

BUILDING DATA

BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION
 2018 NATIONAL STANDARD PLUMBING CODE
 2017 NATIONAL ELECTRICAL CODE (NFPA 70)
 2018 INTERNATIONAL MECHANICAL CODE
 REHABILITATION SUB CODE: NUJCC REHABILITATION SUBCODE CHAPTER 6,
 5-23-6.6 ALTERATIONS
 USE: B, BUSINESS
 CONSTRUCTION TYPE: III B
 FIRE ALARM: YES
 SPRINKLERS: NO
 NUMBER OF STORIES: 2

SQUARE FOOTAGE:	BASEMENT	1ST FLOOR	2ND FLOOR	BALCONY	TOTAL
EXISTING:	2,685 SF	8,295 SF	4,545 SF	272 SF	15,797 SF
PROPOSED:	50 SF	0 SF	0 SF	0 SF	50 SF
TOTAL:	2,735 SF	8,295 SF	4,545 SF	272 SF	15,847 SF

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ALTERATIONS

RIVERSIDE FIRE COMPANY NO. 1

14 WEST SCOTT STREET

RIVERSIDE, NJ 08075

BLOCK 904, LOTS 3, 4, 5, 6 & 9



GENERAL NOTES

- A KEYNOTING SYSTEM IS USED ON THE DRAWINGS FOR MATERIALS REFERENCES AND NOTES. REFER TO THE KEYNOTE LEGEND ON THE DRAWING FOR THE INFORMATION WHICH RELATES TO EACH KEYNOTE ON THE RESPECTIVE DRAWING.
- THE ORGANIZATION OF THE KEYNOTING SYSTEM ON THE DRAWINGS, WITH THE KEYNOTE REFERENCE NUMBERS, SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTOR'S OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.
- DO NOT SCALE DRAWINGS.
- ALL WORK INDICATED ON THESE DOCUMENTS HAS BEEN DESIGNED TO MEET THE NEW JERSEY UNIFORM CONSTRUCTION CODE, INTERNATIONAL BUILDING CODE-2015 N.J. EDITION AND I.C.C. ANSI A117.1-2009 AND ALL SUB-CODES. CONTRACTOR TO PERFORM ALL WORK IN ACCORDANCE WITH THE ABOVE MENTIONED CODES, THE NATIONAL STANDARD PLUMBING CODE, AND THE NATIONAL ELECTRICAL CODE.
- SCOPE: CONTRACTOR SHALL FURNISH TOOLS, EQUIPMENT, MATERIAL, AND LABOR TO PERFORM OPERATIONS NECESSARY AND REASONABLY INCIDENTAL FOR THE PROPER COMPLETION ON ALL WORK AS SHOWN ON THE DRAWINGS AND DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS AND ALL EXISTING CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. HE SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CORRECTION PRIOR TO BEGINNING ANY WORK. THE DISCOVERY OF DISCREPANCIES AFTER THE BEGINNING OF WORK WILL BE EVIDENCE OF FAULTY WORK AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE HEATING, VENTILATING AND AIR CONDITIONING WORK, THE PLUMBING WORK, AND THE ELECTRICAL WORK SHALL BE DESIGNED AND EXECUTED BY THE CONTRACTOR. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE DESIGN OF THIS WORK. THE CONSTRUCTION DETAILS REQUIRED BY THIS WORK, OR CODE COMPLIANCE REQUIRED BY LOCAL OR STATE AUTHORITIES.
- THESE DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE ALTERED OR USED FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT.

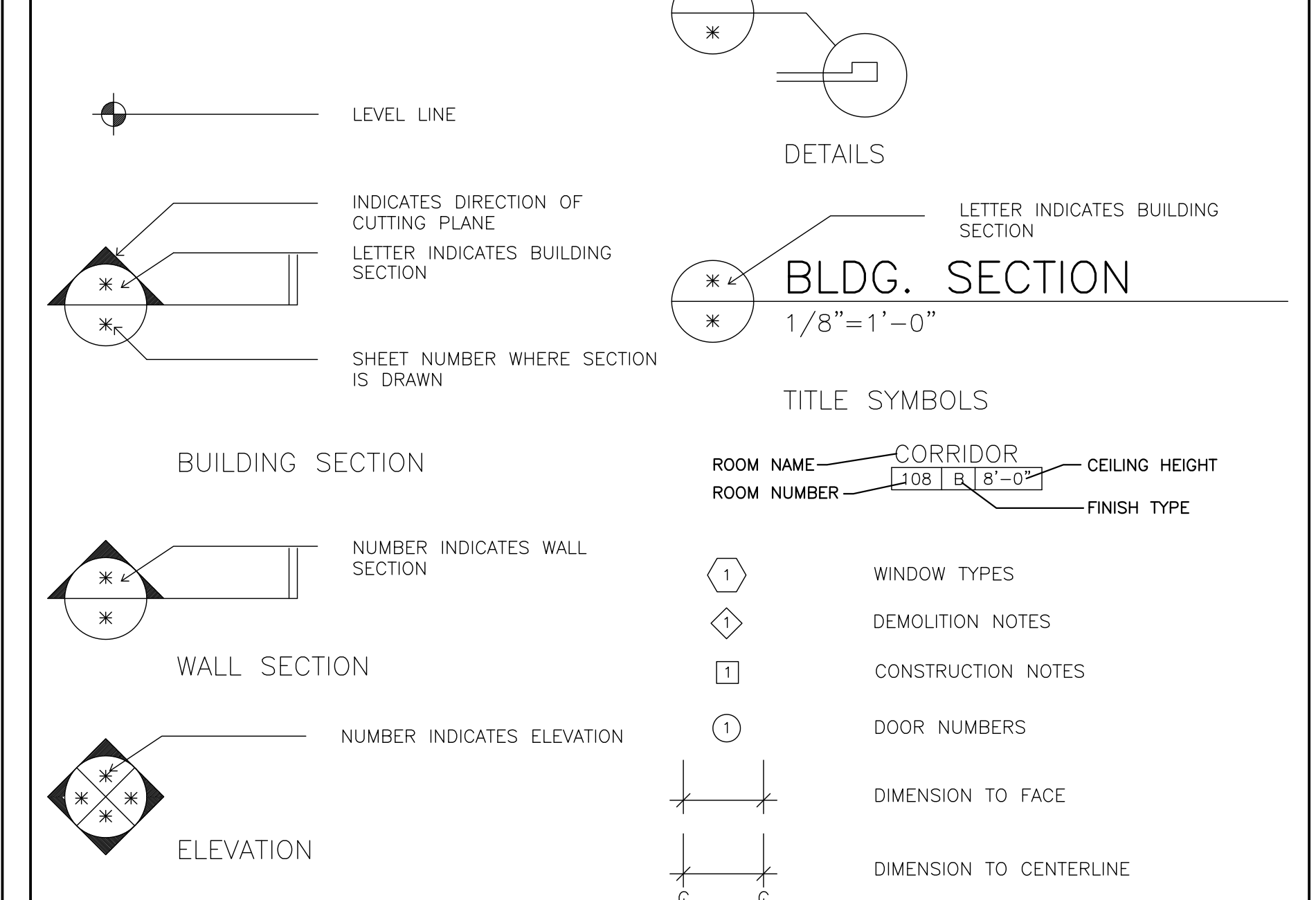
COMPLIANCE NOTES

- ALL WORK OF THESE DOCUMENTS, AS WELL AS THE SPECIFICATIONS, MEET OR EXCEED ALL ENVIRONMENTAL DESIGN (INCLUDING BARRIER FREE AND CONSTRUCTION REQUIREMENTS OF APPLICABLE FEDERAL, STATE AND LOCAL CODES, REGULATIONS, ORDINANCES, DIRECTIVES, HUD UFAS AS WELL AS ALL OTHER CODES AND STANDARDS REFERENCED THEREIN WHICH PERTAINS TO THE WORK).

ABBREVIATIONS

ABV	ABOVE	E	EXISTING TO REMAIN	IN	INCH/INCHES	R	REMOVE
AFF	ABOVE FINISHED FLOOR	EA	EACH/EXHAUST AIR	INCL	INCLUDE(D)/INCLUDING	RAD	RADIUS
ACoust	ACOUSTICAL	EAT	ENTERING AIR TEMPERATURE	ID	INSIDE DIAMETER/DIMENSION	REF	REFERENCE
ACT	ACOUSTICAL TILE	ELEC	ELECTRIC (AL)	INSUL	INSULATE(D)/INSULATION	RFL	REFLECT(ED)
ADH	ADHESIVE	EP	ELECTRICAL PANELBOARD	INT	INTERIOR	REFR	REFRIGERATOR
ADJ	ADJACENT	EWC	ELECTRIC WATER COOLER	JC	JANITOR'S CLOSET	REINFC	REINFORCE(D)/REINFORCING
AGR	AGGREGATE	ELEV	ELEVATION	JT	JOINT	RESIL	RESILIENT
A/C	AIR CONDITIONING	EQ	EQUAL	JF	JOINT FILLER	REV	REVISION(S)/REVISED
ALUM	ALUMINUM	EQUIP	EQUIPMENT	J	JOINT	RH	RIGHT HAND
ANCH	ANCHOR, ANCHORAGE	EXH	EXHAUST	JF	JOINT FILLER	RFG	ROOFING
AND	AND/AND	EXHAUST FAN	EXHAUST FAN	J	JOINT	RM	ROOM
ANDZ	AND/ANDZ	ESP	EXTERNAL STATIC PRESSURE	J	JOINT	RO	ROUGH OPENING
APRX	APPROXIMATE	EXIST	EXISTING	KIT	KITCHEN	RP	REVOLUTIONS PER MINUTE
ARCH	ARCHITECT (URL)	EXT	EXPOSED EXTERIOR	KW	KILOWATTS	RS	REFRIGERANT SUCTION LINE
BSMT	BASEMENT	LAT	LEAVING AIR TEMPERATURE	L	LABEL	SAN	SANITARY DRAIN
BRG	BEARING	LBL	LABEL	LAM	LAMINATE(D)	SECT	SECTION
BTW	BETWEEN	LAV	LAVATORY	LAV	LAVATORY	SHT	SHEET
BVL	BEVLED	LH	LEFT HAND	LH	LEFT HAND	SPEC	SPECIFICATION(S)
BHP	BRAKE HORSE POWER	LL	LENGTH/LONG	LL	LENGTH/LONG	SQ	SQUARE
BIT	BITUMINOUS	LL	REFRIGERANT LIQUID LINE	LL	REFRIGERANT LIQUID LINE	SI	SQUARE INCH
BLK	BLOCK	LRA	LOCKED ROTOR AMPS	LRA	LOCKED ROTOR AMPS	SF	SQUARE FOOT
BLKG	BLOCKING	LT	LINEAL FOOT	LT	LINEAL FOOT	SY	SQUARE YARD
BD	BOARD	LF	LINEAL FOOT	LF	LINEAL FOOT	SS	SERVICE SINK
BO	BOTTOM OF	FTG	FOOTING	FTG	FOOTING	STD	STANDARD
BLDG	BUILDING	FOUND	FOUNDATION	FOUND	FOUNDATION	STL	STRUCTURAL
CD	COIL CONDENSATE DRIP PIPING	FPM	FEET PER MINUTE	FPM	FEET PER MINUTE	SUSP	SUSPENDED
CSMT	CAST STONE	FRMG	FRAME FRAMING	FRMG	FRAME FRAMING	TDH	TOTAL DYNAMIC HEAD
CLG	CEILING	GA	GAGE/GAUGE	GA	GAGE/GAUGE	TLT	THICK/THICKNESS
CH	CEILING HEIGHT	GALV	GALVANIZED	GALV	GALVANIZED	TOILET	TOILET
CEM	CEMENT	GC	GENERAL CONTRACT/CONTRACTOR	GC	GENERAL CONTRACT/CONTRACTOR	TOP	TOP OF
CEL	CENTER LINE	GFP	GOVERNMENT FURNISHED PROPERTY	GFP	GOVERNMENT FURNISHED PROPERTY	TRYP	TYPICAL
CL	CERAMIC	GL	GLASS/GLAZING	GL	GLASS/GLAZING	UR	URINAL
CT	CERAMIC TILE	GPM	GALLONS PER MINUTE	GPM	GALLONS PER MINUTE	V	VENT
CR	CIRCLE	GRD	GRADE/GRADING	GRD	GRADE/GRADING	VD	VOLUME DAMPER
CO	CLEAN OUT	HB	HOSEBIB	HB	HOSEBIB	VERT	VERTICAL
CO	CONCRETE	HDW	HARDWARE	HDW	HARDWARE	VCT	VINYL COMPOSITION TILE
CMU	CONCRETE MASONRY UNIT	HDR	HEADER	HDR	HEADER	VTR	VENT THROUGH ROOF
CONST	CONSTRUCTION	HVC	HEATING	HVC	HEATING	WB	WET BULB TEMPERATURE
CONT	CONTINUOUS OR CONTINUE	HVAC	HEATING/VENTILATING/AIR COND.	HVAC	HEATING/VENTILATING/AIR COND.	WF	WASH FOUNTAIN
CONTR	CONTRACTOR	HT	HEIGHT/HIGH	HT	HEIGHT/HIGH	WSCOT	WASCOT
CORR	CORRIDOR	HM	HOLLOW METAL	HM	HOLLOW METAL	WC	WATER CLOSET
CTR	COUNTER	HORIZ	HORIZONTAL	HORIZ	HORIZONTAL	WFF	WELDED WIRE FABRIC
CFM	CUBIC FEET/MINUTE	HP	HORSE POWER	HP	HORSE POWER	W	WIDTH/WIDE
CW	COLD WATER	HTW	HIGH TEMPERATURE WATER	HTW	HIGH TEMPERATURE WATER	WO	WITHOUT
CY	CUBIC YARD	HW	HOT WATER	HW	HOT WATER	WD	WOOD
D	DEEP/DEPTH	HWR	HOT WATER HEATER	HWR	HOT WATER HEATER	WP	WEATHERPROOF
DB	DRY BULB TEMPERATURE	HWS	HOT WATER SUPPLY	HWS	HOT WATER SUPPLY	YD	YARD(S)
DEMO	DEMOLISH/DEMOLITION						
DEPR	DEPRESSED						
DTL	DETAIL						
DIAG	DIAGONAL						
DIAM	DIAMETER						
DIM	DIMENSION						

CONVENTIONS



ALTERATIONS
RIVERSIDE FIRE COMPANY NO. 1

Location
RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

PROJECT #
19509
Date
07/18/2020
Architect
LAMMEY + GIORGIO
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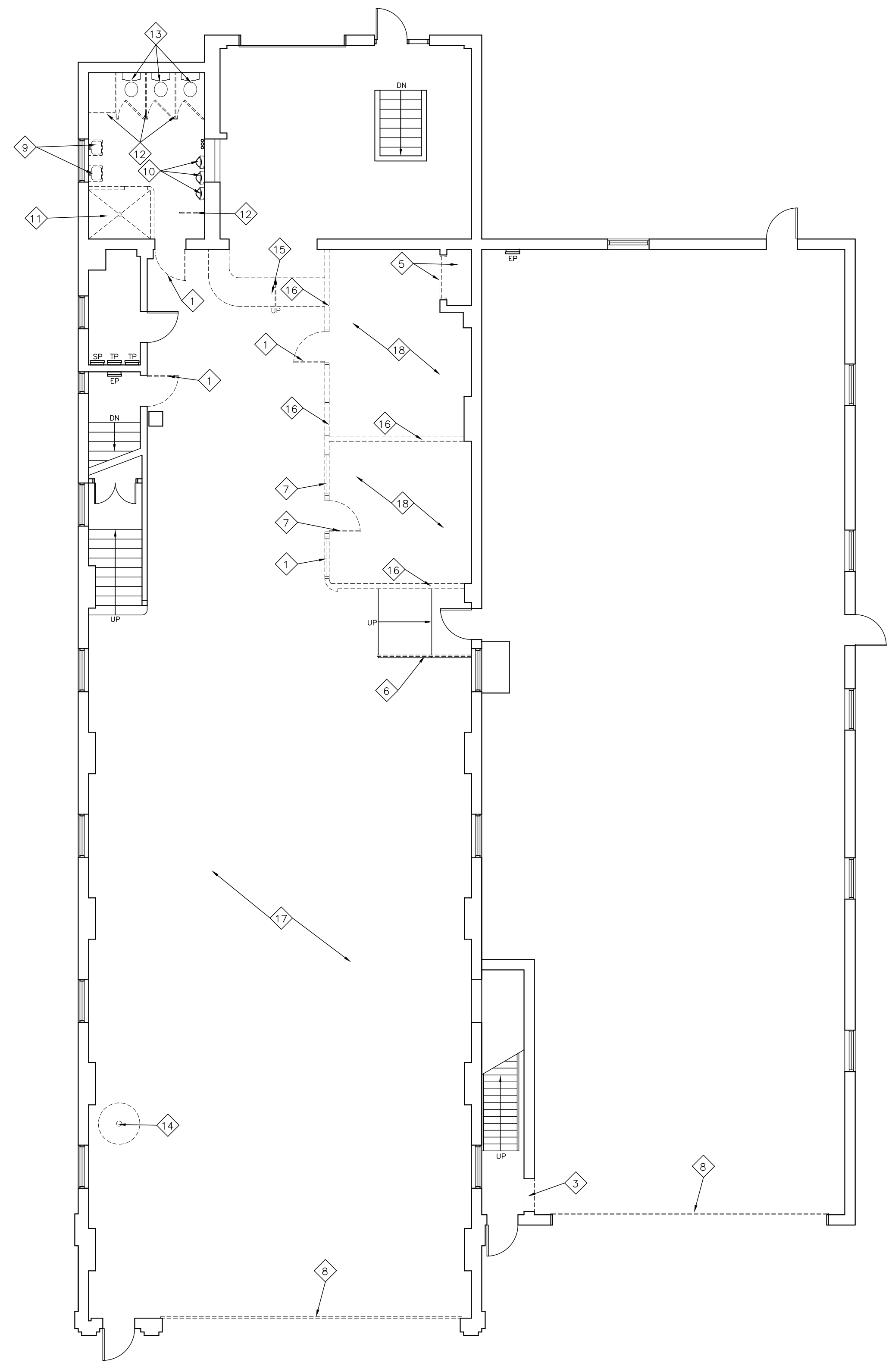
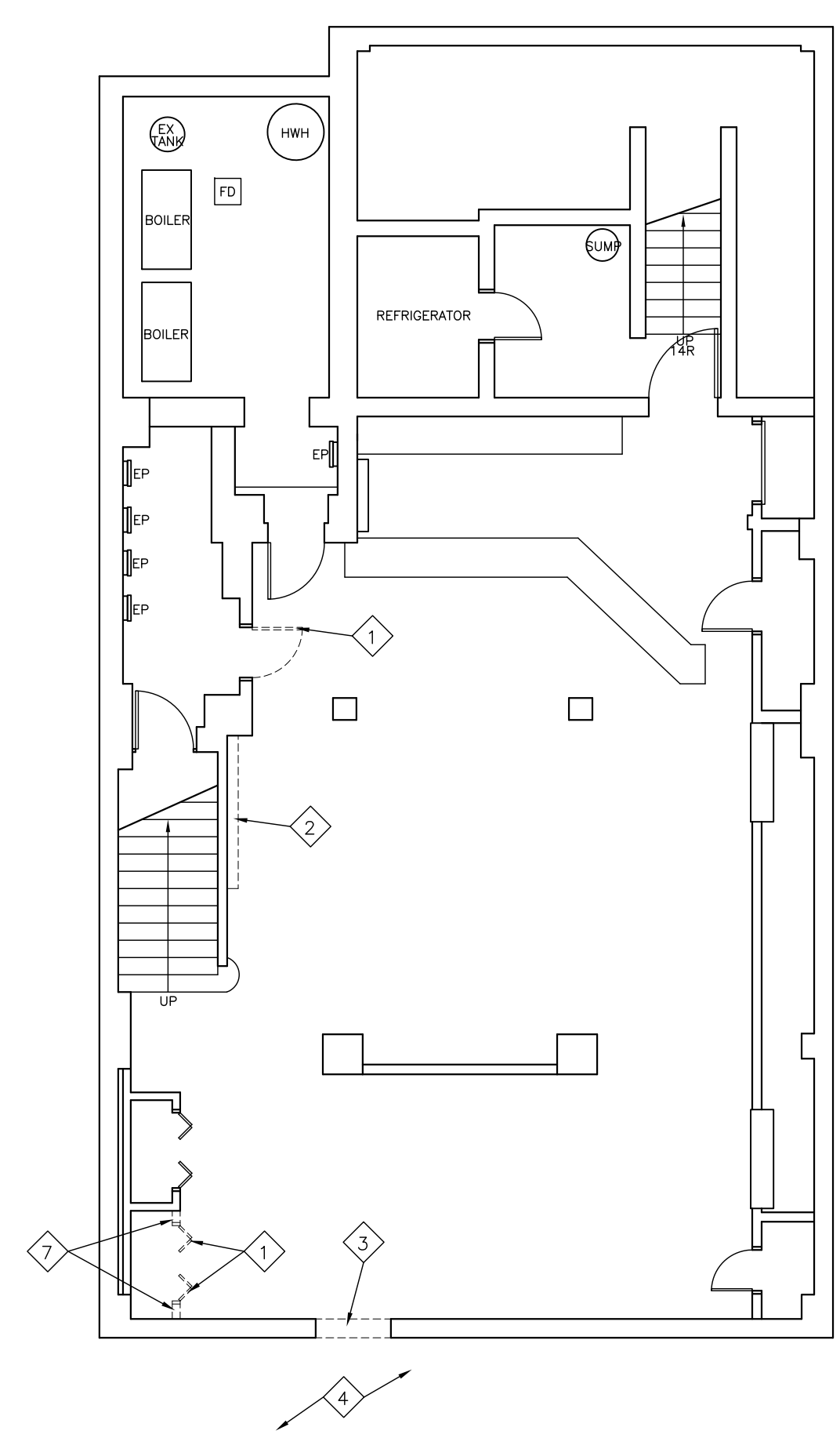
Sheet Title
TITLE SHEET

Sheet No.

T-1
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DEMOLITION NOTES

- 1 REMOVE EXISTING DOOR, FRAME AND HARDWARE
- 2 REMOVE EXISTING BASEBOARD HEATER - SEE MECHANICAL DRAWINGS FOR MORE INFORMATION
- 3 REMOVE PORTION OF EXISTING WALL AND PREPARE OPENING FOR NEW DOOR
- 4 EXCAVATE EXISTING GRADE BELOW SLAB FOR ELEVATOR
- 5 REMOVE EXISTING DUMBWAITER DOOR AND DUMBWAITER
- 6 REMOVE EXISTING RAILING
- 7 REMOVE EXISTING WINDOW
- 8 REMOVE EXISTING FIRE TRUCK OVERHEAD DOORS
- 9 REMOVE EXISTING LAVATORY
- 10 REMOVE EXISTING URINAL
- 11 REMOVE EXISTING SHOWER
- 12 REMOVE EXISTING TOILET PARTITIONS
- 13 REMOVE EXISTING WATER CLOSET
- 14 REMOVE EXISTING FIRE POLE AND INFILL OPENING
- 15 REMOVE EXISTING CONCRETE RAMP
- 16 REMOVE EXISTING WALL
- 17 REMOVE EXISTING EPOXY FLOOR FINISH AND PREPARE AREA TO RECEIVE NEW EPOXY FLOOR FINISH
- 18 REMOVE EXISTING FLOORING



1 BASEMENT DEMOLITION PLAN
D-1 SCALE 1/8"=1'-0"

2 FIRST FLOOR DEMOLITION PLAN
D-1 SCALE 1/8"=1'-0"

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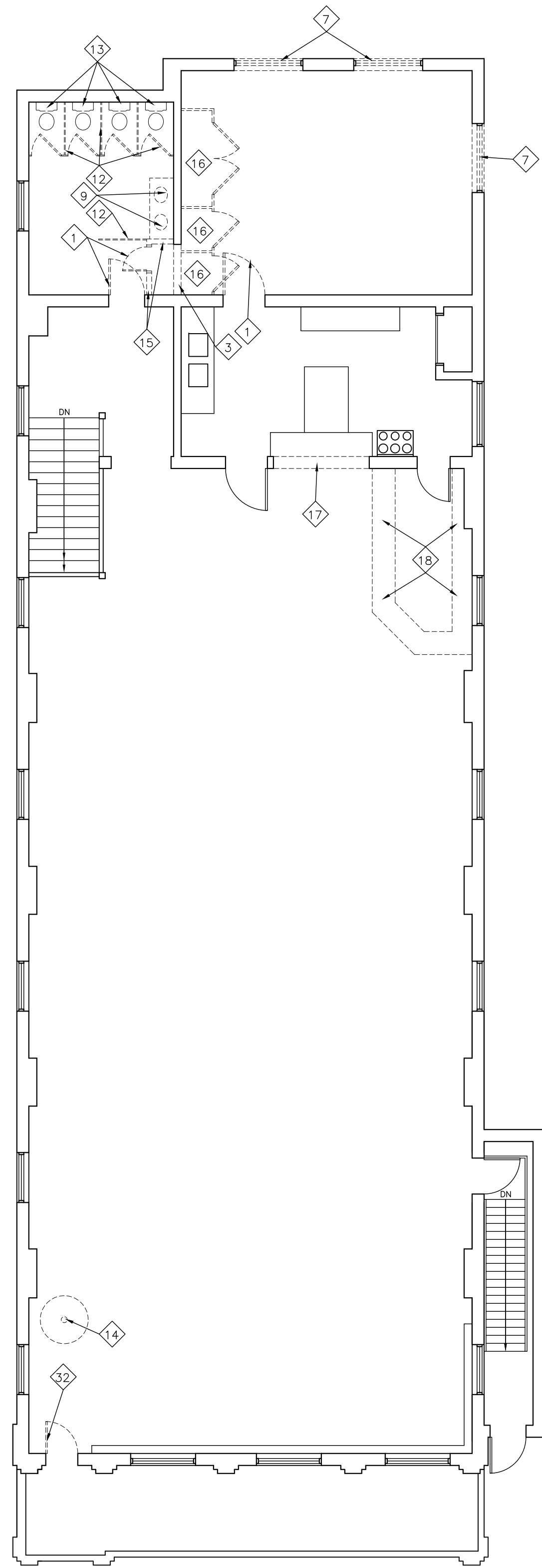
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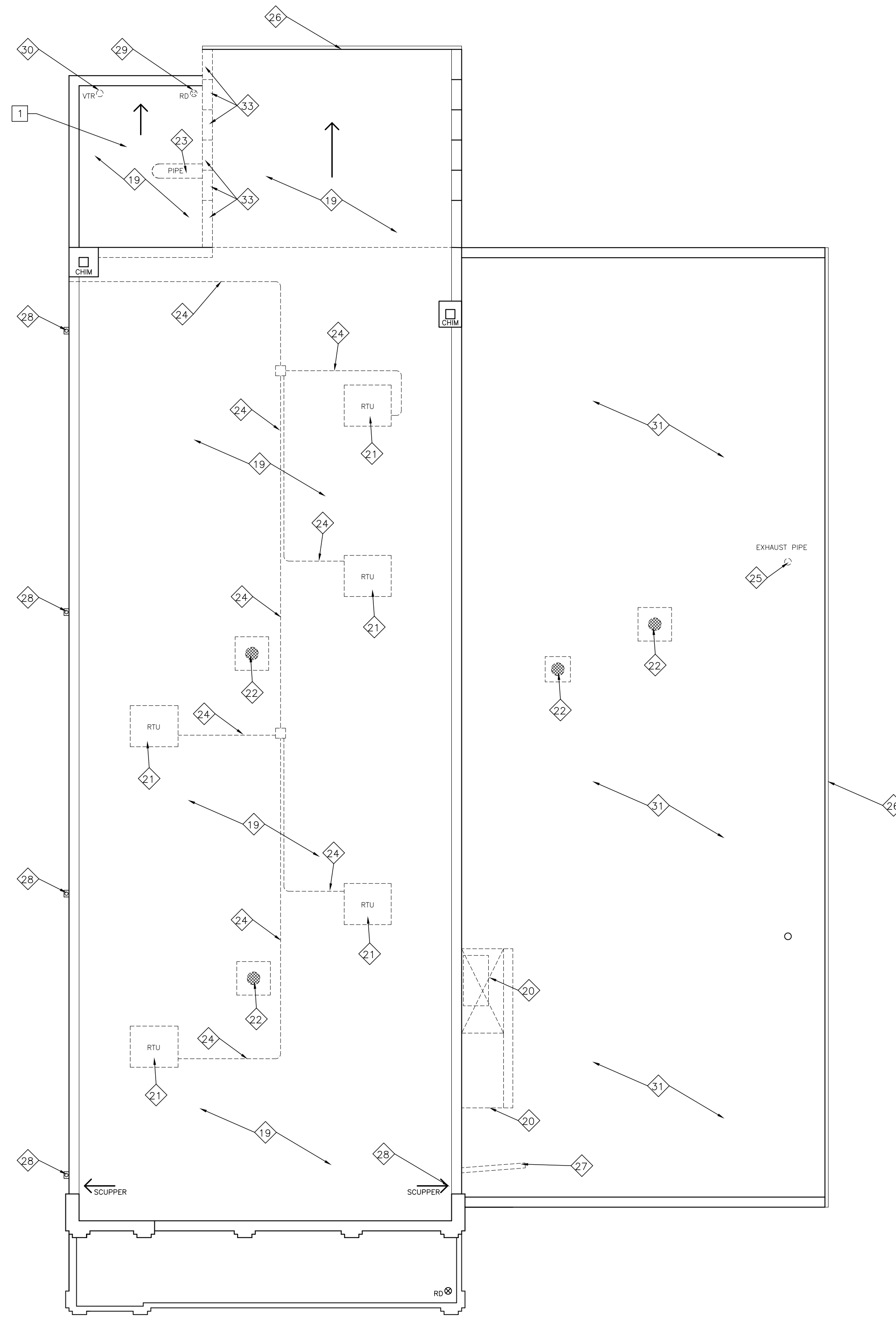
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BASEMENT &
FIRST FLOOR
DEMOLITION PLANS

Sheet No.

D-1



1 EXISTING SECOND FLOOR PLAN
EX-2 SCALE 1/8"=1'-0"



2 EXISTING ROOF PLAN
EX-2 SCALE 1/8"=1'-0"

DEMOLITION NOTES

- 1 REMOVE EXISTING DOOR, FRAME AND HARDWARE
- 2 REMOVE EXISTING BASEBOARD HEATER - SEE MECHANICAL DRAWINGS FOR MORE INFORMATION
- 3 REMOVE PORTION OF EXISTING WALL AND PREPARE OPENING FOR NEW DOOR
- 4 EXCAVATE EXISTING GRADE BELOW SLAB FOR ELEVATOR
- 5 REMOVE EXISTING DUMBWAITER DOOR AND DUMBWAITER
- 6 REMOVE EXISTING RAILING
- 7 REMOVE AND REPLACE EXISTING WINDOW
- 8 REMOVE EXISTING FIRE TRUCK OVERHEAD DOORS
- 9 REMOVE EXISTING LAVATORY
- 10 REMOVE EXISTING URINAL
- 11 REMOVE EXISTING SHOWER
- 12 REMOVE EXISTING TOILET PARTITIONS
- 13 REMOVE EXISTING WATER CLOSET
- 14 REMOVE EXISTING FIRE POLE AND INFILL OPENING
- 15 REMOVE EXISTING WALL
- 16 REMOVE EXISTING PANTRY CLOSETS
- 17 REMOVE EXISTING PASS THRU WINDOW AND INFILL EXISTING OPENING
- 18 REMOVE EXISTING BAR
- 19 REMOVE EXISTING ROOFING AND PREPARE FOR NEW ROOFING
- 20 REMOVE EXISTING ROOFING AND ROOF STRUCTURE AND PREPARE FOR A NEW ROOF STRUCTURE AND ROOFING
- 21 REMOVE EXISTING ROOF TOP UNITS - SEE MECHANICAL DRAWINGS FOR MORE INFORMATION
- 22 REMOVE EXISTING ROOF EXHAUST FANS - SEE MECHANICAL DRAWINGS FOR MORE INFORMATION
- 23 REMOVE EXISTING PIPE - SEE MECHANICAL DRAWINGS FOR MORE INFORMATION
- 24 REMOVE EXISTING ELECTRICAL CONDUIT - SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION
- 25 REMOVE EXISTING GUTTER
- 26 REMOVE EXISTING DOWNSPOUT
- 27 REMOVE AND REPLACE EXISTING SCUPPER BOX
- 28 REMOVE AND REPLACE EXISTING ROOF DRAIN
- 29 EXTEND EXISTING VENT THRU ROOF - SEE PLUMBING DRAWINGS FOR MORE INFORMATION
- 30 PREPARE EXISTING ROOF FOR CAP SHEET
- 31 REMOVE AND REPLACE EXISTING DOOR, DOOR FRAME AND HARDWARE. REMOVE AND REPAIR EXISTING TRANSOM.
1. REPLACE EXISTING TRANSOM FLASHING
2. REPLACE MISSING GLAZING COMPOUND
3. SAND AND REPAINT TRANSOM
- 32 REMOVE PORTION OF EXISTING CONCRETE BLOCK WALL TO MAKE IT FLUSH WITH EXISTING ROOF

CONSTRUCTION NOTES

- 1 EXISTING ROOF TO BE RAISED; REFER TO NEW ROOF PLAN AND STRUCTURAL DRAWINGS

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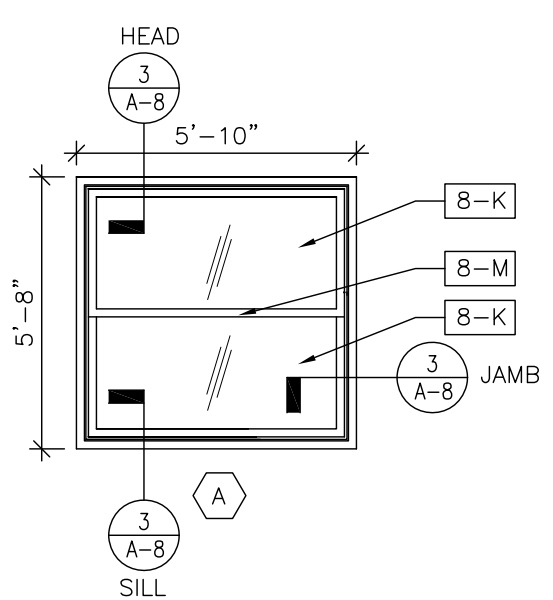
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SECOND
FLOOR & ROOF
DEMOLITION PLANS
Sheet No.

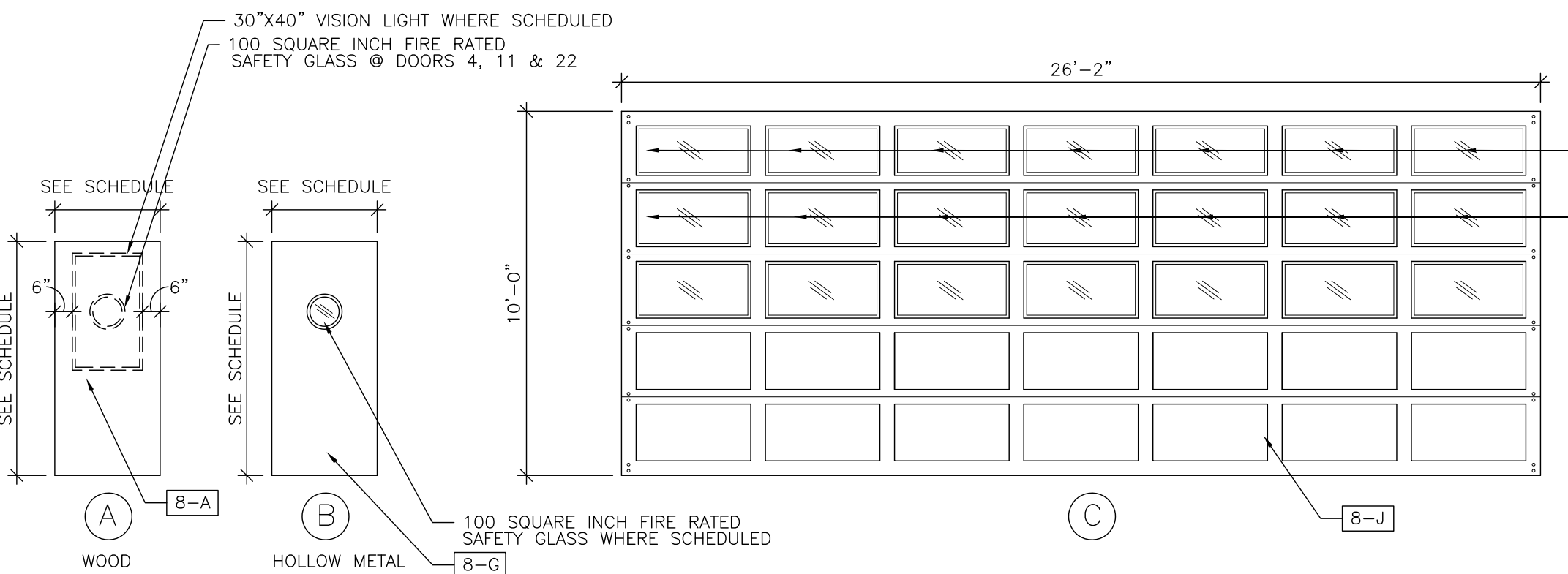
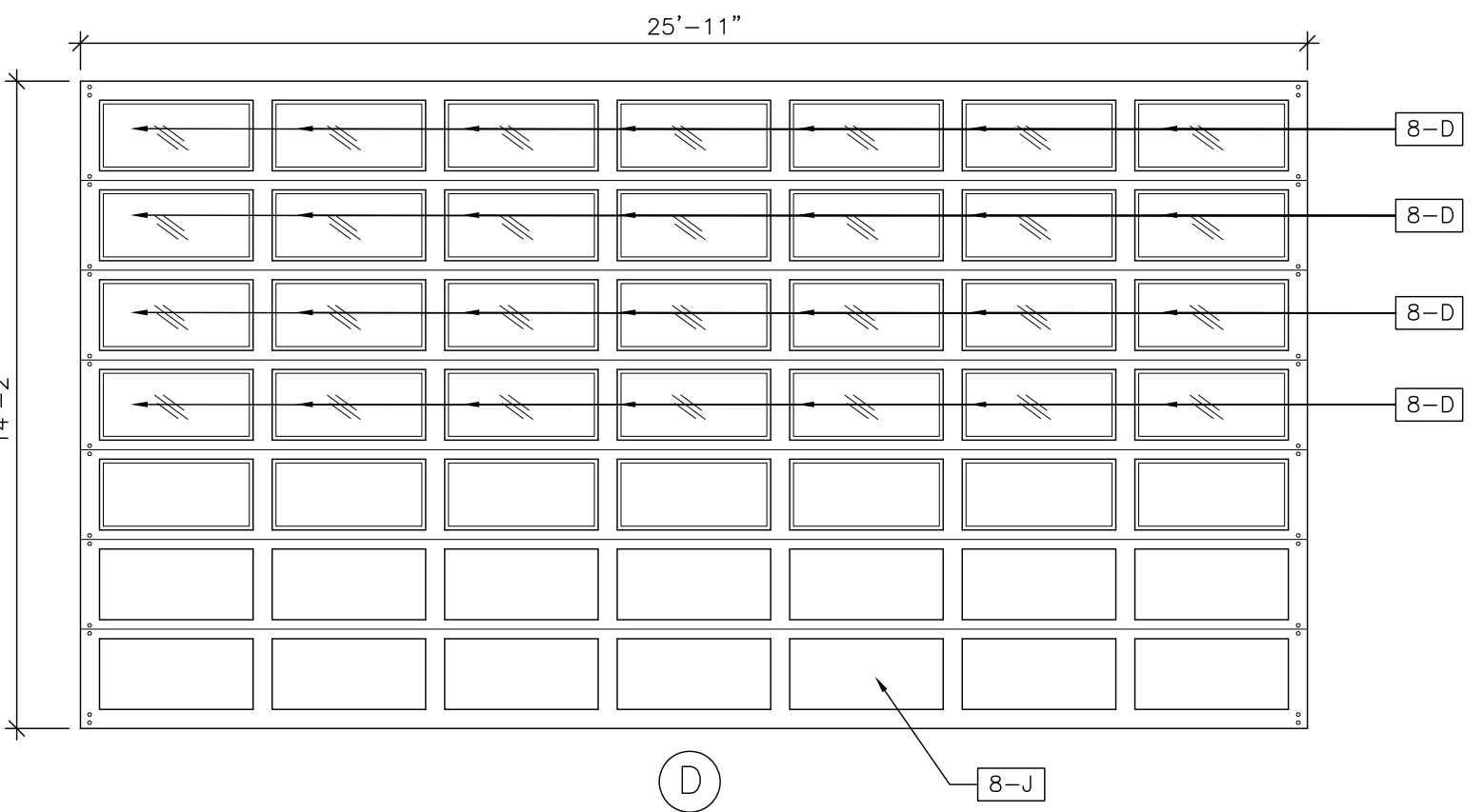
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DOOR SCHEDULE

NO.	DOORS			material	type	leaves	glass	FRAMES			SADDLE	HARDW. SET NO.	FIRE RATING	REMARKS
	width	height	thickness					material	type	bucl				
1	3'-0"	7'-2"	1 3/4"	HM	B	1	FR SAFETY	HM	A	B	B	1	60 MIN	ACCESS CONTROL/REINFORCED BLOCK LINTEL
2	3'-0"	6'-8"	1 3/4"	WOOD	A	1	FR SAFETY	HM	A	A	-	2	45 MIN	ACCESS CONTROL
3	6'-0"	6'-8"	1 3/4"	WOOD	A	2	SAFETY	HM	A	A	-	3	20 MIN	-
4	3'-0"	6'-8"	1 3/4"	WOOD	A	1	FR SAFETY	HM	A	A	-	6	45 MIN	-
5	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	4	-	-
6	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	A	5	20 MIN	-
7	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	A	5	20 MIN	-
8	3'-0"	6'-8"	1 3/4"	WOOD	A	1	FR SAFETY	HM	A	A	-	6	45 MIN	-
9	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	A	7	20 MIN	-
10	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	A	4	20 MIN	ACCESS CONTROL
11	3'-0"	7'-2"	1 3/4"	HM	B	1	FR SAFETY	HM	A	B	-	2	45 MIN	REINFORCED BLOCK LINTEL - VERIFY HEIGHT
12	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	9	-	-
13	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	4	20 MIN	ACCESS CONTROL
14	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	4	20 MIN	ACCESS CONTROL
15	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	8	20 MIN	-
16	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	8	20 MIN	ACCESS CONTROL
17	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	8	20 MIN	ACCESS CONTROL
18	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	8	20 MIN	ACCESS CONTROL
19	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	8	20 MIN	ACCESS CONTROL
20	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	9	-	-
21	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	9	20 MIN	-
22	3'-0"	6'-8"	1 3/4"	WOOD	A	1	FR SAFETY	HM	A	A	-	6	45 MIN	-
23	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	-	4	20 MIN	-
24	3'-0"	6'-8"	1 3/4"	HM	B	1	-	HM	A	B	-	4	60 MIN	-
25	3'-0"	6'-8"	1 3/4"	WOOD	A	1	-	HM	A	A	A	7	20 MIN	-
26	3'-0"	6'-8"	1 3/4"	HM	B	1	-	HM	A	B	B	10	-	SEE CONSTRUCTION NOTE #4
F1	26'-2"	10'-0"	-	MTL	C	1	SAFETY	-	-	C	-	11	-	SECTIONAL DOOR
F2	25'-11"	14'-2"	-	MTL	D	1	SAFETY	-	-	C	-	11	-	SECTIONAL DOOR
G1	EXISTING DOOR AND FRAME. REMOVE AND REPLACE HARDWARE													



2 WINDOW ELEVATION
SCALE: 1/4" = 1'-0"



DOOR TYPES
SCALE 1/4" = 1'-0"

DRAWING KEYNOTES

- 6 WOODS AND PLASTICS
 - 6-A NEW SOLID SURFACE COUNTERTOP ON 3/4" PARTICLE BOARD WITH 4" HIGH BACKSPASH
 - 6-B NEW SOLID SURFACE UNDER COUNTER LAVATORY GUARD PANEL WITH SCREW ATTACHMENT
 - 6-C NEW 3/4" SOLID SURFACE COUNTERTOP SUPPORT
 - 6-D NEW WOOD BLOCKING
 - 6-E NEW BASE CABINETS
 - 6-F NEW WALL CABINETS
 - 6-G NEW WOOD BLOCKING
 - 6-H NEW REMOVABLE 3/4" SOLID SURFACE APRON
- 7 THERMAL AND MOISTURE PROTECTION
 - 7-A NEW 2 1/2" SOUND BATT INSULATION
 - 7-B NEW SEALANT
- 8 DOORS AND WINDOWS
 - 8-A NEW WOOD DOOR
 - 8-B NEW HOLLOW METAL DOOR FRAME
 - 8-C NEW MARBLE ACCESSIBLE THRESHOLD
 - 8-D NEW 1/4" SAFETY GLASS
 - 8-E NEW HOLLOW METAL WINDOW FRAME
 - 8-F NEW WINDOW STOP
 - 8-G NEW HOLLOW METAL DOOR
 - 8-H NEW ALUMINUM THRESHOLD
 - 8-I NEW SECTIONAL OVERHEAD DOOR FRAME
 - 8-J NEW SECTIONAL OVERHEAD GARAGE DOOR
- 9 FINISHES
 - 9-A NEW 5/8" FIRECODE GYPSUM WALLBOARD - USE MOISTURE RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM LOCATIONS
 - 9-B NEW 3 5/8" METAL STUDS @16" O.C.
 - 9-C NEW CERAMIC TILE FLOOR AND BASE
 - 9-D NEW 6" METAL BOX HEADER
 - 9-E NEW 4" VINYL BASE
 - 9-F NEW "J" BEAD
- 10 SPECIALTIES
 - 10-A NEW 1 1/2" DIAMETER HANDICAP GRAB BARS
 - 10-B NEW SHATTER PROOF FRAMELESS STAINLESS STEEL MIRROR
 - 10-C NEW TOILET TISSUE PAPER DISPENSER
 - 10-D NEW SEMI RECESS PAPER TOWEL DISPENSER AND TRASH CAN
 - 10-E NEW SOAP DISPENSER
- 22 PLUMBING
 - 22-A NEW HANDICAP ACCESSIBLE LAVATORY
 - 22-B NEW HANDICAP ACCESSIBLE WATER CLOSET
 - 22-C NEW LAVATORY
 - 22-D NEW WATER CLOSET

CONSTRUCTION NOTES

- 1 EXISTING WALL
- 2 INSULATE ALL EXPOSED PIPING
- 3 EXISTING WINDOW
- 4 REMOVE AND REPLACE EXISTING DOOR, DOOR FRAME AND HARDWARE. REMOVE AND REPAIR EXISTING TRANSOM.
 1. REPLACE EXISTING TRANSOM FLASHING
 2. REPLACE MISSING GLAZING COMPOUND
 3. SAND AND REPAINT TRANSOM

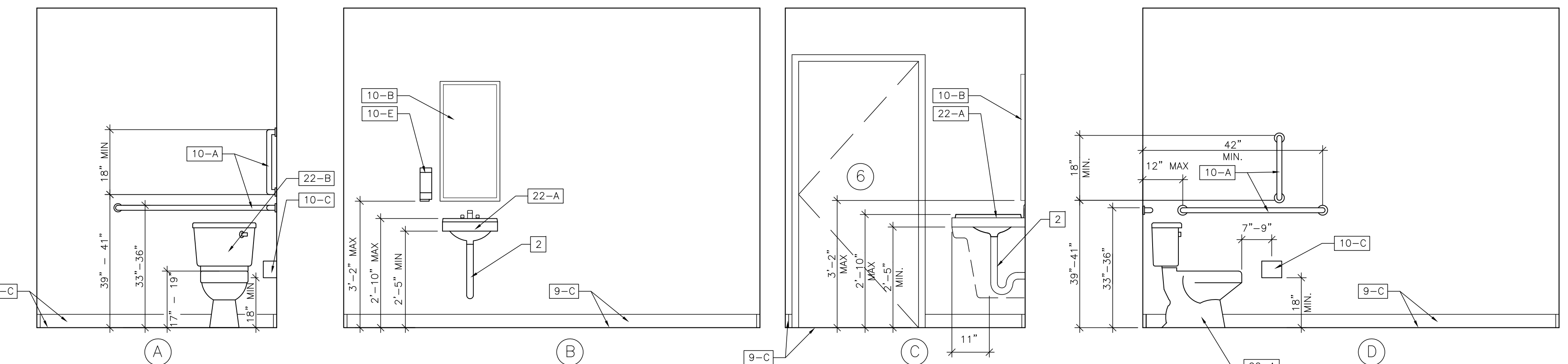
ALTERATIONS

RIVERSIDE FIRE COMPANY NO. 1

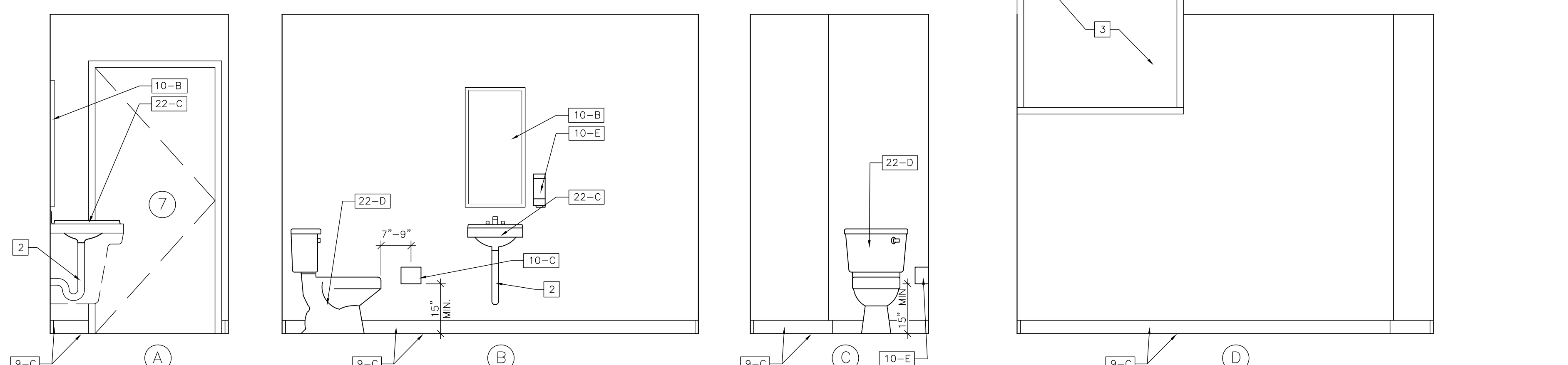
Location
RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

PROJECT #
19509
Date
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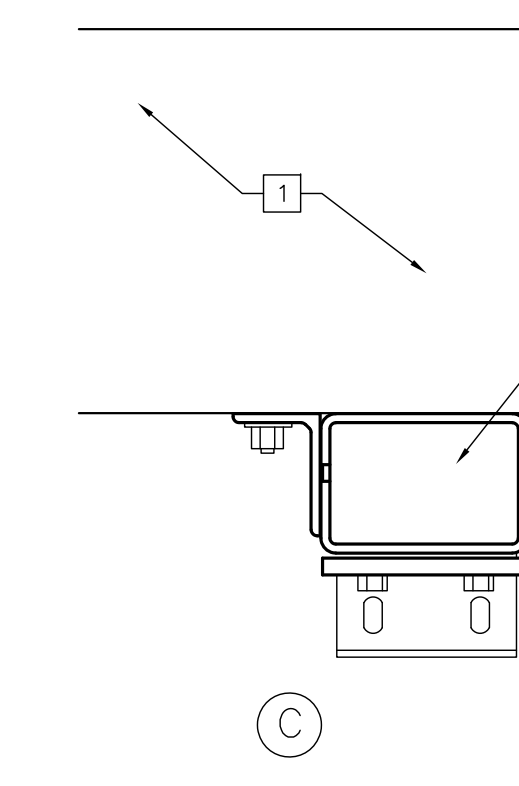
3 FIRST FLOOR HANDICAP TOILET ROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



4 FIRST FLOOR TOILET ROOM INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

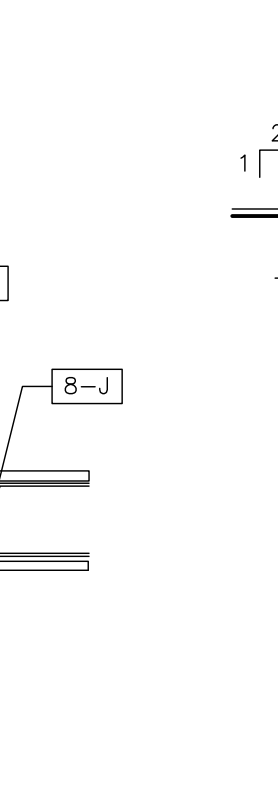
FRAME TYPES

SCALE 1/4" = 1'-0"



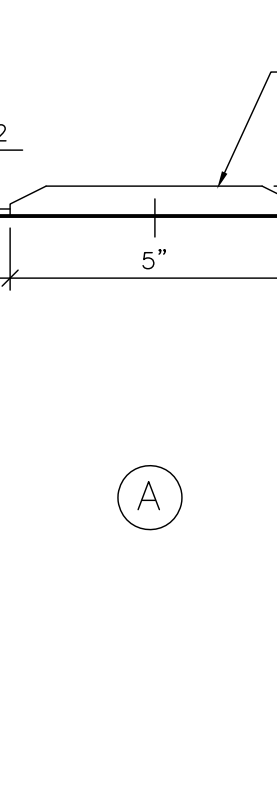
BUCK TYPES

SCALE 3" = 1'-0"



SADDLE TYPES

SCALE 3" = 1'-0"



BUCK TYPES

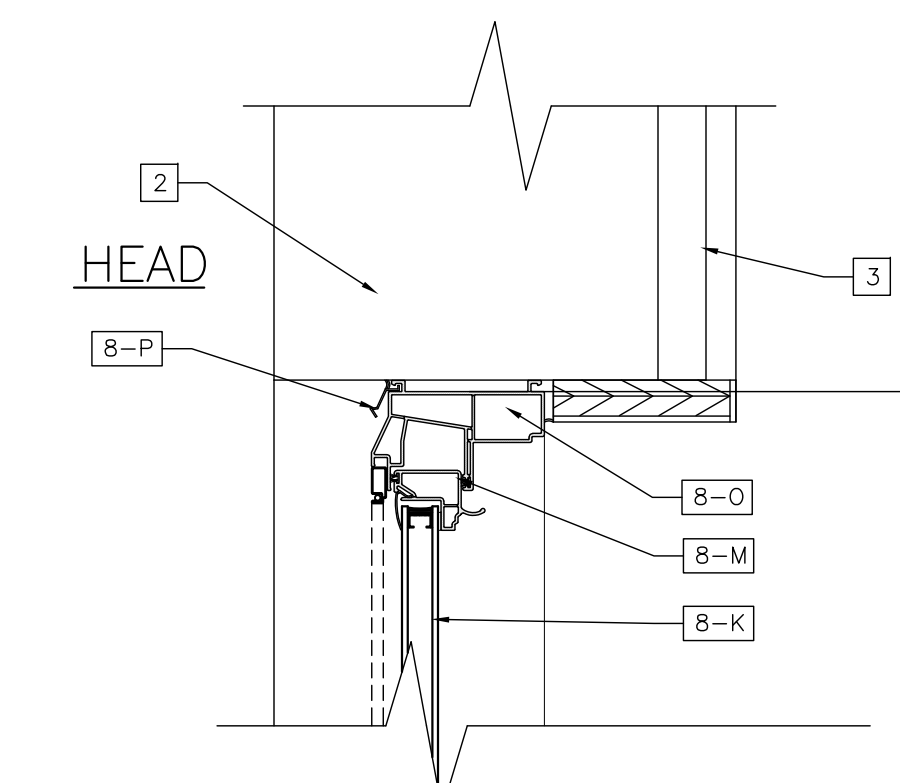
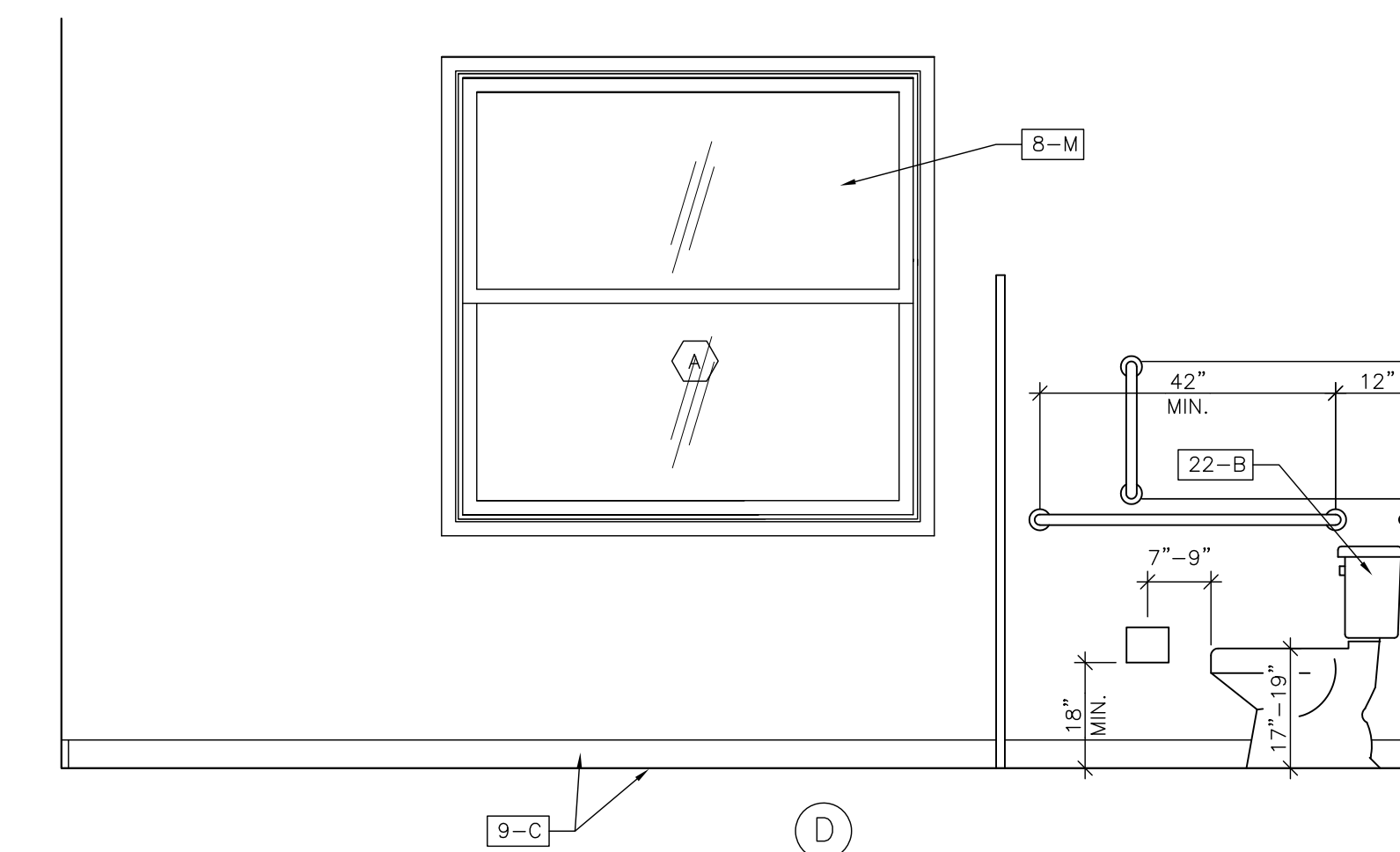
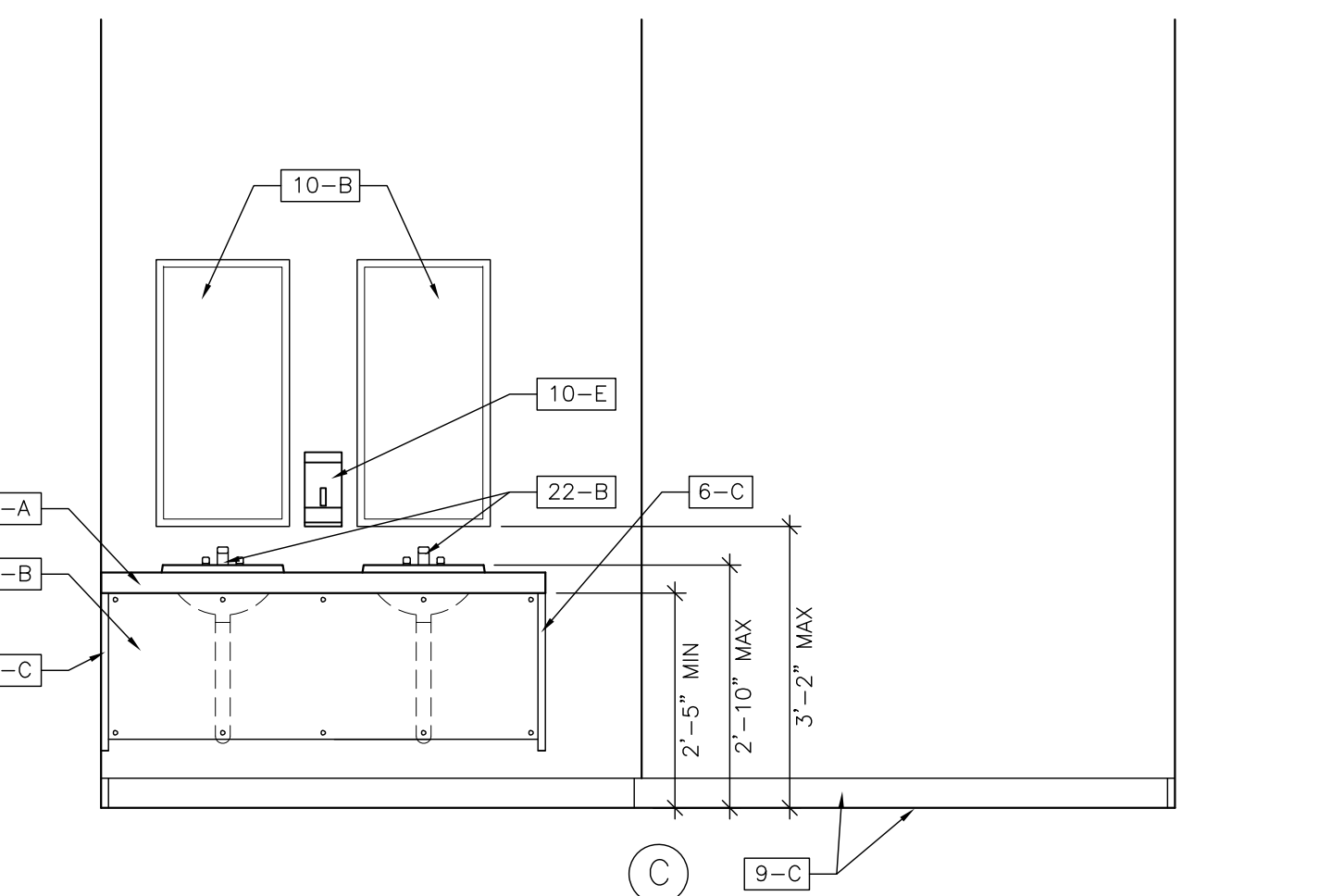
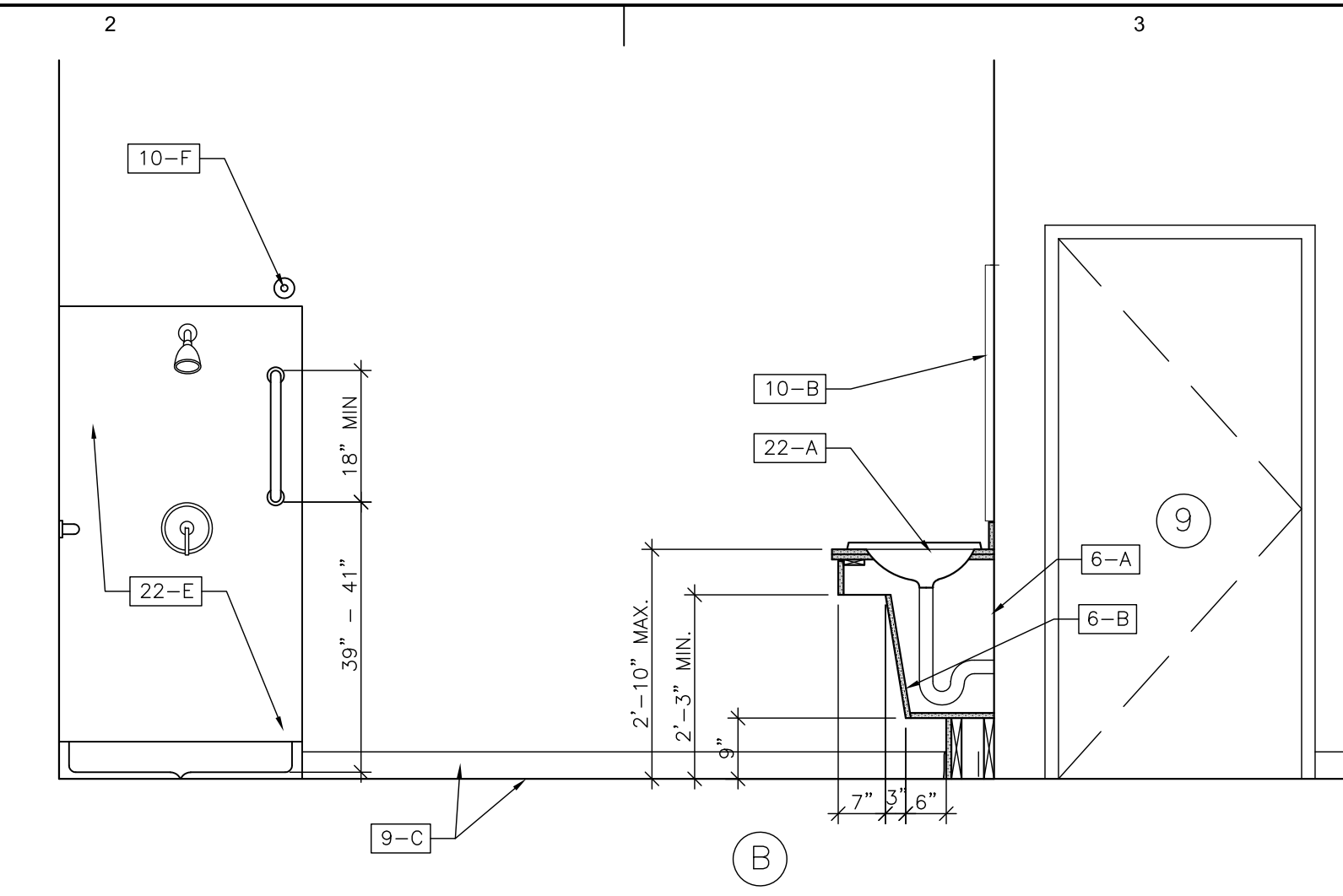
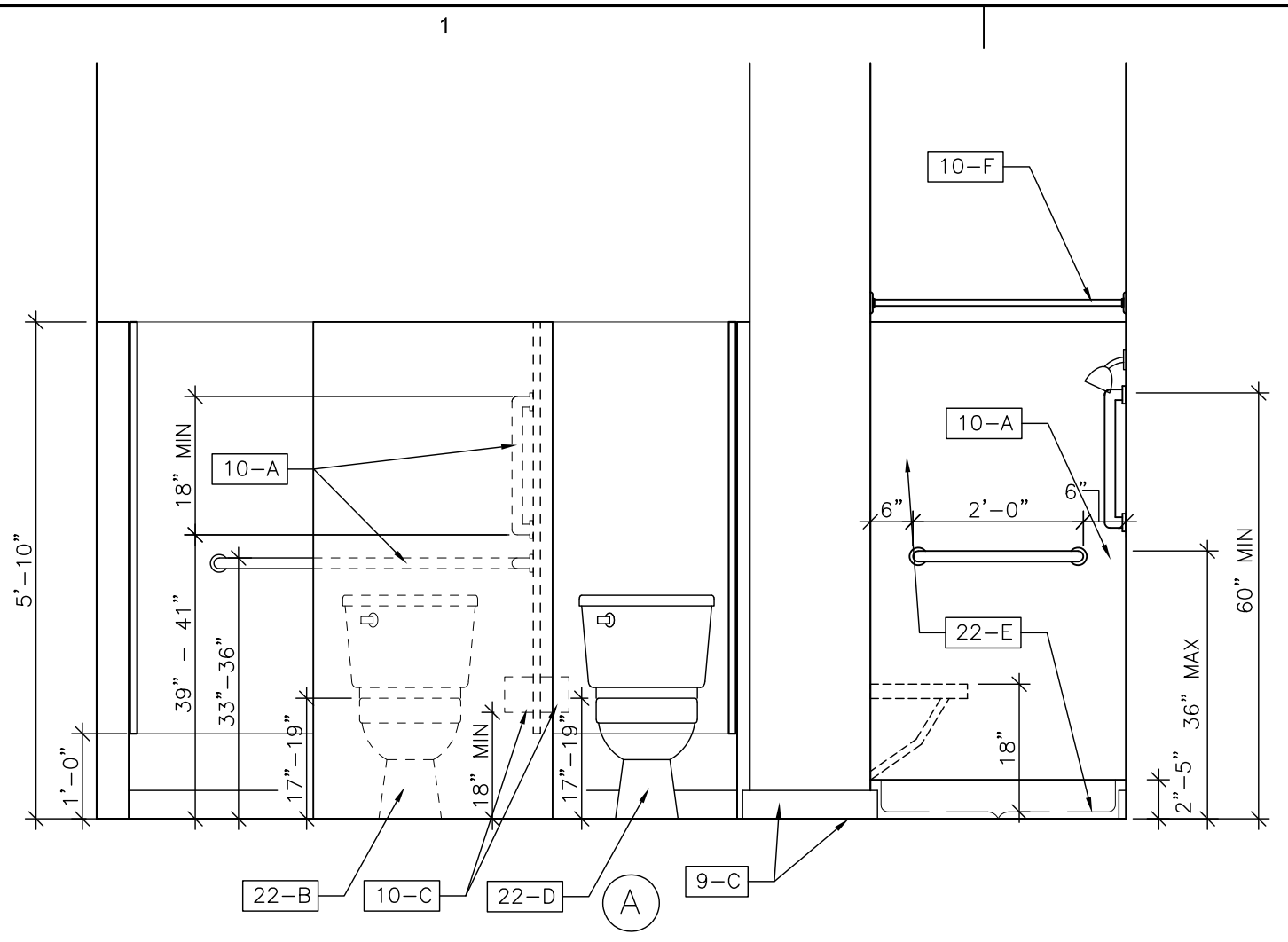
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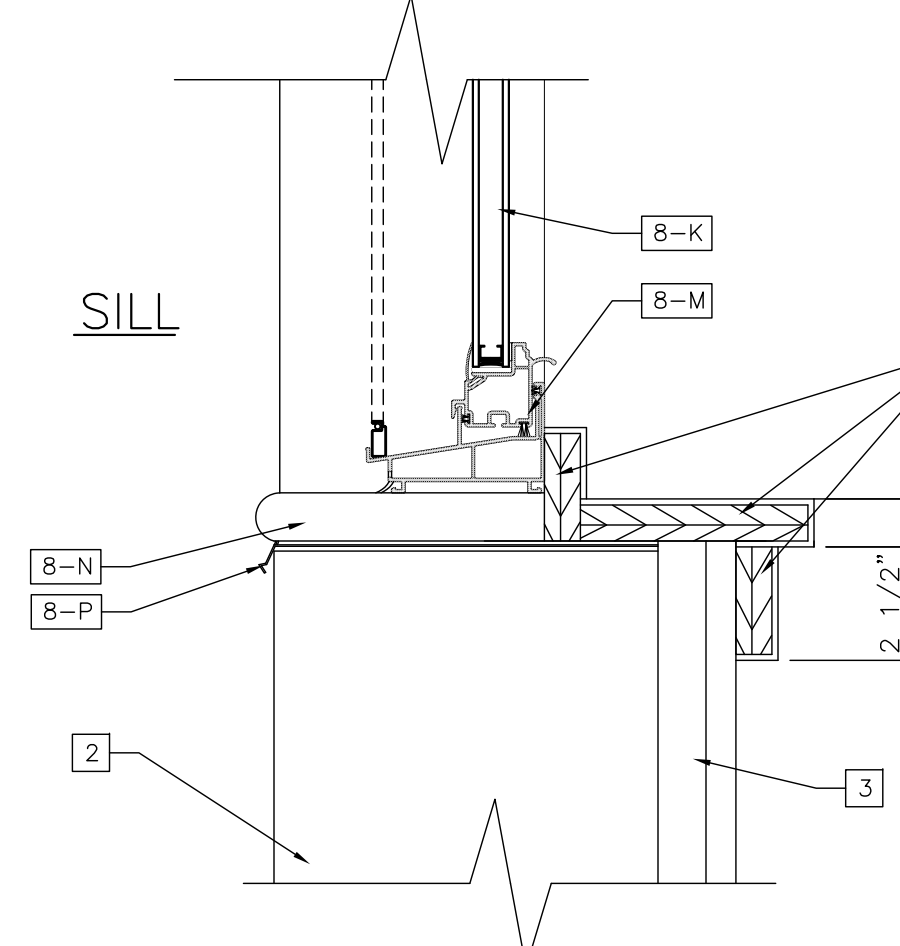
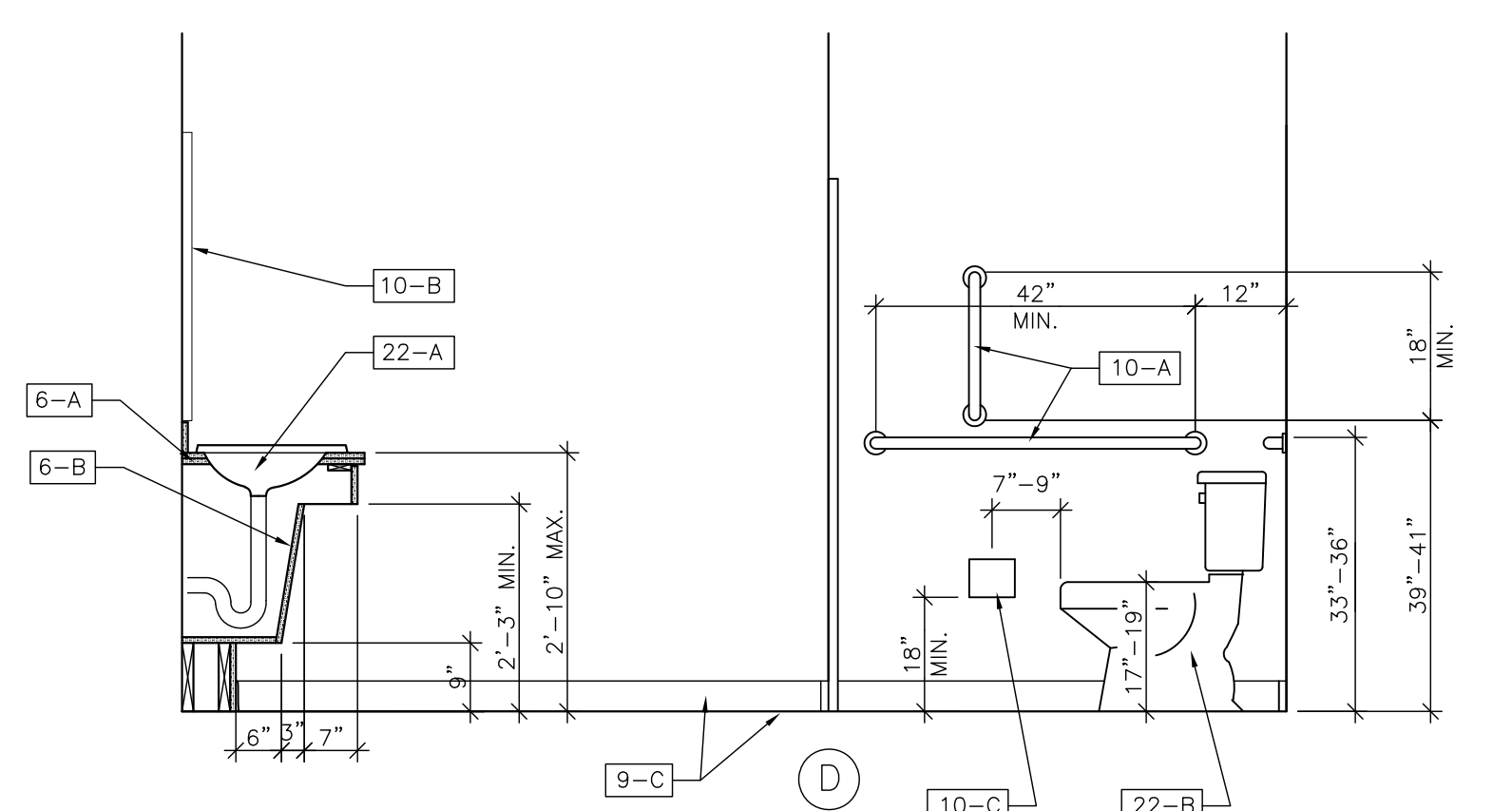
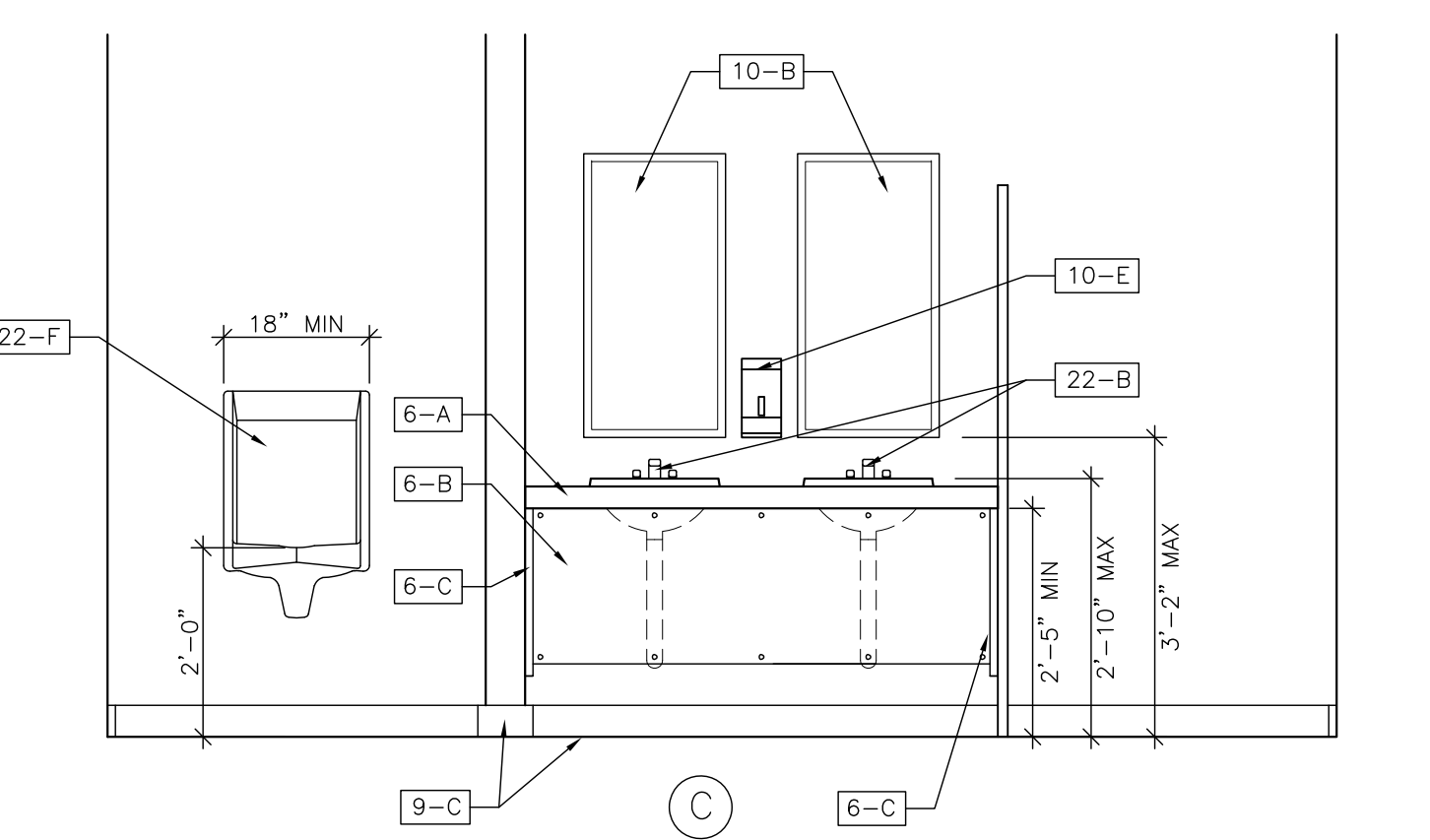
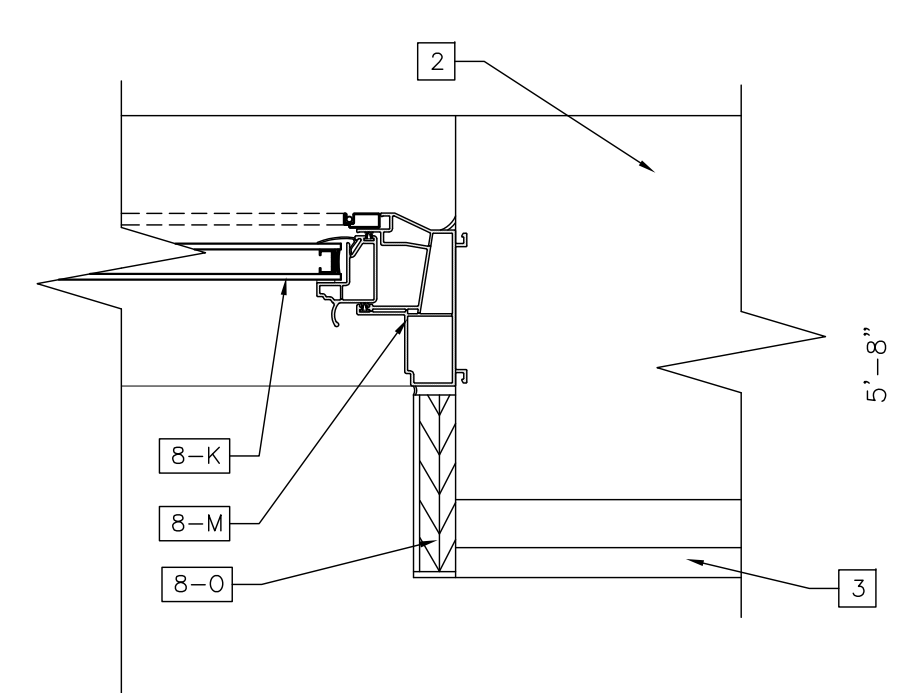
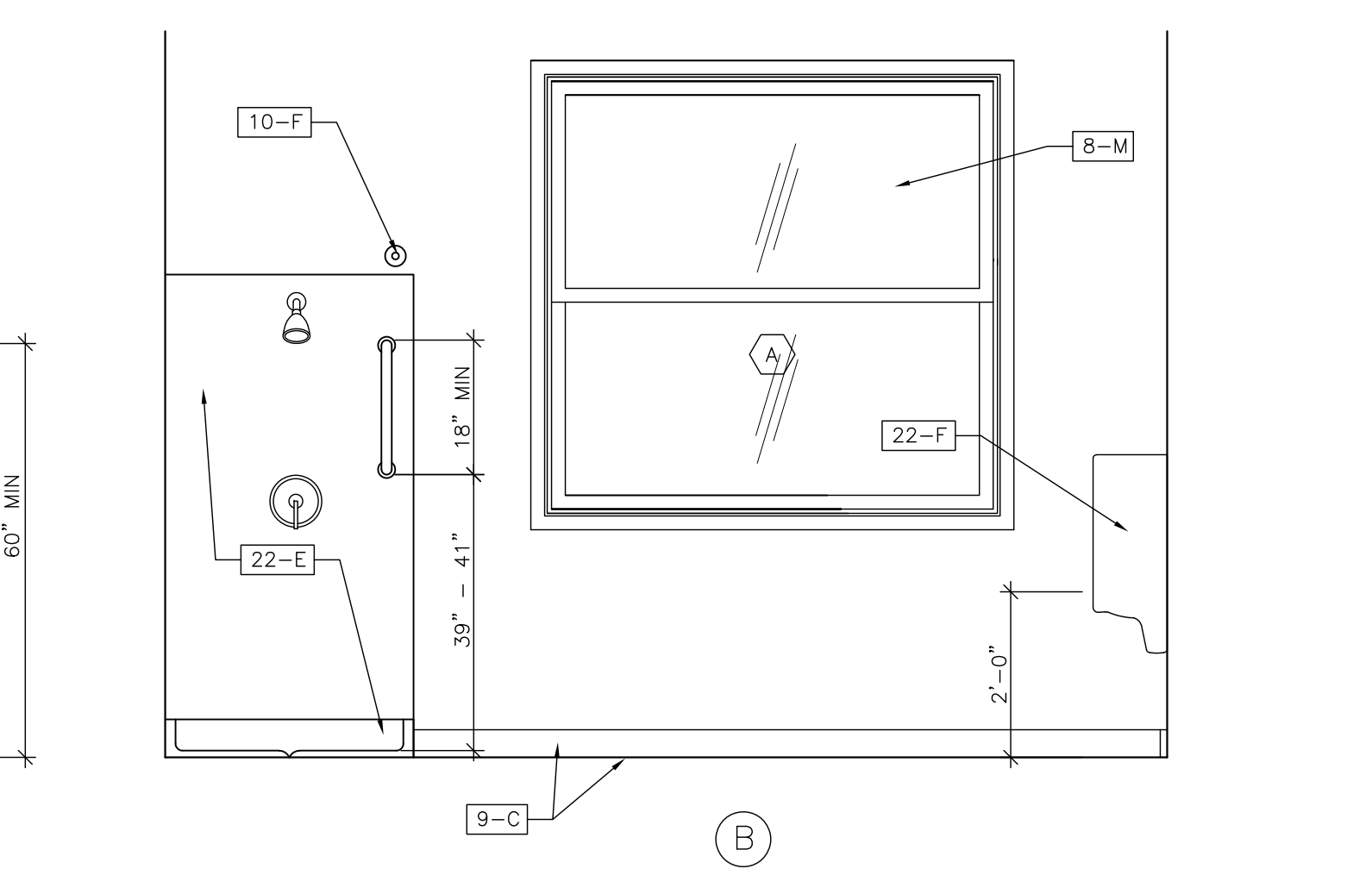
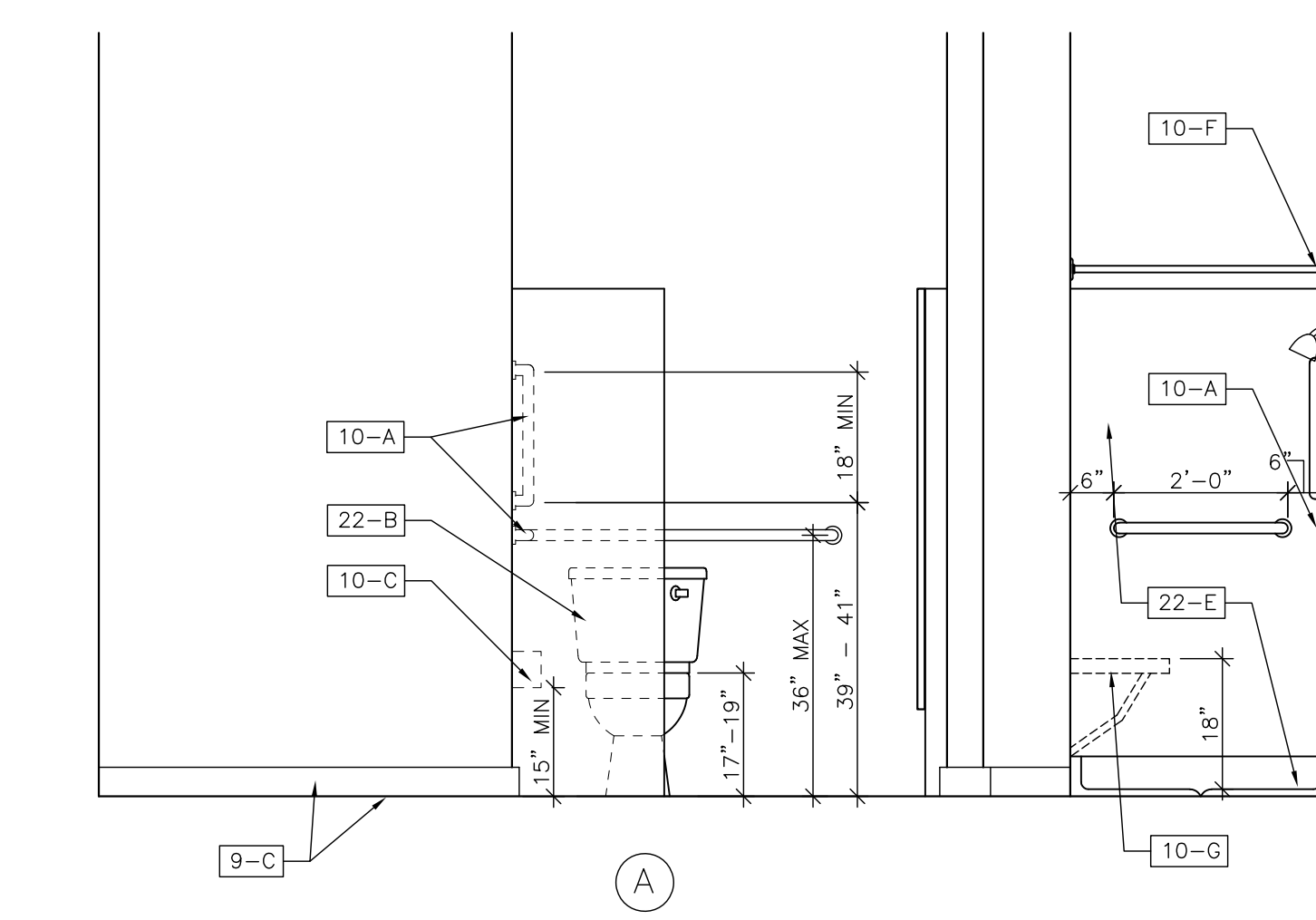
#	Issue/Revision	Date
1	BIDDING	07/18/2020

