PROJECT: Phase 4 Improvements at the Ocean City Life Saving Station

City Contract No. 20-10

LOCATION: 801 Fourth Street

Ocean City, New Jersey 08226

Block 303 / Lot 49

OWNER: City of Ocean City

115 East 12th Street Ocean City, NJ 08226

www.ocnj.us

ARCHITECT: Michael Calafati Architect, LLC

510 Bank Street – Suite 301

P.O. Box 2363

Cape May, NJ 08204

Attention: Michael Calafati, AIA

Tel 609 884 4922

Email michael@calafati.com

DRAWING NUMBER/TITLE

GENERAL INFORMATION

A000 COVER SHEET

A001 BUILDING DATA AND NOTES

SITE PLAN

KEY FLOOR PLANS

KEY EXTERIOR ELEVATIONS

LIFE SAVING STATION

FIRST FLOOR PLAN (PARTIAL)

A102 SECOND FLOOR PLAN

A102.1 SECOND FLOOR REFLECTED CEILING PLAN

INTERIOR ELEVATIONS ROOM 202

INTERIOR ELEVATIONS ROOM 203 (NORTH & EAST) INTERIOR ELEVATIONS ROOM 203 (SOUTH & WEST)

OUTBUILDING

GROUND FLOOR PLAN

NORTH AND EAST ELEVATIONS

BUILDING SOUTH AND WEST ELEVATIONS

FOUNDATION DETAILS

WOOD SHINGLE ROOF DETAILS

SCHEDULES AND DETAILS

A401 FINISH SCHEDULE

INTERIOR ARCHITECTURAL TRIM

DOOR SCHEDULE

DOOR SECTIONS & DETAILS

SHUTTERS

OUTBUILDING DOORS



U.S. Life Saving Station 30, also known as the Fourth Street Life Saving Station, was listed on The New Jersey and National Registers of Historic Places in 2013.

PHASE 4 IMPROVEMENTS AT THE

OCEAN CITY LIFE SAVING STATION

801 4th STREET

CITY OF OCEAN CITY, OWNER

MICHAEL CALAFATI, RA NJ#21AI0090290 Certificate of Authorization

Michael Calafati Architect, LLC 10 Bank Street, PO Box 2363, Cape May, NJ 0820

ISSUED FOR BID

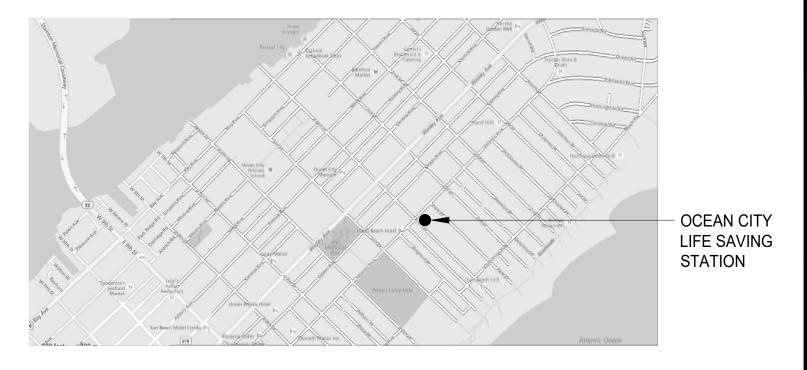
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04/06/20 SCALE: NTS

COVER SHEET

A-3 - MUSEUM A-3 - MUSEUM (NO CHANGE) CONSTRUCTION GROUP CLASSIFICATIONS EXISTING PROPOSED REMA VB, COMBUSTIBLE/ UNPROTECTED VB, COMBUSTIBLE/ UNPROTECTED FLOOR AREA SUMMARY MAIN BUILDING (NET AREA) LEVEL EXISTING PROPOSED REMA ATTIC 552 SF 552 SF NO CHANGE/UN SECOND FLOOR 873 SF 873 SF NO CHANGE FIRST FLOOR 2,054 SF 2,054 SF NO CHANGE FIRST FLOOR 2,054 SF 2,054 SF NO CHANGE FIRST FLOOR 398 SF 377 SF REMOVE EAST E GROUND 398 SF TOTAL 44'-2" (ESTIMATED) ACCUPANT LOAD AE EL. 9.0 (NAVD88) EXISTING REMA EXISTING REMA EL. 9.0 (NAVD88) EXISTING REMA EXISTING REMA EXISTING REMA FLOOD COCUPANT LOAD	ON	AVING STATION	HE OCEAN CITY LIFE S	NTS AT	IMPROVEME	PHASE 4					
SCOPE OF WORK: SCOPE OF WORK: INCLUDES (BUT IS NOT LIMITED TO) 2ND FLOOR FALSO ALTERNATES THAT ENTAIL SHUTTERS AND TOUTBUILDING. APPLICABLE CODES: APPLICABLE CODES: - NJ UNIFORM CONSTRUCTION CODE IBC 2018 NJ EDITION NJ REHABILITATION SUB-CODE 5: - 6 (WITH NO CHANGE IN RELATIVE HAZARD). OCCUPANCY/IBC USE GROUP EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED EXISTING PROPOSED FIRE SUPPRES SYSTEM (FM20 PREVIOUSLY II ON BOTH FLOO FLOOR AREA SUMMARY MAIN BUILDING (NET AREA) LEVEL EXISTING PROPOSED FLOOR AREA SUMMARY MAIN BUILDING (NET AREA) LEVEL EXISTING PROPOSED REMA ATTIC 552 SF 552 SF NO CHANGE/UN SECOND FLOOR 873 SF 873 SF NO CHANGE FIRST FLOOR 2,054 SF 2,054 SF NO CHANGE OUTBUILDING (GROSS AREA) LEVEL EXISTING PROPOSED REMA ATTIC 502 SF 502 SF 503 SF 503 SF 504 SF 505 SF			BLOCK / LOT								
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FLOOR COUNT REMARKS		REMARKS	COUNT		FLOOR						
SECOND FLOOR (873 SF NET) 15 (29) 30 SF/PERSON /	N note "A" below	30 SF/PERSON no	15 (29)		SECOND FLOOR (873 SF NET)						
FIRST FLOOR (2,054 SF NET) 35 (69) 30 SF/PERSON /	N note "A" below	30 SF/PERSON no	35 (69)		FIRST FLOOR (2,054 SF NET)						
TOTAL 50 MAIN BUILDING	NG ONLY	MAIN BUILDING	50			TOTAL					

ARTIFACTS, DISPLAY CASES AND OTHER MUSEUM EQUIPMENT AND FURNISHINGS.







PHASE 4 IMPROVEMENTS AT THE

OCEAN CITY LIFE SAVING STATION

801 4th STREET OCEAN CITY, NEW JERSEY 08226

CITY OF OCEAN CITY, OWNER

MICHAEL CALAFATI, RA NJ#21AI00902900 Certificate of Authorization #21AC00084500 / Expires 01/2022

MCA

Michael Calafati Architect, LLC 510 Bank Street, PO Box 2363, Cape May, NJ 08204 609 884 4922 www.calafati.com

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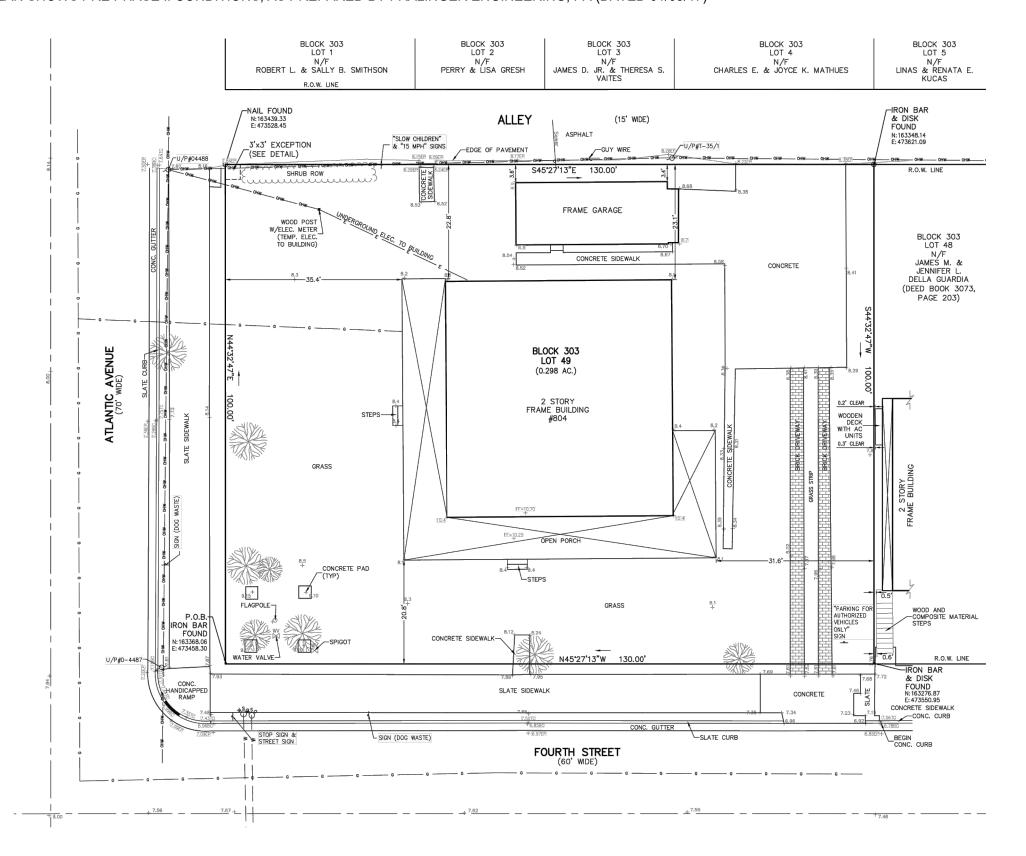
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DATE 04/06/20

