



State of New Jersey

DEPARTMENT OF TREASURY
DIVISION OF PROPERTY MANAGEMENT & CONSTRUCTION
P O Box 034
TRENTON NJ 08625-0034

PHILIP D. MURPHY
Governor

ELIZABETH MAHER MUOIO
State Treasurer

SHEILA Y. OLIVER
Lt. Governor

CHRISTOPHER CHIANESE
Director

May 7, 2020

SUBJECT: Bulletin "C" Dated May 7, 2020
PROJECT #: A1310-00
DESCRIPTION: Restoration Upgrades to Exterior Building Envelope
State Office Building - 135 Hanover Street
Trenton, Mercer County, NJ

To Whom It May Concern:

WE ARE FORWARDING A COPY OF THE ABOVE REFERENCED BULLETIN. PLEASE
ACKNOWLEDGE RECEIPT BY RETURNING THIS FORM TO:

Division of Property Management and Construction
Attention: S. Taylor
Contracts & Procurement
PO Box 034
Trenton NJ 08625-0034
Fax #: 609-777-1970

Sincerely,

Shawn Taylor
Property Management Services Specialist
Contracts and Procurement

Date Received

Firm Name

Address

Signature

Title

STATE OF NEW JERSEY
DEPARTMENT OF TREASURY
DIVISION OF PROPERTY MANAGEMENT AND CONSTRUCTION
PO BOX 034, TRENTON, NJ 08625-0034

PROJECT#: A1310-00 Restoration Upgrades to Exterior Building Envelope
State Office Building
135 West Hanover Street,
Trenton, Mercer County, N.J.

A/E: Lammey + Giorgio Architects

DATE: May 7, 2020

BULLETIN “C”

Bidder must acknowledge receipt of this Bulletin on bid form in the space provided therefor.

This Bulletin is issued for the purpose of amending certain requirements of the original Contract Documents, as noted hereinafter, and is hereby made part of and incorporated in full force as part of the Contract Documents. Unless specifically noted or specified hereinafter, all work shall comply with the applicable provisions of the Contract Documents.

A) BIDDING INFORMATION:

1. Contractors are advised that bids will be received on **Tuesday, May 19, 2020 by 2:00 PM at the DPMC Plan Room**. Firms planning to submit a bid can drop off the bid to the DPMC Plan Room or use an overnight delivery service. **However, bids not received by the bid deadline will be deemed non-responsive.** **Bidders are permitted to attend the bid opening in person (limit one representative per firm to ensure proper social distancing measures) but are strongly urged due to the current COVID-19 pandemic emergency to view the bid opening via the ZOOM videoconferencing app instead of attending in person. The bid results will be posted on the DPMC website promptly after the opening.**

a) To Join the Bid Opening via the Zoom app:

- You can connect with a PC/laptop or with a iOS or Android phone.
 - Download and Launch the app on your computer or smart phone. Select the JOIN A MEETING blue bar (you do not need to create an account). Then enter the meeting ID number at the top of the next page. You can edit your name, then select “Join”. You will be permitted to allow the app to access your camera and mic. You will also be permitted to select internet audio or call. You can select internet call/audio.
 - The bid opening meeting ID# for Zoom is **496-704-7177** for this project.
 - Or use the following link to access the meeting:

<https://us04web.zoom.us/j/4967047177>

- Tutorials on how to join the opening can be found at the following link: <https://support.zoom.us/hc/en-us/categories/200101697>

****Please note that setting up Zoom before the meeting will be helpful.****

b) Overnight Delivery:

- **The address for overnight delivery (UPS, Fedex, etc) is as follows:**

**Division of Property Management and Construction
33 West State Street, 9th Floor
Trenton, NJ 08608
ATTN: Shawn Taylor**

B) CLARIFICATIONS

1. The total roof insulation thickness of 6-inches shall be in two layers as specified.

C) REVISIONS TO THE SPECIFICATION:

1. Table of Contents, Delete and replace with attached “Specification Table of Contents”.
2. Section 085250, delete in its entirety and replace with attached “Specification Section 085250 – Single Hung Wood Windows”.
3. See “Specification Section 220010 – Roof Drains” attached to this bulletin.
4. Delete all reference to Window Type ‘C’ from the specification.

D) REVISIONS TO THE DRAWINGS:

1. Delete all reference to removal of existing coping.
2. Drawing Sheet D100, delete in its entirety and replace with attached “Revised Drawing D100”.
3. Drawing Sheet A100, delete in its entirety and replace with attached “Revised Drawing A100”. Refer to Detail 1/A100.
4. Drawing Sheet A103, delete in its entirety and replace with attached “Revised Drawings sheet A103”. Refer to revisions to Window Types.
5. Drawing Sheet A200, delete in its entirety and replace with attached “Revised Drawings sheet A200”. Refer to revised Window Types.
6. Drawing Sheet A201, delete in its entirety and replace with attached “Revised Drawings sheet A201”. Refer to revised Window Types.
7. Delete all reference to Window Type ‘C’ from the drawings

E) BIDDERS QUESTIONS AND RESPONSES

Questions from Haverstick Borthwick

1. Are Marvin Windows an acceptable manufacturer for the replacement windows?
RESPONSE: Marvin Windows is an acceptable manufacturer for the new windows. See attached “Revised Drawing A103”, “Revised Drawing A200”, “Revised Drawing A201” and “Revised Specification Section 085250” for more information.
2. Is there any underground plumbing work required?

RESPONSE: No underground plumbing work is required. The Contractor is required to test the roof drains before construction and report any problems with clogs or slow drainage to DPMC for correction. If any roof drains are clogged during construction, it will be the Contractor's responsibility to clear the drain and make any necessary repairs. Note that all roof drains connect under the basement floor slab before leaving the building.

3. Is there any ceiling related work required to install the new roof drains?

RESPONSE: Access to the underside of roof deck will require removal of portions of the acoustical tile ceilings and plaster (not asbestos-containing material) in order to make connections to the existing roof drains. All removals shall be made in a neat manner. All plaster shall be saw-cut and after plumbing inspection approval, the Contractor shall replace plaster that is removed with 5/8-inch thick firecode gypsum wallboard. Acoustical tile ceilings that are not removed are not required to be re-installed. Those components shall be neatly stacked in the respective rooms where removed.

4. The masonry restoration drawings have a note that states, "All existing information depicted on these documents shall be verified prior to submitting a bid". The information was obtained from Lamme & Giorgio Architecture. O'Donnell & Naccarato did not verify all existing information and dimensions. If discrepancies are discovered, contact our office with as-built sketches for supplemental instruction. Is this to be paid by unit prices?

RESPONSE: Please refer to Specification Section 012200 – Unit Prices.

5. The quantities for masonry repairs are vague. For example, on drawing S-1.0 south elevation at the lower left side, typical at site wall 2.0 remove and replace mortar joints, is that all mortar joints on that elevation, 3.0 remove and replace brick, is that one brick, how many bricks?

RESPONSE: Please refer to Specification Section 012200 – Unit Prices.

6. Without specific quantity amounts of lineal feet of crack repair, quantities of brick and terra cotta replacement, and so on, we cannot provide an exact estimate.

RESPONSE: Please refer to Specification Section 012200 – Unit Prices.

7. Does the coping removal apply to all elevations? The structural drawings show the coping to be pointed/caulked.

RESPONSE: The coping will be pointed and caulked as shown on the structural drawings and then wrapped with new aluminum coping. See attached "Revised Drawing Sheet D100" and "Revised Drawing A100".

8. Is there a count and profile detail for the terra cotta replacement at the second floor windows where the lintel work is to occur.

RESPONSE: Please refer to Specification Section 012200 – Unit Prices.

9. Without a walk through what you think needs repair and what the contractor thinks needs repair may be quite different.

RESPONSE: Please refer to Specification Section 012200 – Unit Prices.

10. It appears that the interior side of the windows is pre-finished by the manufacturer—Are the header, jamb and sill extensions per detail 6/A103 pre-finished too or do they get painted on site

RESPONSE: The header, jamb and sill extensions should be prefinished.

11. Is there any fireproofing removal or repair required? None is shown on the drawings

RESPONSE: As indicated on the drawings, "Where fireproofing material is disturbed, removed or damaged and is integral to the rating of the existing fire-rated assembly, the material shall be replaced so that the rating is preserved."

12. Is there running water at the site?

RESPONSE: The Contractor will have access to building domestic water for their use.

13. The existing windows appear to be aluminum replacement windows, is there a wood frame under the aluminum frame?

RESPONSE: The existing aluminum windows have a wood frame. All existing components will be removed.

14. The south elevation right side site wall extends to the next property, where does the limit of work stop?

RESPONSE: The work will be on the building only; the ramp and retaining walls will be addressed in another project.

Questions from Wu & Associates, Inc.

1. Section 028300 covers Lead in Construction and would apply to the fire escape paint. Has the fire escape paint been tested for lead and what are the results? How are we to approach this project regarding the lead paint, as lead abatement or lead stabilization? There is a difference between the two.

RESPONSE: The fire escape was tested and is not coated lead base paint. Refer to HAZMAT “Hazardous Materials Inspection Report” that was included in the specifications.

2. The General Conditions require a trailer for DPMC representative. Is the trailer required and if so, what is the work space requirement in terms of size, etc?

RESPONSE: Refer to Bulletin ‘A’, C. Amendments To The General Conditions Of The Contract.

3. Will the Contractor need to have a trailer on site or will space be made available in the building?

RESPONSE: Refer to Bulletin ‘A’ regarding the trailer. One room within the building will be made available for the Contractor’s use as an office and meeting location. Contractor to provide meeting table and chairs in accordance with the Instructions to Bidders & General Conditions.

4. Given expected lead times for the windows, what is DPMC’s guidance for working on window openings during winter conditions?

RESPONSE: It is the Contractor’s responsibility to keep the building secure and weather-tight during the work.

5. Will DPMC require temporary barriers/enclosures to segregate the window removal work locations from the occupied office spaces? Will building occupants be removed from the work areas when windows are being removed, replaced and finishes addressed?

RESPONSE: The building will not be occupied during construction. The only people who will be accessing the building during construction is the DPMC maintenance staff. All openings must be secured at the end of each day.

6. The Contract documents indicate there is mold present in the building. Please provide the locations of the mold and will mold remediation be required for this project?

RESPONSE: Refer to HAZMAT “Hazardous Materials Inspection Report” that was included in the specifications, and reports on visual microbial conditions observed at the time of the assessment. Conditions most likely would have deteriorated and the contractor should expect mold to be ubiquitous throughout the building. Mold remediation is not part of this project. Contractors are advised to take appropriate precautions.

7. Section 085250, page 4, paragraph H specifies “3 ½” profiled brickmould casing with 2 1/8” projected sill nosing with end caps and frame expanders.” The window details on the window schedule on Sheet A103

shows head and sill flashing with metal wall panels. These details do not show any casing or subsill (sill nosing). The elevations also do not show any casing or subsill. Is Marvin clad casing and subsill required on this building?

RESPONSE: All penthouse windows will not have the profiled brickmould casing and projected sill. Only the windows where brick is present will have the profiled brickmould and the projected sill nosing.

8. Section 085250, page 5, paragraph 2.03 (A) specifies Type 1: Low E2 with argon, 2.03 (B) specifies Type 2: tempered Low ERS Pattern, bronze or gray-lite, protective film. What type pf glass is required , Low E2 with argon or Low ERS with possible tint and protective film?

RESPONSE: Glazing Type 1 is for all windows not requiring safety glazing. Glazing Type 2 is for all windows that require safety glazing.

9. Is this a historic project where we will be submitting field survey details to an architect/historic consultant for approval?

RESPONSE: Field survey details do not need to be submitted. All material submittals and shop drawings will be submitted to the Architect for approval.

10. Is the AAMA 2605 finish correct or can we use a 2603/2604 finish?

RESPONSE: The AAMA 2605 finish is correct.

11. The interior finish of the windows is stained, correct?

RESPONSE: The interior of the windows are to receive a prefinished stain by the manufacturer.

12. Please provide the Prevailing Wage Determination Number.

RESPONSE: Please refer to the Department of Labor & Workforce Development website at: <https://www.nj.gov/labor/wagehour/wagerate/CurrentWageRates.html>

13. Would there be any interest in an alternate price for a historic all aluminum product? The tradeoff is that there would be lower thermal performance values, but the aluminum window is less maintenance.

RESPONSE: No alternates will be considered.

14. On the window types on Drawing A-103, there is a window Type 'C' shown. On the floor plans and elevations no window type 'C' is called out

RESPONSE: Delete all reference to Window Type 'C' from the drawings and specification. See attached "Revised Drawing A103".

Questions from Hall Construction Co., Inc.

1. Drawing A102, Construction Note C1.2 has no description; please advise.

RESPONSE: Construction Note C1.2 refers to the existing concrete roof deck

2. Drawing LP101 notes Construction Staging Area is already fenced in; please advise if the Project Site Boundary is also fenced in.

RESPONSE: The project site boundary is not fenced in.

3. The Specifications notes that the building will be partially occupied. Please advise if the fire escapes can be closed for preparation and painting while the building is partially occupied or will this work need to be done on overtime or weekends?

RESPONSE: The building will not be occupied during construction. Only the DPMC maintenance staff will have access to the building; coordinate preparation and painting of fire escapes with DPMC. Note that the fire escapes will not be permitted to be used until tested,

reinforced and approved. This work will be completed under a separate contract. Once fire escape reinforcing has been approved, they may be used by the Contractor for door and window installation, and wall repairs. Fire escapes may not be utilized for storage. Fire escape preparation and painting shall be completed during normal business hours; no overtime or weekend work will be permitted.

4. Specification Section 028213 – REMOVAL AND DISPOSAL OF ASBESTOS-CONTAINING MATERIALS, PART 2 – SCOPE OF WORK, Part 2.3. H Project Duration note 4 states “The total duration of the asbestos abatement work shall not exceed thirty-five (35), work shifts. The contractor is required to provide acceptable crew sizes, along with adequate supply of materials and equipment to allow work to proceed uninterrupted and at an appropriate pace to complete all abatement work within this number of work shifts. The contractor will be responsible to pay for the costs of the consultant (through a credit change order) at a cost of \$1,100 per work shift for each work shift that abatement work is performed beyond this duration”. Due to the 35 work shift restriction, please confirm that we will be able to work in multiple rooms and locations at the same time which may require building occupants to relocate their activities.

RESPONSE: Yes, there is the ability to work in multiple rooms and locations at the same time, since the building will not be occupied.

5. No interior restoration of finish surfaces is called out; please confirm any repairs will be additional cost to the contract or covered by unit price work.

RESPONSE: There is no interior restoration work as part of the project other than repairs to match existing conditions at locations that are disturbed by new work.

Questions from Rising Sun Construction LLC

1. The main roof area and two penthouse roofs all include slope arrows that indicate 1/2”/ft. slope. Is this structural slope or will new full tapered be required?

RESPONSE: The roof structure is sloped based on total depths of the existing roof system being identical at high and low point test cuts.

2. If the main roof is structurally sloped, are any of the lines that look like crickets, existing built-in/to remain or is the roof a simple two-way pitch to the two long edges of the building?

RESPONSE: As noted above, the main roof structure is sloped. All crickets will be created by using tapered insulation.

Questions from Masonry Preservation Group, Inc.

1. Is there a specification for the drain replacement?

RESPONSE: Please refer to attached “Revised specification Section 220010 - Roof Drains”.

2. Is there a specification for the fire escape?

RESPONSE: There is no specification for the fire escape. The only work on the fire escape will be scraping of the existing paint and repainting.

3. Will the building be in use during the construction period?

RESPONSE: The building will not be in use during the construction period. The only people that will be accessing the building during construction is the DPMC maintenance staff.