Sheet Title
DOOR AND WINDOW SCHEDULE
AND DETAILS

Sheet No.
A-0



1 SECOND FLOOR HANDICAP WOMEN'S TOILET ROOM
SCALE: 1/2" = 1'-0"



2 SECOND FLOOR HANDICAP MEN'S TOILET ROOM
SCALE: 1/2" = 1'-0"

3 NEW DOUBLE HUNG WINDOW SECTION
SCALE: 3" = 1'-0"

DRAWING KEYNOTES

- 6 WOODS AND PLASTICS
 - 6-A NEW SOLID SURFACE COUNTERTOP ON 3/4" PARTICLE BOARD WITH 4" HIGH BACKSPLASH
 - 6-B NEW SOLID SURFACE UNDER COUNTER LAVATORY GUARD PANEL WITH SCREW ATTACHMENT
 - 6-C NEW 3/4" SOLID SURFACE COUNTERTOP SUPPORT
 - 6-D NEW WOOD BLOCKING
 - 6-E NEW 5/4" X 6" WOOD TOP CAP
 - 6-F NEW 3/4" X 3 1/2" WOOD TRIM
 - 6-G NEW BASE CABINETS
 - 6-H NEW WALL CABINETS
 - 6-I NEW WOOD BLOCKING
 - 6-J NEW 3/4" X 1 1/2" SOLID SURFACE VALENCE
 - 6-K NEW REMOVABLE 3/4" SOLID SURFACE APRON
- 7 THERMAL AND MOISTURE PROTECTION
 - 7-A NEW 2 1/2" SOUND BATT INSULATION
 - 7-B NEW SEALANT
- 8 DOORS AND WINDOWS
 - 8-A NEW WOOD DOOR
 - 8-B NEW HOLLOW METAL DOOR FRAME
 - 8-C NEW MARBLE ACCESSIBLE THRESHOLD
 - 8-D NEW 1/4" SAFETY GLASS
 - 8-E NEW HOLLOW METAL WINDOW FRAME
 - 8-F NEW WINDOW STOP
 - 8-G NEW HOLLOW METAL DOOR
 - 8-K NEW 1" INSULATED GLASS
 - 8-L NEW FIRE RATED SAFETY GLASS
 - 8-M NEW DOUBLE HUNG WINDOW
 - 8-N NEW AZEK SILL
 - 8-O NEW SOLID SURFACE WINDOW SILL, HEAD, JAMB AND TRIM
 - 8-P NEW DRIP EDGE AND SEALANT
- 9 FINISHES
 - 9-A NEW 5/8" FIRECODE GYPSUM WALLBOARD - USE MOISTURE RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM LOCATIONS
 - 9-B NEW 3 5/8" METAL STUDS @16" O.C.
 - 9-C NEW CERAMIC TILE FLOOR AND BASE
 - 9-D NEW 6" METAL BOX HEADER
 - 9-E NEW 4" VINYL BASE
 - 9-F NEW "J" BEAD
- 10 SPECIALTIES
 - 10-A NEW 1 1/2" DIAMETER HANDICAP GRAB BARS
 - 10-B NEW SHATTER PROOF FRAMELESS STAINLESS STEEL MIRROR
 - 10-C NEW TOILET TISSUE PAPER DISPENSER
 - 10-D NEW SEMI RECESS PAPER TOWEL DISPENSER AND TRASH CAN
 - 10-E NEW SOAP DISPENSER
 - 10-F NEW CURTAIN ROD AND CURTAIN
 - 10-G NEW HANDICAP ACCESSIBLE FOLD DOWN SEAT
- 22 PLUMBING
 - 22-A NEW HANDICAP ACCESSIBLE LAVATORY
 - 22-B NEW HANDICAP ACCESSIBLE WATER CLOSET
 - 22-C NEW LAVATORY
 - 22-D NEW WATER CLOSET
 - 22-E NEW SHOWER BASIN AND SHOWER SURROUND
 - 22-F NEW HANDICAP ACCESSIBLE URINAL

CONSTRUCTION NOTES

- 1 INSULATE ALL EXPOSED PIPING
- 2 EXISTING CONCRETE BLOCK WALL WITH STUCCO FINISH
- 3 EXISTING GYPSUM WALLBOARD/PLASTER

**ALTERATIONS
RIVERSIDE FIRE COMPANY NO. 1**

Location
RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

PROJECT #
19509
Date
06/24/2020

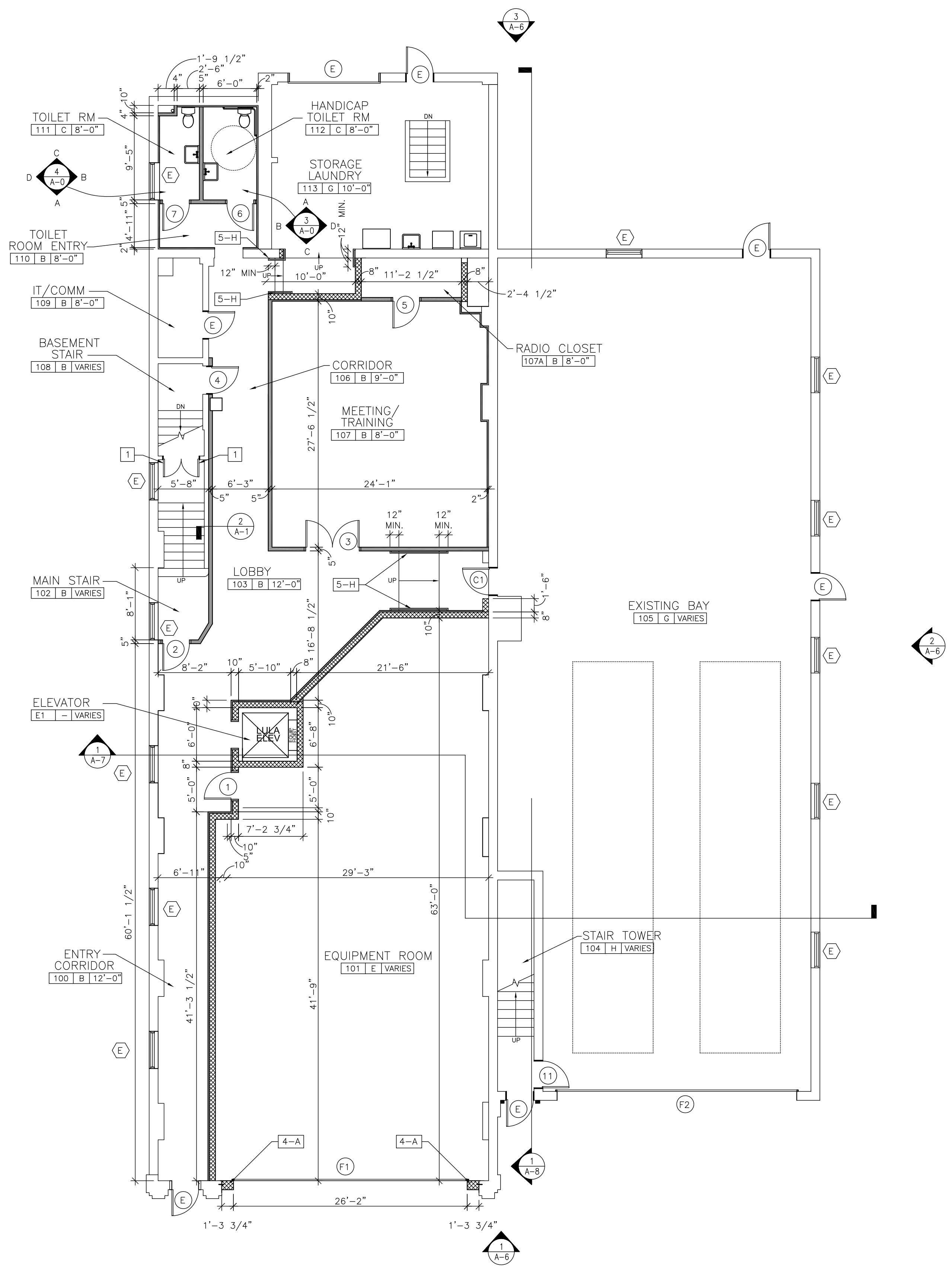
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#	Issue/Revision	Date
1	BIDDING	07/18/2020

Sheet Title
DOOR AND WINDOW SCHEDULE
AND DETAILS

Sheet No.
A-01



1 NEW FIRST FLOOR PLAN
SCALE 1/8"=1'-0"

KEY	FLOOR	BASE	WALLS	WALL FINISH	CEILING	CEILING FINISH	REMARKS
A	EXISTING	EXISTING	EXISTING CMU/NEW GYPSUM WALLBOARD	PAINT	NEW ACOUSTICAL GRID & TILE	PAINT	
B	NEW VCT	NEW VINYL	NEW GYPSUM WALLBOARD	PAINT	NEW ACOUSTICAL GRID & TILE	PAINT	
C	NEW CERAMIC TILE	NEW CERAMIC TILE	EXISTING CMU/NEW GYPSUM WALLBOARD	PAINT	NEW ACOUSTICAL GRID & TILE	PAINT	
D	NEW SLIP RESISTANT FLOORING	NEW VINYL	EXISTING CMU/NEW GYPSUM WALLBOARD	PAINT	NEW ACOUSTICAL GRID & TILE	PAINT	
E	NEW SLIP RESISTANT FLOORING	NEW VINYL	EXISTING CMU	PAINT	EXISTING	PAINT	
F	NEW SLIP RESISTANT FLOORING	NEW VINYL	EXISTING CMU/NEW CMU	PAINT	EXISTING	PAINT	
G	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	PAINT	
H	EXISTING	NONE	NEW GYPSUM WALLBOARD	PAINT	NEW GYPSUM WALLBOARD	PAINT	

LEGEND

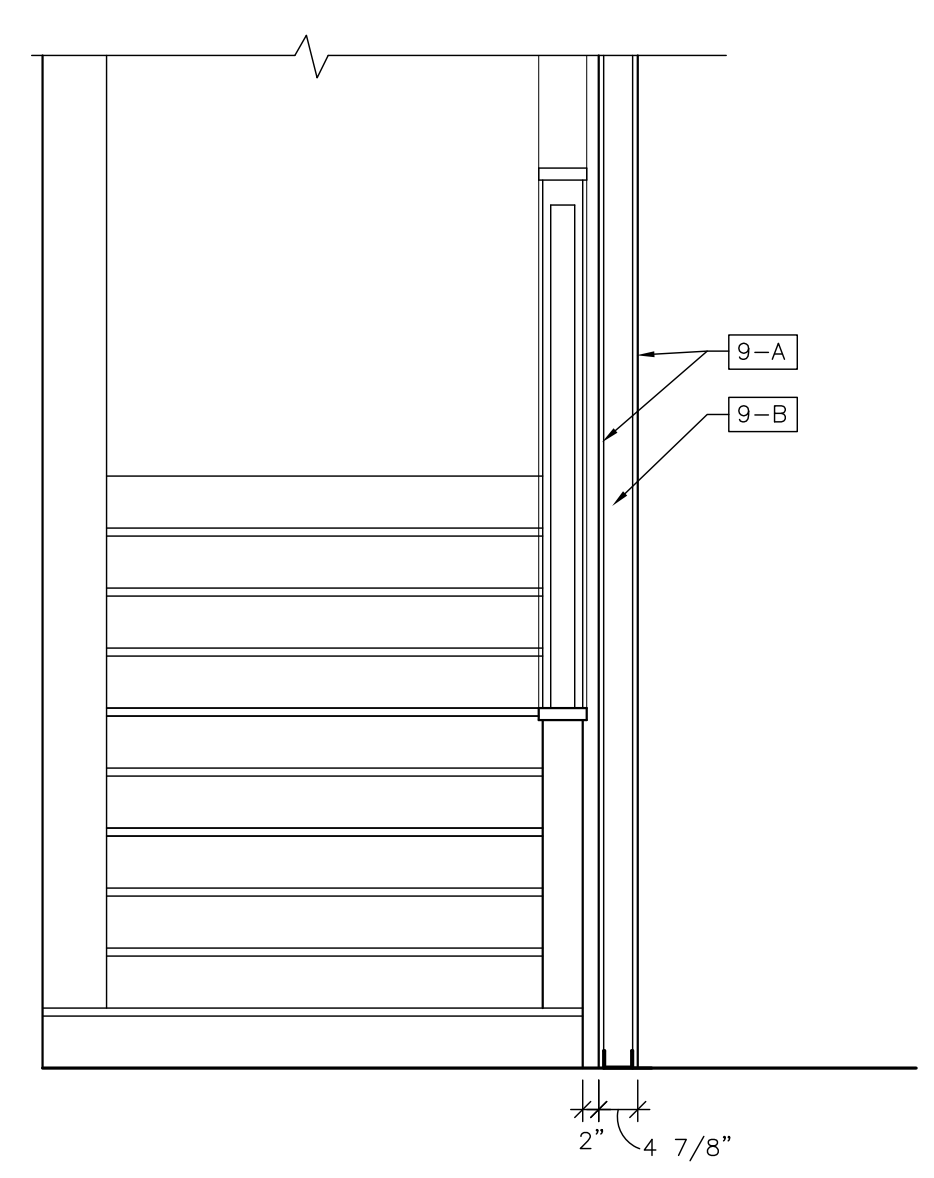
- EXISTING WALL CONSTRUCTION
- NEW 3 5/8" METAL STUD WALL @16" O.C. WITH SOUND BATT INSULATION AND 5/8" FIRECODE GYPSUM WALLBOARD ON BOTH SIDES TO UNDERSIDE OF CEILING.
- NEW 8" CMU WALL
- EXISTING DOOR
- NEW SOLID CORE WOOD DOOR WITH HOLLOW METAL FRAME
- EXISTING WINDOW OR GLASS BLOCK
- NEW WINDOW TYPE

DRAWING KEYNOTES

- 4 MASONRY
 - 4-A NEW 12" CONCRETE BLOCK WALL - CONNECT TO EXISTING CONCRETE BLOCK WALL USING #4 BAR - 8INCHES LONG @16" O.C. VERTICALLY. GROUT ALL CORES SOLID AND FINISH THE CONCRETE BLOCK WALL WITH STUCCO
- 5 METAL
 - 5-H NEW RAILING
- 9 FINISHES
 - 9-A NEW 5/8" FIRECODE GYPSUM WALLBOARD - USE MOISTURE RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM LOCATIONS
 - 9-B NEW 3 5/8" METAL STUDS @16" O.C.

CONSTRUCTION NOTES

- 1 SECURE EXISTING HISTORIC DOORS IN THE OPEN POSITION



2 STAIR WALL DETAIL
SCALE 1/2"=1'-0"

ALTERATIONS
RIVERSIDE FIRE COMPANY NO. 1

Location
RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

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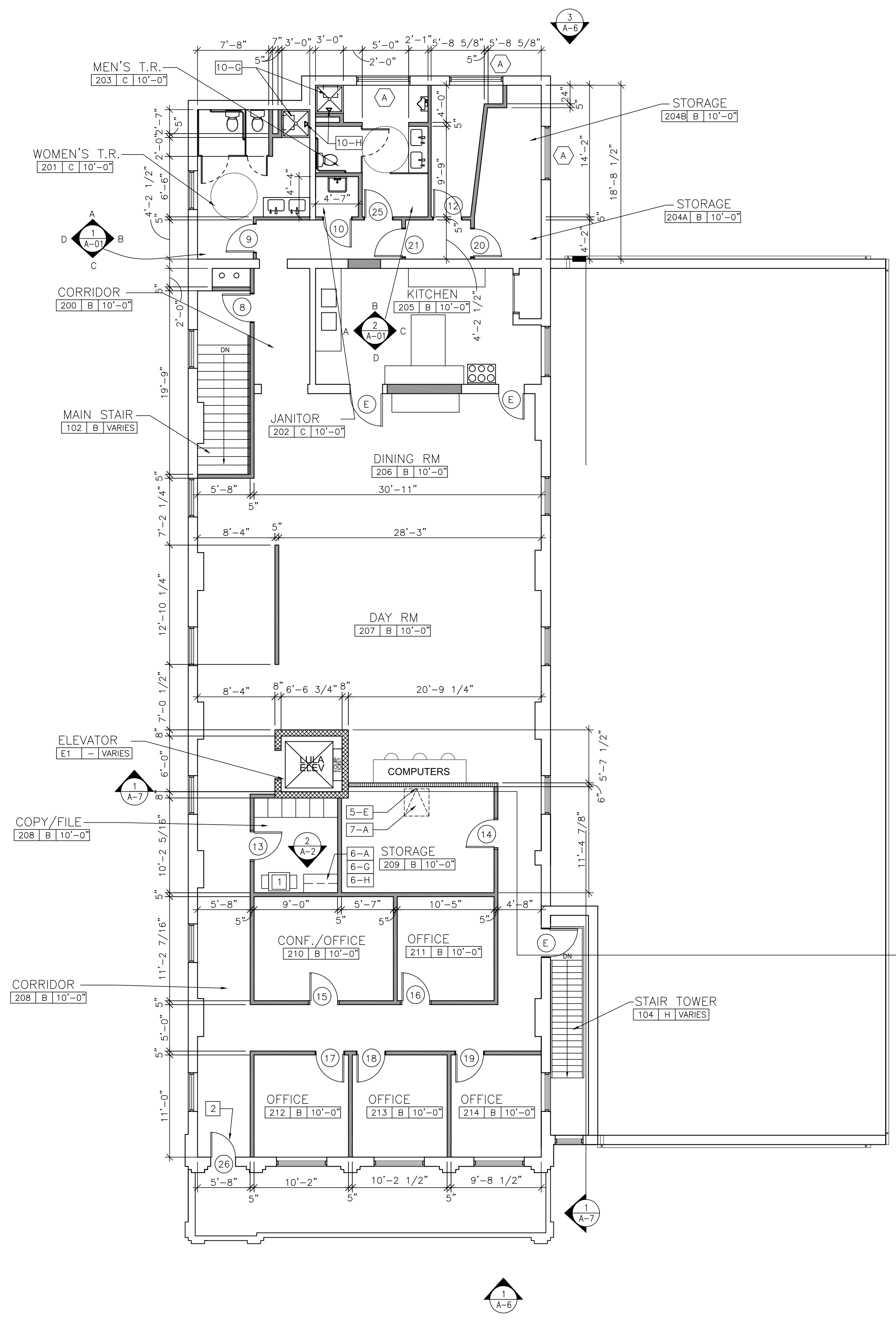
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1	BIDDING	07/18/2020

Sheet Title
FIRST FLOOR PLAN

Sheet No.
A-1

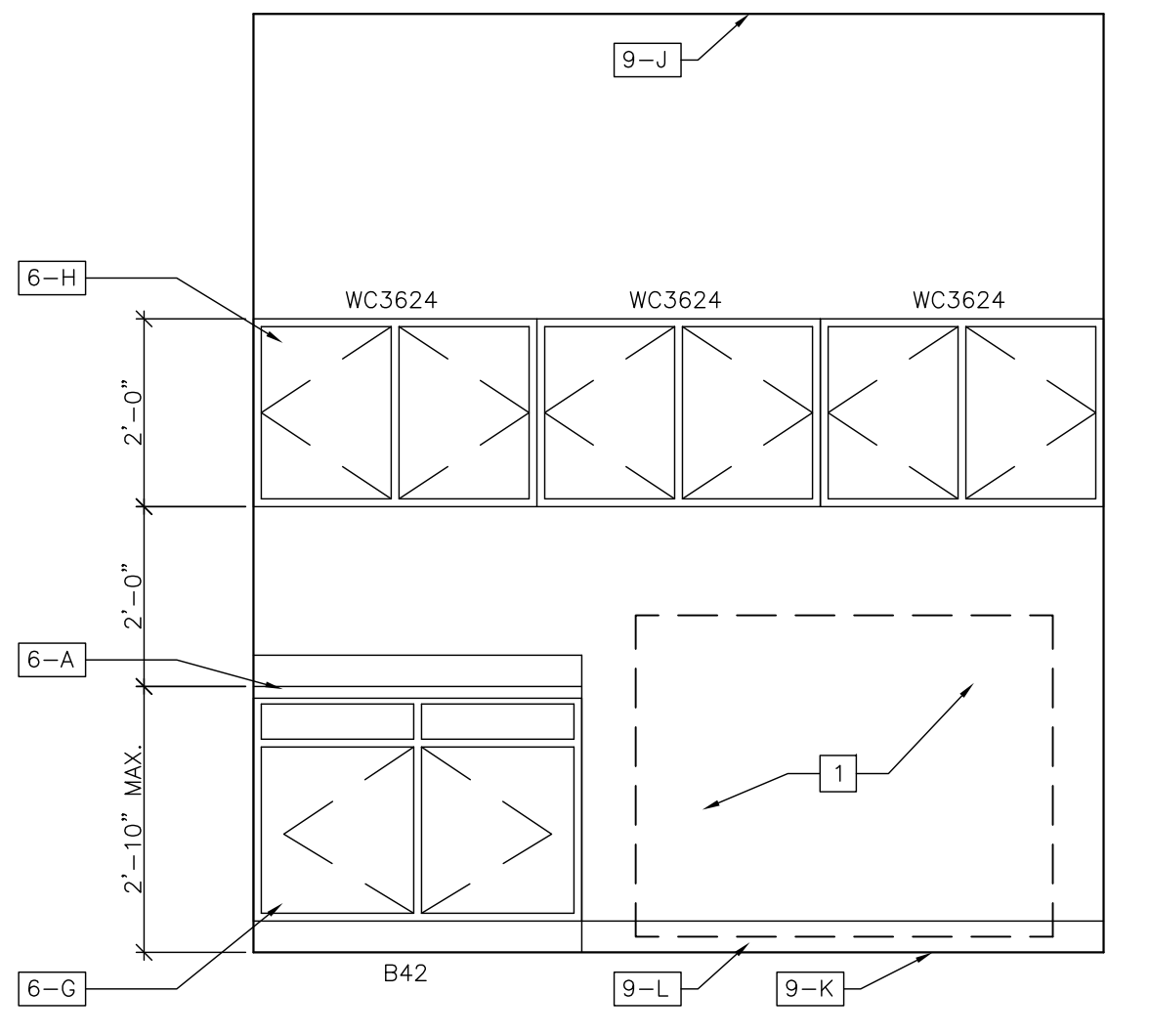


1 NEW SECOND FLOOR PLAN
SCALE 1/8"=1'-0"

- ### LEGEND
- EXISTING WALL CONSTRUCTION
 - NEW 3/8" METAL STUD WALL @16" O.C. WITH SOUND BATT INSULATION AND 5/8" FIRECODE GYPSUM WALLBOARD ON BOTH SIDES TO UNDERSIDE OF CEILING.
 - NEW 8" CMU WALL WITH 4" THICK BRICK ON EXTERIOR SIDE
 - NEW 6" STEEL STUD WALL @16" O.C. WITH SOUND BATT INSULATION AND 5/8" FIRECODE GYPSUM WALLBOARD ON BOTH SIDES TO UNDERSIDE OF ROOF STRUCTURE
 - EXISTING DOOR
 - NEW SOLID CORE WOOD DOOR WITH HOLLOW METAL FRAME
 - EXISTING WINDOW OR GLASS BLOCK
 - NEW WINDOW TYPE

- ### DRAWING KEYNOTES
- 5 METAL
 - 5-E NEW STEEL FIXED LADDER
 - 6 WOODS AND PLASTICS
 - 6-A NEW SOLID SURFACE COUNTERTOP ON 3/4" PARTICLE BOARD WITH 4" HIGH BACKSLASH
 - 6-G NEW BASE CABINETS
 - 6-H NEW WALL CABINETS
 - 7 THERMAL AND MOISTURE PROTECTION
 - 7-A NEW ROOF ACCESS HATCH
 - 9 FINISHES
 - 9-J NEW 2'-0" X 2'-0" ACOUSTICAL TILE CEILING AND GRID
 - 9-K NEW VINYL COMPOSITION TILE
 - 9-L NEW 4" HIGH VINYL BASE
 - 10 SPECIALTIES
 - 10-G NEW HANDICAP ACCESSIBLE FOLD DOWN SEAT
 - 10-H NEW SHOWER CONTROLS

- ### CONSTRUCTION NOTES
- 1 NEW PHOTO COPY MACHINE
 - 2 REMOVE AND REPLACE EXISTING DOOR, DOOR FRAME AND HARDWARE. REMOVE AND REPAIR EXISTING TRANSOM.
 1. REPLACE EXISTING TRANSOM FLASHING
 2. REPLACE MISSING GLAZING COMPOUND
 3. SAND AND REPAINT TRANSOM



2 NEW COPY/FILE INTERIOR ELEVATION
SCALE 1/8"=1'-0"

FINISH SCHEDULE							
KEY	FLOOR	BASE	WALLS	WALL FINISH	CEILING	CEILING FINISH	REMARKS
A	EXISTING	EXISTING	EXISTING CMU/NEW GYPSUM WALLBOARD	PAINT	-	-	-
B	NEW VCT	NEW VINYL	NEW GYPSUM WALLBOARD	PAINT	NEW ACOUSTICAL GRID & TILE	-	-
C	NEW CERAMIC TILE	NEW CERAMIC TILE	EXISTING CMU/NEW GYPSUM WALLBOARD	PAINT	NEW ACOUSTICAL GRID & TILE	-	-
D	NEW SLIP RESISTANT FLOORING	NEW VINYL	EXISTING CMU/NEW GYPSUM WALLBOARD	PAINT	NEW ACOUSTICAL GRID & TILE	-	-
E	NEW SLIP RESISTANT FLOORING	NEW VINYL	EXISTING CMU	PAINT	EXISTING	PAINT	-
F	NEW SLIP RESISTANT FLOORING	NEW VINYL	EXISTING CMU/NEW CMU	PAINT	-	PAINT	-
G	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-
H	EXISTING	NONE	NEW GYPSUM WALLBOARD	PAINT	NEW GYPSUM WALLBOARD	-	-

ALTERATIONS
RIVERSIDE FIRE COMPANY NO. 1

Location
RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

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Date
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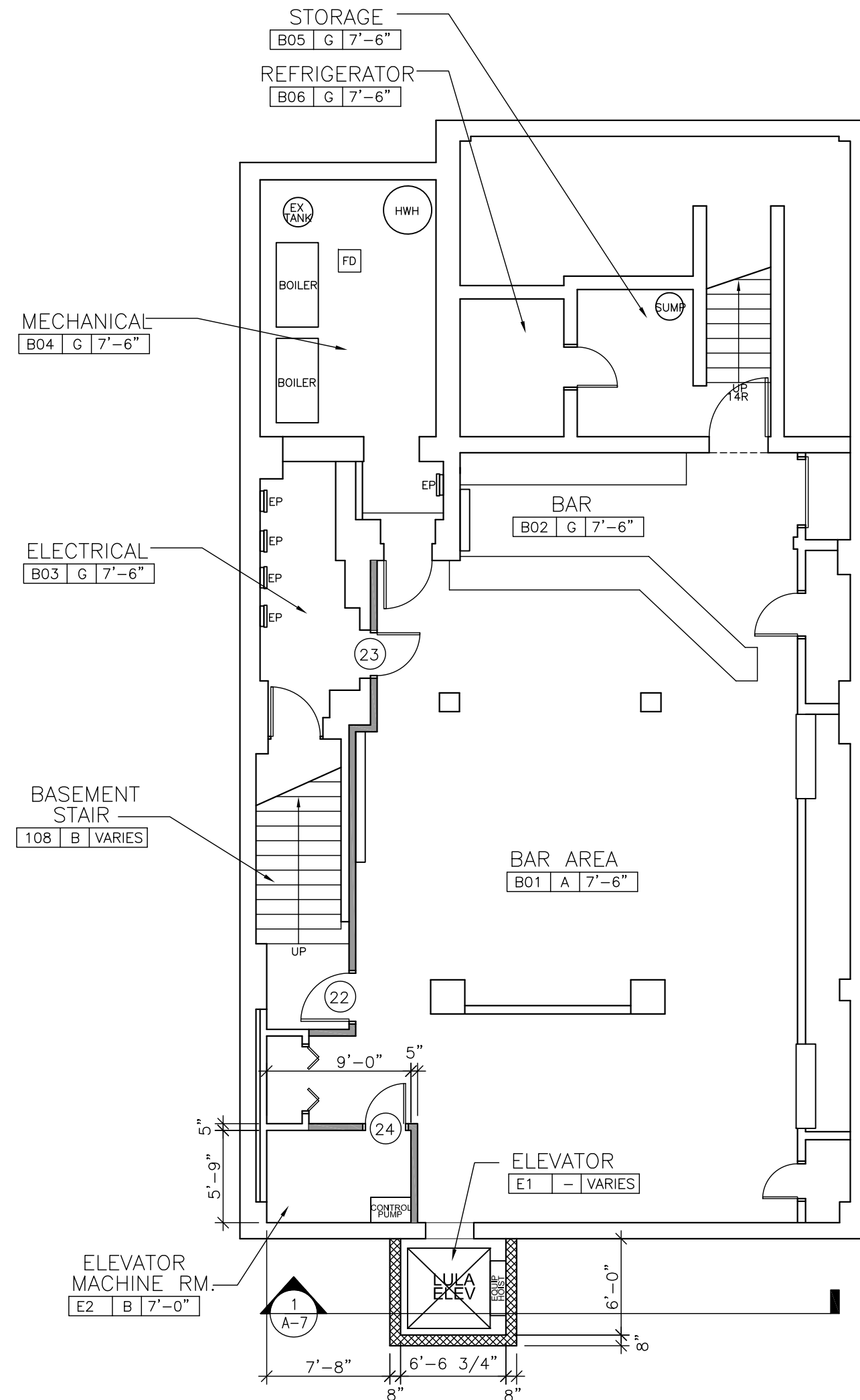
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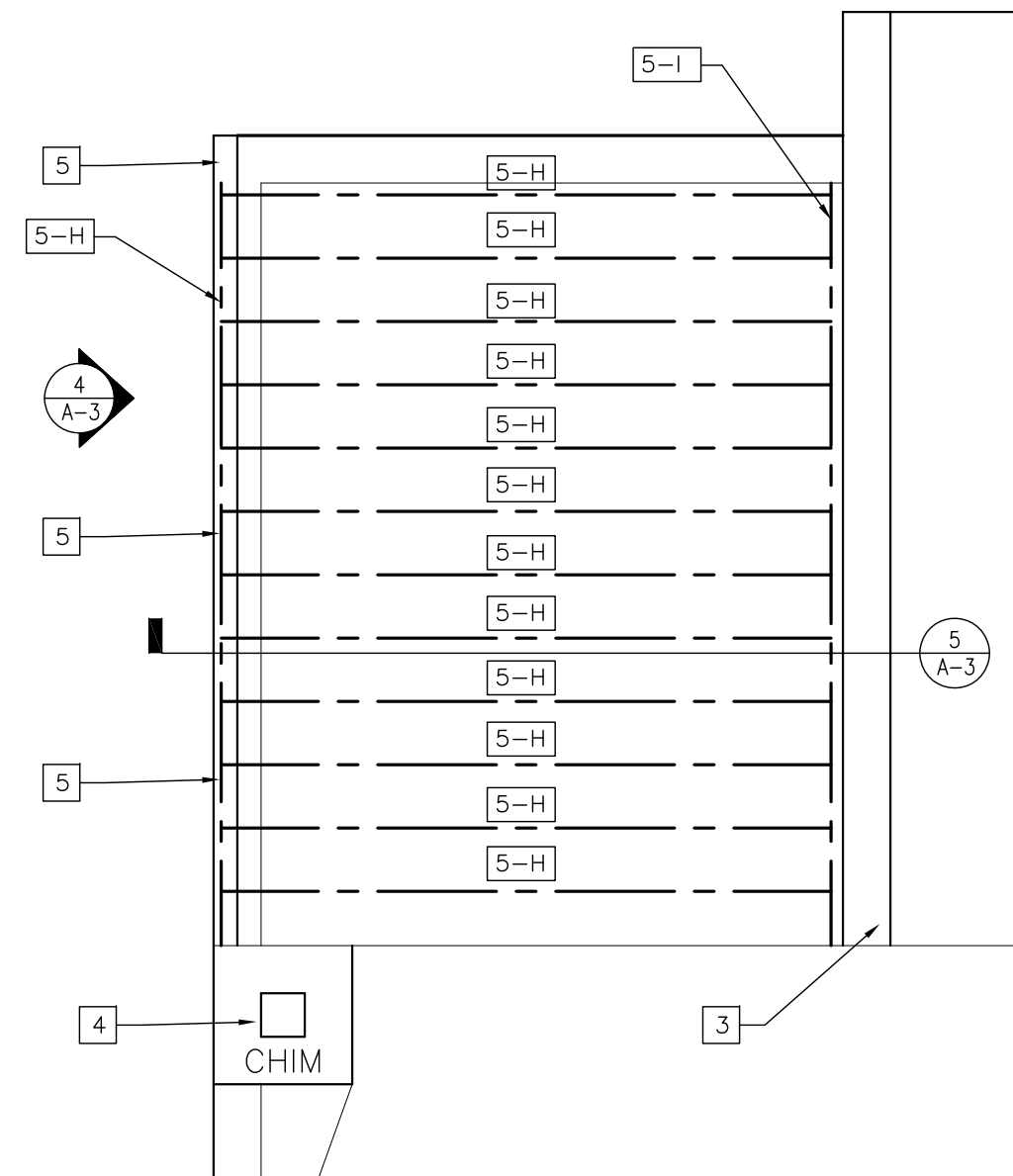
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SECOND FLOOR PLAN

Sheet No.
A-2

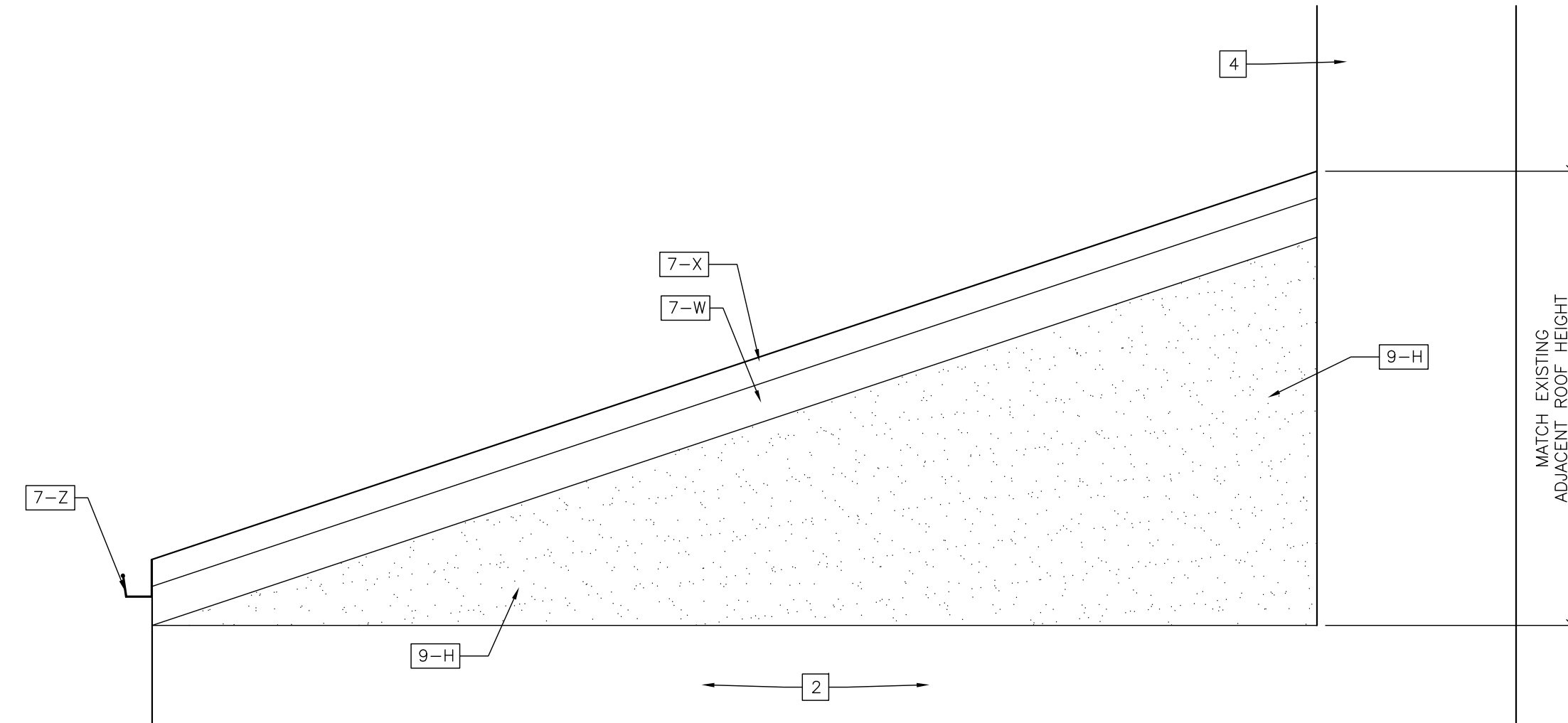


1 NEW BASEMENT PLAN
SCALE 1/8"=1'-0"

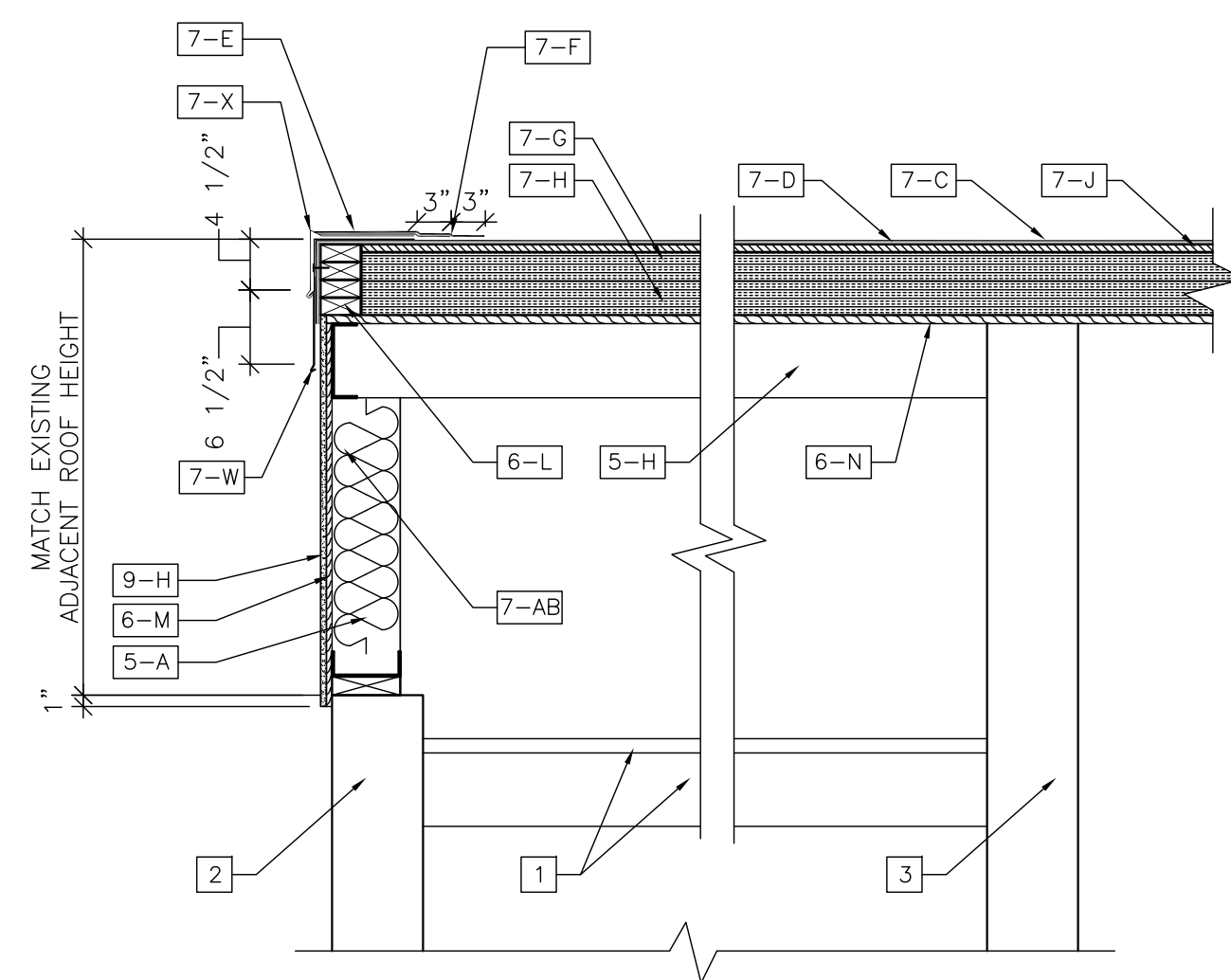
FINISH SCHEDULE							
KEY	FLOOR	BASE	WALLS	WALL FINISH	CEILING	CEILING FINISH	REMARKS
A	EXISTING	EXISTING	EXISTING CMU/NEW GYPSUM WALLBOARD	PAINT			
B	NEW VCT	NEW VINYL	NEW GYPSUM WALLBOARD	PAINT	NEW ACOUSTICAL GRID & TILE		
C	NEW CERAMIC TILE	NEW CERAMIC TILE	EXISTING CMU/NEW GYPSUM WALLBOARD	PAINT	NEW ACOUSTICAL GRID & TILE		
D	NEW SLIP RESISTANT FLOORING	NEW VINYL	EXISTING CMU/NEW GYPSUM WALLBOARD	PAINT	NEW ACOUSTICAL GRID & TILE		
E	NEW SLIP RESISTANT FLOORING	NEW VINYL	EXISTING CMU	PAINT	EXISTING	PAINT	
F	NEW SLIP RESISTANT FLOORING	NEW VINYL	EXISTING CMU/NEW CMU	PAINT		PAINT	
G	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING		
H	EXISTING	NONE	NEW GYPSUM WALLBOARD	PAINT	NEW GYPSUM WALLBOARD		



2 NEW RAISED ROOF FRAMING PLAN
SCALE 1/4"=1'-0"



3 NEW RAISED ROOF EXTERIOR ELEVATION
SCALE 1/2"=1'-0"



5 NEW RAISED ROOF FRAMING SECTION
SCALE 1/8"=1'-0"

DRAWING KEYNOTES

- 5 METALS
 - 5-A NEW 6-INCH STEEL STUD @16" O.C. - SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
 - 5-H NEW 8-INCH STEEL JOIST @16" O.C.
 - 5-I NEW 8-INCH STEEL LEDGER BOARD
- 6 WOOD, PLASTIC AND COMPOSITES
 - 6-L NEW FIRE TREATED 2"x10" WOOD BLOCKING (FASTEN TO EXISTING WOOD BLOCKING USING (2)#10 SCREWS @ 36" O.C., FASTEN EXISTING WOOD BLOCKING TO MASONRY USING (2) POWDER-ACTUATED FASTENER 0.157"x X-U STAGGERED @18" O.C., FASTEN NEW WOOD BLOCKING TO EXISTING AND NEW WOOD BLOCKING BY STAGGERING (2)#10 SCREWS @36" O.C. EACH PIECE OF NEW WOOD BLOCKING)
 - 6-M NEW 1/2" EXTERIOR PLYWOOD SHEATHING
 - 6-N NEW 3/4" EXTERIOR PLYWOOD SHEATHING
- 7 THERMAL AND MOISTURE PROTECTION
 - 7-B NEW SEALANT
 - 7-C NEW SBS MODIFIED BITUMINOUS GRANULE SURFACE CAP SHEET
 - 7-D NEW SBS MODIFIED BITUMINOUS BASE SHEET
 - 7-E NEW SBS MODIFIED BITUMINOUS GRANULE SURFACE FLASHING CAP SHEET
 - 7-F NEW SBS MODIFIED BITUMINOUS FLASHING BASE SHEET
 - 7-G NEW 3" THICK POLYISOCYANURATE INSULATION
 - 7-H NEW 2 1/2" THICK POLYISOCYANURATE INSULATION
 - 7-J NEW 1/2" THICK RECOVERY BOARD
 - 7-W NEW EDGE METAL EXTENSION
 - 7-X NEW EDGE METAL
 - 7-Z NEW GUTTER AND DOWNSPOUT
 - 7-AB NEW R-19 BATT INSULATION
- 9 FINISHES
 - 9-H NEW STUCCO EXTERIOR FINISH

CONSTRUCTION NOTES

- 1 EXISTING WOOD ROOF STRUCTURE
- 2 EXISTING CONCRETE BLOCK WALL WITH STUCCO FINISH
- 3 REMOVE PORTION OF EXISTING CONCRETE BLOCK WALL TO MAKE IT FLUSH WITH EXISTING ROOF
- 4 EXISTING CHIMNEY
- 5 NEW 6" STEEL STUD @16" O.C. WITH R-19 INSULATION AND 1/2" EXTERIOR GRADE PLYWOOD AND STUCCO FINISH ON EXTERIOR SIDE OF WALL

ALTERATIONS
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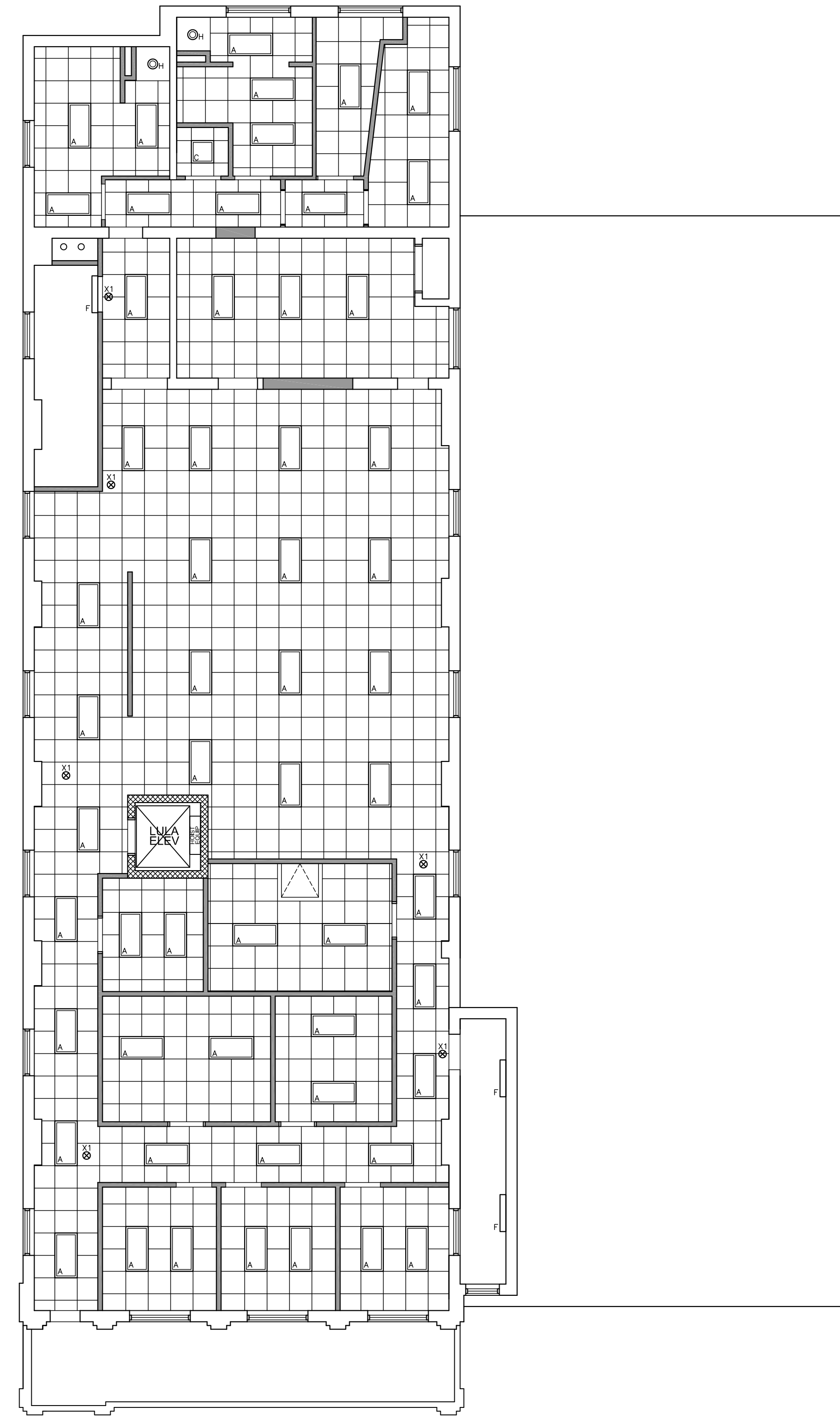
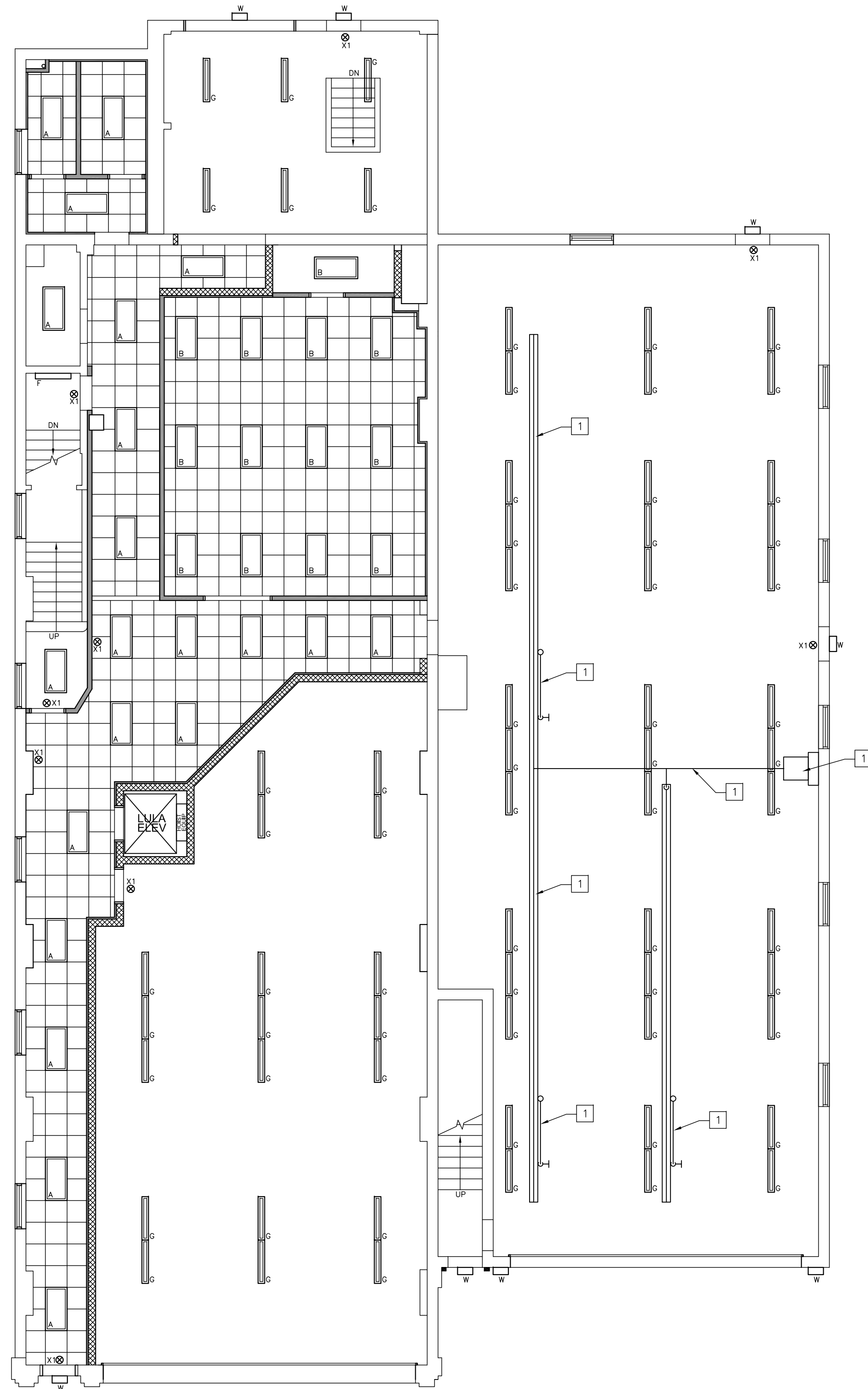
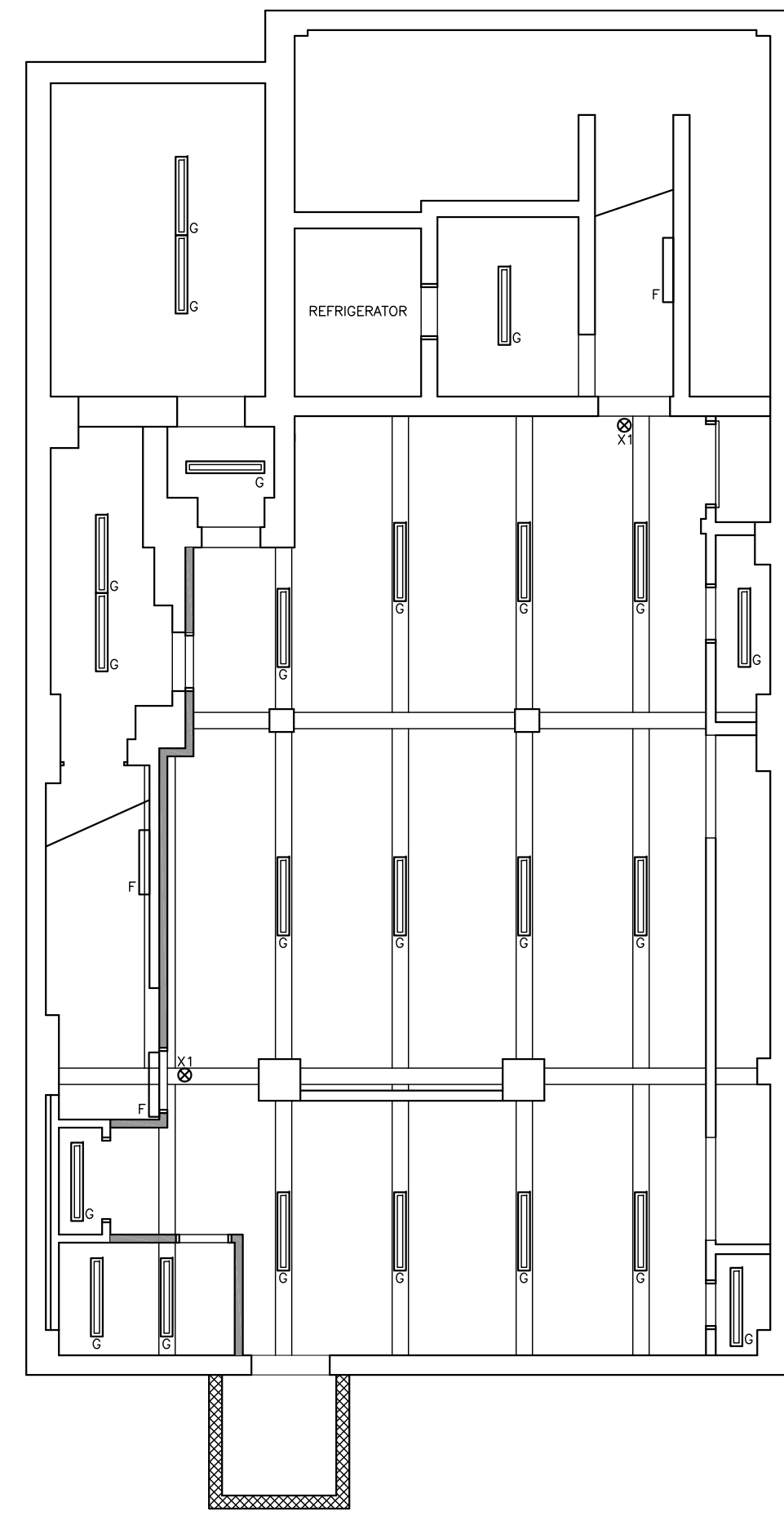
#	Issue/Revision	Date
1	BIDDING	07/18/2020

Sheet Title
NEW BASEMENT PLAN AND
DETAILS

Sheet No.
A-3
Sheet 8 of 65
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CONSTRUCTION NOTES

1 NEW EXHAUST EXTRACTION EQUIPMENT - SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.



1 NEW BASEMENT REFLECTED CEILING PLAN
SCALE 1/8"=1'-0"

2 NEW FIRST FLOOR REFLECTED CEILING PLAN
SCALE 1/8"=1'-0"

3 NEW SECOND FLOOR REFLECTED CEILING PLAN
SCALE 1/8"=1'-0"

**ALTERATIONS
RIVERSIDE FIRE COMPANY NO. 1**

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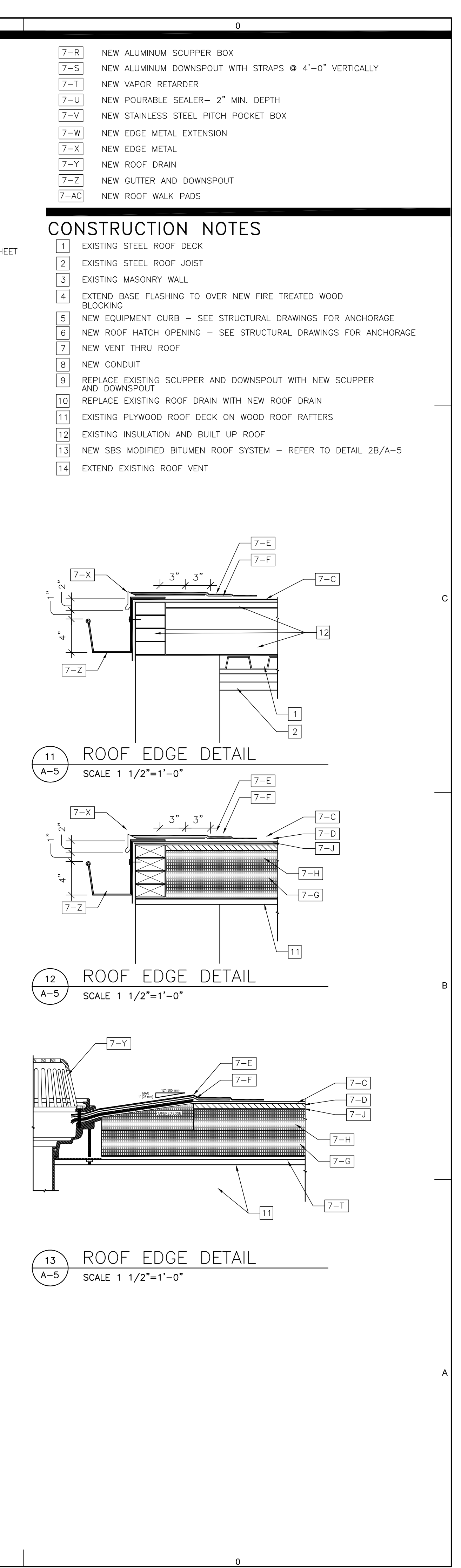
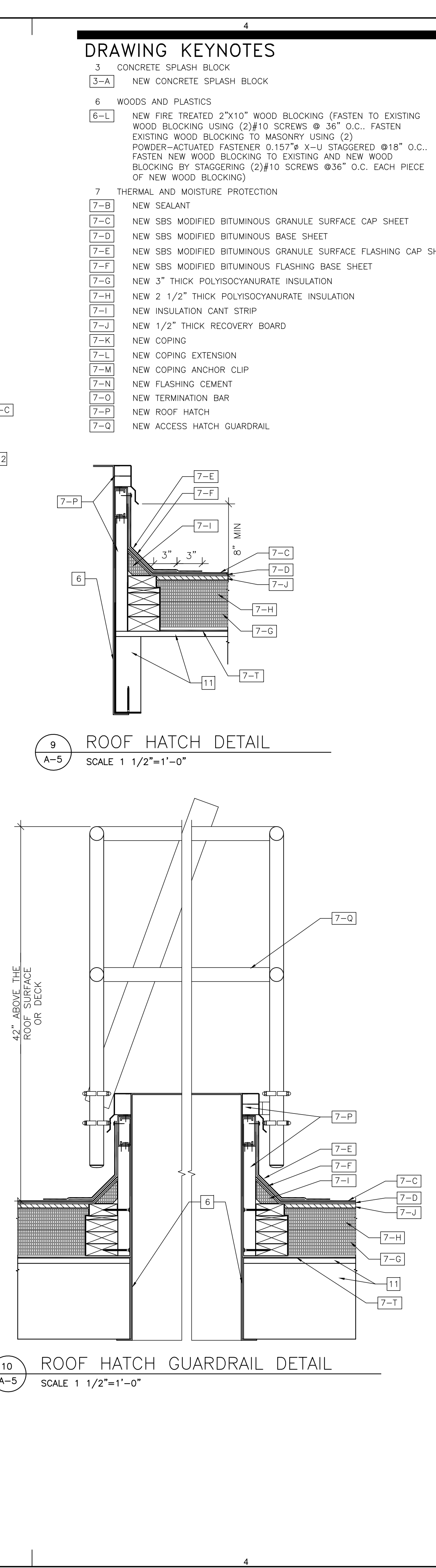
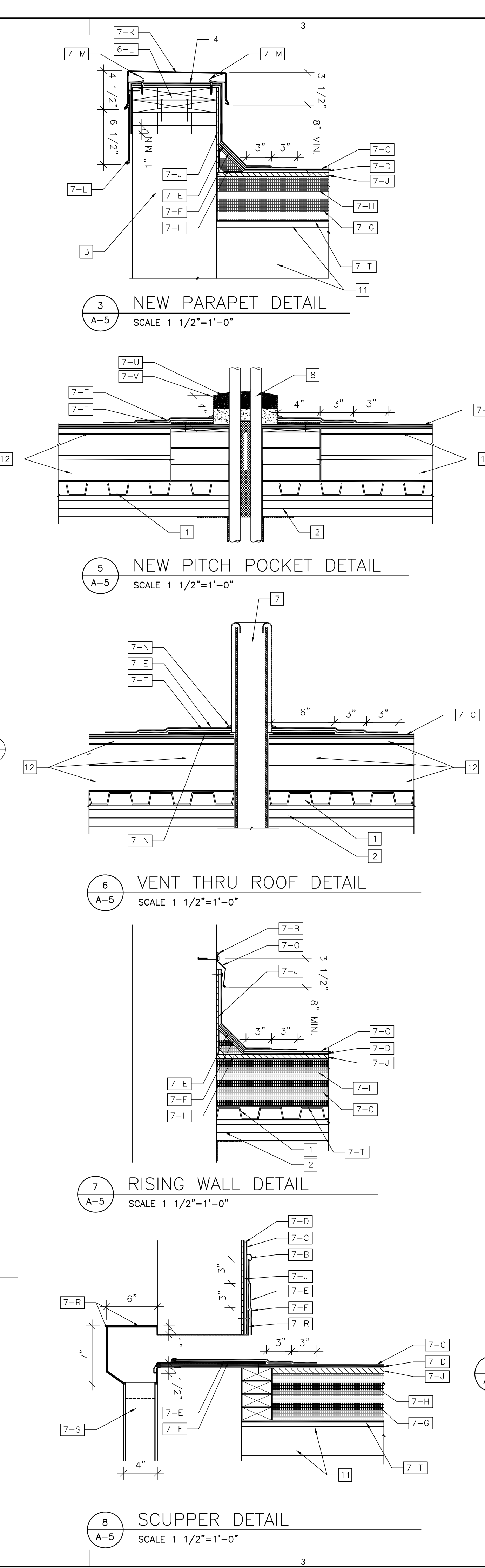
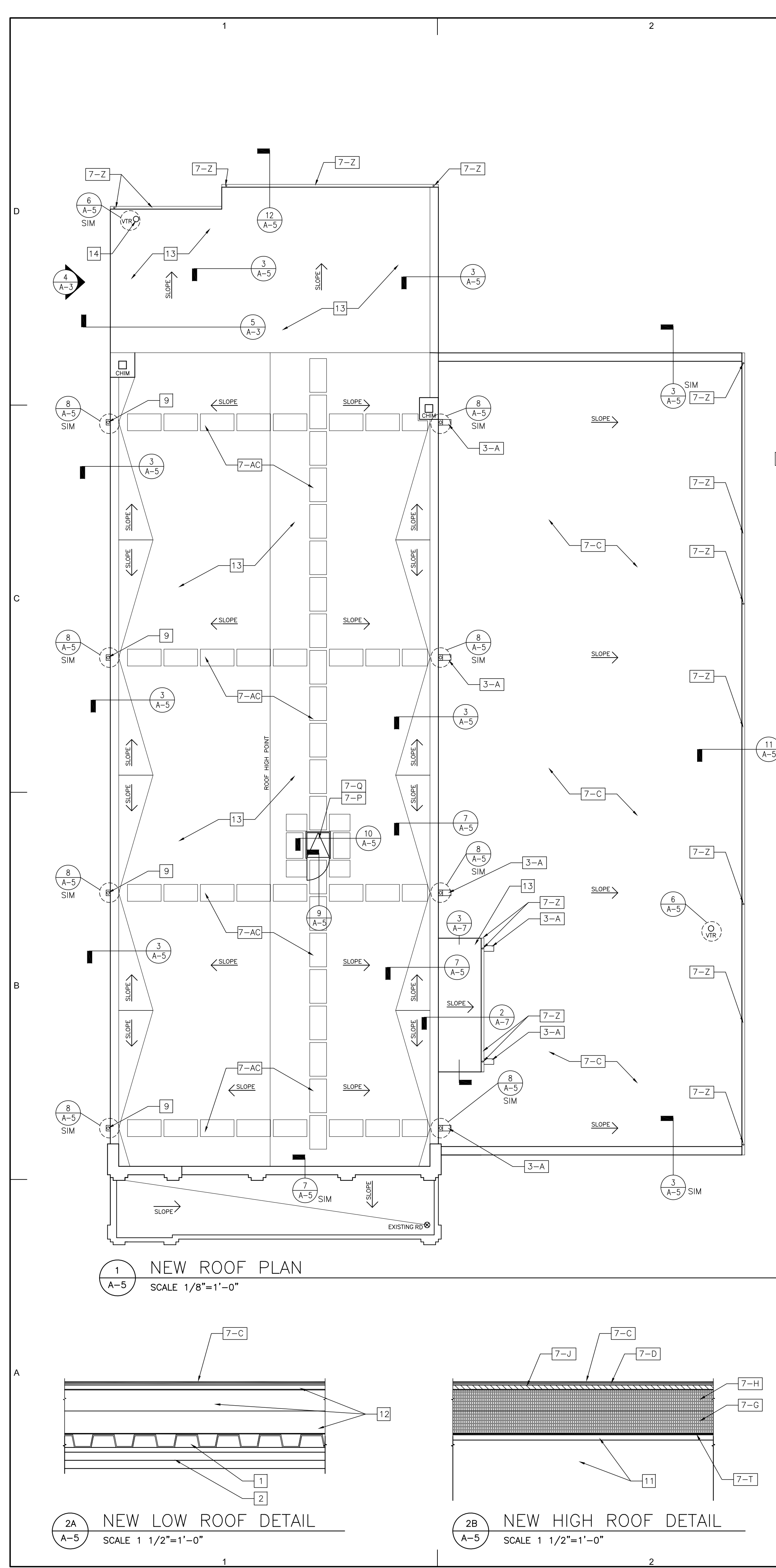
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#	Issue/Revision	Date
1	BIDDING	07/18/2020

Sheet Title
NEW REFLECTED CEILING
PLANS

Sheet No.