SCALE: NTS

BUILDING DATA AND NOTES

NOTE: THIS PLAN SHOWS PRE PHASE II CONDITIONS, AS PREPARED BY FRALINGER ENGINEERING, PA (DATED 01/05/17)



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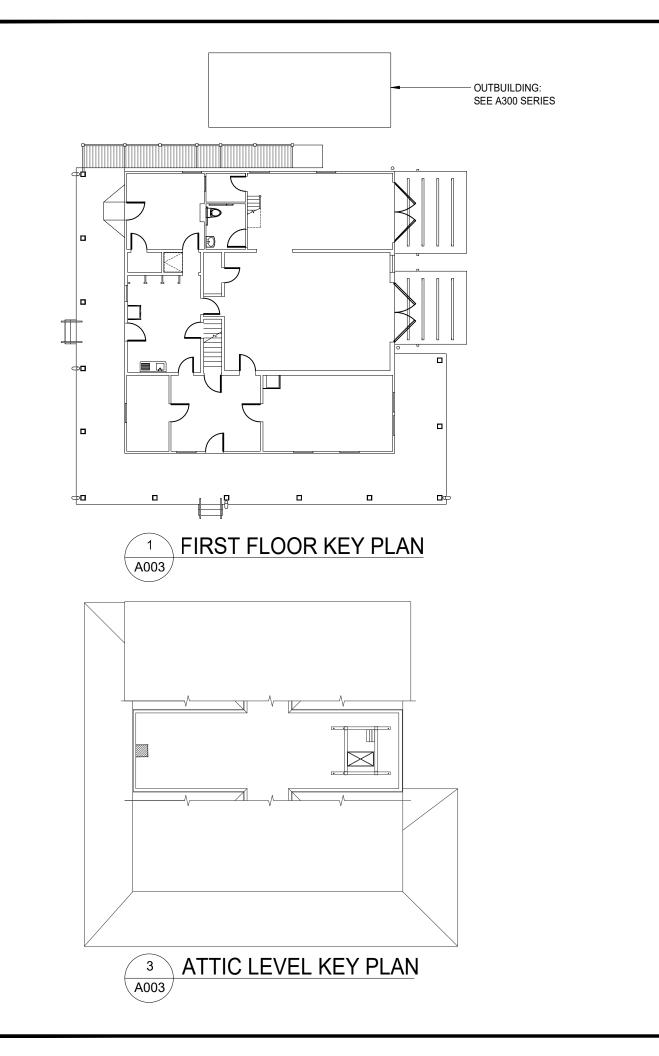
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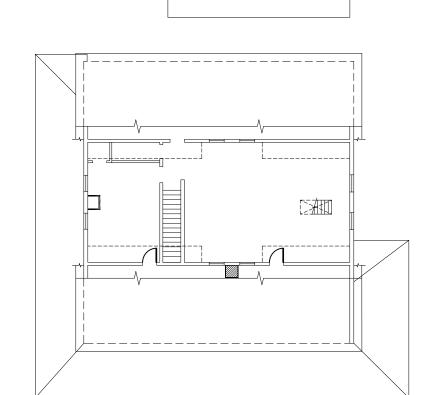
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DATE 04/06/20

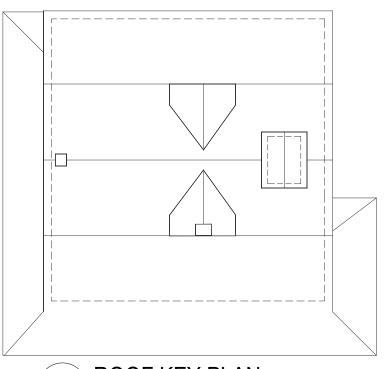
SCALE: 1" = 15'

SITE PLAN

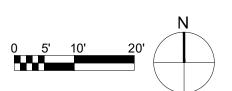




SECOND FLOOR KEY PLAN
A003



4 ROOF KEY PLAN



SEE A300 SERIES

PHASE 4 IMPROVEMENTS AT THE

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DATE 04/06/20

½" = 1'-0"

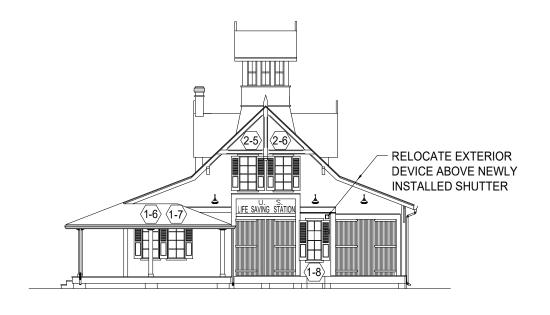
KEY FLOOR PLANS



NORTH KEY ELEVATION A004



SOUTH KEY ELEVATION A004



EAST KEY ELEVATION A004



WEST KEY ELEVATION A004

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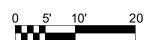
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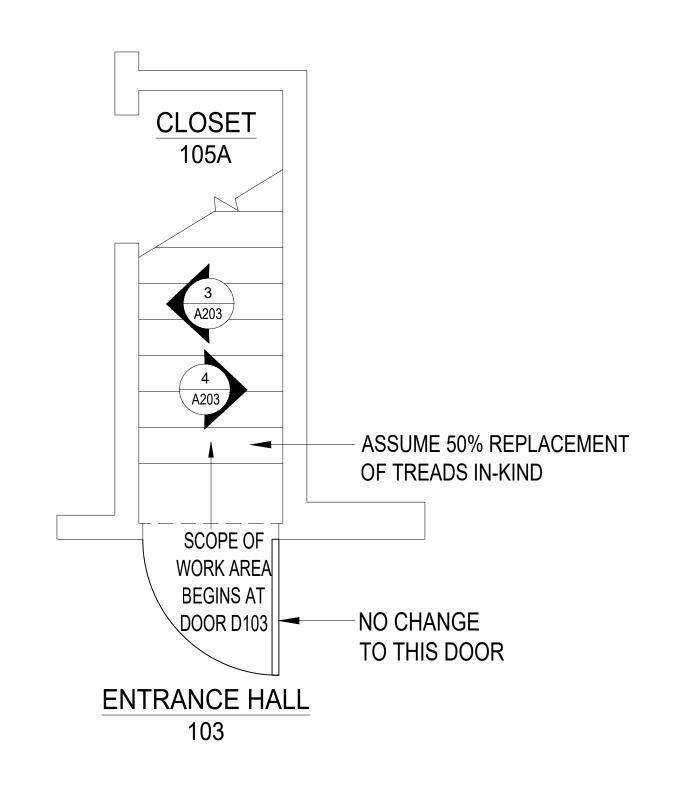
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SCALE: $\frac{1}{16}$ " = 1'-0"

