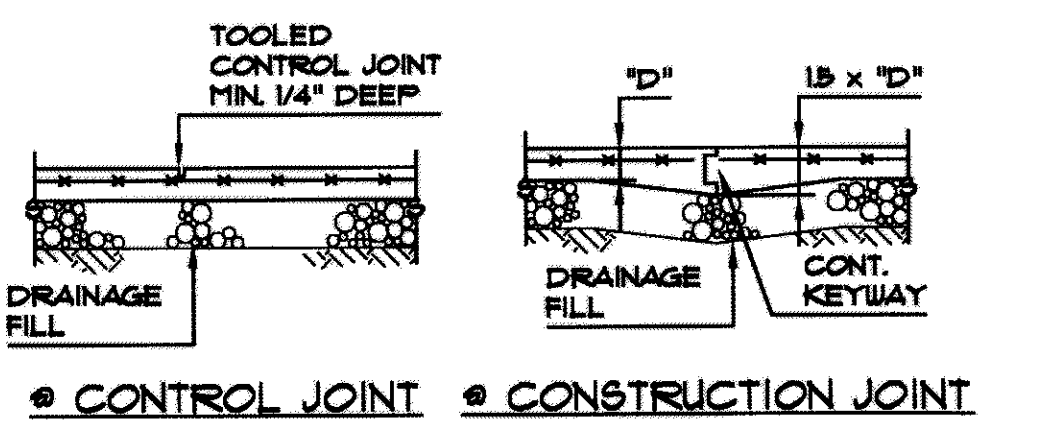
SECTION - W4  
3/4' x 1'-0"



DETAIL - BPI



TYPICAL CONCRETE FOOTING CONSTRUCTION JOINT



TYPICAL SLAB ON GRADE DETAILS  
 @ CONTROL JOINT @ CONSTRUCTION JOINT

**GENERAL NOTES**

**FOUNDATION**

- All footings shall bear on soil having a minimum safe bearing capacity of 15 tons per square foot. Confirm in field prior to placing footings.
- Elevations given correspond to the computed bottom of footings and are minimum depths which are not to be construed as limiting in any way the depth required to reach good bearing.
- No footings shall be placed in water or on frozen ground.
- No fill or backfill shall be placed over or against work at such time or in such a manner which would endanger the stability or otherwise damage such work.
- Fill and backfill material shall be free of deleterious organic matter.
- Fill and backfill shall be clean bank run material conforming to the following gradation: 100% smaller than 4 inch sieve, maximum 15% smaller than #20 sieve, and approved as acceptable by a testing laboratory.
- No fill or backfill shall be placed over or against work at such time or in such a manner which would endanger the stability or otherwise damage such work.
- All compacted fill to be at 95% minimum compaction.

**CAST-IN-PLACE CONCRETE**

- All concrete work shall conform to the latest edition of the ACI Building Code.
- All concrete, except slabs on grade, shall attain 3000 PSI compressive strength at 28 days. All concrete for slabs on grade shall attain 3500 PSI compressive strength at 28 days.

**REINFORCING**

- All reinforcing bar details shall conform to the latest ACI code and detailing manual.
- All bars shall be ASTM A-615, Grade 60.
- Welded wire fabric shall be ASTM A-185.
- Clearance of main reinforcing from adjacent surfaces unless shown otherwise shall be:
  - Uniformed surfaces in contact with ground or exposed to the weather.
  - Bottom surfaces of slabs on grade: 3"
  - Formed surfaces in contact with ground or exposed to weather:
    - 5 bars or smaller: 1-1/2"
    - Bars larger than #5: 2"
  - Exterior wall surfaces: 2"
  - In all cases not less than the diameter of the bar.
- All reinforcement shall be inspected and approved by architect or his designee before concrete is poured.
- Tolerances for placing reinforcing shall be:
  - + or - 1/4 inch for members with an effective depth of 24 inches or less.
  - + or - 1/2 inch for members with an effective depth of more than 24 inches.
- Where continuous bars are called for, they shall be run continuously around corners and lapped at necessary splices or hooked at discontinuous ends. Laps shall be 40 bar diameters. Bar laps may be offset to avoid control or construction joints.

**STRUCTURAL STEEL**

- All structural steel details shall be designed in accordance with the latest issue of the American Institute of Steel Construction (AISC), "Specification for Structural Steel Buildings - Allowable Stress Design and Plastic Design".
- Connections shall be designed to develop the full strength of the member over the required span, 1 1/2 times for composite members.
- Provide double angle connections at all beam to wide flange columns and beam to beam connections whenever possible. The steel fabricator must notify the Structural Engineer if there are to be any changes. See Typical Tru-FI Detail for beam to tube column connections.
- Field connections shall be made by high strength bolts 3/4" minimum in diameter or welded as shown on drawings.
- All pipe shapes shall be ASTM A53, Grade B, Fy = 35 KSI.
- All tube shapes shall be ASTM A500, Grade B, Fy = 46 KSI.
- All structural wide flange shapes to be ASTM A-992/AB72, Grade 50.
- All steel plates, angles, channels are to be ASTM A-36 unless indicated otherwise.

**MISCELLANEOUS**

- Contractor shall verify all dimensions, sections and elevations on the job.
- All walls shall be braced during construction until permanently restrained.
- Reproductions of contract documents are not acceptable as shop drawings and will be rejected.