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DRAWING KEYNOTES

- 3 CONCRETE SPLASH BLOCK
- 3-A NEW CONCRETE SPLASH BLOCK
- 6 WOODS AND PLASTICS
 - 6-L NEW FIRE TREATED 2"x10" WOOD BLOCKING (FASTEN TO EXISTING WOOD BLOCKING USING (2)#10 SCREWS @ 36" O.C.. FASTEN EXISTING WOOD BLOCKING TO MASONRY USING (2) POWDER-ACTUATED FASTENER 0.157" X-U STAGGERED @18" O.C.. FASTEN NEW WOOD BLOCKING TO EXISTING AND NEW WOOD BLOCKING BY STAGGERING (2)#10 SCREWS @36" O.C. EACH PIECE OF NEW WOOD BLOCKING)
- 7 THERMAL AND MOISTURE PROTECTION
 - 7-B NEW SEALANT
 - 7-C NEW SBS MODIFIED BITUMINOUS GRANULE SURFACE CAP SHEET
 - 7-D NEW SBS MODIFIED BITUMINOUS BASE SHEET
 - 7-E NEW SBS MODIFIED BITUMINOUS GRANULE SURFACE FLASHING CAP SHEET
 - 7-F NEW SBS MODIFIED BITUMINOUS FLASHING BASE SHEET
 - 7-G NEW 3" THICK POLYISOCYANURATE INSULATION
 - 7-H NEW 2 1/2" THICK POLYISOCYANURATE INSULATION
 - 7-I NEW INSULATION CANT STRIP
 - 7-J NEW 1/2" THICK RECOVERY BOARD
 - 7-K NEW COPING
 - 7-L NEW COPING EXTENSION
 - 7-M NEW COPING ANCHOR CLIP
 - 7-N NEW FLASHING CEMENT
 - 7-O NEW TERMINATION BAR
 - 7-P NEW ROOF HATCH
 - 7-Q NEW ACCESS HATCH GUARDRAIL

- 7-R NEW ALUMINUM SCUPPER BOX
- 7-S NEW ALUMINUM DOWNSPOUT WITH STRAPS @ 4'-0" VERTICALLY
- 7-T NEW VAPOR RETARDER
- 7-U NEW POURABLE SEALER- 2" MIN. DEPTH
- 7-V NEW STAINLESS STEEL PITCH POCKET BOX
- 7-W NEW EDGE METAL EXTENSION
- 7-X NEW EDGE METAL
- 7-Y NEW ROOF DRAIN
- 7-Z NEW GUTTER AND DOWNSPOUT
- 7-AC NEW ROOF WALK PADS

CONSTRUCTION NOTES

- 1 EXISTING STEEL ROOF DECK
- 2 EXISTING STEEL ROOF JOIST
- 3 EXISTING MASONRY WALL
- 4 EXTEND BASE FLASHING TO OVER NEW FIRE TREATED WOOD BLOCKING
- 5 NEW EQUIPMENT CURB - SEE STRUCTURAL DRAWINGS FOR ANCHORAGE
- 6 NEW ROOF HATCH OPENING - SEE STRUCTURAL DRAWINGS FOR ANCHORAGE
- 7 NEW VENT THRU ROOF
- 8 NEW CONDUIT
- 9 REPLACE EXISTING SCUPPER AND DOWNSPOUT WITH NEW SCUPPER AND DOWNSPOUT
- 10 REPLACE EXISTING ROOF DRAIN WITH NEW ROOF DRAIN
- 11 EXISTING PLYWOOD ROOF DECK ON WOOD ROOF RAFTERS
- 12 EXISTING INSULATION AND BUILT UP ROOF
- 13 NEW SBS MODIFIED BITUMEN ROOF SYSTEM - REFER TO DETAIL 2B/A-5
- 14 EXTEND EXISTING ROOF VENT

**ALTERATIONS
RIVERSIDE FIRE COMPANY NO. 1**

Location
RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

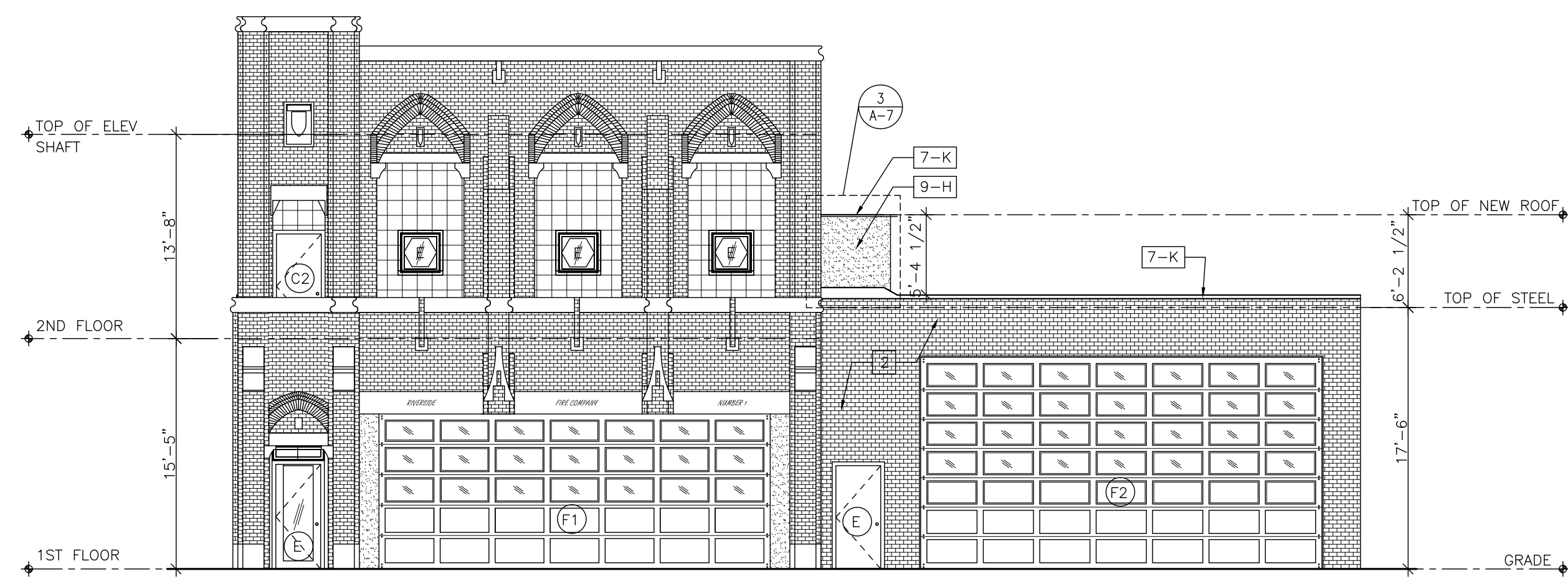
PROJECT #
19509
Date
07/18/2020
Architect
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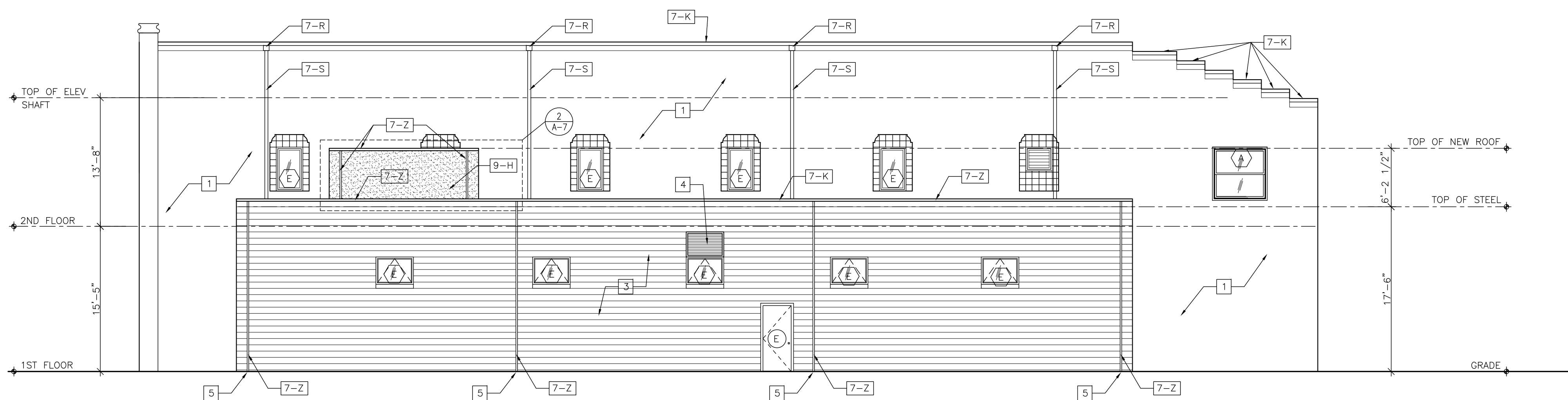
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Sheet Title
NEW ROOF PLAN AND DETAILS

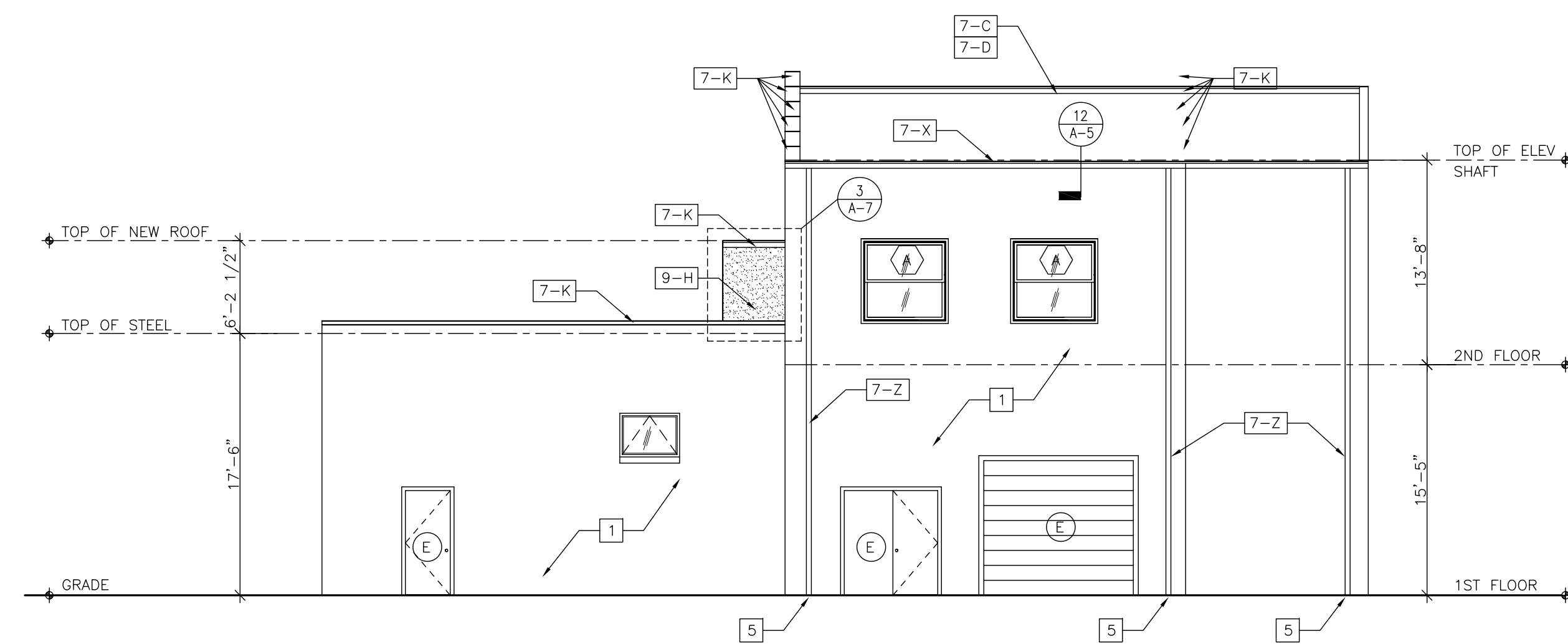
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1 FRONT ELEVATION
SCALE 1/8"=1'-0"



2 SIDE ELEVATION
SCALE 1/8"=1'-0"



3 REAR ELEVATION
SCALE 1/8"=1'-0"

LEGEND

- (E) EXISTING WINDOW OR GLASS BLOCK
- (A) NEW WINDOW TYPE

DRAWING KEYNOTES

- 7 THERMAL AND MOISTURE PROTECTION
- 7-C NEW SBS MODIFIED BITUMINOUS GRANULE SURFACE CAP SHEET
- 7-D NEW SBS MODIFIED BITUMINOUS BASE SHEET
- 7-K NEW COPING
- 7-R NEW ALUMINUM SCUPPER BOX
- 7-S ALUMINUM DOWNSPOUT WITH STRAPS @ 4'-0" VERTICALLY
- 7-X NEW EDGE METAL
- 7-Z NEW GUTTER AND DOWNSPOUT
- 9 FINISHES
- 9-H NEW STUCCO FINISH

CONSTRUCTION NOTES

- 1 EXISTING CONCRETE BLOCK WITH STUCCO FINISH
- 2 EXISTING BRICK
- 3 EXISTING CONCRETE BLOCK
- 4 NEW EXHAUST EXTRACTION EQUIPMENT - SEE MECHANICAL DRAWINGS FOR MORE INFORMATION - INSTALL NEW 1/4" STEEL LINTEL ABOVE.
- 5 CONNECT TO EXISTING STORM DRAINS

ALTERATIONS
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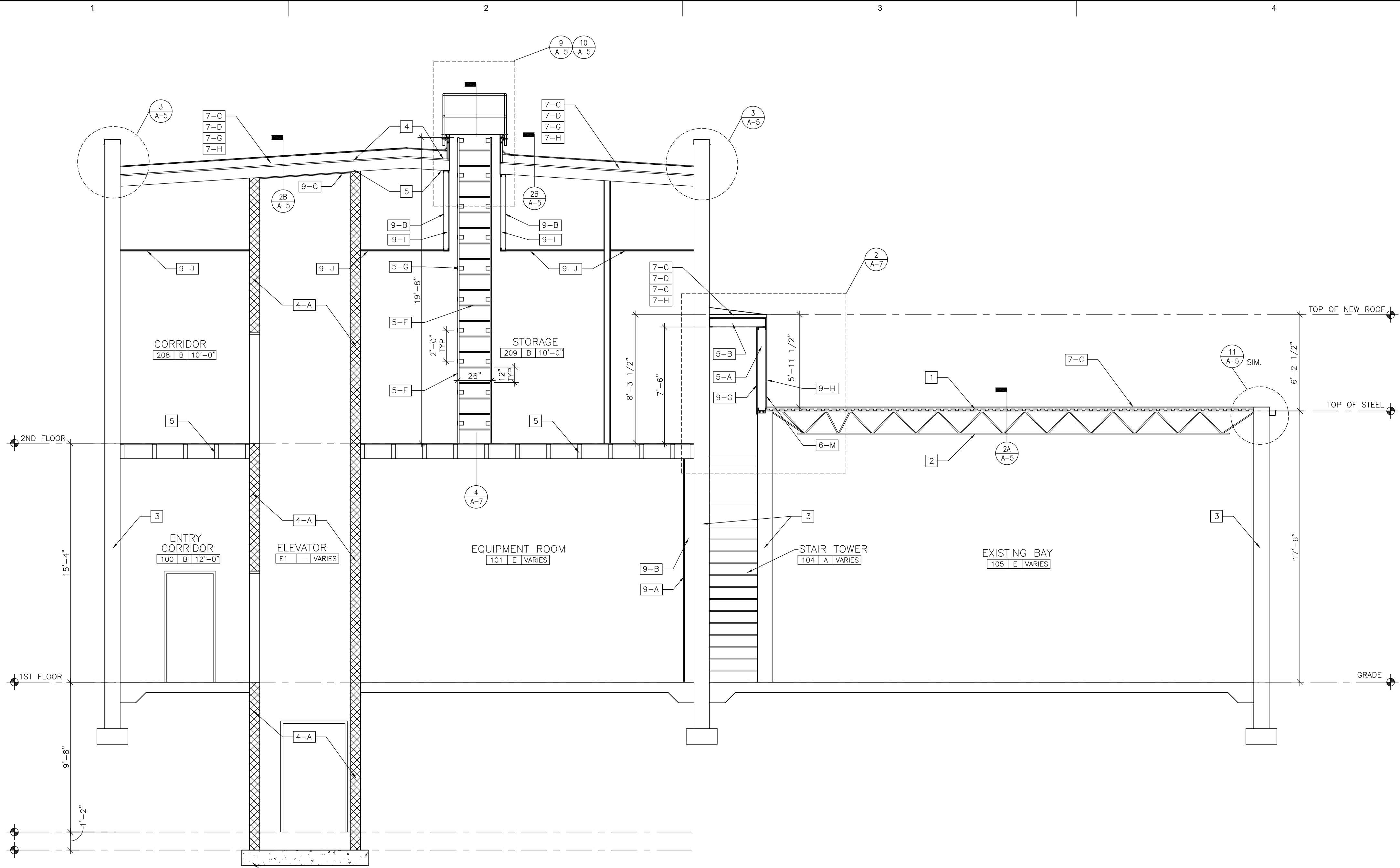
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Sheet Title
EXTERIOR ELEVATIONS

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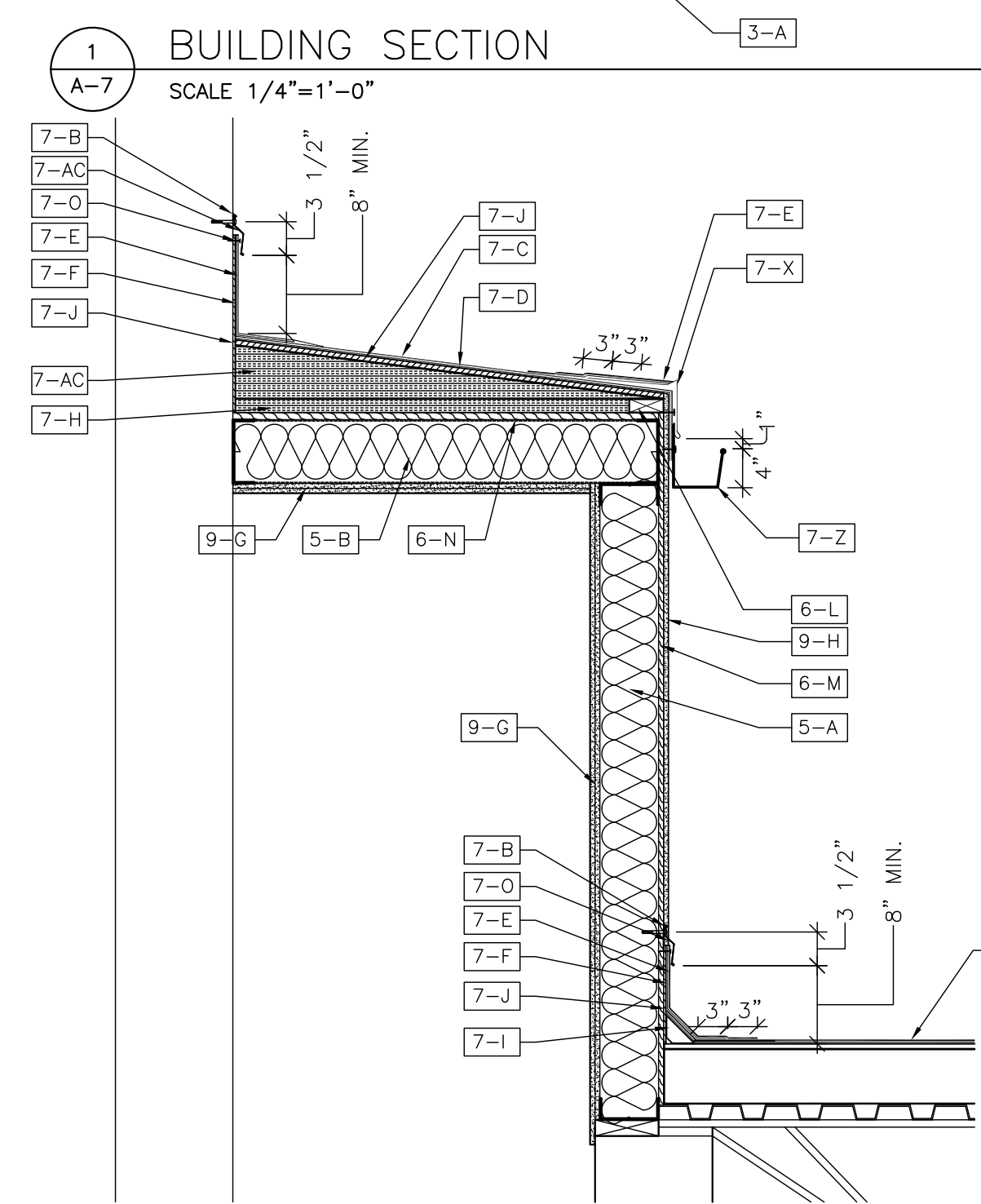


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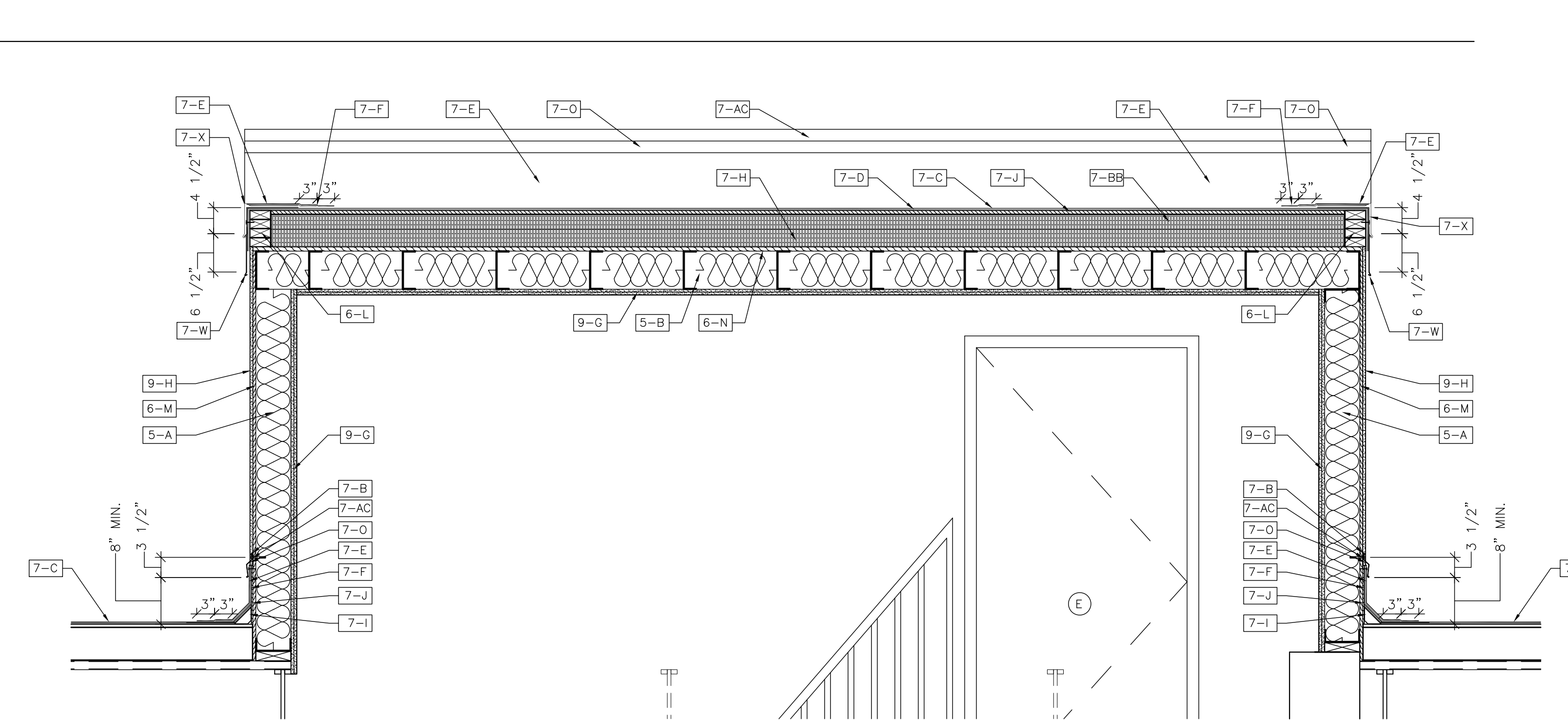
- 3 CONCRETE
- 3-A NEW CONCRETE SLAB/FOOTING - SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
- 4 MASONRY
- 4-A NEW 8-INCH THICK CMU WALL - SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
- 5 METALS
- 5-A NEW 6-INCH STEEL STUD @16" O.C. - SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
- 5-B NEW 6-INCH STEEL JOIST @16" O.C. - SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
- 5-D NEW 6-INCH STEEL STUD @16" O.C. TO UNDERSIDE OF ROOF STRUCTURE
- 5-E NEW STEEL FIXED LADDER
- 5-F NEW 3/4" CORRUGATED STEEL ROUND CLIMBING RUNG
- 5-G NEW 4" X 3/8" BENT STEEL PLATE STANDOFF @24" O.C. VERTICAL
- 6 WOOD, PLASTIC AND COMPOSITES
- 6-L NEW FIRE TREATED 2"x10" WOOD BLOCKING (FASTEN TO EXISTING WOOD BLOCKING USING (2)#10 SCREWS @ 36" O.C., FASTEN EXISTING WOOD BLOCKING TO MASONRY USING (2) POWDER-ACTUATED FASTENER 0.157" X-U STAGGERED @18" O.C., FASTEN NEW WOOD BLOCKING TO EXISTING AND NEW WOOD BLOCKING BY STAGGERING (2)#10 SCREWS @36" O.C. EACH PIECE OF NEW WOOD BLOCKING)
- 6-M NEW 1/2" EXTERIOR PLYWOOD SHEATHING
- 6-N NEW 3/4" EXTERIOR PLYWOOD SHEATHING
- 6-O NEW (2)2"x6" FIRE TREATED SOLID WOOD BLOCKING
- 7 THERMAL AND MOISTURE PROTECTION
- 7-B NEW SEALANT
- 7-C NEW SBS MODIFIED BITUMINOUS GRANULE SURFACE CAP SHEET
- 7-D NEW SBS MODIFIED BITUMINOUS BASE SHEET
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- 7-O NEW TERMINATION BAR
- 7-T NEW VAPOR RETARDER
- 7-W NEW EDGE METAL EXTENSION
- 7-X NEW EDGE METAL
- 7-Z NEW GUTTER AND DOWNSPOUT
- 7-AB NEW R-19 BATT INSULATION
- 7-AC NEW POLYISOCYANURATE TAPERED INSULATION
- 7-AD NEW METAL COUNTER FLASHING
- 9 FINISHES
- 9-A NEW 5/8" FIRECODE GYPSUM WALLBOARD - USE MOISTURE RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM LOCATIONS
- 9-B NEW 3 5/8" METAL STUDS @16" O.C.
- 9-G NEW 2 LAYERS OF 5/8" FIRECODE GYPSUM WALLBOARD
- 9-H NEW STUCCO EXTERIOR FINISH
- 9-I NEW 5/8" FIRECODE GYPSUM WALLBOARD
- 9-J NEW 2'-0" X 2'-0" ACOUSTICAL TILE CEILING AND GRID

CONSTRUCTION NOTES

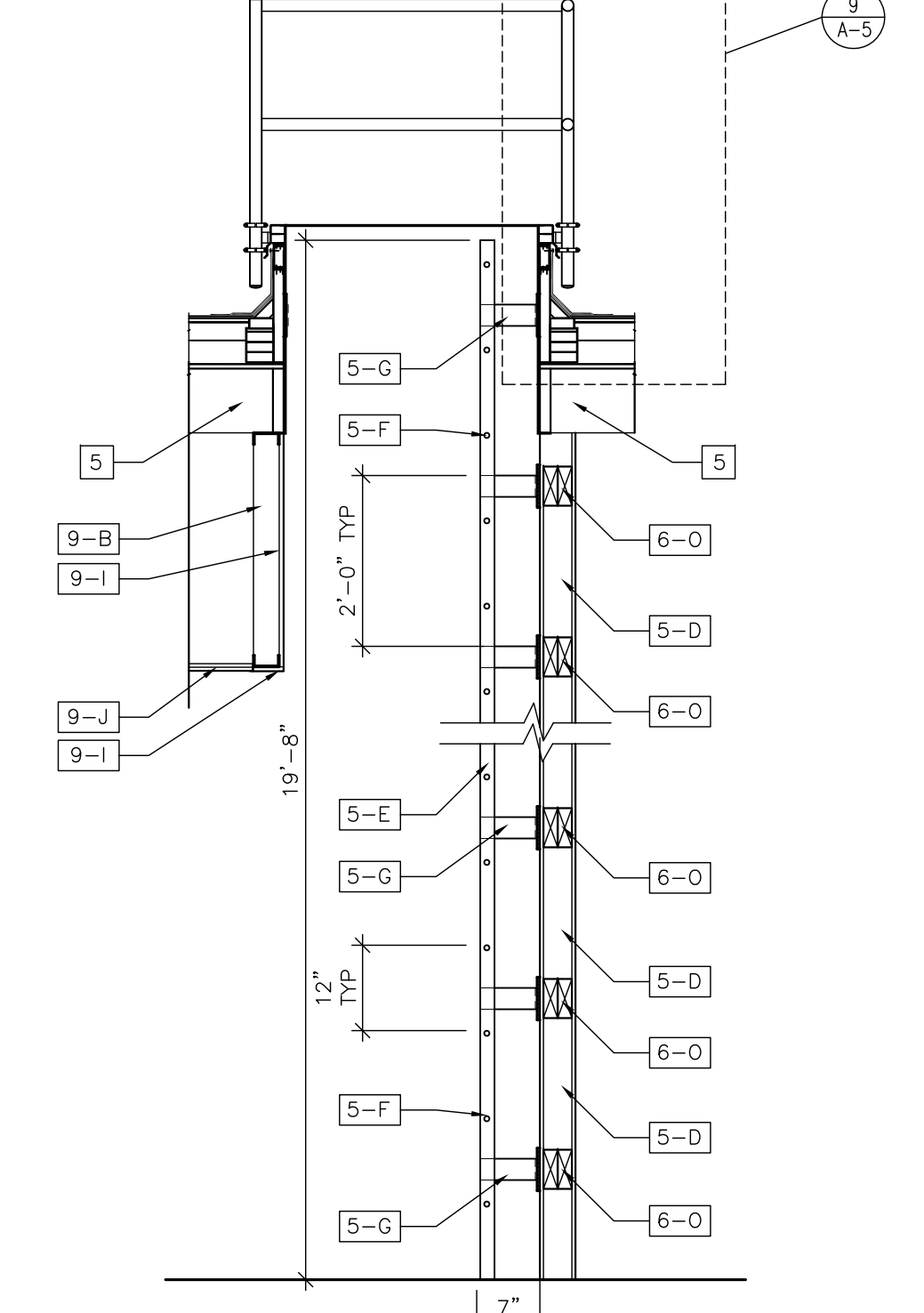
- 1 EXISTING STEEL ROOF DECK
- 2 EXISTING STEEL ROOF JOIST
- 3 EXISTING MASONRY WALL
- 4 EXISTING WOOD ROOF DECK
- 5 REFER TO STRUCTURAL DRAWINGS FOR FRAMING DETAILS
- 6 EXISTING WOOD FLOOR STRUCTURE



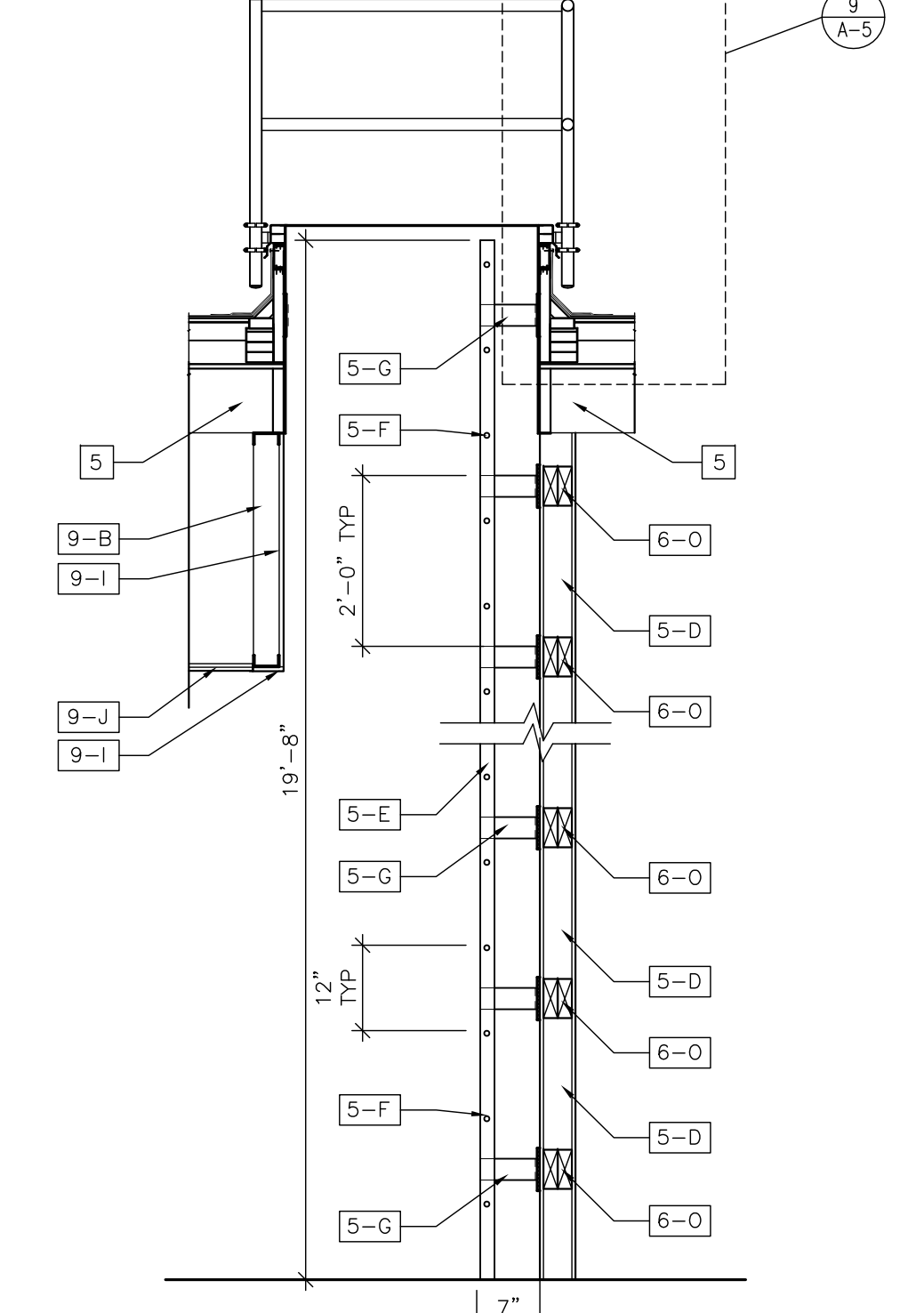
1 BUILDING SECTION
SCALE 1/4"=1'-0"



2 ENLARGED STAIR ROOF/WALL SECTION
SCALE 3/4"=1'-0"



3 ENLARGED STAIR ROOF/WALL SECTION
SCALE 3/4"=1'-0"



4 LADDER SECTION
SCALE 3/4"=1'-0"

ALTERATIONS
RIVERSIDE FIRE COMPANY NO. 1

Location
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PROJECT #
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Sheet Title
NEW BUILDING SECTION

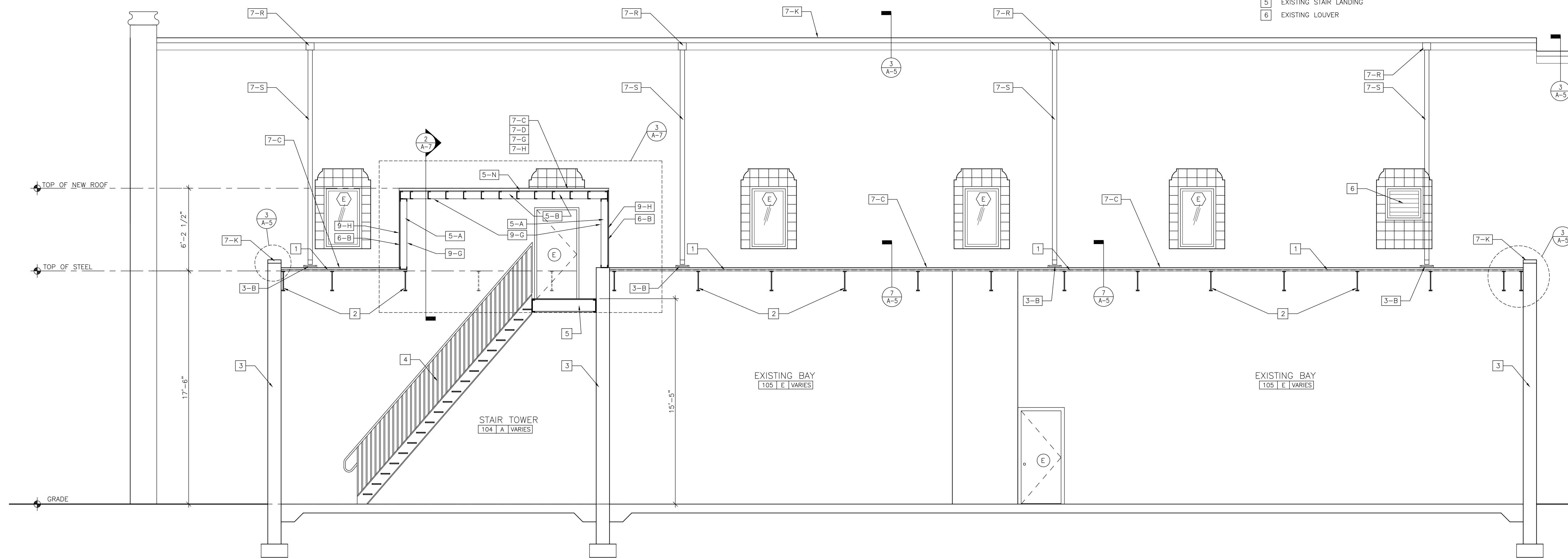
Sheet No.
A-7

DRAWING KEYNOTES

- 3 CONCRETE
 - 3-A NEW CONCRETE SLAB/FOOTING - SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
 - 3-B NEW CONCRETE SPLASH BLOCK
- 4 MASONRY
 - 4-A NEW 8-INCH THICK CMU WALL- SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
- 5 METALS
 - 5-A NEW 6-INCH STEEL STUD @16" O.C. - SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
 - 5-B NEW 6-INCH STEEL JOIST @16" O.C. - SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
- 6 WOOD, PLASTIC AND COMPOSITES
 - 6-B NEW 1/2" EXTERIOR PLYWOOD SHEATHING
 - 6-N NEW 3/4" PLYWOOD ROOF SHEATHING
- 7 THERMAL AND MOISTURE PROTECTION
 - 7-C NEW SBS MODIFIED BITUMINOUS GRANULE SURFACE CAP SHEET
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 - 7-R NEW ALUMINUM SCUPPER BOX
 - 7-S ALUMINUM DOWNSPOUT WITH STRAPS @ 4'-0" VERTICALLY
 - 7-X NEW EDGE METAL
 - 7-Z NEW GUTTER AND DOWNSPOUT
- 9 FINISHES
 - 9-A NEW 5/8" FIRECODE GYPSUM WALLBOARD - USE MOISTURE RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM LOCATIONS
 - 9-B NEW 3 5/8" METAL STUDS @16" O.C.
 - 9-G NEW 2 LAYERS OF 5/8" FIRECODE GYPSUM WALLBOARD
 - 9-H NEW STUCCO EXTERIOR FINISH

CONSTRUCTION NOTES

- 1 EXISTING STEEL ROOF DECK
- 2 EXISTING STEEL ROOF JOIST
- 3 EXISTING MASONRY WALL
- 4 EXISTING STAIR AND RAILING
- 5 EXISTING STAIR LANDING
- 6 EXISTING LOUVER



1 BUILDING SECTION
A-B SCALE 1/4"=1'-0"

**ALTERATIONS
RIVERSIDE FIRE COMPANY NO. 1**

Location
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RIVERSIDE, NJ 08075

PROJECT #
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1	BIDDING	07/18/2020

Sheet Title
SECTION

Sheet No.

A-8

GENERAL STRUCTURAL AND CONSTRUCTION NOTES

1.0 GENERAL

1. ALL WORK SHALL CONFORM TO THE "2018 NEW JERSEY UNIFORM CONSTRUCTION CODE" AND TO ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
2. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, SPECIFICATIONS, AND DETAILS, THE MOST RIGID REQUIREMENTS SHALL GOVERN.
3. WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.
4. JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
5. THE CONTRACTOR SHALL PROVIDE FOR DEWATERING AS REQUIRED DURING EXCAVATION AND CONSTRUCTION. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
6. THE CONTRACTOR SHALL COORDINATE OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PADS, INSERTS, AND DEPRESSIONS SHOWN ON THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
7. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MASONRY AND DRYWALL NON-LOAD BEARING PARTITIONS. PROVIDE SLIP CONNECTIONS THAT ALLOW VERTICAL MOVEMENT AT THE HEADS OF ALL SUCH PARTITIONS. CONNECTIONS SHALL BE DESIGNED TO SUPPORT THE TOP OF THE WALLS LATERALLY FOR THE CODE-REQUIRED LATERAL LOAD.
8. ALL COSTS OF INVESTIGATION AND/OR REDESIGN DUE TO CONTRACTOR IMPROPER INSTALLATION OF STRUCTURAL ELEMENTS OR OTHER ITEMS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
9. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS, ARCHITECTURAL AND MECHANICAL DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO PERFORMING THE WORK.
10. THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, ETC.) AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO FABRICATION OF ANY STRUCTURAL COMPONENT.
11. THE CONTRACTOR SHALL VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. FAILURE TO NOTIFY ENGINEER OF UNSATISFACTORY CONDITIONS CONSTITUTES ACCEPTANCE OF UNSATISFACTORY CONDITIONS.
12. IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND PROVIDE A SKETCH OF THE CONDITION WITH HIS PROPOSED MODIFICATION OF THE DETAILS GIVEN ON THE CONTRACT DOCUMENTS. DO NOT COMMENCE WORK UNTIL CONDITION IS RESOLVED AND MODIFICATION IS APPROVED BY THE ARCHITECT.
13. WHERE ALTERATIONS INVOLVE THE EXISTING SUPPORTING STRUCTURE, THE CONTRACTOR SHALL PROVIDE SHORING AND PROTECTION REQUIRED TO ENSURE THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, STAGINGS, BRACINGS, SHEETINGS, AND SHORINGS, ETC.
15. CONTRACTOR TO PROVIDE SHEETING, BRACING, AND UNDERPINNING AS NECESSARY TO PREVENT ANY LATERAL OR VERTICAL MOVEMENTS OF EXISTING BUILDINGS, STREETS, AND ANY EXISTING UTILITY LINES.
16. IN NO CASE SHALL HEAVY EQUIPMENT BE PERMITTED CLOSER THAN 8'-0" FROM ANY FOUNDATION WALL. IF IT IS NECESSARY TO OPERATE SUCH EQUIPMENT CLOSER THAN 8'-0" TO THE WALL, THE CONTRACTOR SHALL BE THE SOLE RESPONSIBLE PARTY AND, AT HIS OWN EXPENSE, SHALL PROVIDE ADEQUATE SUPPORTS OR BRACE THE WALL TO WITHSTAND THE ADDITIONAL LOADS SUPERIMPOSED FROM SUCH EQUIPMENT.
17. SHOP DRAWINGS FOR ALL STRUCTURAL MATERIALS TO BE SUBMITTED TO ENGINEER FOR REVIEW PRIOR TO THE START OF FABRICATION OR COMMENCEMENT OF WORK. REVIEW PERIOD SHALL BE A MINIMUM OF TWO (2) WEEKS.
18. REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
19. SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THE CONTRACTOR HAS VERIFIED ALL CONSTRUCTION CRITERIA, MATERIALS, AND SIMILAR DATA AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION, AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.
20. THE SHOP DRAWINGS SHALL INCLUDE DIMENSIONED FLOOR AND ROOF EDGES, OPENINGS AND SLEEVES AT ALL FLOORS REQUIRED FOR ALL TRADES.
21. THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON PENNONI CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF PENNONI ARE INVALID.
22. THE STRUCTURAL DRAWINGS SHALL GOVERN THE WORK FOR ALL STRUCTURAL FEATURES, UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DRAWINGS SHALL GOVERN THE WORK FOR ALL DIMENSIONS.
23. INSPECTION IS REQUIRED OF ALL CONSTRUCTION DELINEATED ON THE STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL EMPLOY A TESTING/INSPECTION AGENCY WHICH SHALL PROVIDE PERSONNEL WITH THE FOLLOWING MINIMUM QUALIFICATIONS:
 - A. CERTIFIED BY INSTITUTE OF CERTIFIED ENGINEERING TECHNICIANS, OR OTHER RECOGNIZED COMPARABLE ORGANIZATION, AND:
 - FOR INSPECTION, SAMPLING, TESTING CONCRETE AND MASONRY: ACI CERTIFIED CONCRETE FIELD-TESTING TECHNICIAN, GRADE I; AND CONSTRUCTION INSPECTOR, LEVEL II.
 - STRUCTURAL STEEL INSPECTION: AWS CERTIFIED WELDING INSPECTOR.
24. SUBMIT PERIODIC REPORTS WITHIN ONE BUSINESS DAY AFTER RECEIPT BY THE CONTRACTOR TO ENGINEER AND THE CONSTRUCTION CODE OFFICIAL DURING CONSTRUCTION. SUBMIT FINAL INSPECTION REPORT SUMMARY FOR EACH DIVISION OF WORK, CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER, THAT INSPECTIONS WERE PERFORMED AND THAT WORK WAS PERFORMED IN ACCORDANCE WITH CONTRACT DOCUMENTS.
25. THE OWNER SHALL ENGAGE A TESTING AGENCY TO PROVIDE TESTING SERVICES AS INDICATED IN EACH SECTION OF THESE GENERAL NOTES.
26. ALL MATERIALS SHALL BE STORED TO PROTECT THEM FROM EXPOSURE TO THE ELEMENTS.

2.0 EARTHWORK

1. ENGINEERED (CONTROLLED COMPACTED) FILL WITHIN THE BUILDING AREA SHALL BE CONSTRUCTED PRIOR TO FOOTING (OR PILE CAP) EXCAVATION. SEE SPECIFICATIONS FOR REQUIREMENTS OF CONTROLLED COMPACTED FILL.
 2. EXCAVATION SHALL BE PERFORMED SO AS NOT TO DISTURB EXISTING ADJACENT BUILDINGS, STREETS, AND UTILITY LINES. VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE AROUND UTILITIES AS REQUIRED.
 3. SEE THE SPECIFICATIONS AND GEOTECHNICAL REPORT FOR EXCAVATION, BACKFILL, AND PREPARATION OF THE FOUNDATION AND SLAB-ON-GRADE SUBGRADE, INCLUDING COMPACTION REQUIREMENTS.
 4. SATISFACTORY FILL MATERIALS ARE THOSE COMPLYING WITH ASTM D2491, GROUPS GN, GP, GM, SM, SW, AND SP. ON SITE BORROW MATERIAL SHALL BE TESTED TO DETERMINE SUITABILITY FOR USE AS FILL MATERIAL.
 5. COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DENSITY OF MODIFIED PROCTOR (ASTM D1557):
 - UNDER BUILDING FOUNDATIONS - 98%
 - UNDER BUILDING SLABS, STEPS, PAVEMENTS - 95%
 6. REMOVE EXISTING VEGETATION, TOPSOIL, AND UNSATISFACTORY SOIL MATERIALS. PROOF ROLL SUBGRADE TO OBTAIN UNIFORMLY DENSIFIED SUBSTRATA PRIOR TO PLACING FILL MATERIAL EVENLY IN 8" THICK (MAXIMUM) LAYERS AND COMPACTING TO REQUIRED DENSITY.
 7. THE OWNER SHALL RETAIN THE SERVICES OF A PROFESSIONAL GEOTECHNICAL ENGINEER SUBJECT TO THE APPROVAL OF THE ARCHITECT, TO PERFORM SOIL TESTING AND INSPECTION. THE ENGINEER SHALL INSPECT THE SUBGRADE TO VERIFY BEARING LEVELS AND ENSURE THAT THE SAFE BEARING CAPACITY MEETS OR EXCEEDS THE DESIGN VALUE INDICATED BELOW. REPORTS SHALL BE SUBMITTED TO THE ARCHITECT OUTLINING THE WORK PERFORMED AND TEST RESULTS.
 - 8. BACKFILL SHALL BE BROUGHT UP SIMULTANEOUSLY ON EACH SIDE OF WALLS AND GRADE BEAMS, WITH A GRADE DIFFERENCE NOT TO EXCEED 2'-0" AT ANY TIME.
- 3.0 FOUNDATIONS
1. FOUNDATIONS HAVE BEEN DESIGNED AND FOOTING ELEVATIONS ESTABLISHED IN ACCORDANCE WITH THE INFORMATION SHOWN ON THE EXISTING BUILDING DRAWINGS AND IN ACCORDANCE WITH IBC 2018 SECTION 1806. A NEW SUBSURFACE INVESTIGATION REPORT, WITH FOUNDATION RECOMMENDATIONS, HAS NOT BEEN PROVIDED BY THE OWNER FOR THIS PROJECT AT THIS TIME. THE SOIL INFORMATION AND BEARING CAPACITY SHALL BE VERIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
 2. FOOTINGS SHALL BEAR ON UNDISTURBED STRATUM OR ENGINEERED FILL WITH A MINIMUM BEARING CAPACITY OF 2500 PSF USING TABLE 1806.2 AND ASSUMED SOIL TYPE OF SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SM, SP, SC, GM AND GC).
 3. PRIOR TO FOOTING CONCRETE PLACEMENT, THE FOOTING SUBGRADE SHALL BE APPROVED BY THE INSPECTING GEOTECHNICAL ENGINEER. IF CONDITIONS PROVE TO BE UNACCEPTABLE AT ELEVATIONS SHOWN, FOOTING BOTTOMS SHALL BE LOWERED TO ACCEPTABLE SUBGRADE MATERIAL. FILL OVER-EXCAVATION WITH LEAN CONCRETE (2500 PSI).
 4. THE BEARING ELEVATIONS OF NEW FOOTINGS ADJACENT TO EXISTING FOOTINGS ARE TO MATCH THE ADJACENT EXISTING FOOTING BEARING ELEVATIONS UNLESS INDICATED OTHERWISE ON PLANS.
 5. SLABS ON GRADE SHALL BEAR ON MECHANICALLY COMPACTED SOIL CAPABLE OF SUPPORTING 150 PSF. DRAINAGE FILL UNDER SLABS SHALL BE COMPACTED GRAVEL OR CRUSHED STONE.
 6. CONCRETE FOR FOUNDATIONS SHALL BE POURED ON THE SAME DAY THE SUBGRADE IS APPROVED BY THE GEOTECHNICAL ENGINEER.
 7. UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEER'S APPROVAL.
 8. THE CONTRACTOR SHALL OBSERVE WATER CONDITIONS AT THE SITE AND TAKE THE NECESSARY PRECAUTIONS TO ENSURE THAT THE FOUNDATION EXCAVATIONS REMAIN DRY DURING CONSTRUCTION. ANY SHEETING OR SHORING REQUIRED FOR DEWATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE NEED TO USE FOUNDATION REBAR AS A GROUNDING ELECTRODE SYSTEM AND SHALL BE RESPONSIBLE FOR INSTALLING THE BONDING CLAMP PRIOR TO PLACEMENT OF THE CONCRETE AS PER NJICC BULLETIN NO. 02-2.

DELEGATED DESIGN / DEFERRED SUBMITTALS

1. ALL DESIGN REQUIREMENTS, LOADING, PERFORMANCE CRITERIA, SUBMISSION STANDARDS AND ANY OTHER APPLICABLE INFORMATION IS LOCATED IN THE GENERAL NOTES, DESIGN DATA, PLANS, SECTIONS, DETAILS AND SPECIFICATIONS (CONSTRUCTION DOCUMENTS) FOR THE DELEGATED DESIGN OF THE COMPONENTS NOTED. **BY BIDDING ON THIS PROJECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE DESIGN OF THE COMPONENTS DELEGATED BY THESE CONTRACT DOCUMENTS AND ACCEPTS THAT THERE IS ADEQUATE INFORMATION SHOWN ON THE CONTRACT DOCUMENTS TO PERFORM THE DELEGATED DESIGN.**
2. A BID SUBMISSION THAT DOES NOT INCLUDE THE REQUIRED DELEGATED DESIGN WILL RESULT IN THE REJECTION OF ANY AND ALL CONSTRUCTION PHASE SUBMISSIONS, RFIs AND SHOP DRAWINGS.
3. THE ARCHITECTURAL AND STRUCTURAL DRAWINGS MAY SHOW DETAILS FOR DELEGATED DESIGN COMPONENTS, INCLUDING MINIMUM OR MAXIMUM ASSEMBLY REQUIREMENTS (I.E. DEPTH, GAGE, LENGTH, SPAN OR SPACINGS), OR SUGGESTED ATTACHMENT METHODS. THESE DETAILS AND INFORMATION ARE INTENDED TO BE SCHEMATIC IN NATURE, AND ARE NOT INTENDED TO BE USED FOR BID QUANTITIES. THE CONTRACTOR SHALL MAKE ALLOWANCES IN THEIR BID TO ACCOMMODATE THE COST OF THE ACTUAL ASSEMBLIES AFTER DELEGATED DESIGN IS COMPLETE.
4. THE DESIGN OF DELEGATED COMPONENTS IS THE RESPONSIBILITY OF THE CONTRACTOR'S ENGINEER, WHO MUST BE REGISTERED IN THE PROJECT'S JURISDICTION. ALL SUBMITTALS SHALL BEAR THIS ENGINEER'S SEAL AND SIGNATURE. THE ENGINEER MUST BE QUALIFIED TO DESIGN THE DESIGNATED ASSEMBLY AND MUST BE ABLE TO DEMONSTRATE PRIOR EXPERIENCE WITH THE DESIGN OF THE ASSEMBLY. REVIEW SHALL BE FOR GENERAL CONFORMANCE WITH THE PROJECT REQUIREMENTS AS INDICATED ON THE DRAWINGS AND IN THE GENERAL NOTES.
5. THE CONTRACTOR SHALL SUBMIT, FOR REVIEW, DRAWINGS AND CALCULATIONS FOR ALL PERFORMANCE ASSEMBLIES IDENTIFIED BELOW.
6. DELEGATED DESIGNS SHALL ALSO BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION AS DEFERRED SUBMITTALS AS PART OF THE PERMIT APPROVAL PROCESS.

DELEGATED DESIGNS:

- A. THE MEP CONTRACTOR SHALL PROVIDE PRE-FRABRICATED METAL OR WOOD ROOF CURBS, INCLUDING ANCHORAGE, BELOW ROOF TOP EQUIPMENT. WHERE EQUIPMENT SITS ON STEEL DUNNAGE, ALL ATTACHMENTS BETWEEN THE EQUIPMENT AND THE DUNNAGE SHALL BE PROVIDED BY THE MEP CONTRACTOR. ATTACHMENTS SHALL BE DESIGNED TO SUPPORT THE WEIGHT OF THE EQUIPMENT IN ADDITION TO ALL APPLICABLE LATERAL FORCES. REFER TO TYPICAL DETAILS FOR ADDITIONAL INFORMATION.
- B. BRACING, SHEETING, SHORING, ETC., REQUIRED TO ENSURE THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDINGS OR NEW CONSTRUCTION, SIDEWALKS, UTILITIES, ETC., SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER ENGAGED BY THE CONTRACTOR. CONTRACTOR TO PROVIDE TEMPORARY SUPPORT OF EXPOSED UTILITIES WITHIN EXCAVATED AREAS. DETAILED SIGNED AND SEALED SHOP DRAWINGS SHALL BE PREPARED INDICATING ALL WORK TO BE PERFORMED. SUBMIT THE SHOP DRAWINGS IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS.

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**ALTERATIONS
RIVERSIDE FIRE COMPANY 1**

Location
RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

PROJECT #

19509

Date

06/24/2020

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#	Issue/Revision	Date
1	BID SET	07/17/2020

Sheet Title
GENERAL STRUCTURAL NOTES

Sheet No.

S-01
Sheet 1 of 4

NOT FOR CONSTRUCTION

7.0 SPECIAL INSPECTIONS, TESTING AND OBSERVATIONS

GENERAL

1. ACTING AS THE SPECIAL INSPECTION COORDINATOR, THE STRUCTURAL ENGINEER OF RECORD (SER) WILL SUBMIT A STATEMENT OF SPECIAL INSPECTIONS (SSI) TO THE BUILDING OFFICIAL AS REQUIRED TO COMPLY WITH CHAPTER 17 (SPECIAL INSPECTIONS) OF THE 2018 INTERNATIONAL BUILDING CODE (IBC).
2. INSPECTION AND MATERIAL TESTING WILL BE REQUIRED FOR THE FOLLOWING BUILDING SYSTEMS IN COMPLIANCE WITH THE APPLICABLE REFERENCED CODE SECTION. SUBMIT A STATEMENT OF RESPONSIBILITY FOR WIND OR SEISMIC SITES AND PROJECTS IF INDICATED BELOW.

BUILDING SYSTEM, ELEMENT OR COMPONENT	IBC 2018 SECTION	INSPECTION REQUIRED
INSPECTION OF FABRICATORS	1704.2.5	N/A
SOILS	1705.6	YES
VERTICAL MASONRY FOUNDATION	1705.4.2	YES
CONCRETE	1705.3	YES
MASONRY	1705.4	YES
STEEL	1705.2	N/A
WOOD	1705.5	N/A
WIND	1705.11	NO
SEISMIC	1705.12	NO

3. SEE ARCHITECTURAL AND MEP DRAWINGS FOR SPECIAL INSPECTION REQUIREMENTS FOR EIFS AND SMOKE CONTROL DEVICES.
4. UNLESS OTHERWISE NOTED, SPECIAL INSPECTIONS ARE OWNER FURNISHED AS REQUIRED BY CHAPTER 17 OF THE IBC.
5. COORDINATE AND PROVIDE ACCESS TO THE WORK FOR REQUIRED SPECIAL INSPECTIONS AND PROVIDE NOTICE OF REQUIRED SPECIAL INSPECTIONS AND STRUCTURAL OBSERVATIONS.
6. THE SER IS NOT RESPONSIBLE FOR CONSTRUCTION SITE SAFETY AND IS NOT REQUIRED TO INSPECT THE WORK FOR COMPLIANCE WITH OSHA REGULATIONS AFTER COMPLETION OF THE WORK.
7. SHOP INSPECTIONS OF ANY APPROVED FABRICATORS MAY BE WAIVED BY THE BUILDING OFFICIAL OR SER, IF SHOP INSPECTIONS ARE WAIVED A FABRICATOR'S CERTIFICATE OF COMPLIANCE SHALL BE SUBMITTED TO THE SER.

SPECIAL INSPECTIONS AND TESTS

1. SPECIAL INSPECTIONS AND TESTS WILL COMPLY WITH CHAPTER 17 OF THE IBC TOGETHER WITH LOCAL AND STATE AMENDMENTS AND THE PROJECT SPECIFICATIONS.
2. SPECIAL INSPECTIONS WILL BE PROVIDED FOR EACH SYSTEM AND/OR MATERIAL. TESTING WILL BE PERFORMED BY AN APPROVED AND ACCREDITED AGENCY AND SUBJECT TO APPROVAL BY THE BUILDING OFFICIAL.
3. UNLESS OTHERWISE NOTED THE OWNER WILL SECURE AND PAY FOR THE SERVICES OF THE AGENCY TO PERFORM ALL SPECIAL INSPECTION AND ASSOCIATED TESTS.
4. THE SPECIAL INSPECTOR WILL OBSERVE THE INDICATED WORK FOR COMPLIANCE WITH THE APPROVED CONTRACT DOCUMENTS AND SUBMIT RECORDS OF INSPECTION. ALL DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR FOR CORRECTION.
5. SPECIAL INSPECTION AND ASSOCIATED TESTING REPORTS WILL BE SUBMITTED TO THE ENGINEER, CONTRACTOR, BUILDING OFFICIAL AND OWNER WITHIN ONE WEEK OF INSPECTION OR WITHIN ONE WEEK OF TEST COMPLETION.
6. IN ADDITION TO THE SUBMISSION OF ONGOING INSPECTION REPORTS, THE APPROVED INSPECTION AND TESTING AGENCIES SHALL SUBMIT AN AGENT'S FINAL REPORT OF SPECIAL INSPECTIONS TO THE SER. THE SER WILL SUBMIT A FINAL REPORT OF VERIFICATION OF SPECIAL INSPECTIONS AFTER REVIEW AND APPROVAL OF THE AGENT'S FINAL REPORT OF SPECIAL INSPECTIONS AFTER COMPLETION OF THE WORK.
7. PERIODIC INSPECTION IS DEFINED AS PART-TIME OR INTERMITTENT OBSERVATION OF WORK REQUIRING SPECIAL INSPECTION BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK IS BEING PERFORMED.
8. CONTINUOUS INSPECTION IS DEFINED AS FULL-TIME OBSERVATION OF WORK REQUIRING SPECIAL INSPECTION BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK HAS BEEN OR IS BEING PERFORMED.

STRUCTURAL OBSERVATIONS

1. THE PROJECT IS EXEMPT FROM THE REQUIREMENTS OF IBC SECTION 1710 FOR STRUCTURAL OBSERVATIONS.

LATERAL LOAD DESIGN		
2018 INTERNATIONAL BUILDING CODE / ASCE 7-16		
DESCRIPTION	SYMBOL	VALUE
BASIC WIND SPEED (3 SEC. GUST)	V	126 mph
RISK CATEGORY	--	IV
WIND EXPOSURE CATEGORY	--	C
INTERNAL PRESSURE COEFFICIENT	GC _m	±0.18
COMPONENTS AND CLADDING	SEE TABLE FOR C _{fc} SERVICE LEVEL PRESSURES	
SEISMIC		
DESCRIPTION	SYMBOL	VALUE
IMPORTANCE FACTOR	I _e	1.50
RISK CATEGORY	--	IV
MAPPED SPECTRAL RESPONSE SHORT PERIOD ACCELERATION	S _s	0.186g
MAPPED SPECTRAL RESPONSE 1-SECOND ACCELERATION	S ₁	0.048g
LONG-PERIOD TRANSITION PERIOD	T _L	6s
SITE CLASSIFICATION	--	D
DESIGN SPECTRAL RESPONSE SHORT PERIOD ACCELERATION	S _{DS}	0.199g
DESIGN SPECTRAL RESPONSE 1-SECOND ACCELERATION	S _{1S}	0.071g
SEISMIC DESIGN CATEGORY	SDC	C

FLOOR DESIGN LOADS	
LIVE LOAD	
BASIC LIVE LOAD	100
SIDEWALKS, VEHICULAR DRIVEWAYS AND YARDS SUBJECT TO TRUCKING	250

- (1) SELF WEIGHT OF STRUCTURAL COMPONENTS (BEAMS, SLABS, COLUMNS) ARE INCLUDED SEPARATELY, U.N.O.
- (2) REDUCED PER IBC CHAPTER 16. PARTITION LOAD IS NOT REDUCED

ROOF DESIGN LOADS	
DEAD LOAD (1)	
DESCRIPTION	VALUE (PSF)
ROOFING	3
ROOF INSULATION	5
ROOF DECK	3
JOIST	4
SUSPENDED MECHANICAL / SPRINKLER	8
MISCELLANEOUS	2
TOTAL	25
LIVE LOAD	
ROOF LIVE LOAD	20

- (1) SELF WEIGHT OF STRUCTURAL COMPONENTS (BEAMS, SLABS, COLUMNS) ARE INCLUDED SEPARATELY, U.N.O.

SNOW DESIGN LOADS		
DESCRIPTION	SYMBOL	VALUE
GROUND SNOW LOAD	P _g	25 PSF
SNOW EXPOSURE FACTOR	C _e	0.9
SNOW LOAD IMPORTANCE FACTOR	I _s	1.2
THERMAL FACTOR	C _t	1.0
SNOW SLOPE FACTOR	C _s	1.0
ROOF SNOW LOAD (1)	P _f	24 PSF

- (1) ACTUAL P_f USED FOR DESIGN = 24 PSF. SNOW DRIFT LOADS OR UNBALANCED SNOW LOADS ARE SHOWN ON THE PLANS.

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ALTERATIONS
RIVERSIDE FIRE COMPANY 1

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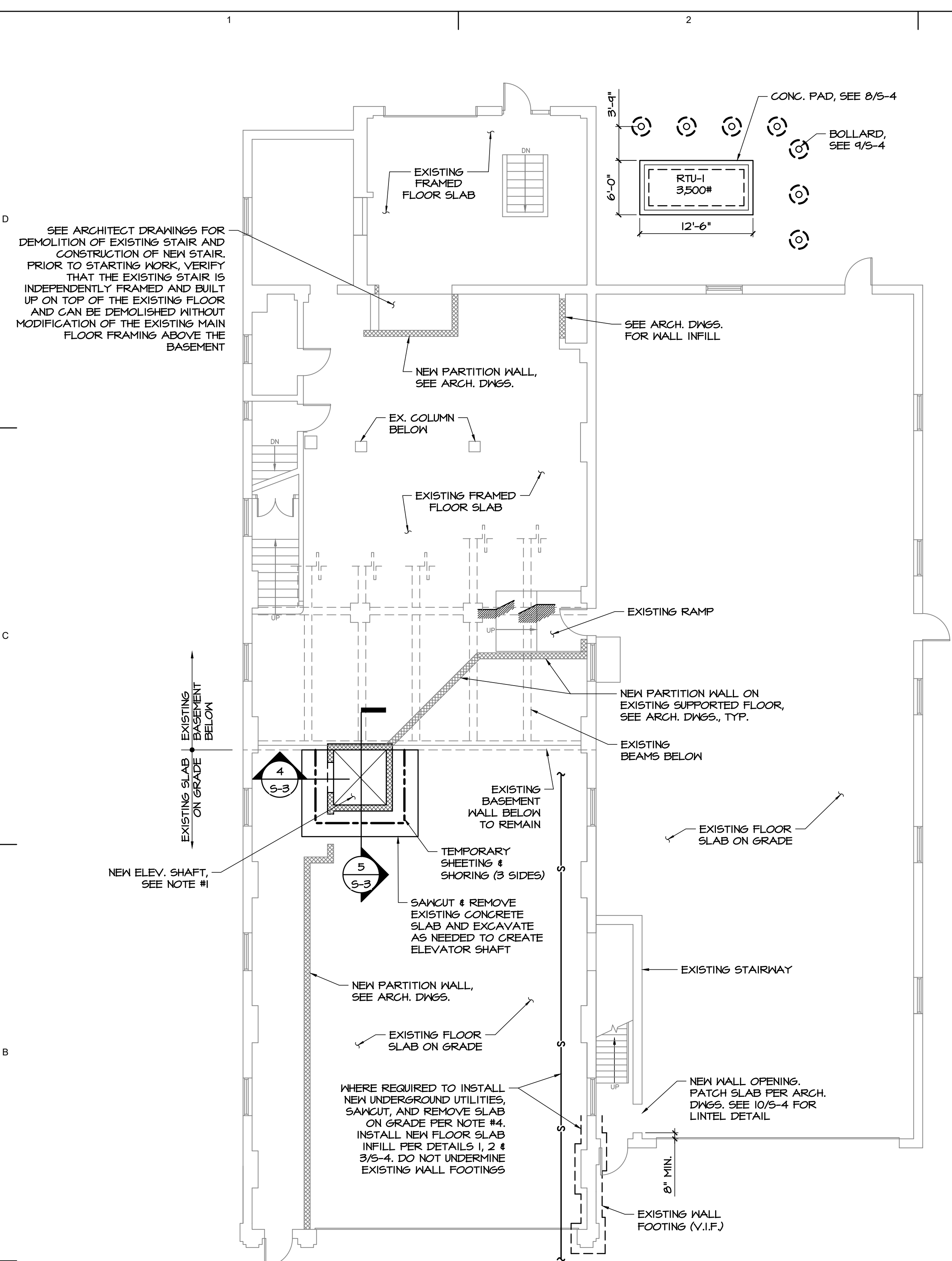
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GENERAL STRUCTURAL
NOTES

Sheet No.

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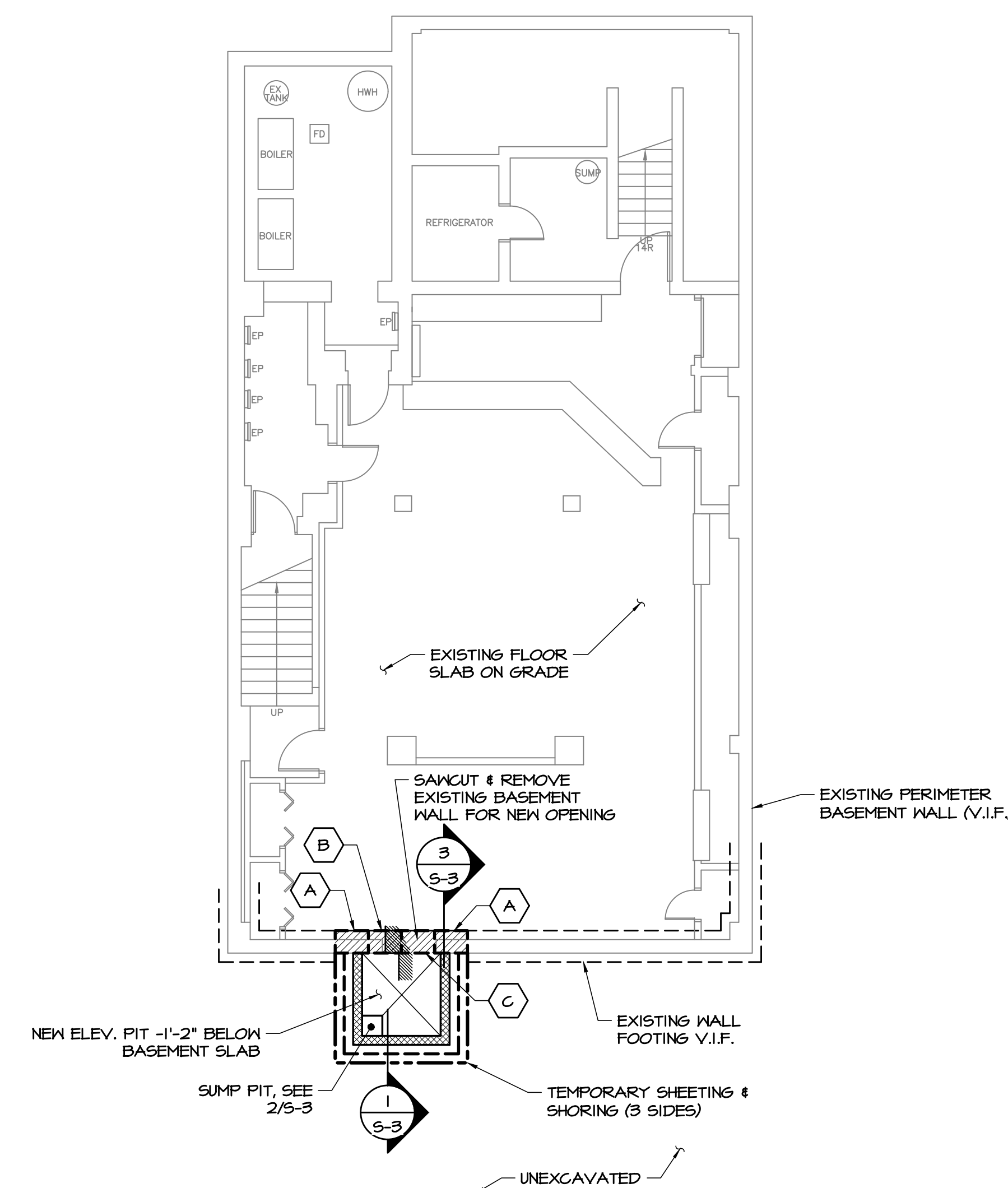
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DATE:



FIRST FLOOR SLAB FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

- NOTES:
1. SEE ARCH. DWGS. FOR ELEVATOR SHAFT DIMENSIONS.
 2. SEE DRAWING 5-01 THROUGH 5-03 FOR DESIGN CRITERIA AND GENERAL NOTES.
 3. SEE DRAWING 5-4 FOR TYPICAL CONSTRUCTION DETAILS.
 4. COORDINATE UNDER SLAB UTILITIES WITH FOUNDATION ELEVATIONS. DO NOT UNDERMINE FOUNDATIONS. SEE TYPICAL DETAIL 1, 2 & 3/5-4 AND GENERAL NOTES FOR ADD'L INFO.



BASEMENT LEVEL FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

- NOTES:
1. SEE ARCH. DWGS. FOR ELEVATOR SHAFT DIMENSIONS. COORDINATE ELEVATOR PIT DEPTH WITH ELEVATOR MANUFACTURER.
 2. SEE DRAWING 5-01 THROUGH 5-03 FOR DESIGN CRITERIA AND GENERAL NOTES.
 3. SEE DRAWING 5-4 FOR TYPICAL CONSTRUCTION DETAILS.
 4. DENOTES EXISTING FOOTING UNDERPINNINGS. SEE DETAIL 4/5-4.
 5. DENOTES UNDERPINNING INSTALLATION SEQUENCE IDENTIFICATION, SEE 4/5-4.