> **KEY EXTERIOR ELEVATIONS**





OCEAN CITY LIFE SAVING STATION

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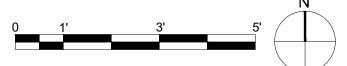
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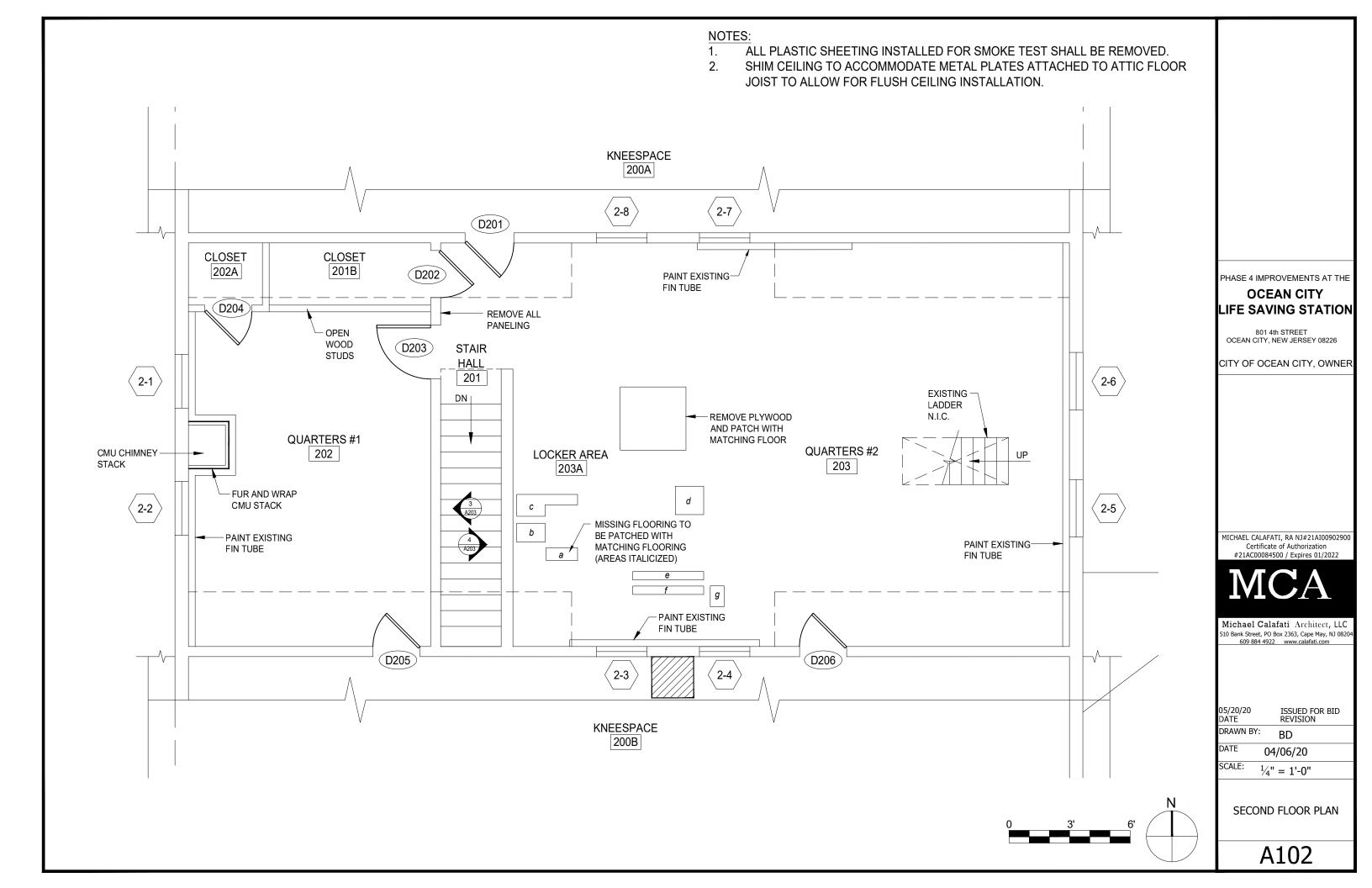
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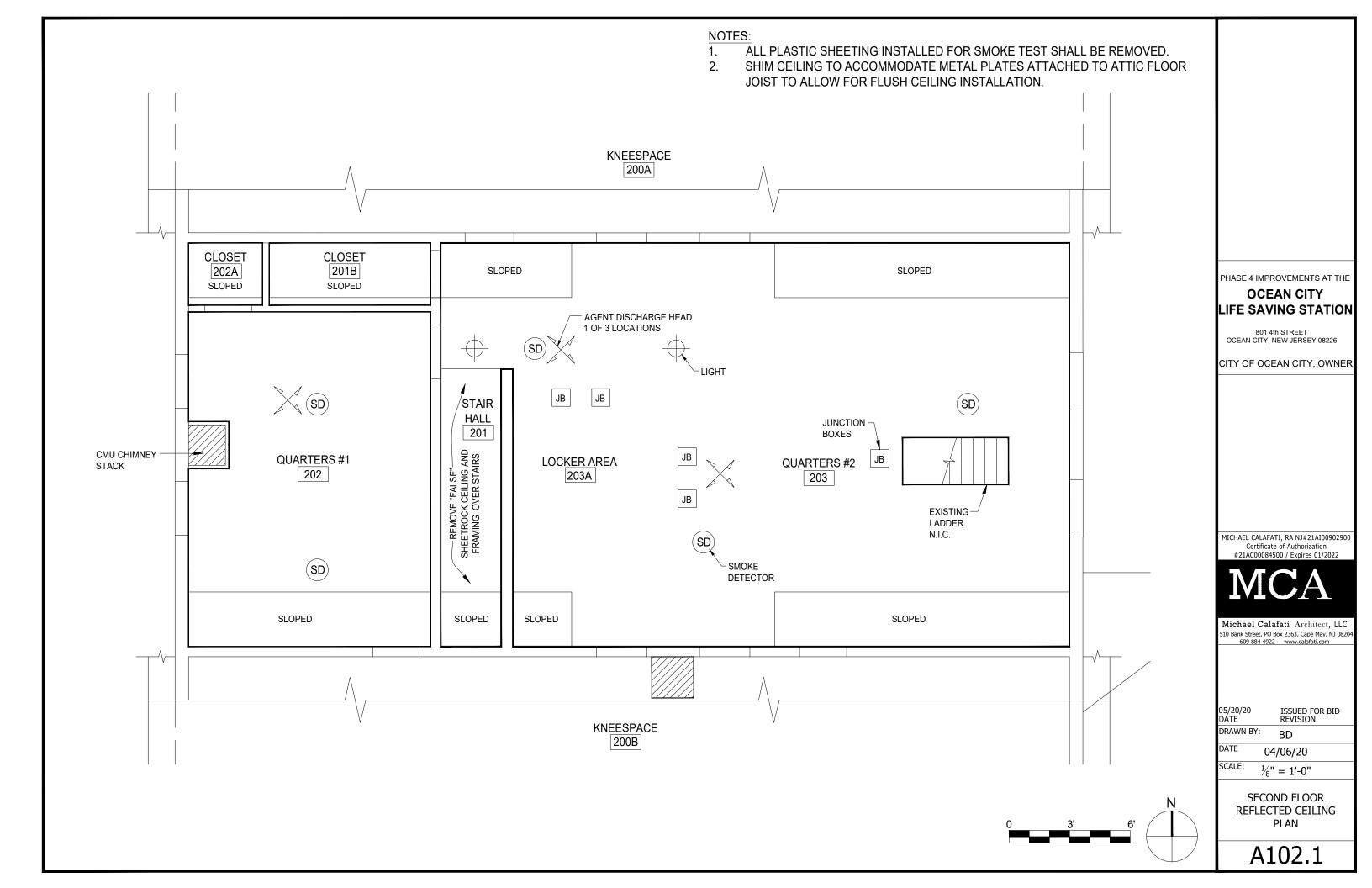
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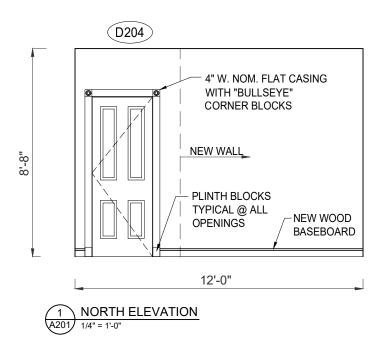
½" = 1'-0"

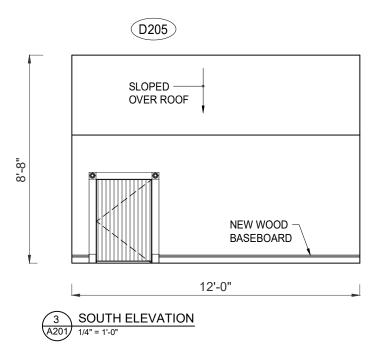
FIRST FLOOR PLAN (PARTIAL)





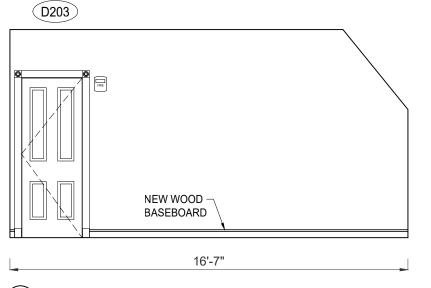




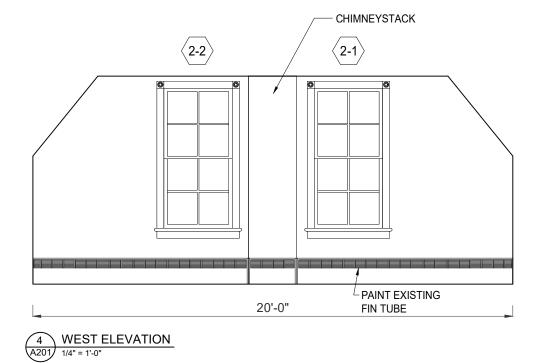


NOTES:

- I. GENERAL CONTRACTOR SHALL SURVEY ALL FLOOR, WALL & CEILING AREAS TO DETERMINE DEGREE AND EXTENT OF REMOVABLE EXISTING FINISHES.
- 2. GENERAL CONTRACTOR SHALL FIELD VERIFY EXISTING ELECTRICAL OUTLETS AND SWITCH PLATE LOCATIONS.



2 EAST ELEVATION 1/4" = 1'-0"



0 5' 10'

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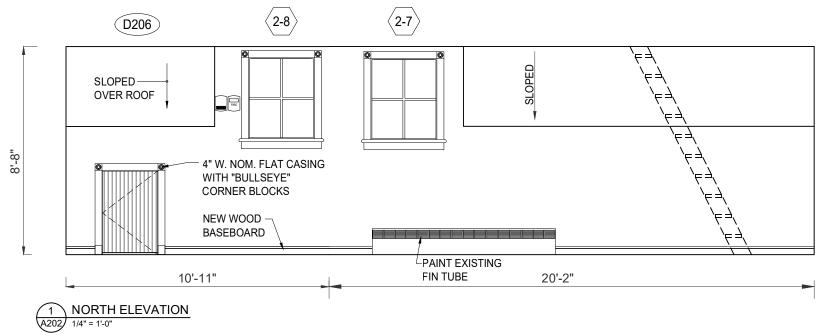
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SCALE: AS NOTED

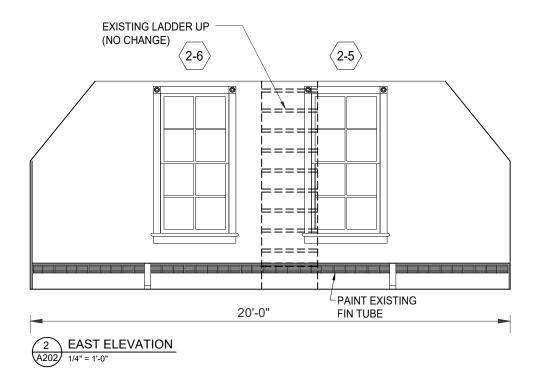
AS NOTED

INTERIOR ELEVATIONS ROOM 202

NOTES:

- GENERAL CONTRACTOR SHALL SURVEY ALL FLOOR, WALL & CEILING AREAS TO DETERMINE DEGREE AND EXTENT OF REMOVABLE EXISTING FINISHES.
- 2. GENERAL CONTRACTOR SHALL FIELD VERIFY EXISTING ELECTRICAL OUTLETS AND SWITCH PLATE LOCATIONS.