Michael J. Mills FAIA  
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 Michael Schoeninger AIA  
 NJC - 12164

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Revisions



Project Name & Address

**ROGERS HOUSE CONSTRUCTED RUIN**

MERCER COUNTY  
 MERCER COUNTY PARK

Project No 1507  
 Drawn By RDR  
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Issued for  
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 Drawing Title  
 SECTIONS AND DETAILS

Sheet Number

**S-2.0**

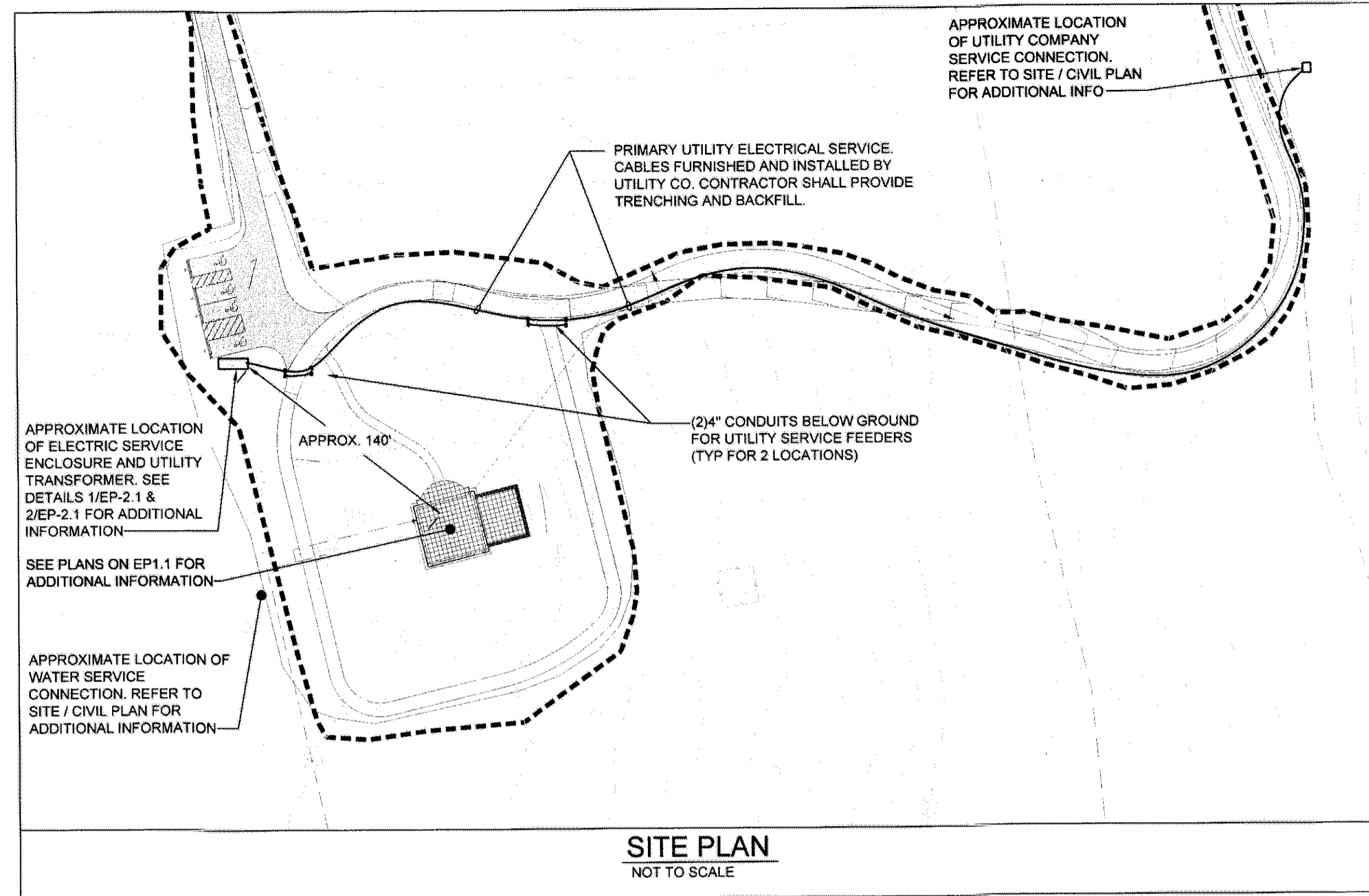
Harrison-Hamnett, P.C.  
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 Ph: 609-818-1808 www.hhpccsc.com  
 JOHN H. HARRISON N.J.P.E. #31198  
 DATE 7/26/17

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PLUMBING SYMBOL LIST	
	DRAINAGE PIPE
$\varnothing$	DIAMETER
	FLANGED UNION
	PIPE-UP UNLESS OTHERWISE NOTED
	PIPE DROP UNLESS OTHERWISE NOTED
LOW HIGH	DROP OR RISE
	BOTTOM CONNECTION
	TOP CONNECTION
	VALVED CAPPED OUTLET
	SHUT OFF VALVE
	CONNECT TO EXISTING
ABBREVIATIONS	
DN	DOWN
DR	DRAIN
DWG	DRAWING
LF	LINEAR FEET
NTS	NOT TO SCALE
O/C	ON CENTER
PLBG	PLUMBING
SPEC	SPECIFICATIONS
STD	STANDARD
TYP	TYPICAL
V	VENT

NOTE:  
ALL ABBREVIATIONS NOT NECESSARILY SHOWN ON DRAWINGS.

ELECTRICAL SYMBOL LIST	
	CONDUIT RUN CONCEALED: - TICK MARKS INDICATE NUMBER OF WIRES CONTAINED IN CONDUIT - TICK WITH 'G' INDICATES SEPARATE INSULATED GROUND WIRE (PROVIDE IN ALL CONDUITS WHETHER SHOWN OR NOT.)
	CIRCUIT HOMERUN TO PANELBOARD AND CIRCUITS INDICATED - ARROWS DENOTE NUMBER OF CIRCUITS (R) - DENOTES CIRCUIT VIA RELAY FOR CONTROL
	CONDUIT TURNING UP
	CONDUIT TURNING DOWN
	LIGHT FIXTURE AND OUTLET BOX 'A' DENOTES FIXTURE TYPE '# ' DENOTES CIRCUIT 'W' DENOTES SWITCH CONTROL
POWER/EQUIPMENT	
	PANEL OR CABINET, TYPE AS NOTED
	PULL BOX
	GROUNDING CONNECTION
	DUPLEX RECEPTACLE, 20A, 125V, 2P, 3W (GROUNDED), NEMA CONFIG. 5-20R: '2' - DENOTES CIRCUIT NUMBER 'GFI' - DENOTES GROUND FAULT INTERRUPTER
ABBREVIATIONS	
A	- AMPS
G,GRD,GND	- GROUND
GFI	- GROUND FAULT INTERRUPTER
KVA	- KILOVOLT - AMPS
KW	- KILOWATT
MCB	- MAIN CIRCUIT BREAKER
RLP-GM	- DENOTES POWER PANEL DESIGNATION
TYP	- TYPICAL
V	- VOLTS
U.O.N.	- UNLESS OTHERWISE NOTED
WP	- WEATHERPROOF



#### GENERAL PLUMBING NOTES:

1. THE CONTRACTOR SHALL NOT INTERRUPT ANY OF THE SERVICES OF THE EXISTING BUILDING OR SITE NOR INTERFERE WITH THE SERVICES IN ANY WAY WITHOUT THE EXPRESS PERMISSION IN WRITING BY THE OWNER, SUCH INTERRUPTIONS AND INTERFERENCES SHALL BE MADE AS BRIEF AS POSSIBLE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING A FULL SET OF BID DOCUMENTS AND VISIT THE SITE TO MAKE HIMSELF AWARE OF THE TOTAL JOB BEFORE SUBMITTING HIS PRICE. FAILURE TO DO SO SHALL NOT HOLD THE OWNER RESPONSIBLE FOR ANY ADDITIONAL COST.