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**ALTERATIONS
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PROJECT #
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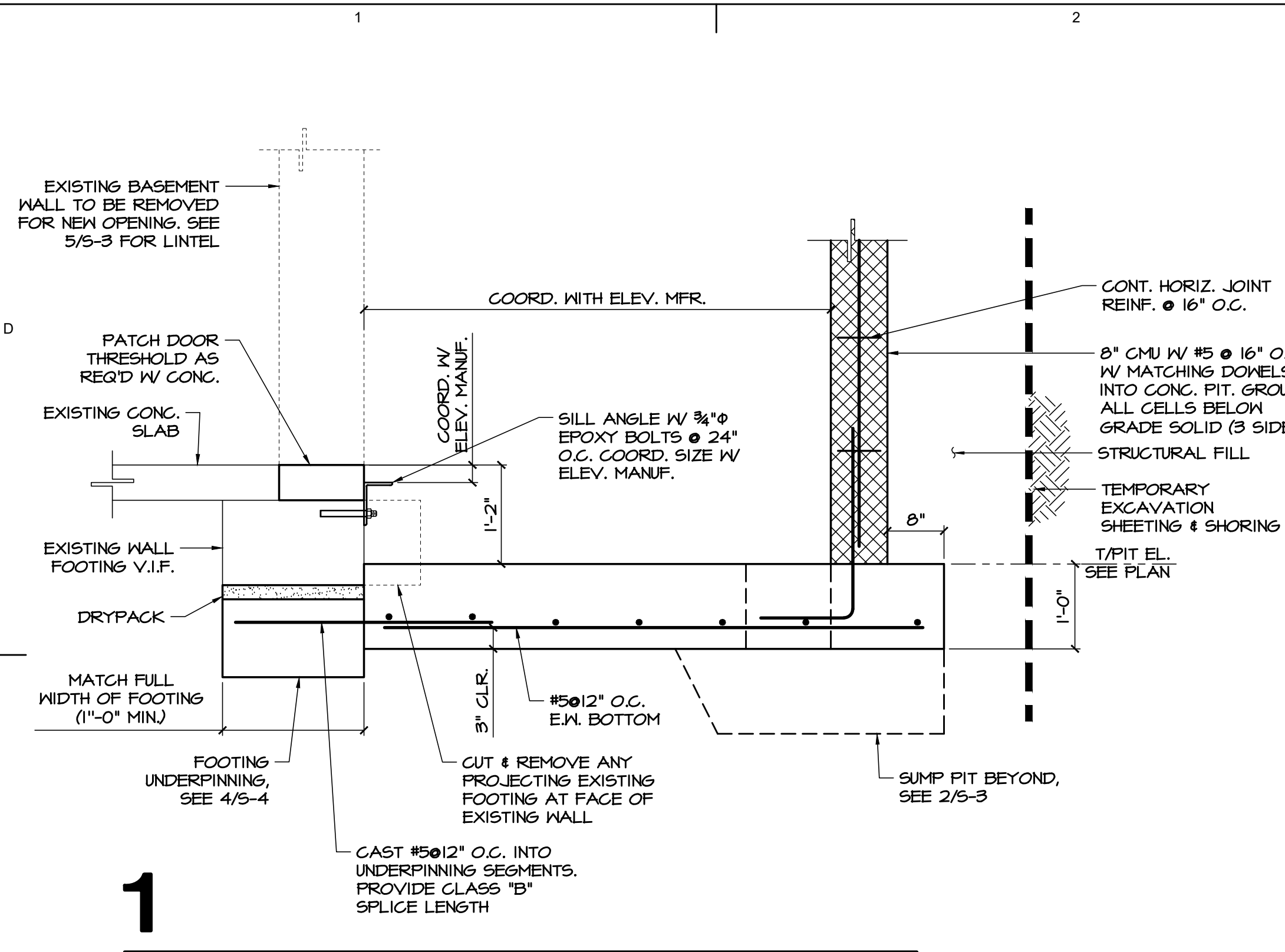
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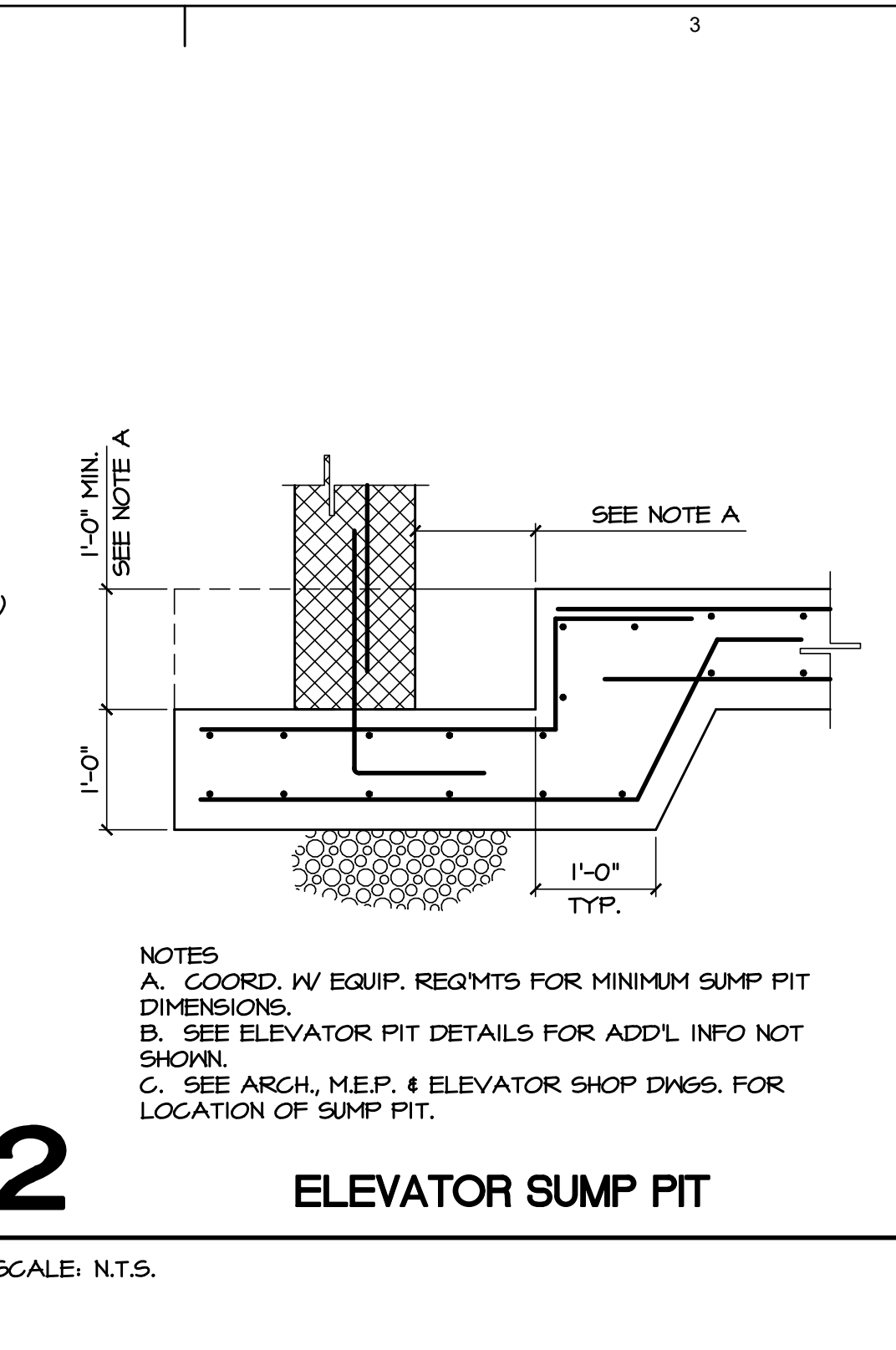
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BASEMENT AND FIRST FLOOR
FOUNDATION PLAN

Sheet No.
S-1
Sheet 1 of 4

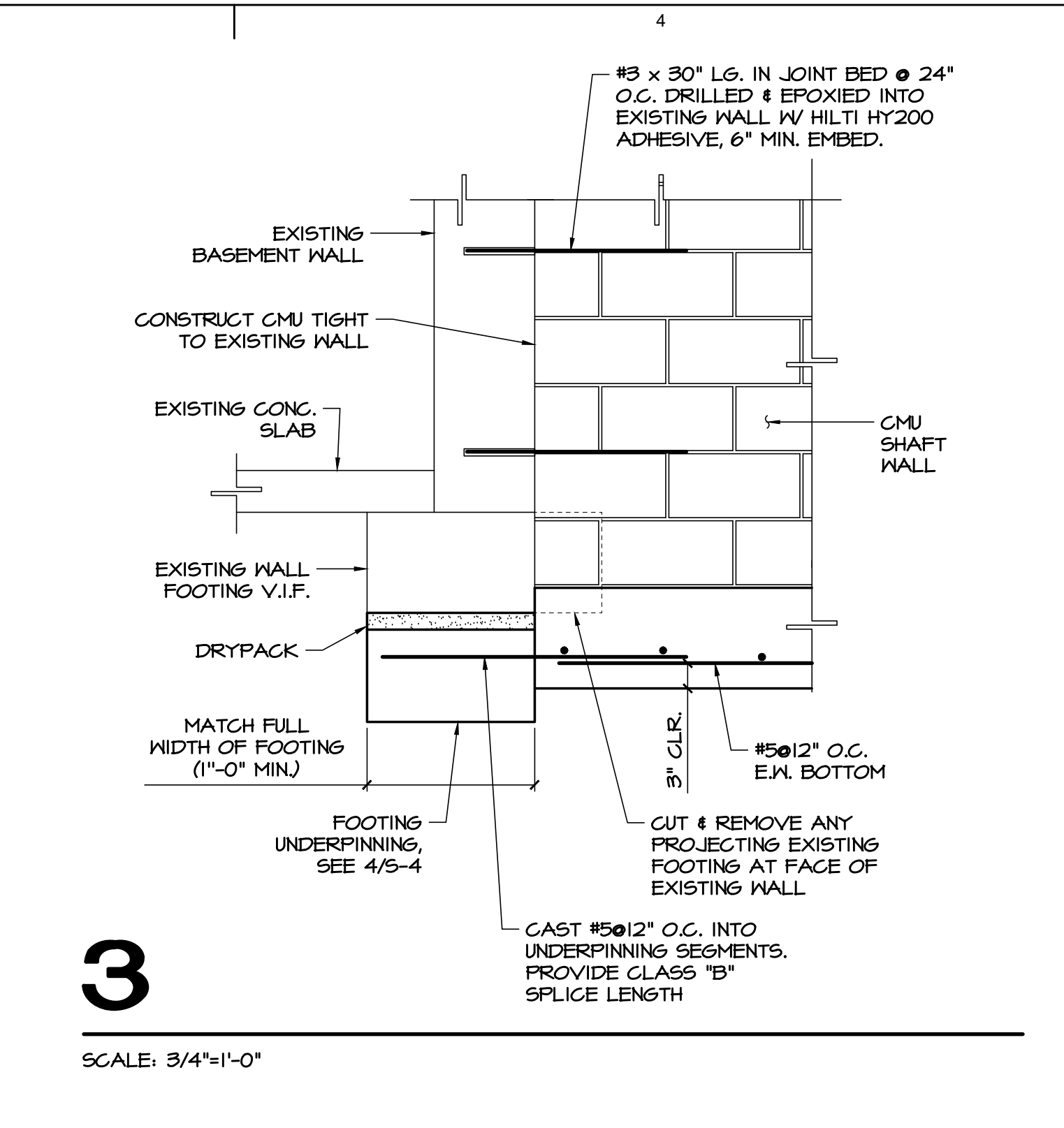
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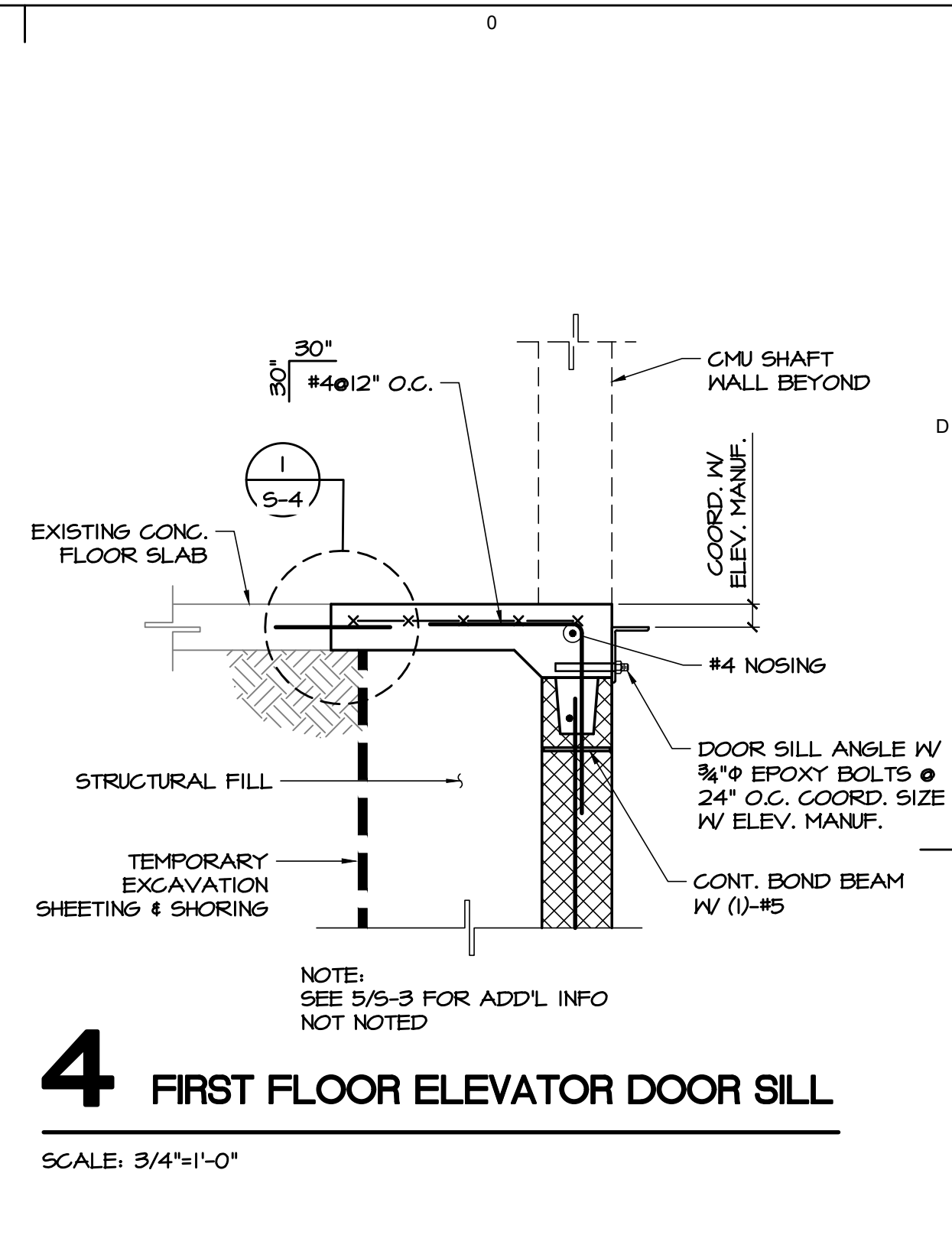
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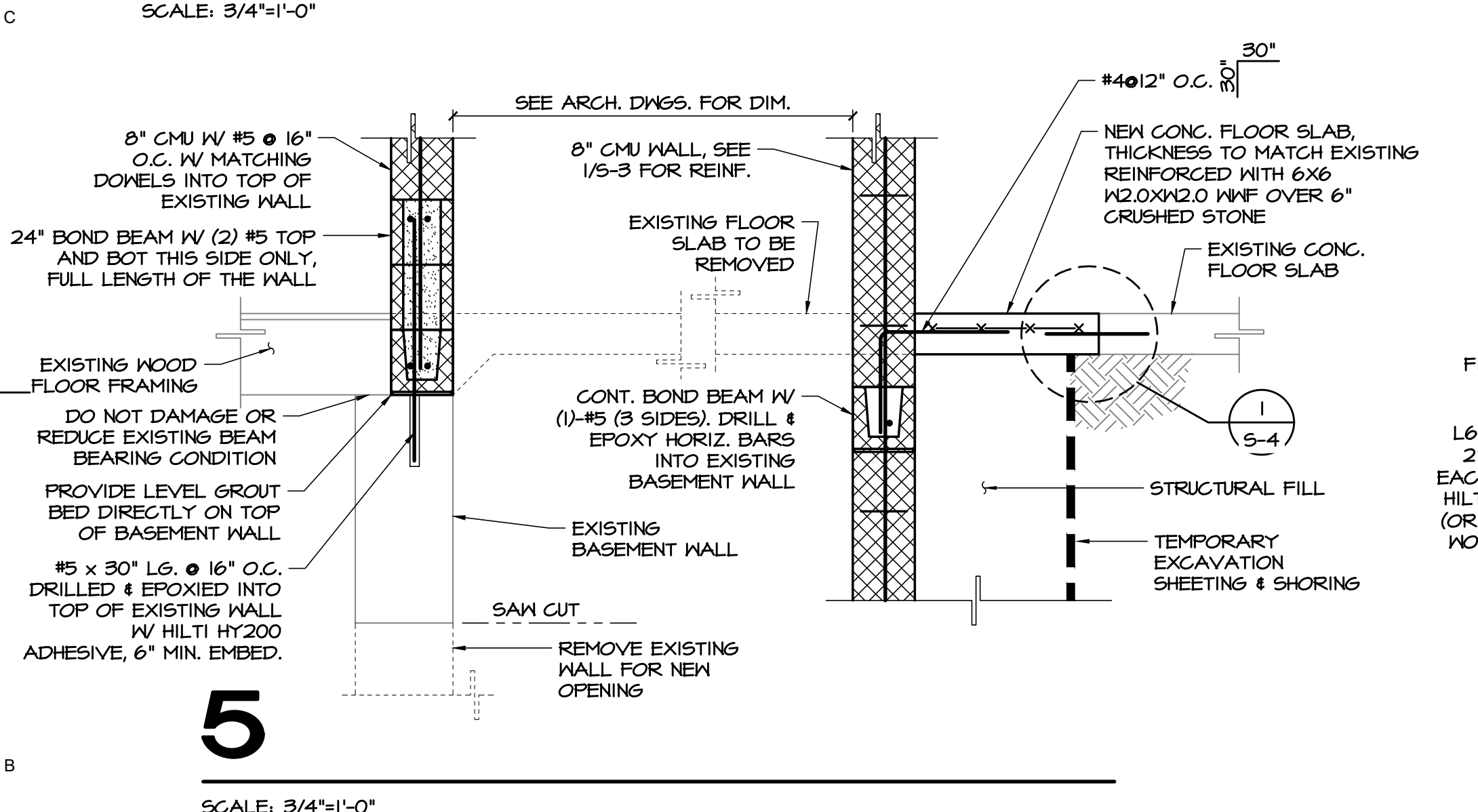
2 ELEVATOR SUMP PIT
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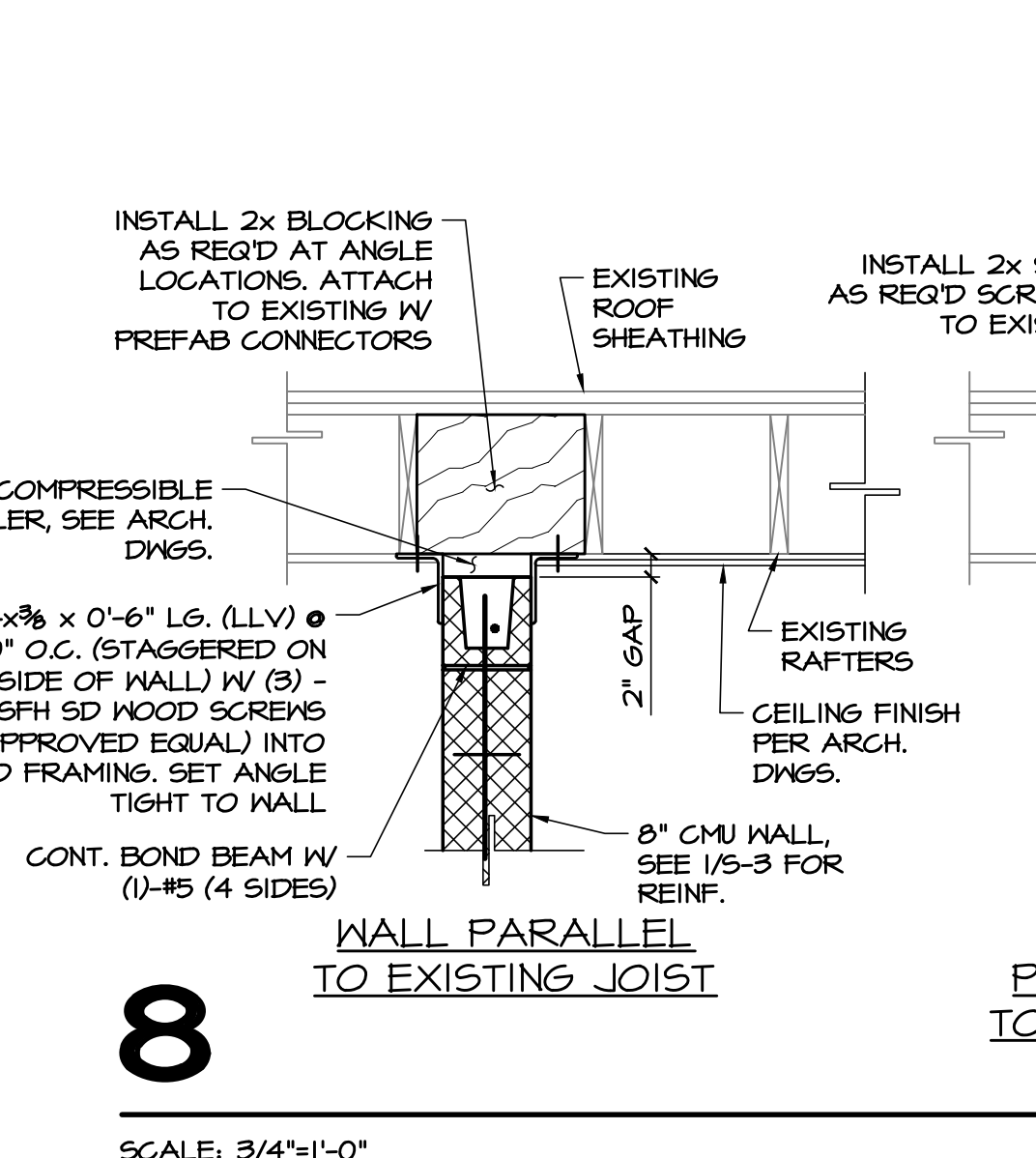
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SCALE: 3/4"=1'-0"



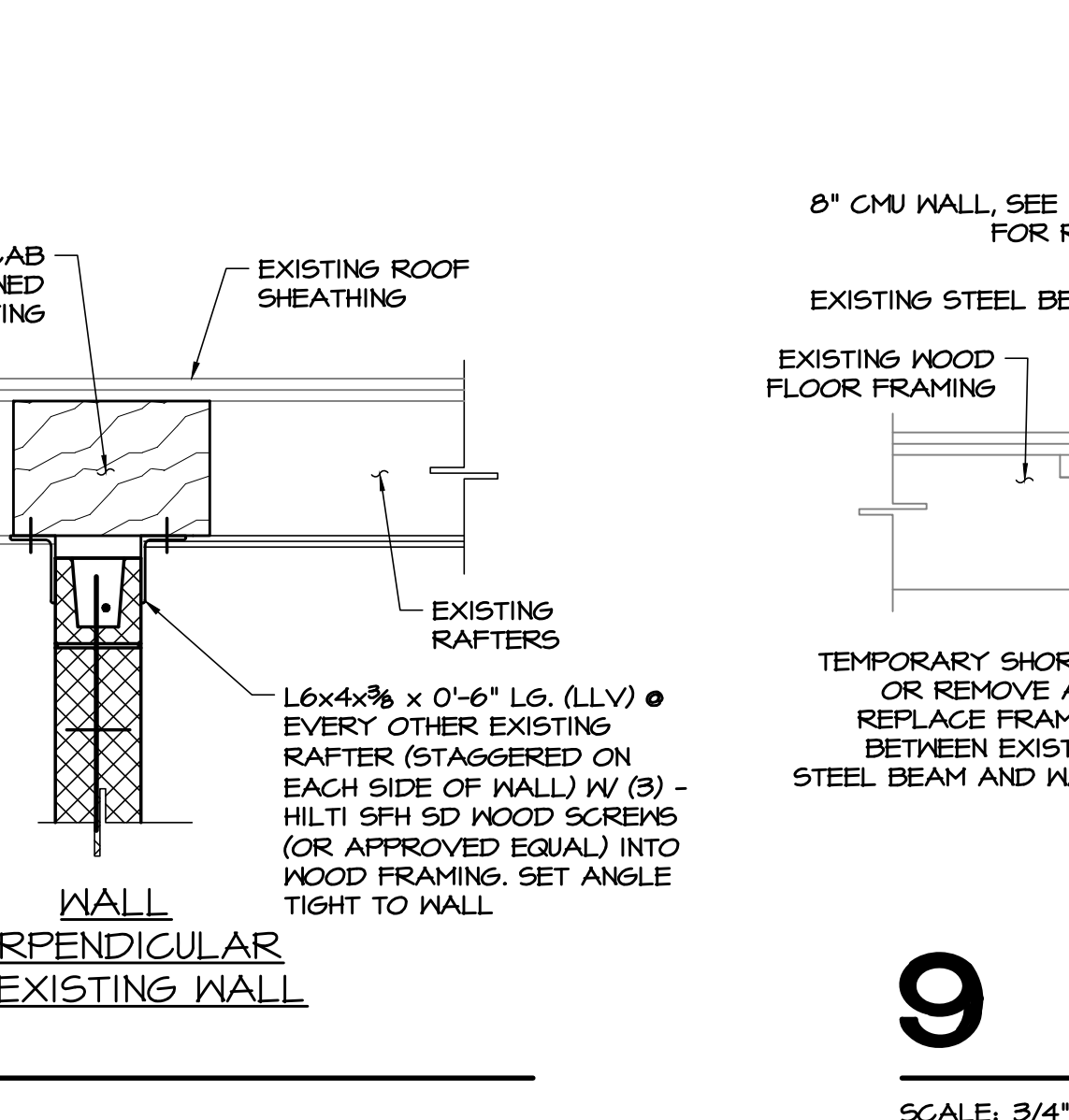
4 FIRST FLOOR ELEVATOR DOOR SILL
SCALE: 3/4"=1'-0"



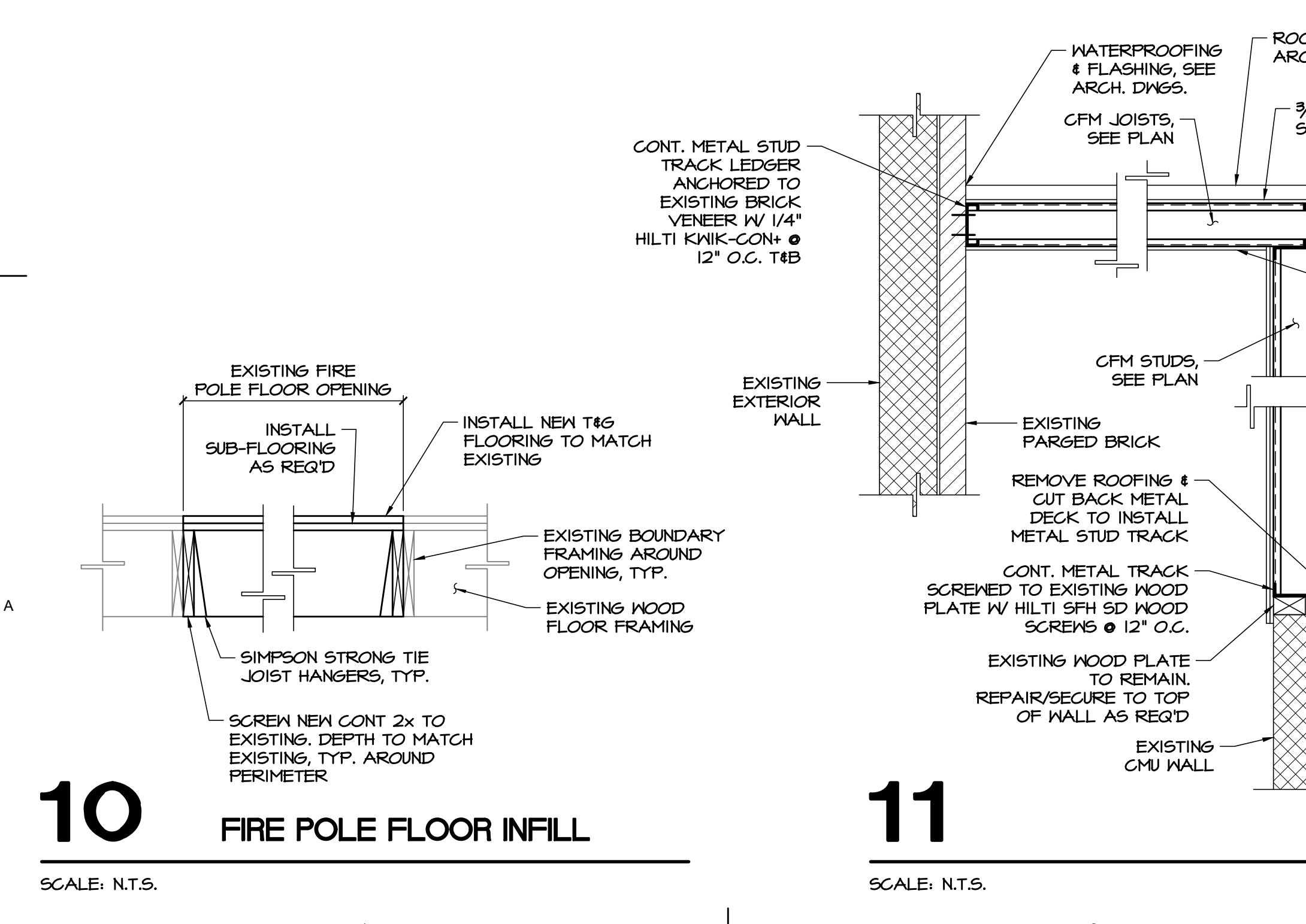
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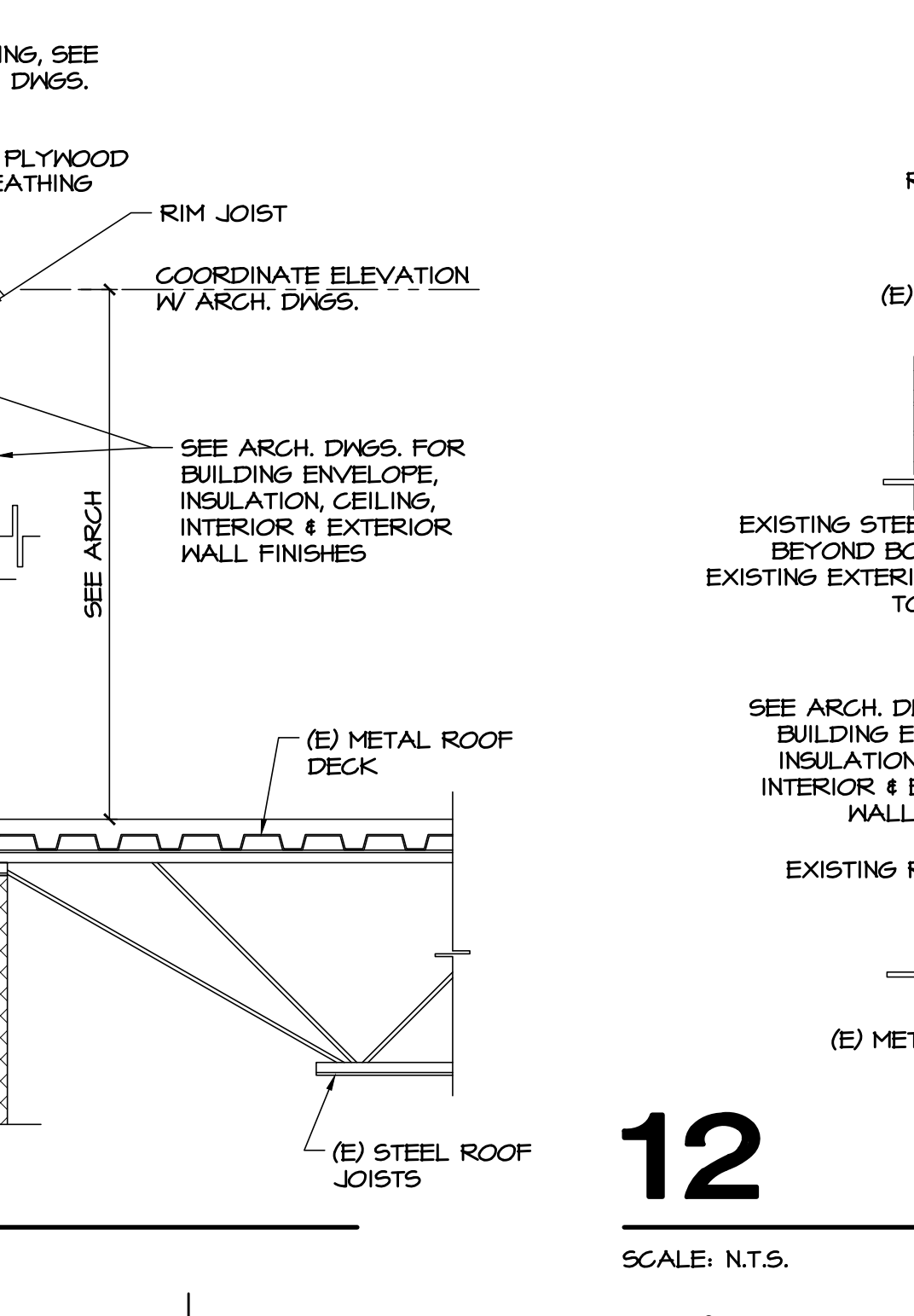
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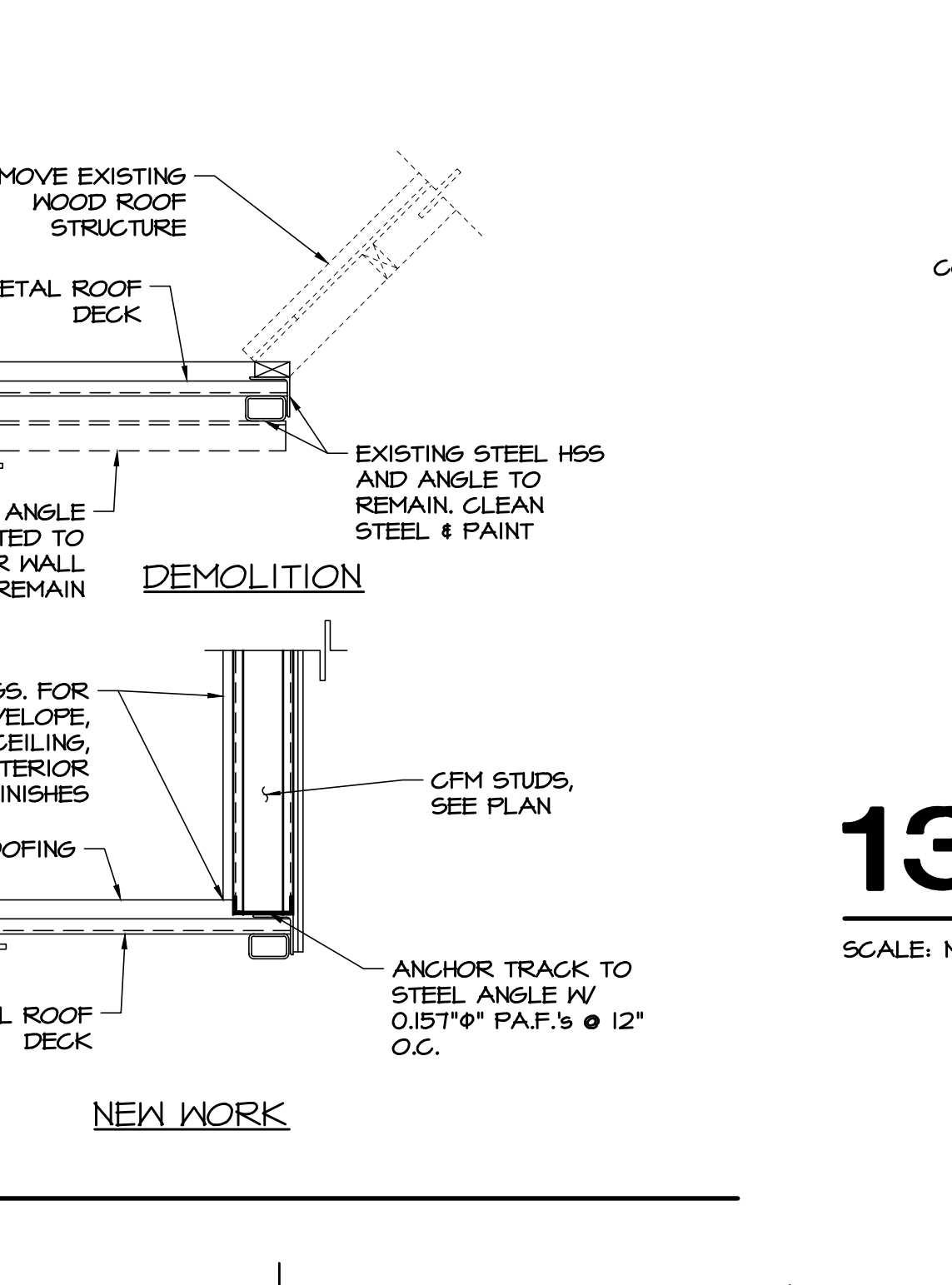
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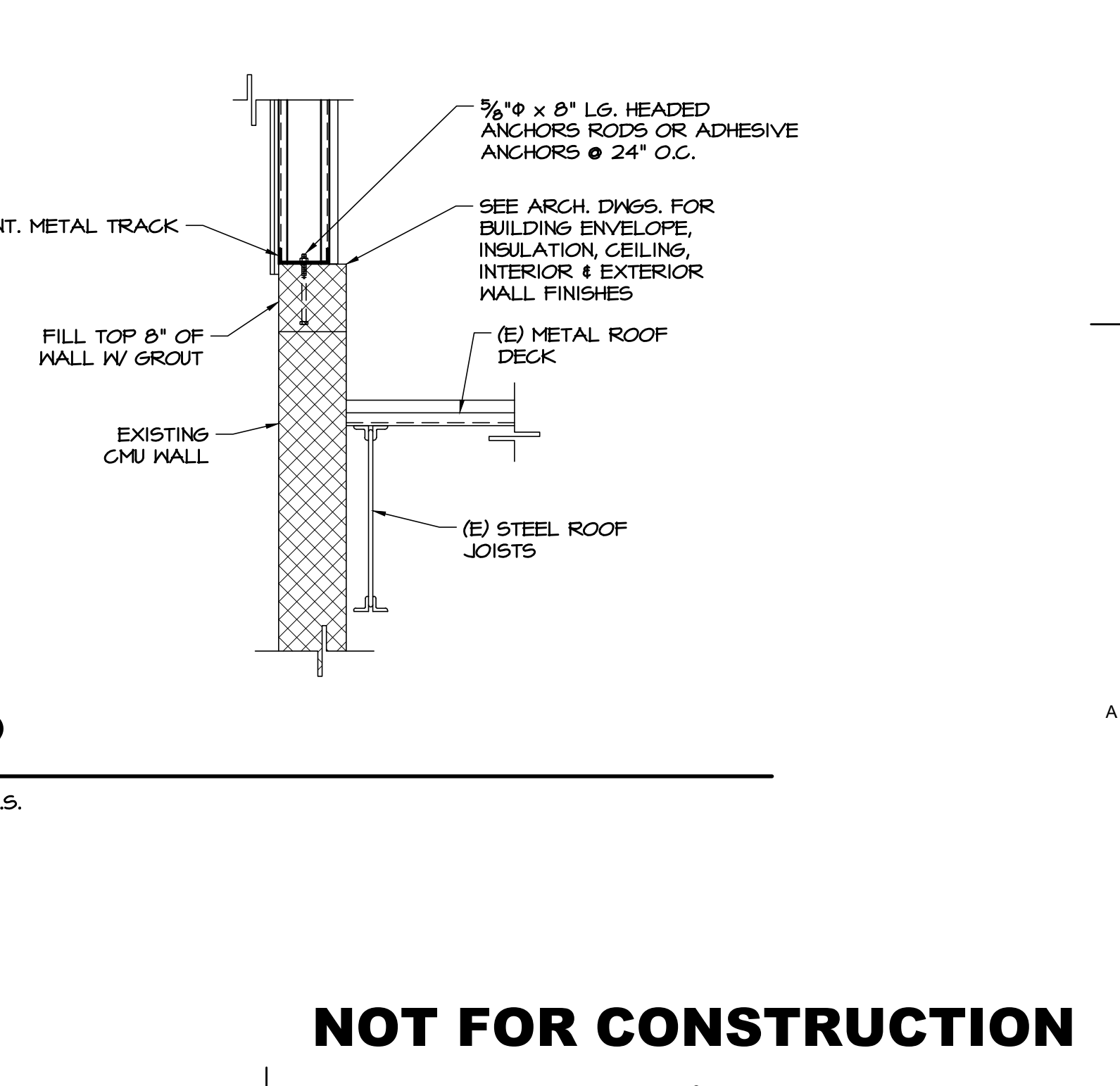
10 FIRE POLE FLOOR INFILL
SCALE: N.T.S.



11
SCALE: N.T.S.



12
SCALE: N.T.S.



13
SCALE: N.T.S.

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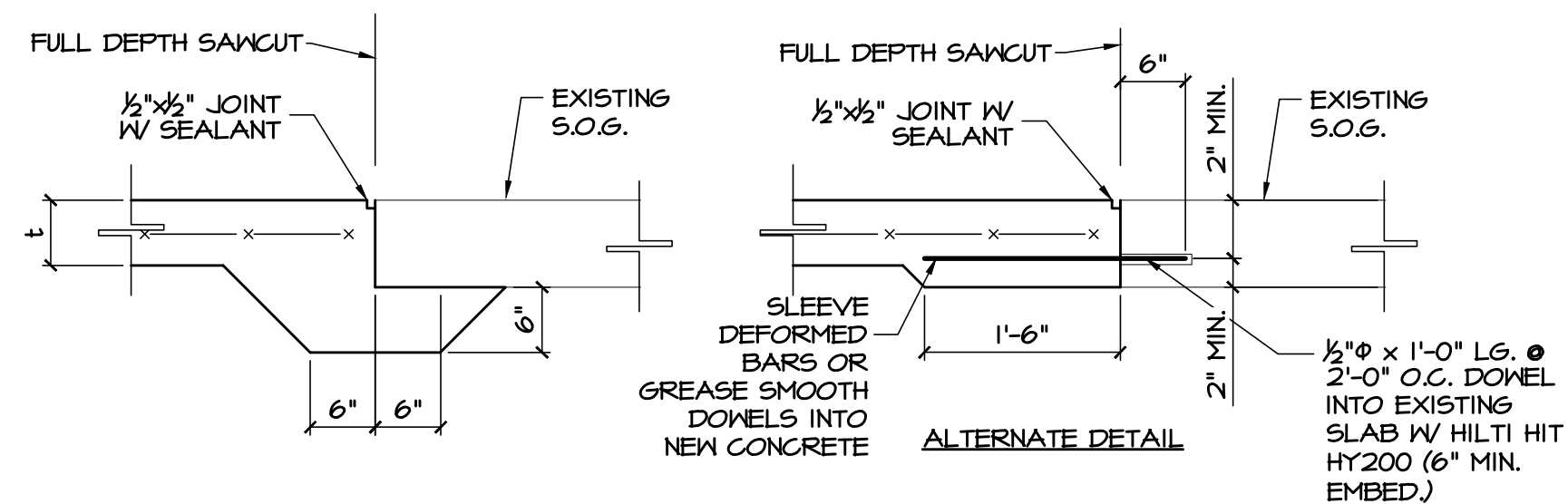
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EXISTING SLAB REMOVAL & REPLACEMENT NOTES
 EXISTING CONCRETE SLABS ON GRADE SHALL BE SAWCUT AND REMOVED TO INSTALL NEW UTILITIES AND/OR FOUNDATIONS. REFER TO DRAWINGS OF THE VARIOUS TRADES FOR LOCATIONS. SLAB CUTTING SHALL RESULT IN A MAXIMUM SLOPE OF 1:1 FROM THE BOTTOM OF THE EXCAVATION TO THE EDGE OF THE REMAINING EXISTING SLAB. THE EXTENT OF SLAB REMOVAL MUST BE DETERMINED BY THE CONTRACTOR BASED UPON THE DEPTHS AND SIZES OF EXCAVATIONS. IN ANY LOCATION WHERE SLAB CUTTING RESULTS IN STRIPS OF EXISTING REMAINING SLABS LESS THAN 10 FEET WIDE, REMOVE THE SLAB BETWEEN THE ADJACENT CUTS. DO NOT CUT INTO OR DAMAGE ANY LOAD BEARING CONCRETE FOUNDATION.

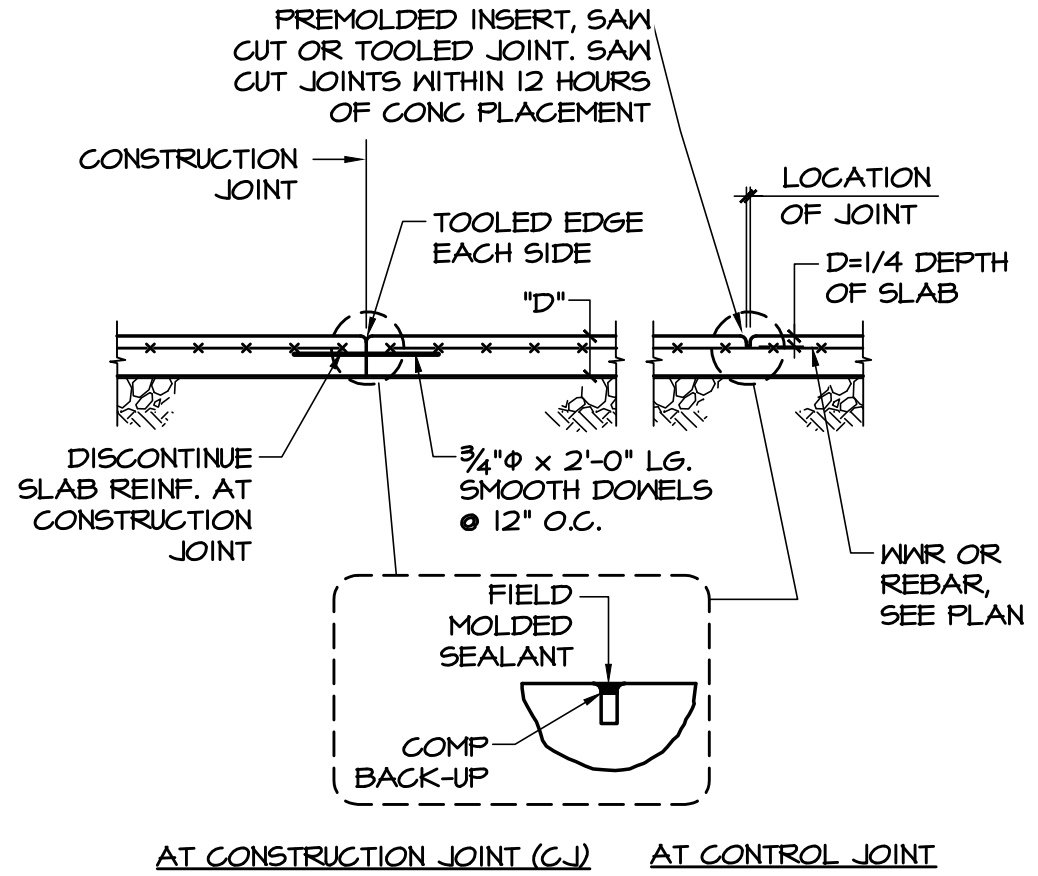
AFTER INSTALLATION OF UTILITIES AND/OR FOUNDATIONS, BACKFILL AND COMPACT WITH APPROVED, ENGINEERED FILL OR WITH CONTROLLED LOW STRENGTH MATERIAL (CLSM). CLSM SHALL HAVE A COMPRESSIVE STRENGTH OF A MINIMUM OF 50 (20 PSI).

DRILL AND EPOXY GROUT #4 x 1'-0" L.G. REBAR AT MID-HEIGHT OF EXISTING SLAB. SPACE AT 2'-0" O.C. MAXIMUM AND EMBED 6 INCHES INTO EXISTING ADJACENT SLABS.

INSTALL NEW CONCRETE SLAB ON GRADE (THICKNESS TO MATCH EXISTING OR AS NOTED ON PLANS, (4" MIN.), REINFORCED WITH 6x6 W2.0xW2.0 WWF OVER 6" CRUSHED STONE. PROVIDE JOINTS IN SLABS PER TYPICAL DETAILS.

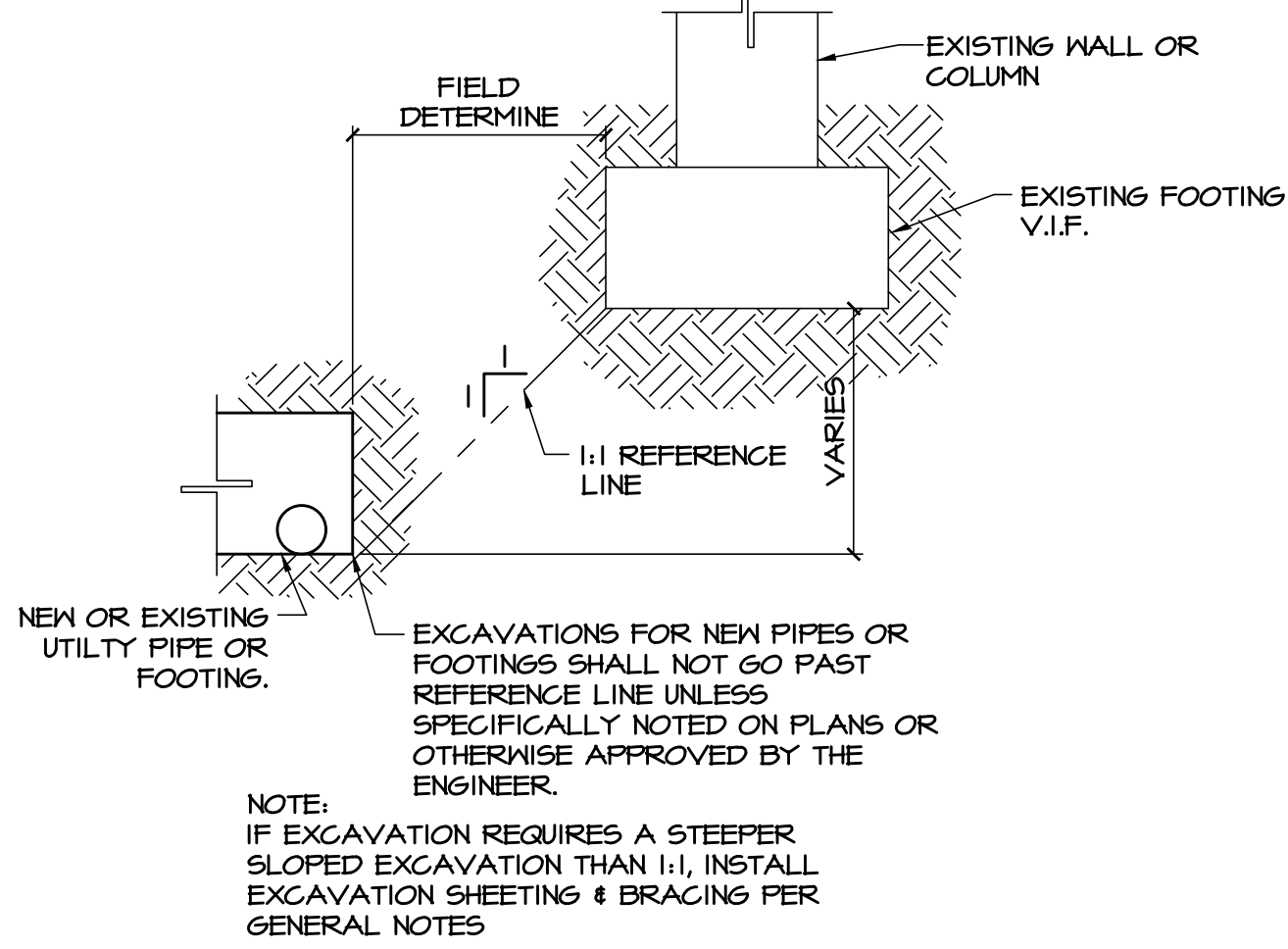
1 TYPICAL NEW/EXISTING SLAB JOINT

SCALE: N.T.S.



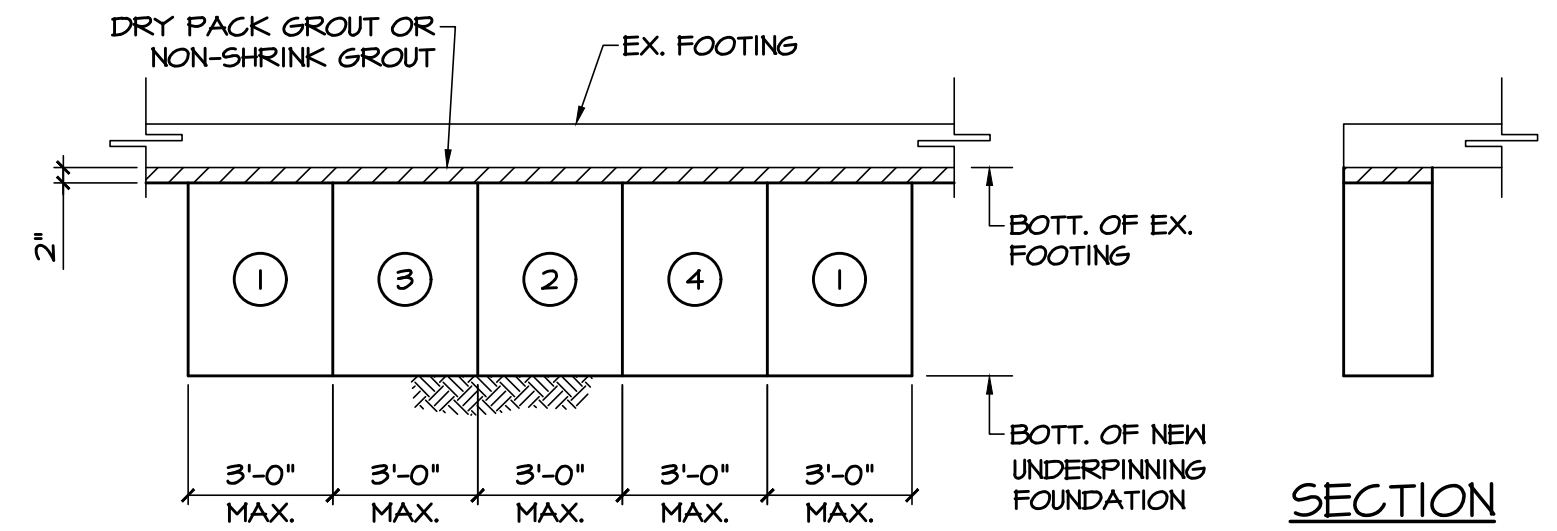
2 TYPICAL SLAB ON GRADE DETAIL

SCALE: N.T.S.



3 TYPICAL FOOTING / UTILITY COORDINATION DETAIL

SCALE: N.T.S.



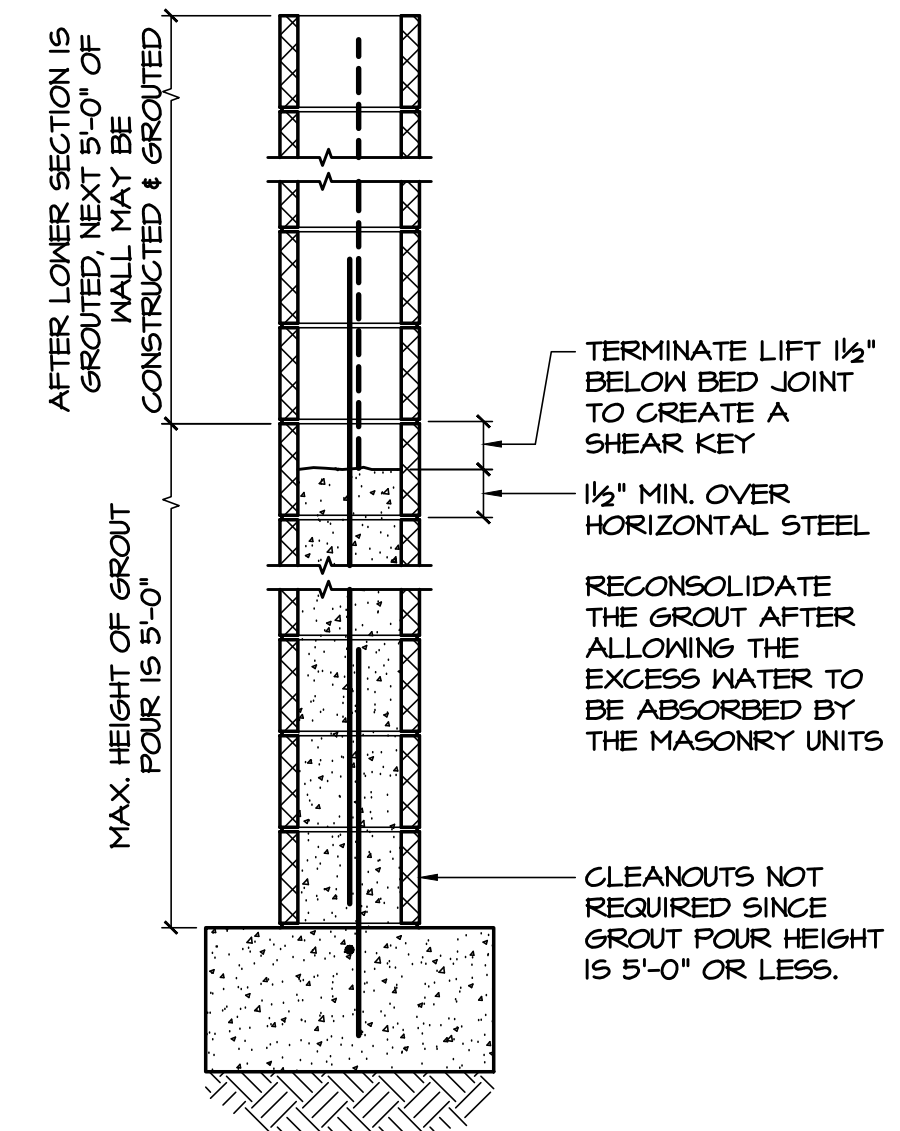
4 TYPICAL UNDERPINNING DETAIL

SCALE: N.T.S.

CONTINUOUS UNDERPINNING

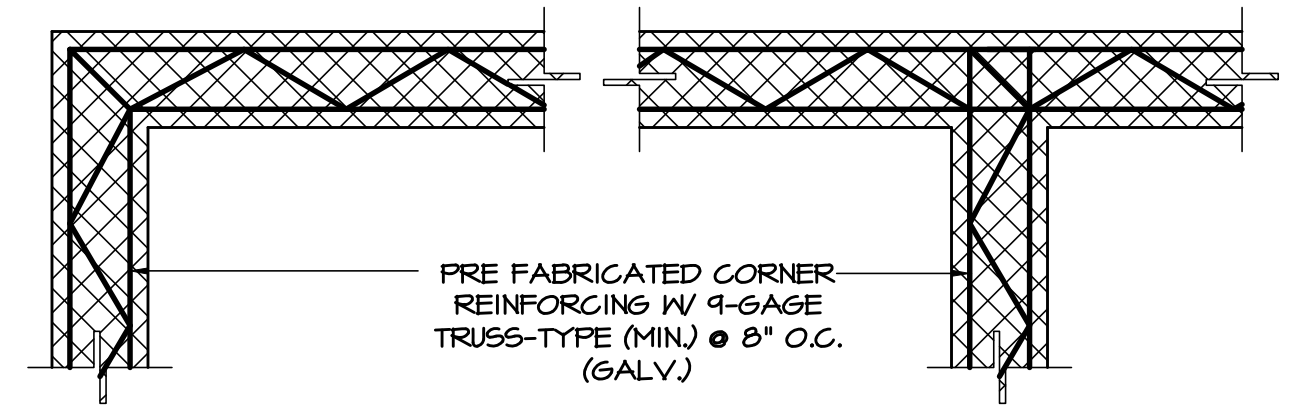
NOTES:

- UNDERPINNING OF THE EXISTING PAD SHALL BE OF PLAIN CONCRETE HAVING A MIN. 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI AND A 2 DAY MIN. COMPRESSIVE STRENGTH OF 1500 PSI. USE TYPE III CEMENT TO PERMIT DRYPACKING (LOAD TRANSFER) IN 24 HOURS. TYPE I CEMENT MAY BE USED PROVIDED THAT INCREASED CEMENT F.A. IS USED TO PROVIDE EQUIVALENT STRENGTH GIVEN.
- UNDERPINNING SHALL BE CONTINUOUS WHERE INDICATED AND SHALL BEAR ON UNDISTURBED EARTH.
- EXPOSE AND CONFIRM ALL EXISTING FOUNDATION CONDITIONS AND INFORM ARCHITECT AND ENGINEER IF CONDITIONS VARY WITH THOSE SHOWN ON THE DRAWINGS.
- EXISTING WALLS AND/OR FRAMING SHALL BE ADEQUATELY BRACED AND SUPPORTED UNTIL NEW FOUNDATION IS IN PLACE AND CURED.
- SECTIONS SHALL BE INSTALLED IN NUMERICAL ORDER AS SHOWN ABOVE, WITH A MINIMUM PERIOD OF 2 DAYS BETWEEN ADJACENT CONCRETE AND DRY PACK PLACEMENT.
- EXCAVATE AND INSTALL UNDERPINNING IN CONFORMANCE WITH THE LOCAL CODES AND OTHER APPLICABLE REGULATIONS.
- SHEETING AND SHORING EXCAVATIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. DEVELOP AND SUBMIT A PROPOSED SCHEDULE OF UNDERPINNING SEQUENCE FOR REVIEW BY THE ARCHITECT AND ENGINEER. MAINTAIN COMPLETE RECORDS OF ALL UNDERPINNING PROCEDURES ON A DAILY BASIS.



5 LOW LIFT GROUTING

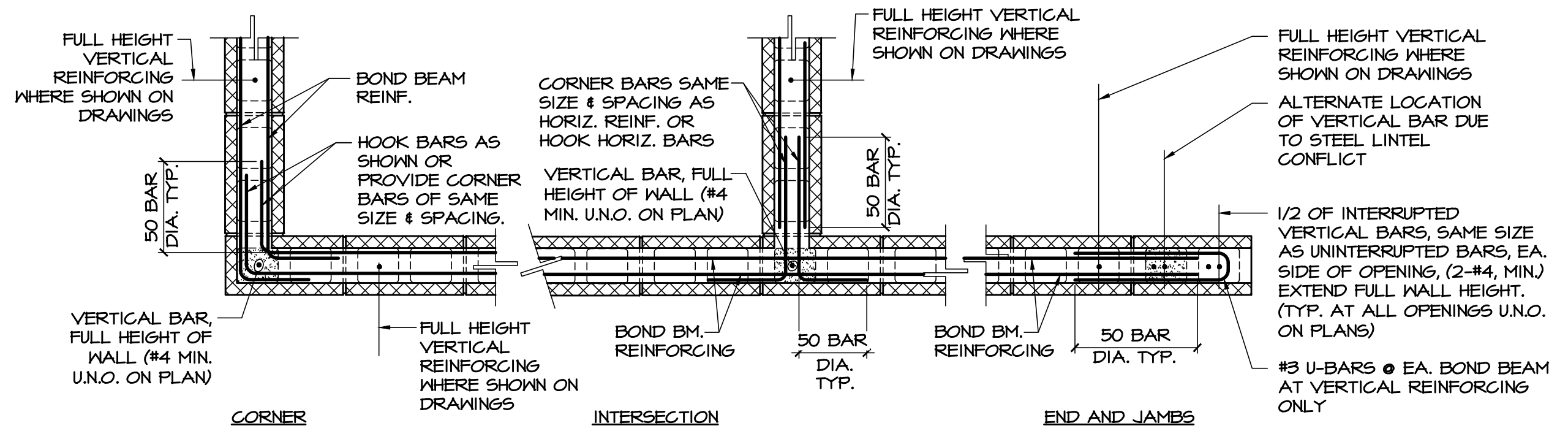
SCALE: N.T.S.



6 MASONRY WALL HORIZONTAL REINFORCING DETAIL

SCALE: N.T.S.

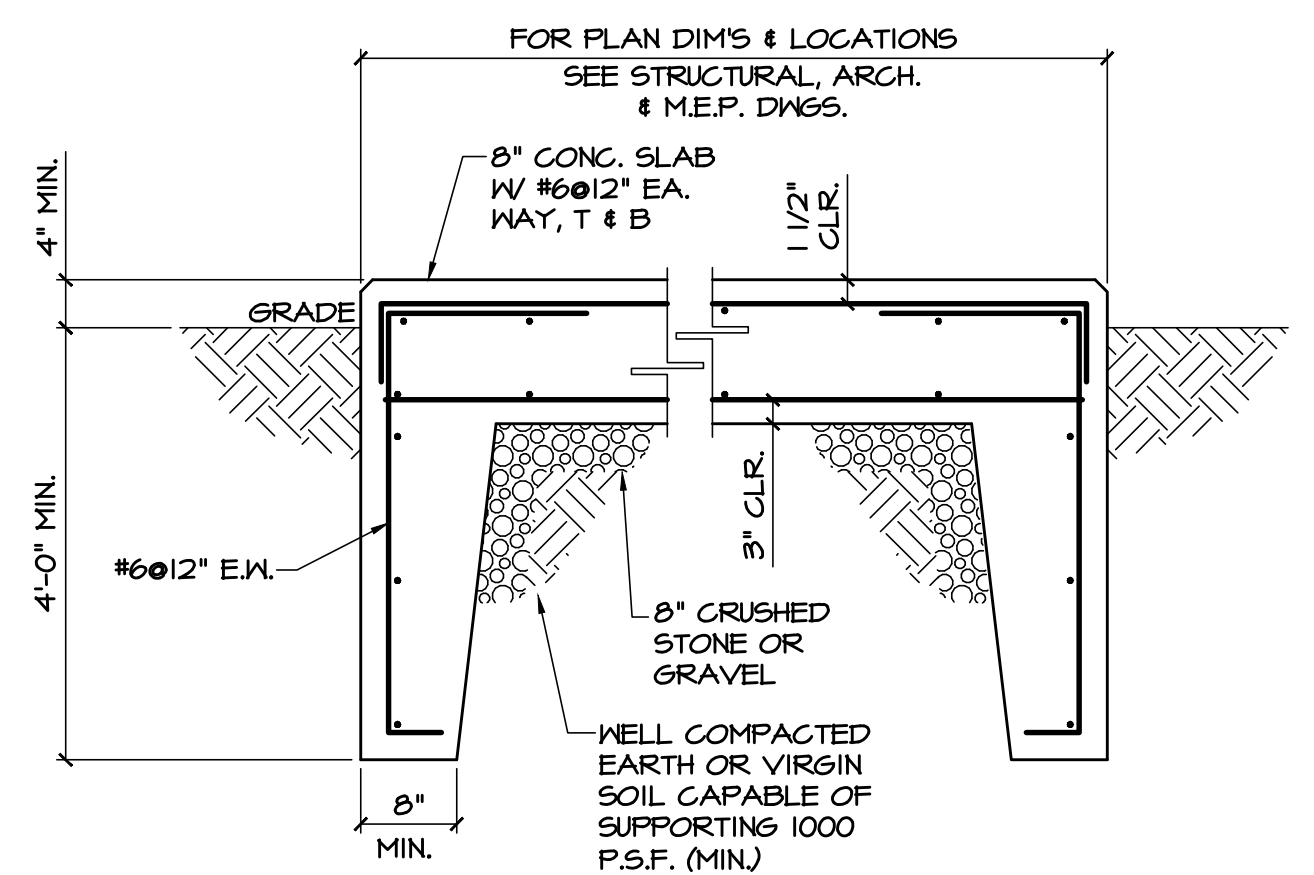
NOTES:
 CORNERS AND INTERSECTIONS UNLESS OTHERWISE NOTED OR SPECIFIED, AT POINTS WHERE CONCRETE MASONRY WALLS MEET OR INTERSECT, PLACE UNITS IN RUNNING BOND WITH ALTERNATE UNITS BEARING NOT LESS THAN 8 INCHES ON THE UNIT BELOW.



7 MASONRY WALL BOND BEAM REINFORCING DETAIL

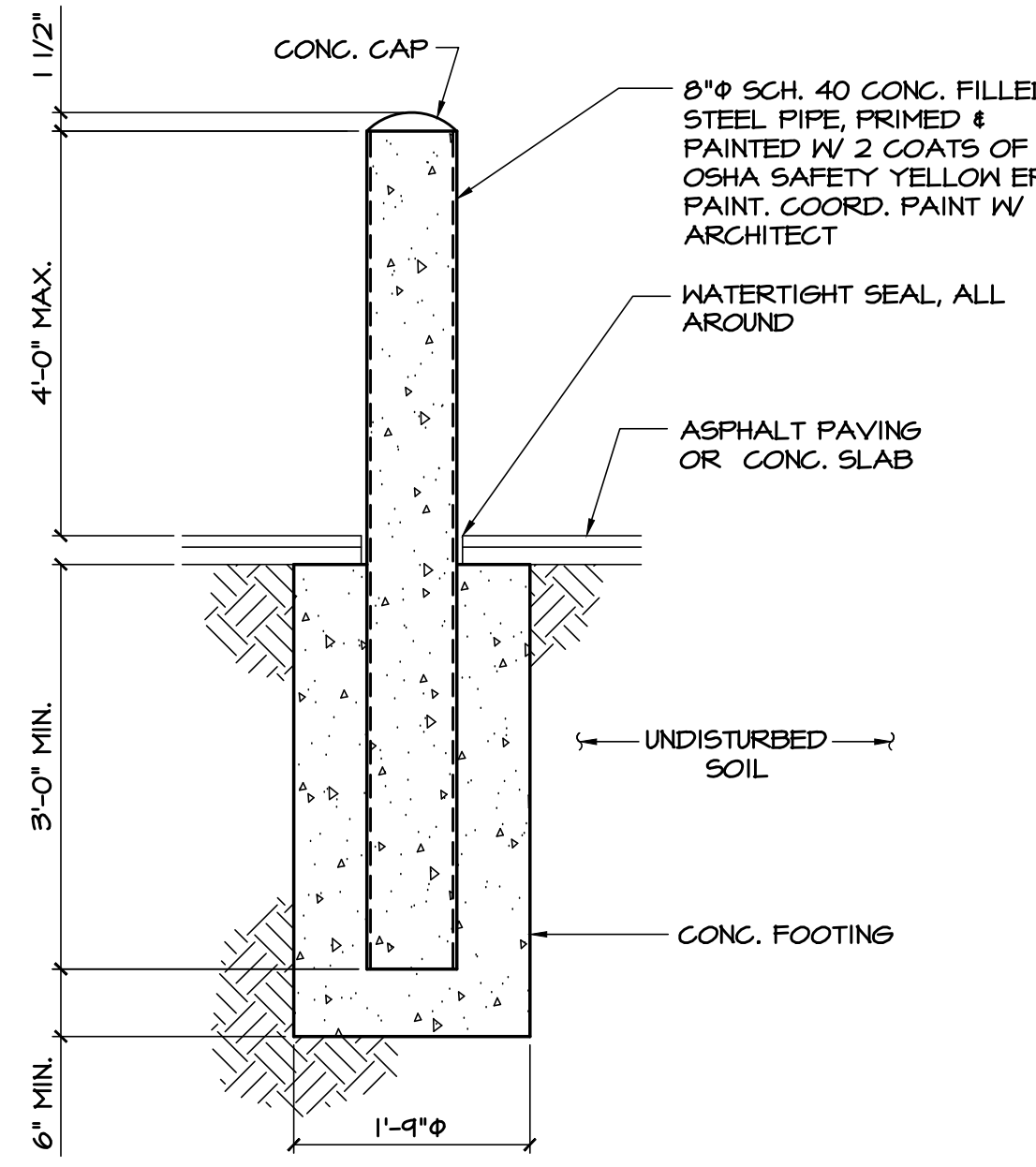
SCALE: N.T.S.

NOTES:
 UNLESS OTHERWISE NOTED OR SPECIFIED, PROVIDE DOWELS FROM CONCRETE FOOTINGS OR WALLS BELOW WITH SAME SIZE AND SPACING AS VERTICAL WALL REINFORCING. LAP DOWELS WITH VERTICAL REINFORCING 50 BAR DIAMETERS MINIMUM UNLESS NOTED OTHERWISE. GROUT SOLID CELLS WITH VERTICAL REINFORCING, FULL HEIGHT.



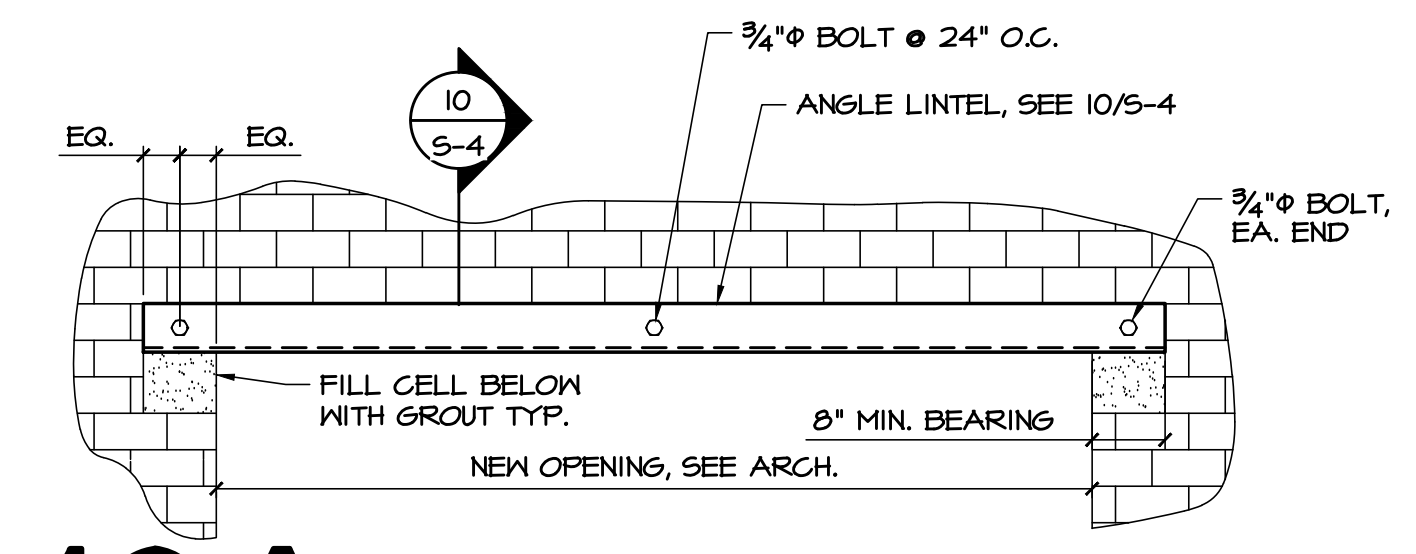
8 TYPICAL OUTSIDE EQUIPMENT PAD DETAIL

SCALE: N.T.S.



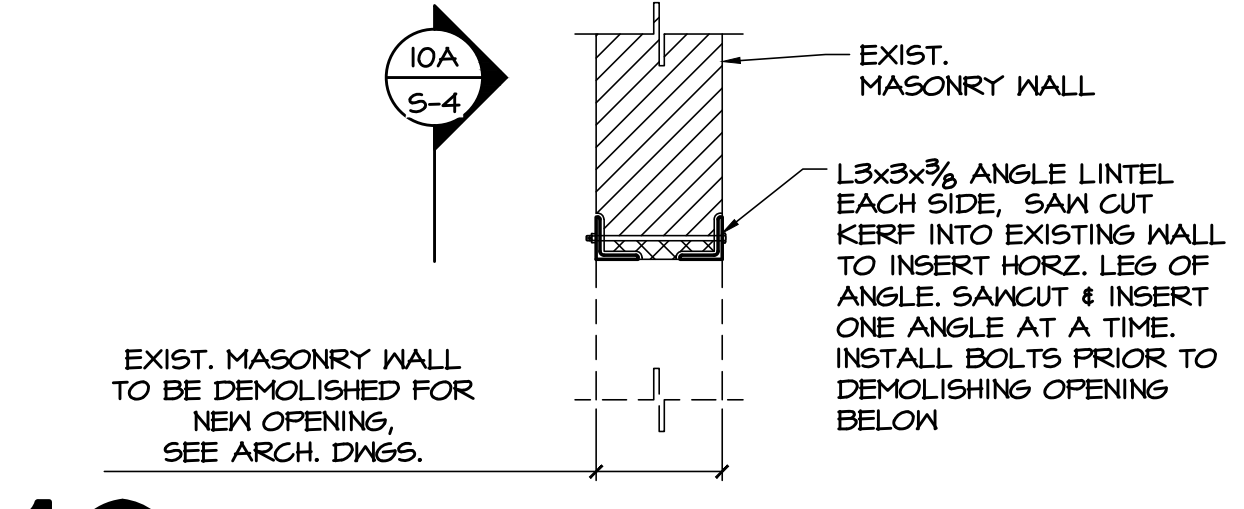
9 TYPICAL BOLLARD DETAIL

SCALE: N.T.S.



10A NEW LINTEL IN EXISTING WALL

SCALE: N.T.S.



10 NEW LINTEL IN EXISTING WALL

SCALE: N.T.S.

ROSS E. STUART, P.E.
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE55120



PENNONI ASSOCIATES INC.
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 Philadelphia, PA 19103
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 NJ COA NO. GA28033300

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ALTERATIONS
RIVERSIDE FIRE COMPANY 1

Location
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

PROJECT #
 19509

Date
 06/24/2020

Architect
LAMMEY + GIORGIO
 Lamme + Giorgio
 Architecture + Design
 215 Highland Ave., Suite B
 Haddon Twp, NJ, 08108
 p.856.833.0010

William Lamme - AIA - NJ C6793
 Anthony Giorgio - AIA - NJ 07628

#	Issue/Revision	Date
1	BID SET	07/17/2020

Sheet Title
 SECTIONS AND DETAILS

Sheet No.
S-4
 Sheet 1 of 4

NOT FOR CONSTRUCTION

DATE:

MECHANICAL SYMBOLS

Table of mechanical symbols including Demolition Work, Existing Work, New Work, Point of Connection, and various piping and equipment symbols.

NOT ALL SYMBOLS AND ABBREVIATIONS ARE USED ON THESE DRAWINGS

Table of mechanical symbols and abbreviations including Duct-mounted Reheat, Volume Damper, Electric Unit Heater, Gas-fired Unit Heater, and various valves and controls.

MECHANICAL ABBREVIATIONS

Table of mechanical abbreviations including Demolish, Existing, Refurbish, Relocate, Air Conditioning Unit, and various equipment and material terms.

GENERAL NOTES

- 1. THE SUBMISSION OF A BID BY THE CONTRACTOR IS NOTIFICATION THAT THE CONTRACTOR HAS TOTALLY FAMILIARIZED HIMSELF WITH THE COMPLETE INSTALLATION OF EACH SYSTEM IN A HEAT AND WORKMANLIKE MANNER IN ACCORDANCE WITH THE BEST PRACTICES OF THE INDUSTRY AND IN COMPLIANCE WITH ALL AUTHORITIES HAVING JURISDICTION.

MECHANICAL CONTROL SYMBOLS

Table of mechanical control symbols including Velocity Pressure Transmitter, Fire Alarm System, End Switch, Differential Pressure Sensor, Flow Meter Transmitter, and Temperature Transmitter.

GENERAL COMPLIANCE - NJ

DESIGN AND PERFORMANCE OF COMPONENTS AND METHODS SPECIFIED HEREIN SHALL COMPLY WITH THE LATEST ADOPTED VERSIONS OF THE STATE CODES, STANDARDS, AND MANUFACTURER'S RECOMMENDATIONS OF THE ENTITIES LISTED BELOW BUT NOT LIMITED TO:

DOCUMENT COORDINATION

ALL CONTRACT DRAWINGS AND SPECIFICATIONS ISSUED BY PENNONI ASSOCIATES INC. ARE INTENDED TO BE UTILIZED BY ALL CONTRACTORS AS A COMPLETE SET. EACH DISCIPLINE SHALL REVIEW THE ENTIRE SET OF DRAWINGS AND SPECIFICATIONS FOR SCOPE OF WORK RELEVANT TO THEIR TRADE.

MECHANICAL DEMOLITION

- 1. IT IS THE INTENT THAT ALL EXISTING PIPING, DUCTWORK, FIXTURES, AND OTHER EQUIPMENT AND MATERIALS THAT INTERFERE WITH THE ALTERED EXISTING BUILDING ARRANGEMENTS AND NEW SYSTEMS BE REMOVED, RELOCATED, REROUTED, OR ABANDONED.