4. I understand site visits are allowed but is roof access allowed/permitted, if so, how?

RESPONSE: No roof access is permitted.

ATTACHMENTS:

1. Revised Specification Table of Contents - TOC
2. Revised Specification Section 085250 – Single Hung Wood Windows
3. Revised Specification Section 220010 – Roof Drains
4. Revised Drawings dated 05/01/2020:
 - “Revised Drawing D100” – Existing Roof Plan & Details
 - “Revised Drawing A100” – New Roof Plan & Details
 - “Revised Drawing A103” – Revised Door and Window Schedules and Details
 - “Revised Drawing A200” - North & South Elevations
 - “Revised Drawing A201” - West & East Elevations

END OF BULLETIN “C”

**RESTORATION UPGRADES TO EXTERIOR BUILDING ENVELOPE
135 WEST HANOVER STREET
TRENTON, MERCER COUNTY, NJ
DPMC NO: A1310-00
L+G NO: 19504**

DIV. NO.	SEC. NO.	DESCRIPTION	NO. OF PAGES
0		GENERAL CONDITIONS	
	IBGC	State of New Jersey Instructions to Bidders & General Conditions	Insert
1		GENERAL REQUIREMENTS	
	011000	Summary	4
	011400	Building Security, Protection & Contractor Use of Premises	4
	012200	Unit Prices	4
	013200	Construction Progress Documentation	1
	013300	Submittal Procedure	5
	013591	Historic Treatment Procedures	7
	014000	Quality Requirements	9
	015000	Temporary Facilities and Controls	5
	016000	Product Requirements	4
	017300	Execution	5
	017329	Cutting and Patching	4
	017700	Close-Out Procedure	4
	017823	Maintenance Data	4
	017839	Project Record Documents	3
2		EXISTING CONDITIONS	

DIV. NO.	SEC. NO.	DESCRIPTION	NO. OF PAGES
	024119	Selective Demolition	6
	028200	Asbestos Roofing System Abatement	5
	028213	Removal and Disposal of ACM	19
	HAZMAT	Hazardous Materials Inspection Report	Insert
	028300	Treatment of Lead in Construction	17
	028400	Non-Liquid PCB Removal	13
3		CONCRETE	
4		MASONRY	
	040120	Maintenance of Unit Masonry	9
	040140.61	Stone Repair	8
5		NOT USED	
6		WOOD, PLASTICS, AND COMPOSITES	
	061000	Rough Carpentry	5
7		THERMAL AND MOISTURE PROTECTION	
	074213	Metal Wall Panels	7
		SBS Modified Bitumen Roofing (including Drain	
	075200	Visions Report)	25
	076200	Sheet Metal Flashing & Trim	13
	079200	Joint Sealants	6
8		OPENINGS	
	081113	Hollow Metal Doors & Frames	8
	081433	Wood Door Restoration	7
	084113	Aluminum Framed Entrances	4
	085250	Single Hung Wood Windows	6

DIV. NO.	SEC. NO.	DESCRIPTION	NO. OF PAGES
	087100	Door Hardware	14
	089119	Fixed Louvers	6
9		FINISHES	
	099113	Exterior Painting	2
10-21		NOT USED	
22		PLUMBING	
	220010	Roof Drains	4
23-28		NOT USED	

END OF TABLE OF CONTENTS

SECTION 085250 – SINGLE HUNG WOOD WINDOWS

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Clad Traditional Cottage Style Single Hung windows complete with hardware, glazing, weatherstripping, screens, jamb extensions, performance divided lites, and standard or specified anchorages, trim, attachments, and accessories.

1.02 RELATED SECTIONS

- A. Division 1 Section – Submittal Procedures.
- B. Division 1 Section - Execution.
- C. Division 6 Section - Rough Carpentry.
- D. Division 7 Section - Joint Sealants.
- E. Division 7 Section – Sheet Metal Flashing & Trim; for Underlayment Materials – Galvanic Protection.

1.03 REFERENCES

- A. American Society for Testing and Materials (ASTM):
 - 1. ASTM E283-04' - Standard Test Method for Rate of Air Leakage Through Exterior Windows, Curtain Walls, and Doors.
 - 2. ASTM E330-02' - Standard Test Method for Structural Performance of Exterior Windows, Curtain Walls, and Doors by Uniform Static Air Pressure Difference.
 - 3. ASTM E547-00' - Standard Test Method for Water Penetration of Exterior Windows, Curtain Walls, and Doors by Cyclic Static Air Pressure Differential.
 - 4. ASTM E1425-07' or AAMA 1801 - Certification of Acoustical Performance.
 - 5. ASTM F588-07' or AAMA 1302.5 - Standard for Forced-Entry Resistance.
 - 6. AAMA 1423-99, 1503.1-98 and 1504-97 - Standard for Thermal Transmittance.
- B. American Architectural Manufacturers Association/Window and Door Manufacturers Association (AAMA/WDMA), American National Standards Institute/Window and Door Manufacturers Association (ANSI/WDMA), Canadian Standards Association (CSA).
 - 1. AAMA/WDMA/CSA 101/I.S.2/A440-05', 101/I.S.2/A440-08' Standard / Specification for Windows, Doors and Skylights
 - 2. WDMA I.S. 4-07'A Water Repellant Preservative Treatment for Millwork
- C. National Fenestration Rating Council (NFRC)
 - 1. NFRC 100-2004' & 2010' - Determining Fenestration U-Factor.
 - 2. NFRC 100-2004' & 2010' - Test Procedure for Thermal Transmittance of Fenestration.
 - 3. NFRC 200-2004' & 2010' Determining Fenestration SHGC & Tv.
 - 4. ASTM E1423-06' - Determining Thermal Transmittance of Fenestration Systems.
 - 5. AAMA 1503.1-98 - Test Derived CRF.

6. NFRC 500-2010' - Determining Fenestration Product Condensation Resistance.

D. WDMA Hallmark Program

1. WDMA Hallmark Program Procedural Guide C.S.-1.

E. Consumer Product Safety Commission (CPSC)

1. CPSC 16 CFR 1201 - Safety Glazing Standards.

2. ANSI Z-97.1 - Safety Glazing Standards for Tempered Glass.

1.04 SUBMITTALS

A. Product Data, Shop Drawings, Samples, and Glazing: Submit in accordance with Division 01 Section Submittals.

B. Installation Instructions: Submit in accordance with Division 01 Section Submittals.

C. Quality Control Submittals: Certificates: Submit performance test results reported by independent laboratory or manufacturer's Statement of Qualification indicating compliance with specified performance and design requirements.

1.05 QUALITY ASSURANCE

A. Insulating Glass: Certifications are required from IGCC and IGMAC.

B. Safety Glass: Certification is required from CPSC 16 CFR 1201. Glazing shall comply with the test criteria specified. Provide etched labels.

C. NFRC Certification Program for Energy Rating of Fenestration.

D. WDMA Hallmark Program and Air-Water-Structural Test Reports
<http://www.kolbewindows.com>.

D. IGMAC-Insulating Glass Manufacturer's Association Canada.

E. Mock Up: Provide full size installed sample of Window Type "B" sample for review and approval prior to ordering remainder of windows, including moldings, sealants, and other components to represent a complete installation. If the mock-up window and installation are approved it may remain in place. If not approved it shall be immediately removed or modified prior to ordering the remainder of windows.

1.06 WARRANTY

A. Warranty: Provide manufacturer's limited two year warranty.

PART 2 PRODUCTS

2.01 MANUFACTURED UNITS

A. Manufacturers: Subject to compliance with requirements, provide products by one of the following:

1. Basis of Design: Kolbe & Kolbe Millwork Co., Inc., "Ultra Traditional Cottage Style Single Hung", or approved equal. Comparable products that meet or exceed the specifications will be considered, including the following:
 - a. Pella Windows
 - b. Winco Windows
 - c. Marvin Windows
 - d. Or approved equal
2. Energy Performance: Assembly Maximum U-factor =0.33.

2.02 MATERIALS

- A. Frame: Constructed of kiln-dried pine, with pine interior stops and mull casings on mull units, water repellent, preservative treated in accordance with WDMA I.S. 4-07'A. Ultra assembled frames have factory installed heavy vinyl nailing fins at head, side jambs, and sill. Nailing fin at head has integral drip cap. Transom head drip cap to be field applied to frame. Units with brickmould or casing do not have a vinyl nailing fin factory applied as standard.
 1. Jamb Thickness: 3/4 inch (19mm) at the side jambs and head.
 2. Standard overall jamb with extensions applied: 4-9/16 inch (116mm).
 3. Sill thickness: 1-3/16 inch (30mm) with 14° slope.
 4. Exterior: All frame parts are .050 inch (1.3mm) thick 6063 extruded aluminum alloy with accessory grooves, press fit onto the wood frame.
 5. Corner Construction: Head and side jambs have mitered corners and use internal corner keys with sealer. Sill end has a profile cut and utilizes an end key with sealer.
- B. Sash: Constructed of kiln dried pine, water repellent, preservative treated in accordance with WDMA I.S. 4-07'A.
 1. Thickness: 1-3/8 inch (35mm) [1-23/32 inch (44mm) Transom].
 2. Exterior: Sash parts are completely covered by a .019 inch (0.5mm) thick 5052 roll formed aluminum alloy with all corners lap jointed and sealed.
 3. Corner Construction: Mortise-and-tenon.
 4. Other wood species available:
 5. Interior glazed.
 6. Sash Lift Handles: Manufacturer's "Curved Sash Lift Handles"; two (2) per sash. Color shall be as selected by Architect from full range of colors.
- C. Surface Finish:
 1. Exterior Finish – Aluminum
 2. Standard Paint Colors: Exterior aluminum frame and sash components, and PDL bars are to have a 70% fluoropolymer based coating in compliance with AAMA 2605-13 specifications. Color is to be as selected by Architect from full range of colors available.
 3. Interior Finish - Wood:
 - a. Interior wood is to have a water based stain with a clear water based top coat. Stain color is to be as selected by Architect from full range of of colors available.
- D. Hardware:

1. Lock and keeper: Pick resistant Entry-Gard® cam locks with concealed locking mechanism including alignment lugs. Sash lock and keeper constructed of high-pressure die-cast zinc with aluminum back plate. Finishes: As selected by Architect from full range of options available. of colors available.
2. Balancing system: Spring loaded block and tackle mechanical balancing system with polyester cord. Balance case is painted to match liner. Zinc die-cast pins engage and release balance clutches allowing the sash to be tilted in and removed for cleaning.

E. Weatherstripping:

1. Frame Head Parting Stop: Rigid weatherable PVC parting stop with flexible fins. Beige.
2. Top Rail, Check Rail, and Bottom Rail: Black TPE compression bulb.
3. Sill: Rigid weatherable, UV resistant PVC water seal/weatherstrip. Passes drop dart test. Color as selected by Architect.
4. Head Pad: Polyurethane and polyethylene foam pad.
5. Jambliners: Made of weatherable, UV resistant PVC. Passes drop dart test. Color as selected by Architect.
6. Transom Frame Nosing: Full perimeter 7/8 inch (22mm) closed cell foam backer rod.

F. Screens: Sent loose as standard on all units.

1. Surrounds: Full
2. Screen cloth: Basis of Design Manufacturer's BetterVue® Black fiberglass; color as selected by Architect.
3. Screen Channels: .024 inch (0.6mm) thick roll formed aluminum.
4. Attachment: Spring loaded plungers.
5. Corner Construction and Finish Color: Screen channel colors to match exterior colors. Channels are joined and reinforced with a corner key. Screens are available for segment head and 1/2 circle top units.

G. Performance Divided Lites (PDL): PDL system utilizes a permanently adhered wood grille bar to the interior and a permanently adhered aluminum grille bar to the exterior glass.

1. Material: Muntin is constructed of .050 inch (1mm) thick 6063 extruded aluminum alloy on exterior, pine on interior 5/8 inch (16mm) wide, beveled profile.
2. Spacer bar between the glass. Finish as selected by Architect from full range of options.
3. Exterior surface finish: To match frame and sash exterior.

H. Accessories & Trim

1. Casings
 - a. 3-1/2 inch (89mm) profiled brickmould.
2. Nosings
 - a. 2-1/8 inch (54mm) projected sill nosing with end caps.
3. Frame Expanders
 - a. To suit conditions.

2.03 GLAZING

- A. Type 1: Double Pane. Basis of Design manufacturer's LoE insulating glass, with a stainless steel spacer bar, 20-year warranty; 9/16 inch (14mm) thick with LoE²-270, argon filled.
- B. Type 2: Double Pane. Manufacturer's LoE insulating Safety glass; 9/16 inch (14 mm) thick with a stainless steel spacer bar, option on surface 2 and a hard coat on surface 4 plus permanent coating (interior pane).
 - 1. Glazing shall comply with the test criteria for Category Classification II per CPSC 16 CFR Part 1201.
 - 2. Provide etched labels.
 - 3. Patterned, bronze, or gray-lite.
 - 4. Protective film.
- B. Glazing Methods:
 - 1. High Performance option operating units and fixed units have silicone-glazed structural silicone bedding sealant on #1 surface with a 0.5 inch (13mm) bite, and supplemental siliconized latex sealant on #4 surface at bottom wood glazing bead.
- C. Glass Options:
 - 3. Manufacturer's "ThermaPlus" LoE glass with LoE²-270 option on surface 2 and a LoE hard coat on surface 4 plus permanent coating (interior pane)].
 - 4. Patterned, bronze, or gray-lite.
 - 5. Safety glass available for Type 2 glazing.
 - 6. Protective film.
- D. Glazing Bead Options:
 - 1. Beveled profile

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verification of Conditions: Before installation, verify that openings are plumb and square and of proper dimension. Report frame defects or unsuitable conditions to the General Contractor before proceeding.
- B. Acceptance: Beginning of installation means acceptance of existing conditions.

3.02 INSTALLATION

- A. Isolate dissimilar metal surfaces in accordance with galvanic protection underlayment materials specified in Division 07 Section "Sheet Metal Flashing & Trim".
- B. Install windows according to manufacturer's installation instructions, reviewed shop drawings and in accordance with Division 01 Section – Execution.
- C. Install sealant and related flashing materials at perimeter of assembly in accordance with Division 7 Section - Joint Sealants.
- C. Install accessory items as required.

3.03 ADJUSTING AND CLEANING

- A. Adjust operable sash to work freely with hardware functioning properly. Re-adjust at completion of the project if directed.
- B. Remove visible labels.
- C. Leave windows in a job clean condition. Final cleaning of glass will be done in accordance with Section 01740 – Cleaning.

3.04 PROTECTION

- A. Cover windows, in accordance with Division 1 Section – Execution.
- B. Protect Installed Construction, during masonry repair work, muratic acid washing, or other work that might cause damage.

END OF SECTION

SECTION 22 00 10 – ROOF DRAINS

PART 1 – GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and General Provisions of the Contract, including State of New Jersey Instructions to Bidders and General Conditions, and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Division of Work includes the following items:
 1. Furnish and install new retrofit roof drains at locations indicated on drawings.
 2. Furnish and install new overflow roof drains at locations indicated on drawings..
 3. Connect new storm water conductor piping from the new overflow roof drain into the existing rain water conductors from the existing roof drains as indicated on the drawings.
 4. Insulate new and existing rainwater conductors with 1-inch thick fiberglass insulation with ASJ cover.
 5. Provide all cutting, patching required for the work.

1.3 CODES AND STANDARDS

- A. All shall be in accordance with the 2018 International Building Code, New Jersey edition; and the 2018 National Standard Plumbing Code.
- B. Contractor shall submit copies of all tests, reports and inspections to the Architect for temporary rough-in and final plumbing inspections.

1.4 OPERATION AND MAINTENANCE MANUALS

- A. Refer to Division 01 Section “Closeout Procedure” for submission of operational and maintenance requirement.