#### GENERAL ELECTRICAL NOTES:

1. CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING AND POWER AS REQUIRED TO ACCOMMODATE BOTH REMOVAL OF EXISTING AND INSTALLATION OF NEW WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING A FULL SET OF BID DOCUMENTS AND VISIT THE SITE TO MAKE HIMSELF AWARE OF THE TOTAL JOB BEFORE SUBMITTING HIS PRICE. FAILURE TO DO SO SHALL NOT HOLD THE OWNER RESPONSIBLE FOR ANY ADDITIONAL COST.

#### EP. ELECT & PLUMBING DRAWINGS

- EP-0.1 GENERAL NOTES & SYMBOL LIST
- EP-0.2 ELECTRICAL SPECIFICATIONS
- EP-0.3 PLUMBING SPECIFICATIONS
- EP-1.1 FLOOR PLANS
- EP-2.1 DETAILS, SCHEDULES & RISER

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Date: 10.01.2017  
Revisions:

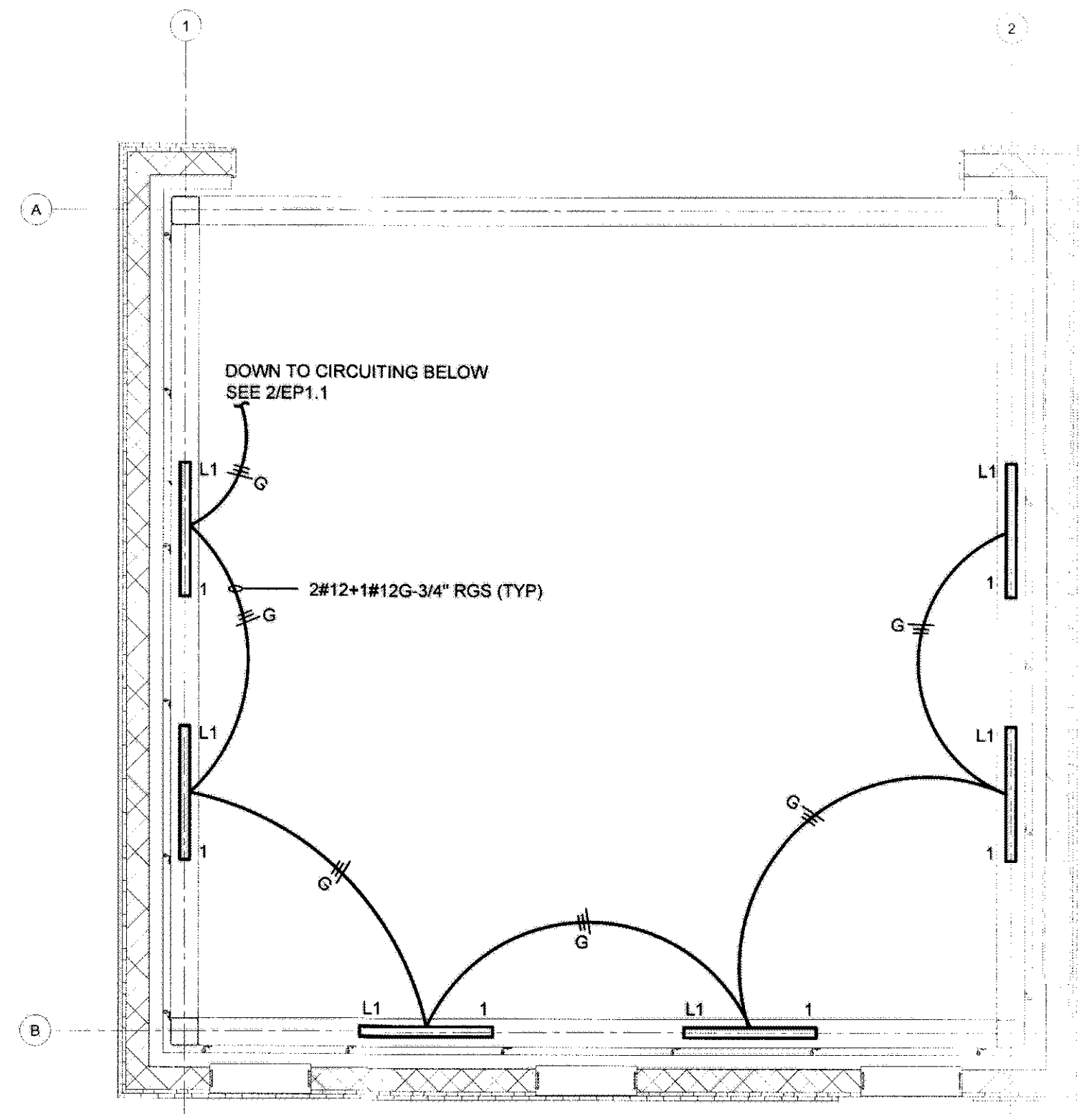
ROGERS HOUSE CONSTRUCTED RUIN  
MERCER COUNTY PARK

Project No: 1220  
Drawing Title: ELECT & PLUMBING: GENERAL NOTES & SYMBOL LISTS  
File Name: 8631EP01