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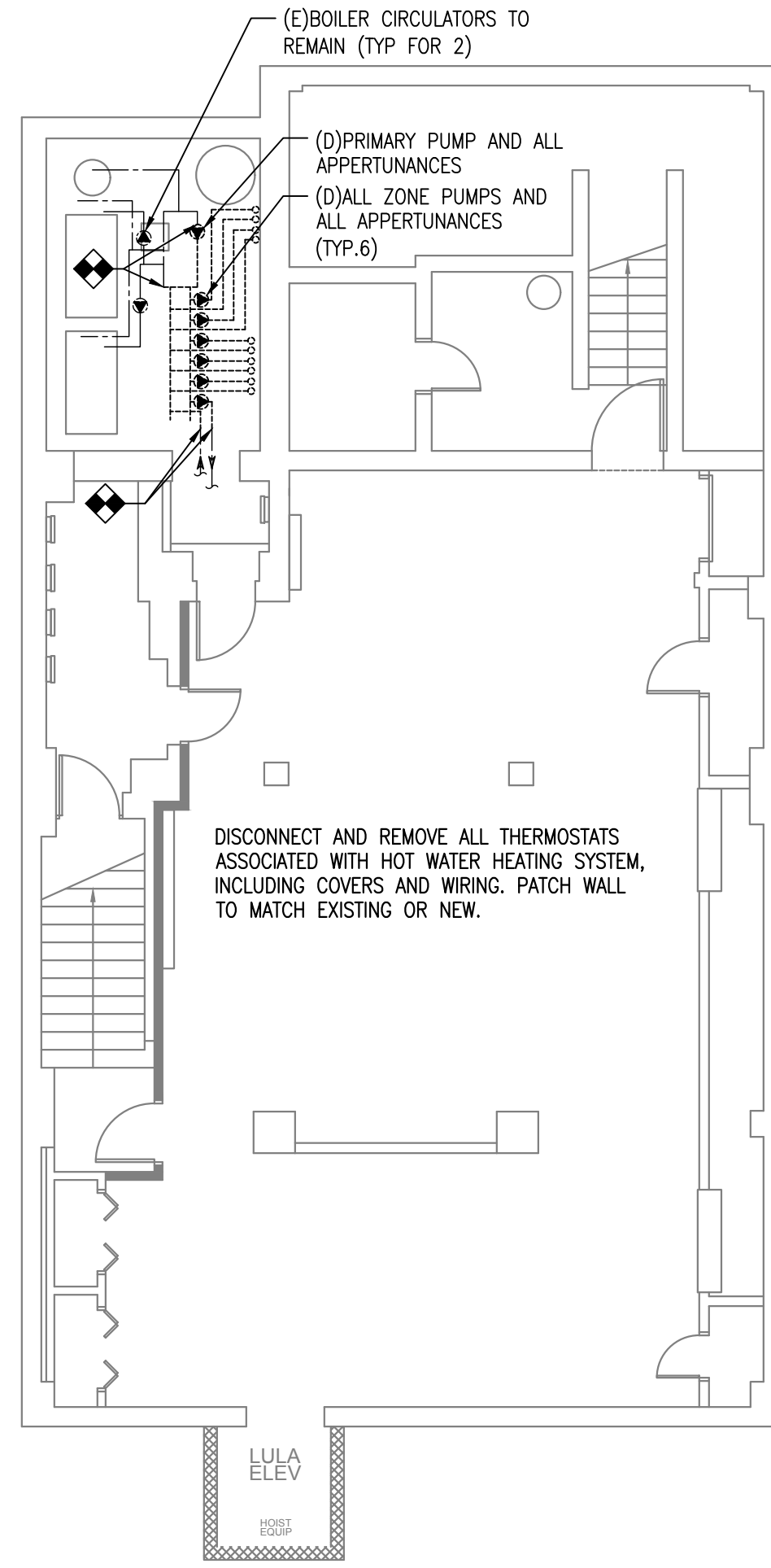
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

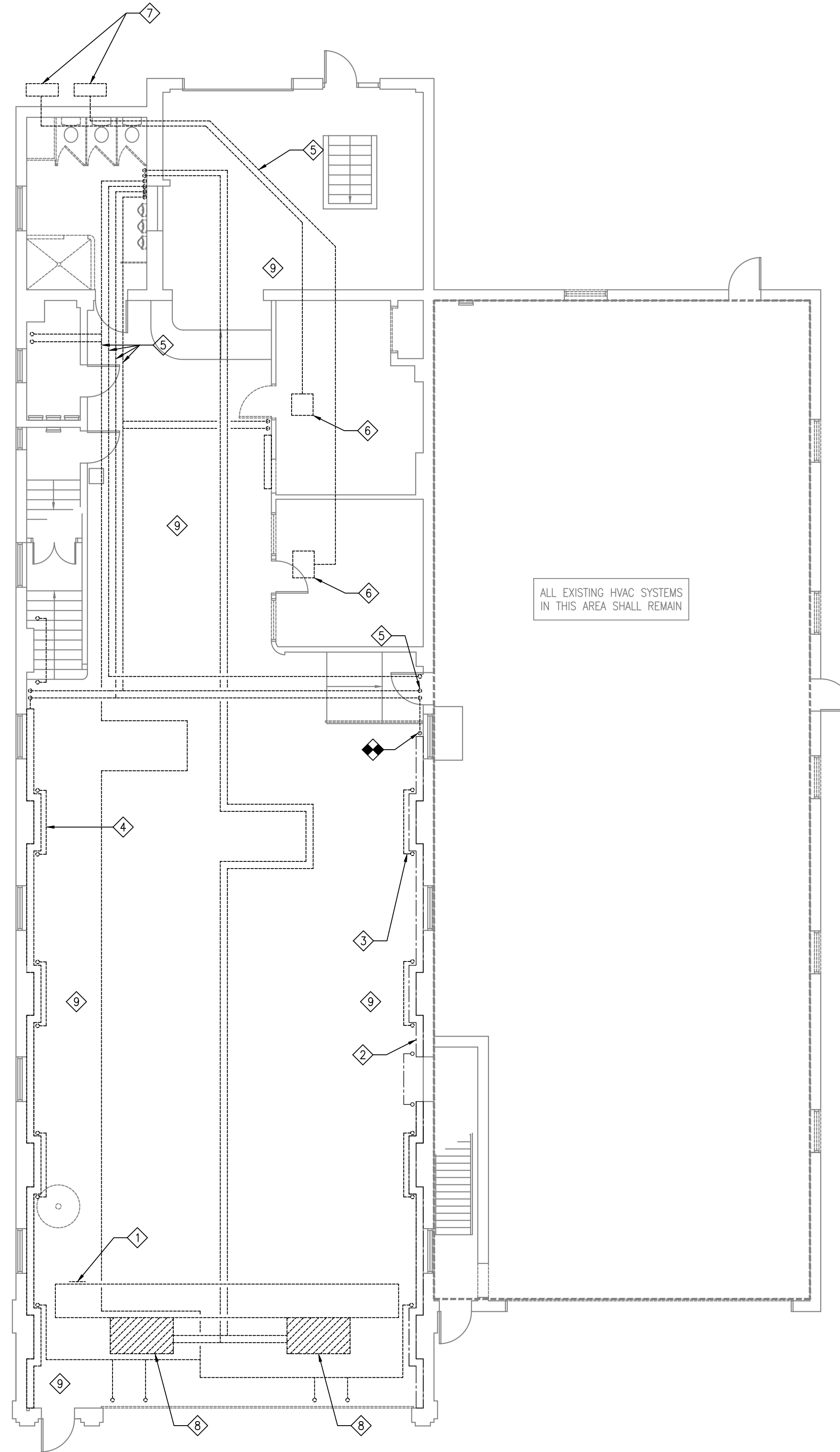
ALTERATIONS RIVERSIDE FIRE COMPANY 1 COVER SHEET RIVERSIDE FIRE COMPANY NO. 1 14 W. SCOTT STREET RIVERSIDE, NJ 08075

JOB NO. RSFDX19001 SHEET - OF - NORTH

SCALE NONE DRAWN BY TF DATE 03/18/2020 APPROVED RD M-001



1
BASEMENT PLAN - DEMOLITION
 M-100 SCALE: 1/8"=1'-0"



2
FIRST FLOOR PLAN - DEMOLITION
 M-100 SCALE: 1/8"=1'-0"

GENERAL NOTES:

SEE DRAWING M-001 FOR NOTES SYMBOLS AND ABBREVIATIONS.

1. NOT ALL EXISTING EQUIPMENT, EXISTING PIPING, AND EXISTING PIPE CONNECTIONS ARE SHOWN.
2. REMOVE ALL INSULATION ON EXISTING PIPING AFFECTED BY SCOPE OF WORK AND REPLACE WITH NEW INSULATION PER SCHEDULES AND SPECIFICATIONS.
3. VERIFY ALL EQUIPMENT AND DIMENSIONS IN FIELD PRIOR TO ANY FABRICATION.
4. REFER TO MECHANICAL DETAILS FOR PROPER PIPING AND DUCTWORK INSTALLATION.
5. THE TERM "PATCH" SHALL MEAN TO SEAL AND INSULATE ANY OPENING WATERTIGHT, REPAIR THE EXISTING SURFACE USING MATERIALS SIMILAR TO THE EXISTING WALL OR FLOOR CONSTRUCTION, AND PAINT THE REPAIR WITH TWO (2) COATS TO MATCH COLOR AND TEXTURE OF EXISTING SURFACES.

HVAC DEMOLITION NOTES:

- 1 DEMOLISH DUCTWORK THAT EXTENDS BEYOND NEW WORK WALL. CAP AND SEAL. RELOCATE AND RE-INSTALL (E)GRILLE ONTO PLENUM.
- 2 (E)RADIATION, PIPING, CONTROLS, AND ALL APPURTENANCES TO REMAIN ON THIS SIDE ONLY
- 3 DEMOLISH RADIATION, PIPING, CONTROLS, AND ALL APPURTENANCES SERVING SECOND FLOOR (TYPICAL THIS SIDE)
- 4 DEMOLISH RADIATION, PIPING, CONTROLS, AND ALL APPURTENANCES SERVING FIRST AND SECOND FLOORS (TYPICAL THIS SIDE)
- 5 DEMOLISH PIPING, CONTROLS, AND ALL APPURTENANCES BACK TO MECH RM
- 6 DEMOLISH SPLIT SYSTEM INDOOR UNIT, PIPING, CONTROLS, AND ALL APPURTENANCES
- 7 DEMOLISH SPLIT SYSTEM OUTDOOR UNIT, PIPING, CONTROLS, AND ALL APPURTENANCES
- 8 DEMOLISH FAN COIL UNIT, DUCTWORK, PIPING, AND ALL APPURTENANCES
- 9 DISCONNECT AND REMOVE ALL THERMOSTATS ASSOCIATED WITH HOT WATER HEATING SYSTEM, INCLUDING COVERS AND WIRING. PATCH WALL TO MATCH EXISTING OR NEW.

 NORTH	JOB NO. RSFDX19001
SCALE NONE	SHEET - OF -
DRAWN BY TF	DRAWING NO. M-100
DATE 03/18/2020	APPROVED RD

ALTERATIONS
 RIVERSIDE FIRE COMPANY 1

DEMOLITION PLANS

RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

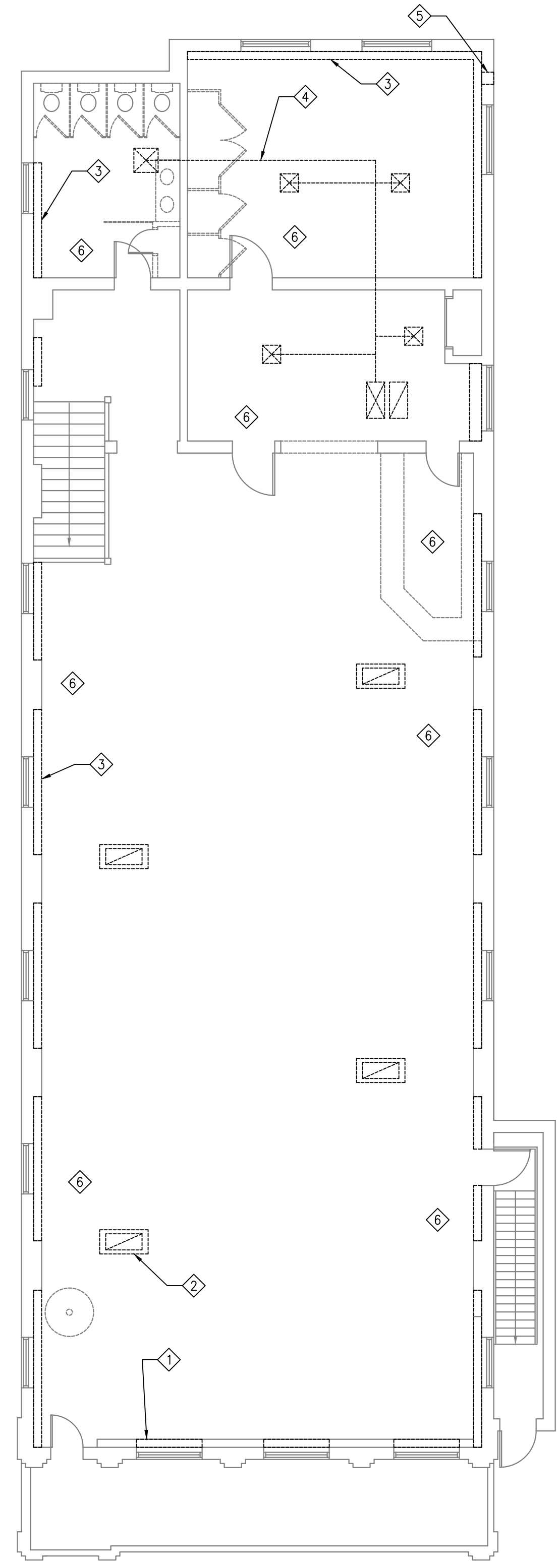
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

DATE	NO.	BY	REVISIONS
07/17/20	-	RM	-

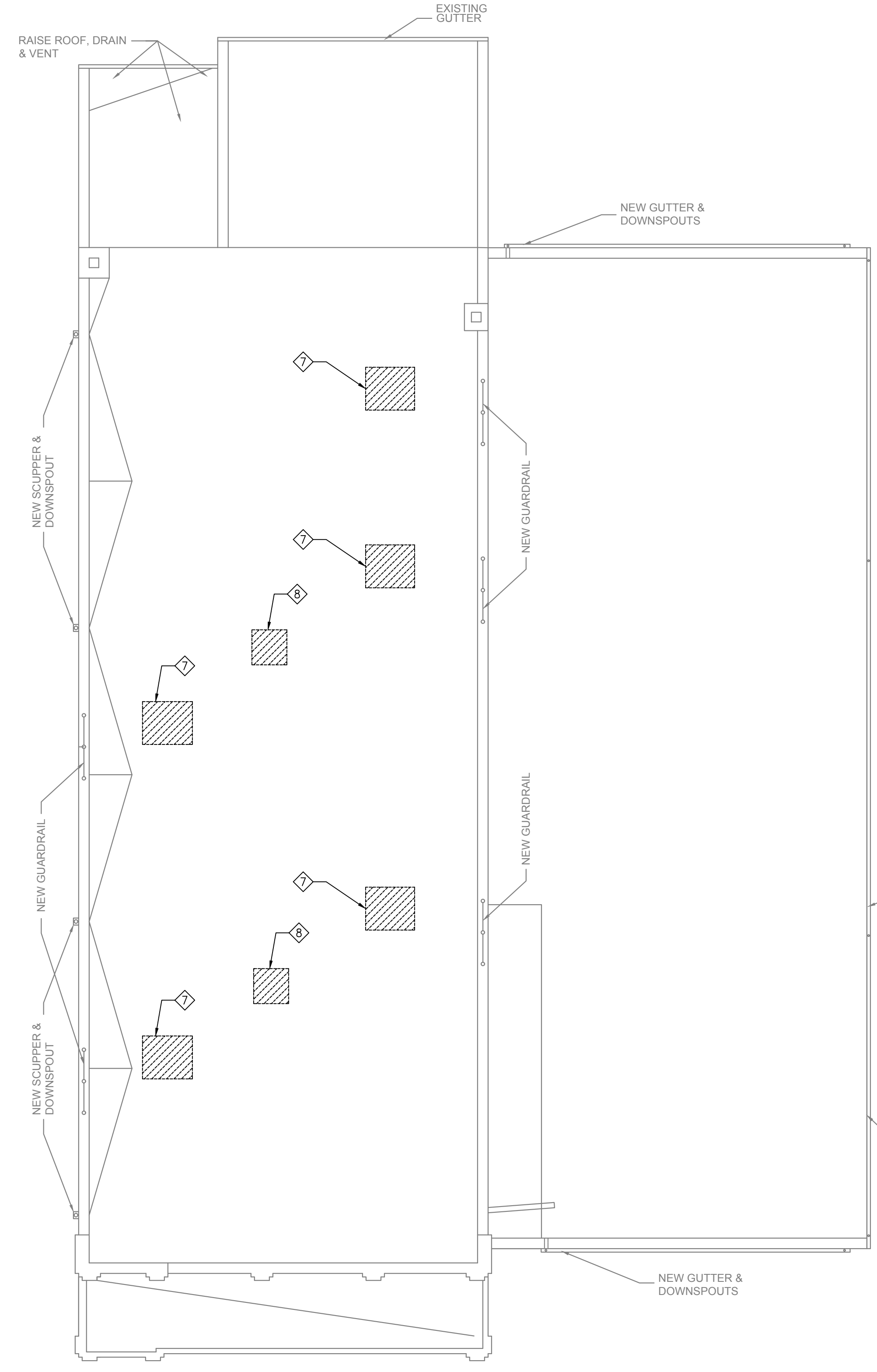


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 Robert Giam


1
SECOND FLOOR PLAN - DEMOLITION
 M-101 SCALE: 1/8"=1'-0"




2
ROOF PLAN - DEMOLITION
 M-101 SCALE: 1/8"=1'-0"



HVAC DEMOLITION NOTES:

- ◇ DEMOLISH CABINET UNIT HEATER, PIPING, CONTROLS, AND ALL APPURTENANCES (TYPICAL)
- ◇ DEMOLISH CONCENTRIC DIFFUSER AND ASSOCIATED DUCTWORK BACK TO RTU (TYPICAL)
- ◇ DEMOLISH RADIATION, PIPING, CONTROLS, AND ALL APPURTENANCES (TYPICAL)
- ◇ DEMOLISH ALL DIFFUSERS, GRILLES, AND ASSOCIATED DUCTWORK BACK TO RTU. PATCH CEILING TO MATCH EXISTING.
- ◇ DEMOLISH EXHAUST FAN INCLUDING POWER AND ALL APPURTENANCES. PATCH WALL TO MATCH EXISTING.
- ◇ DISCONNECT AND REMOVE ALL THERMOSTATS ASSOCIATED WITH HOT WATER HEATING SYSTEM, INCLUDING COVERS AND WIRING. PATCH WALL TO MATCH EXISTING OR NEW.
- ◇ DEMOLISH ROOFTOP AIR CONDITIONING UNIT AND ALL APPURTENANCES. PATCH AND REPAIR ROOF TO MATCH EXISTING. COORDINATE WITH ROOF MANUFACTURER'S WARRANTY.
- ◇ DEMOLISH EXHAUST FAN AND ALL APPURTENANCES. PATCH AND REPAIR ROOF TO MATCH EXISTING. COORDINATE WITH ROOF MANUFACTURER'S WARRANTY.

GENERAL NOTES:

- SEE DRAWING M-001 FOR NOTES SYMBOLS AND ABBREVIATIONS.
1. NOT ALL EXISTING EQUIPMENT, EXISTING PIPING, AND EXISTING PIPE CONNECTIONS ARE SHOWN.
 2. REMOVE ALL INSULATION ON EXISTING PIPING AFFECTED BY SCOPE OF WORK AND REPLACE WITH NEW INSULATION PER SCHEDULES AND SPECIFICATIONS.
 3. VERIFY ALL EQUIPMENT AND DIMENSIONS IN FIELD PRIOR TO ANY FABRICATION.
 4. REFER TO MECHANICAL DETAILS FOR PROPER PIPING AND DUCTWORK INSTALLATION.
 5. THE TERM "PATCH" SHALL MEAN TO SEAL AND INSULATE ANY OPENING WATERTIGHT, REPAIR THE EXISTING SURFACE USING MATERIALS SIMILAR TO THE EXISTING WALL OR FLOOR CONSTRUCTION, AND PAINT THE REPAIR WITH TWO (2) COATS TO MATCH COLOR AND TEXTURE OF EXISTING SURFACES.

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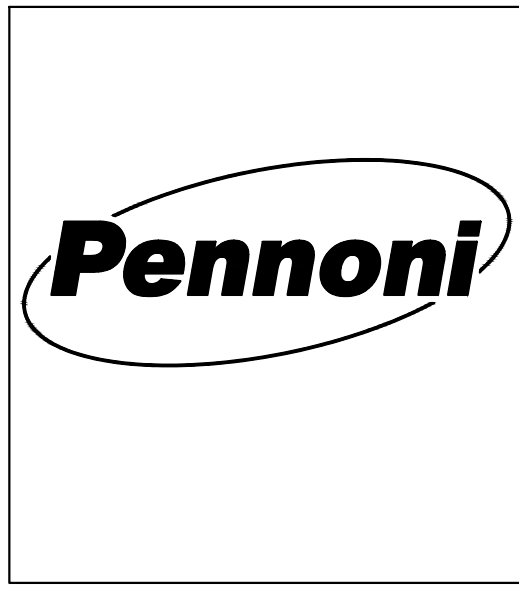
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DATE		
03/18/2020	M-101	
APPROVED		
RD		

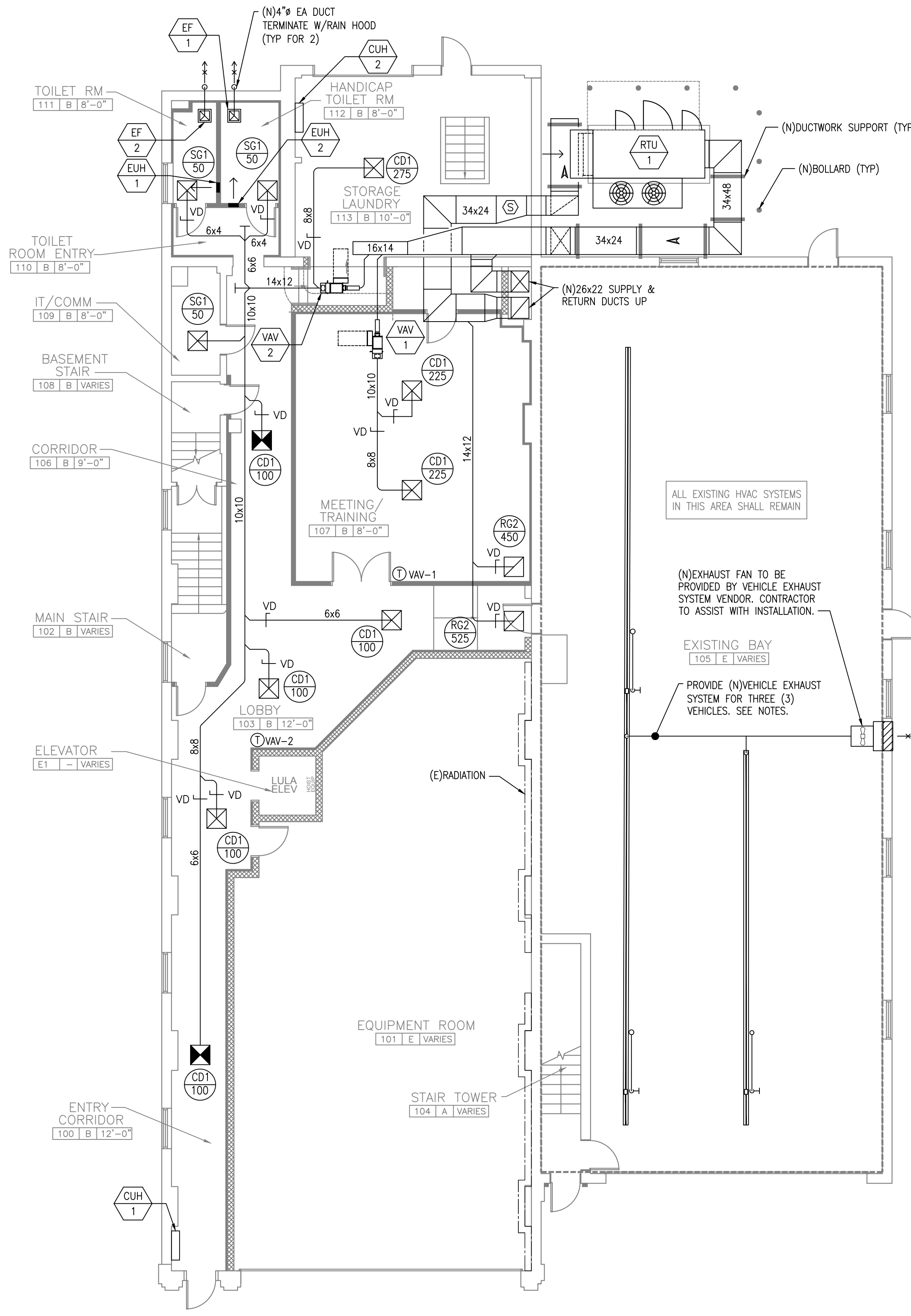
ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
DEMOLITION PLANS
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, N.J. 08075

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

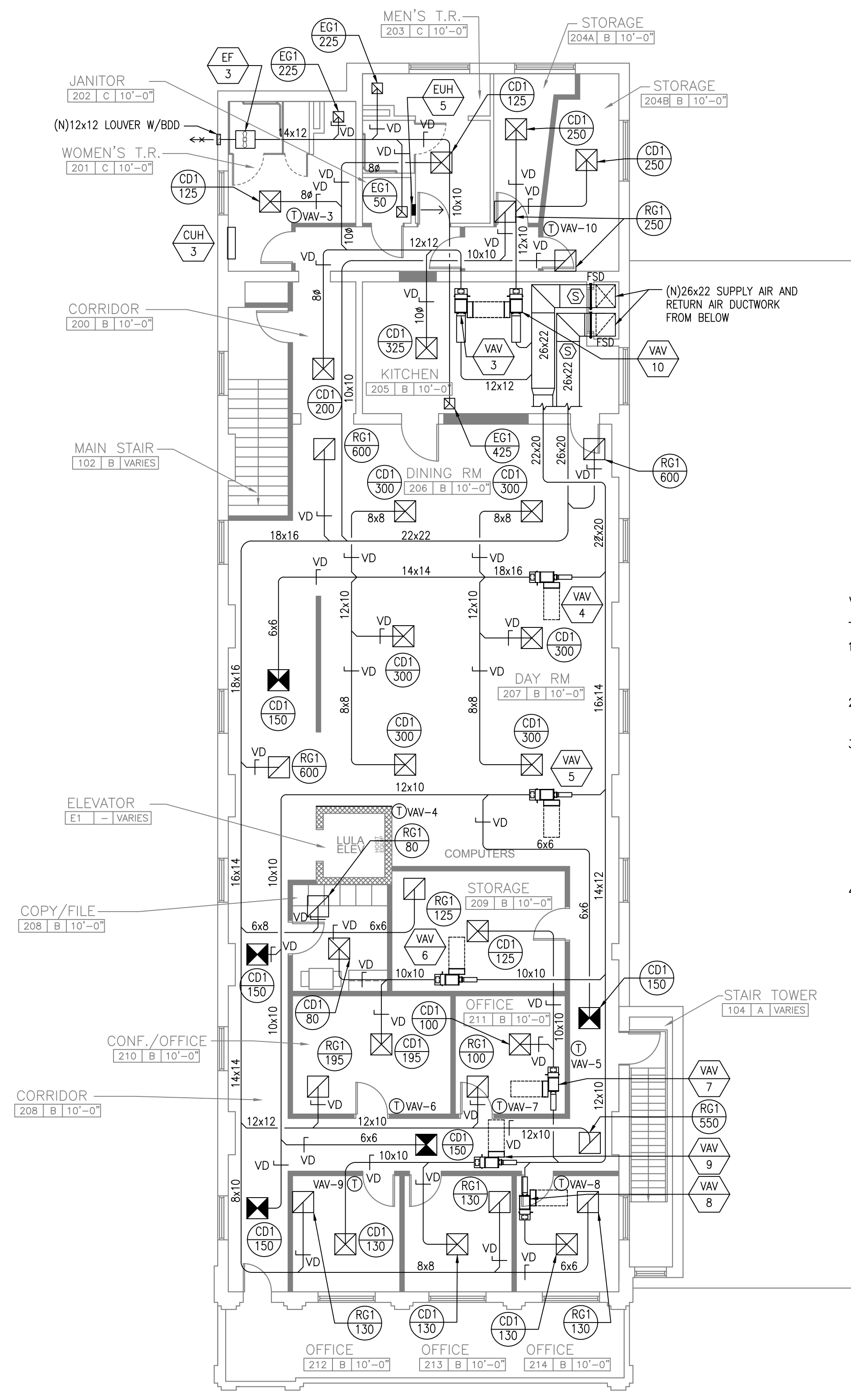
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 03/18/2020



1 FIRST FLOOR PLAN - NEW WORK DUCTWORK
 M-200 SCALE: 1/8"=1'-0"



2 SECOND FLOOR PLAN - NEW WORK DUCTWORK
 M-200 SCALE: 1/8"=1'-0"

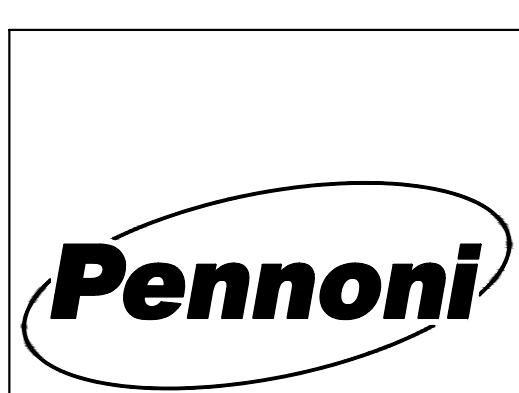
GENERAL NOTES:

SEE DRAWING M-001 FOR NOTES SYMBOLS AND ABBREVIATIONS.

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- VERIFY ALL EQUIPMENT AND DIMENSIONS IN FIELD PRIOR TO ANY FABRICATION.
- REFER TO MECHANICAL DETAILS FOR PROPER PIPING AND DUCTWORK INSTALLATION.
- THE TERM "PATCH" SHALL MEAN TO SEAL AND INSULATE ANY OPENING WATER TIGHT, REPAIR THE EXISTING SURFACE USING MATERIALS SIMILAR TO THE EXISTING WALL OR FLOOR CONSTRUCTION, AND PAINT THE REPAIR WITH TWO (2) COATS TO MATCH COLOR AND TEXTURE OF EXISTING SURFACES.
- ALL BRANCH DUCTWORK CONNECTING TO AN AIR DEVICE SHALL BE EQUIVALENT SIZE OF AIR DEVICE NECK UNLESS OTHERWISE NOTED. REFER TO AIR DEVICE SCHEDULE.
- PROVIDE PROPER LENGTH OF STRAIGHT DUCTWORK AT VAV BOX INLET AND CODE REQUIRED CLEARANCES IN FRONT OF CONTROL PANEL FOR ACCESS.

VEHICLE EXHAUST SYSTEM:

- PROVIDE NEW VEHICLE EXHAUST SYSTEM (VES). BASIS OF DESIGN SHALL BE PLYMOUTH OR APPROVED EQUAL. SYSTEM MANUFACTURER SHALL PROVIDE TURNKEY SERVICES FOR THE DESIGN, PURCHASING, AND INSTALLATION OF A COMPLETELY OPERATIONAL VES FOR THREE (3) VEHICLES.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL REQUIRED SERVICES OUTSIDE OF VES PROVIDERS SCOPE OF WORK INCLUDING ELECTRICAL AND ROOF/WALL PENETRATIONS FOR EXHAUST.
- THE VES DESIGN SHALL CONSIST OF, BUT NOT BE LIMITED TO:
 - ONE (1) MAGNETIC VEHICLE EXHAUST ATTACHMENT FOR UNDER CARRIAGE EXHAUST PER TRUCK THAT AUTOMATICALLY DISCONNECTS UPON VEHICLE EXIT
 - A FLEXIBLE HOSE GUIDED ON A TRACK SYSTEM THAT ALLOWS VEHICLES TO BACK INTO THE BAY WHILE CONNECTED TO THE VES
 - AN EXHAUST FAN CAPABLE OF PROVIDING 500 CFM OF EXHAUST PER VEHICLE AND AUTOMATICALLY ENERGIZED BY A PRESSURE SENSOR THAT SENSES VEHICLE EXHAUST IN OPERATION
 - ALL DUCTWORK AND FITTINGS REQUIRED TO PROVIDE A SAFE AND SECURE MEANS OF EXHAUST FROM VEHICLE ATTACHMENT TO EXHAUST FAN DISCHARGE TO OUTDOORS.
- OWNER SHALL BE RESPONSIBLE FOR ANY TAIL PIPE MODIFICATIONS REQUIRED TO CONNECT VES MAGNETIC ATTACHMENT TO VEHICLE.



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07/17/20	-	BID SET	RM

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 Haddon Heights, NJ 08035 - 856.547.0505

ALTERATIONS
 RIVERSIDE FIRE COMPANY 1

NEW WORK PLANS

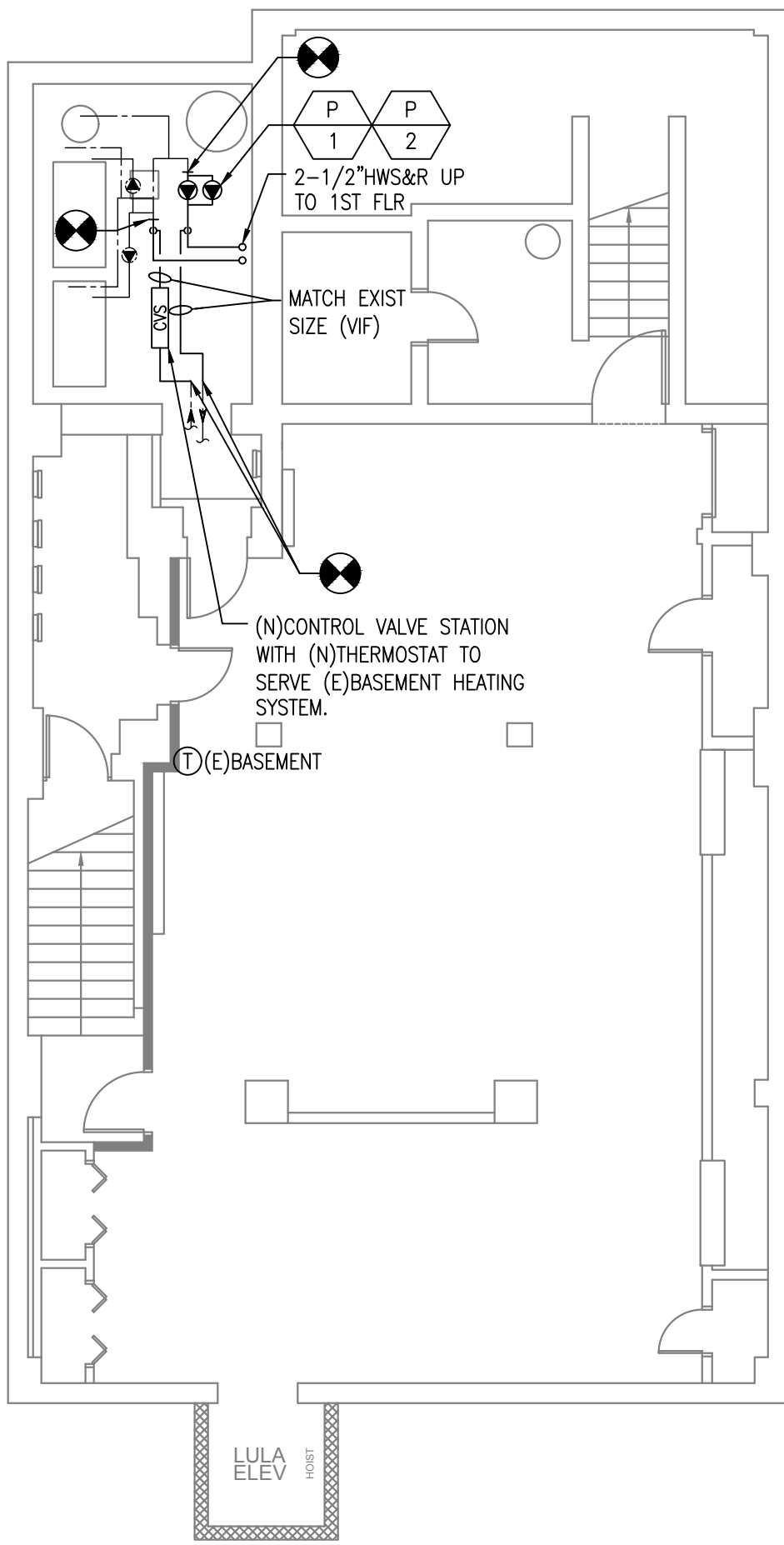
RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
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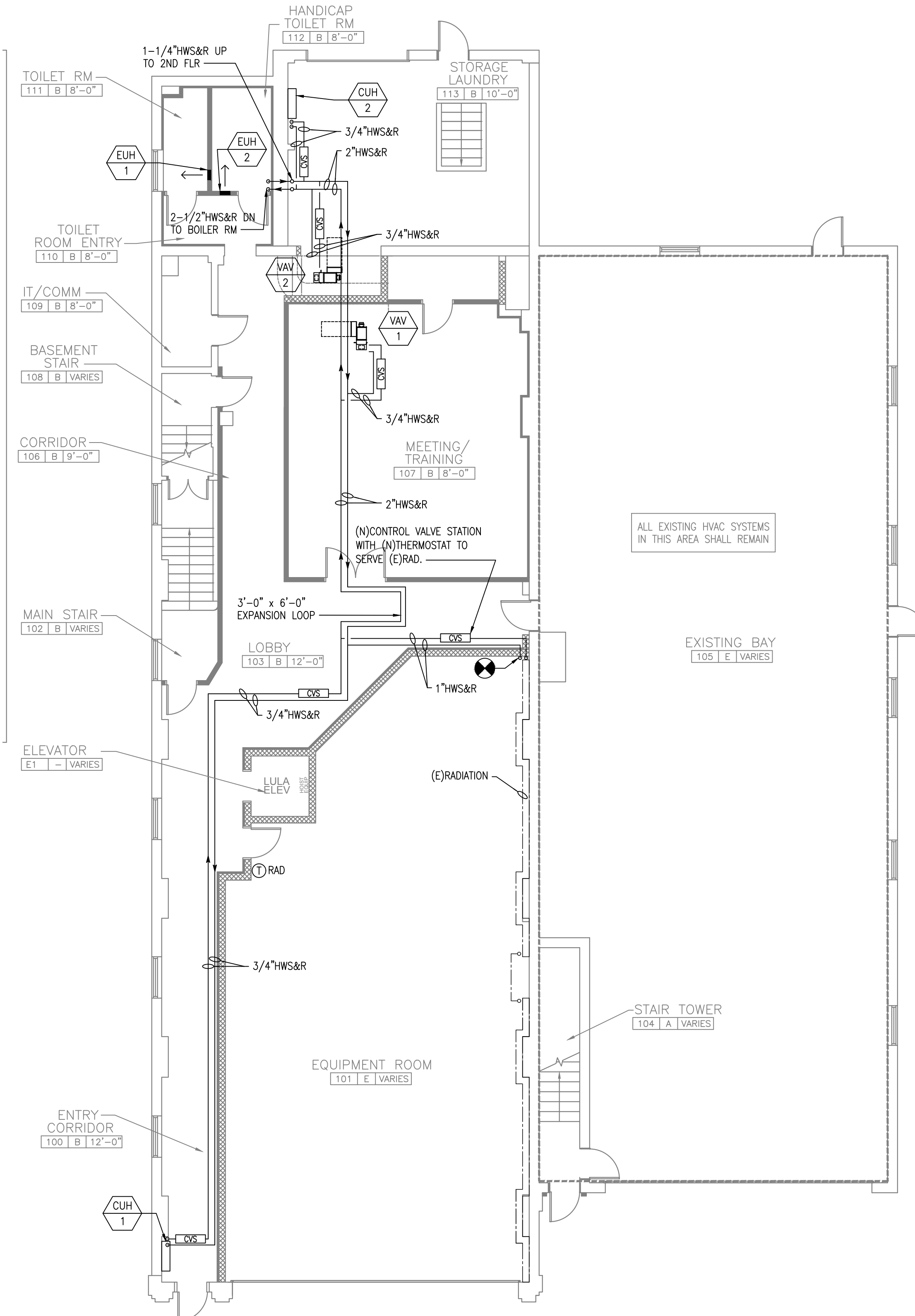
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RD	M-200

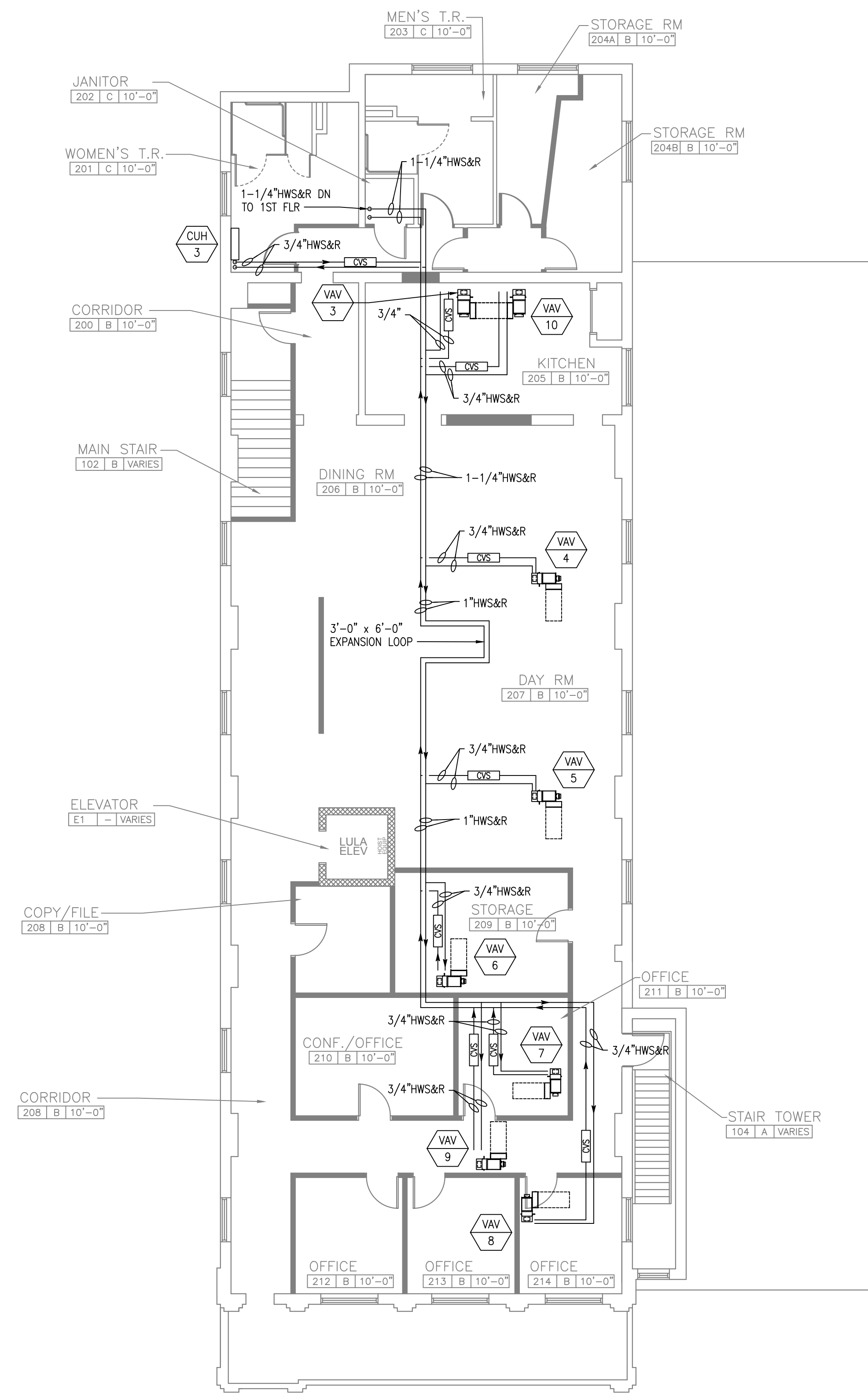
Pennoni Associates Inc.



1 BASEMENT PLAN - NEW WORK
SCALE: 1/8"=1'-0"



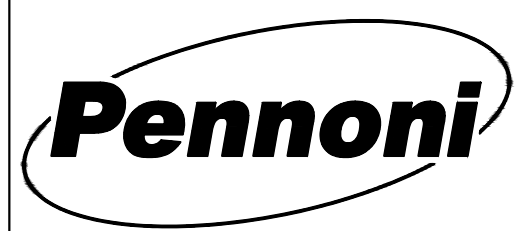
2 FIRST FLOOR PLAN - NEW WORK PIPING
SCALE: 1/8"=1'-0"



3 SECOND FLOOR PLAN - NEW WORK PIPING
SCALE: 1/8"=1'-0"

GENERAL NOTES:

- SEE DRAWING M-001 FOR NOTES SYMBOLS AND ABBREVIATIONS.
- NOT ALL EXISTING EQUIPMENT, EXISTING PIPING, AND EXISTING PIPE CONNECTIONS ARE SHOWN.
 - REMOVE ALL INSULATION ON EXISTING PIPING AFFECTED BY SCOPE OF WORK AND REPLACE WITH NEW INSULATION PER SCHEDULES AND SPECIFICATIONS.
 - VERIFY ALL EQUIPMENT AND DIMENSIONS IN FIELD PRIOR TO ANY FABRICATION.
 - REFER TO MECHANICAL DETAILS FOR PROPER PIPING AND DUCTWORK INSTALLATION.
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Haddon Heights, NJ 08035 - 856.547.0505

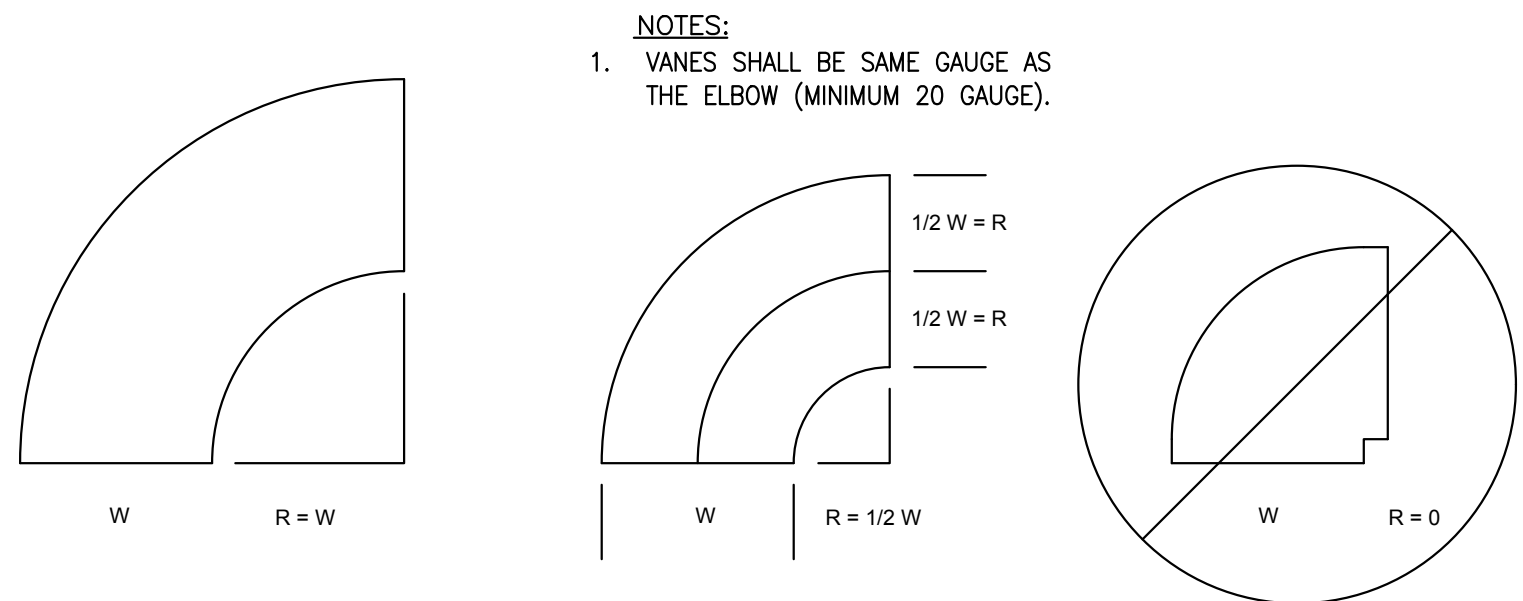
ALTERATIONS
RIVERSIDE FIRE COMPANY 1
NEW WORK PLANS
RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
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NORTH	JOB NO. RSFDX19001
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DATE 03/18/2020	
APPROVED RD	

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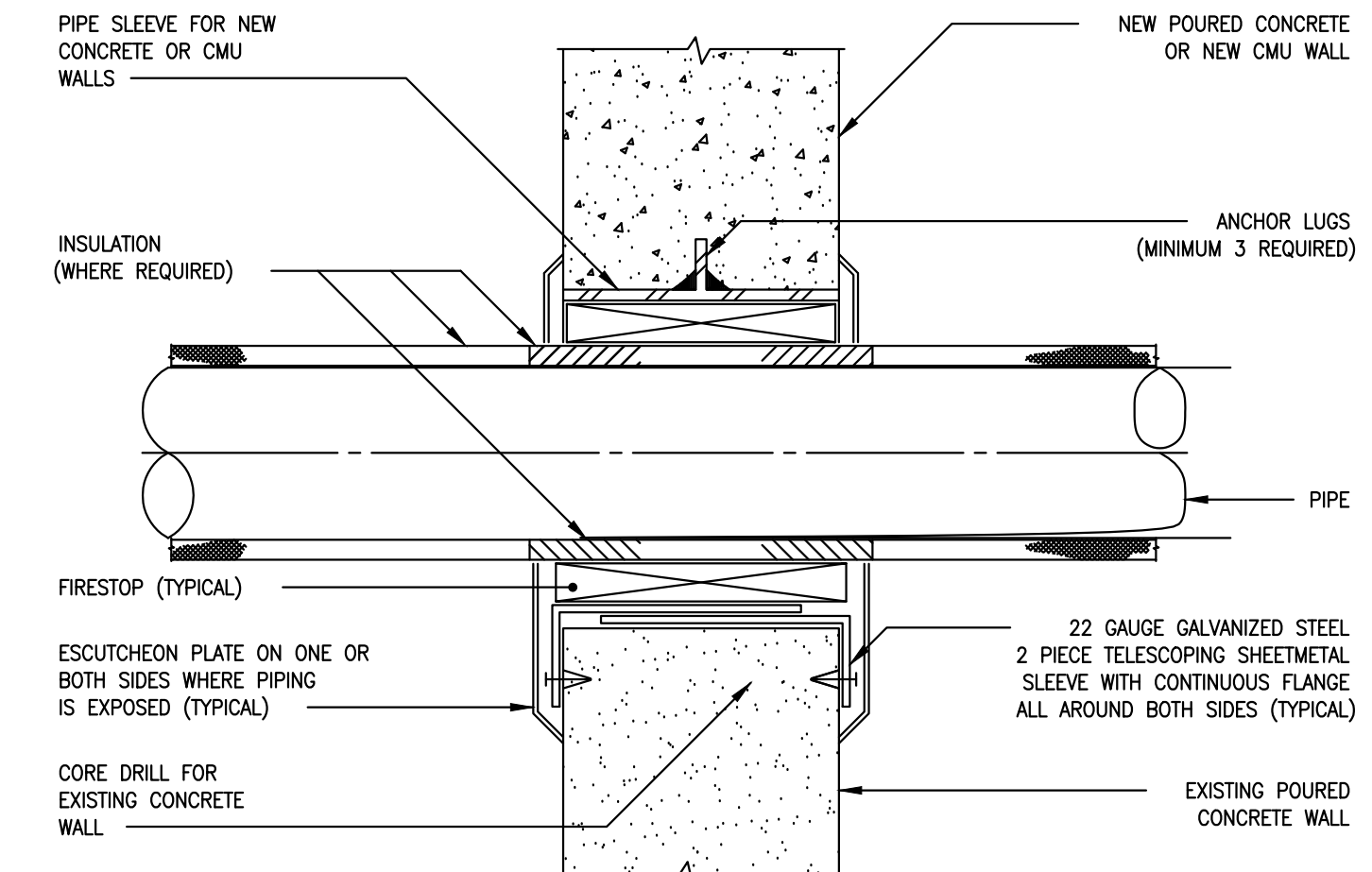
NOTES:
 1. VANES SHALL BE SAME GAUGE AS THE ELBOW (MINIMUM 20 GAUGE).

FULL RADIUS ELBOW WITH TURNING VANES (INSIDE RADIUS IS FULL WIDTH OF THE DUCT)
PREFERRED

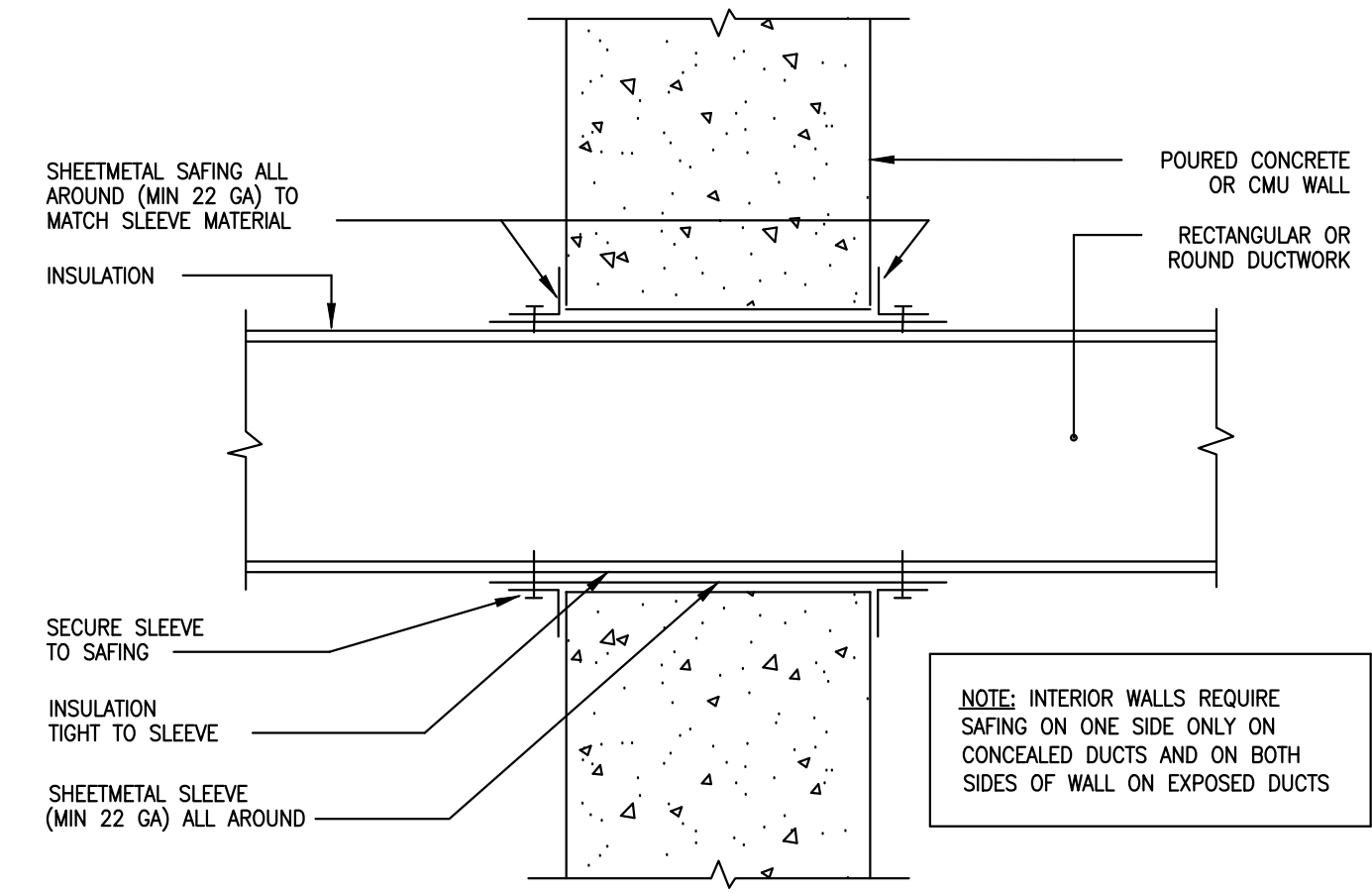
HALF RADIUS ELBOW WITH TURNING VANES (INSIDE RADIUS IS HALF THE WIDTH OF THE DUCT)
ACCEPTABLE

ZERO RADIUS ELBOW (MITERED INSIDE RADIUS)
UNACCEPTABLE
 USE MITERED ELBOW WITH TURNING VANES AS ALTERNATIVE (SEE DETAIL 6/M-300)

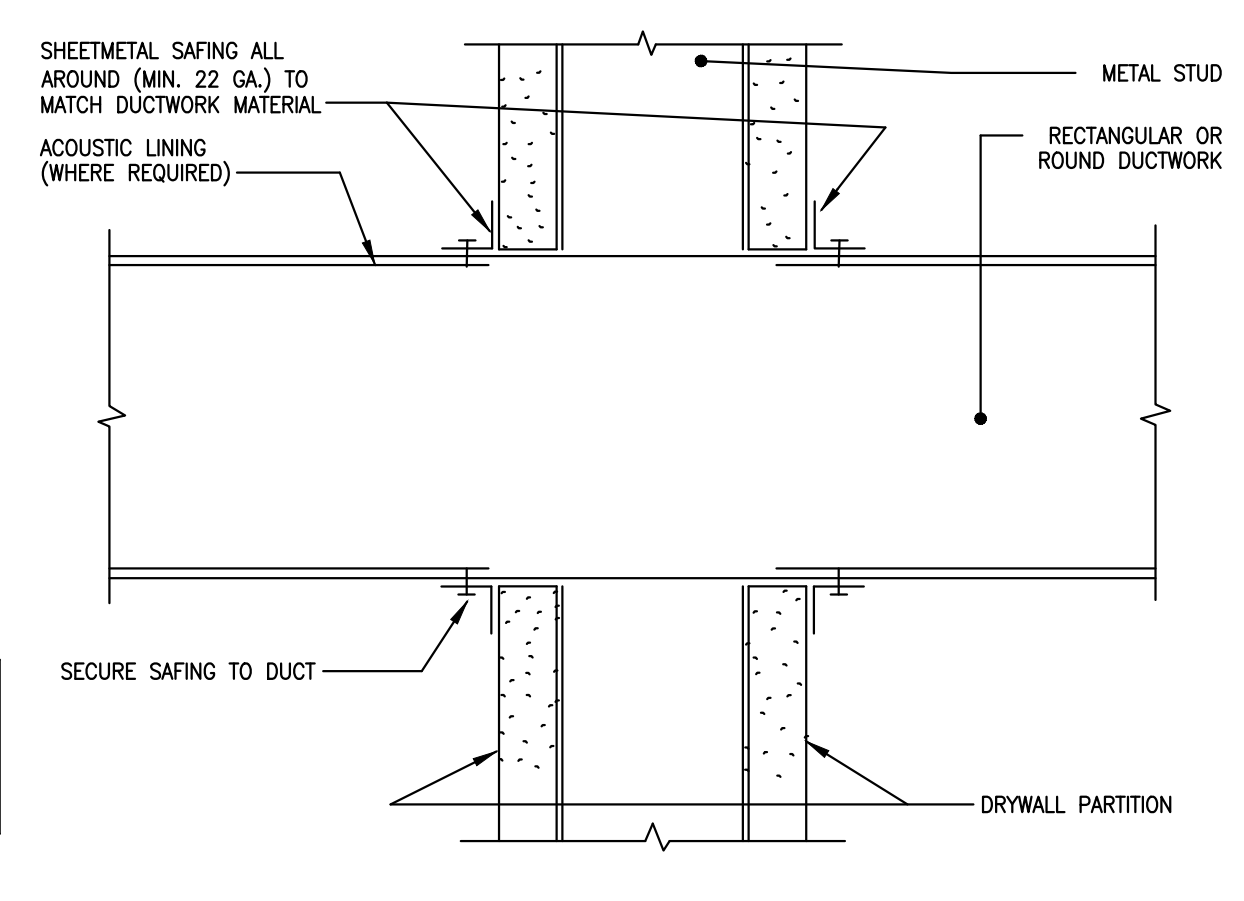
1 DETAIL - RADIUS ELBOW
 M-300 SCALE: NTS



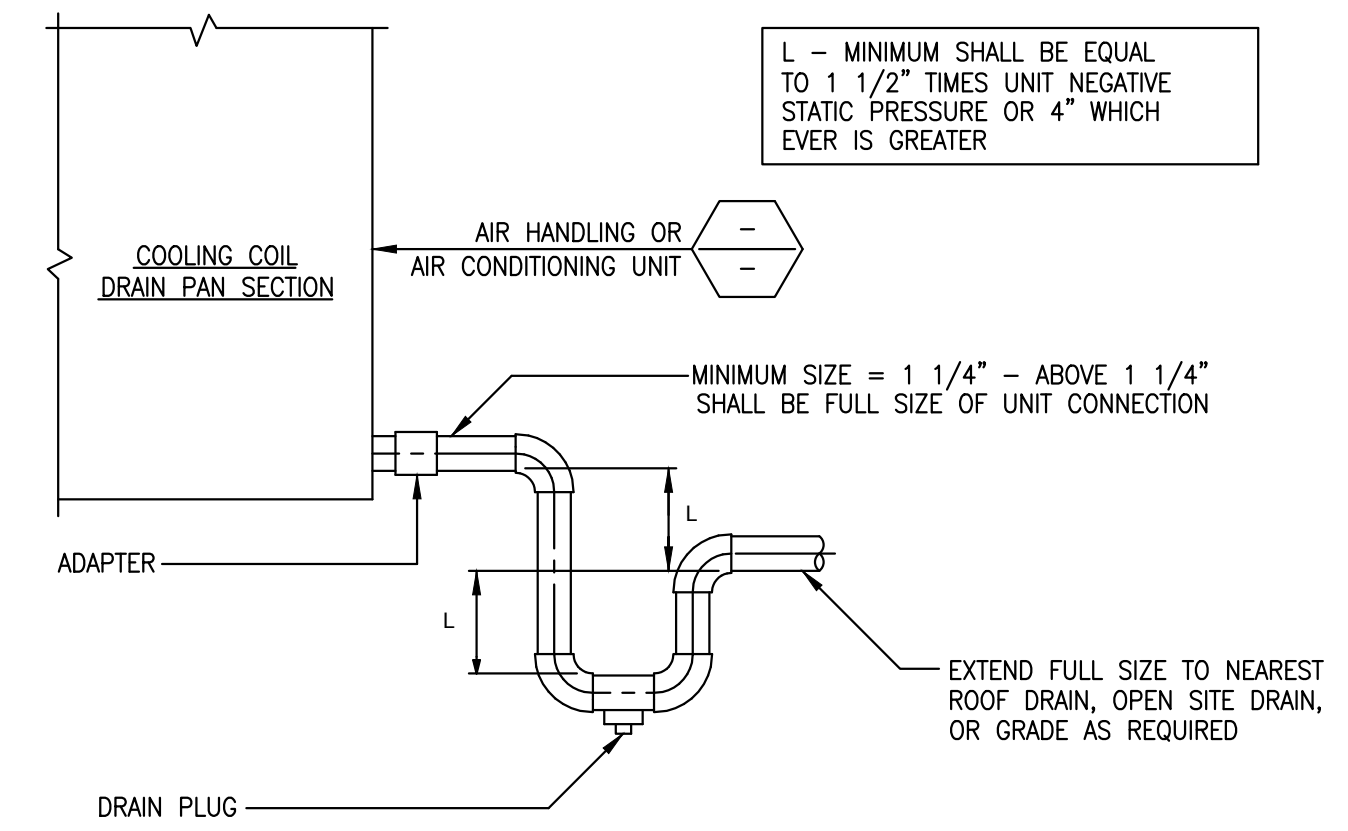
2 DETAIL - PIPE SLEEVE
 M-300 SCALE: NTS



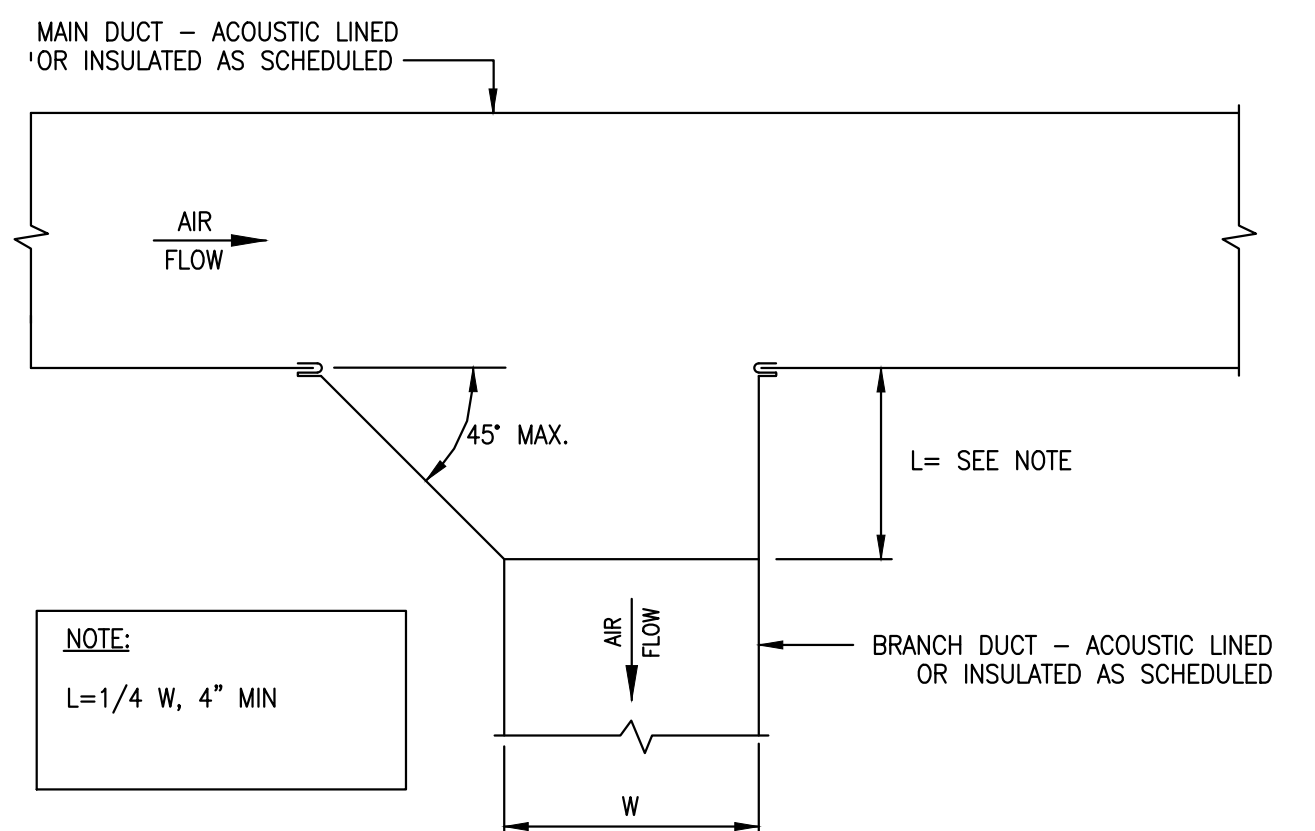
3 DETAIL - DUCT PENETRATION - NON-FIRE RATED WALLS
 M-300 SCALE: NTS



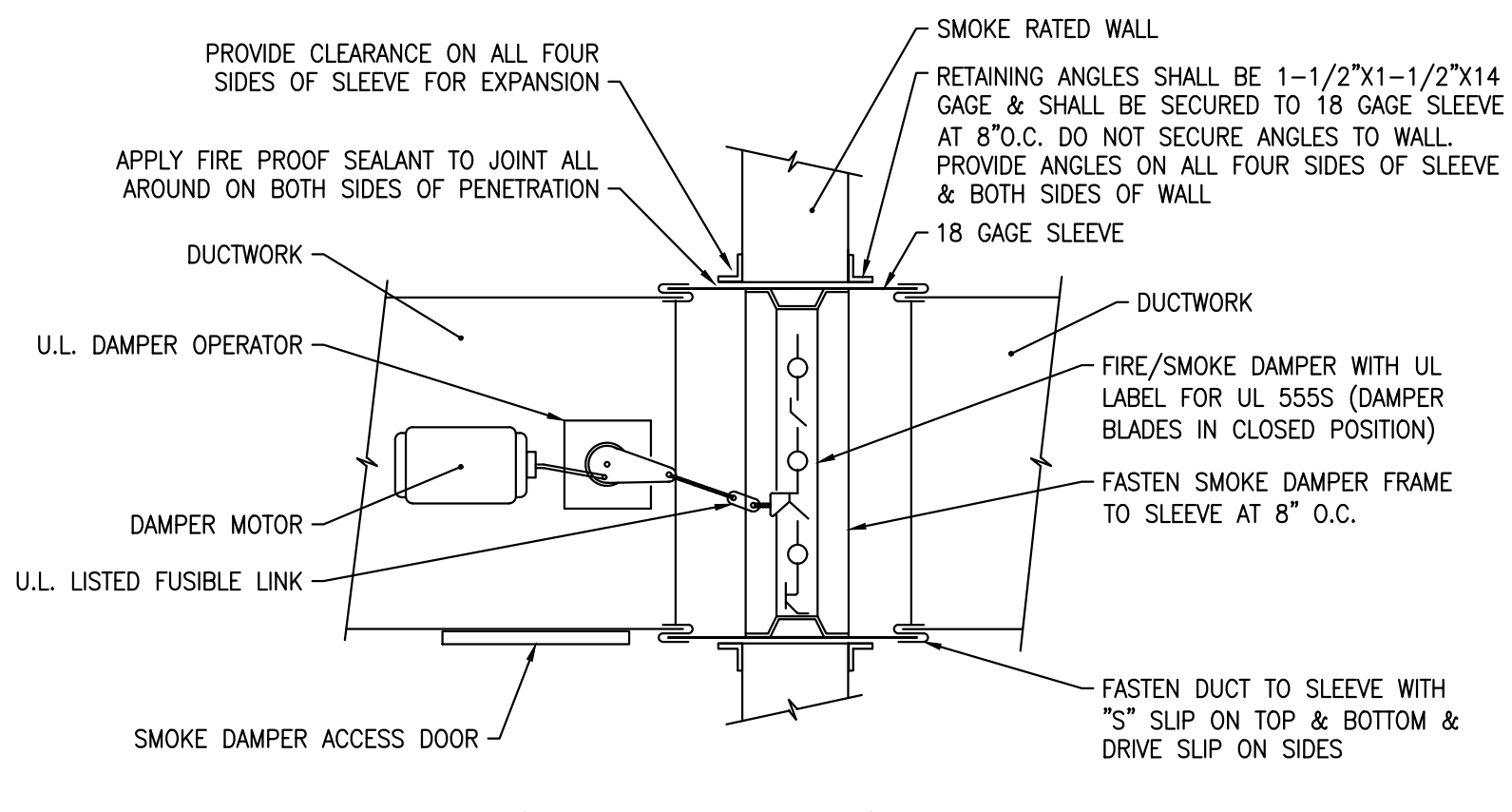
4 DETAIL - DUCT PENETRATION - NON-FIRE RATED WALLS
 M-300 SCALE: NTS



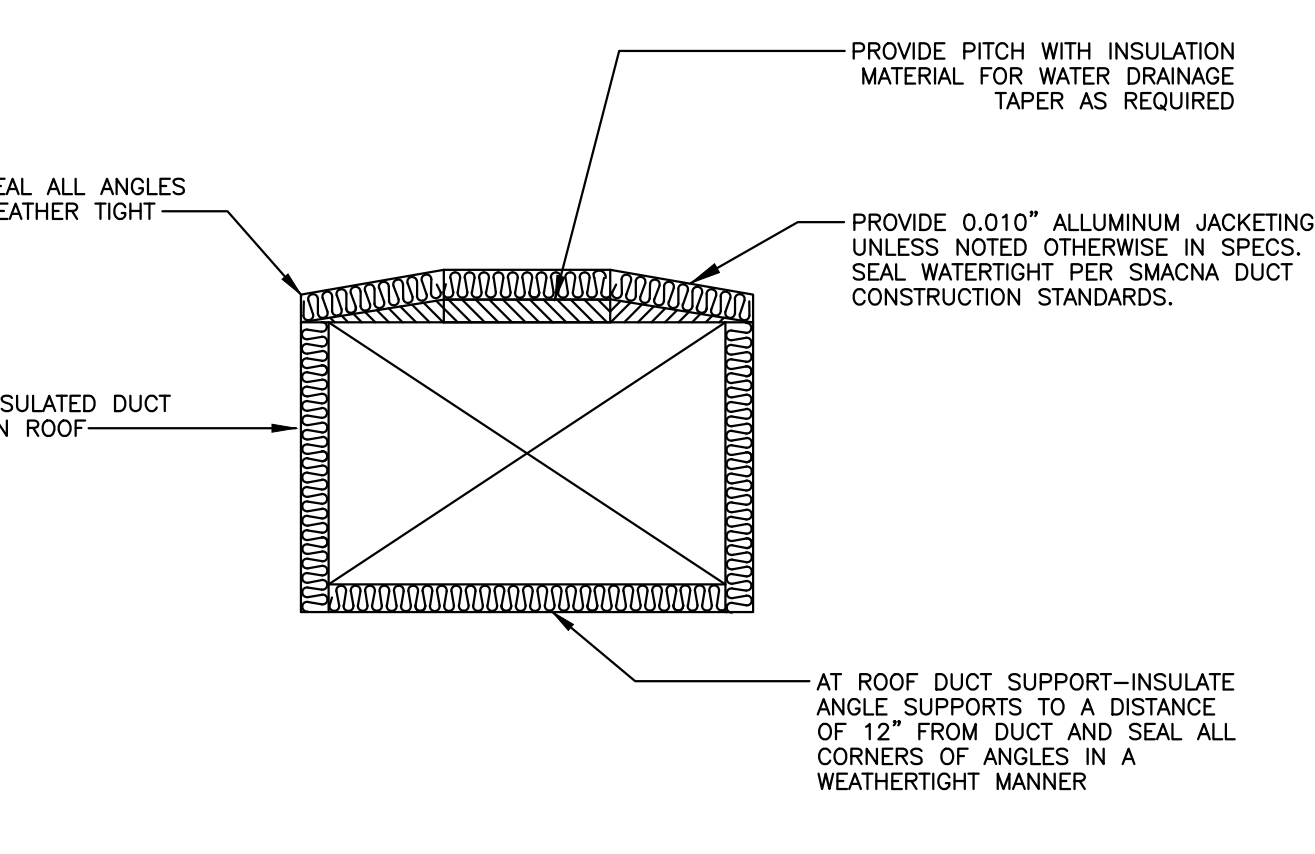
5 DETAIL - CONDENSATE DRAIN
 M-300 SCALE: NTS



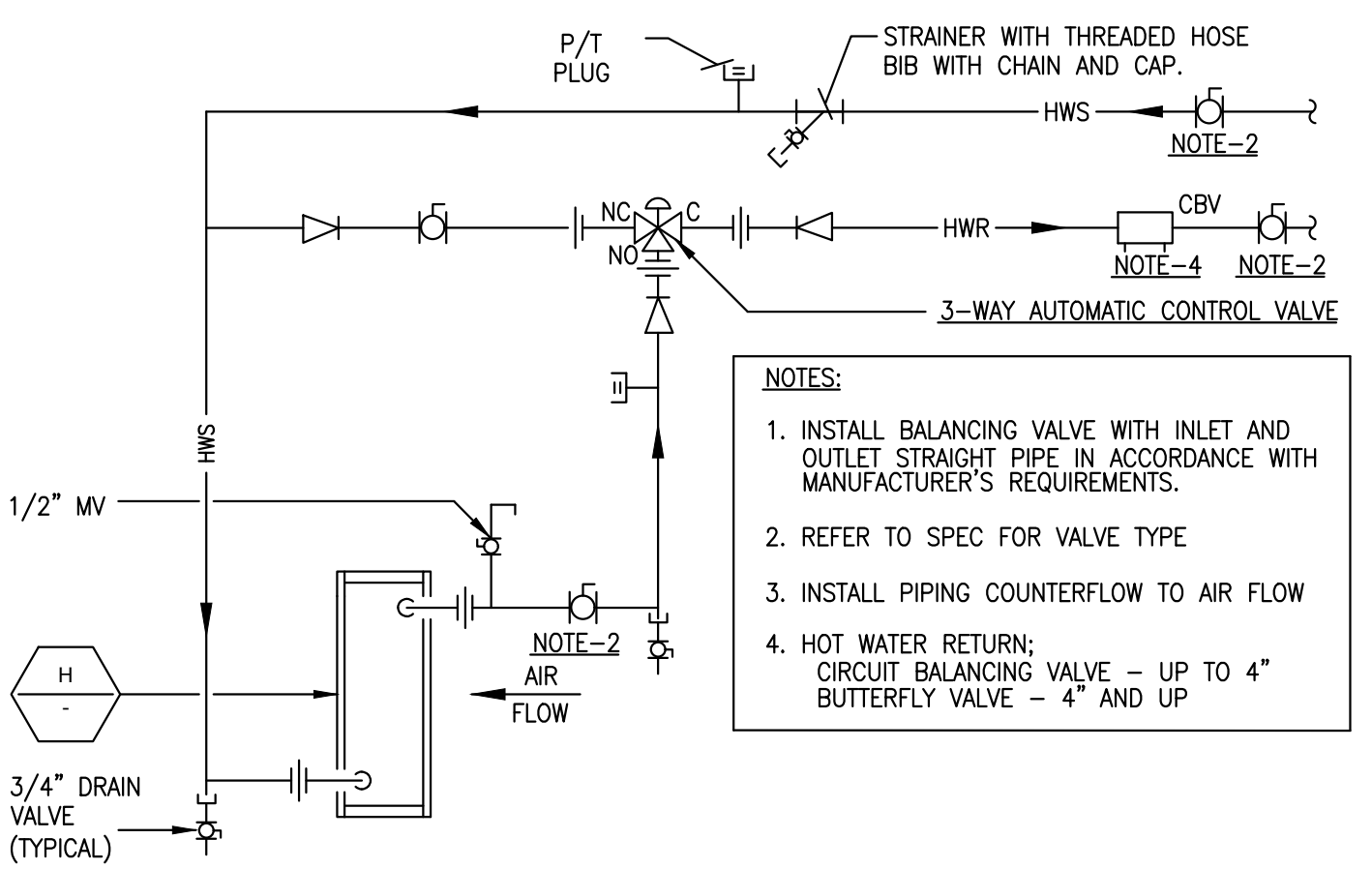
6 DETAIL - BRANCH DUCT TAKE-OFF
 M-300 SCALE: NTS



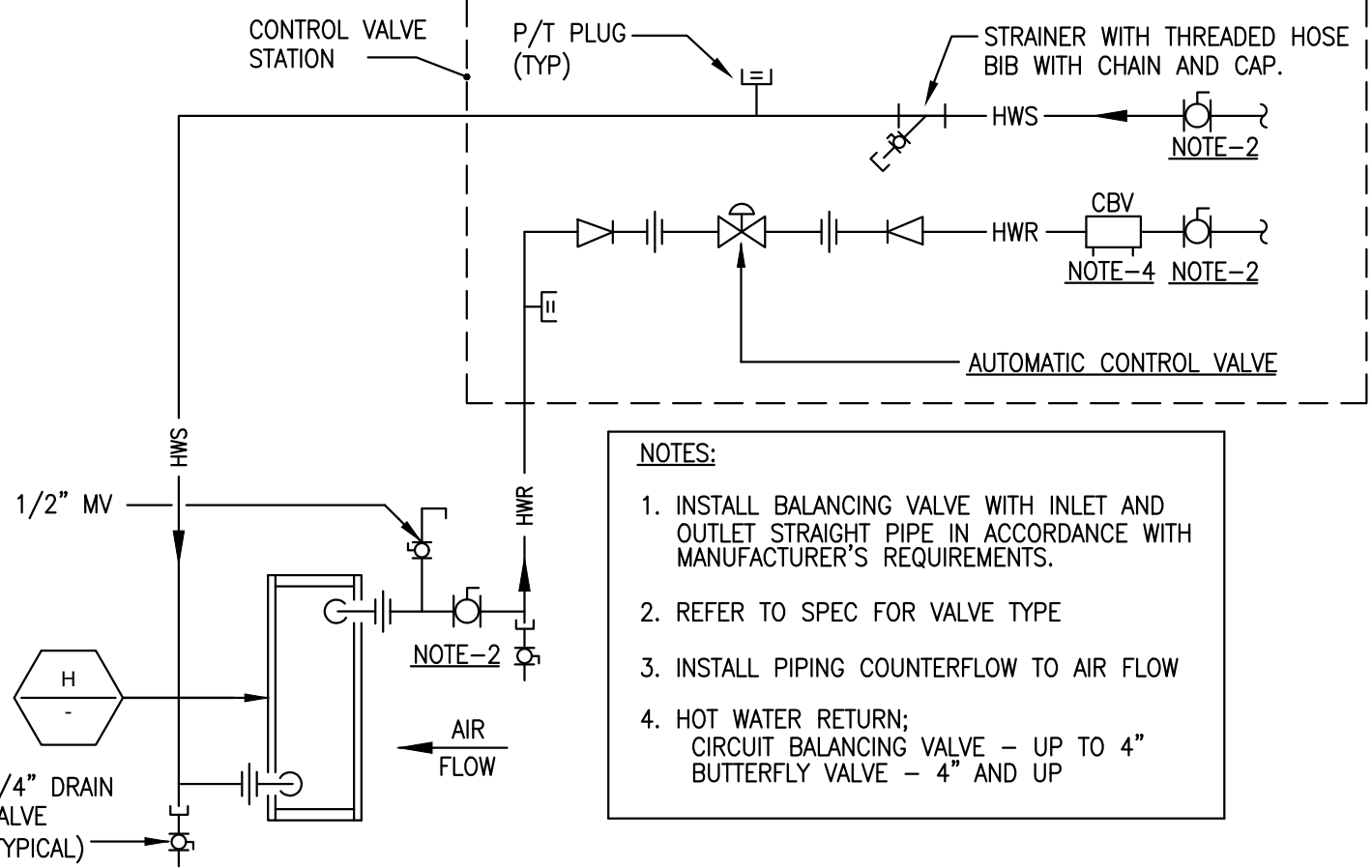
7 DETAIL - FIRE SMOKE DAMPER
 M-300 SCALE: NTS



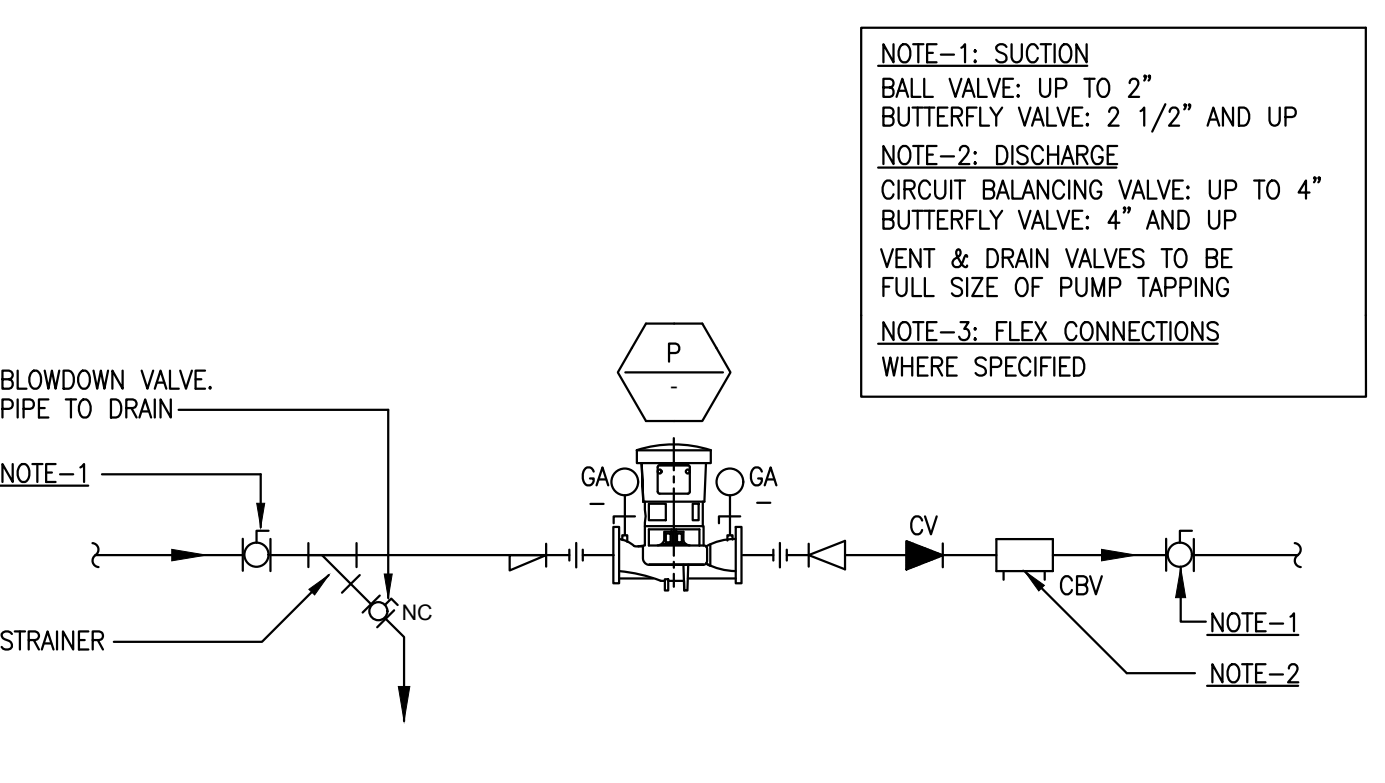
8 DETAIL - OUTDOOR INSULATED DUCT
 M-300 SCALE: NTS



9 DETAIL - RH COIL PIPING 3-WAY VALVE
 M-300 SCALE: NTS



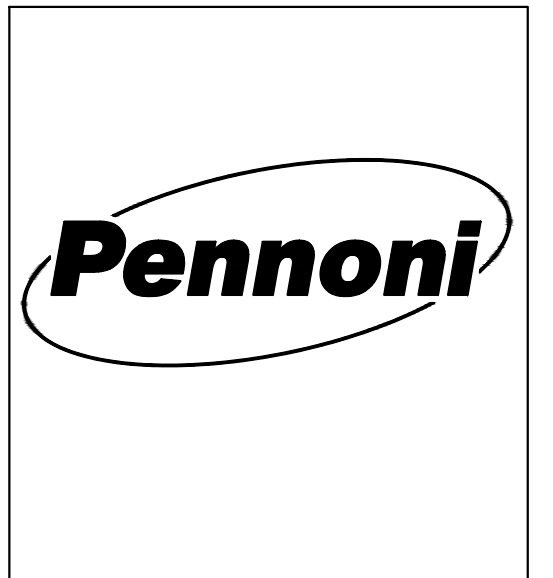
10 DETAIL - RH COIL PIPING 2-WAY VALVE
 M-300 SCALE: NTS



11 DETAIL - INLINE PUMP
 M-300 SCALE: NTS

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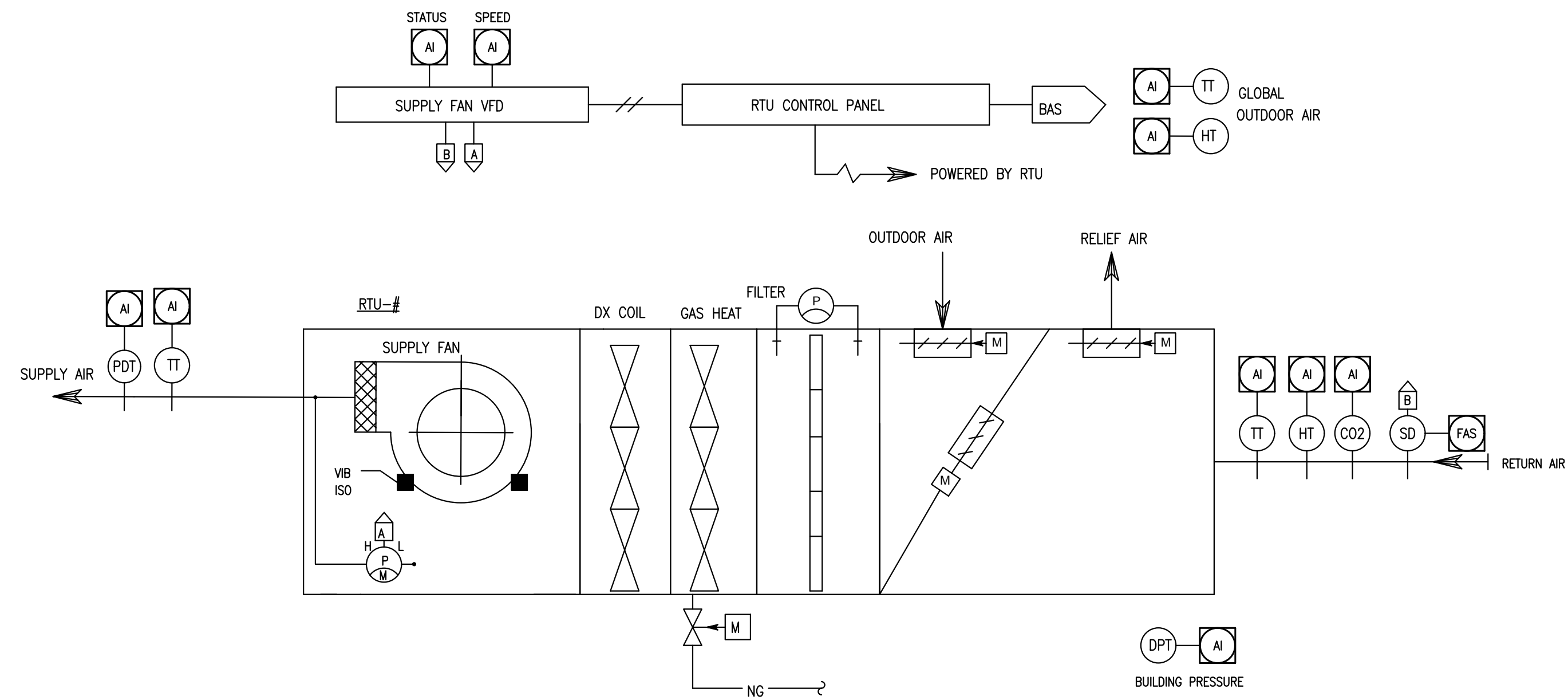
DATE	NO.	REVISIONS	BY
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