1.5 WARRANTIES

- A. Refer to State of New Jersey Instructions to Bidders and General Conditions and Division 07 Section “SBS Modified Bituminous Roofing Membrane”. Note that manufacturer’s warranty (20-year) and roofing installer’s guarantees (5 years) shall extend to work of this Section.

PART 2 – PRODUCTS

2.1 RAIN WATER PIPE & FITTINGS

- A. Furnish no-hub cast iron pipe and fittings.
- B. Furnish steel commercial pipe supports and anchors in accordance with the 2018 National Standard Plumbing Code.

2.2 RETROFIT ROOF DRAINS

- A. Basis of Design: Zurn Retrofit Roof Drain model # RD2150-1. Other manufacturer's that meet the requirements of the Basis of Design, including the following will be considered after review and approval by the Architect:
1. J.R. Smith
 2. Wade
 3. Or approved equal.

2.3 OVERFLOW ROOF DRAINS

- B. Basis of Design: Zurn Overflow Roof Drain model # Z131. Other manufacturer's that meet the requirements of the Basis of Design, including the following will be considered after review and approval by the Architect:
1. J.R. Smith
 2. Wade
 3. Or approved equal.

2.4 GLASS FIBER PIPE INSULATION

- A. Basis of Design: Manville Products Co. "Micro-Lok AP or AP-T". Other manufacturer's that meet the requirements of the Basis of Design, including the following will be considered after review and approval by the Architect:
1. Certainteed
 2. Owens Corning
 3. Knauf
 4. Or approved equal.
- B. Insulation: ASTM C547; rigid molded, noncombustible.
1. 'K' ('ksi') value: ASTM C335, 0.24 at 75 degrees F
 2. Minimum Service Temperature: -20 degrees F
 3. Maximum Service Temperature: 850 degrees F
 4. Maximum Moisture Absorption: 0.2 percent by volume.
- C. Vapor Barrier Jacket
1. ASTM C921, White kraft paper reinforced with glass fiber yarn and bonded to aluminized film.
 2. Moisture Vapor Transmission: ASTM E96; 0.02 perm inches.
 3. Secure with self-sealing longitudinal laps and butt strips.
 4. Secure with outward clinch expanding staples and vapor barrier mastic.
- D. Tie Wire: 18 gage stainless steel with twisted ends on maximum 12 inch centers.

2.5 FITTING COVERS.

- A. PVC Plastic; Basis of Design: Owens-Corning, "Model Zeston 2000". Other manufacturer's that meet the requirements of the Basis of Design, including the following will be considered after review and approval by the Architect:
1. Manville
 2. Certainteed

3. Or approved equal.
- B. Jacket: ASTM C921, One piece molded type fitting covers and sheet material, off white color.
 1. Minimum Service Temperature: -40 degrees F
 2. Maximum Service Temperature: 150 degrees F
 3. Moisture Vapor Transmission: ASTM E96; 0.002 perm inches.
 4. Maximum Flame Spread: ASTM E84; 25.
 5. Maximum Smoke Developed: ASTM E84; 50.

PART 3 - EXECUTION

3.1 GENERAL

- A. The Contractor shall provide all necessary material, labor and equipment to complete this work.
- B. The Contractor shall perform all work in accordance with the New Jersey Uniform Construction Code and the 2018 National Standard Plumbing Code.
- C. Contractor shall provide core drilling of all concrete decks and masonry walls for piping to be installed as part of this work. Contractor shall coordinate with other Divisions of work to avoid conflicts with other Trades.
- D. Insulate the rainwater conductors and fittings.

3.2 PIPE INSULATION INSTALLATION

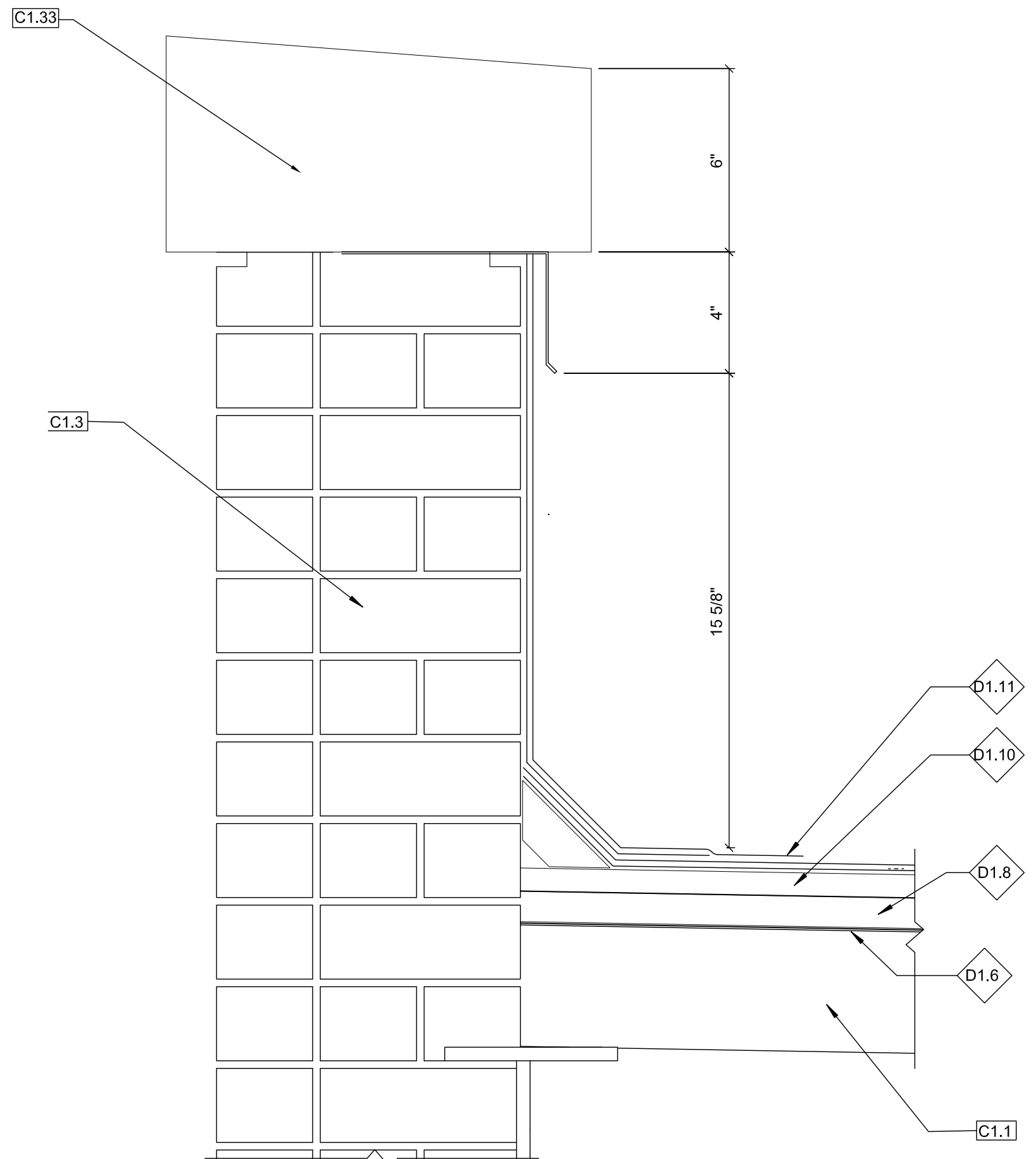
- A. Install materials in accordance with manufacturer's instructions.
- B. On exposed piping, locate insulation and cover seams in least visible locations.
 1. Provide standard jackets, with vapor barrier, factory applied or field applied.
 2. Insulate fittings, joints, and valves with insulation of like material and thickness as adjoining pipe.
 3. Flame retardant PVC fitting covers shall be used.
 4. Finish insulation at supports, protrusions, and interruptions

3.3 TESTS

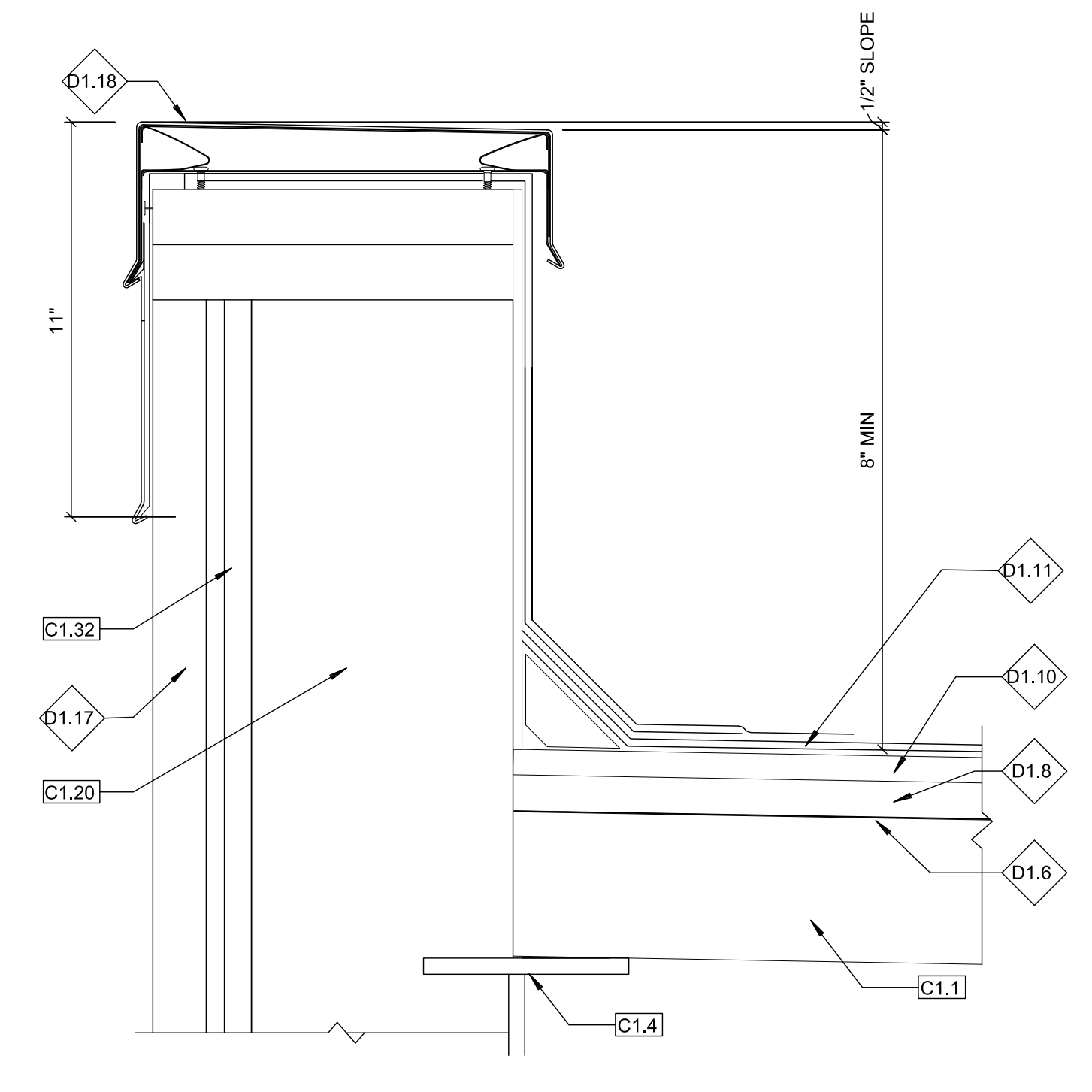
- A. All piping and fixtures shall be tested and inspected in accordance with the 2018 National Standard Plumbing Code. The Contractor shall provide all labor, materials, instruments, power, etc., required for testing of the systems.
- B. The Contractor shall perform all required tests and inspections in the presence of the code inspectors. The Architect and Project Manager shall be notified by the Contractor well in advance of all tests and inspections. When completed, the Architect and Owner shall receive copies of all test and inspection reports.
- C. The Contractor shall promptly repair or replace all defective work and test again until such time that the particular system or component parts are approved by the code inspector and the Architect. The duration of tests shall be as determined by all authorities having jurisdiction.

1. Before an application for final acceptance of the work will be considered, all tests deemed necessary to show proper execution of the work shall have been performed and completed in the presence of code inspector. All testing procedures shall be scheduled by the Contractor with the Project Manager and NJ DCA to suit the convenience of the Architect.
3. Refer to the 2018 National Plumbing Code for all tests required to meet code.