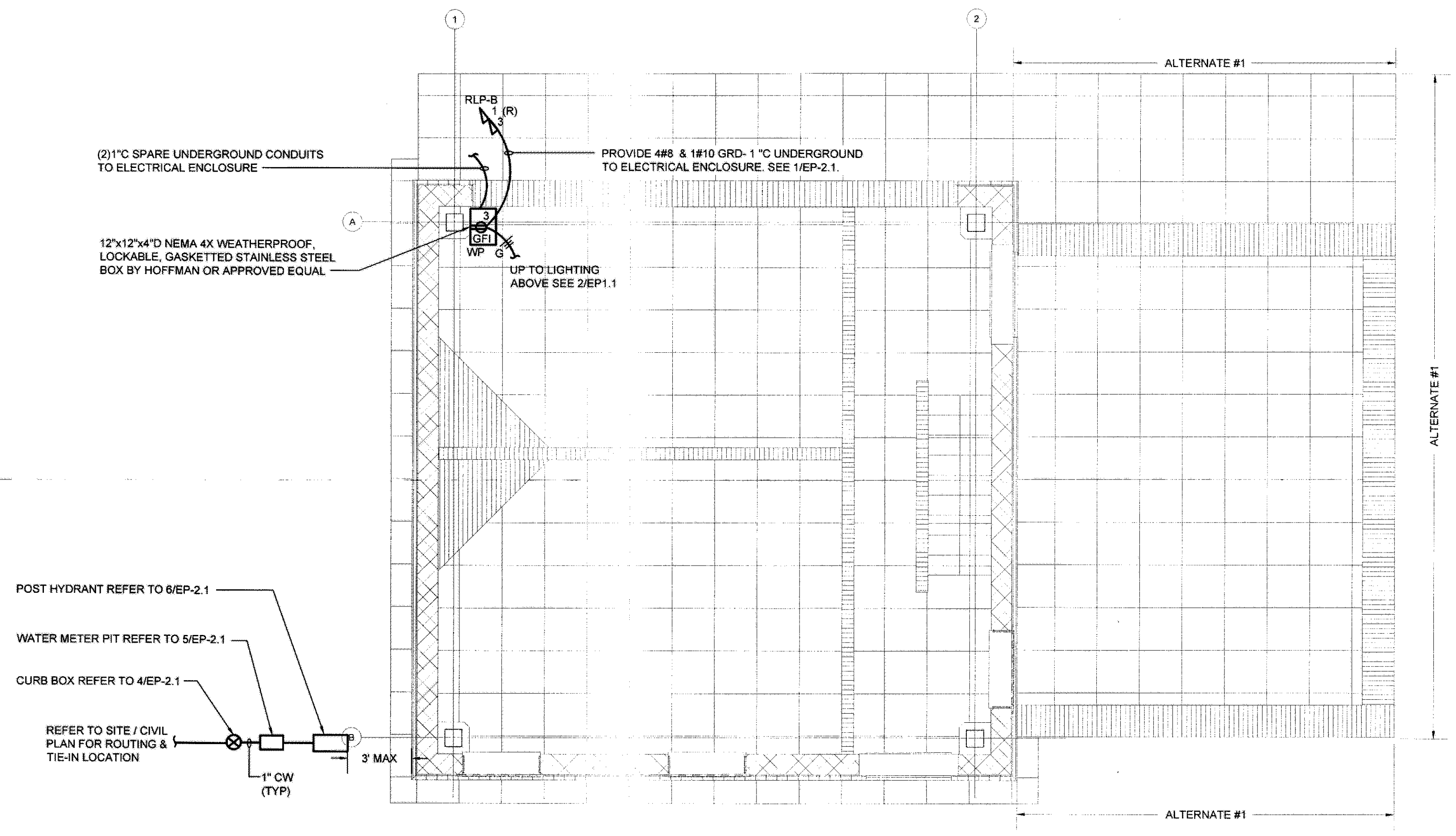
**EP-0.1**







**2 SECOND FLOOR PLAN**  
 SCALE: 1/4"=1'-0"  
 0 4 8 FEET



**1 FIRST FLOOR PLAN**  
 SCALE: 1/4"=1'-0"  
 0 4 8 FEET

**ELECTRICAL GENERAL NOTES**

- 1 LIGHT FIXTURES AND REMOTE TRANSFORMERS SHALL BE MOUNTED SECURELY TO UNDERSIDE OF STRUCTURAL STEEL
- 2 REFER TO SITE/CIVIL DRAWINGS FOR EXACT LOCATION OF ELECTRICAL ENCLOSURE.
- 3 CONDUIT SHALL BE CONCEALED TO GREATEST EXTENT POSSIBLE, LOCATED ON TOP OR BEHIND BEAMS AND COLUMNS. INSTALLATION DETAIL SHALL BE COORDINATED WITH AND AS DIRECTED BY ARCHITECT IN FIELD.
- 4 PROVIDE HANDHOLE FOR EVERY 100' OF UNDERGROUND CONDUIT RUN.

**PLUMBING GENERAL NOTES**

1. COORDINATE WATER SERVICE REQUIREMENTS WITH UTILITY COMPANY.
2. COORDINATE EXACT LOCATION OF ALL EQUIPMENT WITH SITE/CIVIL DRAWINGS.