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801 4th STREET OCEAN CITY, NEW JERSEY 08226

CITY OF OCEAN CITY, OWNER

MICHAEL CALAFATI, RA NJ#21AI00902900 Certificate of Authorization #21AC00084500 / Expires 01/2022

MCA

Michael Calafati Architect, LLC 510 Bank Street, PO Box 2363, Cape May, NJ 08204 609 884 4922 www.calafati.com

05/20/20 DATE

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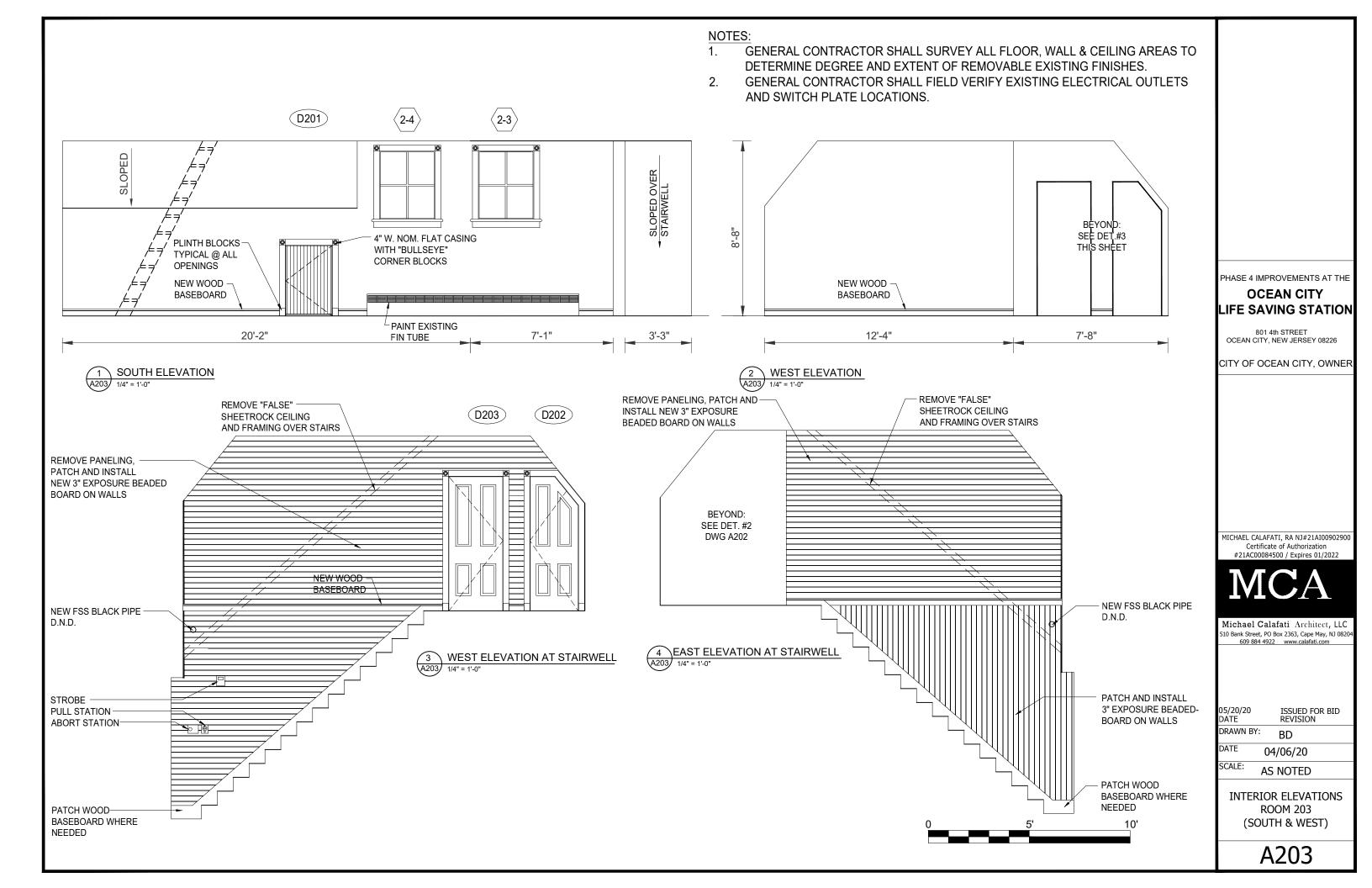
DATE 04/06/20