END OF SECTION



1 REVISED EXISTING PARAPET DETAIL
3" = 1'-0"

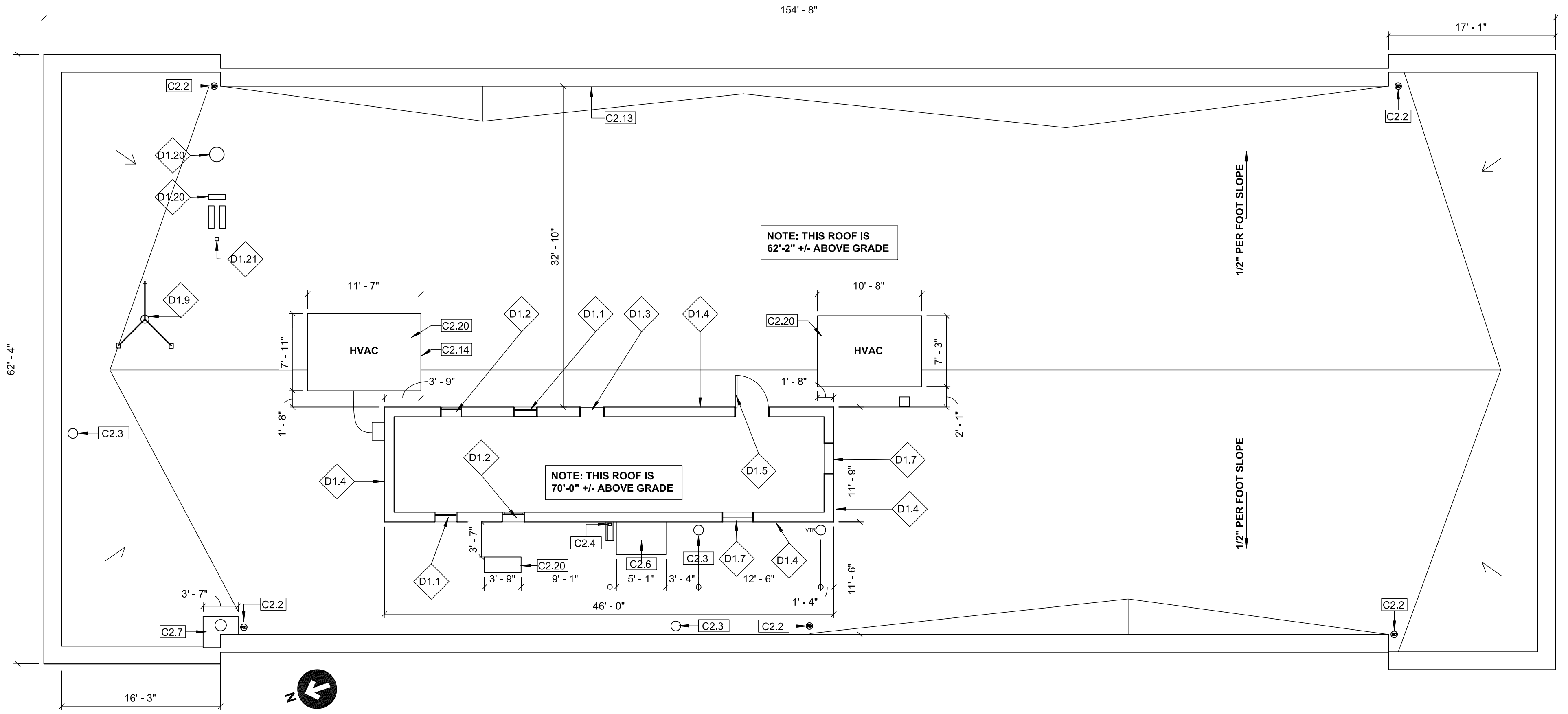


2 EXISTING PENTHOUSE PARAPET DETAIL
3" = 1'-0"

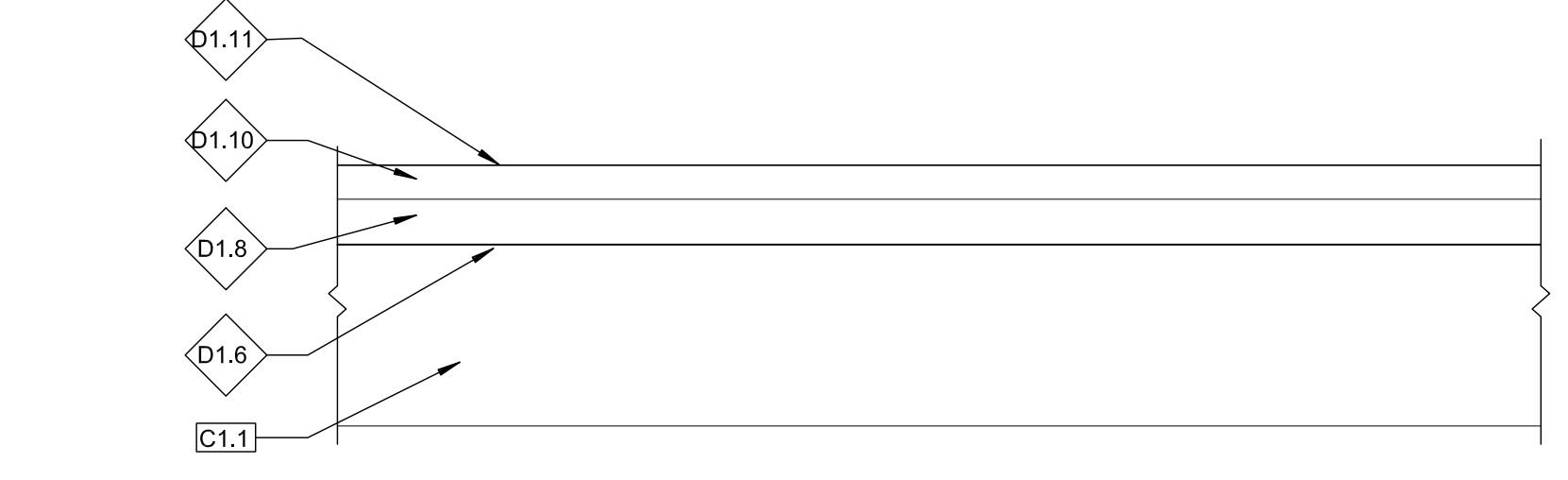
- Demolition Legend**
- CONSTR. TO BE REMOVED
 - EXIST. CONSTR. TO REMAIN
 - NOT IN SCOPE
 - DEMOLITION SCOPE NOTE

- Demolition Notes**
- D1.1 EXISTING BLOCKED UP WINDOW TO BE SHEATHED OVER AND HAVE NEW METAL PANEL INSTALLED OVER OPENING
 - D1.2 REMOVE AND REPLACE EXISTING WINDOW
 - D1.3 EXISTING BLOCKED UP DOOR TO BE SHEATHED OVER AND HAVE NEW METAL PANEL INSTALLED OVER OPENING.
 - D1.4 REMOVE AND REPLACE EXISTING COPPER METAL PANEL
 - D1.5 REMOVE AND REPLACE EXISTING DOOR, FRAME AND HARDWARE
 - D1.6 REMOVE HOT ASPHALT
 - D1.7 REMOVE AND REPLACE EXISTING PENTHOUSE LOUVER
 - D1.8 REMOVE 1" POLYISO INSULATION SET IN HOT ASPHALT
 - D1.9 CONTRACTOR TO REMOVE EXISTING FLAGPOLE. SOLAR PANEL, CAMERA AND ELECTRIC TO BE REMOVED BY OTHERS
 - D1.10 REMOVE 3/4" FIBERBOARD SET IN HOT ASPHALT
 - D1.11 REMOVE 4-PLY BUR WITH FLOOD COAT AND ROCK/SLAG
 - D1.12 REMOVE CAST STONE COPING
 - D1.17 REMOVE 1" METAL PANEL AND PLYWOOD SHEATHING. 3/4" FURRING TRACK @16" O.C. TO REMAIN FOR NEW SUBSTRATE BOARD AND NEW METAL PANEL
 - D1.18 REMOVE EXISTING METAL COPING AND TOP COURSE OF WOOD BLOCKING
 - D1.20 REMOVE EXISTING ABANDONED EXHAUST DUCT AND INFILL EXISTING ROOF SLAB WITH NEW 4-INCH THICK CONCRETE WITH 6X6 # 10/10 WWF. INSTALL (4)#4 BARS 8 INCHES LONG, EMBED 4-INCHES INTO EXISTING CONCRETE ROOF SLAB.
 - D1.21 REMOVE EXISTING LIGHT FIXTURE AND CONDUIT.

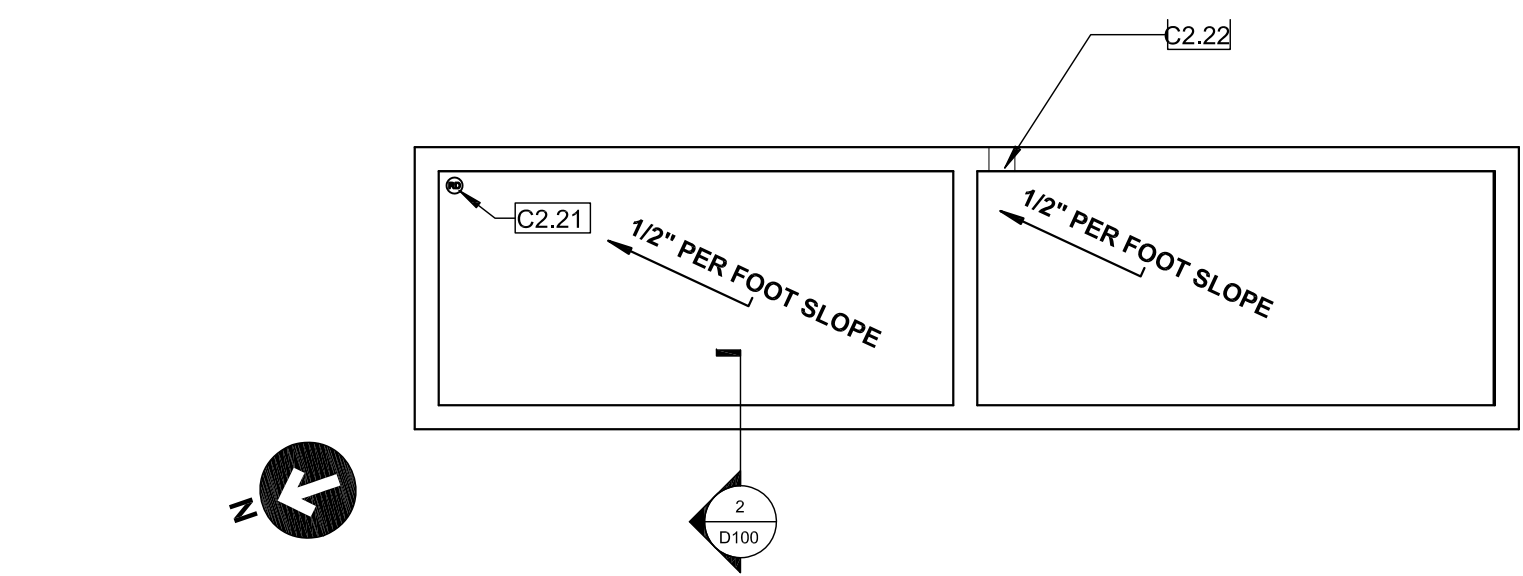
- Construction Notes**
- C1.1 EXISTING CONCRETE ROOF DECK
 - C1.3 EXISTING MASONRY WALL
 - C1.4 EXISTING STEEL BEAM
 - C1.20 EXISTING 8" CONCRETE BLOCK WALL
 - C1.32 EXISTING 3/4" FURRING TRACK @12" O.C. TO REMAIN FOR SHEATHING AND NEW METAL PANEL
 - C1.33 EXISTING STONE COPING TO REMAIN
 - C2.2 EXISTING 4-INCH DRAIN
 - C2.3 EXISTING VENT THROUGH ROOF
 - C2.4 EXISTING DOWNSPOUT
 - C2.6 EXISTING STAIR COVER WITH BUILT UP ROOF
 - C2.7 EXISTING CHIMNEY
 - C2.13 EXISTING CONDUIT ALONG PARAPET CAP STONE ALONG WALL
 - C2.14 EXISTING 4" HIGH CURB
 - C2.20 EXISTING HVAC UNIT
 - C2.21 EXISTING 2-INCH DRAIN
 - C2.22 EXISTING SCUPPER TO BE REPLACED WITH NEW SCUPPER



3 EXISTING ROOF PLAN
1/8" = 1'-0"



4 EXISTING TYPICAL ROOF DETAIL
3" = 1'-0"



5 EXISTING PENTHOUSE ROOF PLAN
1/8" = 1'-0"

NOTE 1: EACH ROOF SECTION UTILIZES THEIR OWN REFERENCE ELEVATIONS (DATUM) TO INDICATE HIGH AND LOW POINTS
 NOTE 2: FIRE ESCAPES NOT INDICATED FOR CLARITY
 NOTE 3: WHERE FIREPROOFING MATERIAL IS DISTURBED, REMOVED OR DAMAGED AND IS INTEGRAL TO THE RATING OF THE EXISTING FIRE-RATED ASSEMBLY, THE MATERIAL SHALL BE REPLACED SO THAT THE RATING IS PRESERVED.
 NOTE 4: THE PRESENCE OF MICROBIAL GROWTH (MOLD) EXISTS WITHIN THE BUILDING. THE CONTRACTOR SHALL COMPLY WITH THE PUBLIC EMPLOYEES OCCUPATIONAL SAFETY AND HEALTH PROGRAM "MOLD IN WORKPLACE PREVENTION AND CONTROL" BULLETIN WHEN IMPACTS TO MICROBIAL SURFACES ARE ANTICIPATED.

**DPMC Restoration
Upgrades to Exterior
Building Envelope**

Location
135 W Hanover St. Trenton,
New Jersey

Project Number
DPMC: A1310-00

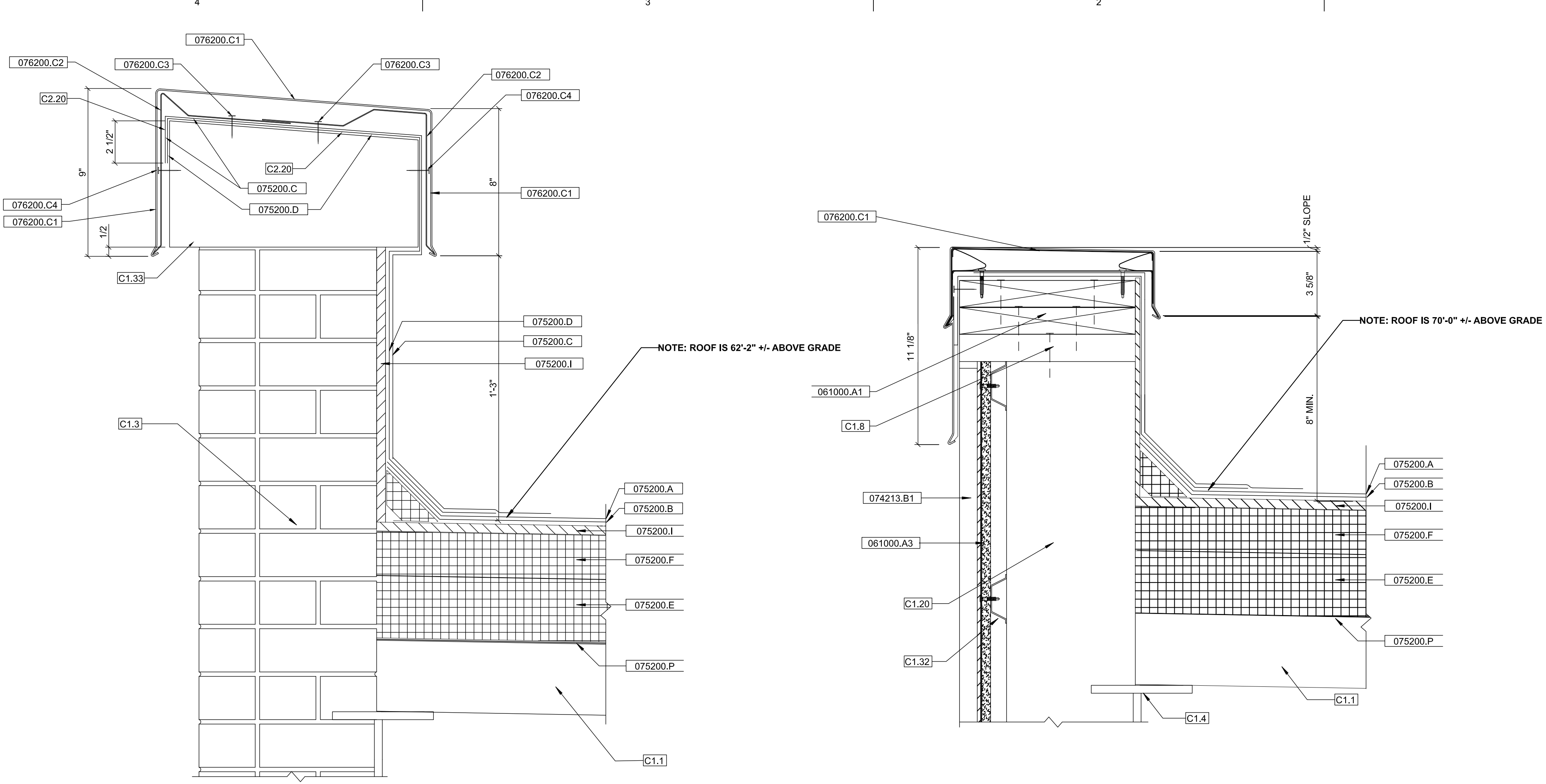
Date
7/30/2019

Architect
LAMMEY + GIORGIO Lammy + Giorgio
Architecture + Design
215 Highland Ave, Suite B
Haddon Twp, NJ, 08108
p.856.833.0010