*Handwritten signature*

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Revisions

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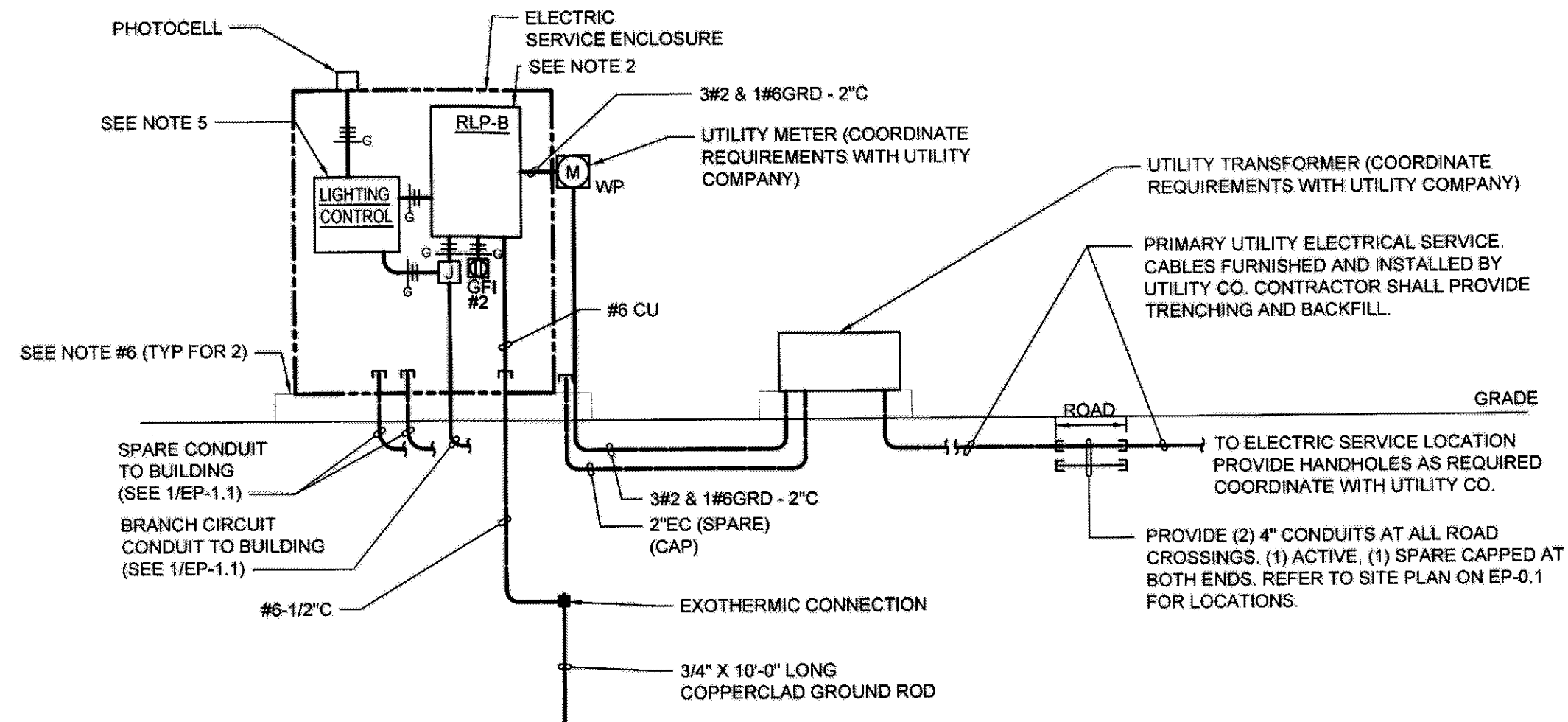
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Drawing Title: ELECT & PLUMBING FLOOR PLANS

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**EP-1.1**

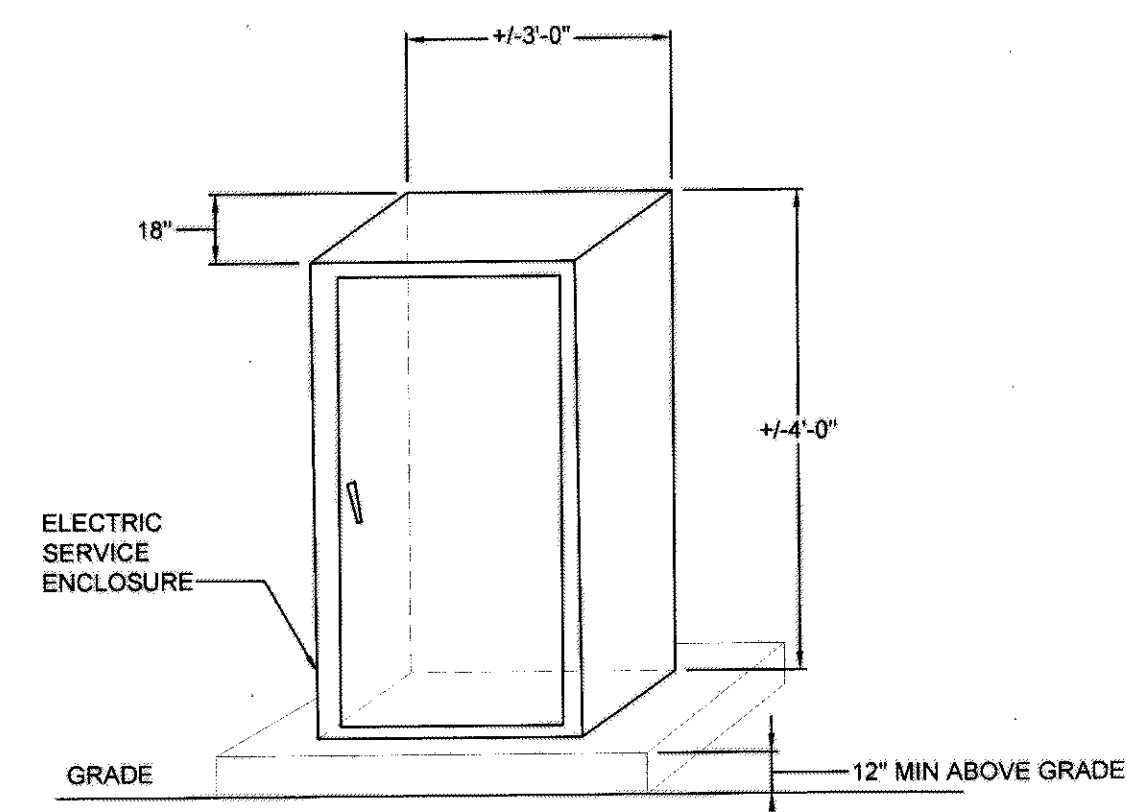


**1 ELECTRICAL RISER DIAGRAM**

SCALE: N.T.S.