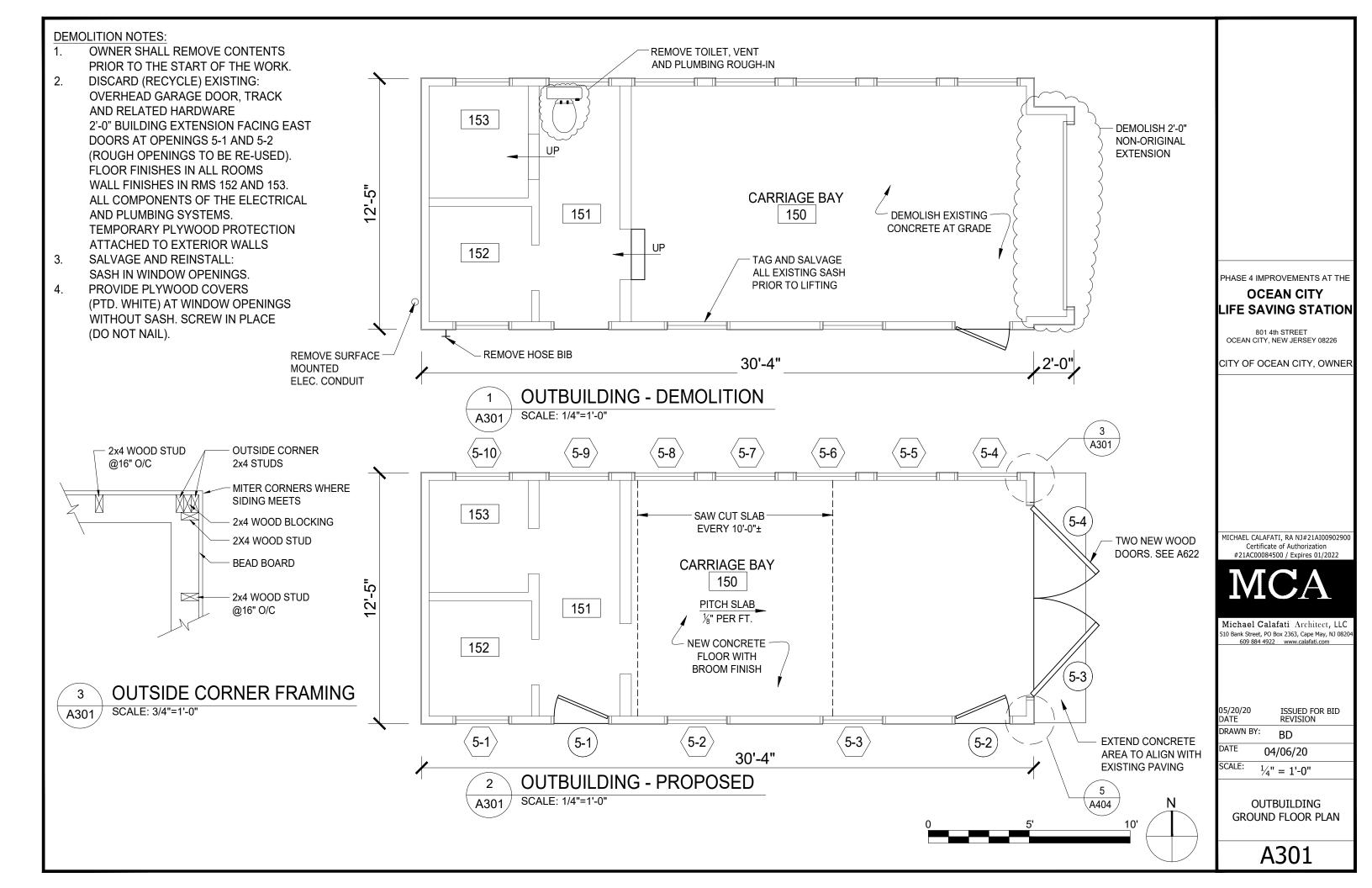
SCALE: AS NOTED

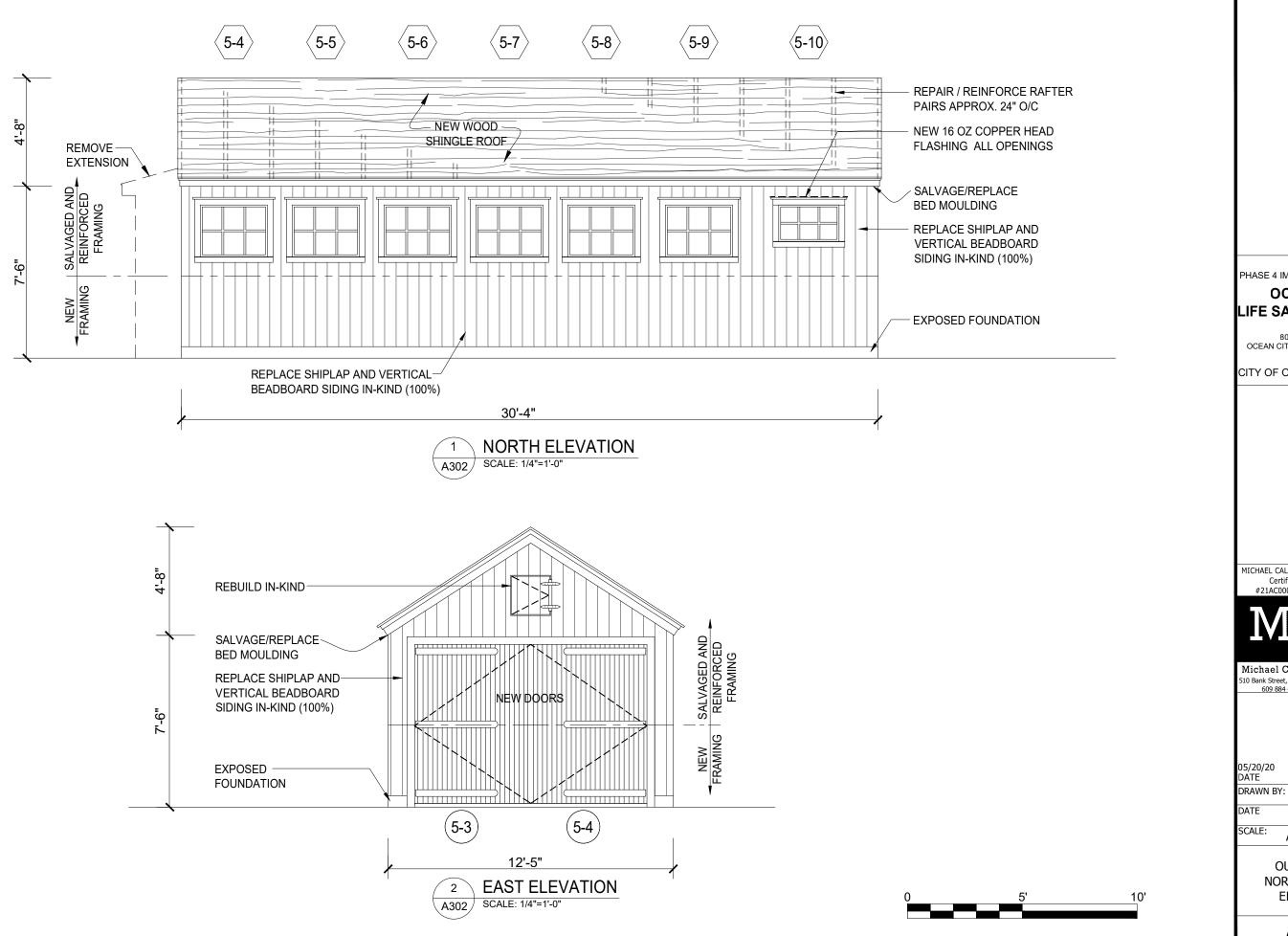
INTERIOR ELEVATIONS ROOM 203 (NORTH & EAST)

A202

0 5' 10'







OCEAN CITY LIFE SAVING STATION

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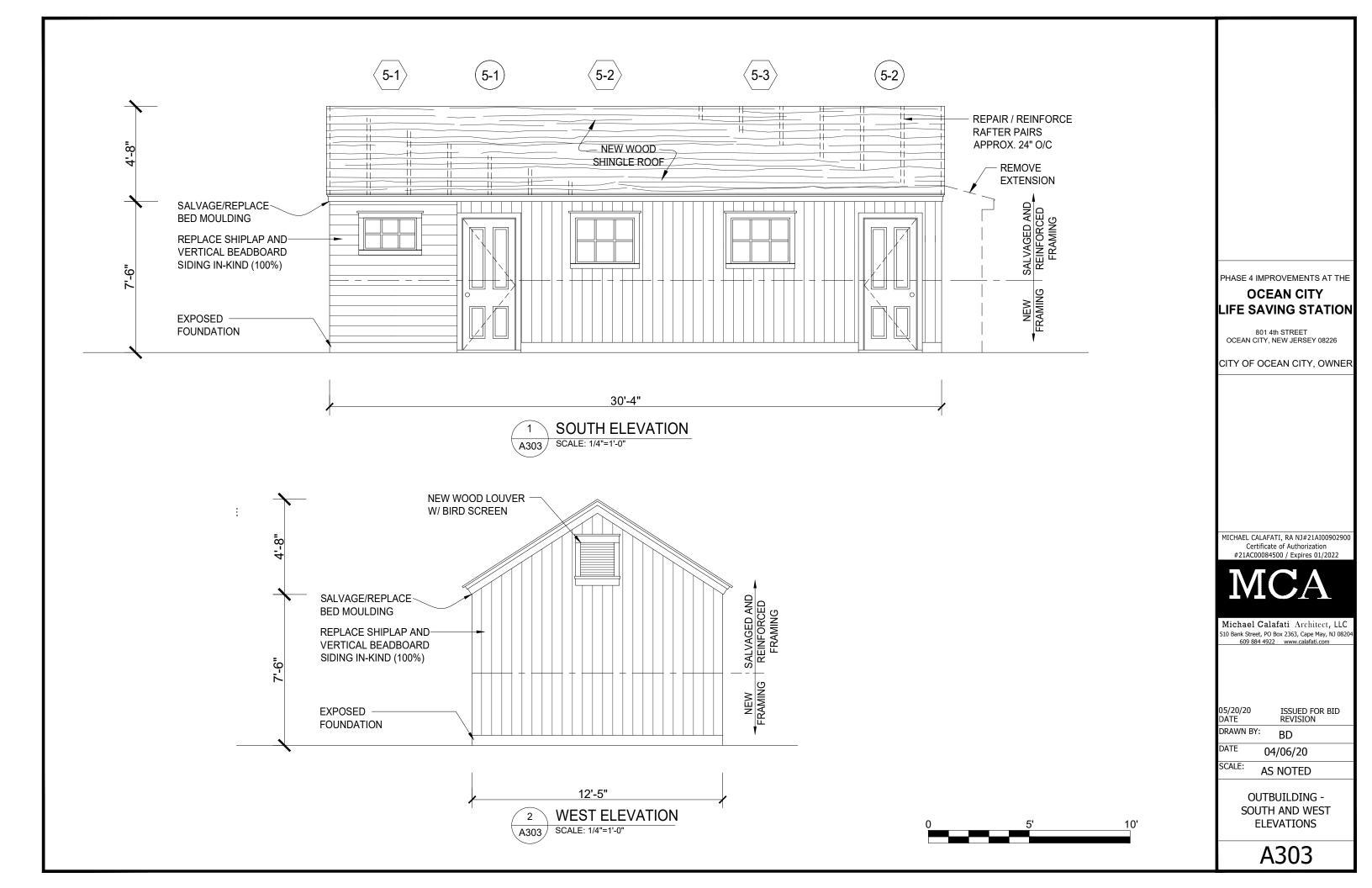
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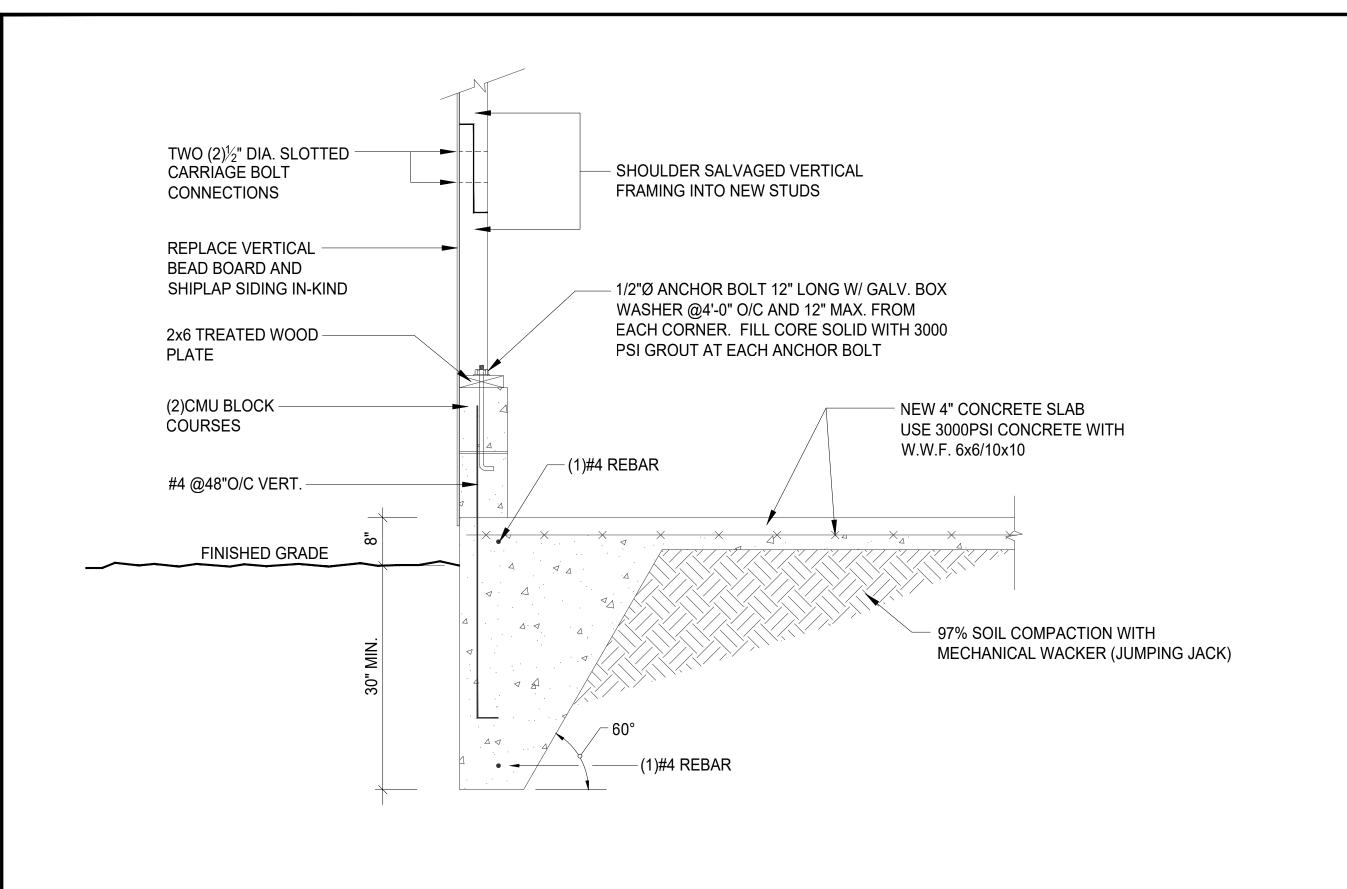
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OUTBUILDING NORTH AND EAST **ELEVATIONS**