#	Issue/Revision	Date
1	BULLETIN 'C'	05/01/2020

Sheet Title
Existing Roof Plan & Details

Sheet No.
D100
Sheet 3 of 20
©Lammy + Giorgio 2019



1 NEW REVISED PARAPET DETAIL
3" = 1'-0"

2 NEW PENTHOUSE PARAPET AND WALL PANEL DETAIL
3" = 1'-0"

Construction Legend

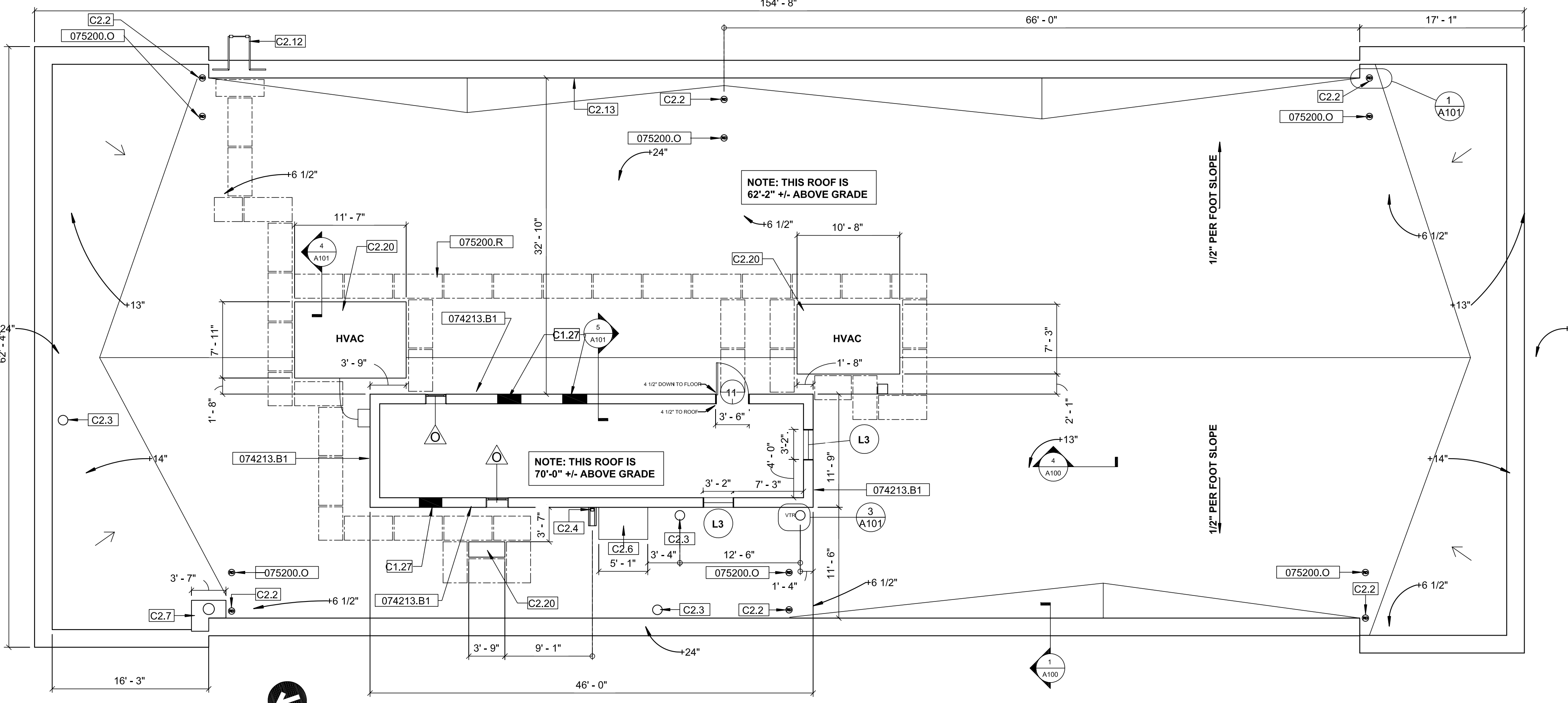
- NEW WALL CONSTR.
- EXIST. WALL CONSTR.
- NOT PART OF WORK SCOPE
- CONSTRUCTION NOTE
- WALL TYPE

Drawing Keynotes

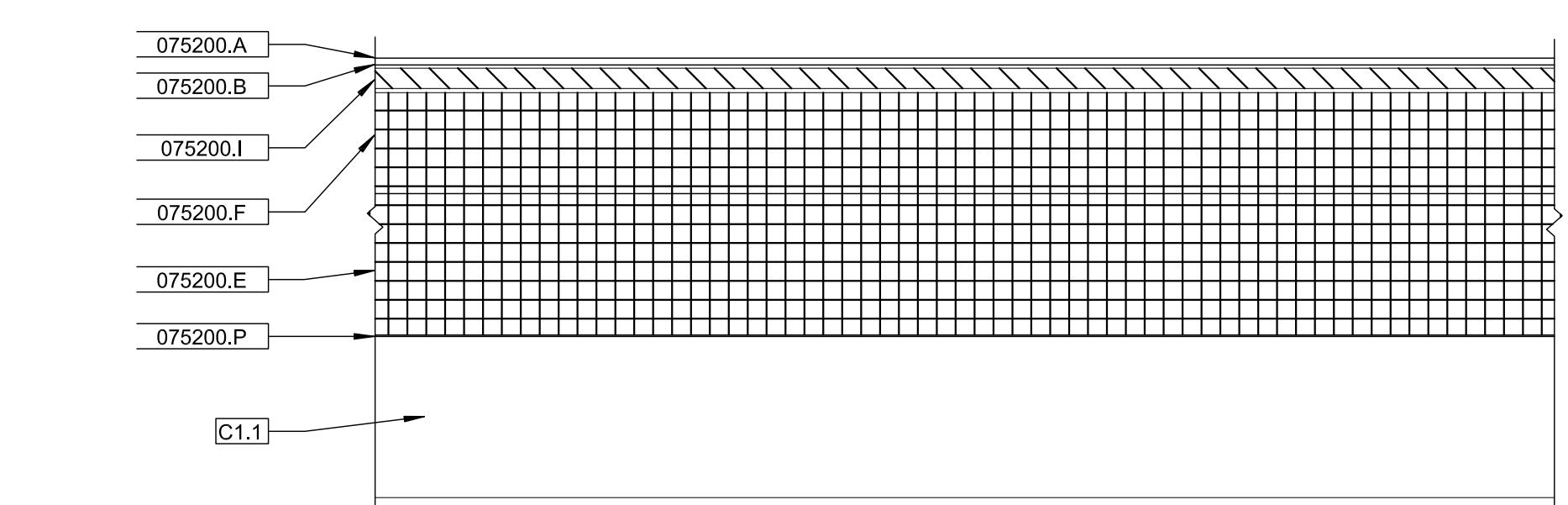
- 061000.A1 NEW FIRE TREATED 2"x10" WOOD BLOCKING (FASTEN, NEW WOOD BLOCKING TO EXISTING AND NEW WOOD BLOCKING BY STAGGERING (2)#10. SCREWS @36" O.C. EACH PIECE OF NEW WOOD BLOCKING)
- 061000.A2 NEW FIRE TREATED 2"x10" WOOD BLOCKING (FASTEN WOOD BLOCKING TO MASONRY USING 1/4" DIA. HILTI KWIK-CON II® @24" O.C.)
- 061000.A3 NEW 1/2" TYPE "X" GYPSUM SHEATHING; ATTACH TO EXISTING FURRING AT 16" O.C., APPLY 30-MIL SELF-ADHERING, HIGH TEMPERATURE UNDERLAYMENT.
- 074213.B1 NEW METAL WALL PANELS - ATTACH WITH (2)#10 X 1" WAFER HEAD SCREWS @12" O.C.
- 075200.A NEW SBS MODIFIED BITUMINOUS CAP SHEET
- 075200.B NEW SBS MODIFIED BITUMINOUS BASE SHEET
- 075200.C NEW SBS MODIFIED BITUMINOUS GRANULE FLASHING CAP SHEET
- 075200.D NEW SBS MODIFIED BITUMINOUS FLASHING BASE SHEET
- 075200.E NEW 3 1/2" THICK POLYISOCYANURATE INSULATION
- 075200.F NEW 2 1/2" THICK POLYISOCYANURATE INSULATION
- 075200.I NEW 1/2" THICK COVER BOARD - ADHERED
- 075200.O NEW SECONDARY ROOF DRAIN
- 075200.P NEW VAPOR RETARDER
- 075200.R NEW WALKPAD - SEE DETAIL 3/A102 FOR MORE INFORMATION
- 076200.C1 NEW METAL COPING
- 076200.C2 NEW METAL COPING CLIP
- 076200.C3 NEW METAL COPING PARAPET ANCHOR
- 076200.C4 NEW METAL COPING CLIP ANCHOR

Construction Notes

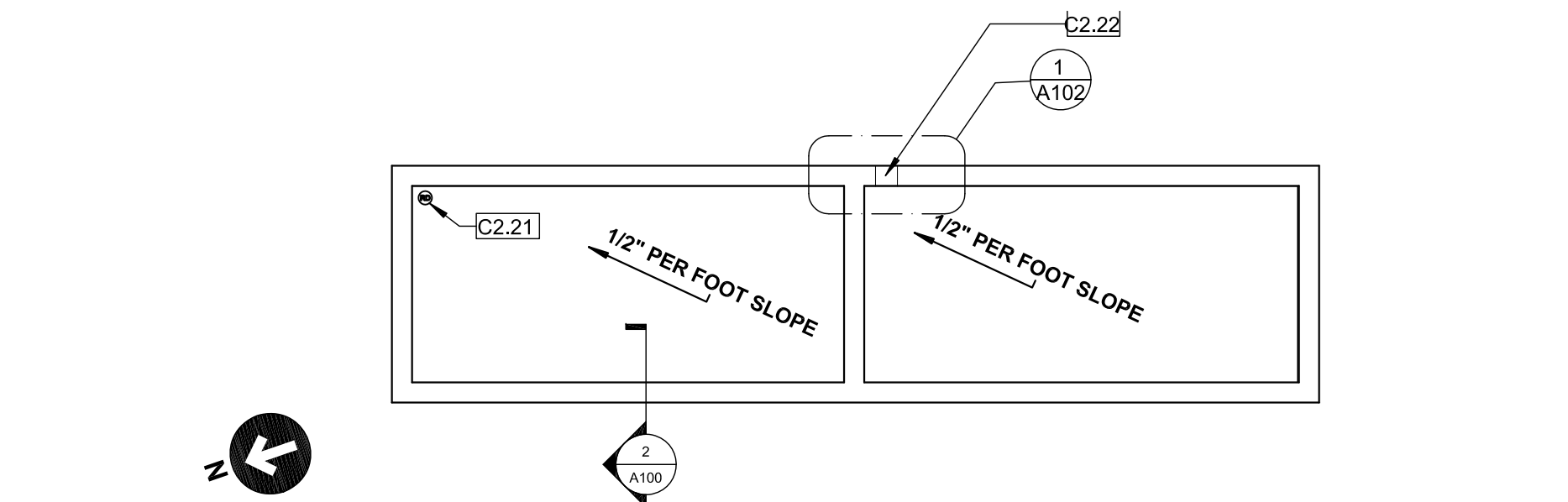
- C1.1 EXISTING CONCRETE ROOF DECK
- C1.3 EXISTING MASONRY WALL
- C1.4 EXISTING STEEL BEAM
- C1.8 EXISTING WOOD BLOCKING (FASTEN WOOD BLOCKING TO MASONRY USING 1/4" DIA. HILTI KWIK-CON II® @24" O.C.)
- C1.20 EXISTING 8" CONCRETE BLOCK WALL
- C1.27 NEW SHEATHING AND METAL WALL PANEL AT BLOCKED UP WINDOW AND DOOR LOCATION
- C1.32 EXISTING 3/4" FURRING TRACK @12" O.C. TO REMAIN FOR SHEATHING AND NEW METAL PANEL
- C1.33 EXISTING STONE COPING TO REMAIN
- C2.2 EXISTING 4-INCH DRAIN
- C2.3 EXISTING VENT THROUGH ROOF
- C2.4 EXISTING DOWNSPOUT
- C2.6 EXISTING STAIR COVER WITH BUILT UP ROOF
- C2.7 EXISTING CHIMNEY
- C2.12 EXISTING LADDER TO FIRE ESCAPE TO BE SCRAPPED AND REPAINTED
- C2.13 EXISTING CONDUIT ALONG PARAPET CAP STONE ALONG WALL
- C2.20 EXISTING HVAC UNIT
- C2.21 EXISTING 2-INCH DRAIN
- C2.22 EXISTING SCUPPER TO BE REPLACED WITH NEW SCUPPER



3 NEW ROOF PLAN
1/8" = 1'-0"



4 TYPICAL LOW ROOF DETAIL
3" = 1'-0"



5 NEW PENTHOUSE ROOF PLAN
1/8" = 1'-0"

NOTE 1: EACH ROOF SECTION UTILIZES THEIR OWN REFERENCE ELEVATIONS (DATUM) TO INDICATE HIGH AND LOW POINTS
 NOTE 2: FIRE ESCAPES NOT INDICATED FOR CLARITY
 NOTE 3: WHERE FIREPROOFING MATERIAL IS DISTURBED, REMOVED OR DAMAGED AND IS INTEGRAL TO THE RATING OF THE EXISTING FIRE-RATED ASSEMBLY, THE MATERIAL SHALL BE REPLACED SO THAT THE RATING IS PRESERVED.
 NOTE 4: THE PRESENCE OF MICROBIAL GROWTH (MOLD) EXISTS WITHIN THE BUILDING. THE CONTRACTOR SHALL COMPLY WITH THE PUBLIC EMPLOYEES OCCUPATIONAL SAFETY AND HEALTH PROGRAM "MOLD IN WORKPLACE: PREVENTION AND CONTROL" BULLETIN WHEN IMPACTS TO MICROBIAL SURFACES ARE ANTICIPATED.



**DPMC Restoration
Upgrades to Exterior
Building Envelope**

Location
135 W Hanover St. Trenton,
New Jersey

Project Number
DPMC: A1310-00

L&G: 19504

Date
7/30/2019

Architect
LAMMEY + GIORGIO Lamme + Giorgio
Architecture + Design
215 Highland Ave, Suite B
Haddon Twp. NJ, 08108
p.856.833.0010

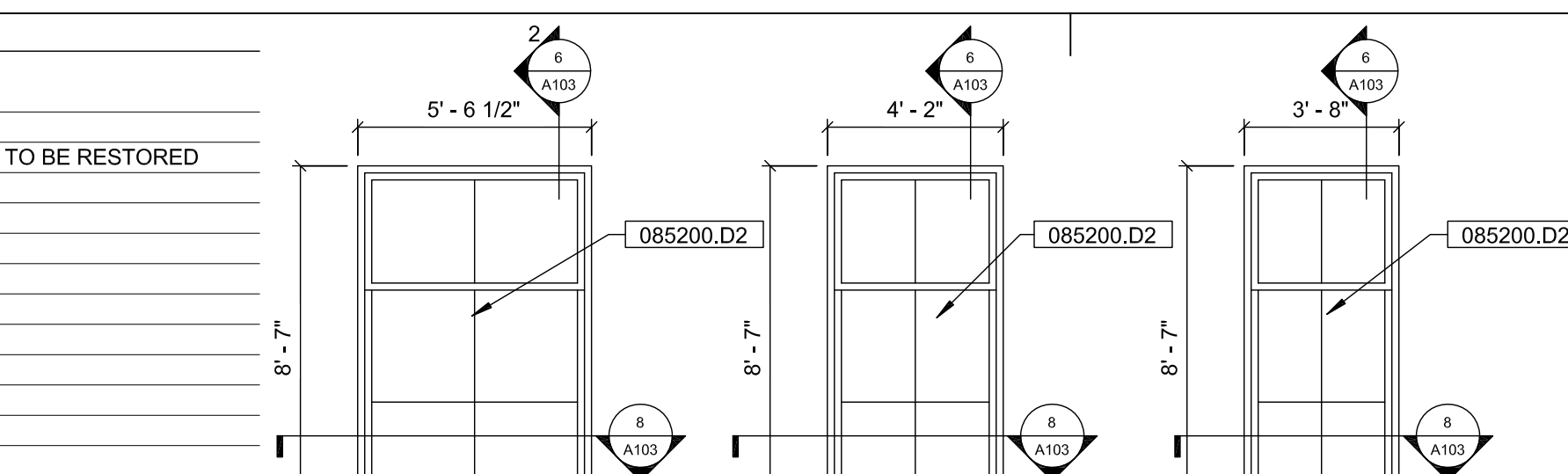
#	Issue/Revision	Date
1	BULLETIN 'C'	05/01/2020