**NOTES:**

1. THE DISTRIBUTION SYSTEM SHALL BE COMPLETELY AND PROPERLY GROUNDED USING APPROVED FITTINGS. ALL CONDUCTING WIRE ENCLOSURES SHALL BE SECURELY BONDED TOGETHER SO THAT EVERY CONDUCTING COMPONENT IS PROVIDED WITH A LOW RESISTANCE PATH TO GROUND. SEPARATE INSULATED GROUND CONDUCTORS SHALL BE RUN WITH ALL FEEDERS, RECEPTACLE BRANCH CIRCUITS AND CIRCUITS FEEDING LIGHTING FIXTURES AND EQUIPMENT.
2. MOUNT PANEL ON UNI-STRUT CHANNELS SO FRONT FACE OF PANELBOARD IS FLUSH WITH ENCLOSURE OPENING.
3. REFER TO SITE PLAN FOR EXACT LOCATION AND ROUTING OF FEEDERS.
4. COORDINATE ELECTRIC SERVICE REQUIREMENTS WITH UTILITY COMPANY PRIOR TO INSTALLATION.
5. PROVIDE LIGHTING CONTROL PANEL SIMILAR TO TORX #DLC400BP WITH PHOTOCELL INCLUDED. COORDINATE PROGRAMMING AND TIME SCHEDULE WITH OWNER.
6. PROVIDE 4" REINFORCED CONCRETE PAD FOR ELECTRICAL EQUIPMENT ENCLOSURE AND UTILITY TRANSFORMER. CONCRETE PAD SHALL BE A MINIMUM OF 6" LARGER THAN FOOTPRINT OF EQUIPMENT.

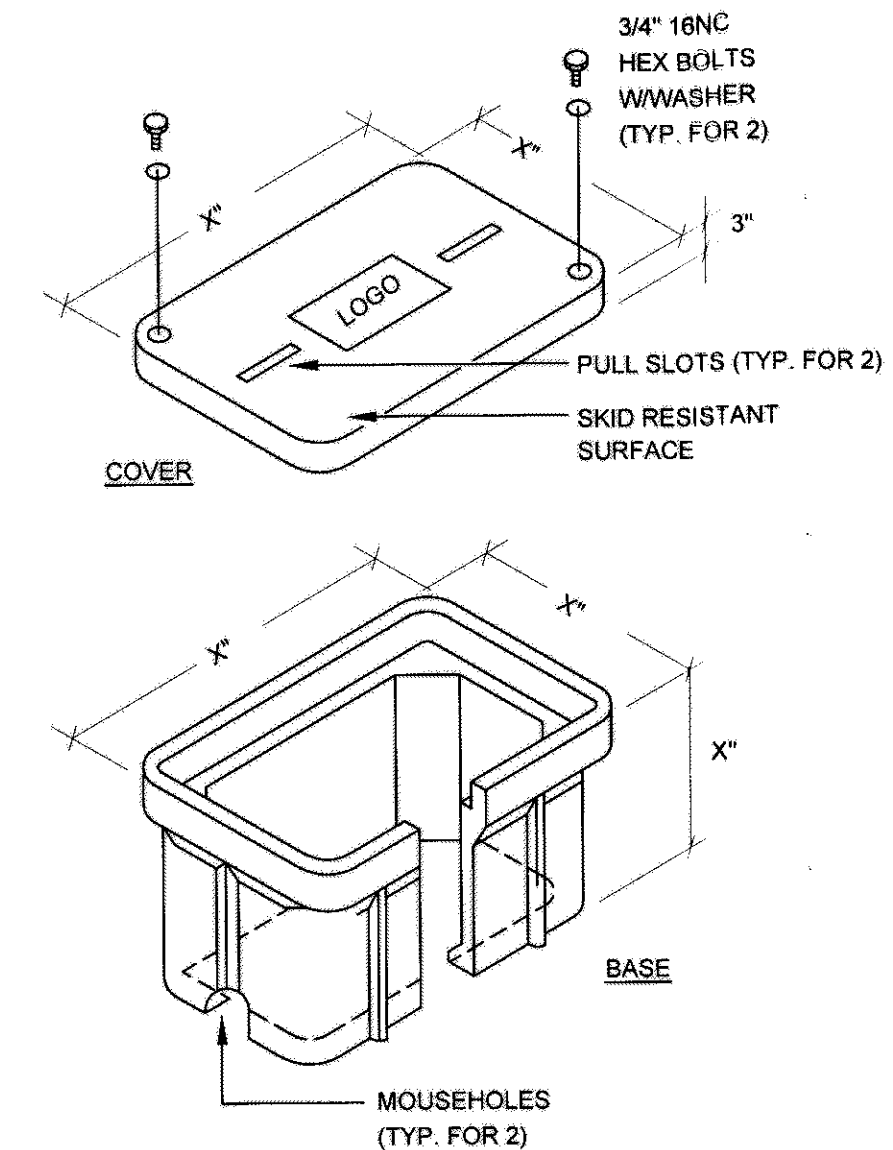


**2 ELECTRIC SERVICE ENCLOSURE**

SCALE: N.T.S.

**NOTES:**

1. ENCLOSURES SHALL BE MINIMUM FLOOR MOUNTED, 12 GAUGE STAINLESS STEEL, NEMA 4X WITH GASKETED AND LOCKABLE DOORS. HOFFMAN #A74H7218SSLP3PT OR EQUAL.
2. COORDINATE EXACT DIMENSIONS AND SPECIFICATIONS OF EQUIPMENT PAD WITH SITE / CIVIL DRAWINGS.