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 Haddon Heights, NJ 08035 - 856.547.0505
 ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
 MECHANICAL DETAILS
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

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DATE	03/18/2020
APPROVED	RD
DRAWING NO.	M-300



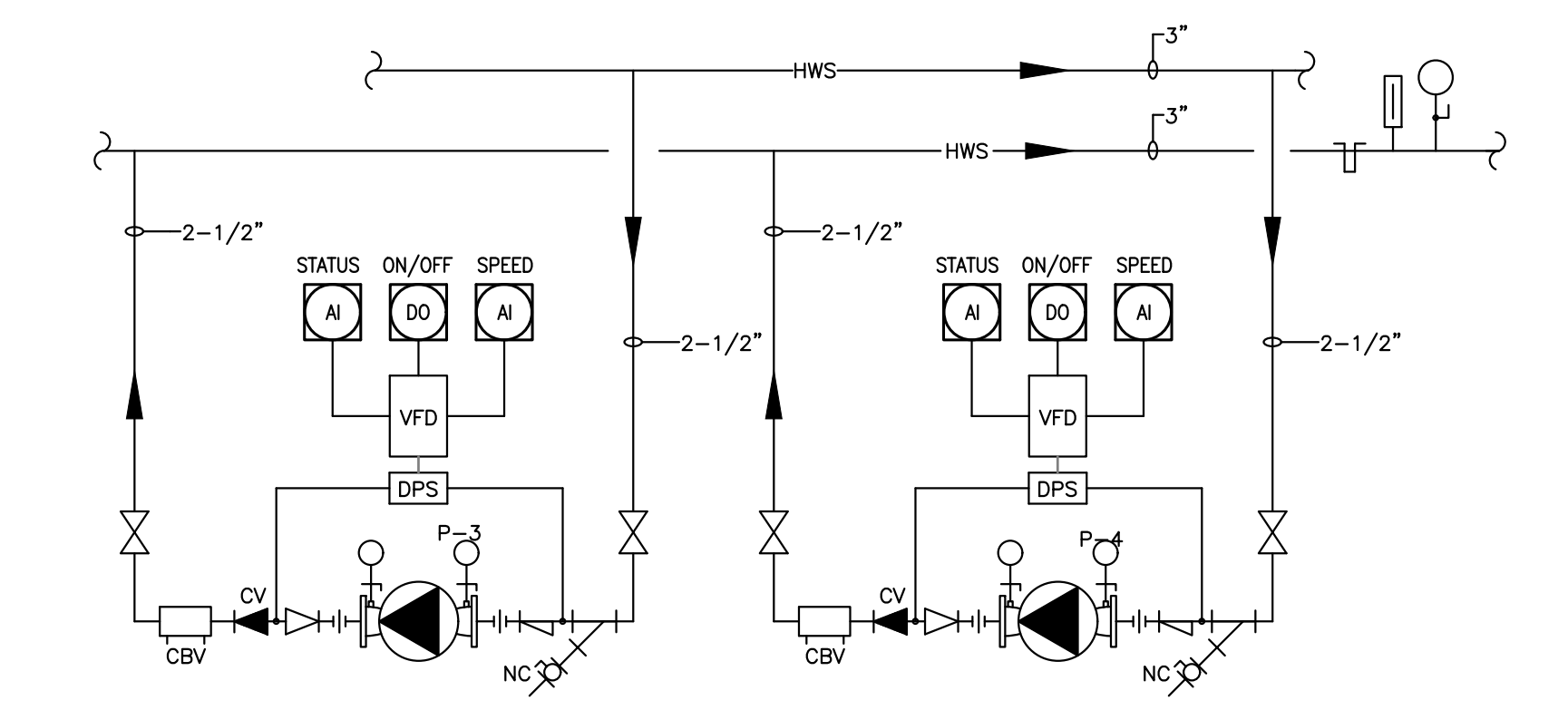
1 CONTROL DIAGRAM - PACKAGED ROOFTOP UNIT

M-301 SCALE: NONE

SEQUENCE OF OPERATIONS

- GENERAL: PROVIDE FACTORY MOUNTED AND WIRED MICROPROCESSOR BASED CONTROLS, INTERFACED WITH THE BUILDING AUTOMATION SYSTEM (BAS). PROVIDE ANY FIELD SUPPLIED DEVICES TO COMPLETE THIS SEQUENCE OF OPERATION. INSTALL ANY RTU MANUFACTURED SUPPLIED DEVICES TO COMPLETE THIS SEQUENCE OF OPERATION. COORDINATE WITH SPECIFICATIONS FOR RTU MANUFACTURER SUPPLIED DEVICES. THE BAS WILL DETERMINE OCCUPIED/UNOCCUPIED MODE FOR THE ROOFTOP UNIT FROM OWNER DEFINED SCHEDULE.
 - UNOCCUPIED MODE: UNIT FANS, HEAT, AND REFRIGERATION WILL BE DE-ENERGIZED, AND THE OUTSIDE AIR DAMPER WILL BE CLOSED. WHEN THE TEMPERATURE FALLS OUTSIDE OF THE UNOCCUPIED MODE TEMPERATURE RANGE (60F TO 85F-ADJUSTABLE), THE UNIT FAN WILL BE ENERGIZED AND CONTROLLED AS DESCRIBED BELOW. THE UNIT OUTSIDE AIR DAMPER SHALL REMAIN CLOSED, UNLESS COOLING IS CALLED FOR AND ECONOMIZER OPERATION IS AVAILABLE. THE UNIT SHALL BE DE-ENERGIZED ONCE TEMPERATURE IS WITHIN THE UNOCCUPIED MODE TEMPERATURE RANGE.
 - OCCUPIED HEATING MODE: IF THE TEMPERATURE IS BELOW THE OCCUPIED MODE RANGE, THE UNIT DISCHARGE AIR TEMPERATURE WILL BE CONTROLLED TO 95F (ADJUSTABLE) BY MODULATING THE GAS FURNACE.
 - OCCUPIED COOLING MODE: IF THE TEMPERATURE IS ABOVE THE RANGE, THE UNIT DISCHARGE AIR TEMPERATURE WILL BE CONTROLLED TO 55F (ADJUSTABLE) BY STAGING ON DX COOLING AND ECONOMIZER. UNIT PACKAGED CONTROLS SHALL USE ECONOMIZER MODE FOR FIRST STAGE OF COOLING IF CONDITIONS ARE APPROPRIATE.
 - UNOCCUPIED MODE OVERRIDE: IF THE OVERRIDE BUTTON ON THE TEMPERATURE TRANSMITTER AND THE UNIT IS IN UNOCCUPIED MODE, THE UNIT SHALL BE ENERGIZED AND CONTROLLED IN EITHER THE HEATING OR COOLING MODE FOR A SET TIME PERIOD OF 3 HOURS (ADJUSTABLE).
- RTU MORNING START-UP: BAS SHALL USE AN OPTIMIZED MORNING START-UP ROUTINE, INCORPORATING OUTSIDE AIR TEMPERATURE AND PAST HISTORY OF BUILDING RESPONSE TO DETERMINE THE OPTIMUM TIME TO START THE ROOFTOP UNIT. UPON INITIATING MORNING START-UP, EITHER BY THE OPTIMIZED START-UP ROUTINE, OR FROM A REQUEST FOR UNOCCUPIED MODE OVERRIDE AT A ROOM SENSOR, THE TEMPERATURE SETPOINT RANGE SHALL BE RESET TO OCCUPIED MODE, AND THE UNIT FAN SHALL BE ENERGIZED AND CONTROL AS DESCRIBED FOR OCCUPIED MODE. THE UNIT OUTSIDE AIR DAMPERS SHALL REMAIN CLOSED UNLESS COOLING IS CALLED FOR AND ECONOMIZER OPERATION IS AVAILABLE. ONCE SCHEDULED BUILDING OCCUPANCY TIME IS REACHED, OUTSIDE AIR DAMPER IS ENABLED. IF START-UP WAS INITIATED BY AN UNOCCUPIED MODE OVERRIDE BUTTON, INITIATE OCCUPIED MODE AS SOON AS NEITHER MORNING WARM-UP NOR MORNING COOL-DOWN CONDITIONS APPLY. UNIT DISCHARGE AIR TEMPERATURE SHALL BE CONTROLLED AS DESCRIBED BELOW:
 - MORNING WARM-UP: THE UNIT DISCHARGE AIR TEMPERATURE WILL BE CONTROLLED TO 95F (ADJUSTABLE) BY MODULATING THE GAS FURNACE. MORNING WARM-UP IS TERMINATED WHEN THE TEMPERATURE IS NO LONGER BELOW SETPOINT. UPON TERMINATION, UNIT OPERATES TO MAINTAIN DISCHARGE AIR TEMPERATURE AS DESCRIBED FOR OCCUPIED MODE.
 - MORNING COOL-DOWN: DX COOLING OR ECONOMIZER WILL OPERATE TO MAINTAIN DISCHARGE AIR TEMPERATURE SETPOINT AS DESCRIBED FOR OCCUPIED MODE.
 - MORNING RECIRCULATION: IF NEITHER OF THE ABOVE TWO CONDITIONS APPLY, UNIT FAN SIMPLY RECIRCULATES BUILDING AIR UNTIL OCCUPIED TIME IS REACHED OR ONE OF THE ABOVE TWO CONDITIONS APPLY.
- CONFLICT RESOLUTION: IF CONDITIONS FOR BOTH MORNING WARM-UP AND COOL-DOWN APPLY, INITIATE WARM-UP MODE.
- RELIEF DAMPER CONTROL: MODULATE THE RELIEF AIR DAMPER TO MAINTAIN BUILDING STATIC PRESSURE WITHIN A RANGE OF 0.05 TO 0.1 INCHES WATER COLUMN (ADJUSTABLE). LOCATE THE BUILDING STATIC PRESSURE SENSOR ABOVE THE CEILING OF THE GROUND FLOOR, OR IN THE LOBBY. LOCATE AS DETERMINED BY FIELD CONDITIONS, BEING CAREFUL TO FIND A REPRESENTATIVE CONDITION.

- SUPPLY FAN SPEED CONTROL: MODULATE THE SUPPLY FAN VARIABLE FREQUENCY DRIVE TO MAINTAIN DISCHARGE STATIC PRESSURE SET POINT AS DETERMINED BY TAB CONTRACTOR AND SENSED AT THE SENSOR LOCATED 2/3 DOWNSTREAM OF THE FAN.
- MINIMUM OUTSIDE AIR DAMPER CONTROL: ONCE THE FANS ARE PROVEN ON, THE MINIMUM OUTDOOR AIR DAMPER WILL MODULATE TO MAINTAIN A CONSTANT OUTSIDE AIR QUANTITY AS MEASURED BY UNIT'S OUTSIDE AIR SENSOR.
- SUPPLY AIR TEMPERATURE SETPOINT - OPTIMIZED: THE CONTROLLER SHALL MONITOR THE SUPPLY AIR TEMPERATURE AND SHALL MODULATE THE GAS FIRED FURNACE, OR STAGE ON DX COOLING TO MAINTAIN A SUPPLY AIR TEMPERATURE SETPOINT RESET BASED ON COOLING REQUIREMENTS. THE SUPPLY AIR TEMPERATURE SETPOINT SHALL BE RESET BASED ON COOLING REQUIREMENTS AS FOLLOWS:
 - THE INITIAL SUPPLY AIR TEMPERATURE SETPOINT SHALL BE 55F (ADJ.).
 - AS COOLING DEMAND INCREASES, THE SETPOINT SHALL INCREMENTALLY RESET DOWN TO A MINIMUM OF 52F (ADJ.).
 - AS COOLING DEMAND DECREASES, THE SETPOINT SHALL INCREMENTALLY RESET UP TO A MAXIMUM OF 62F (ADJ.).
- SUPPLY AIR TEMP ALARMS: IF THE SUPPLY AIR TEMPERATURE IS GREATER THAN 110F (ADJ.) OR LESS THAN 45F (ADJ.) SEND AN ALARM TO THE BAS.
- ECONOMIZER CONTROL: IF THE OUTDOOR AIR ENTHALPY IS BELOW THE RETURN AIR ENTHALPY, THE MIXED AIR DAMPERS WILL MODULATE TO MAINTAIN DISCHARGE AIR TEMPERATURE SET POINT. DX COOLING SHALL BE ALLOWED TO OPERATE DURING ECONOMIZER OPERATION, ONCE THE OUTSIDE AIR DAMPERS HAVE OPENED FULLY.
- DEMAND CONTROLLED VENTILATION: DURING OCCUPIED PERIODS, RESET OUTDOOR AIR RATIO DOWN TO MINIMUM 10% TO MAINTAIN MAXIMUM 1000-PPM CONCENTRATION OF CARBON DIOXIDE.
- LOW TEMPERATURE PROTECTION CONTROL: WHEN AIR TEMPERATURE DOWNSTREAM OF THE HEATING COIL DROPS BELOW 40 DEG F (ADJUSTABLE, AS SENSED BY LOW LIMIT THERMOSTAT), THE FOLLOWING WILL OCCUR:
 - THE SUPPLY FAN WILL SHUT DOWN
 - THE OUTDOOR AIR AND RELIEF AIR DAMPERS WILL CLOSE
 - THE RETURN AIR DAMPER WILL OPEN
 - AN ALARM WILL BE SENT TO THE BAS.
 - THE LOW LIMIT THERMOSTAT WILL NEED TO BE MANUALLY RESET FOR NORMAL OPERATION TO RESUME.
- HIGH STATIC PRESSURE DETECTION CONTROL: UPON DETECTION OF HIGH STATIC PRESSURE FROM THE SUPPLY STATIC PRESSURE SWITCH, THE FAN WILL CYCLE OFF, THE OUTDOOR AIR AND RELIEF DAMPERS WILL CLOSE, AND AN ALARM WILL BE SENT TO THE BAS. ONCE THE STATIC PRESSURE SWITCHES ARE RESET, THE UNIT WILL RETURN TO NORMAL CONTROL.
- FILTER STATUS: MONITOR PRESSURE SWITCH AT FILTER BANK, AND ALARM WHEN ΔP INCREASES ABOVE 0.80" WG (ADJUSTABLE)
- UPON ACTIVATION OF DUCT-MOUNTED SMOKE DETECTOR LOCATED IN THE RETURN AIR DUCTWORK, THE FOLLOWING WILL OCCUR:
 - THE SUPPLY FAN WILL SHUT DOWN
 - ALL DAMPERS SHALL CLOSE
 - AN ALARM WILL BE SENT TO THE BAS AND FIRE ALARM SYSTEM.

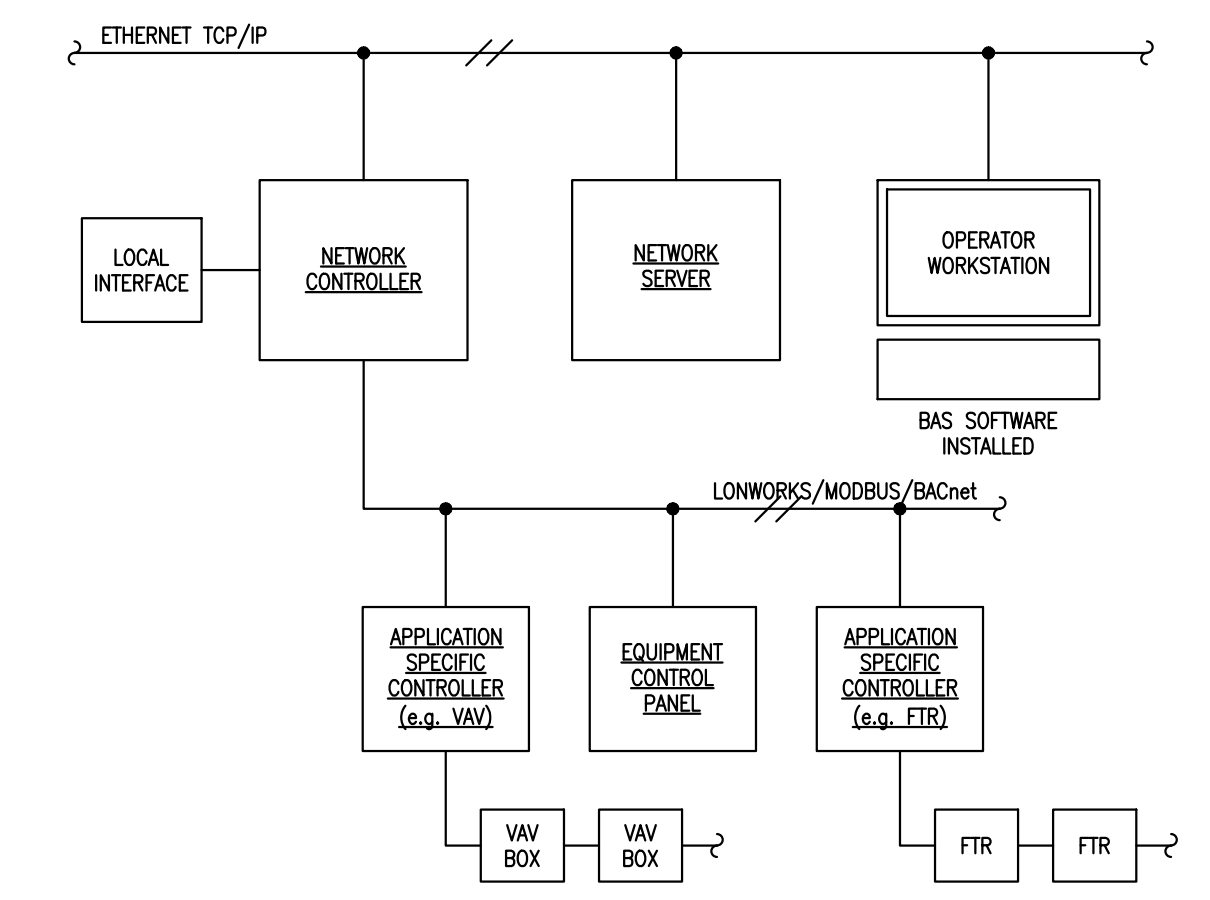


5 CONTROL DIAGRAM - MAIN HEATING HOT WATER PUMPS

M-301 SCALE: NONE

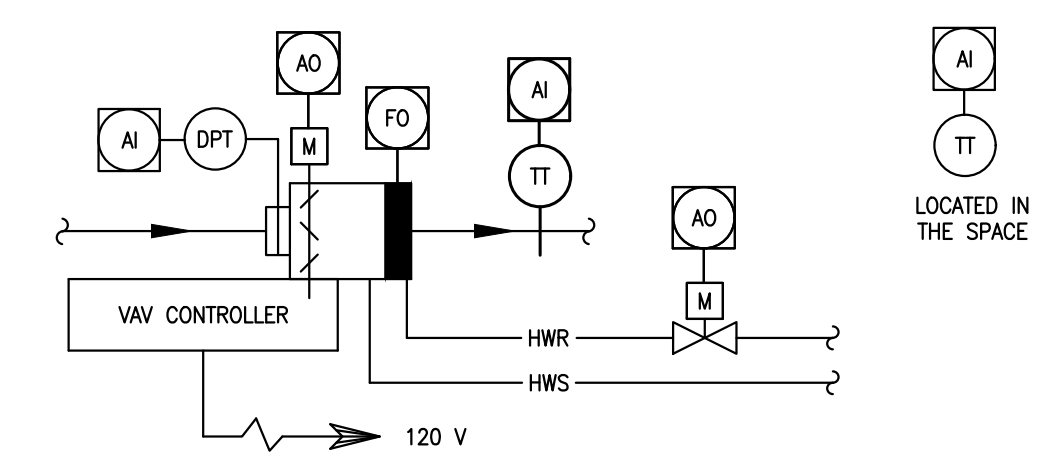
SEQUENCE OF OPERATIONS

- PUMP CONTROL
 - VFD SHALL MODULATE LEAD PUMP SPEED TO MAINTAIN PRESSURE SETPOINT (ADJ.) AS INDICATED BY DIFFERENTIAL PRESSURE TRANSMITTER.
 - ON A FAILURE OF LEAD PUMP TO START, STANDBY PUMP SHALL BE ENERGIZED.
 - LEAD AND STANDBY PUMPS SHALL ROTATE DUTIES EVERY SIX (6) MONTHS (ADJ.) AS APPLICABLE.
 - IF HIGH PRESSURE CONDITIONS OCCUR AS INDICATED BY THE DIFFERENTIAL PRESSURE SENSOR ACROSS THE PUMP INLET AND OUTLET, PUMP SHALL BE DE-ENERGIZED AND AN ALARM SHALL BE INDICATED.



2 CONTROL DIAGRAM - BAS ARCHITECTURE

M-301 SCALE: NONE

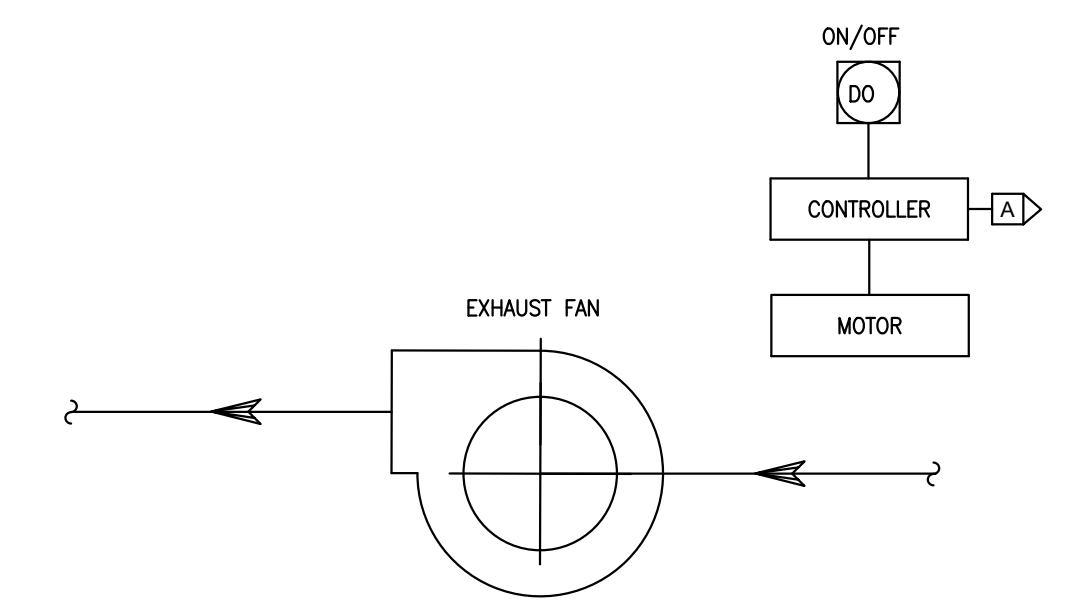


3 CONTROL DIAGRAM - VAV BOX

M-301 SCALE: NONE

SEQUENCE OF OPERATIONS

- ON A CALL FOR COOLING, THE FOLLOWING SHALL OCCUR:
 - VAV BOX CONTROLLER SHALL MODULATE THE DAMPER TO MAINTAIN SPACE TEMPERATURE SETPOINT (ADJ.).
 - THE HEATING HOT WATER CONTROL VALVE SHALL REMAIN FULLY CLOSED.
 - ON A DROP IN TEMPERATURE, THE REVERSE SHALL OCCUR.
- ON A CALL FOR HEATING, THE FOLLOWING SHALL OCCUR:
 - THE VAV BOX CONTROLLER SHALL MODULATE THE DAMPER TOWARDS THE MINIMUM AIRFLOW SETPOINT TO MAINTAIN SPACE TEMPERATURE SETPOINT (ADJ.).
 - UPON A CONTINUED DROP IN SPACE TEMPERATURE AFTER REACHING THE MINIMUM AIRFLOW SETPOINT, THE VAV BOX CONTROLLER SHALL MODULATE THE HEATING HOT WATER CONTROL VALVE TO MAINTAIN SPACE TEMPERATURE SETPOINT.
 - ONCE THE VAV BOX IS OPERATING AT ITS MINIMUM AIRFLOW SETTING AND THE HEATING COIL HAS BEEN ENGAGED, THE VAV BOX CONTROLLER SHALL INCREASE AIRFLOW TO THE MINIMUM HEATING AIRFLOW SETPOINT TO AVOID STRATIFICATION, IF REQUIRED. SEE SCHEDULES.
 - IN A RISE IN TEMPERATURE, THE REVERSE SHALL OCCUR.



4 CONTROL DIAGRAM - EXHAUST FAN

M-301 SCALE: NONE



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Haddon Heights, NJ 08035 - 856.547.0505

ALTERATIONS
RIVERSIDE FIRE COMPANY 1

MECHANICAL DIAGRAMS

RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

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M-301

ROOFTOP UNIT

UNIT NO.	LOCATION	AREA SERVED	AIRFLOW CONTROL SCHEME	TOTAL CFM	MIN OA CFM	SUPPLY FAN DATA						DX COOLING COIL								GAS FIRED HEATING COIL						SINGLE POINT ELECTRICAL					ACCESSORIES			BASIS OF DESIGN	WEIGHT (LBS)	NOTES								
						ESP (IN WG.)	MAX TSP (IN WG.)	TYPE	RPM	HP	MIN EFF	REFR. TYPE	MBH		EAT F		LAT F		COMPRESSOR		CONDENSER		EAT F	LAT F	MAX PD (FT) W.G.	TOTAL MBH INPUT	TOTAL MBH OUTPUT	TURN DOWN	GAS TYPE	GAS CONNECTION		EFF %	V				PH	HZ	MCA	MOCP	CO2 MONITOR	ECONOMIZER SECTION (ENTHALPY CONTROL)	SMOKE DETECTOR	
													TOTAL	SENSIBLE	DB	WB	DB	WB	QTY	RLA	QTY	FLA								QTY	MIN													MAX
RTU-1	GRADE	1ST & 2ND LEVELS	VAV	6,425	1,500	1.25	4.0	AF	1750	7.5	12	R410A	220	175	80.0	65.0	54	54.0	2	30.1	2	7.0	11	55	0.5	270	220	4.3:1	NG	1	7	10	80	208	3	60	106	125	YES	YES	YES	AAON MODEL RNA-020	3,500	SEE NOTES

NOTES:

1. PROVIDE LOW AMBIENT KIT AND SINGLE POINT POWER CONNECTION WITH SUPPLY FAN VFD, DISCONNECT SWITCH, CONTROL TRANSFORMER AND 120V OUTLET.
2. PROVIDE VARIABLE CAPACITY COMPRESSORS.

DUCT CONSTRUCTION AND INSULATION SCHEDULE

		SUPPLY & RETURN AIR	SUPPLY & RETURN AIR	SUPPLY & RETURN AIR	EXHAUST AIR
		DUCT MAINS	DUCT MAINS	BRANCH DUCTS	DUCTWORK
DUCT FROM:		PACKAGED ROOFTOP UNIT	EXTERIOR WALL PENETRATION	ALL INDOOR DUCTWORK	INTAKE
SECTION TO:		EXTERIOR WALL PENETRATION	FIRE/SMOKE DAMPER	AIR DEVICE	DISCHARGE
DUCT INDOORS EXPOSED:					X
SECTION INDOORS CONCEALED:			X	X	X
	OUTDOORS:	X			
PRESSURE CLASSIFICATION (USE GREATER VALUE):		+/- 4.0" H2O	+/- 4.0" H2O	+/- 2.0" H2O	+/- 2.0" H2O
SMACNA CLASSIFICATION:		B	B	B	B
OUTER WALL MATERIAL:		GALV. STEEL	GALV. STEEL	GALV. STEEL	GALV. STEEL
INNER WALL MATERIAL:		PERFORATED STAINLESS	PERFORATED STAINLESS	PERFORATED STAINLESS	NONE
DUCT AIR TEMPERATURE:		>52 DEG F	>52 DEG F	>52 DEG F	ALL TEMPS.
EXTERIOR TYPE:		FIBERGLASS BOARD	FIBERGLASS BOARD	FIBERGLASS BOARD	NONE
INSULATION MINIMUM R-VALUE:		R-8	R-5	R-5	NONE
INTERNAL THICKNESS:		NONE	NONE	NONE	NONE
LINER DENSITY:		NONE	NONE	NONE	NONE
REMARKS:		1. PROVIDE INTERNAL LINER FOR FIRST 10'-0" OF DUCTWORK SUPPLY AND RETURN FROM RTU. 2. PAINT ALL VISIBLE INTERNAL SURFACES BLACK (INSIDE OF AIR DEVICE, INSIDE OF BRANCH DUCT CONNECTION). 3. PROVIDE WEATHERPROOF DUCT JACKETING ON ALL EXPOSED DUCTWORK.	1. PROVIDE INTERNAL LINER FOR FIRST 10'-0" OF DUCTWORK SUPPLY AND RETURN FROM RTU. 2. PAINT ALL VISIBLE INTERNAL SURFACES BLACK (INSIDE OF AIR DEVICE, INSIDE OF BRANCH DUCT CONNECTION).	1. PROVIDE INTERNAL LINER FOR FIRST 10'-0" OF DUCTWORK SUPPLY AND RETURN FROM RTU.	

NOTES:

1. IF DUCT CONSTRUCTION CONDITION EXISTS THAT IS NOT LISTED ON THE ABOVE SCHEDULE, CONSULT ENGINEER IMMEDIATELY PRIOR TO DUCT FABRICATION.

PUMP SCHEDULE

NO.	TYPE	SERVICE	GPM	HEAD FT.	RPM	ELECTRICAL				BASIS OF DESIGN	REMARKS
						HP	V	PH	Hz		
P-1	INLINE	SECONDARY LOOP	50	50	1800	2	208	3	60	TACO MODEL SC11207D	SEE NOTE 1
P-2	INLINE	SECONDARY LOOP	50	50	1800	2	208	3	60	TACO MODEL SC11207D	SEE NOTE 1

NOTES:

1. PROVIDE SELF-SENSING PUMP WITH VFD, DISCONNECT SWITCH, INVERTER DUTY RATED MOTOR, AND SPRING VIBRATION ISOLATORS. INTEGRATE VFD WITH BAS.

PIPE SCHEDULE

SYSTEM	PIPE SIZE (NOTE 1)	PIPE MATERIAL	JOINTS	FITTINGS	CONNECTIONS	VALVES (NOTE 4) SHUT-OFF	GLOBE	CHECK	BALANCE	INSULATION TYPE (NOTE 1)	THICKNESS INCHES (NOTE 2)	JACKET (NOTE 3)	HEAT TRACE	HANGERS
REFRIGERANT	ALL SIZES	COPPER-TYPE ACR	SOLDER	WROUGHT COPPER	UNION - BRONZE	BALL - 2 PIECE	NA	NA	NA	FLEX	1	PAINT	NA	STANDARD
HOT WATER 120 - 200°F	3/4" TO 2"	COPPER-TYPE L	SOLDER	WROUGHT COPPER	UNION - BRONZE	BALL - 2 PIECE	BRONZE	BRONZE - SWING	CIRCUIT SETTER	FIBER	1.5	ALUM	YES	STANDARD
CONDENSATE OR DRAIN	LOCATED IN PLENUM	STEEL SCH 40	BUTT-WELD	STEEL SCH 40	FLANGE - STEEL 150 PSI	BUTTERFLY - STD	IRON	IRON - SILENT	BUTTERFLY - HP w/ VENTURI	FIBER	2	ALUM	YES	ROLLER
	OUTSIDE OF PLENUM	3/4" TO 2"	COPPER-TYPE L	SOLDER	WROUGHT COPPER	UNION - BRONZE	NA	NA	NA	FIBER	1 (INDOORS ONLY)	NA	NA	STANDARD
		3/4" TO 2"	PVC SCH 40	SOLVENT WELD	PVC	PVC	NA	NA	NA	FIBER	1 (INDOORS ONLY)	NA	NA	STANDARD

NOTES:

1. INSULATION TYPES: "FLEX" MEANS FLEXIBLE ELASTOMETRIC; "FIBER" MEANS PRE-FORMED MINERAL-FIBER; SEE SPECIFICATIONS FOR PRODUCT DESCRIPTIONS
2. ADD 1 INCH WHEN LOCATED OUTDOORS
3. APPLY WHEN LOCATED OUTDOORS
4. NOT ALL PIPE SIZES OR VALVE TYPES ARE USED. REFER TO PLANS AND SPECIFICATIONS FOR PROPER APPLICATION.

AIR DEVICE SCHEDULE

TAG No.	TYPE	FACE SIZE (IN)	MODULE SIZE (IN)	AIRFLOW RANGE (CFM)	NECK SIZE (INCHES)	MAX SP (IN. WG)	MAX NC	MATERIAL	MANUFACTURER & MODEL NO.	REMARKS
CD1	SQUARE LOUVERED FACE (CEILING MOUNTED)	18 x 18	24 x 24	0-120	6 x 6	0.1	25	ALUMINUM	KRUEGER MODEL 5SHV	THROW INDICATED ON DRAWINGS; SEE NOTES
				125-245	9 x 9					
				250-415	12 x 12					
				420-615	15 x 15					
				620-850	18 x 18					
SG1	LOUVERED SUPPLY GRILLE (DUCT MOUNTED)	NECK SIZE + 2"	SAME AS FACE	0-295	12 x 6	0.1	25	ALUMINUM	KRUEGER MODEL S880	DOUBLE DEFLECTION; SEE NOTES
				300-430	18 x 6					
RG1	LOUVER RETURN GRILLE	NECK SIZE + 2"	SAME AS FACE	0-330	8 x 8	0.1	25	ALUMINUM	KRUEGER MODEL S580	0° DEFLECTION; PROVIDE MOUNTING PANEL FOR 24x24 CEILING GRID IF REQUIRED; SEE NOTES
				335-725	12 x 12					
				730-1800	22 x 22					
EG1	LOUVER EXHAUST GRILLE	NECK SIZE + 2"	SAME AS FACE	0-330	8 x 8	0.1	25	ALUMINUM	KRUEGER MODEL S580	0° DEFLECTION; PROVIDE MOUNTING PANEL FOR 24x24 CEILING GRID IF REQUIRED; SEE NOTES
				335-725	12 x 12					
				730-1325	24 x 12					

NOTES:

1. FLEXIBLE DUCT SIZE TO MATCH NECK SIZE.
2. ADJUST AIR DEVICE SIZE OR DESIGNATION WHERE AIR FLOW INDICATED ON THE DRAWINGS EXCEEDS SCHEDULED FLOW RANGE, MAX. P.D. OR MAX. N.C. PROVIDE SQUARE TO ROUND ADAPTERS AS REQUIRED. PROVIDE FIELD FABRICATED PLENUMS WHERE FACTORY PLENUMS WILL NOT FIT DUE TO FIELD CONDITIONS.
3. PROVIDE PLASTER FRAMES FOR ALL AIR DEVICES MOUNTED IN PLASTER CEILINGS. SEE ARCHITECTURAL REFLECTED CEILING PLANS.
4. PROVIDE 24x24 DROP PANEL FOR LAY-IN CEILING.
5. ALL SIZES INDICATED FOR T-BAR CEILINGS ARE NOMINAL - EXACT SIZE TO BE LESS TO ALLOW DEVICES TO LAY IN CEILING.
6. EACH SLOT TO BE INDEPENDENTLY ADJUSTABLE FOR BLOW DIRECTION & AIR VOLUME.
7. WITH PLASTER MOUNTING FRAME, FLANGED BORDER & FIELD FABRICATED INSULATED PLENUM. PART OF A LONGER SLOT ASSEMBLY THAT IS TO HAVE CONTINUOUS APPEARANCE. PROVIDE ALIGNMENT PINS AND END CAPS. SEE FLOOR PLANS FOR TOTAL LENGTH.
8. WITH PLASTER MOUNTING FRAME, FLANGED BORDER & FIELD FABRICATED AIRTIGHT BLANK OFF PLENUM. PART OF A LONGER SLOT ASSEMBLY THAT IS TO HAVE A CONTINUOUS APPEARANCE. PROVIDE ALIGNMENT PINS AND END CAPS. SEE FLOOR PLANS FOR TOTAL LENGTH.
9. ALL EXPOSED AIR DEVICES IN FINISHED SPACES SHALL HAVE THE INSIDES OF AIR DEVICE, NECK AND VERTICAL DUCT RISER BACK TO HORIZONTAL CONNECTION PAINTED BLACK.



Pennoni Associates Inc.

515 Grove Street, Suite 1B
Haddon Heights, NJ 08035 - 856.547.0505

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ALTERATIONS
RIVERSIDE FIRE COMPANY 1

MECHANICAL SCHEDULES

RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

JOB NO. RSFDX19001	SHEET - OF -

SCALE NONE	DRAWING NO. M-400
DRAWN BY TF	
DATE 03/18/2020	
APPROVED RD	

AIR CONTROL TERMINAL BOX SCHEDULE - SINGLE DUCT

UNIT NO.	SYSTEM	SERVING	TYPE	INLET SIZE (IN)	AIRFLOW		ZONE HEAT LOSS MBH	MAX PRESS. DROP (IN.W.C.)	HOT WATER HEATING COIL							BASIS OF DESIGN	REMARKS	
					MIN (CFM)	MAX (CFM)			MIN HEAT (CFM)	EAT (DEG.F)	LAT (DEG.F)	TOTAL MBH	GPM	EWT (DEG.F)	LWT (DEG.F)			CONTROL VALVE
VAV-1	RTU-1	MEETING/TRAINING	VAV	7	135	450	2.2	0.1	135	55	89	5	0.5	180	160	2-WAY	KRUEGER MODEL LMHS	SEE NOTES
VAV-2	RTU-1	1ST FLR LOBBY/STORAGE/CORRIDOR	VAV	10	280	925	20.2	0.1	580	55	95	25	2.5	180	160	2-WAY	KRUEGER MODEL LMHS	SEE NOTES
VAV-3	RTU-1	2ND FLR TOILET RMS/KITCHEN	VAV	8	235	775	11.1	0.1	350	55	95	15	1.5	180	160	2-WAY	KRUEGER MODEL LMHS	SEE NOTES
VAV-4	RTU-1	DAYROOM/DINING RM	VAV	14	585	1950	19.9	0.1	695	55	95	30	3.0	180	160	2-WAY	KRUEGER MODEL LMHS	SEE NOTES
VAV-5	RTU-1	2ND FLR CORRIDOR	VAV	8	180	600	10.1	0.1	325	55	95	14	1.5	180	160	2-WAY	KRUEGER MODEL LMHS	SEE NOTES
VAV-6	RTU-1	CONFERENCE RM/COPY	VAV	6	85	275	2.0	0.1	95	55	95	4	0.5	180	160	2-WAY	KRUEGER MODEL LMHS	SEE NOTES
VAV-7	RTU-1	OFFICE 211/STORAGE	VAV	5	70	225	2.4	0.1	95	55	95	4	0.5	180	160	3-WAY	KRUEGER MODEL LMHS	SEE NOTES
VAV-8	RTU-1	OFFICE 214	VAV	5	40	130	2.5	0.1	95	55	95	4	0.5	180	160	2-WAY	KRUEGER MODEL LMHS	SEE NOTES
VAV-9	RTU-1	OFFICES 212 & 213	VAV	6	80	260	5.0	0.1	165	55	95	7	1.0	180	160	2-WAY	KRUEGER MODEL LMHS	SEE NOTES
VAV-10	RTU-1	2ND FLR STORAGE RMS	VAV	7	150	500	7.8	0.1	255	55	95	11	1.5	180	160	2-WAY	KRUEGER MODEL LMHS	SEE NOTES

- NOTES**
1. PROVIDE REMOTE TEMPERATURE TRANSMITTER.
 2. CONTRACTOR SHALL PROVIDE 120 VOLT POWER TO VAV BOX CONTROL PANEL.
 3. MIN. HEATING CFM IS DESIGNED TO LIMIT MAX LAT FROM EXCEEDING 95 DEGREES TO PREVENT STRATIFICATION.

FAN SCHEDULE

UNIT No.	FAN TYPE	SERVICE	CFM	EXT. S.P.	DRIVE	ELECTRICAL				WEIGHT (LBS.)	BASIS OF DESIGN	REMARKS
						HP	V	PH	HZ			
EF-1	CEILING CABINET	TOILET ROOM	70	0.25	DIRECT	30 WATTS	115	1	60	25	COOK MODEL GC-148	SEE NOTES 1,3,4
EF-2	CEILING CABINET	TOILET ROOM	70	0.25	DIRECT	30 WATTS	115	1	60	25	COOK MODEL GC-148	SEE NOTES 1,3,4
EF-3	INLINE CENTRIFUGAL	SECOND FLOOR	925	0.75	DIRECT	1/3	115	1	60	200	COOK MODEL 120SQ17D	SEE NOTES 1,2,4

- NOTES:**
1. PROVIDE GRAVITY BACKDRAFT DAMPER, BIRDSCREEN, AND DISCONNECT SWITCH.
 2. EXHAUST FAN SHALL RUN CONTINUOUSLY DURING OCCUPIED HOURS AND SHALL BE INTERLOCKED WITH THE RTU-1 SERVING THE SPACE.
 3. EXHAUST FAN SHALL BE INTERLOCKED WITH LIGHT SWITCH. PROVIDE RELAY IF REQUIRED.
 4. EXHAUST FAN SHALL BE PROVIDED WITH VARIABLE SPEED CONTROLLER.

HOT WATER CABINET UNIT HEATER SCHEDULE

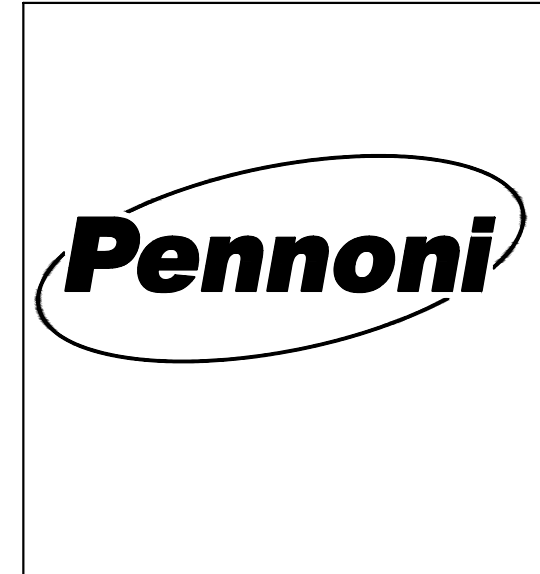
UNIT No.	TYPE	LOCATION	FAN (HIGH SPEED)				HOT WATER COIL					RUNOUTS		BASIS OF DESIGN	REMARKS	
			CFM	MOTORS	MOTOR AMPS	V/PH/HZ	CAPACITY MBH	EAT	GPM	EWT	LWT	ROWS	SUPPLY			RETURN
CUH-1	EXPOSED WALL	FRONT ENTRANCE	330	1	1.7	115/1/60	14.2	60	1.5	180	160	1	3/4"	3/4"	MODINE MODEL CW SIZE 003	SEE NOTES
CUH-2	EXPOSED WALL	BACK ENTRANCE	330	1	1.7	115/1/60	14.2	60	1.5	180	160	1	3/4"	3/4"	MODINE MODEL CW SIZE 003	SEE NOTES
CUH-3	EXPOSED WALL	2ND FLR WOMENS RM	330	1	1.7	115/1/60	14.2	60	1.5	180	160	1	3/4"	3/4"	MODINE MODEL CW SIZE 003	SEE NOTES

- NOTES:**
1. PROVIDE UNIT MOUNTED THERMOSTAT AND MODULATING CONTROL VALVES.

ELECTRIC UNIT HEATER SCHEDULE

UNIT NO.	LOCATION	TYPE	CFM	MBH	ELECTRICAL				BASIS OF DESIGN	NOTES
					KW	V	PH	HZ		
EUH-1	TOILET RM	RECESSED	160	5.1	1.50	115	1	60	REZNOR MODEL EHC SIZE 1	1, 2
EUH-2	HANDICAP TOILET RM	RECESSED	160	5.1	1.50	115	1	60	REZNOR MODEL EHC SIZE 1	1, 2
EUH-3	MENS TOILET RM	RECESSED	160	5.1	1.50	115	1	60	REZNOR MODEL EHC SIZE 1	1, 2

- NOTES**
1. ALL UNIT HEATERS SHALL BE PROVIDED WITH FACTORY INSTALLED BUILT-IN THERMOSTAT AND DISCONNECT SWITCH.
 2. PROVIDE RECESSED MOUNTING KIT.



DATE	NO.	BID SET	BY
07/17/20	-		
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ALTERATIONS
RIVERSIDE FIRE COMPANY 1
MECHANICAL SCHEDULES
RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

NORTH	JOB NO. RSFDX19001
	SHEET - OF -

SCALE NONE	DRAWING NO. M-401
DRAWN BY TF	
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LEGEND

LINETYPES	
SANATARY PIPING	— S ———
VENT PIPING	— ———
STORM WATER PIPING	— ST ———
COLD WATER PIPING	— — ———
HOT WATER PIPING	— - - ———
HOT WATER RETURN PIPING	— - - - - ———
NATURAL GAS PIPING	— G ———
CSST NATURAL GAS TUBE WITH CONTAINMENT CONDUIT	==== G =====
PUMP DISCHARGE PIPING	— PD ———
INDIRECT WASTE PIPING	— IW ———
AIR PIPING	— A ———
VACUUM PIPING	— V ———
OXYGEN PIPING	— O2 ———
ACID WASTE PIPING	— AW ———
SYMBOLS	
SHUT-OFF VALVE	
SOLENOID VALVE	
PRESSURE REDUCING VALVE	
VACUUM RELIEF VALVE	
BALANCING VALVE – BELL & GOSSET CIRCUIT SETTER	
T&P RELIEF VALVE (ANGLE VALVE)	
MIXING VALVE	
CHECK VALVE	
KEYED SOLENOID VALVE CONTROL	
MANUAL PANIC SOLENOID VALVE CONTROL	
UNION	
GAS COCK	
REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY – WATTS 909	
WATER HAMMER ARRESTOR	
CAPPED END	
FLOOR CLEANOUT	
FLOOR DRAIN	
ROOF DRAIN	
WALL & BELOW FLOOR CLEANOUT	
PIPE DROP AND RISE	
PIPE UP AND DOWN	
PRESSURE GAUGE	
THEROMETER WITH STOP	
RECIRCULATING PUMP	
WALL HYDRANT	
HOSE BIBB	
WATER METER	
GAS METER	
VACUUM BREAKER	
POINT OF CONNECTION	
POINT OF DEMOLITION	
DETAIL IDENTIFIER	
DRAINAGE RISER / IDENTIFIER	
SUPPLY PIPING RISER / IDENTIFIER	
KEYNOTE	

NOT ALL SYMBOLS AND ABBREVIATIONS ARE USED

ABBREVIATIONS

SYMBOL	DESCRIPTION
AD	AREA DRAIN
AFF	ABOVE FINISHED FLOOR
ARCH	ARCHITECTURAL
ABV	ABOVE
AC	ABOVE CEILING
BFP	BACKFLOW PREVENTER
BF	BELOW FINISHED FLOOR
BLDG	BUILDING
BLW	BELOW
BWV	BACKWATER VALVE
CLG	CEILING
CND	CONDENSATE NEUTRALIZING DEVICE
CONN	CONNECTION
CONT	CONTINUATION
CW	COLD WATER
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DFU	DRAINAGE FIXTURE UNIT
DN	DOWN
EA	EACH
EL	ELEVATION
EQ	EQUAL
EWC	ELECTRIC WATER COOLER
(E)	EXISTING
EXIST	EXISTING
EX	EXISTING
FCO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FF	FINISHED FLOOR
FLR	FLOOR
FPWH	FREEZE PROOF WALL HYDRANT
FW	FILTERED WATER
G	GAS
GC	GENERAL CONTRACTOR
GPM	GALLONS PER MINUTE
GW	GREASE WASTE
GCO	GRADE CLEANOUT
HB	HOSE BIBB
HW	HOT WATER
HWR	HOT WATER RETURN
INV	INVERT
IW	INDIRECT WASTE
I.E.	INVERT ELEVATION
LAV	LAVATORY
LDR	LEADER
MAX	MAXIMUM
MGAP	MEDICAL GAS ALARM PANEL
MGZV	MEDICAL GAS ZONE VALVE BOX
MIN	MINIMUM
MR	MOP RECEPTOR
MS	MOP SINK
MV	MIXING VALVE
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
NTS	NOT TO SCALE
NIC	NOT IN CONTRACT
OFD	OVER FLOW ROOF DRAIN
PC	PLUMBING CONTRACTOR
PRV	PRESSURE REDUCING VALVE
RD	ROOF DRAIN
REC	RECOVERY
RPZV	REDUCED PRESSURE ZONE VALVE
(R)	REMOVE
(RE)	RELOCATE EXISTING
RWC	RAIN WATER CONDUCTOR
S	SANITARY
SH	SHOWER
SK	SINK
SP	SUMP PUMP
SS	SOIL STACK
SSK	SERVICE SINK
ST	STORM WATER
SW	SOFT WATER
TP	TRAP PRIMER
TW	TEMPERED WATER
UR	URINAL
V	VENT
VTR	VENT THRU ROOF
VS	VENT STACK
W	WASTE
W/O	WITHOUT
WC	WATER CLOSET
WCO	WALL CLEAN OUT
WFU	WATER SUPPLY FIXTURE UNITS
WH	WALL HYDRANT
WS	WASTE STACK

GENERAL NOTES:

- PLUMBING SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES INDICATED ON THIS DRAWING ARE TYPICAL. PLUMBING DRAWINGS MAY NOT INDICATE ALL SYMBOLS AND ABBREVIATIONS SHOWN ON THIS DRAWING.
- CONTRACTOR SHALL COORDINATE ALL ADA FIXTURE LOCATIONS AND HEIGHTS WITH ARCHITECTURAL DRAWINGS

SAFETY REQUIREMENTS

- THE CONTRACTOR SHALL ABIDE AND ENFORCE ALL SAFETY RULES AND REGULATIONS SET FORTH BY THE OWNER. ALL WORKERS AND SUPERVISORS MUST ATTAIN SAFETY TRAINING CLASSES (IF APPLICABLE). THE CONTRACTOR SHALL BE RESPONSIBLE TO FOLLOW ALL VERBAL INSTRUCTIONS GIVEN BY OWNERS REPRESENTATIVES.
- THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WARNING SIGNS, RIGGING, HANDLING AND PROTECTION OF MATERIAL. ALL EQUIPMENT MATERIALS SHALL BE NEW AND WITHOUT BLEMISHES OR DEFECTS. ALL EQUIPMENT INSTALLED SHALL BEAR THE LABEL OF THE APPROVING AGENCY.

GENERAL REQUIREMENTS

- WHEN "PROVIDE" IS STATED, THIS SHALL MEAN FURNISH AND INSTALL.
- PLUMBING SYSTEMS SHALL NOT BE LOCATED IN ELEVATOR SHAFTS AND ELEVATOR PIT ROOMS EXCEPT FLOOR DRAINS, SUMP PUMPS AND SUMP PUMP DISCHARGE PIPING DEDICATED TO THE SHAFT AND LOCATED AT THE BASE OF THE SHAFT.
- PLUMBING SYSTEMS SHALL NOT BE LOCATED IN ELECTRICAL EQUIPMENT ROOMS, TRANSFORMER VAULT, ELECTRICAL CLOSETS, TELEX DATA ROOMS OR SIMILAR AREAS CONTAINING ELECTRICAL EQUIPMENT.
- DO NOT INSTALL PIPING OVER, AROUND, IN FRONT OF, BEHIND OR DIRECTLY BELOW ELECTRICAL EQUIPMENT, SWITCHES, TERMINALS OR SIMILAR ELECTRICAL EQUIPMENT. MAINTAIN 42" IN FRONT OF 480VAC EQUIPMENT. 36" IN FRONT OF 240VAC EQUIPMENT. CONFORM TO NC.
- NO PLUMBING SYSTEMS SHALL PENETRATE INTO OR PASS THROUGH STAIRWAYS UNLESS IT IS REQUIRED BY CODE FOR SERVICING THE STAIRWAY.
- INSTALL PIPING IN A CONCEALED MANNER, STRAIGHT, PLUMB AND DIRECT AS POSSIBLE. FORM RIGHT ANGLES PARALLEL WITH BUILDING WALLS. LOCATE GROUPS OF PIPES PARALLEL TO EACH OTHER. PIPE WILL BE LOCATED TO PERMIT ACCESS FOR SERVICE VALVES.
- CONCRETE PADS AND PITS FOR PLUMBING EQUIPMENT SHALL BE AS INDICATED ON THE STRUCTURAL AND ARCHITECTURAL PLANS.
- COORDINATE ALL BELOW GRADE PLUMBING PIPING WITH FOUNDATION ELEVATIONS AND SITE UTILITY INVERTS. VERIFY EXISTING ELEVATIONS AND INVERTS PRIOR TO CONSTRUCTION.
- PROVIDE PIPING PENETRATIONS WITH FIRE RATINGS EQUAL TO OR GREATER THAN, THE FIRE RATING OF THE WALL OR FLOOR PENETRATED. COORDINATE PIPE PENETRATIONS WITH CONCRETE CONSTRUCTION. PROVIDE CORE DRILLED PENETRATIONS AT ALL LOCATIONS WHERE CONCRETE OR MASONRY WALLS OR FLOORS HAVE BEEN CONSTRUCTED PRIOR TO PLUMBING PIPING INSTALLATION. CORING SIZES AND LOCATIONS SHALL BE APPROVED BY THE ARCHITECT/ENGINEER. EXTEND SLEEVES 2" ABOVE FLOOR SLAB IN ALL WET AREAS SUCH AS MECHANICAL ROOMS AND WASH AREA.
- PROVIDE FLUSH TYPE ACCESS DOORS OR PANELS FOR ALL VALVES OR APPARATUS LOCATED IN CHASES, WALLS, NON ACCESSIBLE CEILING OR FLOOR.
- PROVIDE CLEANOUTS FOR ALL HORIZONTAL STORM AND SANITARY PIPING AT EVERY CHANGE IN DIRECTION AND AT THE BASE OF ALL WASTE STACKS.
- PROVIDE PIPE IDENTIFICATION LABELS WITH DIRECTIONAL FLOW ARROWS ON ALL HORIZONTAL RUNS EVERY 20ft.
- SUPPORT ALL PIPING IN CONFORMANCE WITH SPECIFICATIONS AND THE PLUMBING CODE. SEE PLUMBING CODE FOR SPACING REQUIREMENTS. CONFORM TO THE BUILDING CODE AND MSS SP-127 FOR SEISMIC, WIND AND DYNAMIC FORCES.
- PROVIDE BACKFLOW PREVENTION DEVICES ON ALL WATER CONNECTIONS TO HVAC EQUIPMENT AND IRRIGATION SYSTEMS.
- PROVIDE WATER HAMMER ARRESTORS ON SUPPLY LINES TO FLUSH VALVES, SOLENOID VALVES AND AUTOMATIC VALVES, IN CONFORMANCE WITH PD AND LOCAL ORDINANCES. INSTALL IN ACCESSIBLE LOCATIONS FOR MAINTENANCE.
- PROVIDE SHUT-OFF VALVES WITH-IN 2ft. OF MAINS ON ALL BRANCH PIPING SERVING PLUMBING FIXTURES, EQUIPMENT OR CASEWORK, CONNECT SERVICE BRANCHES TO TOP OF MAINS.
- PROVIDE DRAIN VALVES AND HOSE CONNECTIONS AT ALL LOW POINTS IN SERVICE PIPING SYSTEM.
- SLOPE ALL PIPING IN CONFORMANCE WITH SPECIFICATIONS AND THE PLUMBING CODE.
- PROVIDE CLOSED CELL MOLDED VINYL INSULATION ON EXPOSED LAVATORY DRAINS AND SUPPLIES FOR HANDICAPPED.
- PROVIDE PIPING MATERIAL IN CONFORMANCE WITH THE SPECIFICATIONS AND THE PLUMBING CODE.
- TEST ALL PLUMBING SYSTEMS IN CONFORMANCE WITH THE SPECIFICATIONS AND THE PLUMBING CODE.
- DISINFECT DOMESTIC WATER SYSTEM IN CONFORMANCE WITH THE SPECIFICATIONS AND THE PLUMBING CODE.
- INSTALL PLUMBING FIXTURES AND EQUIPMENT IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THE PLUMBING CODE.
- PROVIDE PIPE SLEEVES THROUGH CONCRETE BEAMS WHERE REQUIRED, COORDINATE WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- PROVIDE HEAT TRACING FOR PIPING LOCATED IN UNHEATED AREAS. PROVIDE 1" INSULATION AND JACKET AROUND ALL HEAT TRACING.
- PROVIDE RETENTION STRAPS ON ALL ABOVE GROUND CAST IRON NO-HUB FITTINGS AT CHANGE OF DIRECTION IN PIPES OF 5" AND LARGER AS REQUIRED BY CRISP 301.

GENERAL COMPLIANCE – NJ

DESIGN AND PERFORMANCE OF COMPONENTS AND METHODS SPECIFIED HEREIN SHALL COMPLY WITH THE LATEST ADOPTED VERSIONS OF THE STATE CODES, STANDARDS, AND MANUFACTURER'S RECOMMENDATIONS OF THE ENTITIES LISTED BELOW BUT NOT LIMITED TO:

IBC	2018 INTERNATIONAL BUILDING CODE – NJ EDITION
IFGC	2018 INTERNATIONAL FUEL GAS CODE
IECC	2018 INTERNATIONAL ENERGY CONSERVATION CODE (LOW-RISE RESIDENTIAL ONLY)
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS
ASNI	AMERICAN NATIONAL STANDARDS INSTITUTE
UL	UNDERWRITERS LABORATORIES, INC.
FM	FACTORY MUTUAL (IF REQUIRED)
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
AMCA	AIR MOVING AND CONDITIONING ASSOCIATION
ARI	AMERICAN REFRIGERATION INSTITUTE
MSS	MANUFACTURER'S STANDARDIZATION SOCIETY OF THE VALVE AND FITTING INDUSTRY
NJAC	NEW JERSEY ADMINISTRATIVE CODE
NEC	2017 NATIONAL ELECTRICAL CODE
NSPC	2018 NATIONAL STANDARD PLUMBING CODE

PROJECT COORDINATION

- THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COORDINATING ALL WORK WITH ALL TRADES.
- COORDINATE THE INSTALLATION OF ALL WORK WITH THE LOCAL UTILITIES AND OTHER BUILDING TRADES. THE CONTRACTOR SHALL INFORM THE OWNER IN WRITING WHEN HE INTENDS TO SCHEDULE WORK WHICH INVOLVES EXISTING SYSTEMS AND/OR UTILITIES. NOTICE SHALL BE GIVEN ONE WEEK PRIOR TO THE ANTICIPATED WORK. THE CONTRACTOR MUST RECEIVE APPROVAL FROM THE OWNER PRIOR TO PERFORMING SUCH WORK.
- PLUMBING WORK SHALL BE DONE AT SUCH A TIME AND MANNER THAT WILL LEAST INTERFERE WITH THE MAINTENANCE AND OPERATION OF THE SITE AND OR BUILDING ACTIVITIES. PROVISIONS SHALL BE MADE TO PERMIT THE USE OF ALL EXISTING PIPING SYSTEMS AT ALL TIMES. PROVIDE TEMPORARY FACILITIES TO SECURE THESE CONDITIONS AND REMOVE SUCH TEMPORARY FACILITIES WHEN NO LONGER REQUIRED.
- COORDINATE PLUMBING SYSTEM SHUT DOWN REQUIREMENTS WITH OWNER.
- WHERE SHUTDOWN PERIODS CANNOT BE OF A DURATION TO ACCOMMODATE THE NEW WORK. THE CONTRACTOR SHALL PERFORM THE WORK IN A SERIES OF PRE-PLANNED STAGES OF MINIMAL ALLOWABLE SHUTDOWN PERIODS. PROVIDE TEMPORARY FACILITIES TO ALLOW REUSE OF SERVICES BETWEEN WORKING STAGES.
- THE CONTRACTOR SHALL FURNISH A SCHEDULE INDICATING HIS PORTION OF TIME, WITHIN OVER ALL SCHEDULE, REQUIRED TO COMPLETE THE WORK IN CONJUNCTION WITH ALL TRADES.
- DURING THE CONSTRUCTION OF THIS PROJECT, THE CONTRACTOR SHALL COORDINATE WITH BUILDING REPRESENTATIVES THE TEMPORARY SHUTDOWN OR CAPPING OF ANY PLUMBING SYSTEMS.
- CONTRACTOR SHALL PROVIDE THE LABOR TO RECEIVE, UNLOAD, STORE, PROTECT AND TRANSFER TO POINT OF INSTALLATION OWNER FURNISHED ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLAB AND WALL OPENINGS, BEAM PENETRATIONS AND CORING DRILLING AS IT RELATES TO HIS WORK. PLUMBING CONTRACTOR SHALL SUBMIT SIZE AND LOCATION TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL.

REFERENCED STANDARDS

- ALL PLUMBING MATERIAL, FIXTURES AND EQUIPMENT SHALL BE LISTED BY THE FOLLOWING APPLICABLE STANDARDS.
 - AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
 - AMERICAN SOCIETY OF MECHANICAL ENGINEERS (AMSE)
 - AMERICAN SOCIETY FOR TESTING MATERIAL (ASTM)
 - AMERICAN WATER WORKS ASSOCIATION (AWWA)
 - CAST IRON SOIL PIPE (CISPI)
 - MANUFACTURING STANDARDIZATION SOCIETY (MSS)
 - NATIONAL FIRE ASSOCIATION (NFPA)
 - NATIONAL SANITATION FOUNDATION (NSF)
 - UNDERWRITERS LABORATORIES (UL)

PROTECTION OF WORK

EFFECTIVELY PROTECT ALL MATERIAL AND EQUIPMENT FROM ENVIRONMENTAL AND PHYSICAL DAMAGE UNTIL FINAL ACCEPTANCE. CLOSE AND PROTECT ALL OPENINGS DURING CONSTRUCTION. PROVIDE NEW MATERIALS AND EQUIPMENT TO REPLACE DAMAGED ITEMS AT NO ADDITIONAL COST TO OWNER.

REFERENCED MANUFACTURERS NOTE

REFERENCED MANUFACTURERS DENOTES A MINIMUM ACCEPTABLE LEVEL OF QUALITY AND IS NOT INTENDED TO PREVENT SUBMISSION OF EQUIVALENT EQUIPMENT.

PLENUM RATED MATERIAL NOTE:

ALL PLUMBING WORK BEING INSTALLED IN PLENUM SPACES MUST BE INSTALLED WITH PLENUM RATED MATERIAL. COORDINATE WITH MECHANICAL SYSTEMS TO LOCATE ALL PLENUM RATED AREAS.



DATE	NO.	REVISIONS	BY
07/17/20	-	BID SET	RM

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515 Grove Street, Suite 1B
Haddon Heights, NJ 08035 - 856.547.0505

ALTERATIONS
RIVERSIDE FIRE COMPANY 1

PLUMBING NOTES, SYMBOLS
+ ABBREVIATIONS

RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

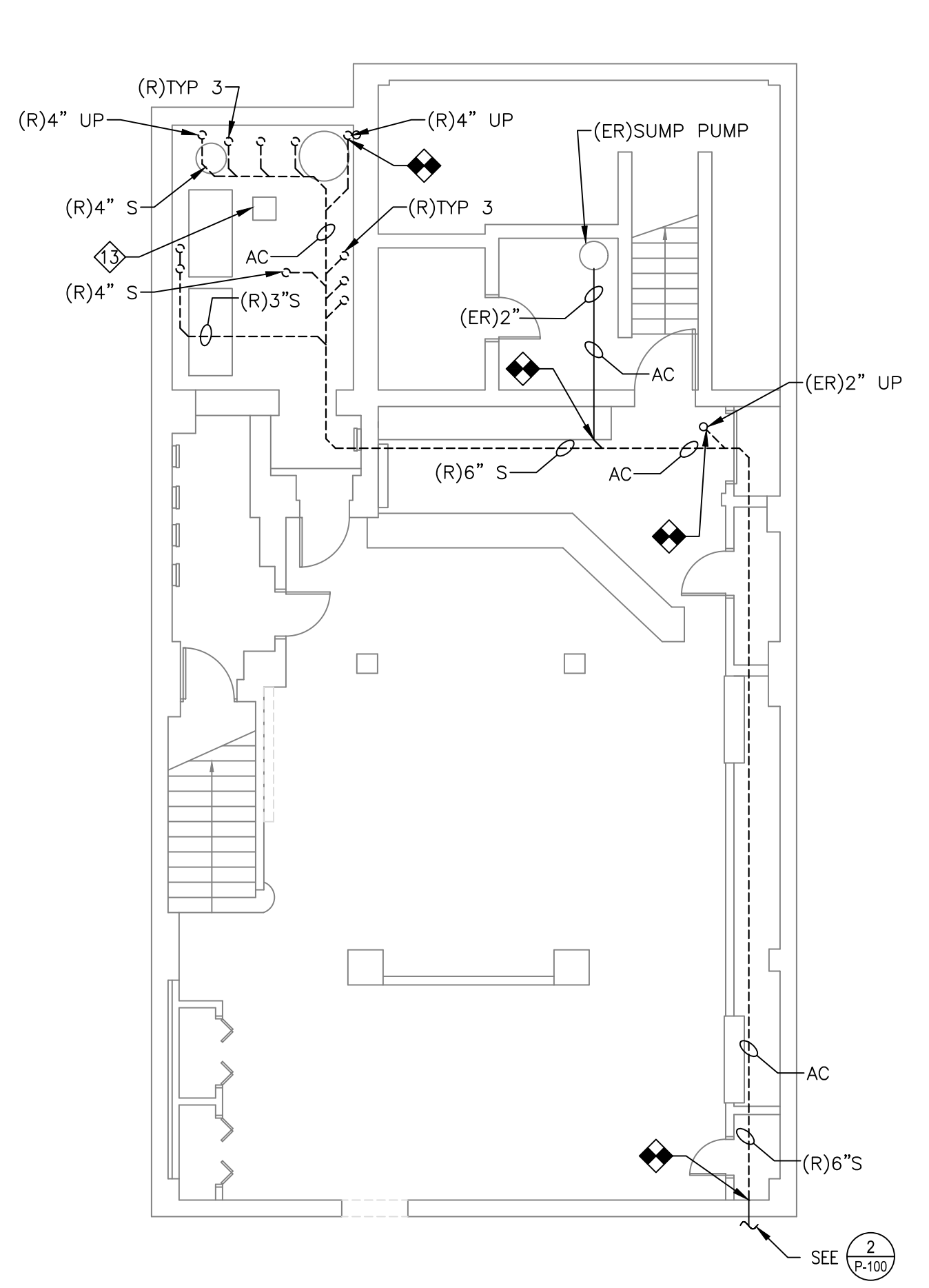
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NORTH	JOB NO. RSFDX19001
	SHEET - OF -

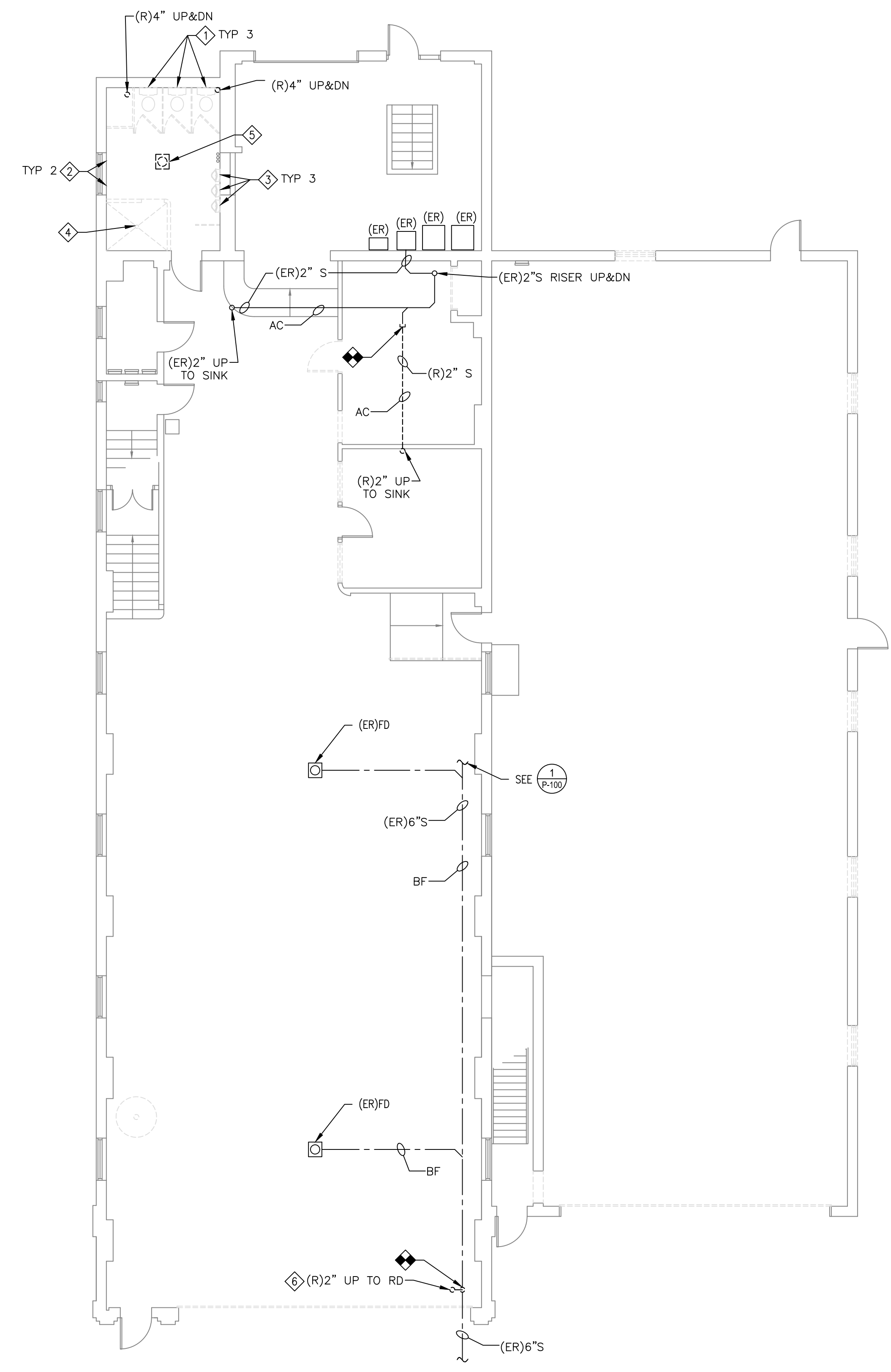
SCALE	DRAWING NO.
NONE	
DRAWN BY TF	
DATE 03/18/2020	
APPROVED NB	P-001

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 R. J. Pennoni
 03/18/2020

1 BASEMENT PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"



2 FIRST FLOOR PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"



DEMOLITION NOTES:

- 1 REMOVE TOILET
- 2 REMOVE LAVATORY
- 3 REMOVE URINAL
- 4 REMOVE SHOWER HEAD PIPING, VALVES, AND DRAIN
- 5 REMOVE FLOOR DRAIN
- 6 REMOVE PIPE UP TO ROOF DRAIN. PREPARE ROOF DRAIN FOR NEW CONNECTION.
- 7 REMOVE SINK
- 8 NOTE NOT USED
- 9 NOTE NOT USED
- 10 TYPICAL FOR ALL REMOVED PLUMBING FIXTURES. REMOVE ALL SANITARY, VENT, WASTE, WATER, OR GAS PIPING BACK TO ACTIVE MAIN AND CAP.
- 11 REMOVE ALL ABANDONED GAS, VENT, WASTE, AND WATER PIPING TO A POINT BELOW FINISHED FLOOR OR BEHIND FINISHED WALL AND CAP.
- 12 REMOVE ROOF DRAIN. PREPARE PIPE TO CONNECT NEW ROOF DRAIN.
- 13 EXISTING FLOOR GRATE, SUMP PIT, AND EXPOSED INDIRECT WASTE LINE TO REMAIN. CONTRACTOR SHALL PROTECT ALL INDIRECT WASTE LINES DISCHARGING INTO FLOOR DRAIN FROM DAMAGE AND REPLACE IF DAMAGED.
- 14 NOTE NOT USED
- 15 NOTE NOT USED
- 16 DISCONNECT WATER SUPPLY TO KITCHEN ABOVE.