Sheet Title
New Roof Plan & Details

Sheet No.
A100
Sheet 4 of 20
©Lamme + Giorgio 2019

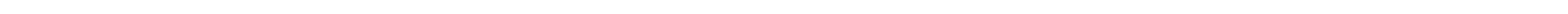
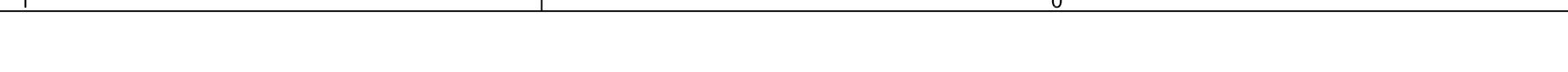
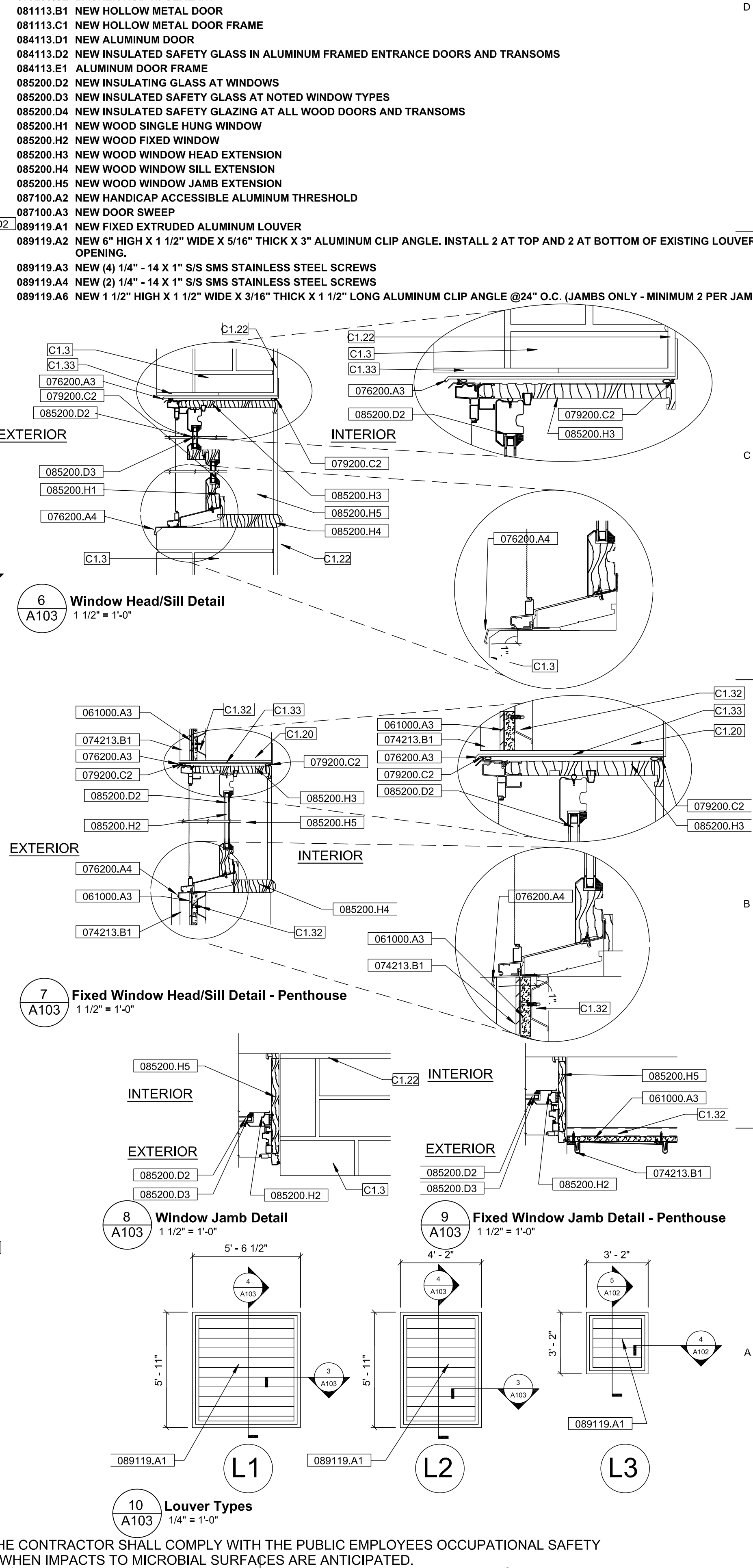
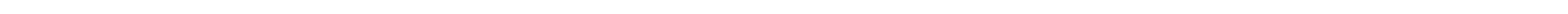
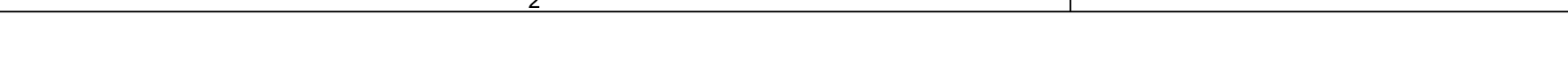
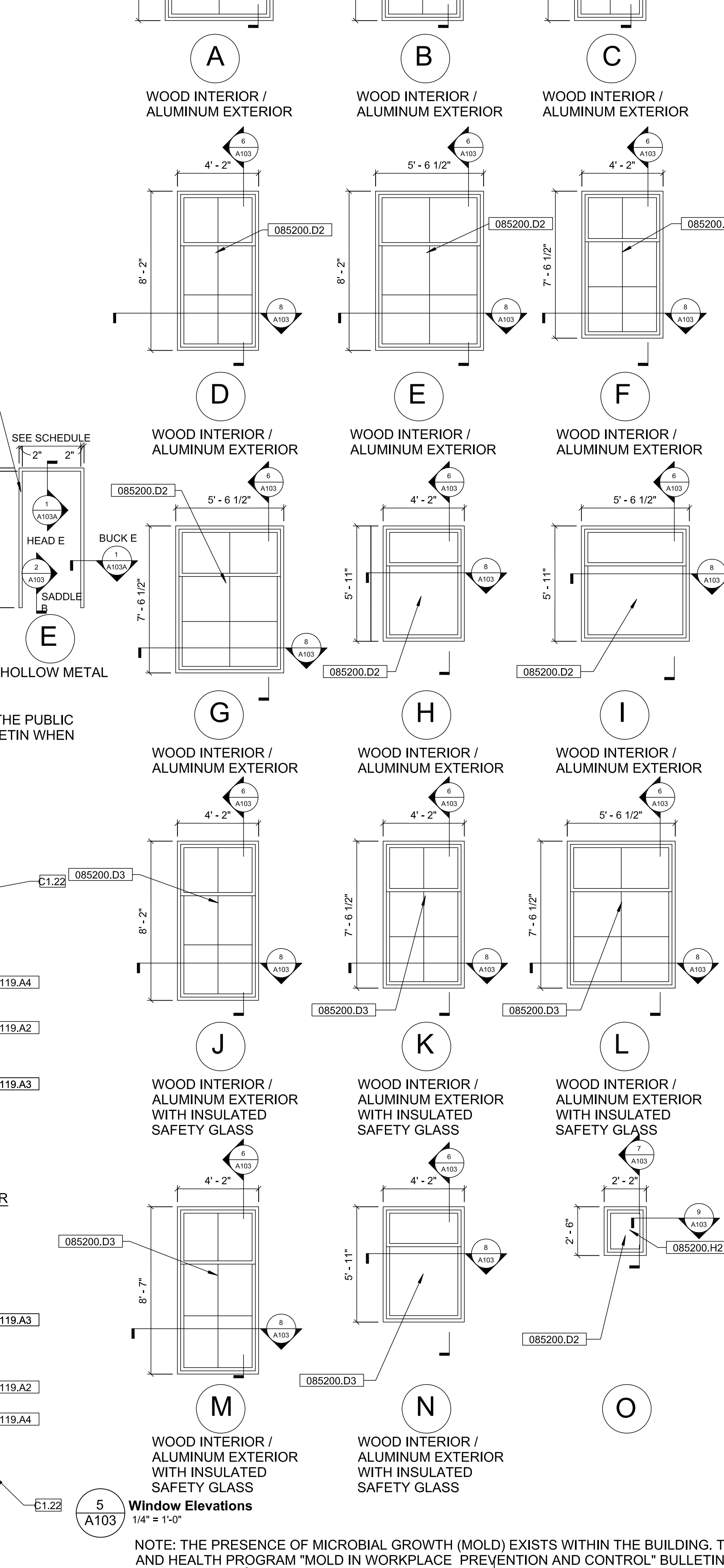
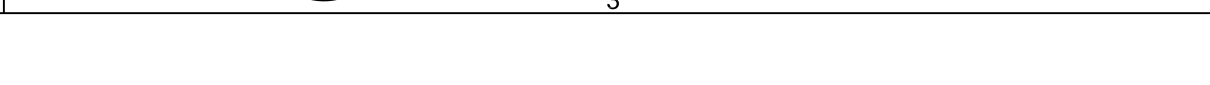
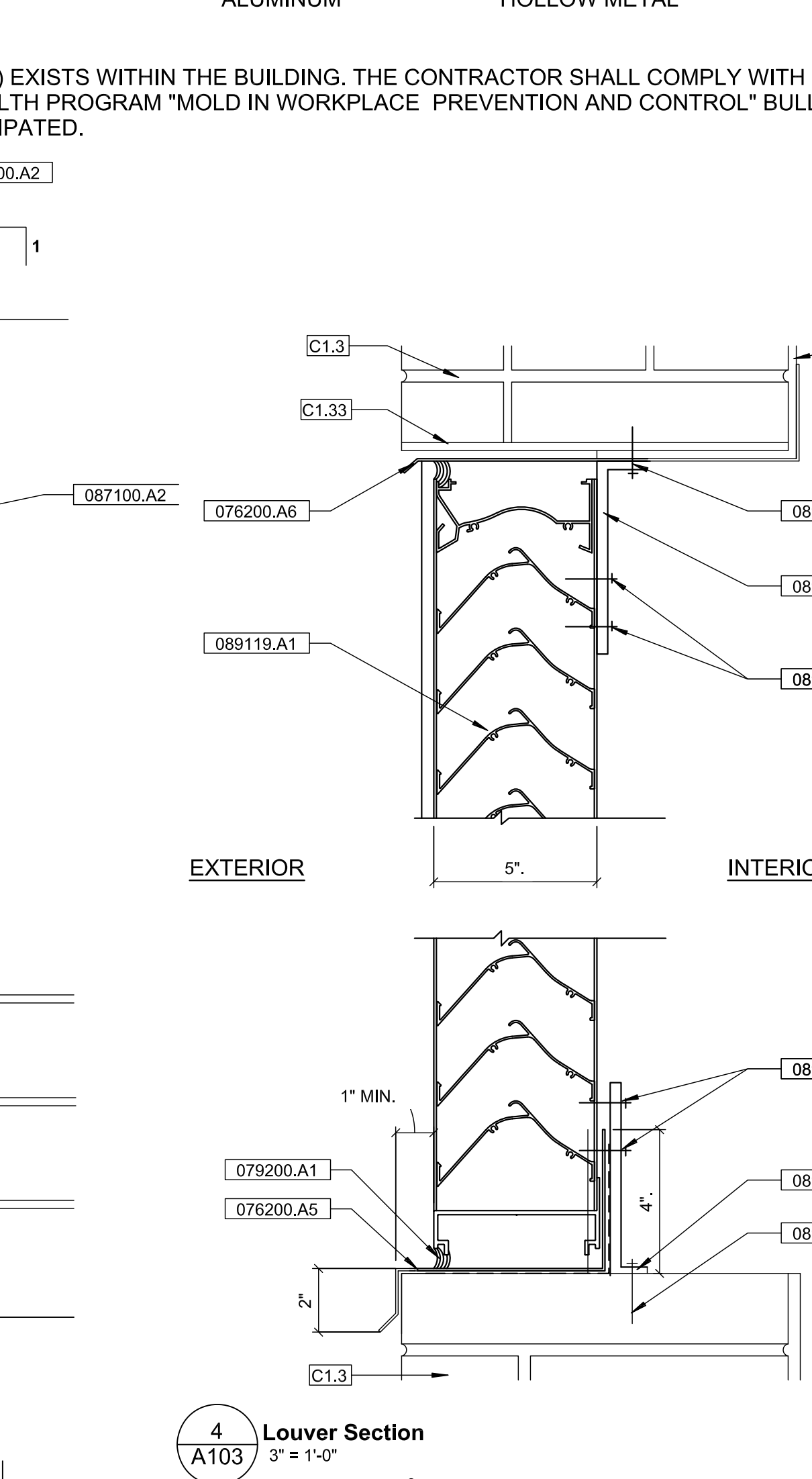
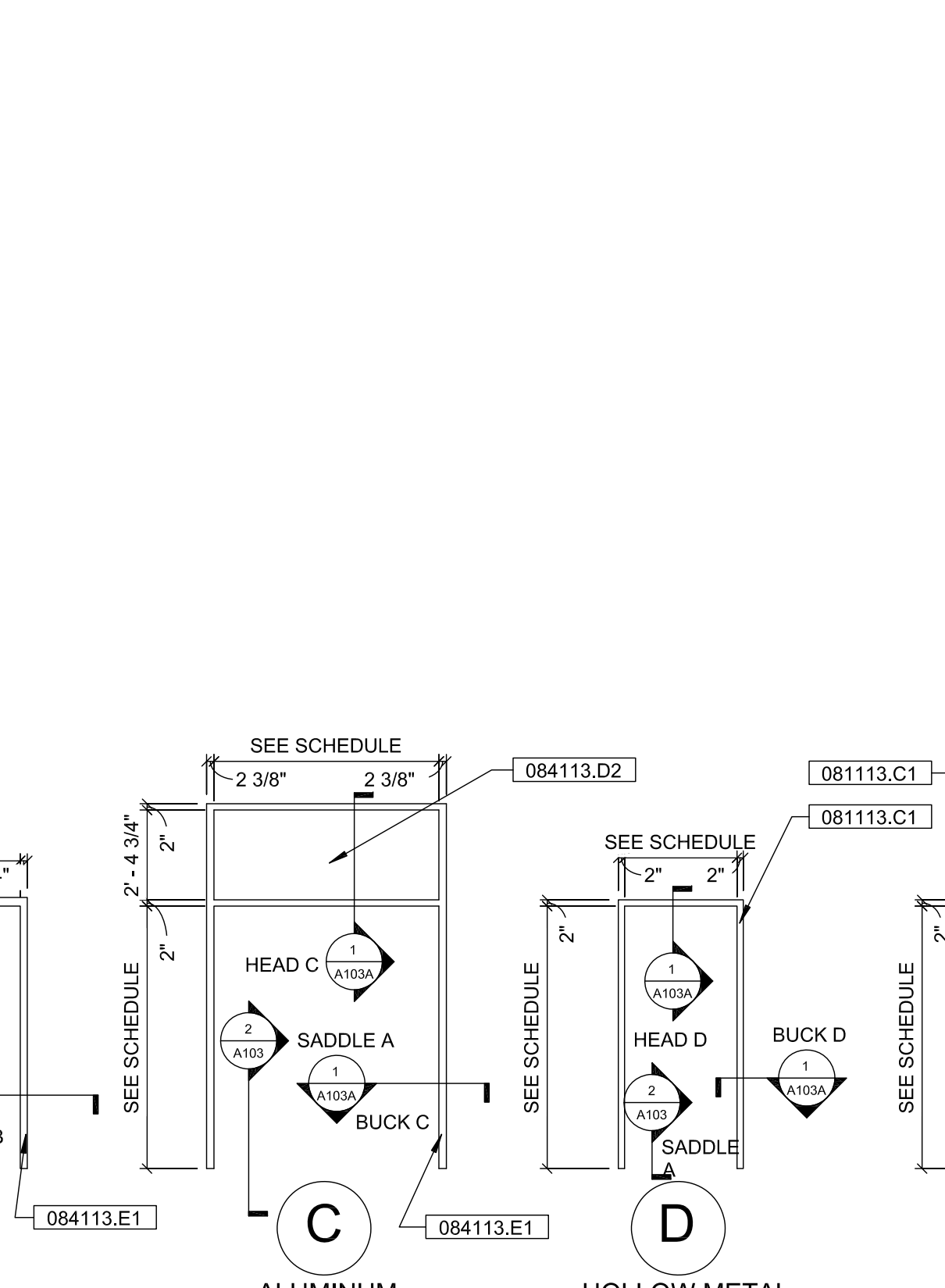
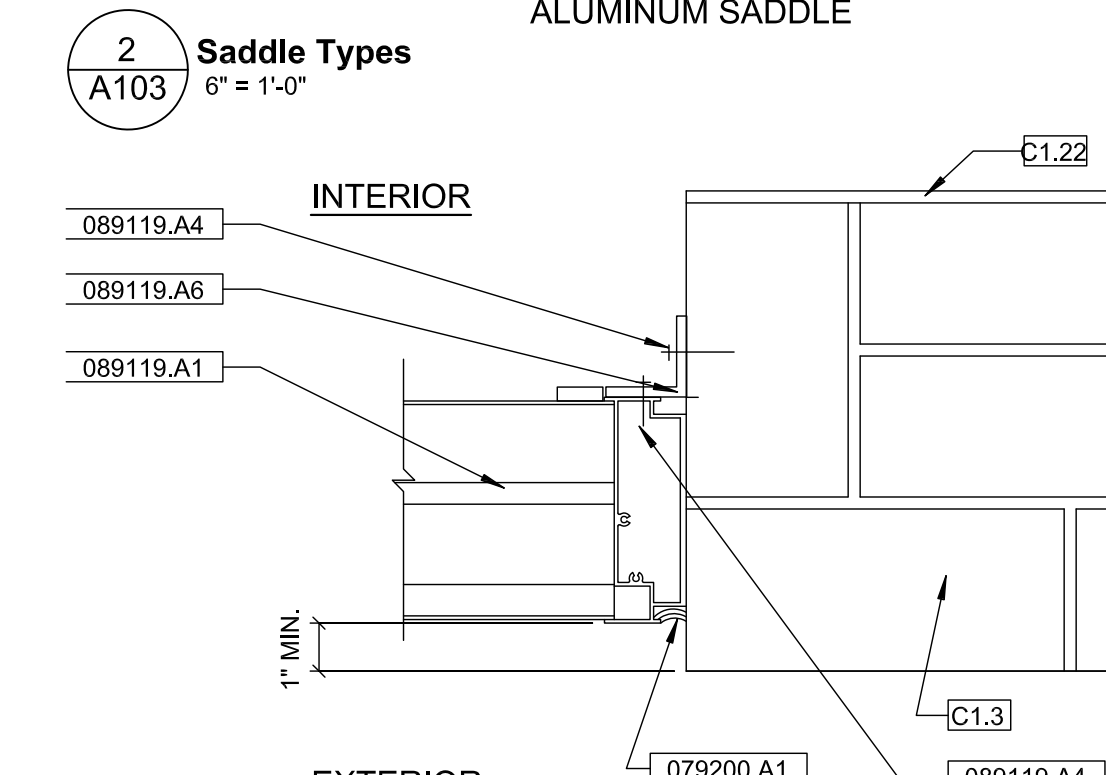
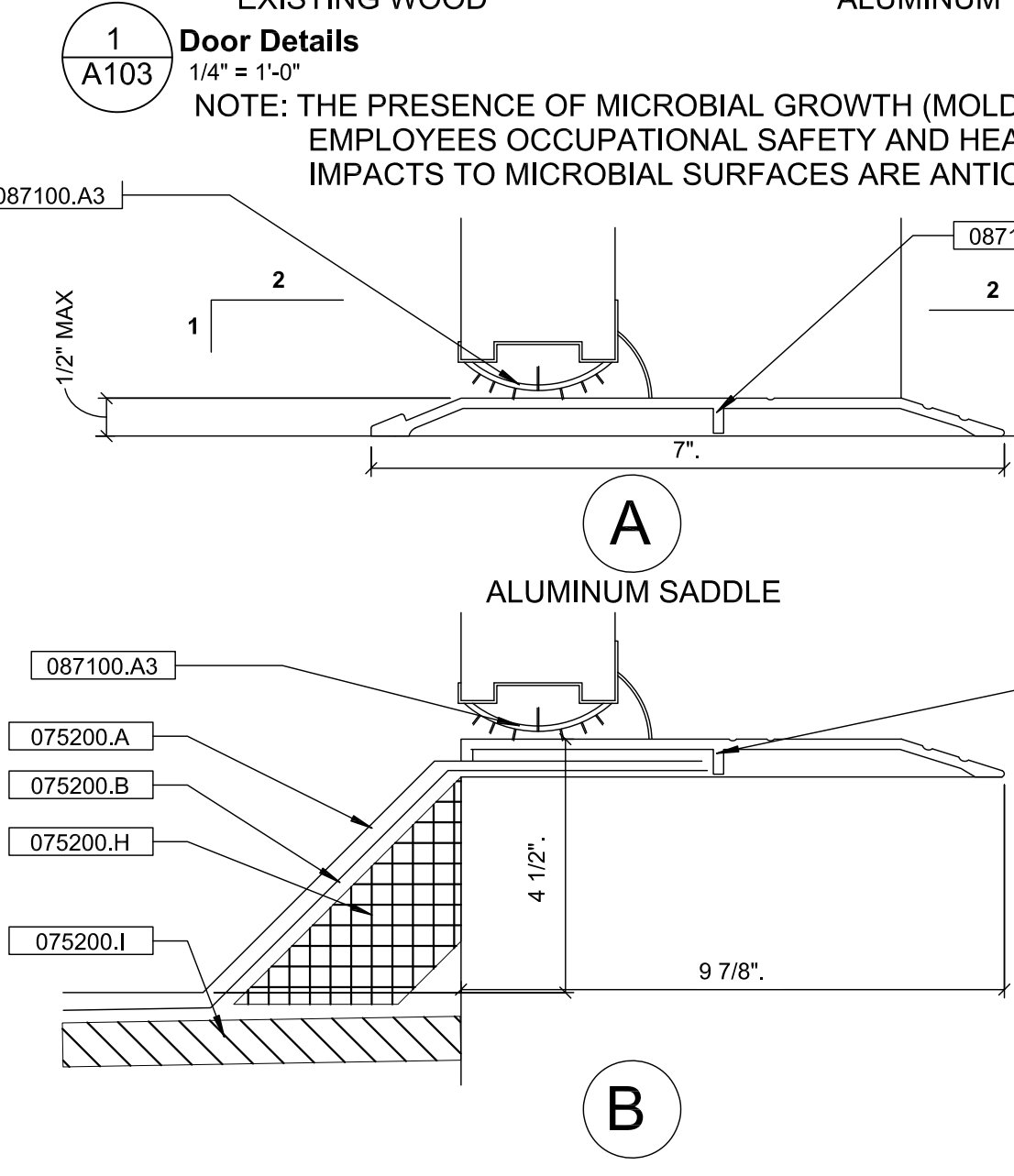
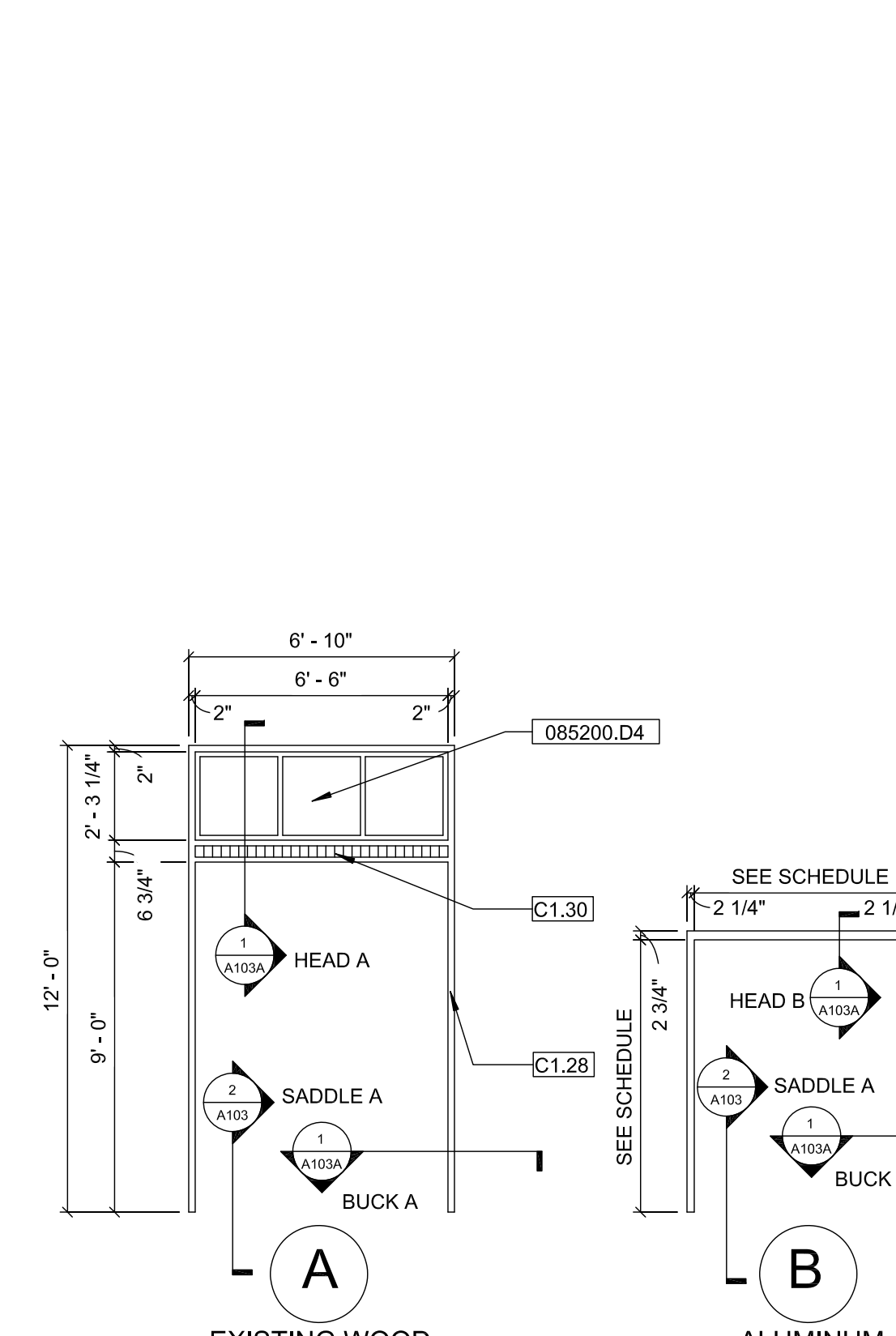
Door Schedule									
NO.	WIDTH	HEIGHT	THK.	TYPE	MATL	FINISH	LEAVES	GLASS	FRAME
									TYPE MATL FINISH BUCK HEAD
1	6'-6"	9'-0"	1 3/4"	A	WOOD	STAIN	2	INSUL SAFETY	A WOOD STAIN A A
2	6'-0"	7'-0"	1 3/4"	B	ALUM		2	INSUL SAFETY	C ALUM B B A 2
3	6'-0"	7'-0"	1 3/4"	B	ALUM		2	INSUL SAFETY	B ALUM C C A 3
4	3'-0"	7'-0"	1 3/4"	D	HM	PAINT	1		D HM PAINT D D A 4 45 MIN.
5	3'-0"	7'-0"	1 3/4"	C	HM	PAINT	1		D HM PAINT D D A 5 45 MIN.
6	3'-0"	7'-0"	1 3/4"	C	HM	PAINT	1		D HM PAINT D D A 5 45 MIN.
7	3'-0"	7'-0"	1 3/4"	C	HM	PAINT	1		D HM PAINT D D A 5 45 MIN.
8	3'-0"	7'-0"	1 3/4"	C	HM	PAINT	1		D HM PAINT D D A 5 45 MIN.
9	3'-0"	7'-0"	1 3/4"	C	HM	PAINT	1		D HM PAINT D D A 5 45 MIN.
10	3'-0"	7'-0"	1 3/4"	C	HM	PAINT	1		D HM PAINT D D A 5 45 MIN.
11	3'-4"	7'-0"	1 3/4"	D	HM	PAINT	1		E HM PAINT E E B 4 45 MIN.