**3 TYPICAL HANDHOLE DETAIL**

NOT TO SCALE

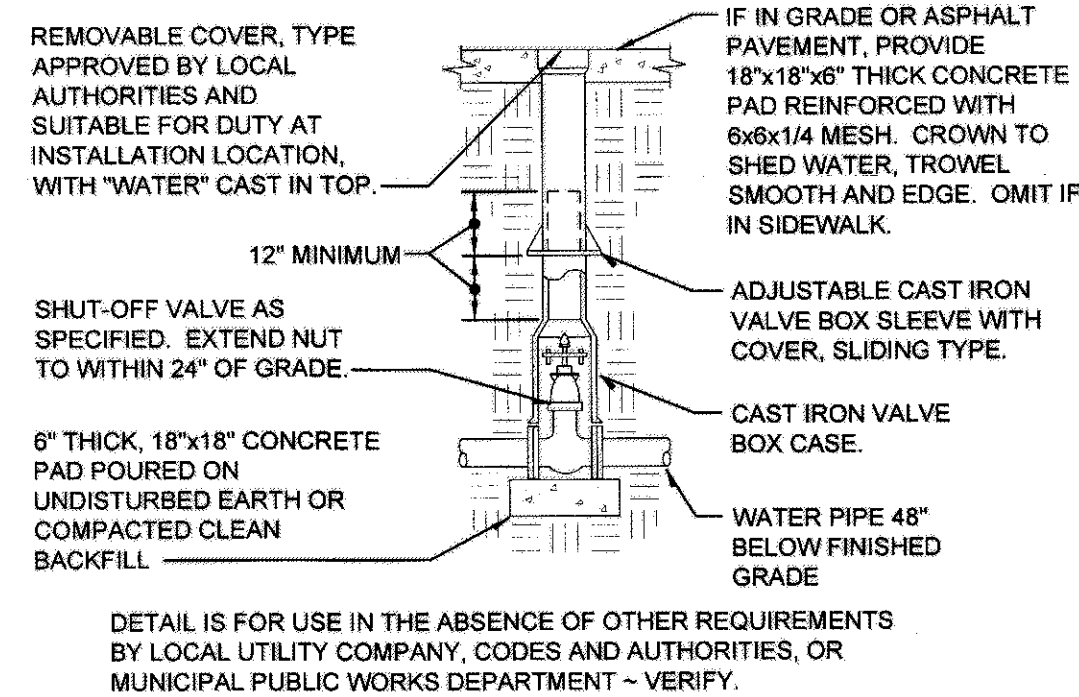
**NOTES:**

1. LENGTH, WIDTH, AND DEPTH (X") SHALL BE AS REQUIRED, MIN. 18" X 18" X 18".
2. CONTRACTOR SHALL PROVIDE EXTENSION BOXES AS REQUIRED.
3. PROVIDE CRUSHED STONE BELOW HANDHOLE FOR DRAINAGE.
4. COVER SHALL BE IDENTIFIED AS REQUIRED ("ELECTRIC", "SITE LIGHTING", "TELECOM", ETC.)
5. HANDHOLE SHALL BE POLYMER CONCRETE WITH OPEN BOTTOM WITH MOUSE HOLES. QUAZITE #PGSTYLE OR APPROVED EQUAL. COORDINATE DEPTH OF HANDHOLES WITH INSTALLATION DETAILS AND EXISTING CONDITIONS IN THE FIELD.
6. PROVIDE MINIMUM 12" DEEP (AND 6" WIDER ON THE SIDES) GRAVEL BED BELOW HANDHOLE.

REMARKS		KVA	SERVICE TO:	NO.	O.C.	A	B	O.C.	NO.	SERVICE TO:	KVA	REMARKS
(R)	0.3	LTG	RECEPT - HOUSE RUIN	1	20			20	2	RECEPT - ENCLOSURE	0.2	-
-	-	-	SPARE	3	20			20	4	SPARE	-	-
-	-	-	SPARE	5	20			20	6	SPARE	-	-
-	-	-	SPARE	7	20			20	8	SPARE	-	-
-	-	-	SPARE	9	20			20	10	SPARE	-	-
-	-	-	SPARE	11	20			20	12	SPARE	-	-
TOTAL CONNECTED KVA = 0.5 KVA												
AMPS = 2.5 A												

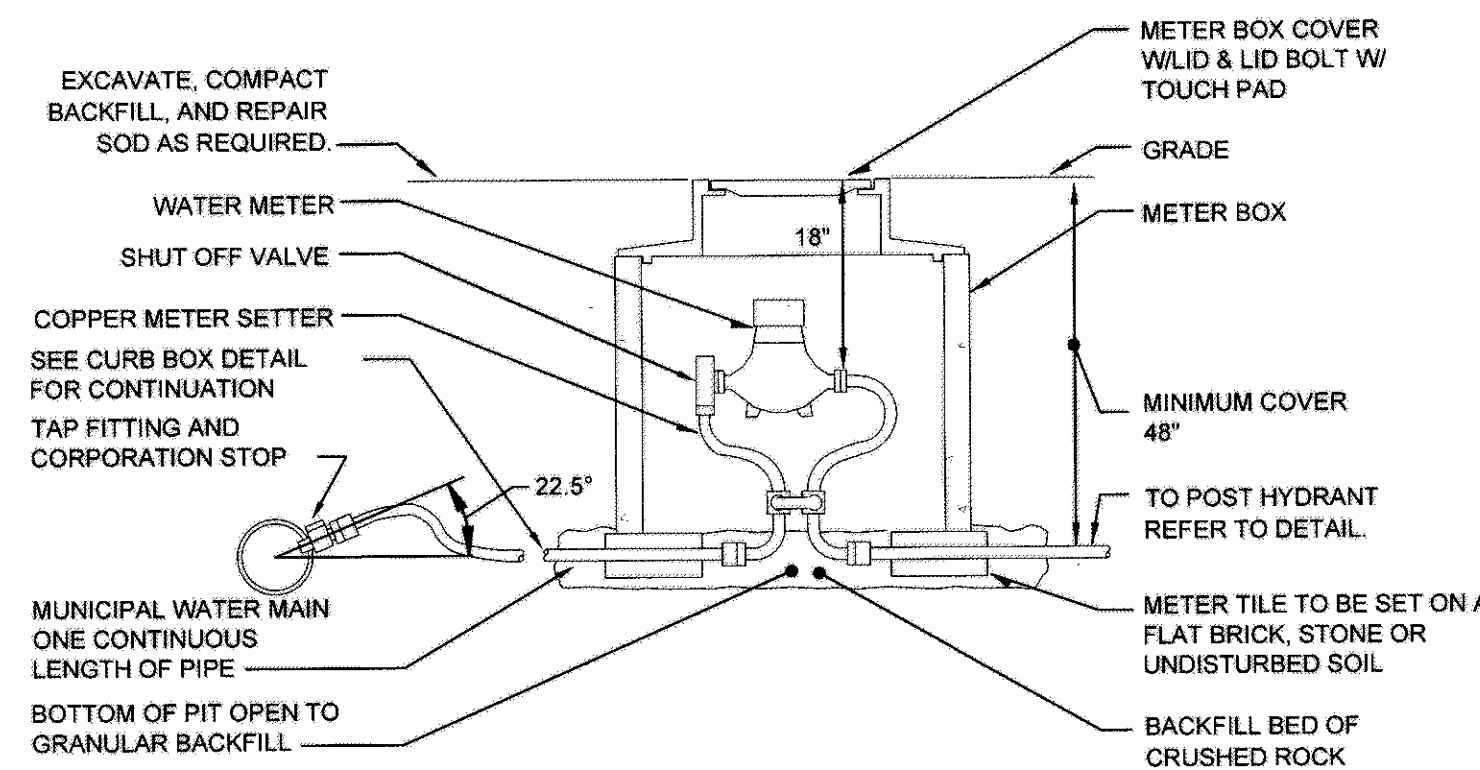
(\*) - PROVIDE LOAD CENTER WITH NEMA 4 ENCLOSURE  
(R) - DENOTES VIA LIGHTING CONTROL RELAY