SCALE	DRAWING NO.
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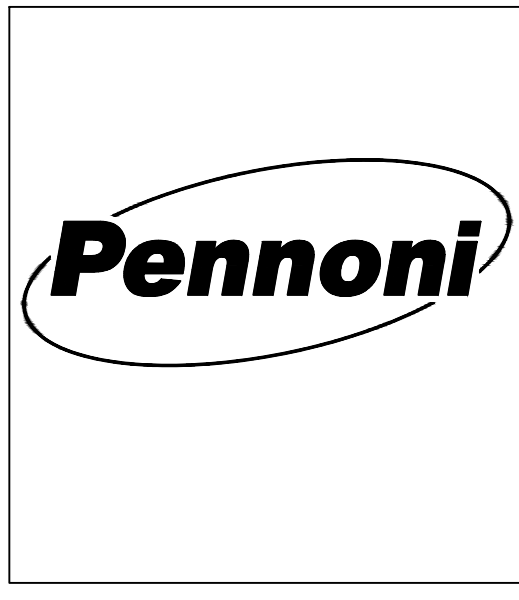
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	RSFDX19001
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ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
PLUMBING PLANS - DEMOLITION
STORM, SANITARY, WASTE + VENT
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

515 Grove Street, Suite 1B
 Haddon Heights, NJ 08035 - 856.547.0505

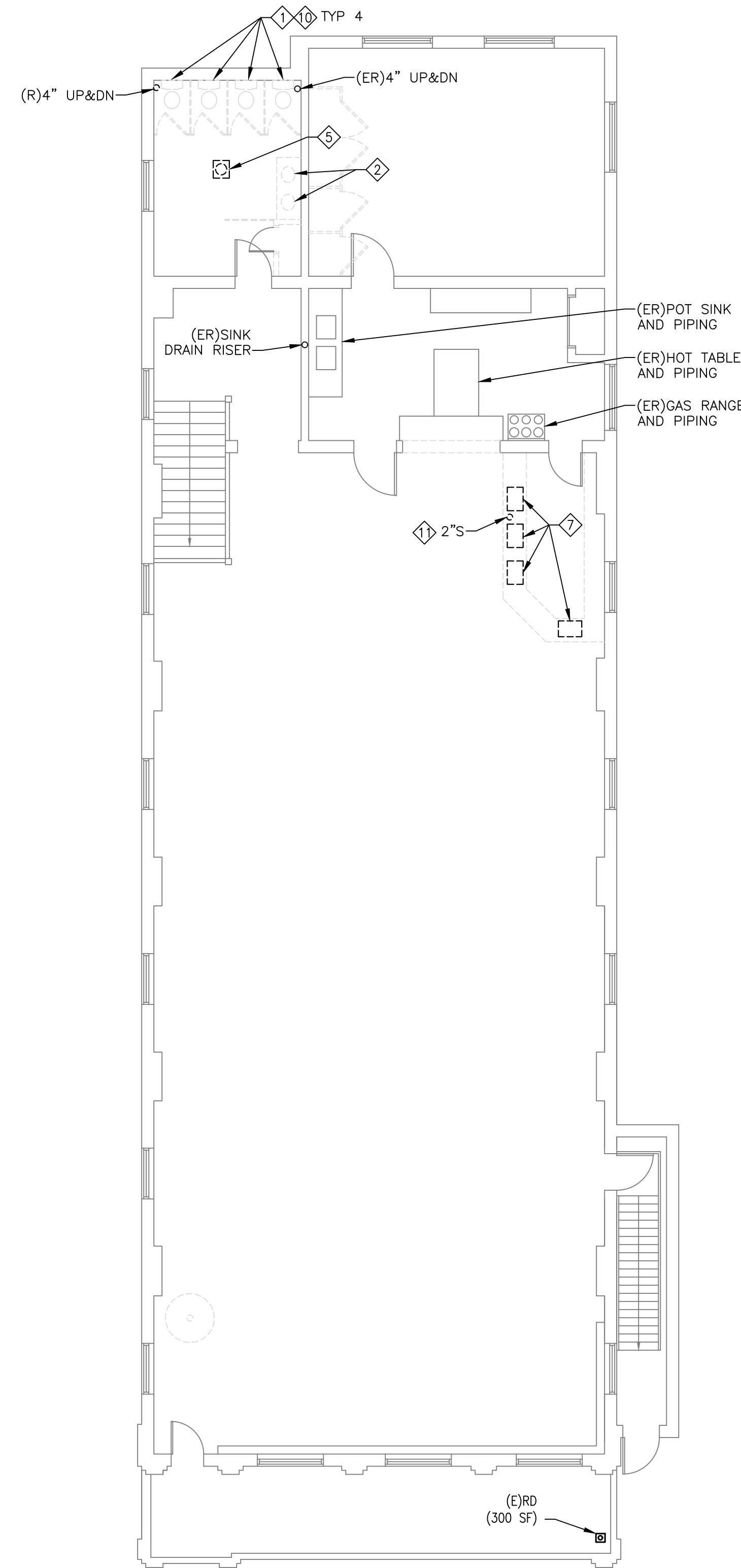
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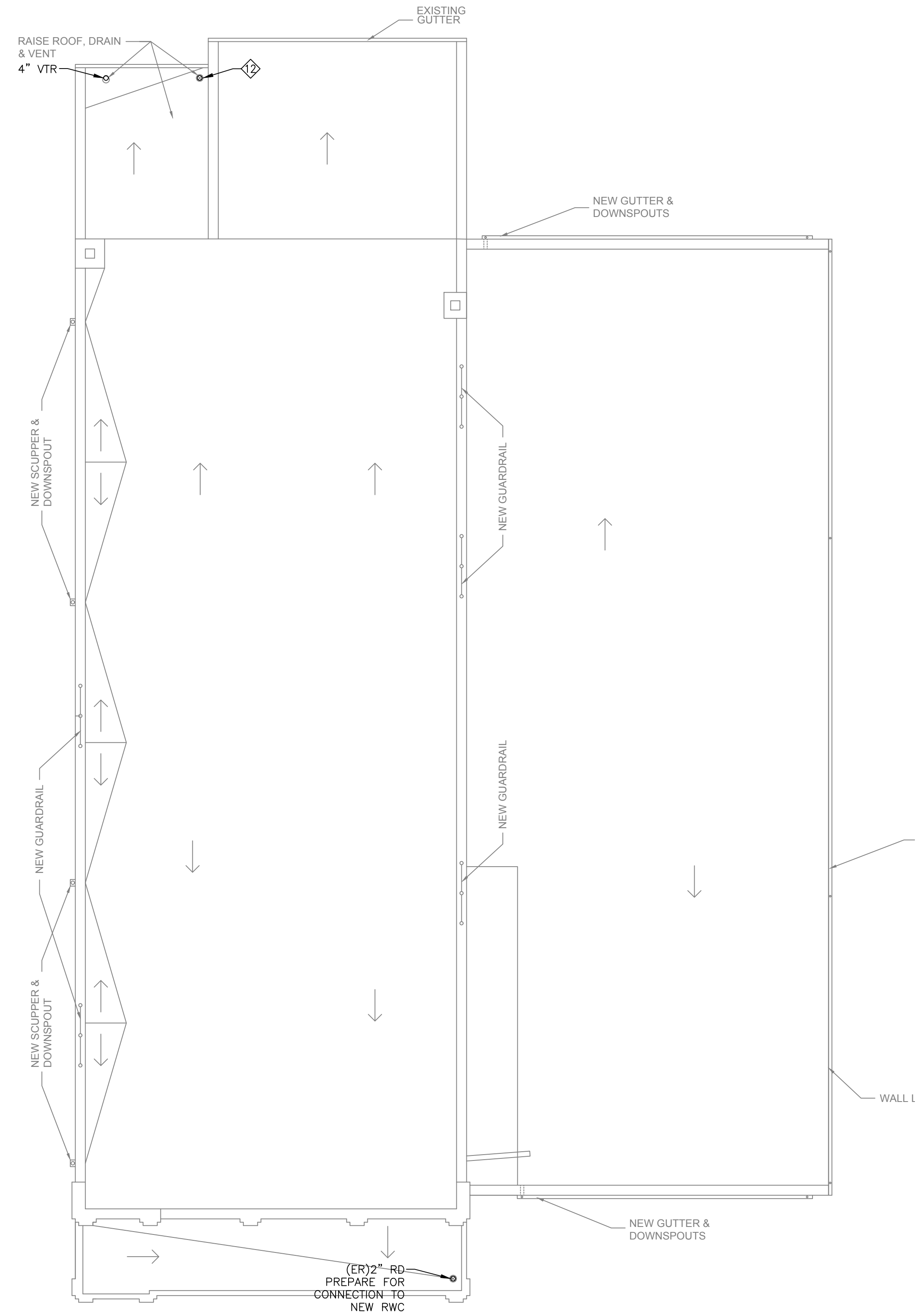
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07/17/20	-	BID SET	RM

DEMOLITION NOTES:

- ① REMOVE TOILET
- ② REMOVE LAVATORY
- ③ REMOVE URINAL
- ④ REMOVE SHOWER HEAD PIPING, VALVES, AND DRAIN
- ⑤ REMOVE FLOOR DRAIN
- ⑥ REMOVE ICE MACHINE, WATER AND WASTE PIPE
- ⑦ REMOVE SINK
- ⑧ NOTE NOT USED
- ⑨ NOTE NOT USED
- ⑩ NOTE NOT USED
- ⑪ REMOVE ALL ABANDONED GAS, VENT, WASTE, AND WATER PIPING TO A POINT BELOW FINISHED FLOOR OR BEHIND FINISHED WALL AND CAP.
- ⑫ REMOVE ROOF DRAIN. PREPARE PIPE TO CONNECT NEW ROOF DRAIN.
- ⑬ EXISTING FLOOR GRATE, SUMP PIT, AND EXPOSED INDIRECT WASTE LINE TO REMAIN. CONTRACTOR SHALL PROTECT ALL INDIRECT WASTE LINES DISCHARGING INTO FLOOR DRAIN FROM DAMAGE AND REPLACE IF DAMAGED.
- ⑭ REMOVE GAS WATER HEATER, EXPANSION TANK, INTAKE AND EXHAUST VENT.
- ⑮ NOTE NOT USED.
- ⑯ DISCONNECT WATER SUPPLY TO KITCHEN ABOVE



1 SECOND FLOOR PLAN - DEMOLITION
SCALE: 1/8"=1'-0"



2 ROOF PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

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ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
PLUMBING PLANS - DEMOLITION
STORM, SANITARY, WASTE + VENT
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

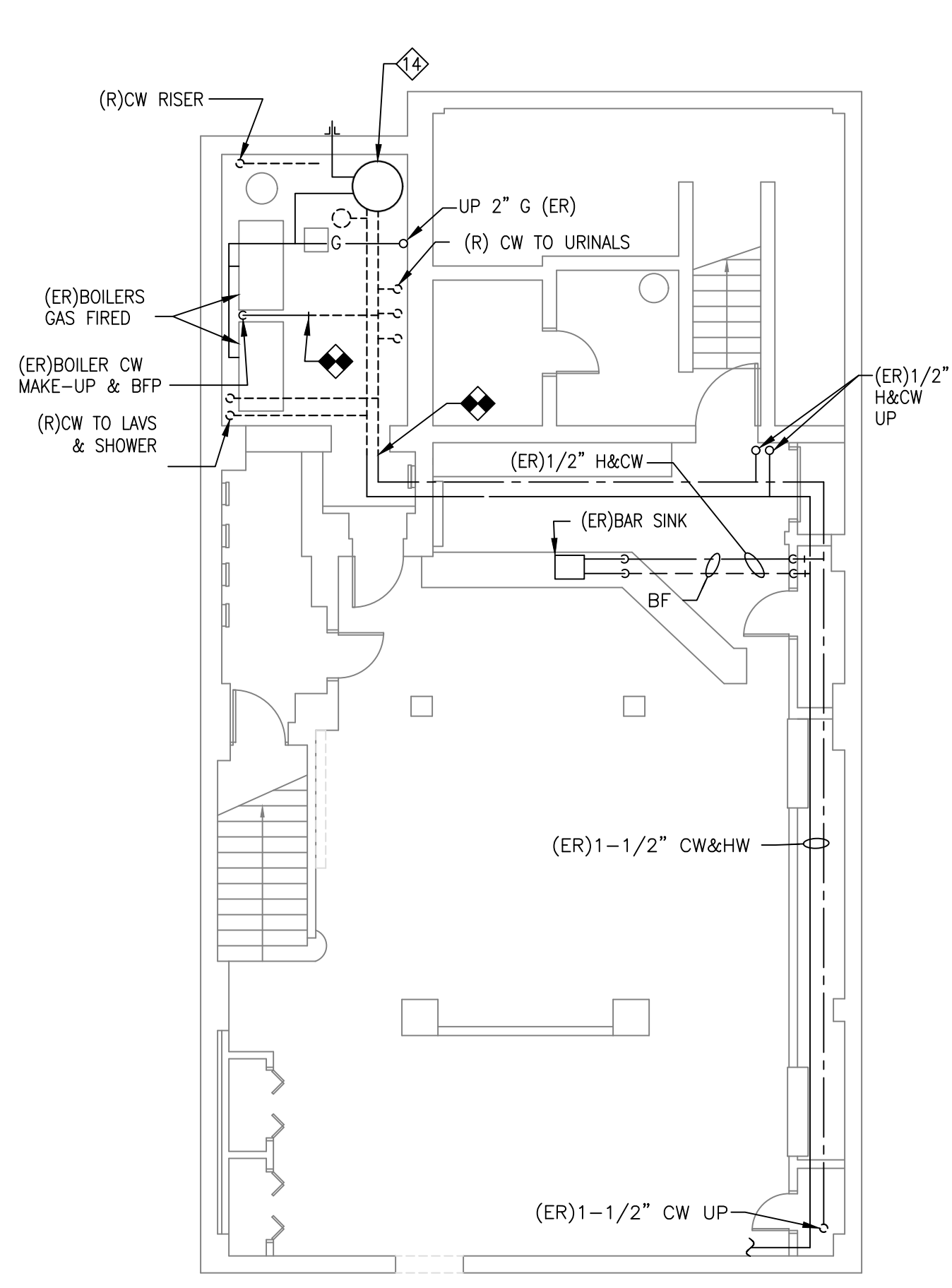
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DATE 03/18/2020	
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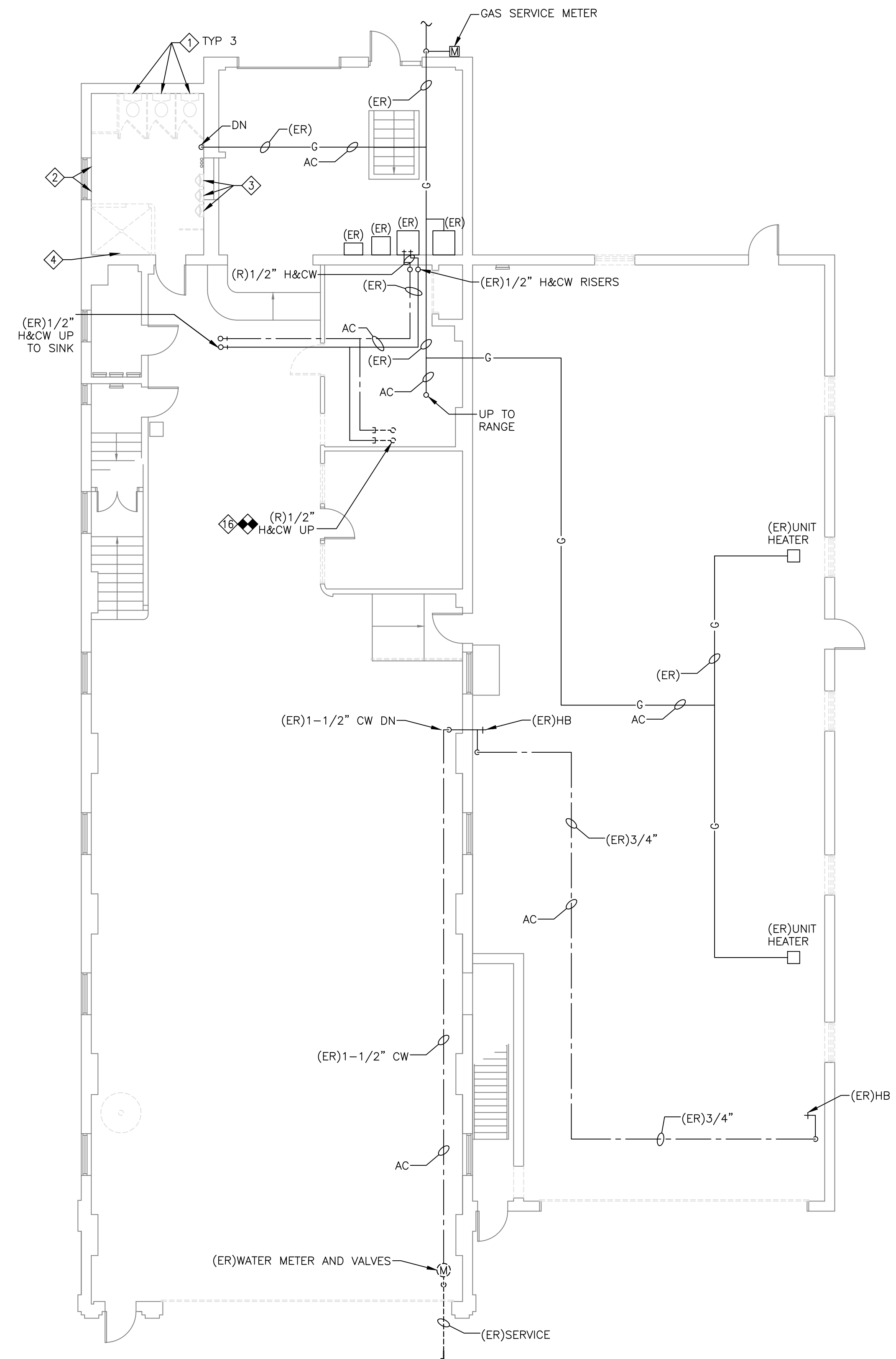
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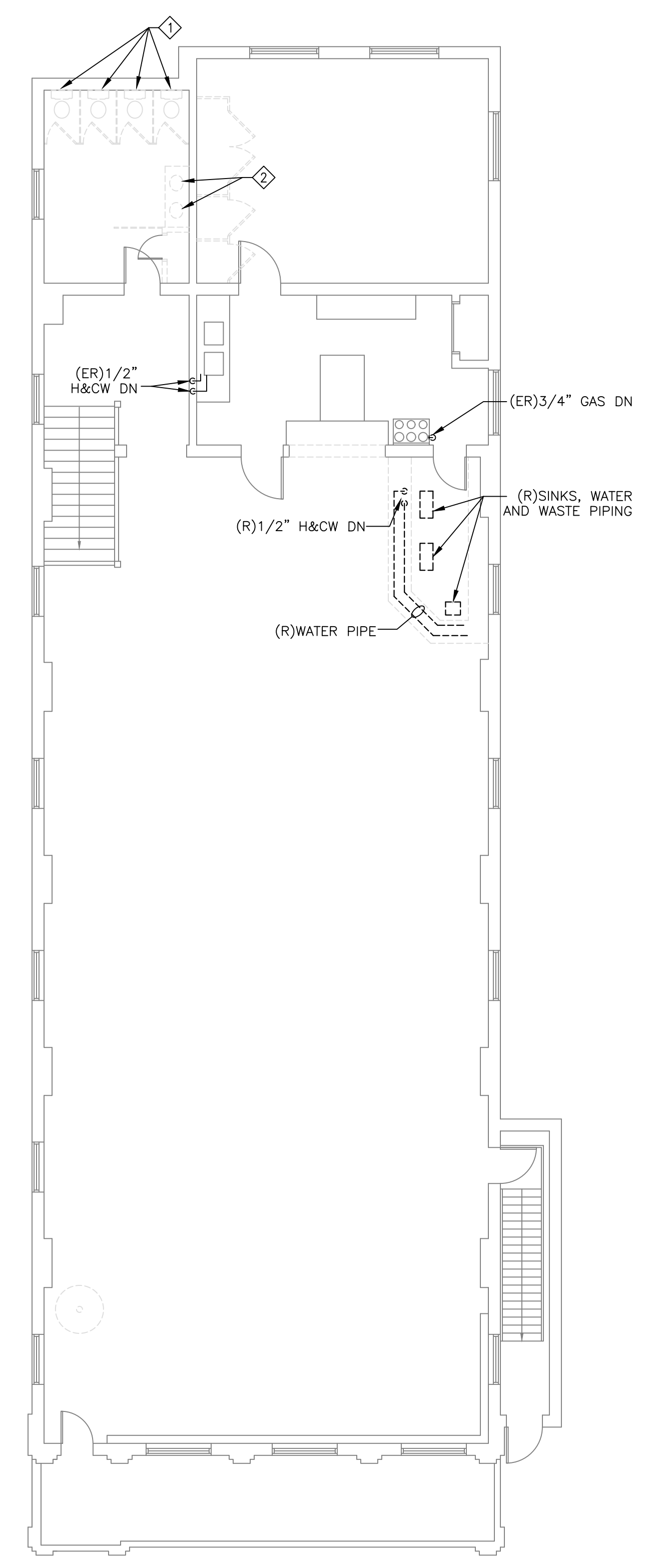

1 BASEMENT PLAN - DEMOLITION
 P-103 SCALE: 1/8"=1'-0"

DEMOLITION NOTES:

- ① REMOVE TOILET
- ② REMOVE LAVATORY
- ③ REMOVE URINAL
- ④ REMOVE SHOWER HEAD PIPING, VALVES, AND DRAIN
- ⑤ REMOVE FLOOR DRAIN
- ⑥ REMOVE ICE MACHINE, WATER AND WASTE PIPE
- ⑦ REMOVE SINK
- ⑧ NOTE NOT USED
- ⑨ NOTE NOT USED
- ⑩ NOTE NOT USED
- ⑪ REMOVE ALL ABANDONED GAS, VENT, WASTE, AND WATER PIPING TO A POINT BELOW FINISHED FLOOR OR BEHIND FINISHED WALL AND CAP.
- ⑫ REMOVE ROOF DRAIN. PREPARE PIPE TO CONNECT NEW ROOF DRAIN.
- ⑬ EXISTING FLOOR GRATE, SLUMP PIT, AND EXPOSED INDIRECT WASTE LINE TO REMAIN. CONTRACTOR SHALL PROTECT ALL INDIRECT WASTE LINES DISCHARGING INTO FLOOR DRAIN FROM DAMAGE AND REPLACE IF DAMAGED.
- ⑭ REMOVE ALL WATER PIPING IN THE MECHANICAL ROOM UP TO THE WATER HEATER. DISCONNECT WATER HEATER PIPING AND PREPARE WATER HEATER FOR CONNECTIONS TO NEW WATER PIPING SYSTEMS.
- ⑮ NOTE NOT USED.
- ⑯ DISCONNECT WATER SUPPLY TO KITCHEN ABOVE



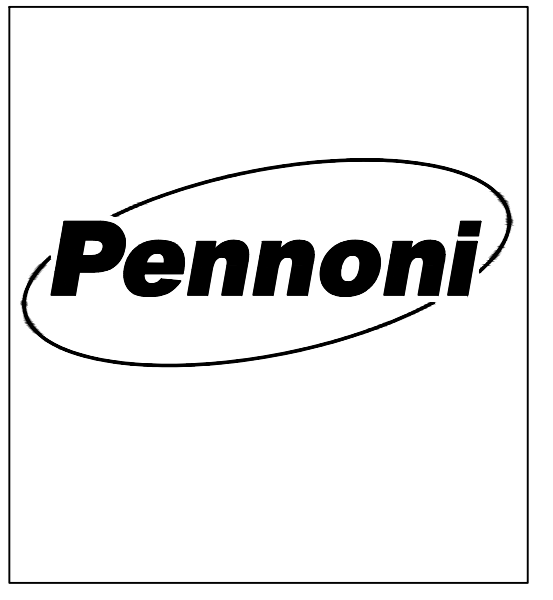

2 FIRST FLOOR PLAN - DEMOLITION
 P-103 SCALE: 1/8"=1'-0"




3 SECOND FLOOR PLAN - DEMOLITION
 P-102 SCALE: 1/8"=1'-0"

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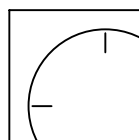


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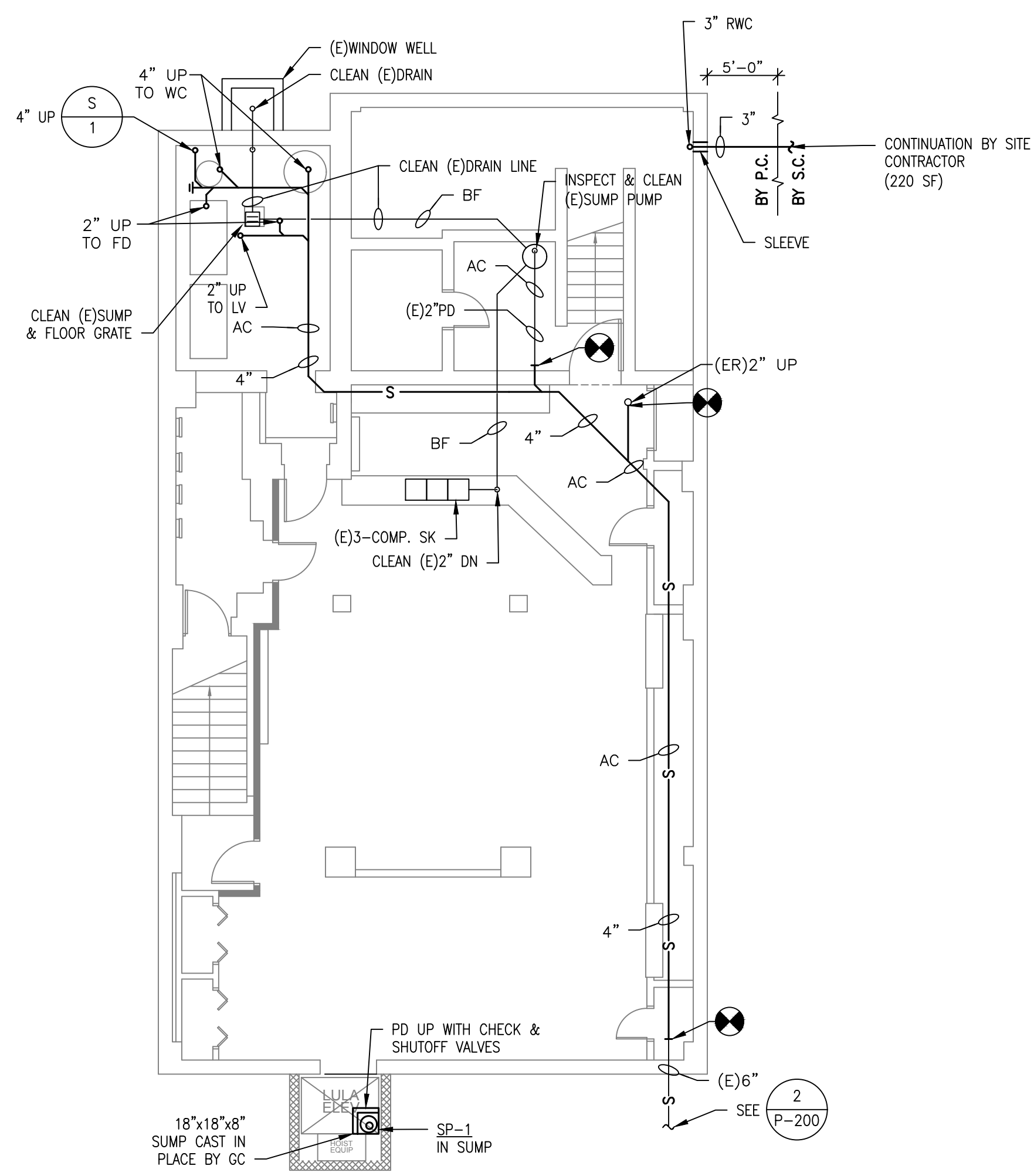
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ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
PLUMBING PLANS - DEMOLITION
WATER + GAS
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

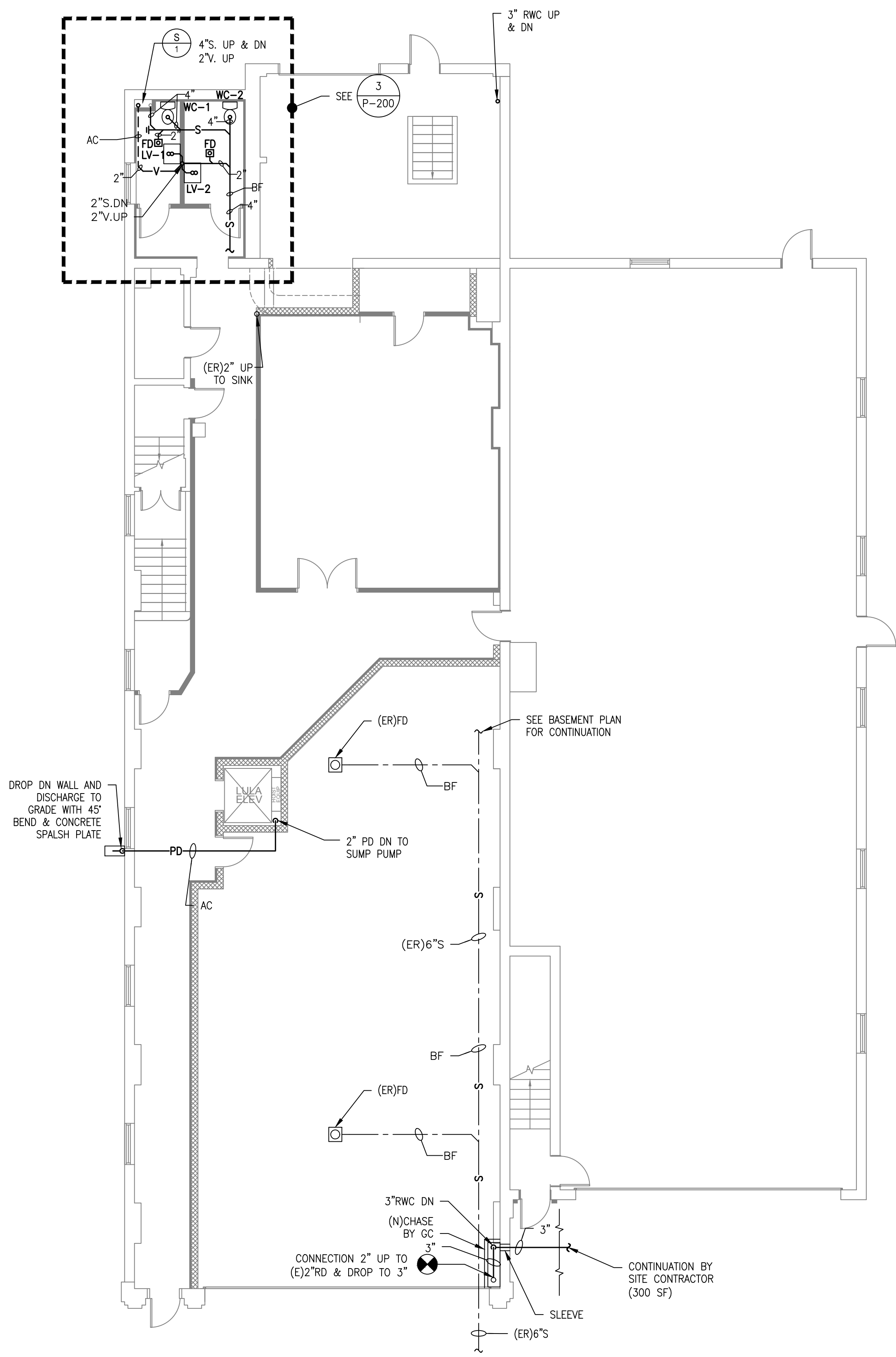
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DATE 03/18/2020	
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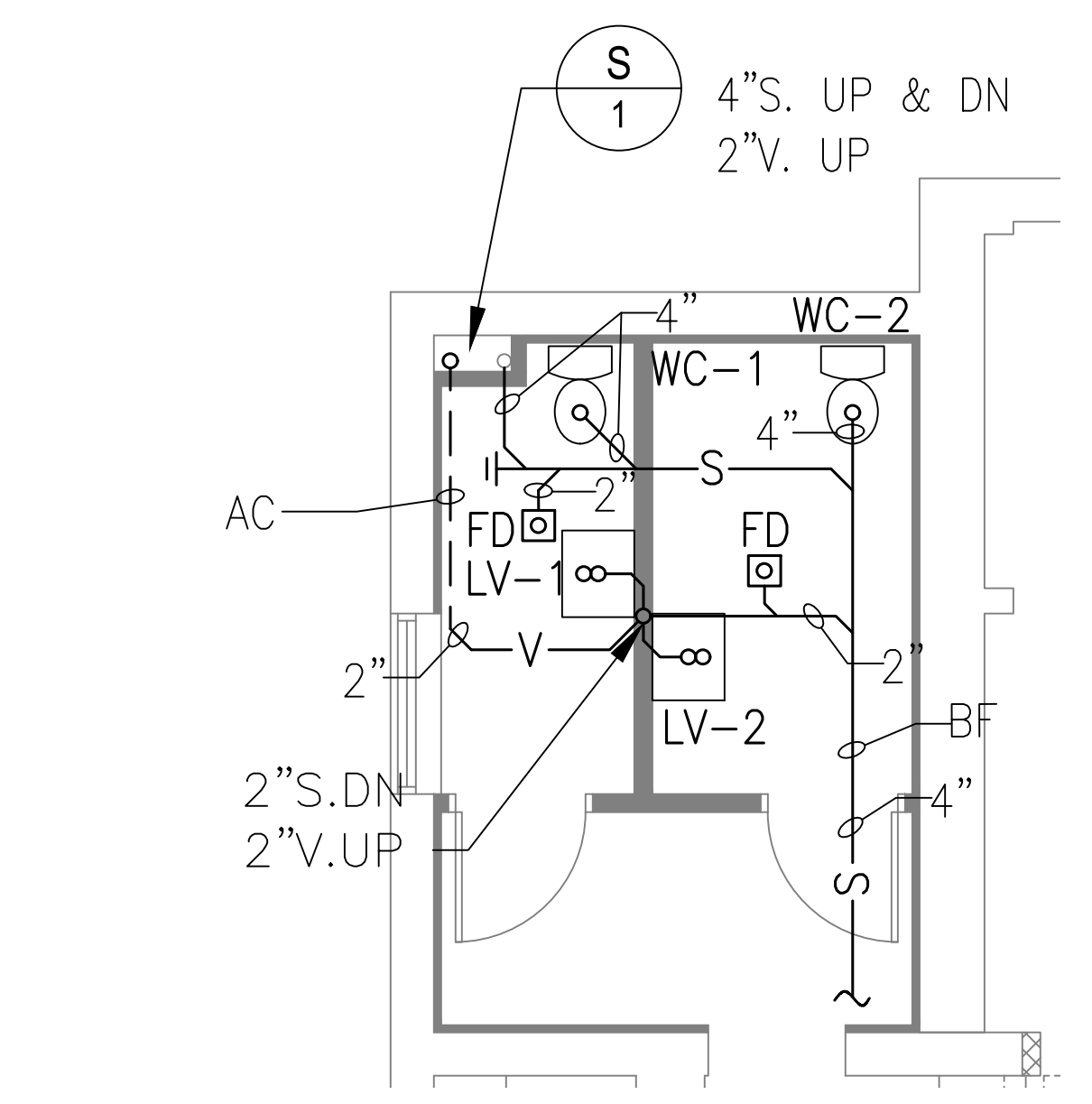
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 Robert Green



1 BASEMENT PLAN SANITARY NEW WORK
 SCALE: 1/8"=1'-0"



2 FIRST FLOOR PLAN SANITARY
 SCALE: 1/8"=1'-0"



3 PARTIAL PLAN - NEW WORK
 SCALE: 1/4"=1'-0"

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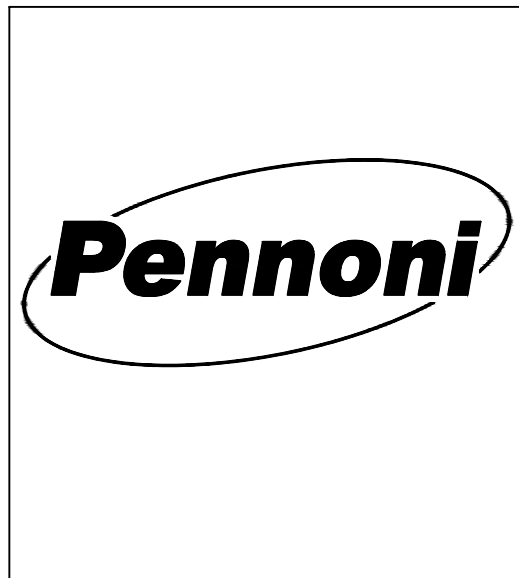
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ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
PLUMBING PLANS - NEW WORK
STORM, SANITARY, WASTE + VENT
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

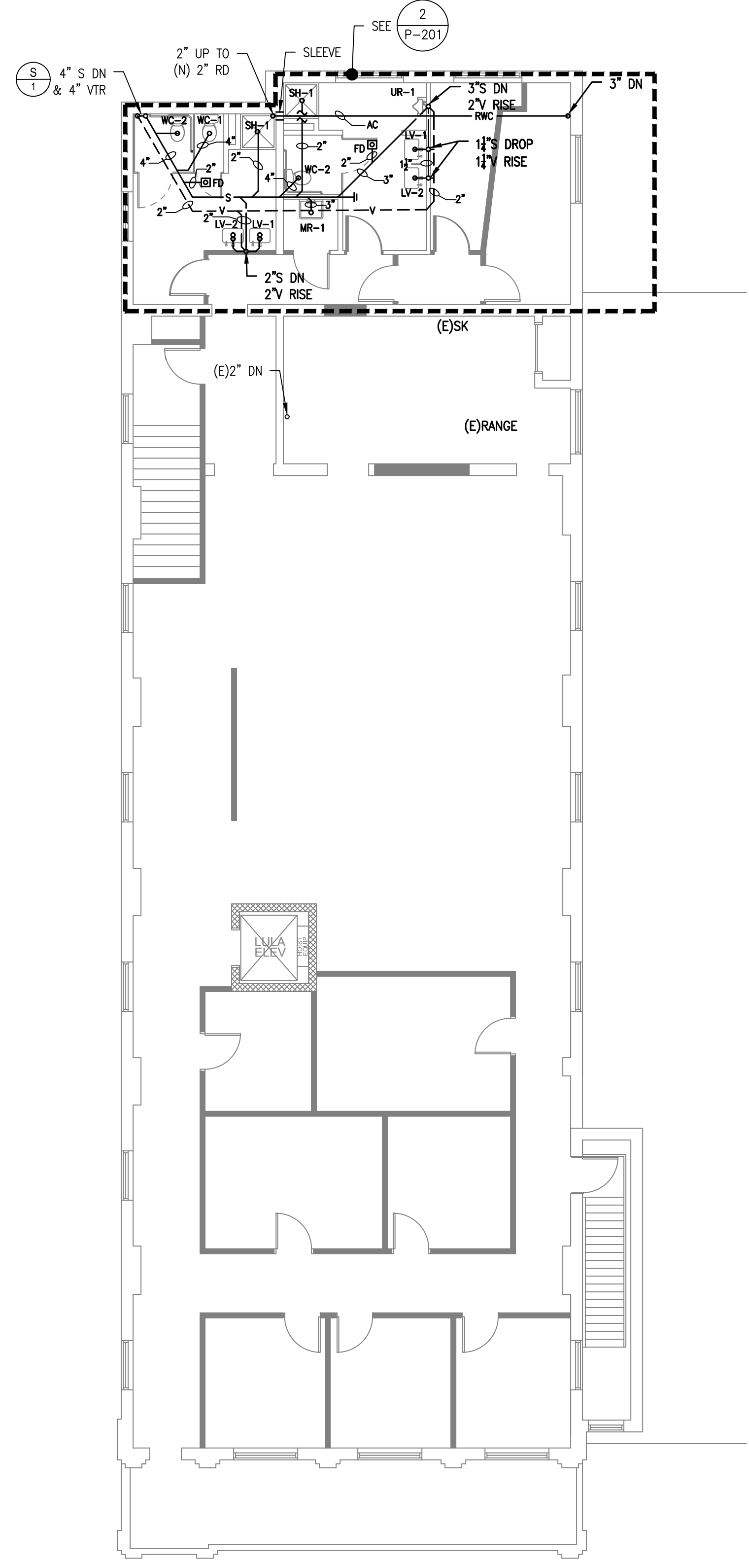
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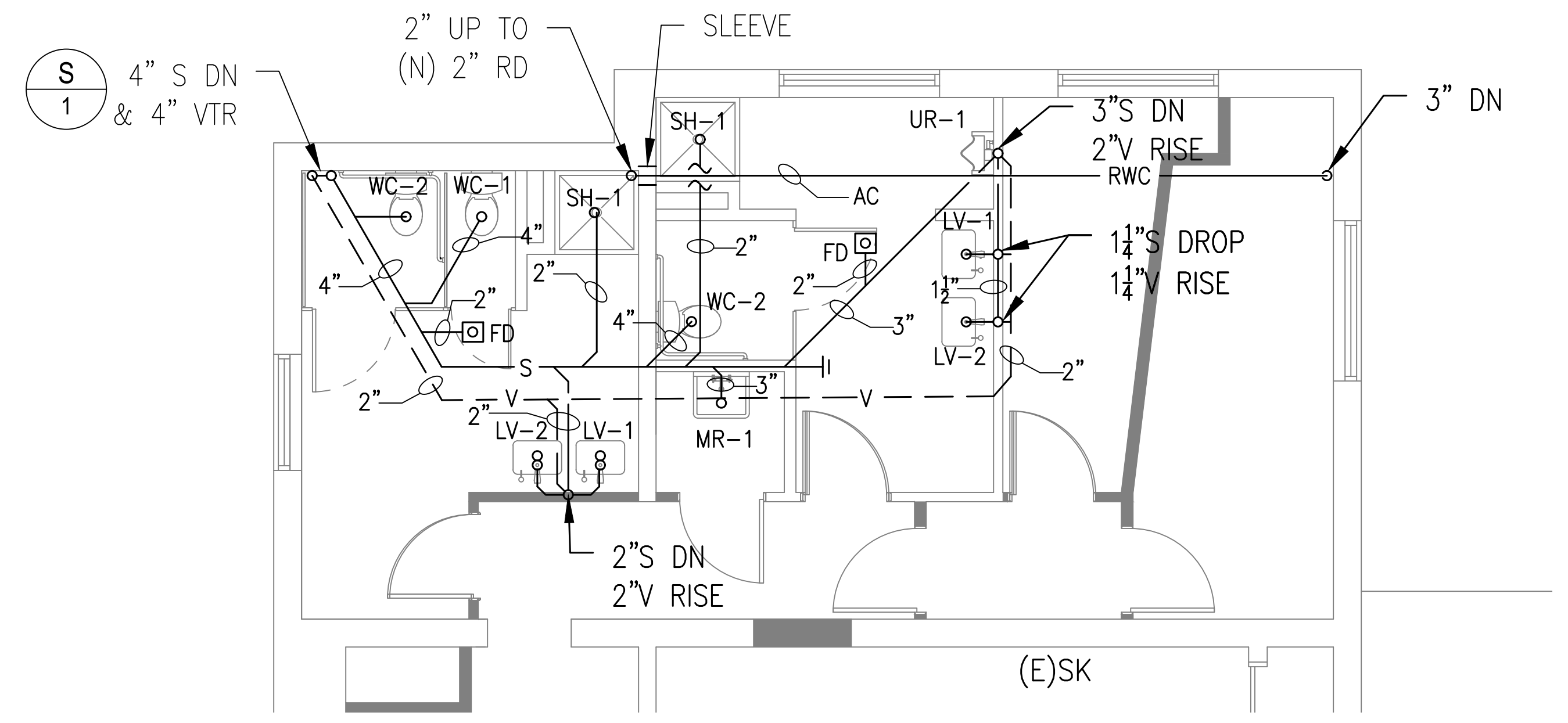
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1 SECOND FLOOR PLAN - NEW WORK
 P-201 SCALE: 1/8"=1'-0"



3 PARTIAL PLAN - NEW WORK
 P-201 SCALE: 1/4"=1'-0"

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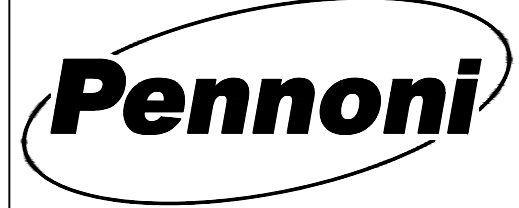
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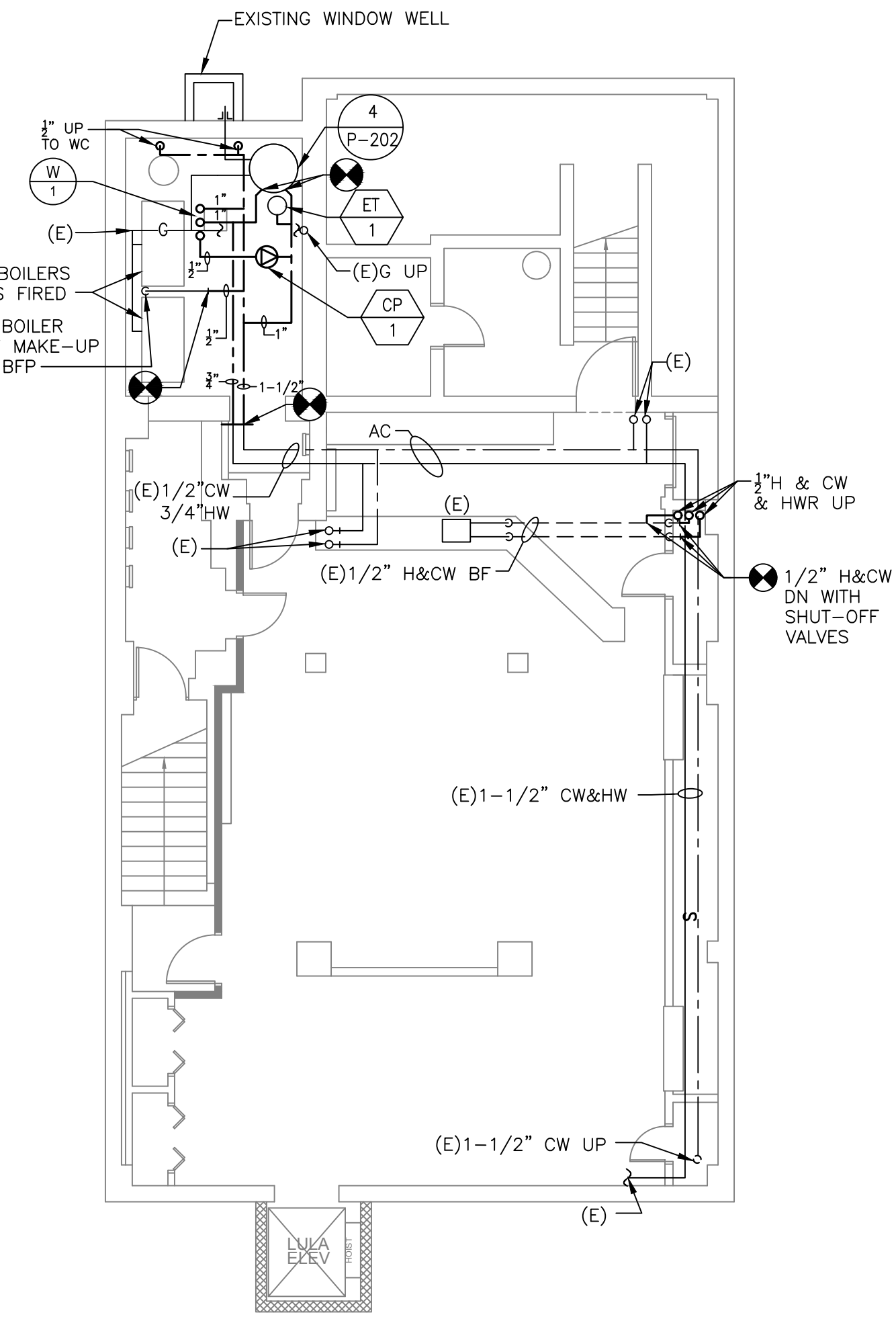
ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
PLUMBING PLANS - NEW WORK
STORM, SANITARY, SEWER + VENT
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

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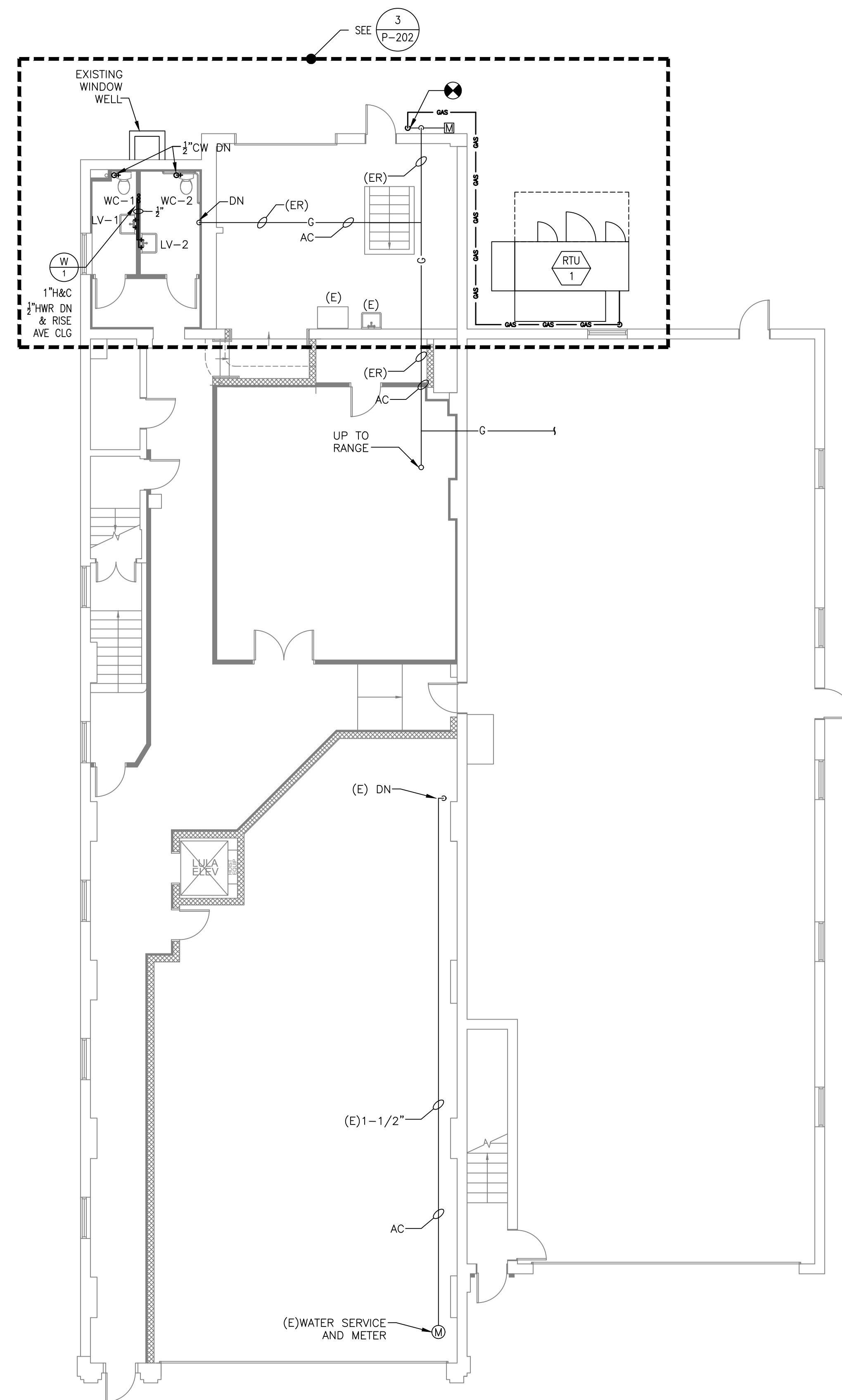
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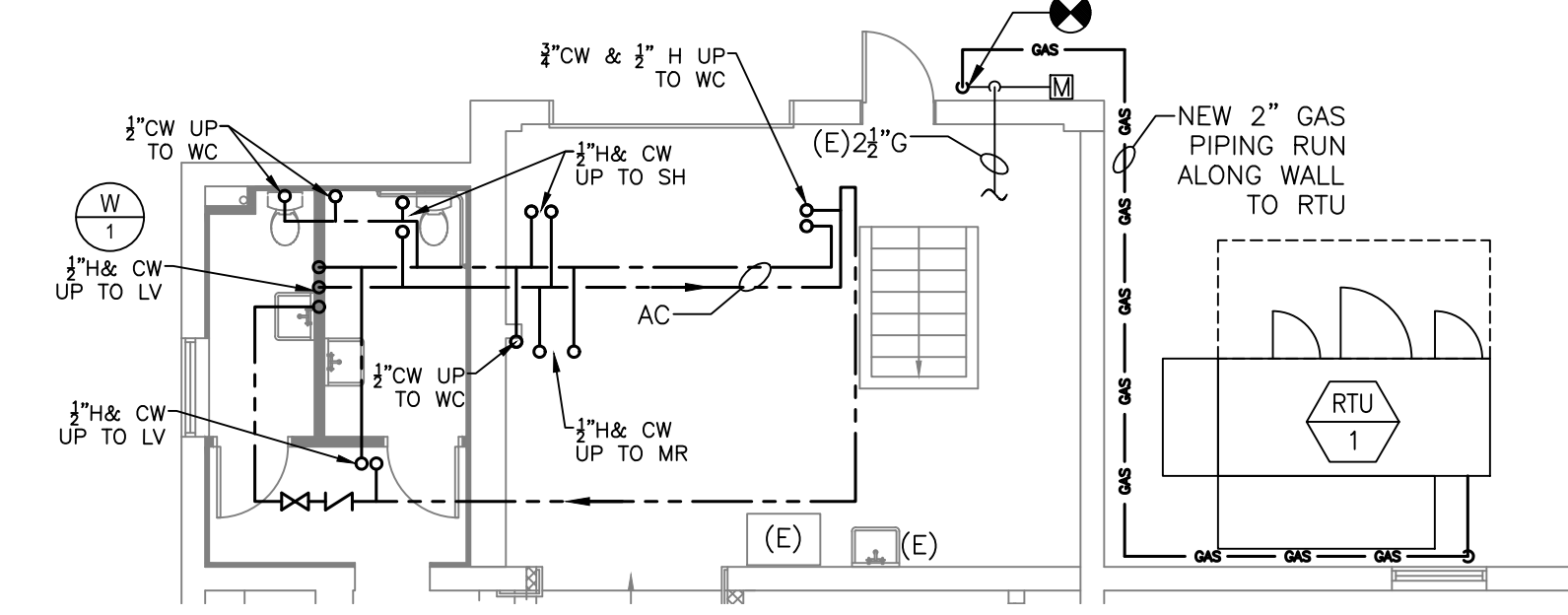
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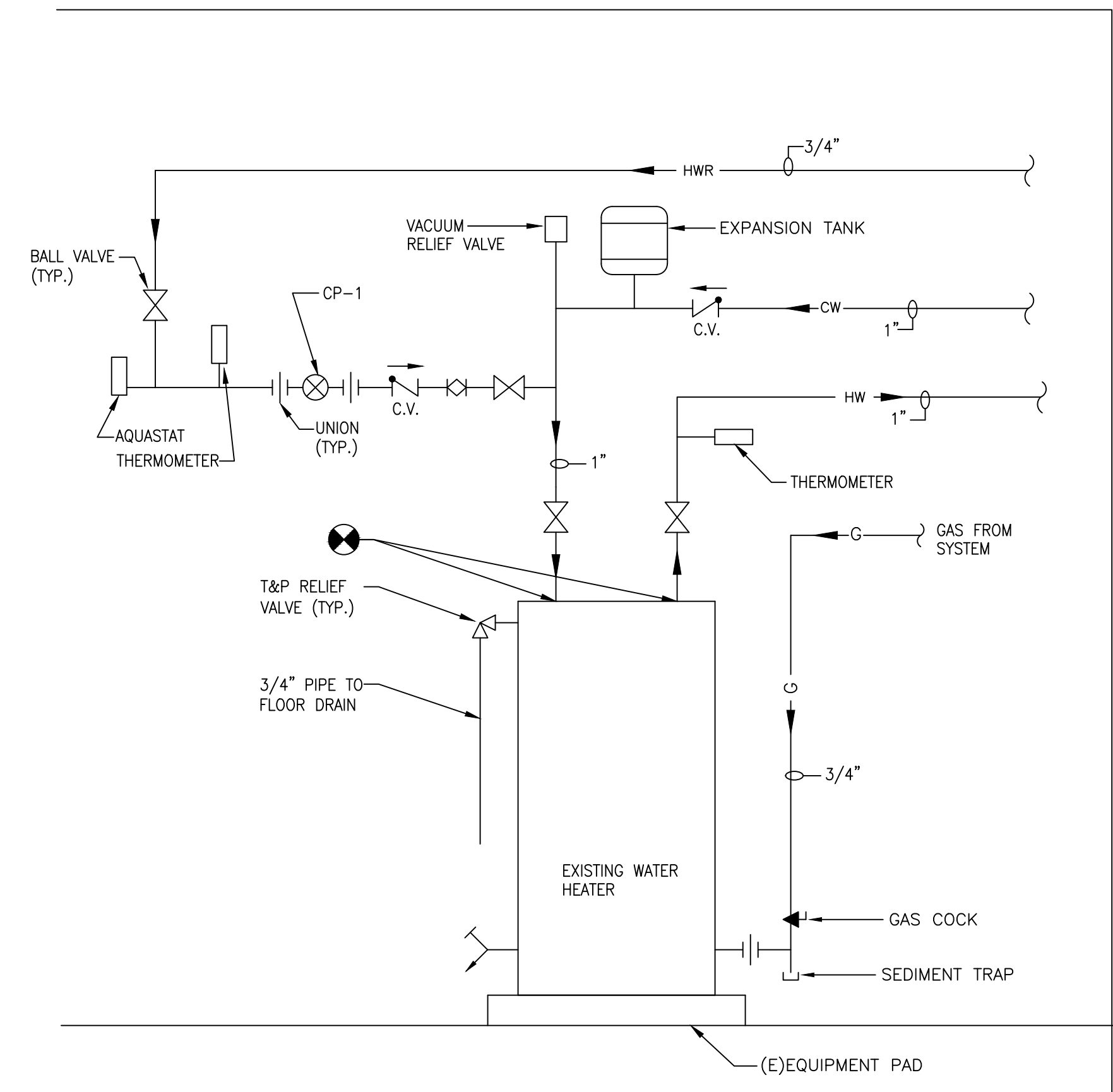
1 BASEMENT PLAN - NEW WORK
 P-202 SCALE: 1/8"=1'-0"



2 FIRST FLOOR PLAN - NEW WORK
 P-202 SCALE: 1/8"=1'-0"

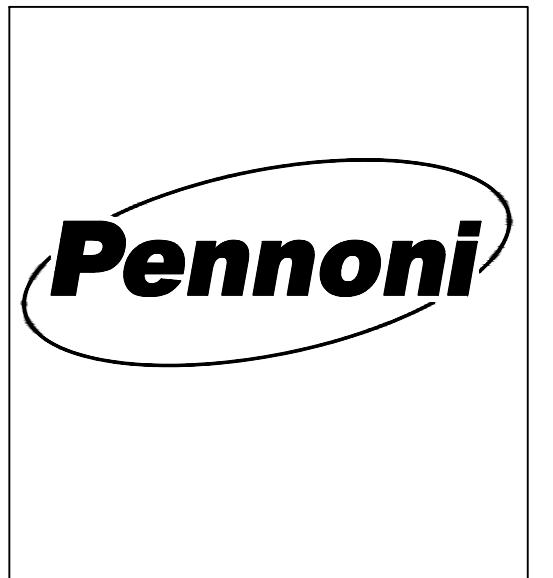


3 PARTIAL PLAN - NEW WORK
 P-202 SCALE: 1/4"=1'-0"



4 WATER HEATER PIPING DETAIL
 P-202 SCALE: N.T.S.

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ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
 PLUMBING PLANS - NEW WORK
 WATER + GAS
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

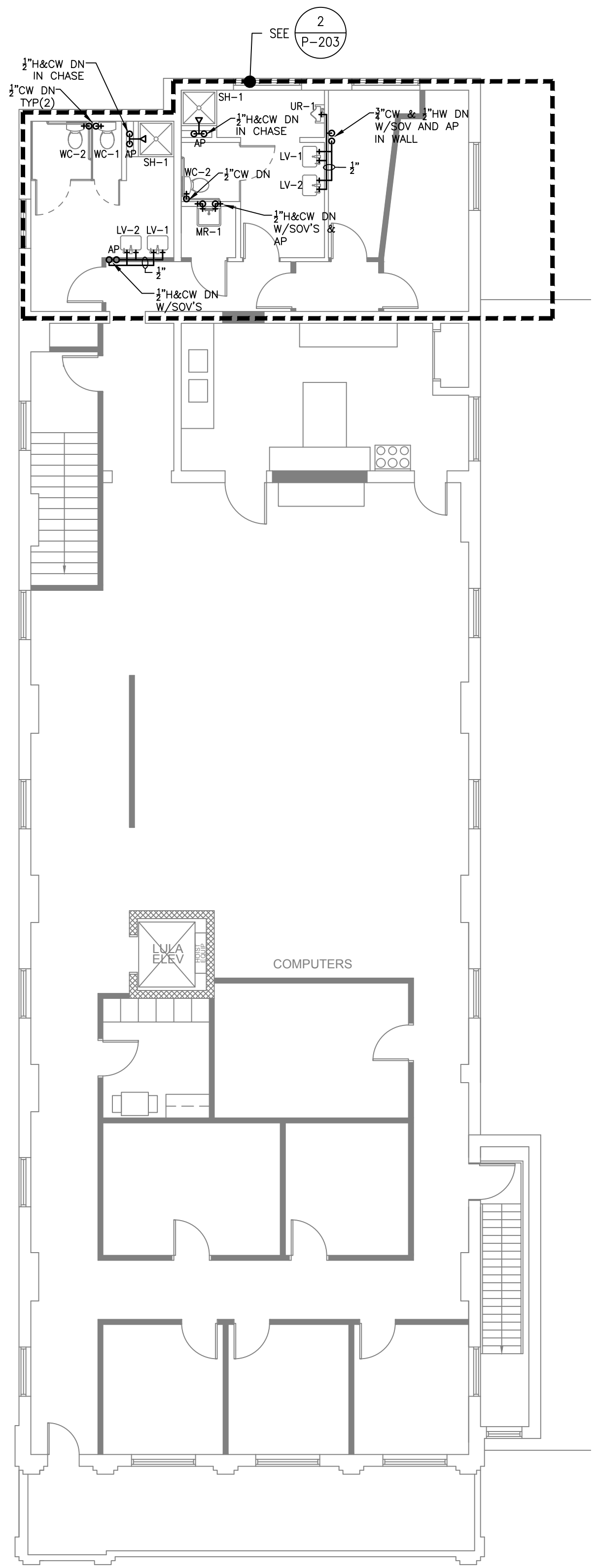
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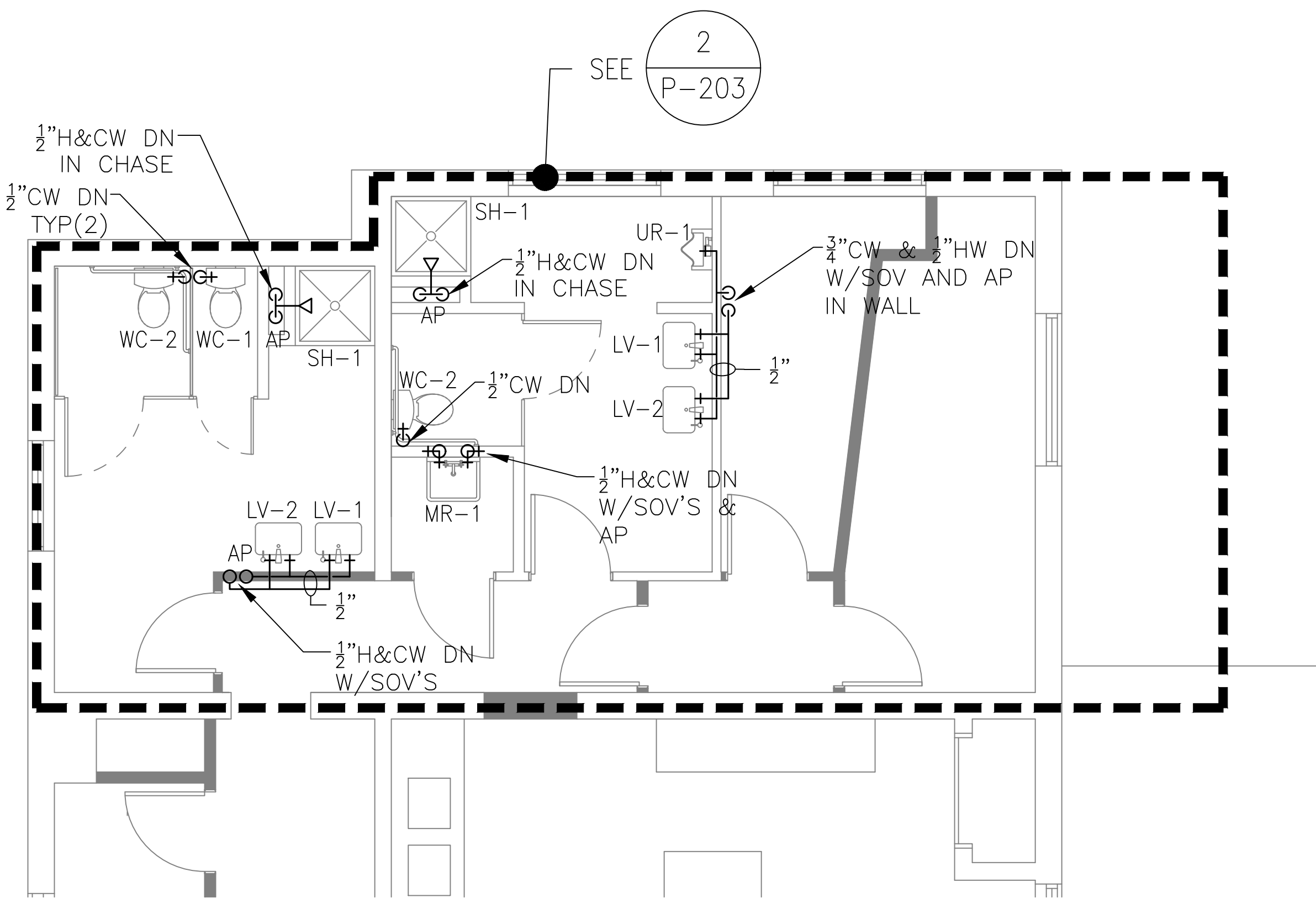
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 Robert Glines

 **1 SECOND FLOOR PLAN - NEW WORK**
 P-203 SCALE: 1/8"=1'-0"



 **2 PARTIAL PLAN - NEW WORK**
 P-203 SCALE: 1/4"=1'-0"



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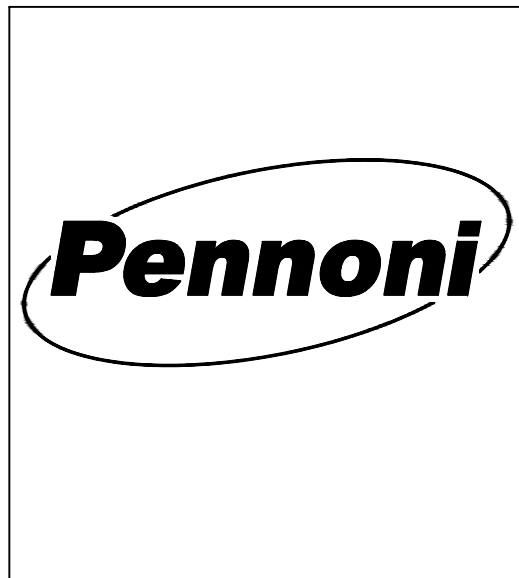
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DATE	03/18/2020		
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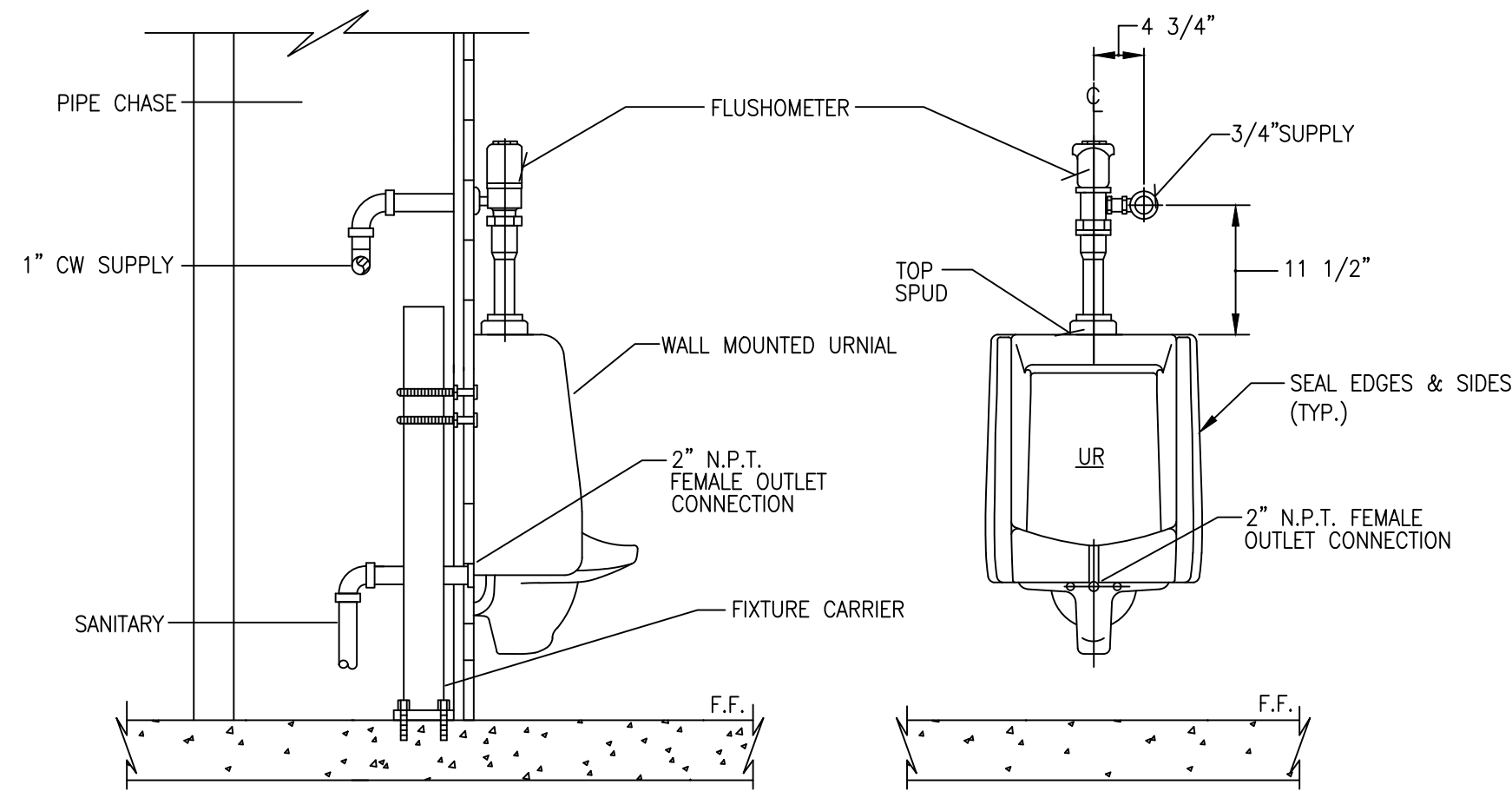
ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
PLUMBING PLANS - NEW WORK
WATER + GAS
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
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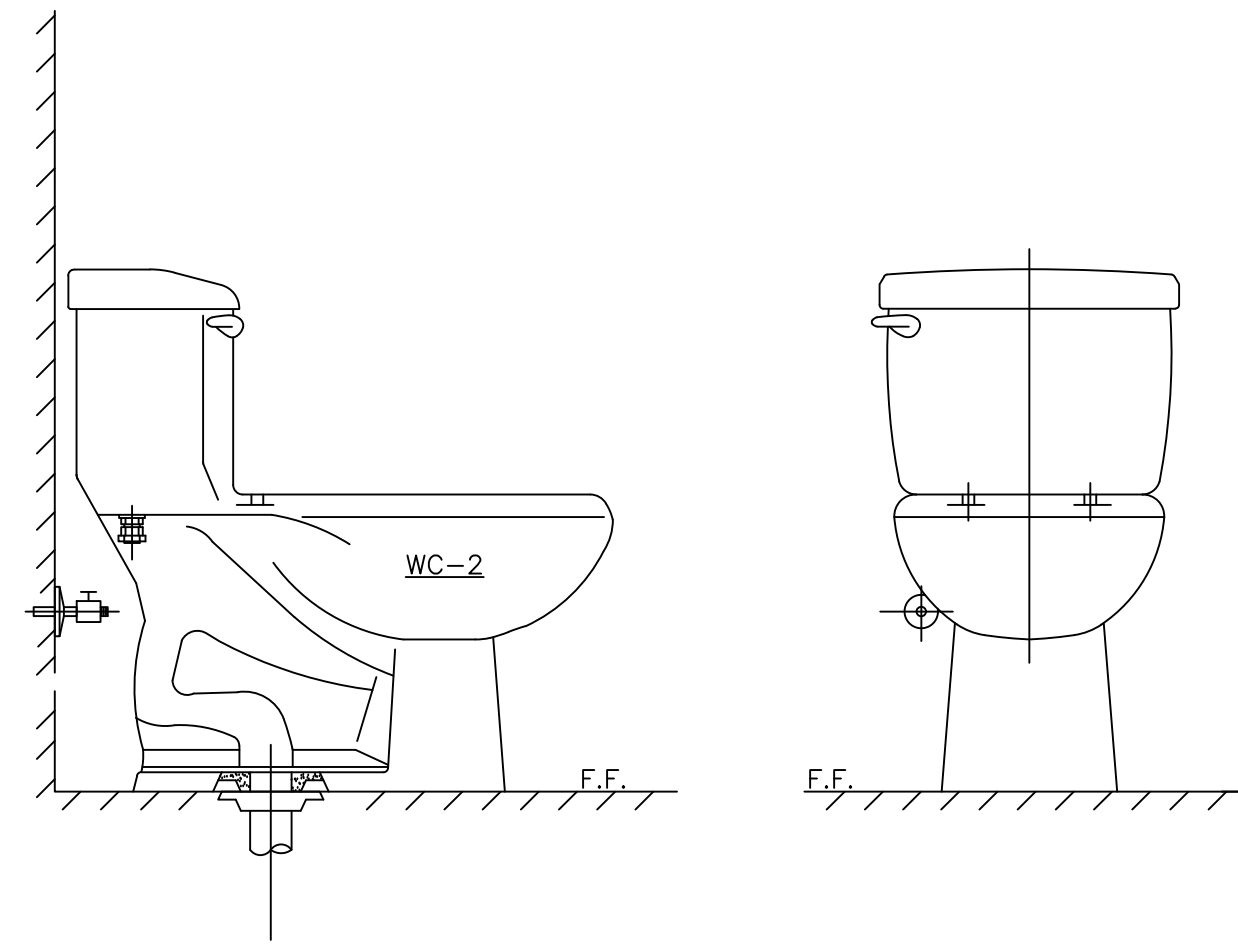


1 URINAL FIXTURE DETAIL
SCALE: NONE

NOTES:

1. PLUMBING CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL ADA COMPLIANT FIXTURES WITH ARCHITECTURAL DRAWINGS.
2. ALL ADA COMPLIANT URINALS SHALL BE INSTALLED WITH A MAXIMUM DISTANCE OF 17" FROM LIP OF URINAL TO FINISHED FLOOR.