Door Schedule									
NO.	WIDTH	HEIGHT	THK.	TYPE	MATL	FINISH	LEAVES	GLASS	FRAME
									TYPE MATL FINISH BUCK HEAD
									A WOOD STAIN A A
									C ALUM B B A 2
									B ALUM C C A 3
									D HM PAINT D D A 4 45 MIN.
									D HM PAINT D D A 5 45 MIN.
									D HM PAINT D D A 5 45 MIN.
									D HM PAINT D D A 5 45 MIN.
									D HM PAINT D D A 5 45 MIN.
									D HM PAINT D D A 5 45 MIN.
									E HM PAINT E E B 4 45 MIN.



Keynote	Description
061000.A3	NEW 1/2" TYPE "X" GYPSUM SHEATHING; ATTACH TO EXISTING FURRING AT 16" O.C. APPLY 30-MIL SELF-ADHERING, HIGH TEMPERATURE UNDERLAYMENT.
074213.B1	NEW METAL WALL PANELS - ATTACH WITH (2)#10 X 1" WAFER HEAD SCREWS @12" O.C.
075200.A	NEW SBS MODIFIED BITUMINOUS CAP SHEET
075200.B	NEW SBS MODIFIED BITUMINOUS BASE SHEET
075200.H	NEW INSULATION CANT STRIP
075200.I	NEW 1/2" THICK COVER BOARD - ADHERED
076200.A3	NEW WINDOW HEAD FLASHING WITH SELF-ADHERING, HIGH-TEMPERATURE SEPARATION SHEET.
076200.A4	NEW WINDOW SILL FLASHING WITH SELF-ADHERING, HIGH-TEMPERATURE SEPARATION SHEET.
076200.A5	NEW STAINLESS STEEL FLASHING WITH END DAM WITH SELF-ADHERING, HIGH-TEMPERATURE SEPARATION SHEET.
076200.A6	NEW STAINLESS STEEL HEAD FLASHING WITH SELF-ADHERING, HIGH-TEMPERATURE SEPARATION SHEET.
079200.A1	NEW SEALANT
079200.C2	BACKER ROD W/ SEALANT
081113.B1	NEW HOLLOW METAL DOOR
081113.C1	NEW HOLLOW METAL DOOR FRAME
084113.D1	NEW ALUMINUM DOOR
084113.D2	NEW INSULATED SAFETY GLASS IN ALUMINUM FRAMED ENTRANCE DOORS AND TRANSOMS
084113.E1	ALUMINUM DOOR FRAME
085200.D2	NEW INSULATING GLASS AT WINDOWS
085200.D3	NEW INSULATED SAFETY GLASS AT NOTED WINDOW TYPES
085200.D4	NEW INSULATED SAFETY GLAZING AT ALL WOOD DOORS AND TRANSOMS
085200.H1	NEW WOOD SINGLE HUNG WINDOW
085200.H2	NEW WOOD FIXED WINDOW
085200.H3	NEW WOOD WINDOW HEAD EXTENSION
085200.H4	NEW WOOD WINDOW SILL EXTENSION
085200.H5	NEW WOOD WINDOW JAMB EXTENSION
087100.A2	NEW HANDICAP ACCESSIBLE ALUMINUM THRESHOLD
087100.A3	NEW DOOR SWEEP
089119.A1	NEW FIXED EXTRUDED ALUMINUM LOUVER
089119.A2	NEW 6" HIGH X 1 1/2" WIDE X 5/16" THICK X 3" ALUMINUM CLIP ANGLE. INSTALL 2 AT TOP AND 2 AT BOTTOM OF EXISTING LOUVER OPENING.
089119.A3	NEW (4) 1/4" - 14 X 1" S/S SMS STAINLESS STEEL SCREWS
089119.A4	NEW (2) 1/4" - 14 X 1" S/S SMS STAINLESS STEEL SCREWS
089119.A6	NEW 1 1/2" HIGH X 1 1/2" WIDE X 3/16" THICK X 1 1/2" LONG ALUMINUM CLIP ANGLE @24" O.C. (JAMBS ONLY - MINIMUM 2 PER JAMB)