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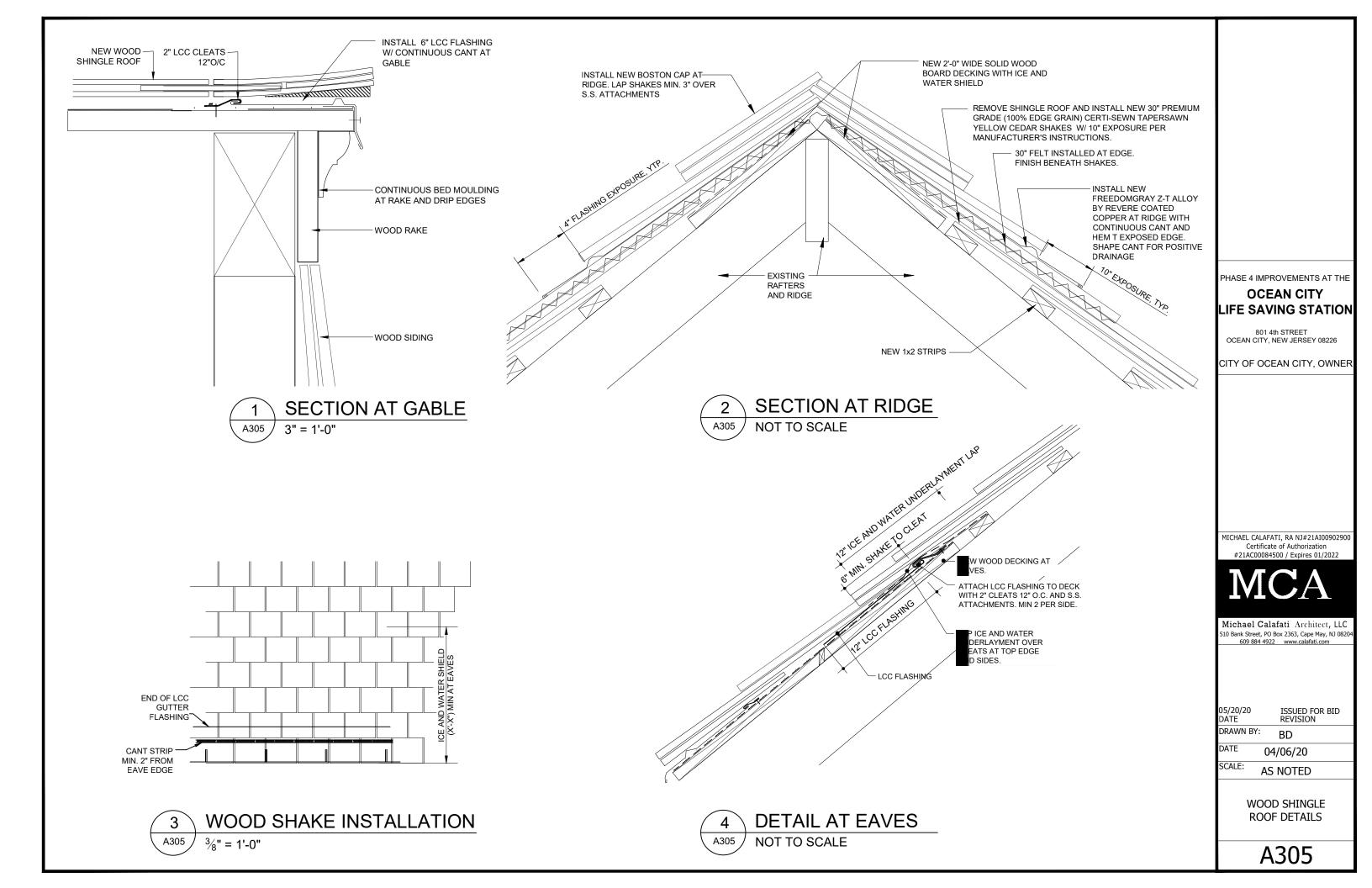
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SCALE: 1" = 1'-0"

OUTBUILDING FOUNDATION DETAILS



					FINI	SH SCHEDULE			
-l IE	FLOOR	ROOM	NAME	FLOOR	FLOOR BASE	WALL	CEILING	CEILING MOLDING	REMARKS
first to second		103 & 200	HALL AT STAIRWELL/ STAIRWELL	NO CHANGE (PROTECT) FLOORING AT 1ST FLOOR LANDING; REPLACE EXISTING STAIR TREADS IN-KIND, FULL WIDTH BY FULL DEPTH W/ HALF ROUND BULLNOSE (ONE PIECE) IN HICKORY		REMOVE ALL WALL PANELING, ETC. TO EXPOSE EARLIER BEADBD; INSTALL NEW GYPSUM WALLBD WITH PLASTER SKIM COAT EAST FACING WALL ABOVE 2ND FL LINE & RESTORE/PATCH EXISTING BEADBD BELOW; INSTALL NEW VERTICAL BEADBD AT WEST FACING WALL BELOW 2ND FL LINE & RESTORE/PATCH EXISTING BEADBD ABOVE	DEMOLISH FALSE CEILING AND FRAMING; INSTALL GYPSUM WALLBD AT ALL EXPOSED SURFACES AND SKIM COAT	N/A (REMOVE EXISTING PERIMETER MOLDING)	RETAIN HANDRAIL AND BRACKETS FOR REUSE. SEE ALSO SPECIFICATIONS.
2	SECOND	200A & 200B	KNEE SPACES (NORTH & SOUTH SLOPES, RESP.)	NO CHANGE TO EXISTING CONSTRUCTION AND FINISHES					CLEAN AND BROOM SWEEP IMMEDIATELY PRIOR TO FINAL COMPLETION.
3	SECOND	201	HALL	REFINISH EXISTING 3" W. WOOD FLOORING	TYPE "10"	REMOVE WALL PANELING THEN INSTALL NEW GYPSUM WALLBD WITH PLASTER SKIM COAT	NEW GYPSUM WALLBD WITH PLASTER SKIM COAT AT ALL CEILINGS	N/A (REMOVE EXISTING PERIMETER MOLDING)	DUTCHMAN PLUG HOLES WHEREVER VACANT BY RADIATOR REMOVAL
4	SECOND	201B	CLOSET	REFINISH EXISTING 3" W. WOOD FLOORING	TYPE "10"	NEW GYPSUM WALLBD WITH PLASTER SKIM COAT AT ALL WALLS	NEW GYPSUM WALLBD WITH PLASTER SKIM COAT AT ALL CEILINGS	N/A	DUTCHMAN PLUG HOLES MADE VACANT BY RADIATOR REMOVAL
5	SECOND	202	QUARTERS #1	REFINISH EXISTING 3" W. WOOD FLOORING	TYPE "10"	REMOVE WALL PANELING THEN INSTALL NEW GYPSUM WALLBD WITH PLASTER SKIM COAT	NEW GYPSUM WALLBD WITH PLASTER SKIM COAT AT ALL CEILINGS	N/A (REMOVE EXISTING PERIMETER MOLDING)	DUTCHMAN PLUG HOLES MADE VACANT BY RADIATOR REMOVAL
6	SECOND	202A	CLOSET	REFINISH EXISTING 3" W. WOOD FLOORING	TYPE "10"	NEW GYPSUM WALLBD WITH PLASTER SKIM COAT AT ALL WALLS	NEW GYPSUM WALLBD WITH PLASTER SKIM COAT AT ALL CEILINGS	N/A	DUTCHMAN PLUG HOLES MADE VACANT BY RADIATOR REMOVAL
7	SECOND	203	QUARTERS #2	REFINISH EXISTING 3" W. WOOD FLOORING; DUTCHMAN PATCHING IN-KIND WHERE REQUIRED	TYPE "10"	REMOVE WALL PANELING THEN INSTALL NEW GYPSUM WALLBD WITH PLASTER SKIM COAT	NEW GYPSUM WALLBD WITH PLASTER SKIM COAT AT ALL CEILINGS; SHIM LOWER TO CLEAR STEEL PLATES	N/A	DUTCHMAN PLUG HOLES MADE VACANT BY RADIATOR REMOVAL
8	SECOND	203A	(FUTURE) LOCKER	AREA (WITHIN RM 203) SEE LINE IM	MEDIATELY ABOVE				
9	THIRD	301	ATTIC						NO CHANGE TO INTERIOR FINISHES
#	OUTBUILDING	150	CARRIAGE BAY	NEW CONCRETE - BROOM FINISH (DEMO EXISTING)	N/A	EXPOSED CONSTRUCTION	EXPOSED CONSTRUCTION/NO CHANGE	N/A	NO CHANGE TO INTERIOR FINISHES
#	OUTBUILDING	151	TOILET (PASSAGE)	NEW CONCRETE - BROOM FINISH (DEMO EXISTING)	N/A	EXPOSED CONSTRUCTION	EXPOSED CONSTRUCTION/NO CHANGE	N/A	NO CHANGE TO INTERIOR FINISHES
#	OUTBUILDING	152	CHANGING ROOM	NEW CONCRETE - BROOM FINISH (DEMO EXISTING)	N/A	EXPOSED CONSTRUCTION	EXPOSED CONSTRUCTION/NO		NO CHANGE TO INTERIOR FINISHES
#	OUTBUILDING	153	SHOWER	NEW CONCRETE - BROOM FINISH (DEMO EXISTING)	N/A	EXPOSED CONSTRUCTION	EXPOSED CONSTRUCTION/NO CHANGE	N/A	NO CHANGE TO INTERIOR FINISHES