LIGHTING FIXTURE SCHEDULE					
FIXTURE TYPE	DESCRIPTION	MANUFACTURER / CAT NO.	VOLTAGE	LAMPS (#) TYPE	INPUT WATTS
L1	4" LINEAR LED WALL GRAZING FIXTURE, WALL MOUNTED, UL LISTED FOR WET LOCATIONS.	MP LIGHTING CAT. No. L171W-4S2W35NKA-MP WITH TLW120MT050-01 REMOTE WP TRANSFORMER	120 / 24V	8WFT LED	35



**4 CURB BOX INSTALLATION**

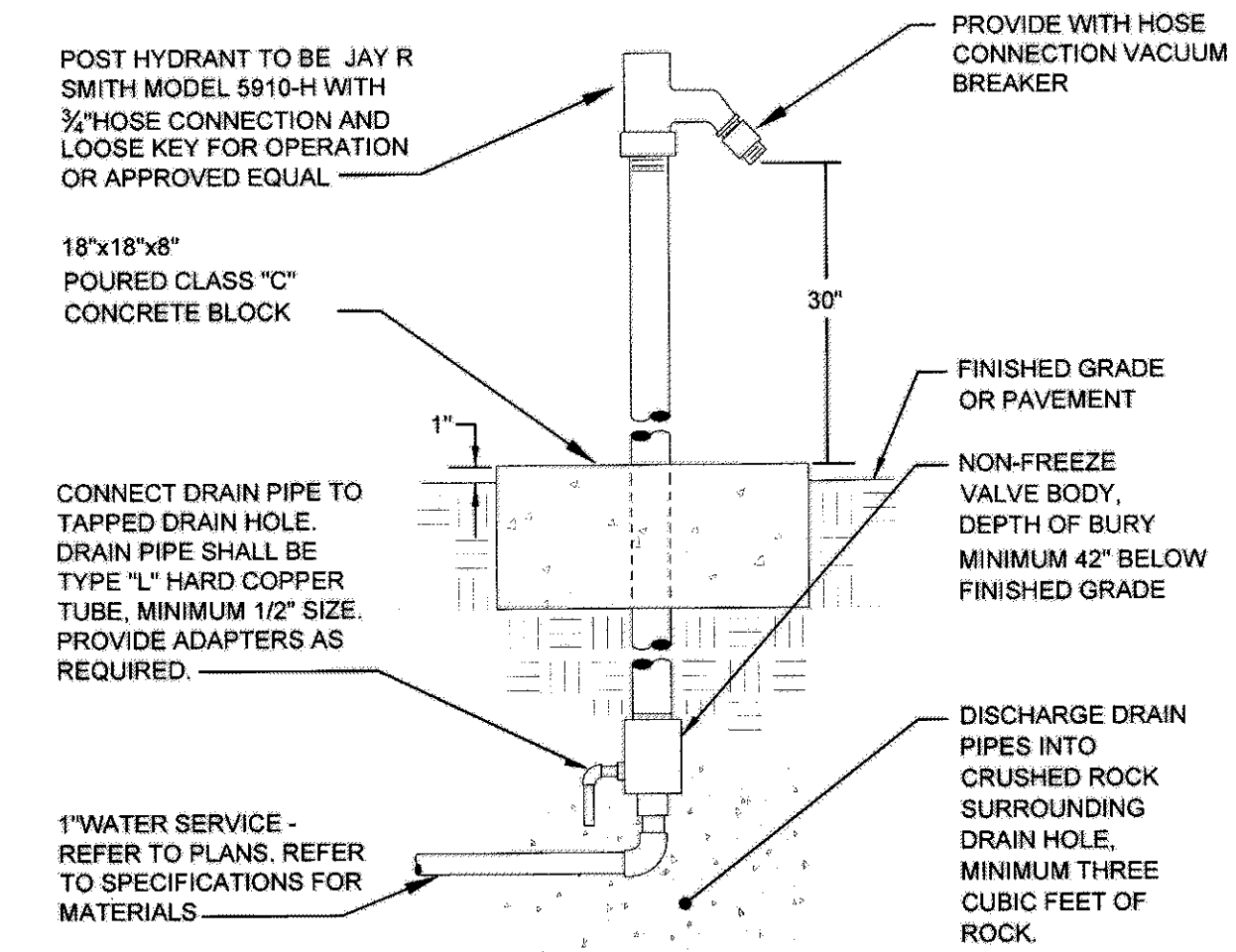
NOT TO SCALE



LOCATE PIT WITHIN WATER MAIN EASEMENT IN GRASSY AREA WHERE POSSIBLE. DETAIL SHOWS GENERAL SCHEMATIC REQUIREMENTS. CONTRACTOR SHALL OBTAIN PLANS AND SPECIFICATIONS FROM LOCAL MUNICIPAL WATER COMPANY. INSTALL ITEMS FURNISHED BY WATER COMPANY. PAY ANY FEES REQUIRED BY WATER COMPANY. FURNISH AND INSTALL ITEMS NOT PROVIDED BY WATER COMPANY. VERIFY EXCAVATION REQUIREMENTS WITH SITE EXAMINATION OR GEOTECHNICAL REPORT.

**5 WATER METER PIT INSTALLATION**

NOT TO SCALE



PIPING ARRANGEMENT IS SCHEMATIC. ADJUST TO SUIT FIELD CONDITIONS. INSTALL PER MANUFACTURER'S INSTRUCTIONS. VERIFY FROST DEPTH AND PROVIDE SUITABLE UNDERGROUND SHAFT LENGTH. INSTALL AT LOCATION(S) SHOWN ON PLANS.

**6 POST HYDRANT INSTALLATION**

NOT TO SCALE

*Vincent Farese*

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