Keynote	Description
C1.3	EXISTING MASONRY WALL
C1.20	EXISTING 8" CONCRETE BLOCK WALL
C1.22	EXISTING PLASTER FINISH
C1.28	EXISTING DOOR FRAME TO BE REPAIRED. INSTALL NEW INSULATED SAFETY GLAZING IN THE EXISTING TRANSOM.
C1.29	EXISTING DOOR TO BE REMOVED, REPAIRED AND REINSTALLED. INSTALL NEW SAFETY GLAZING IN DOOR.
C1.30	EXISTING DOOR FRAME PANEL. CONTRACTOR TO RESTORE
C1.32	EXISTING 3/4" FURRING TRACK @12" O.C. TO REMAIN FOR SHEATHING AND NEW METAL PANEL
C1.33	EXISTING STEEL LINTEL



DPMC Restoration Upgrades to Exterior Building Envelope

Location
135 W Hanover St. Trenton, New Jersey

Project Number
DPMC: A1310-00
L&G: 19504

Date
7/30/2019

Architect
LAMMEY + GIORGIO Lamme + Giorgio Architecture + Design
215 Highland Ave. Suite B
Haddon Twp. NJ, 08108
p.856.833.0010

William Lamme - AIA - NJ C6793
Anthony Giorgio - AIA - NJ 07626

#	Issue/Revision	Date
1	BULLETIN 'C'	05/01/2020

Sheet Title
Revised Door and Window Schedules and Details - Bulletin 'C'

Sheet No.
A103

Sheet 7 of 20
©Lamme + Giorgio 2019

DPMC Restoration Upgrades to Exterior Building Envelope

Location
135 W Hanover St. Trenton, New Jersey

Project Number
DPMC: A1310-00
L&G: 19504

Date
7/30/2019

Architect
LAMMEY + GIORGIO Lamme + Giorgio Architecture + Design
215 Highland Ave. Suite B
Haddon Twp. NJ, 08108
p.856.833.0010

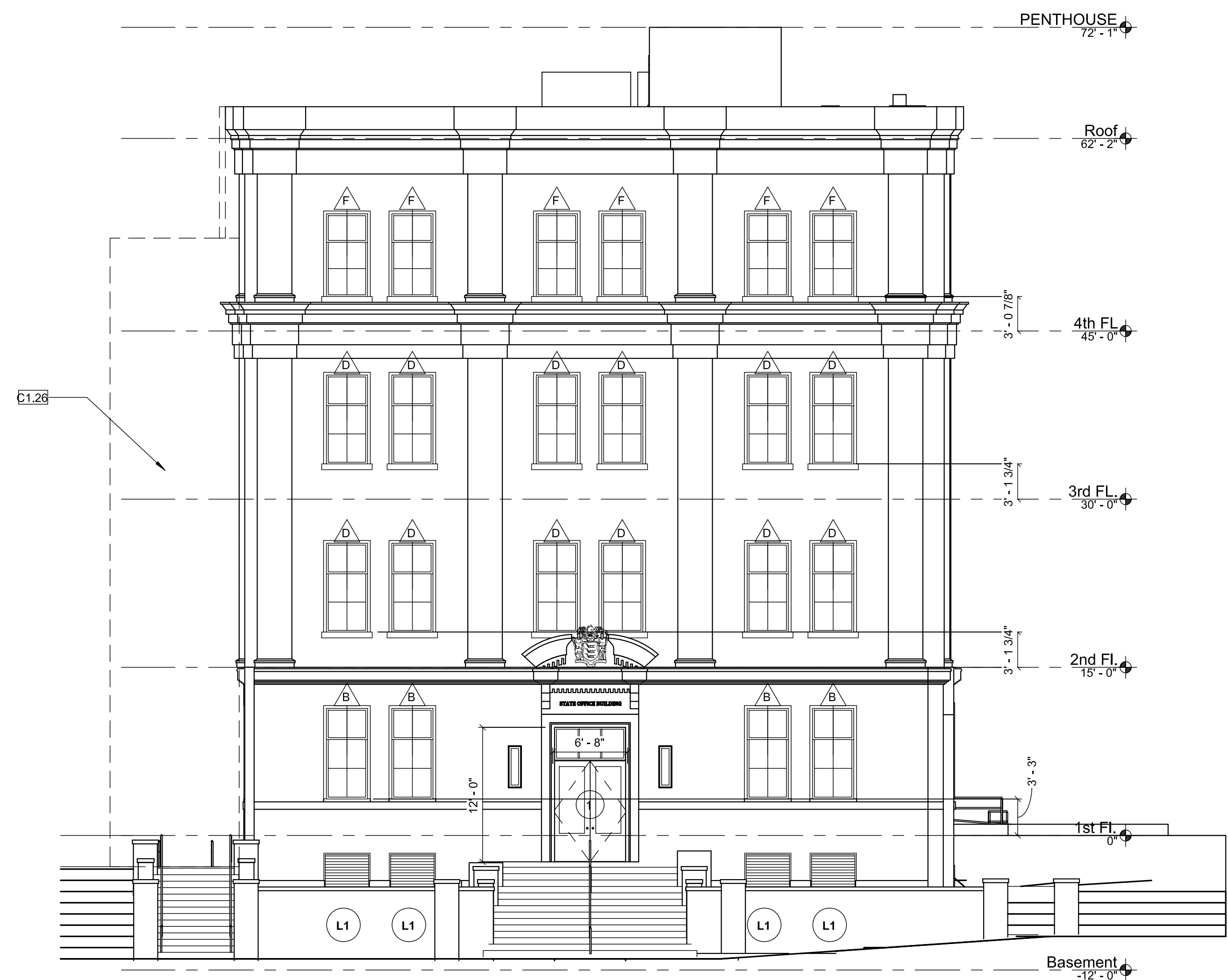
William Lamme - AIA - NJ C6793
Anthony Giorgio - AIA - NJ 07626

#	Issue/Revision	Date
1	BULLETIN 'C'	05/01/2020

Sheet Title
Revised Door and Window Schedules and Details - Bulletin 'C'

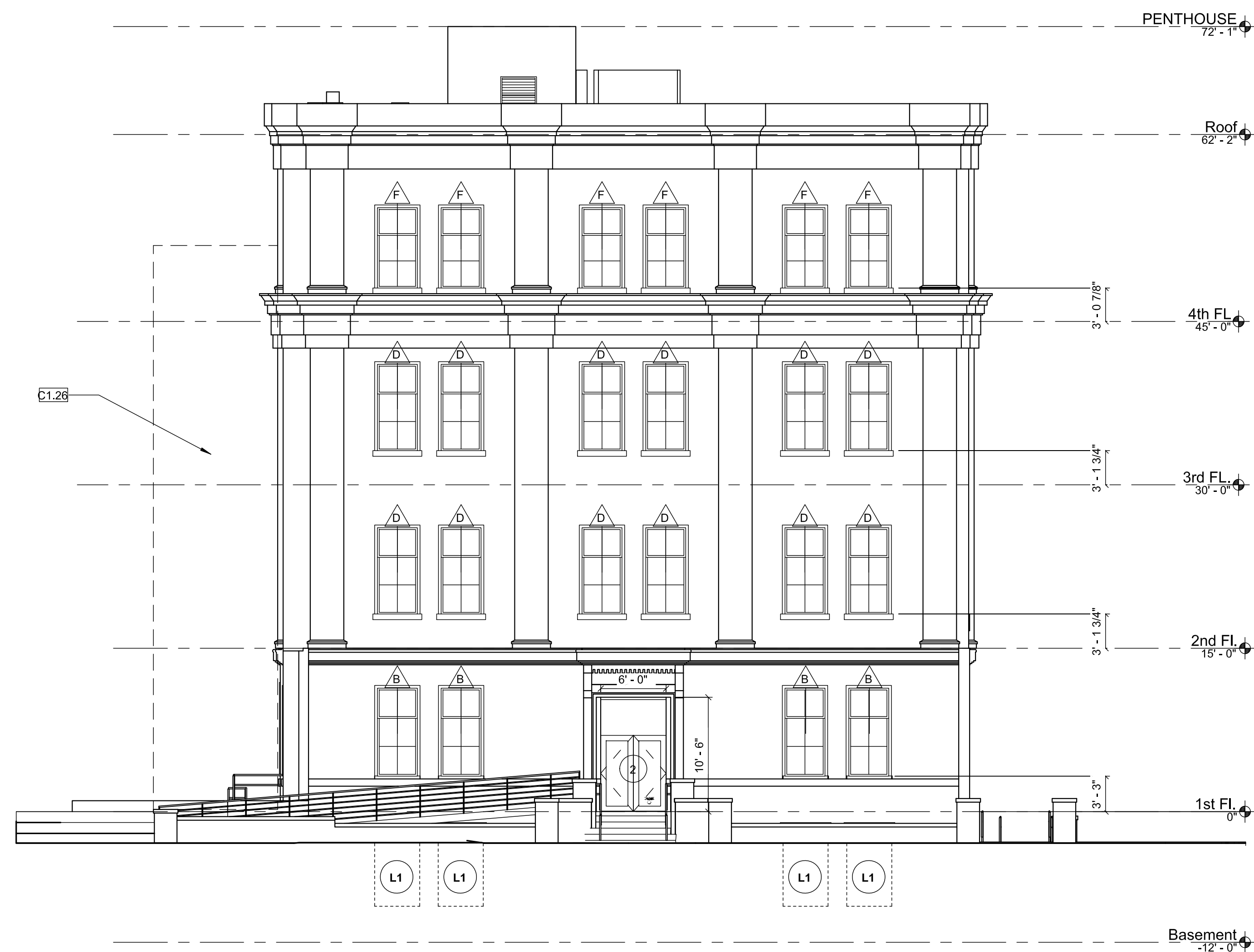
Sheet No.
A103

Sheet 7 of 20
©Lamme + Giorgio 2019



1 North Elevation
A200
1/8" = 1'-0"

NOTE 1: FIRE ESCAPES NOT INDICATED FOR CLARITY
NOTE 2: SCRAPE AND REPAINT EXISTING FIRE ESCAPES



2 South Elevation
A200
1/8" = 1'-0"

NOTE 1: FIRE ESCAPES NOT INDICATED FOR CLARITY
NOTE 2: SCRAPE AND REPAINT EXISTING FIRE ESCAPES

**DPMC Restoration
Upgrades to Exterior
Building Envelope**

Location
135 W Hanover St. Trenton,
New Jersey

Project Number
DPMC: A1310-00
L&G: 19504

Date
7/30/2019

Architect
LAMMEY + GIORGIO Lamme + Giorgio
Architecture + Design
215 Highland Ave, Suite B
Haddon Twp. NJ, 08108
p.856.833.0010

#	Issue/Revision	Date
1	BULLETIN 'C'	05/01/2020

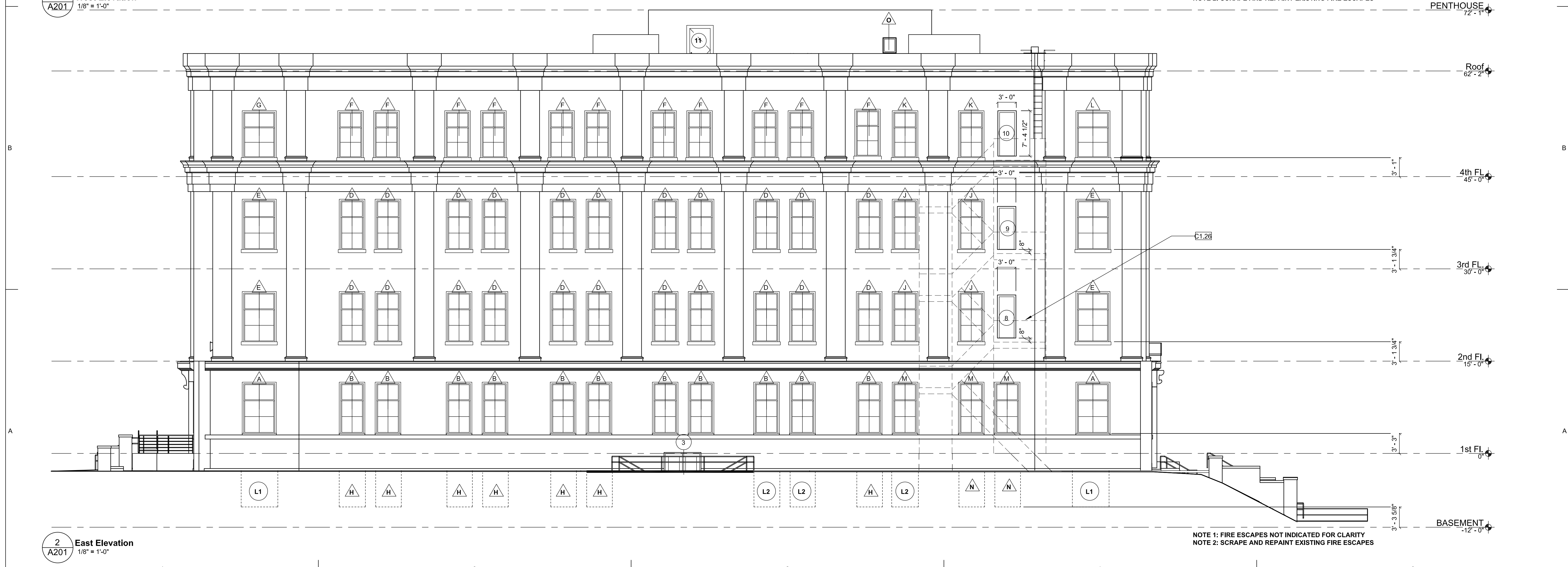
Sheet Title
North and South Elevations -
Bulletin 'C'

Sheet No.
A200
Sheet 13 of 20
©Lamme + Giorgio 2019



1 West Elevation
1/8" = 1'-0"

NOTE 1: FIRE ESCAPES NOT INDICATED FOR CLARITY
NOTE 2: SCRAPE AND REPAINT EXISTING FIRE ESCAPES



2 East Elevation
1/8" = 1'-0"

NOTE 1: FIRE ESCAPES NOT INDICATED FOR CLARITY
NOTE 2: SCRAPE AND REPAINT EXISTING FIRE ESCAPES

DPMC Restoration Upgrades to Exterior Building Envelope

Location
135 W Hanover St. Trenton,
New Jersey

Project Number
DPMC: A1310-00
L&G: 19504

Date
7/30/2019

Architect
LAMMEY + GIORGIO Lammy + Giorgio
Architecture + Design
215 Highland Ave, Suite B
Haddon Twp, NJ, 08108
p.856.833.0010

#	Issue/Revision	Date
1	BULLETIN 'C'	05/01/2020

Sheet Title
West and East Elevations -
Bulletin 'C'

Sheet No.
A201
Sheet 14 of 20
©Lammy + Giorgio 2019