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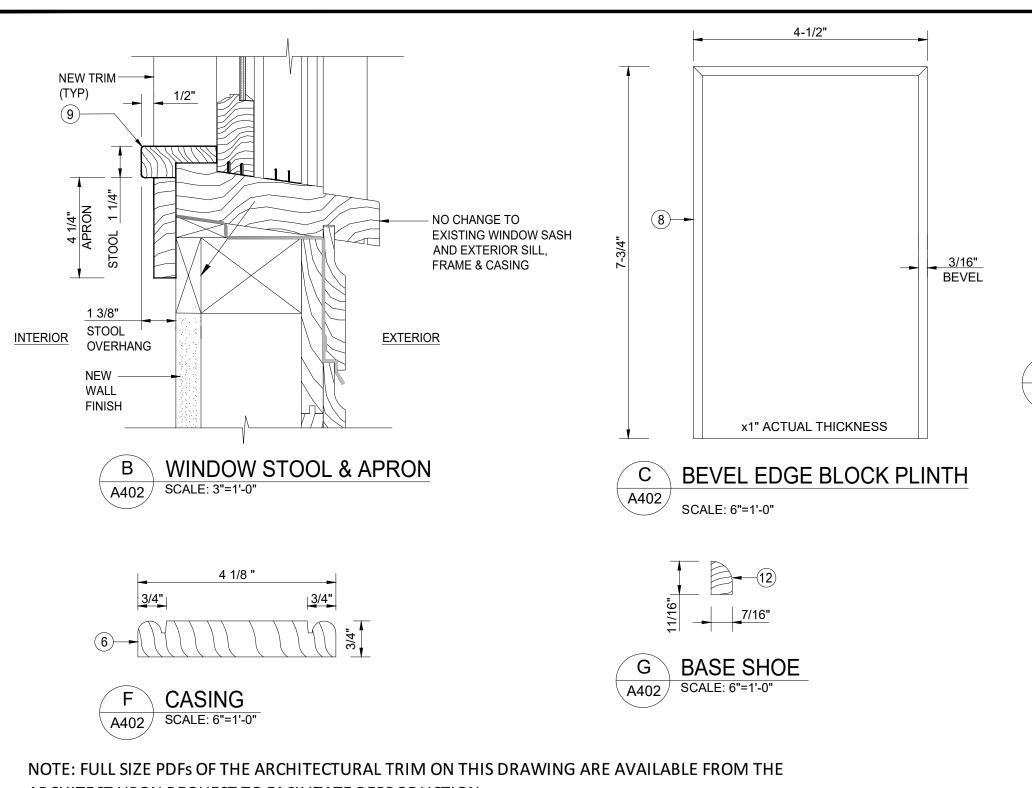
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DATE 04/06/20 SCALE:

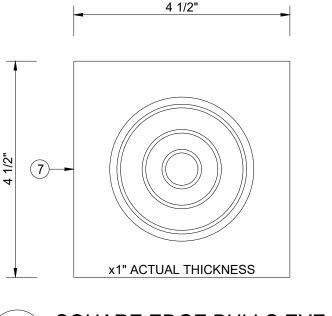
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FINISH SCHEDULE

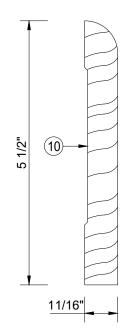


ARCHITECT UPON REQUEST TO FACILITATE REPRODUCTION.

	INTERIOR ARCHITECTURAL TRIM SCHEDULE								
TYPE	DETAIL THIS SHEET / DESCRIPTION	REMARKS							
6	F WINDOW & DOOR CASINGS	TYPICAL AT ALL INTERIOR DOOR AND WINDOW OPENINGS							
7	D WINDOW & DOOR CORNER (BULL'S EYE)	TYPICAL AT ALL INTERIOR DOOR AND WINDOW OPENINGS							
8	C BEVEL EDGE BLOCK PLINTH	TOP OF PLINTH TO BE 0.5" HIGHER THAN ADJACENT WALL BASES							
9	B WINDOW STOOL & APRON	TYPICAL AT ALL INTERIOR WINDOW OPENINGS, EASE ALL 90 DEG. EDGES							
10	E WALL BASE	OMIT @ HW BASEBD							
12	G WALL BASE SHOE	OMIT @ HW BASEBD; RADIUS CUT ALL ENDS (NOT SQ OR MITERED)							









PHASE 4 IMPROVEMENTS AT THE

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04/06/20 SCALE:

AS NOTED

INTERIOR ARCHITECTURAL TRIM

	DOOR SCHEDULE										
LINE	OPNG NO.	LOCATION (INTERIOR U. N. O.)	TYPE (ALL WOOD)	NEW	EXISTING	DOOR SIZE (INCHES)	HARDWARE (SEE ALSO PROJECT MANUAL)	INTERIOR CASING	ADDITIONAL REMARKS		
1	D103	STAIRWELL TO ENTRANCE HALL (103)	2 PANELS OVER 2 PANELS		٧	32 X 80 *	PASSAGE - TWO WAYS (NO CHANGE)	TYPE #6 DET. F/A402	MAINTAIN EXISTING CLOSER. SEE NOTE 1 BELOW.		
2	D201	TO KNEESPACE (200A) FROM STAIR HALL (201)	VERTICAL BEADED BOARD DOOR		٧	28 X 50	REUSE EXISTING	TYPE #6 DET. F/A402	REMOVE CONTEMPORARY PANELING		
3	D202	TO CLOSET (201B) FROM STAIR HALL (201)	NEW 2 PANELS OVER 2 PANELS	٧		32 X 80	PASSAGE - ONE WAY	TYPE #6 DET. F/A402	DIAGONAL CUT HEAD (TO ACCOMMODATE SLOPED CEILING)		
4	D203	HALL (201) TO QUARTERS #1 (202)	NEW 2 PANELS OVER 2 PANELS	٧		32 X 80 *	PASSAGE - TWO WAYS	TYPE #6 DET. F/A402			
5	D204	TO CLOSET (202A) FROM QUARTERS #1 (202)	NEW 2 PANELS OVER 2 PANELS	٧		32 X 80	PASSAGE - ONE WAY	TYPE #6 DET. F/A402			
6	D205	TO KNEESPACE (200B) FROM QUARTERS #1 (202)	VERTICAL BEADED BOARD DOOR		٧	26 X 50	REUSE EXISTING	TYPE #6 DET. F/A402	REMOVE CONTEMPORARY PANELING		
7	D206	TO KNEESPACE (200B) FROM QUARTERS #1 (203)	NEW VERTICAL BEADED BOARD DOOR	٧		29 X 35	REUSE EXISTING	TYPE #6 DET. F/A402	FABRICATE NEW TO MATCH DRS 201 AND 205		
8	D301	TO ATTIC (301) FROM QUARTERS #2 (203)	EXISTING HORIZONTAL TRAP DOOR (SINGLE LEAF)		٧	V.I.F.			NO CHANGE - MAINTAIN IN PLACE		
9	5-1	OUTBUILDING EXTERIOR TO INTERIOR (151)	NEW 2 PANELS OVER 2 PANELS	٧		34 X 80	ENTRY	N/A (EXPOSED FRAMING)			
10	5-2	OUTBUILDING EXTERIOR TO INTERIOR (150)	NEW 2 PANELS OVER 2 PANELS	٧		34 X 80	ENTRY	N/A (EXPOSED FRAMING)			
11	5-3 & 5-4	OUTBUILDING EXTERIOR TO INTERIOR (150)	NEW OUTSWINGING PAIR OF "BOAT" DOORS	٧		60 X 84 EA.	PACKAGE "C"	N/A (EXPOSED FRAMING)	TO MATCH EXISTING BOAT ROOM DOORS		
12	5-5	OUTBUILDING OVERHEAD ACCESS DOOR	NEW VERTICAL BEADED BOARD DOOR	٧		24 X 20 V.I.F.	NEW SURFACE ATTACHED HINGES (USE HARDWARE ALLOWANCE)	N/A (EXPOSED FRAMING)	SECURE IN CLOSED POSITION FROM THE INTERIOR		
	NOTE 1: DOORS REQUIRED WITH CLOSERS IN ORDER TO OPERATE WITH CLEAN AGENT FIRE SUPPRESSION SYSTEM ARE NOTED WITH AN ASTERISK (*) WITH DOOR SIZE.										

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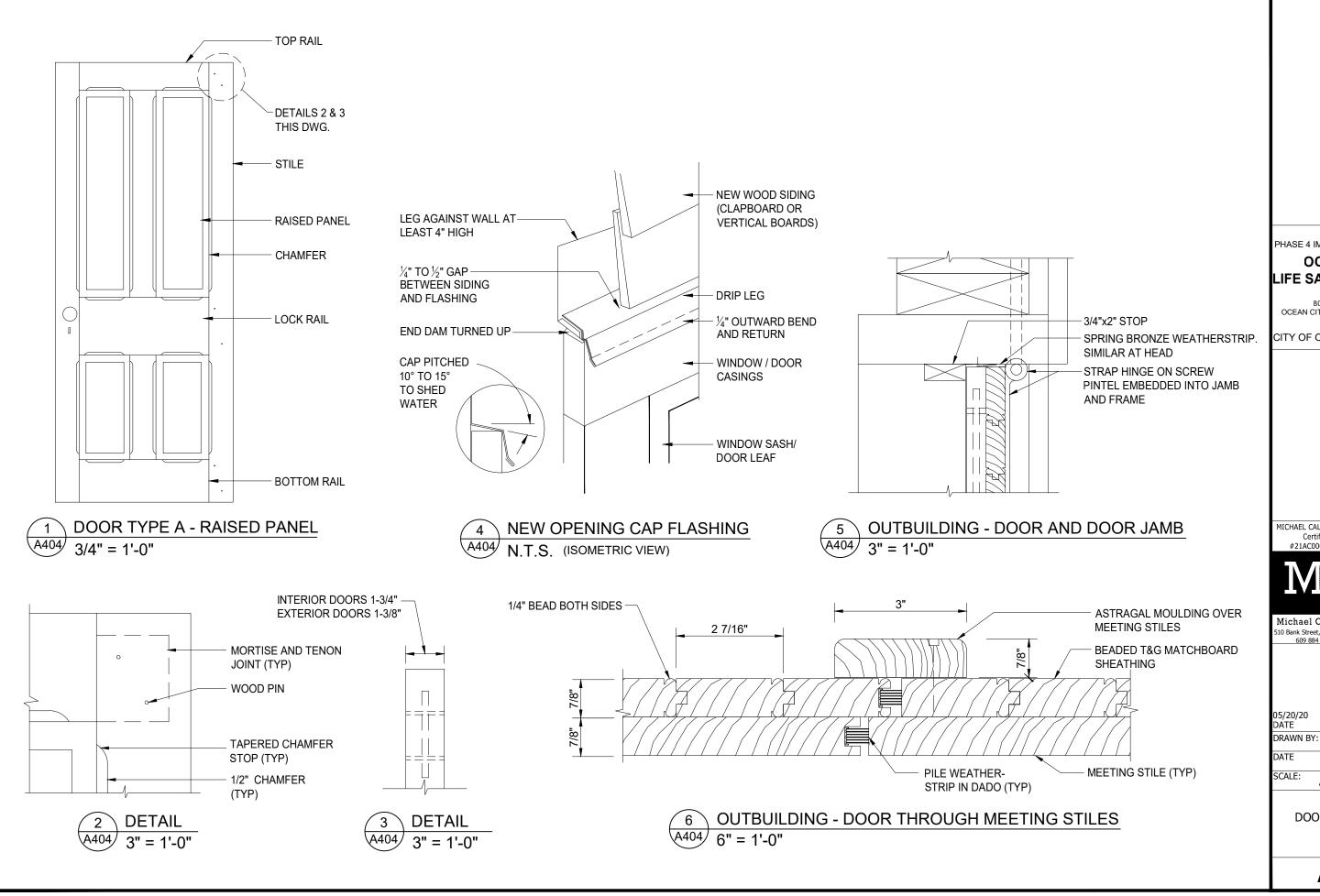
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DOOR SCHEDULE



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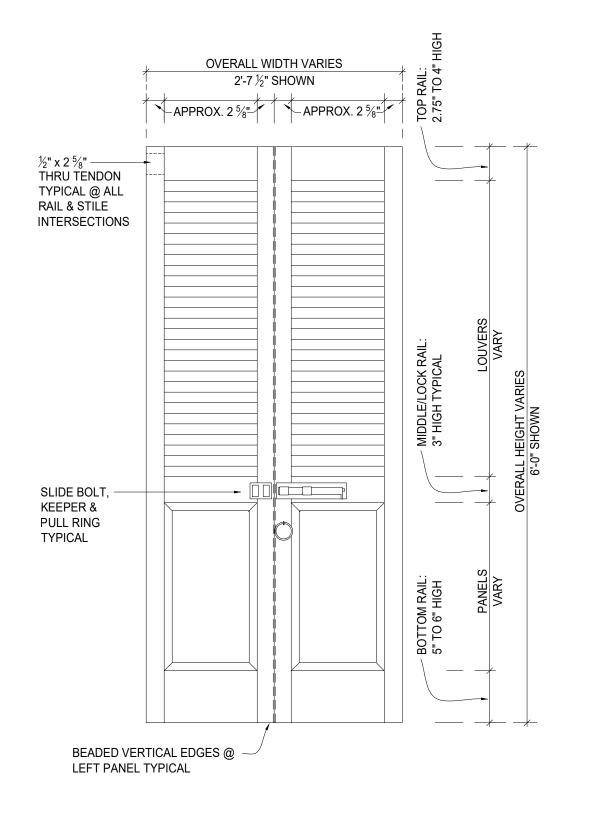
04/06/20

AS NOTED

DOOR SECTIONS &

DETAILS

CHUTTED COUEDING												
SHUTTER SCHEDULE												
WINDOW LOCATION	NEW DESIGNATION	OLD MARKINGS EXTERIOR	OLD MARKINGS INTERIOR	HEIGHT (IN.)	WIDTH WHEN CLOSED (IN	THICK (IN.)	TOP RAIL (IN.)	MID RAIL (IN.)	BOT RAIL (IN.)	OUTER STILE (IN.)	INNER STILE (IN.)	REMARKS
1-1	1	W-1	KIT	75.125	- 31 625 	4	3	6.5	2.875	3	RESTORE: REPAIR,	
	2	W-2	KIT	75.625	31.023	1.75	4	3	6.5	2.75	2.625	REPAINT AND REUSE
1-2	3	W-3		67.625	31.75	1.75	4	3	6.75	2.75	3	RESTORE: REPAIR,
	4	W-4		67.125	31.73	1.75	4	3	6.5	2.75	2.625	REPAINT AND REUSE
1-3	5	S-2		70.875	31	1.75	2.5	3	6.5	2.25	2.5	RESTORE: REPAIR,
	6	S-1		71		1.75	2.5	3	6.5	2.125	2	REPAINT AND REUSE
1-4	7	S-4		71.125	31.125	1.75	2.5	3	6.5	2.5*	2.5*	RESTORE: REPAIR,
	8	S-3		70.625	31.123	1.75	2.5	3	6.5	2.5*	2.5*	REPAINT AND REUSE
1-5	9		REAR	70.875	31.5	1.75	2.5	3	6.5	2.5*	2.5*	RESTORE: REPAIR,
	10			71	31.3	1.75	2.5	3	6.5	2.5*	2.5*	REPAINT AND REUSE
1-6	11		REAR	71	31.25	1.75	2.5	3	5	2.5*	2.5*	RESTORE: REPAIR,
	12		REAR (?)	70.875		1.75	2.5	3	6	2.5*	2.5*	REPAINT AND REUSE
1-7	13			75.5	15.875	1.75	4	3	6.5	2.5*	2.5*	RESTORE: REPAIR,
_ ,	14			70.5 ROTTED	15.75	1.75	2.5	3		2.5*	2.5*	REPAINT AND REUSE
	15			44.5 PARTIAL	16	1.75	N/A	3	6			REPLICATE NEW PAIR;
1-8	15A											RELOCATE EXTERIOR
	13, (DEVICE (MOVE HIGHER)
1-9	16			67.375	32.125	1.75	4	3		2.5*	2.5*	REPLICATE NEW PAIR
	17			67.875	52.125	1.75	4	3		2.5*	2.5*	2107.112 14244 17.111
1-10	18			67.875	31.75	1.75	4	3	6.5	2.5*	2.5*	REPLICATE NEW PAIR
1 10	19			67.125	31.73	1.75	4	3	6.5	2.5*	2.5*	THE EIGHTE WEVV 17th
1-11	20			67.875	31.75	1.75	4	3		2.5*	2.5*	REPLICATE NEW PAIR
	21			67.125		1.75	4	3		2.5*	2.5*	THE EIGHTE INCOME
2-1	22			V.I.F.	V.I.F.	1.75	4	3		2.5*	2.5*	REPLICATE NEW PAIR
	23			V.I.F.	V.I.F.	1.75	4	3		2.5*	2.5*	
2-2	24			V.I.F.	V.I.F.	1.75	4	3		2.5*	2.5*	REPLICATE NEW PAIR
	25			V.I.F.	V.I.F.	1.75	4	3		2.5*	2.5*	
2+5	26			V.I.F.	V.I.F.	1.75	4	3		2.5*	2.5*	REPLICATE NEW PAIR
	27			V.I.F.	V.I.F.	1.75	4	3		2.5*	2.5*	
2+6	28			V.I.F.	V.I.F.	1.75	4	3		2.5*	2.5*	REPLICATE NEW PAIR
	29			V.I.F.	V.I.F.	1.75	4	3	6.5	2.5*	2.5*	



SHUTTERS INTERIOR

1 ELEVATION WHEN CLOSED

A405 SCALE: 1"=1'-0"

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