INSTALL ADA COMPLIANT

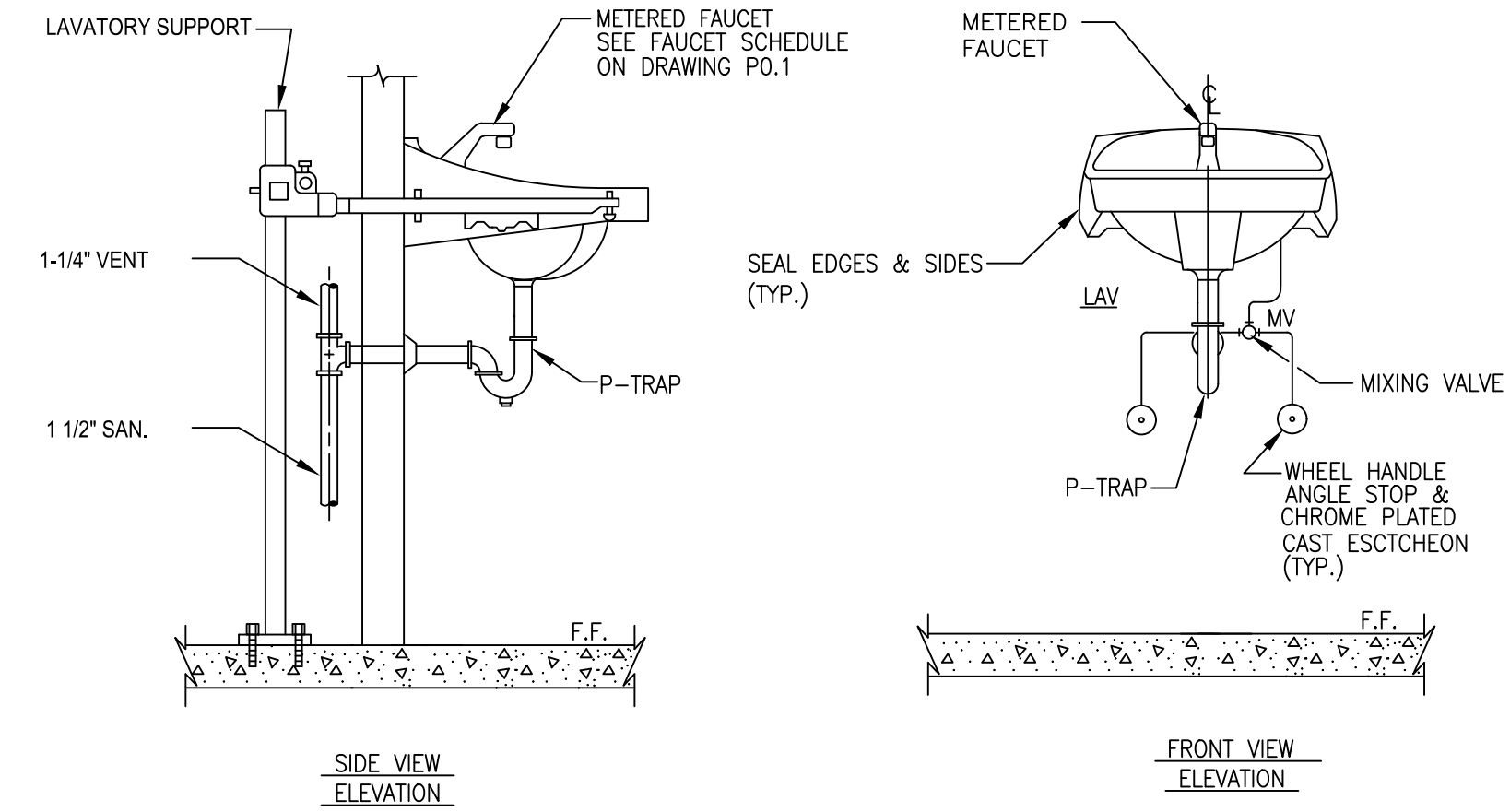


2 FLOOR-MOUNTED WATER CLOSET FIXTURE DETAIL
SCALE: NONE

NOTES:

1. PLUMBING CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL ADA COMPLIANT FIXTURES WITH ARCHITECTURAL DRAWINGS.
2. ALL ADA COMPLIANT WATER CLOSETS TO BE INSTALLED WITH SEAT HEIGHT SET AT 17" TO 19" FROM FINISHED FLOOR.

INSTALL ADA COMPLIANT



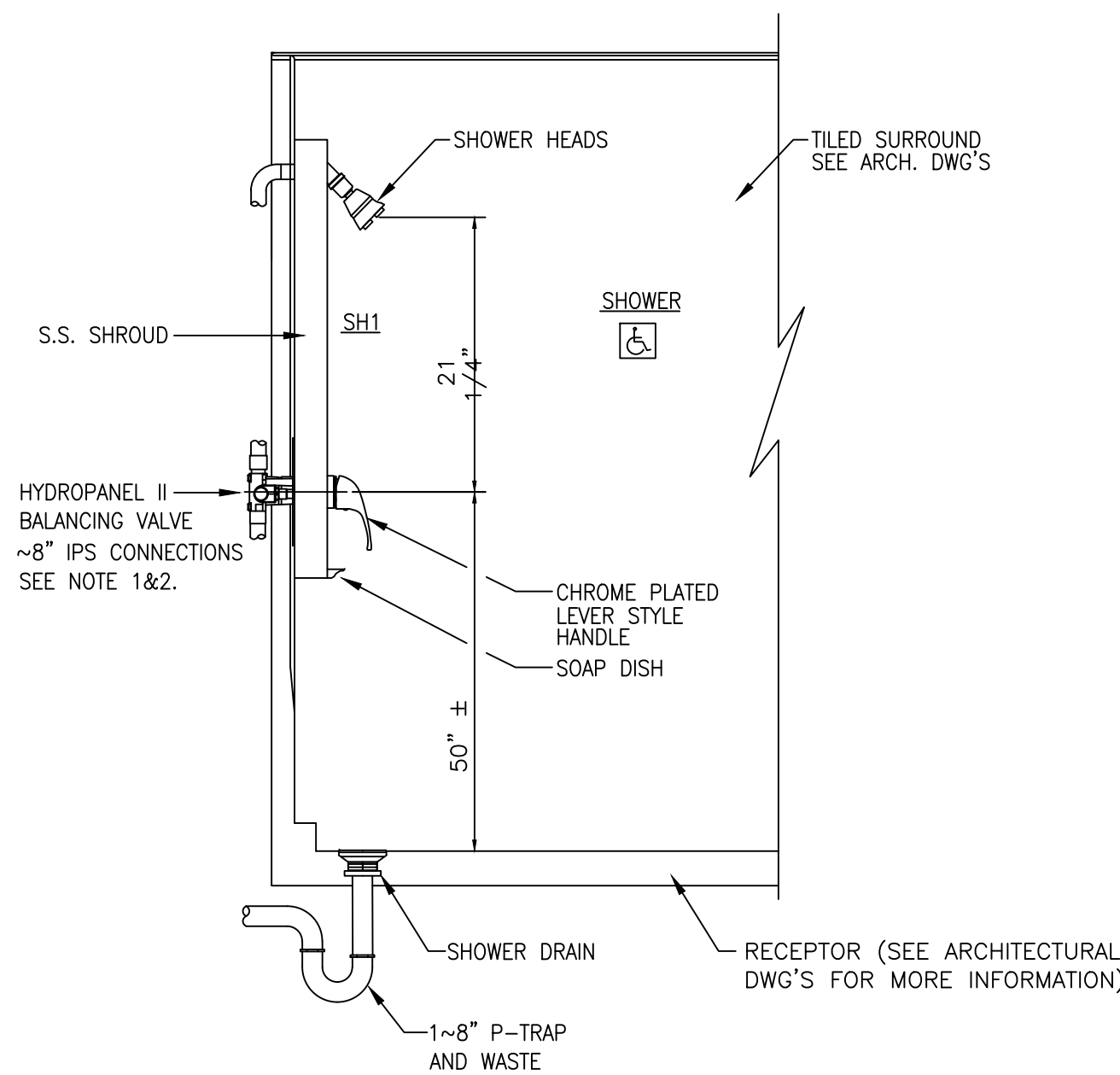
3 LAVATORY FIXTURE DETAIL
SCALE: NONE

NOTES:

1. PLUMBING CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL ADA COMPLIANT FIXTURES WITH ARCHITECTURAL DRAWINGS.
2. ALL ADA COMPLIANT LAVATORY TO BE INSTALLED WITH RIM OF BOWL A MAX. OF 34" FROM FINISHED FLOOR.
3. CONTRACTOR SHALL INSTALL A "UNDER THE COUNTER" THERMOSTATIC TEMPERING VALVE (MV) AT ALL LAVATORY LOCATIONS.

MANUFACTURER SHALL BE: WATTS CO. - #LFUSG-B OR APPROVED EQUAL.

INSTALL ADA COMPLIANT

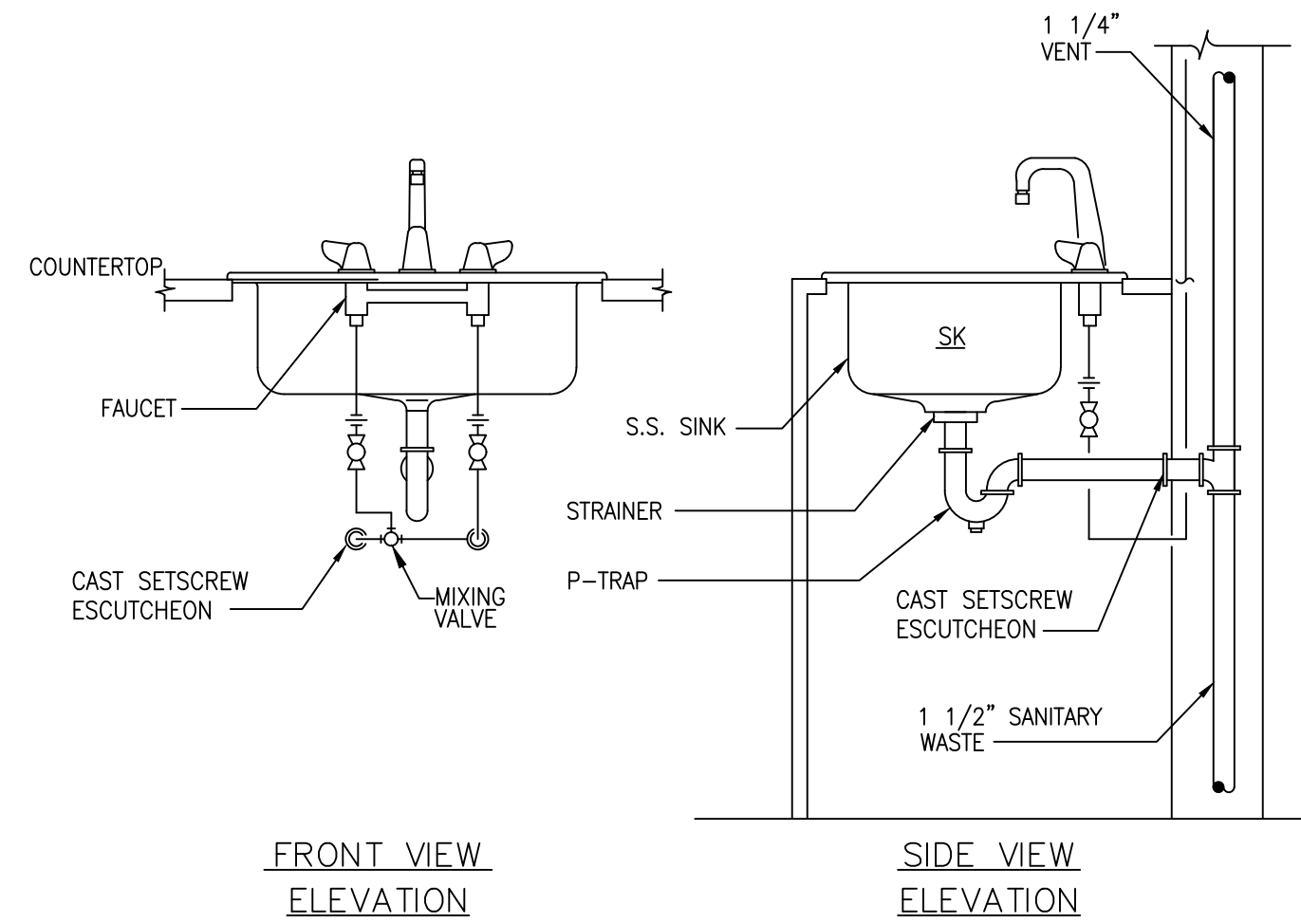


4 SHOWER UNIT DETAIL
SCALE: NONE

NOTES:

1. PRESSURE BALANCING VALVE TO CONFORM TO ASSE 1016 OR CSA B125.
2. WATER TEMPERATURE NOT TO EXCEED 120° F. FIELD ADJUST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

INSTALL ADA COMPLIANT



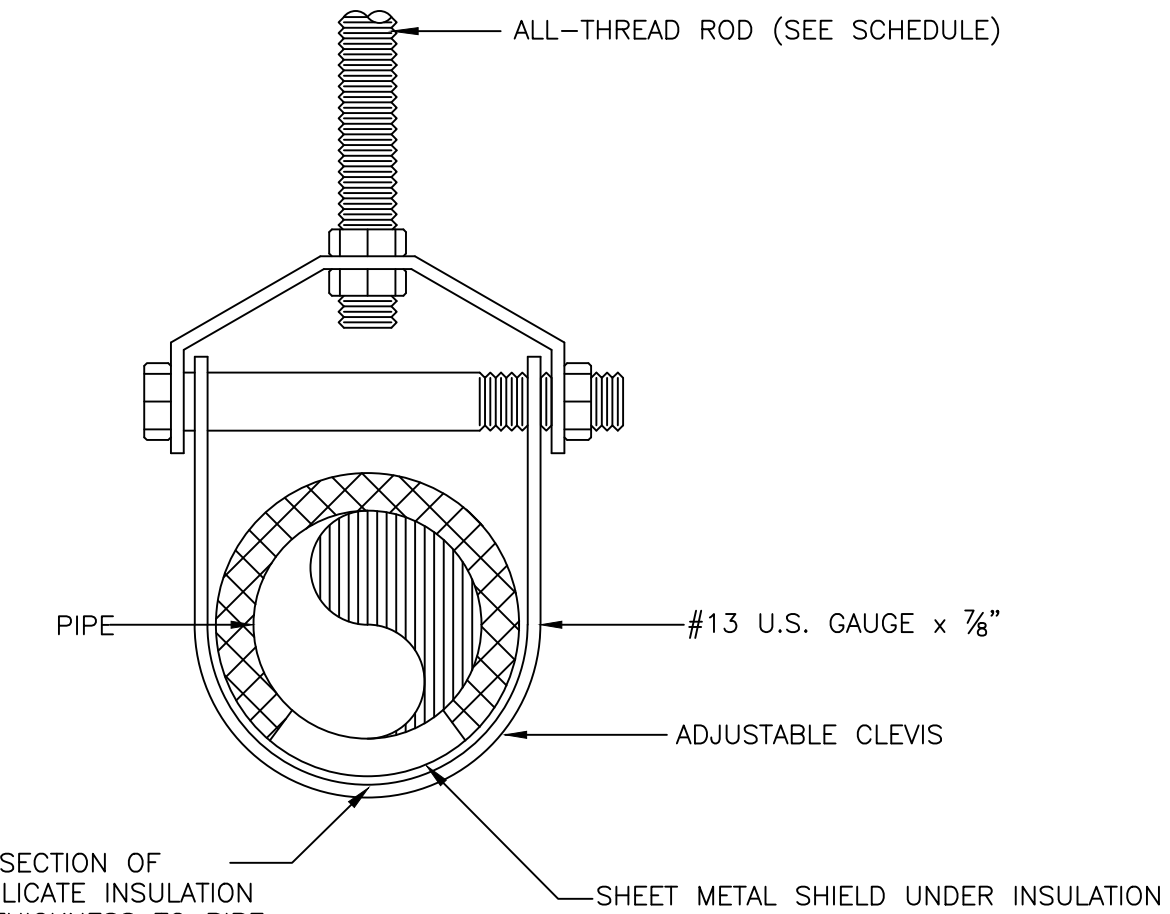
5 SINK DETAIL
SCALE: NONE

NOTES:

1. ELKAY #LR2219C SINK PACKAGE COMES WITH A HI-ARC TWO HANDLE FAUCET #LK406N04T4C & LK500 DRAIN.
2. CONTRACTOR SHALL INSTALL A "UNDER THE COUNTER" THERMOSTATIC TEMPERING VALVE (MV) AT ALL SINK LOCATIONS.

MANUFACTURER SHALL BE: LAWLER VALVE CO. #516 OR APPROVED EQUAL.

INSTALL ADA COMPLIANT



6 PIPE HANGER DETAIL
SCALE: NONE

NOTES:

1. HANGERS AND ANCHORS SHALL BE SECURELY ATTACHED TO THE BUILDING CONSTRUCTION. CONTRACTOR TO COMPLY TO ALL HANGER AND SUPPORT REQUIREMENTS AS STATED IN THE 2015 NATIONAL PLUMBING CODE; CHAPTER 8 "HANGERS AND SUPPORT".
2. GALVANIZED METAL SHIELDS SHALL BE APPLIED BETWEEN HANGER OR SUPPORT AND THE PIPE INSULATION. SHIELDS SHALL BE FORMED TO FIT THE INSULATION AND SHALL EXTEND UP TO THE CENTERLINE OF THE PIPE AND THE LENGTH SPECIFIED FOR THE INSULATION HANGER INSERT LESS 4" TO ALLOW FOR VAPOR RETARDING BUTT JOINTS ON EACH SIDE OF THE SHIELDS.



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ALTERATIONS
RIVERSIDE FIRE COMPANY 1

PLUMBING DETAILS

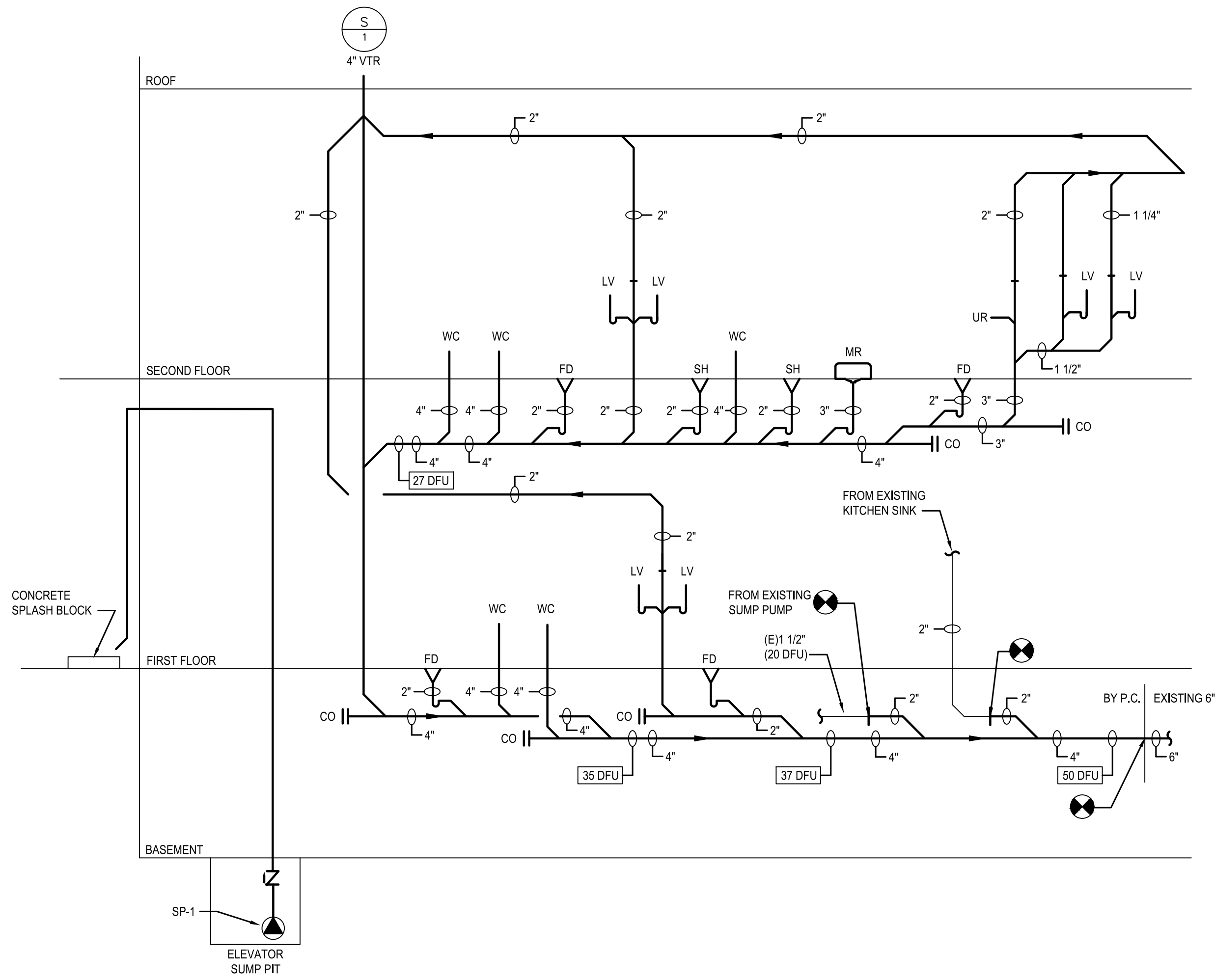
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JOB NO. RSFDX19001
SHEET - OF -

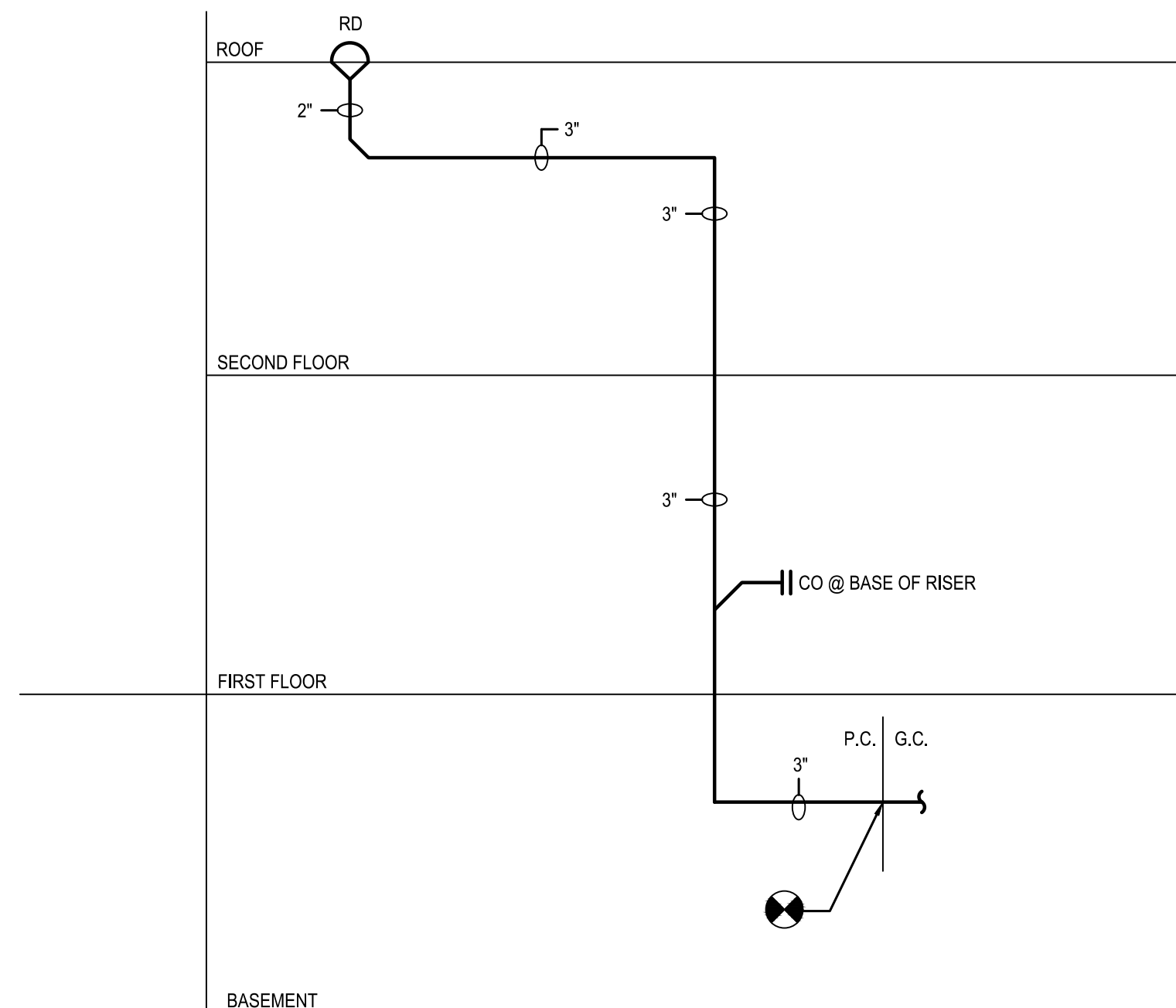
SCALE AS NOTED	DRAWING NO. P-300
DRAWN BY TF	
DATE 03/18/2020	
APPROVED NB	



1 SANITARY RISER DIAGRAM

P-301 SCALE: NONE

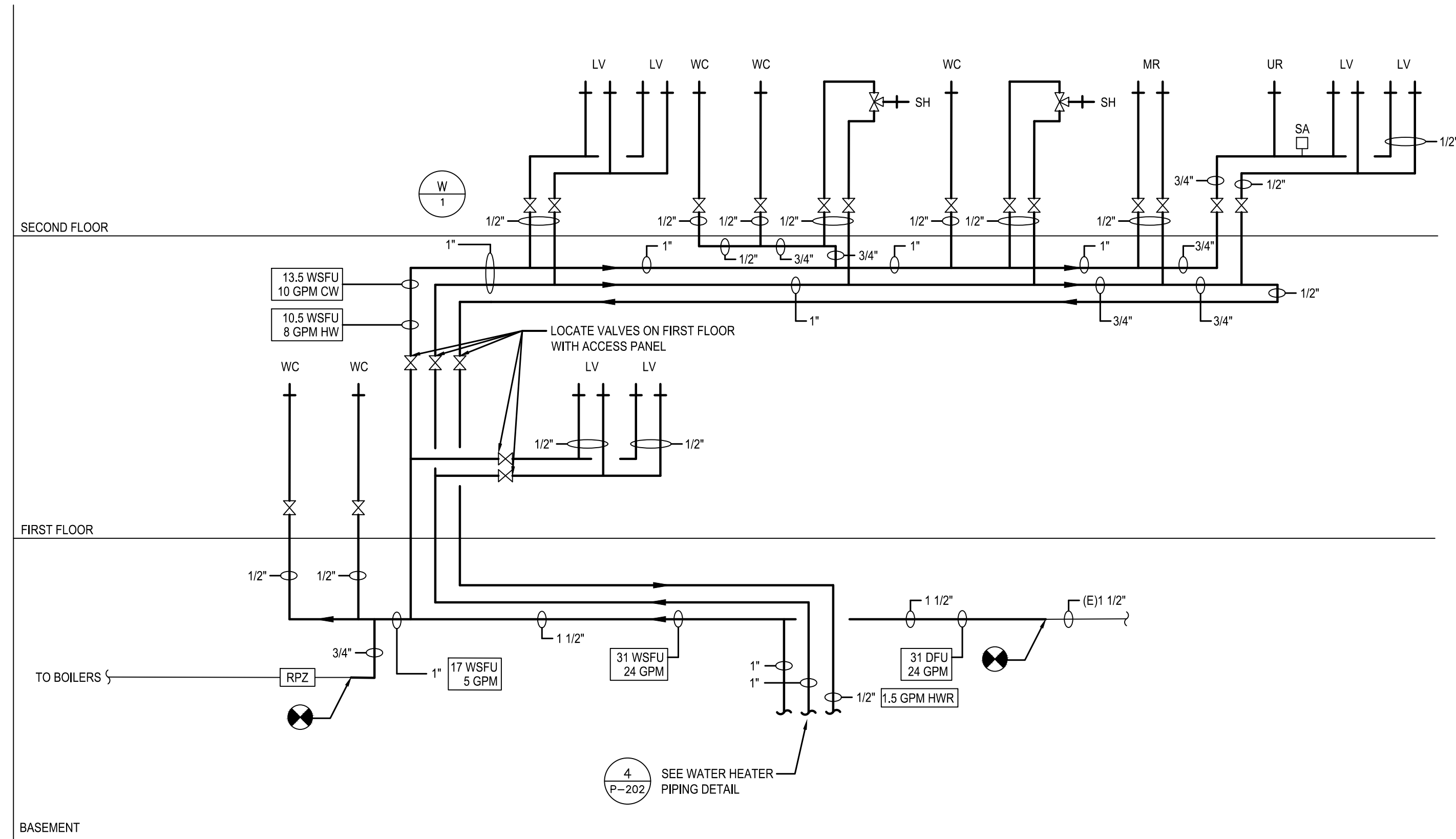
- NOTES:
- ALL SANITARY PIPING TO BE SLOPED AT 1/8" PER 1'-00".



3 STORM WATER RISER DIAGRAM

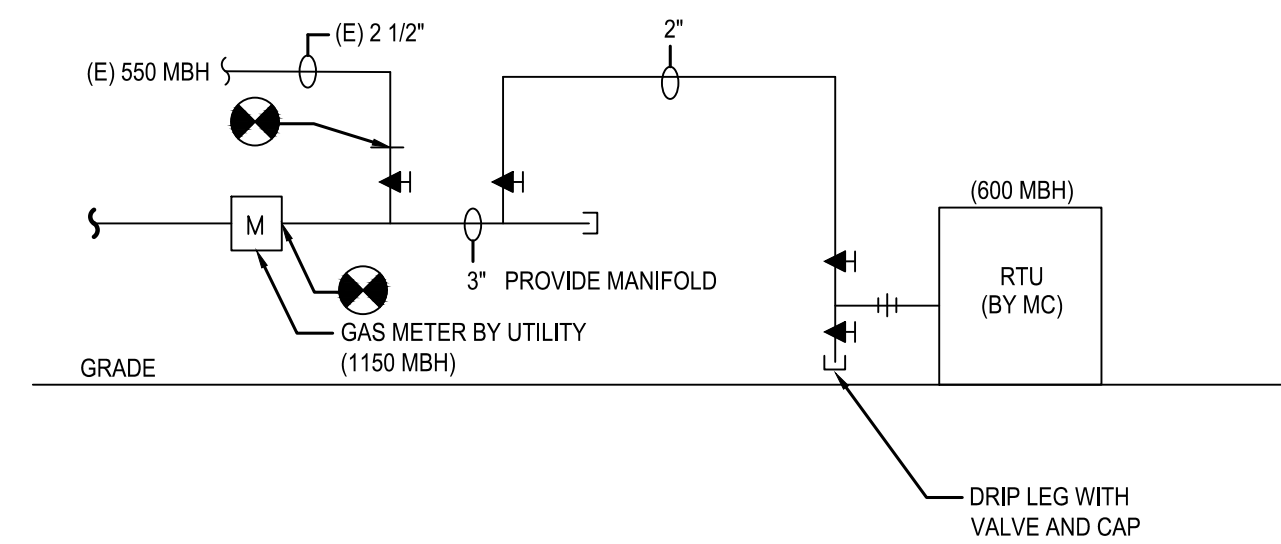
P-301 SCALE: NONE

- NOTES:
- RISER DIAGRAM TYPICAL FOR (1) NEW ROOF DRAIN AND (1) EXISTING ROOF DRAIN.



2 DOMESTIC WATER RISER DIAGRAM

P-301 SCALE: NONE



4 NATURAL GAS RISER DIAGRAM

P-301 SCALE: NONE

GAS PIPE SIZING NOTE:

- BASED ON TABLE 402.4(1) 2015 IFG. TOTAL DEVELOPED PIPE LENGTH 125 FT PRESSURE DROP 0.3" WC 0.80 SPECIFIC GRAVITY INLET PRESSURE LESS THAN 2 PSI.

GAS REGULATOR NOTES:

- PROVIDE ALL REQUIRED GAS PRESSURE REGULATORS NECESSARY TO MEET GAS FIRED EQUIPMENT MANUFACTURER'S RATED INLET PRESSURE REQUIREMENTS.
- WHERE INLET GAS PRESSURE CAN EXCEED 14" WC AT ANY TIME PROVIDE A 100% LOCK-UP GAS PRESSURE REGULATOR ANSI Z21.80 IN THE GAS SUPPLY LINE. ADJUST INLET PRESSURE TO GAS FIRED EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.



DATE	NO.	REVISIONS	BY
07/17/20	-	BID SET	RM

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

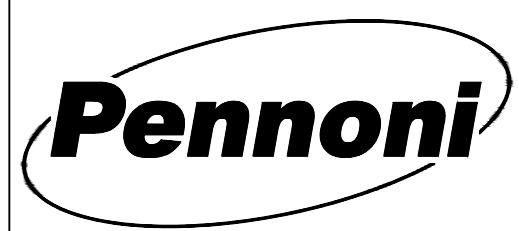
ALTERATIONS
 RIVERSIDE FIRE COMPANY 1

PLUMBING RISER DIAGRAMS

RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

NORTH	JOB NO. RSFDX19001
	SHEET - OF -

SCALE AS NOTED	DRAWING NO. P-301
DRAWN BY TF	
DATE 03/18/2020	
APPROVED NB	



Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects

07/17/20	DATE	NO.	BY
-	BID SET	REVISIONS	RM

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

515 Grove Street, Suite 1B
Haddon Heights, NJ 08035 - 856.547.0505

ALTERATIONS
RIVERSIDE FIRE COMPANY 1

PLUMBING SCHEDULES

RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

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	JOB NO. RSFDX19001
NORTH	SHEET - OF -

SCALE AS NOTED	DRAWING NO. P-400
DRAWN BY TF	
DATE 03/18/2020	
APPROVED NB	

NOTE:
ALL MANUFACTURERS AND MODELS ARE BASIS OF DESIGN PRODUCTS ONLY .
SIMILAR PRODUCTS AND MANUFACTURERS ARE ACCEPABLE WHEN OF EQUAL PERFORMANCE AND QUALITY.

PLUMBING FIXTURE SCHEDULE

FIXTURES				ROUGH INS				SUPPORTS, CARRIERS		ACCESSORIES AND OR NOTES
NO.	DESCRIPTION	MANUFACTURER	MODEL NO.	COLOR	DRAIN	VENT	CW	HW	MFR & MODEL NO.	SUPPLIES, DRAINS, TRAPS, TOILET SEATS ETC.
WC-1	WATER CLOSET	AMERICAN STANDARD	2462.016 CADET ELONGATED PRESSURE ASSISTED	WHITE	4"	2"	1/2"	-	FLOOR MOUNT	VITREOUS CHINA WATER CLOSET W/#5901.100 OPEN FRONT SEAT; FLUSHOMETER TANK.
WC-2	WATER CLOSET	AMERICAN STANDARD	2467.016 CADET RIGHT HEIGHT ELONGATED PRESSURE ASSISTED	WHITE	4"	2"	1/2"	-	FLOOR MOUNT	VITREOUS CHINA WATER CLOSET W/#5901.100 OPEN FRONT SEAT; FLUSHOMETER TANK.
UR	URINAL	AMERICAN STANDARD	6590.001EC - WASHBROOK FLO WISE WITH EVER CLEAN - LOW CONSUMPTION	WHITE	2"	1 1/2"	3/4"	-	WALL HUNG JR. SMITH 0616	VITREOUS CHINA, 1.0 GPF, 3" TOP SPUD. SEE FLUSH VALVE SCHEDULE ON THIS DRAWING.
L1	LAVATORY	AMERICAN STANDARD	COMRADE - 0124.131	WHITE	1 1/4"	1 1/4"	1/2"	1/2"	WALL HUNG JR. SMITH 0710	VITREOUS CHINA WALL-HUNG LAVATORY WITH ACRYLIC SHROUD/KNEE GAURD SEE FAUCET SCHEDULE & LAVATORY ASSEMBLY NOTE
MS & MR	MOP SINK	FIAT	MSB-2424	WHITE	3"	1 1/2"	1/2"	1/2"	FLOOR MOUNT	ONE PIECE, MOLDED STONE MOP BASIN, 10" HIGH WALLS, STAINLESS STEEL FACTORY INSTALLED DRAIN BODY & 3" CONNECTOR. SEE NOTES BELOW FOR ACCESSORIES. SEE FAUCET SCHEDULE.
FD-1	TOILET ROOM	JR. SMITH	2350-NB	NIC. BRZ	-	-	-	-	FLOOR MOUNT	ROUND 8 1/2" NICKEL BRONZE, SEDIMENT BUCKET, DEEP SEAL TRAP
FD-2	SHOWER DRAIN	JR. SMITH	220-11	CHROME	-	-	-	-	FLOOR MOUNT	ROUND 4" CHROME TOP, DEEP SEAL TRAP
SA-A	SHOCK ABSORBER	JOSAM	#75001-A	COPPER	-	AS NOTED	-	-	-	SHOCK ABSORBER WITH WROUGHT COPPER SHELL, HYDRO-PNEUMATIC AIR CUSHION, TRIPLE O-RING SEALED PISTON, WROUGHT COPPER ADAPTER AND MALE THREADED CONNECTION
SA-B	SHOCK ABSORBER	JOSAM	#75002-B	COPPER	-	AS NOTED	-	-	-	
SA-C	SHOCK ABSORBER	JOSAM	#75003-C	COPPER	-	AS NOTED	-	-	-	
SH-1	SHOWER	POWERS	HYDROPANEL II SHOWER SYSTEM WITH METERING VALVE	S.S.	-	-	1/2"	1/2"	WALL MOUNT	BRUSHED 18 GAUGE, 304 S.S. 1/2" PIPE CONNECTIONS, CHROME PLATED BRASS SHOWERHEAD, 2.5 GPM, SELF-CLOSING METERING VALVE. ASSE 1016
SH-2	SHOWER ADA	POWERS	450-7108 HYDROPANEL II SYSTEM	S.S.	2"	-	1/2"	1/2"	-	FIXED AND HAND HELD SHOWER, PROFESSIONAL GRADE, GLIDE RAIL, VB, SOAP DISH, ASSE 1016 MIXING VALVE.

MOP SINK (MS1) ACCESSORIES SHALL BE:
 1453 BB: FLAT STAINLESS STEEL STRAINER
 889 CC: 24" LONG MOP BRACKET
 E-77-AA: VINYL BUMPER GUARDS

HOSE AND BRACKET: PROFLO PF245
 1453 BB: FLAT STAINLESS STEEL STRAINER
 MSG 2424: STAINLESS STEEL HEAVY GAUGE WALL GUARDS

PIPE MATERIAL SCHEDULE

SYMBOL	SYSTEM DESCRIPTION	PIPING SIZE	PIPING MATERIAL	FITTINGS	PIPING JOINTS	MFR & MODEL NO.	INSULATION	NOTES
SAN	SANITARY WASTE BELOW GRADE	2" & LARGER	SCH 40 PVC DWV	DWV	SOLVENT SOCKET WELD	CHARLOTTE	NO	
V	SANITARY VENT BELOW GRADE	2" & LARGER	SCH 40 PVC DWV	DWV	SOLVENT SOCKET WELD	CHARLOTTE	NO	
SAN	SANITARY WASTE ABOVE GRADE	1 1/2" & LARGER	SCH 40 PVC DWV	DWV	SOLVENT SOCKET WELD	CHARLOTTE	NO	
V	SANITARY VENT ABOVE GRADE	1 1/2" & LARGER	SCH 40 PVC DWV	DWV	SOLVENT SOCKET WELD	CHARLOTTE	NO	
CW	DOMESTIC COLD WATER ABOVE GRADE	3" & SMALLER	HARD DRAWN TYPE "L" CU TUBE	WROUGHT SOCKET	LEAD FREE SOLDER	MUELLER INDUSTRIES	YES	ASTM B88, SEE NOTE
HW & HWR	DOMESTIC HOT WATER ABOVE GRADE	3" & SMALLER	HARD DRAWN TYPE "L" CU TUBE	WROUGHT SOCKET	LEAD FREE SOLDER	MUELLER INDUSTRIES	YES	ASTM B88, SEE NOTE
G	NATURAL GAS	ALL	BLACK STEEL SCH. 40		SEE SPECIFICATIONS	MUELLER INDUSTRIES	NO	ASTM A53
ST	STORM WATER ABOVE GRADE	1 1/2" & LARGER	SCH 40 PVC DWV	DWV	SOLVENT SOCKET WELD	CHARLOTTE	NO	
ST	STORM WATER BELOW GRADE	1 1/2" & LARGER	SCH 40 PVC DWV	DWV	SOLVENT SOCKET WELD	CHARLOTTE	NO	

NOTE:
ALTERNATE DOMESTIC WATER PIPE INSTALLATION SYSTEM: VIEGA PROGRESS SYSTEM WITH PROGRESS XL-C FITTINGS AND BALL VALVES.

SP 1 OIL MINDER SUMP PUMP (SIMPLEX)

50 GPM, 20 FTHD, HI FLOAT, ON FLOAT, OIL SENSOR PROBE, NEMA 4X CONTROL ENCLOSURE, 1/2 HP, 115V, DIRECT PLUG-IN POWER SOURCE. SYSTEM SHALL AUTOMATICALLY START ON A PRE-SET RISE OF WATER LEVEL THEN STOP ON A PRE-SET LOW WATER LEVEL OR WHEN OIL IS DETECTED BY THE OIL SENSOR. LED INDICATOR LIMIT FOR OIL SPILL, POWER, HIGH LIQUID LEVEL, OVERLOAD, PUMP RUN, ASME A17.1.

STANCOR #SE50 WITH J-BOX DISCONNECT AND OM 300 FLOATS.
LOCATED CONTROLS WHERE DIRECTED BY THE ARCHITECT IN FIELD.

CIRCULATING PUMPS

PUMP	LOCATION	QUANTITY	MANUFACTURER	MODEL	BODY MATERIAL	WATTS	VOLTAGE	GPM	FT. HD.	NOTES
CP-1	HOT WATER RETURN	1	BELL & GOSSET	LR-15 BWR	BRONZE/LEAD FREE	125	120	-	-	

EXPANSION TANK

FIXTURE	QUANTITY	MANUFACTURER	MODEL	ACCEPTANCE	NOTES
ET	1	AMTROL	THERM-X-TROL	5 GALLONS	ASME

SINK & LAVATORY ASSEMBLY NOTE

ALL SINKS & LAVATORIES TO BE SUPPLIED WITH NEW SUPPLIES, COMPRESSION STOPS, STRAINERS, TAILPIECES, P-TRAPS & INSULATION COVERS (ADA COMPLIANT LAW OR SINK) FOR A FULLY FUNCTIONAL SYSTEM.
MANUFACTURER SHALL BE:
 PROFLO PRODUCTS, BRASSCRAFT OR APPROVED EQUAL

FAUCET & FLUSH VALVE SCHEDULE

FIXTURE	ITEM	MANUFACTURER	MODEL NO.	DESCRIPTION
UR	FLUSH VALVE	SLOAN	ROYAL 186	
LV1	FAUCET	AMERICAN STANDARD	6114.111.002	SINGLE LEVER
MS	FAUCET	T&S BRASS	B-0665-BSTR	8" CENTERS, WALL MOUNTED, RIGID SPOUT, SUPPORT ROD, MALE GARDEN HOSE OUTLET W/ PAUL HOOK

NOTES:
 1.SLOAN "OPTIMA SYSTEMS" FLUSH VALVES ARE LOW CONSUMPTION TYPE.
 2.PLUMBING CONTRACTOR SHALL SUPPLY 3/8" COMPRESSION STOPS, 3/8" SUPPLY TUBING TO SOLENOID VALVE & 3/8" SUPPLY TUBING FROM SOLENOID TO FAUCET CONNECTION.

PIPE INSULATION SCHEDULE

MANUFACTURER	SYSTEM	INSULATION SYSTEM DESCRIPTION
JOHNS MANSVILLE OR APPROVED EQUAL	DOMESTIC WATER	"MICRO-LOK" HP ALL SERVICE (ASJ) VAPOR-RETARDER JACKET WITH A SELF-SEALING LOGITUDINAL CLOSURE LAP (SSL) AND BUTT STRIPS & "ZESTON 2000" PVC INSULATED FITTING COVERS AND "HI-LOW TEMPERATURE" FIBER GLASS INSULATED INSERTS WITH PVC "Z-TAPE" PER MANUFACTURER'S RECOMMENDATIONS.

GENERAL NOTES

- 1. DEFINITION: UNLESS OTHERWISE NOTED, ALL WORK SPECIFIED HEREIN OR NOTED ON DRAWINGS, SHALL BE BY THE ELECTRICAL CONTRACTOR. ALL REFERENCES TO "CONTRACTOR" OR "THIS CONTRACTOR" ON DRAWINGS OR SPECIFICATIONS ARE ADDRESSED TO THE ELECTRICAL CONTRACTOR. THE TERM "PROVIDE" WHENEVER ENCOUNTERED ON DRAWINGS OR IN THESE SPECIFICATIONS, SHALL MEAN "FURNISH AND INSTALL."
2. DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. CONDUIT ROUTING IS SHOWN DIAGRAMMATICALLY AND DOES NOT SHOW ALL BENDS, OFFSETS, DROPS AND RISES OF RUNS. THE CONTRACTOR SHALL ALLOW IN HIS PRICE FOR ROUTING OF CONDUIT TO AVOID OBSTRUCTIONS. COORDINATE WITH OTHER TRADES, AS REQUIRED. MAINTAIN HEADROOM AND KEEP OPENINGS AND PASSAGEWAYS CLEAR. THE EXACT LOCATIONS OF DEVICES AND EQUIPMENT ARE SUBJECT TO THE APPROVAL OF THE OWNER, WHO RESERVES THE RIGHT TO MAKE ANY REASONABLE CHANGES IN LOCATION WITHOUT EXTRA COST.
3. SECURE ALL SUPPORTS TO BUILDING STRUCTURE UTILIZING TOGGLE BOLTS (HOLLOW MASONRY), EXPANSION SHIELDS OR INSERTS (CONCRETE AND BRICK), MACHINE SCREWS (METAL), BEAM CLAMPS (FRAMEWORK), WOOD SCREWS (WOOD) OR PAN HEAD SHEET METAL SCREWS THRU STRAPS (METAL DECK). NAILS, RAWL PLUGS AND WOOD PLUGS ARE NOT PERMITTED. WHERE REQUIRED BY STRUCTURE, PROVIDE THRU BOLTS AND FISH PLATES. SUPPORT HORIZONTAL RUNS OF METALLIC RACEWAYS NOT MORE THAN 10' APART. SUPPORT RACEWAY RISERS AT EACH FLOOR LEVEL. RUN EXPOSED RACEWAYS PARALLEL WITH OR AT RIGHT ANGLES TO WALLS.
4. PROVIDE TEMPORARY LIGHT AND POWER SYSTEMS AT EARLIEST POSSIBLE DATE WITHIN THE CONSTRUCTION AREAS FOR THE REQUIREMENTS OF ALL TRADES AS HEREIN DESCRIBED. EXTEND SYSTEMS TO NEW CONSTRUCTION AS SOON AS PHYSICALLY POSSIBLE. MAINTAIN SYSTEM DURING WORKING HOURS OF ALL TRADES. OWNER WILL PAY FOR COST OF ENERGY. PROVIDE ALL REQUIRED MAINTENANCE, INCLUDING LAMPS AND SOCKETS.
5. IN LOCATING BOXES AND OUTLETS TO AVOID INACCESSIBILITY, ALLOW FOR OVERHEAD PIPES, DUCTS AND MECHANICAL EQUIPMENT, VARIATIONS IN FIREPROOFING AND PLASTERING, WINDOW AND DOOR TRIM, PANELING, HUNG CEILING AND THE LIKE. CORRECT ANY INACCURACY RESULTING FROM FAILURE TO DO SO WITHOUT EXPENSE TO OWNER.
6. PASS RACEWAYS OVER WATER, STEAM OR OTHER PIPING WHEN PULL BOXES ARE NOT REQUIRED. NO RACEWAY WITHIN 3" OF STEAM OR HOT WATER PIPES OR APPLIANCES (EXCEPT PIPE CROSSINGS WHERE RACEWAY IS AT LEAST 1" FROM PIPE COVERS AND PARALLEL RUNS WHERE RACEWAY IS AT LEAST 18").
7. CUT CONDUIT ENDS SQUARE. REAM SMOOTH. PAINT MALE THREAD OF FIELD THREADED RACEWAYS WITH GRAPHITE BASE PIPE COMPOUND. DRAW UP TIGHT WITH RACEWAY COUPLING.
8. HORIZONTAL OR CROSS RUNS IN PARTITIONS AND WALLS ARE NOT PERMITTED. DO NOT RUN CONDUIT IN PRECAST ROOF SLABS, IN 2" SLABS OR IN TERRAZZO FLOOR FINISH.
9. MINIMUM CONDUIT SIZE SHALL BE 3/4".
10. LEAVE WIRES WITH SUFFICIENT SLACK TO PERMIT MAKING FINAL CONNECTIONS. RACEWAYS OVER 10' LONG IN WHICH WIRING IS NOT INSTALLED; FURNISH NYLON PULL STRINGS. FOR ANY RACEWAY OVER 25' PROVIDE PULL STRING WITH CONDUIT MEASURING TAPE AND INDICATE DESIGNATION OF THE RACEWAY ON EACH END.
11. COVERS OF JUNCTION AND PULLBOXES SHALL BE ACCESSIBLE.
12. PROVIDE PULLBOXES WHERE INDICATED, REQUIRED BY CODE AND WHEREVER NECESSARY TO FACILITATE PULLING OF WIRE. COORDINATE PULLBOX LOCATIONS WITH OTHER TRADES. BOXES SHALL BE ACCESSIBLE AND GENERALLY NOT EXPOSED IN FINISHED SPACES. WHERE NECESSARY, REROUTE RACEWAYS OR MAKE OTHER ARRANGEMENTS FOR CONCEALMENT.
13. EMPTY RACEWAY RUNS: PROVIDE PULLBOXES EVERY 100' AND AS INDICATED. COORDINATE LOCATIONS WITH OTHER TRADES. A PULLBOX SHALL BE INSTALLED EVERY 270' OF TOTAL CONDUIT TURNS.
14. PULL NO THERMOPLASTIC WIRES AT AMBIENT TEMPERATURES LOWER THAN 32°F (0°C). PROVIDE CABLE SUPPORTS FOR WIRE IN RISER CONDUITS AS REQUIRED BY CODE.
15. PROVIDE SEPARATE SYSTEMS AND ENCLOSURES FOR 208/120V AND 480/277V POWER AND CONTROL WIRING AND SEPARATE SYSTEMS FOR EMERGENCY AND NORMAL POWER. THE EMERGENCY AND NORMAL SYSTEMS SHALL NOT BE INSTALLED IN THE SAME RACEWAYS, ENCLOSURES, JUNCTION BOXES, PULLBOXES, TERMINATION CABINETS, EXCEPT IN EQUIPMENT ENCLOSURES DESIGNED TO ACCEPT BOTH SYSTEMS SUCH AS AUTOMATIC TRANSFER SWITCH OR EMERGENCY LIGHTING.
16. CORE BORING OF CONCRETE FLOORS AND/OR WALLS IF REQUIRED, IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ALL PENETRATIONS THROUGH CONCRETE STRUCTURAL FLOORING SHALL BE SCANNED WITH GROUND PENETRATING RADAR (GPR). SUBMIT FINDINGS TO ENGINEER FOR APPROVAL PRIOR TO PENETRATION.
17. WIRE COLOR CODING: AS PER CODE. WHERE COLOR-CODED CABLE IS NOT AVAILABLE, CERTIFY IN WRITING AND REQUEST PERMISSION FOR OVERLAP COLOR TAPING OF CONDUCTORS (MINIMUM LENGTH 6") IN ALL ACCESSIBLE LOCATIONS. COLOR CODING, ONCE SELECTED, MUST BE USED CONSISTENTLY FOR THE ENTIRE PROJECT.
480/277V - WYE SYSTEM:
PHASES A = BROWN, B = ORANGE, C = YELLOW, NEUTRAL = GRAY, GROUNDING = GREEN WITH YELLOW STRIPES.
208/120V - WYE SYSTEM:
PHASES A = BLACK, B = RED, C = BLUE, NEUTRAL = WHITE, GROUNDING = GREEN.
240/120V - DELTA SYSTEM WITH HIGH LEG:
PHASES A = BLACK, B (HIGH LEG) = ORANGE, C = RED, NEUTRAL = WHITE, GROUNDING = GREEN.
240/120 V SINGLE PHASE:
PHASES A = BLACK, B = RED, NEUTRAL = WHITE, GROUNDING = GREEN.
DC SYSTEM:
POSITIVE = RED, MID-WIRE = WHITE, NEGATIVE = BLACK,
18. FIRESTOPPING SHALL BE INSTALLED WHENEVER WIRING OR RACEWAYS CROSS FIRE RATED CONSTRUCTION AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUFACTURER TO MAINTAIN THE UL LISTED FIRE RATING OF THE PENETRATED WALL OR FLOOR ASSEMBLY.
24. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK BETWEEN THE TRADES. ANY WORK RESULTING FROM THE LACK OF COORDINATION SHALL BE CORRECTED WITH NO ADDITIONAL COST TO THE OWNER.
25. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING INCONSISTENCIES TO THE ENGINEER IN FORM OF "RFI" REQUEST FOR INFORMATION BEFORE ANY INACCURATE WORK IS EXECUTED.
26. CODES AND STANDARDS: ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES, INDUSTRY STANDARDS, UTILITY COMPANY REGULATIONS AND FIRE INSURANCE CARRIER'S REQUIREMENTS.
27. WIRING OF BRANCH CIRCUITS SHALL BE TYPE THHN/THWN IN CONDUIT. WIRES SHALL BE COPPER AND SHALL BE MIN. #12AWG, 600V, 75°C. ALL RACEWAYS ARE SHOWN DIAGRAMMATICALLY, EXACT LOCATION TO BE DETERMINED ON THE JOB. ELECTRICIAN SHALL ARRANGE ALL NEW CIRCUITS IN PANELS SO AS TO BALANCE THE LOAD ON ALL PHASES. EMT SHALL BE USED AT THE INTERIOR. SET SCREW FITTINGS ARE ACCEPTABLE. PVC SCHEDULE 90 SHALL BE USED AT THE EXTERIOR.
28. THIS DRAWING IS DIAGRAMMATIC IN NATURE AND INDICATES THE GENERAL ARRANGEMENT OF THE VARIOUS SYSTEMS AND APPROXIMATE LOCATIONS OF THE EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICIAN TO DETERMINE THAT THERE IS ADEQUATE SPACE AT THE LOCATIONS INDICATED FOR ALL EQUIPMENT PRIOR TO INSTALLATION OF SAME. THE ELECTRICIAN SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS IN THE FIELD, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
29. CODES AND STANDARDS: ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES, INDUSTRY STANDARDS, UTILITY COMPANY REGULATIONS AND FIRE INSURANCE CARRIER'S REQUIREMENTS.

DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL COSTS ASSOCIATED WITH REMOVAL AND RELOCATION OF ELECTRICAL WORK AS DESCRIBED IN THE SPECIFICATIONS WITH ALLOWANCES FOR EXPECTED OR UNFORESEEN DIFFICULTIES WHEN CONCEALED WORK HAS BEEN OPENED. NO CLAIMS FOR ADDITIONAL WORK ASSOCIATED WITH DEMOLITION WILL BE ACCEPTED, EXCEPT IN CERTAIN CASES CONSIDERED JUSTIFIABLE BY THE ARCHITECT.
2. THE CONTRACTOR SHALL REMOVE AND/OR RELOCATE ALL EXISTING ELECTRICAL WORK WHICH INTERFERES WITH THE NEW ELECTRICAL LAYOUTS IN FULL COORDINATION WITH THE DEMOLITION PLANS. ALL SYSTEMS WHICH ARE NO LONGER REQUIRED TO FUNCTION SHALL BE DE-ENERGIZED AND DISCONNECTED AT THE SOURCE OF POWER SUPPLY.
3. DEMOLITION AND REMOVAL WORK SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER. THE CONTRACTOR SHALL PATCH, REPAIR OR OTHERWISE RESTORE ANY DAMAGED INTERIOR OR EXTERIOR BUILDING SURFACE TO ITS ORIGINAL CONDITION. ALL PATCHING SHALL BE OF THE SAME MATERIALS, WORKMANSHIP, AND FINISH, AND SHALL ACCURATELY MATCH ALL SURROUNDING WORK.
4. THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL OUTLETS, SWITCHES AND OTHER DEVICES, COMPLETE WITH ASSOCIATED WIRING AND CONDUITS BACK TO NEAREST JUNCTION BOX THAT IS TO REMAIN OR TO PANELBOARD. WHERE THE REMOVAL OF THESE ITEMS DISRUPTS EXISTING WIRING TO REMAIN, THE CONTRACTOR SHALL INSTALL JUNCTION BOXES AND EXTEND FEEDER WITH MATCHING CABLE TYPE, CONDUCTOR AMPACITY AND CONDUIT SIZES.
5. WHERE IT IS IMPRACTICAL TO REMOVE RACEWAY BACK TO SOURCE, DISCONNECT WIRING AT LOAD (EQUIPMENT) AND AT LINE SIDE, CUT AND CAP. FLUSH TO SURFACE. REMOVE CONDUCTORS FROM EXISTING RACEWAYS TO BE REWIRED. CLEAN RACEWAY AS REQUIRED PRIOR TO REWIRING.
6. ALL RACEWAYS WHICH BECOME EXPOSED DURING THE ALTERATION WORK SHALL BE REMOVED AND REROUTED CONCEALED BEHIND FINISHED SURFACES.
7. ALL UNUSED OUTLET BOXES OR CAPPED FLOOR OUTLETS SHALL BE PROVIDED WITH MATCHING BLANK COVERS.
8. EXISTING PANEL DIRECTORIES AFFECTED BY THE ALTERATION WORK SHALL BE MODIFIED TO REFLECT THE BRANCH CIRCUIT WIRING CHANGES.
9. INSTALL NEW WORK AND CONNECT TO EXISTING WORK WITH MINIMUM INTERFERENCE TO EXISTING FACILITIES. TEMPORARY SHUTDOWNS OF EXISTING SERVICES SHALL BE PERFORMED AT NO ADDITIONAL CHARGES, AT TIMES NOT TO INTERFERE WITH NORMAL OPERATION OF EXISTING FACILITIES AND ONLY WITH WRITTEN CONSENT OF OWNER. NOTIFICATION MUST BE GIVEN AT LEAST 5 DAYS PRIOR TO SHUT DOWN. ALARM AND EMERGENCY SYSTEMS SHALL NOT BE INTERRUPTED. MAINTAIN CONTINUOUS OPERATION OF EXISTING FACILITIES AS REQUIRED WITH NECESSARY TEMPORARY CONNECTIONS BETWEEN NEW AND EXISTING WORK. CONNECT NEW WORK TO EXISTING WORK IN NEAT AND ACCEPTABLE MANNER. RESTORE EXISTING DISTURBED WORK TO ORIGINAL CONDITION, INCLUDING MAINTENANCE OF WIRING CONTINUITY AS REQUIRED.
10. THE CONTRACTOR SHALL NOTIFY THE OWNER AT THE APPROPRIATE TIME OF THE PROJECTED DEMOLITION AND PHASING SCHEDULE SO THAT REMOVAL OR RELOCATION OF AFFECTED UTILITIES MAY BE CARRIED OUT IN COORDINATION WITH THE PROJECT REQUIREMENTS. THE CONTRACTOR SHALL FOLLOW CLOSELY THE DEMOLITION AND PHASING SCHEDULE AND PROCEED IN THE SPECIFIED SEQUENCE.
11. ALL EXISTING MATERIAL AND EQUIPMENT IN USABLE CONDITION, WHICH IS TO BE REMOVED UNDER THIS CONTRACT, SHALL REMAIN THE PROPERTY OF THE OWNER OR SHALL BE DISPOSED OF IN A LEGAL MANNER BY THE ELECTRICAL CONTRACTOR, AS DIRECTED BY THE OWNER. ITEMS OF SALVAGE SHALL BE CAREFULLY REMOVED AND STORED AT LOCATIONS DIRECTED BY THE OWNER.
12. ARRANGE TO WORK CONTINUOUSLY, INCLUDING OVERTIME, IF REQUIRED, TO ASSURE THAT SYSTEMS WILL BE SHUT DOWN ONLY DURING THE TIME ACTUALLY REQUIRED TO MAKE THE NECESSARY CONNECTIONS TO THE EXISTING SYSTEMS.
13. PATCH AND PAINTING OF EXISTING WALLS TO REMAIN AFFECTED BY ELECTRICAL DEMOLITION. THERE SHALL BE NO BLANK COVER-PLATES. THE ELECTRICAL WORK SHALL BE ENTIRELY COMPLETED BEFORE PATCHING AND PAINTING.
14. THE CONTRACTOR SHALL SURVEY AND RECORD THE CONDITION OF EXISTING FACILITIES TO REMAIN IN PLACE THAT MAY BE AFFECTED BY DEMOLITION OPERATIONS. THE CONTRACTOR SHALL VERIFY ALL EXISTING SOURCES OF POWER TO EQUIPMENT PRIOR TO FINAL REMOVAL.
15. IF WORK REQUIRES THE INTERRUPTION FIRE ALARM AND FIRE PROTECTION SYSTEMS, ARRANGE WITH OWNER TO CONDUCT A FIRE WATCH WHILE THESE SYSTEMS ARE OUT OF SERVICE. CONSULT WITH FIRE MARSHALL PRIOR TO FIRE WATCH.



BID SET DATE: 07/17/2020

DATE	NO.	BID SET	REVISIONS	BY
07/17/20	-			

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

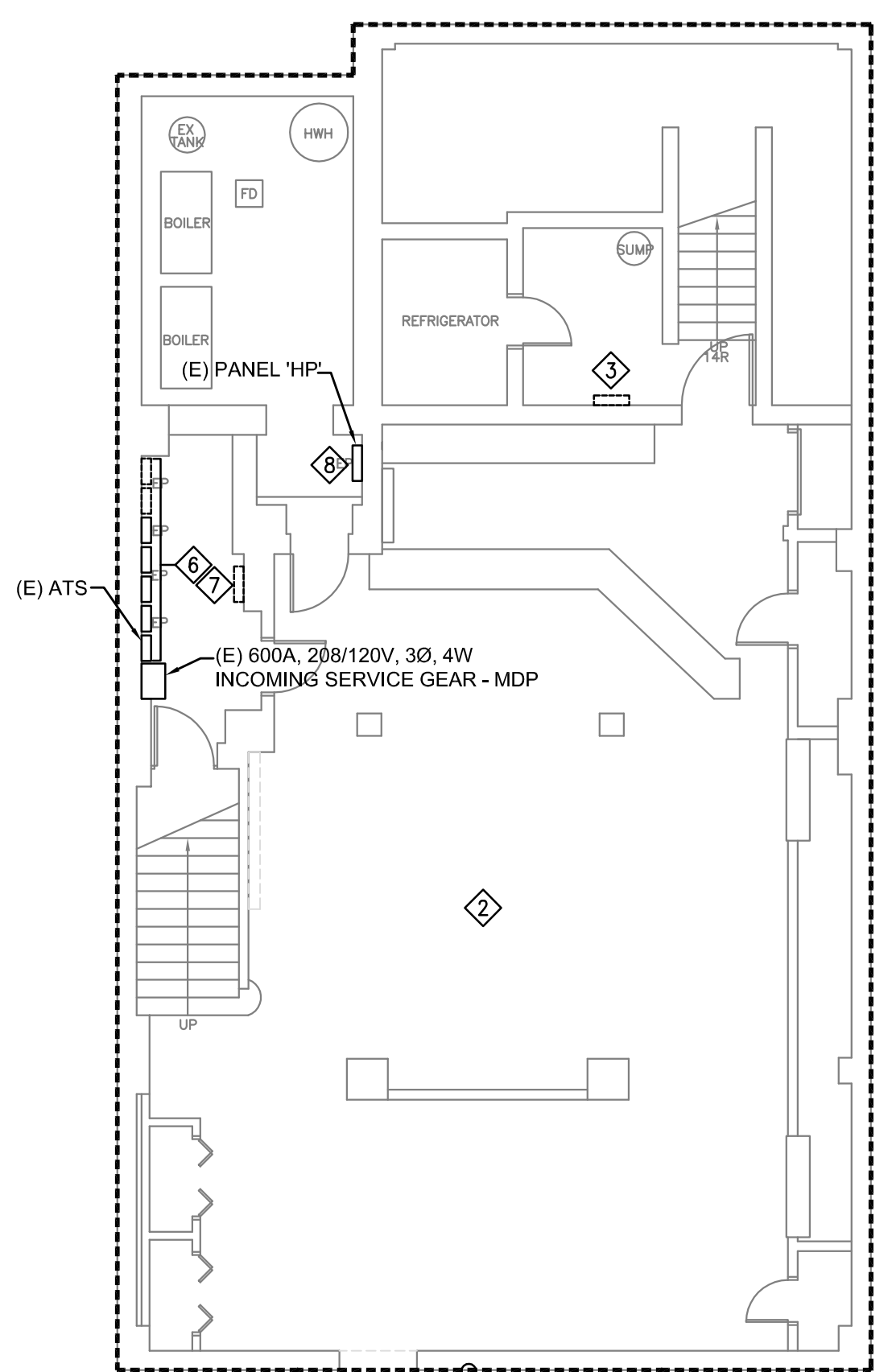
ALTERATIONS
RIVERSIDE FIRE COMPANY 1
ELECTRICAL NOTES
RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

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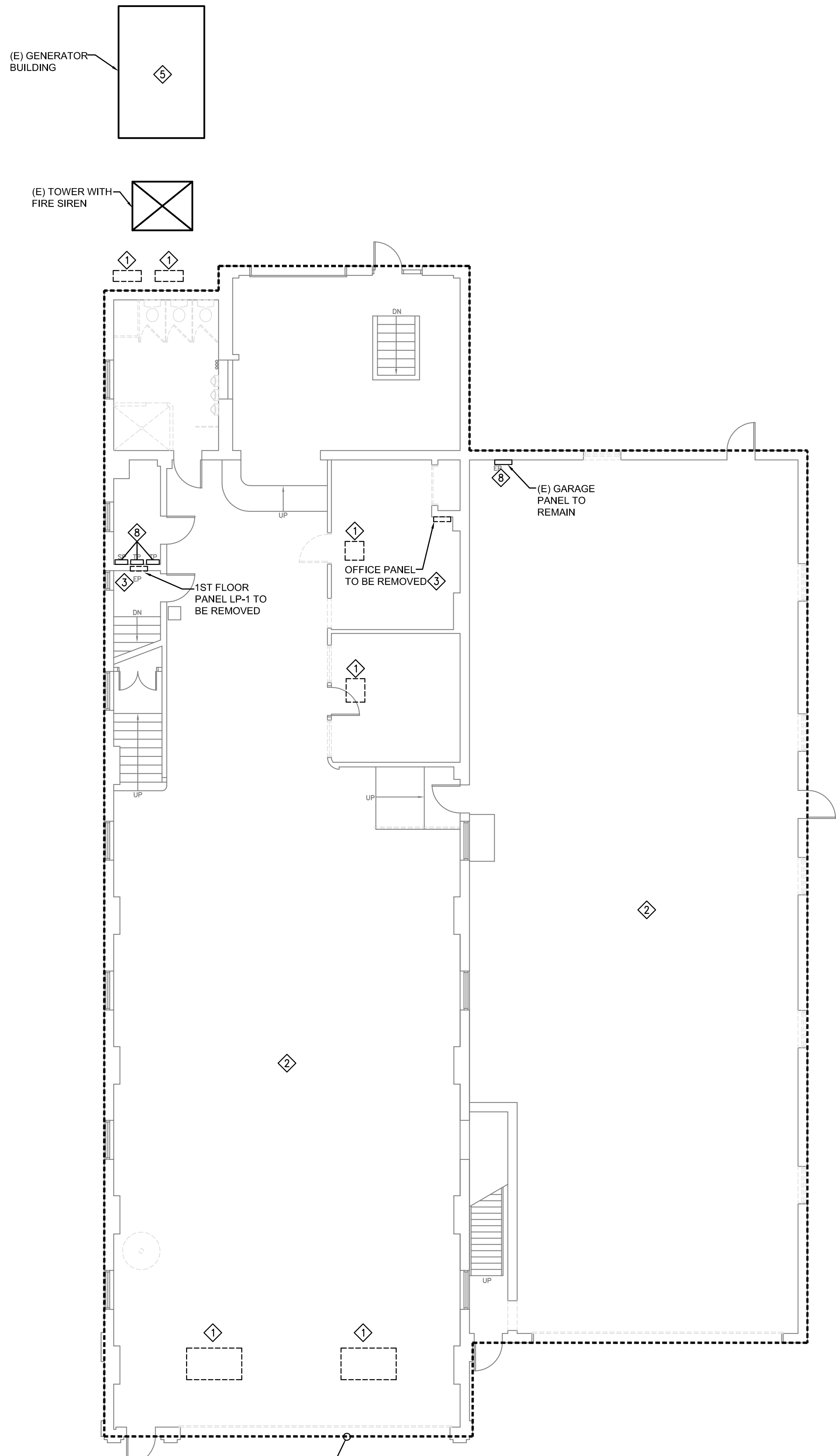
	JOB NO. RSFDX19001
	SHEET - OF -

SCALE AS NOTED	DRAWING NO. E-001
DRAWN BY NS-L	
DATE 03/10/20	
APPROVED DD	

1/27/2020 10:00 AM (P) 1001 - Riverside Fire Co. Remediation and Abatement (R) 1001 - 1001
 Author: Scott - 1001



1
E-100
SCALE: 1/8"=1'-0"
BASEMENT PLAN - DEMOLITION



2
E-100
SCALE: 1/8"=1'-0"
FIRST FLOOR PLAN - DEMOLITION

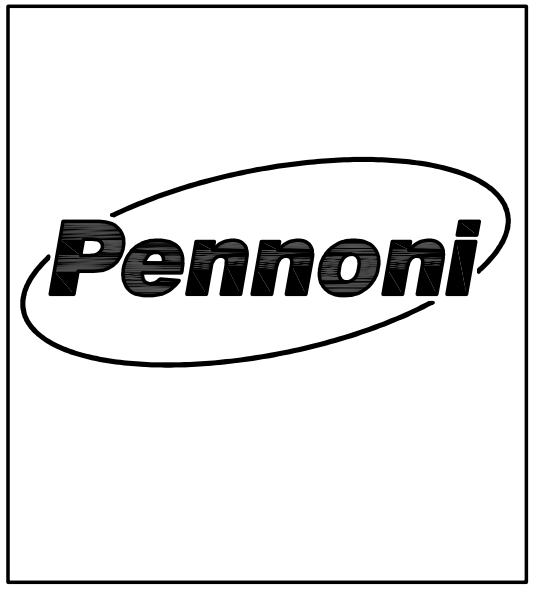
GENERAL NOTES:

1. SEE DRAWING E-001 FOR NOTES.
2. SEE DRAWING E-002 FOR SYMBOLS AND ABBREVIATIONS.
3. CONTRACTOR SHALL COORDINATE THE PHASING OF ALL SYSTEMS SHUTDOWN AND REMOVAL WITH OTHER CONTRACTORS AND THE OWNER PRIOR TO THE START OF WORK.
4. ALL EXISTING INFORMATION IS TAKEN FROM FIELD OBSERVATIONS AND EXISTING DRAWINGS. CONTRACTOR SHALL VERIFY ALL EXISTING INFORMATION PRIOR TO THE START OF WORK.

ELECTRICAL DEMOLITION NOTES:

1. TURN OFF AND DISCONNECT ELECTRICAL SERVICES TO MECHANICAL EQUIPMENT TO BE DEMOLISHED. COORDINATE LOCATION AND REMOVAL WITH MECHANICAL DRAWINGS.
2. EXISTING LIGHTING AND RECEPTACLES IN THIS AREA SHALL BE REMOVED. EXISTING CIRCUITS SHALL BE SAFED OFF TO BE REUSED WHERE POSSIBLE. NO CIRCUITS WITHOUT GROUNDS ARE TO REMAIN CIRCUITS FEEDING EXISTING EQUIPMENT TO REMAIN.
3. EXISTING PANEL BOARD TO BE REMOVED. LEAVE FEEDER IN GOOD CONDITION FOR EXTENSION/RECONNECTION. CIRCUITS FEEDING EXISTING EQUIPMENT TO REMAIN.
4. REMOVE ALL ROOFTOP HVAC EQUIPMENT FEEDERS BACK TO SOURCE.
5. ADD/ALTERNATE#1: REMOVE AND REPLACE IN KIND THE EXISTING 45KW, 120/208V EMERGENCY GENSET LOCATED IN THE OUTSIDE SHED (APPROXIMATE LOCATION SHOWN).
6. REFER TO SINGLE LINE 1/E-400 DIAGRAM FOR EQUIPMENT AND DEMOLITION REQUIREMENTS.
7. EXISTING FIRE ALARM PANEL TO BE REMOVED - KEEP IN SERVICE UNTIL NEW FIRE ALARM PANEL IS INSTALLED AND TESTED.
8. EXISTING PANEL TO REMAIN. KEEP ALL EXISTING CIRCUITS TO BE REUSED IN OPERATION. REFER TO MECHANICAL DRAWINGS FOR EQUIPMENT TO BE DEMOLISHED.

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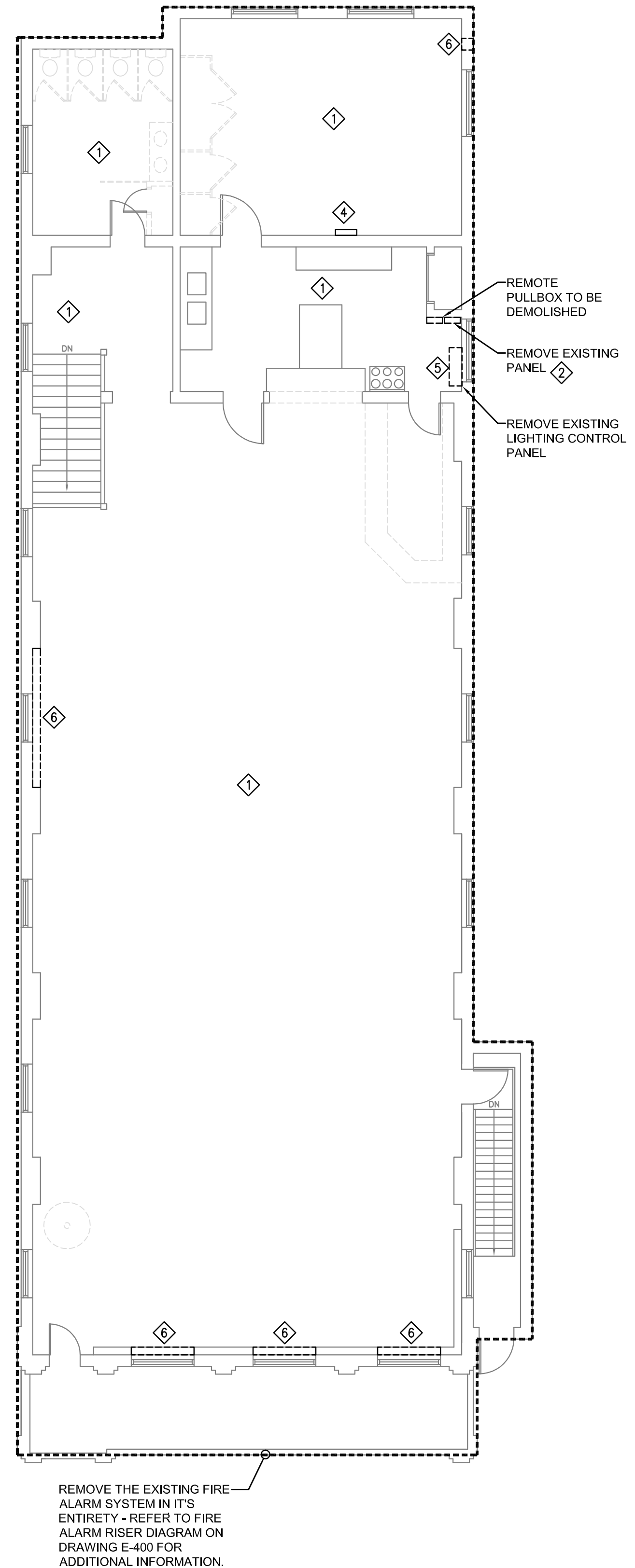
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
ELECTRICAL - DEMOLITION
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

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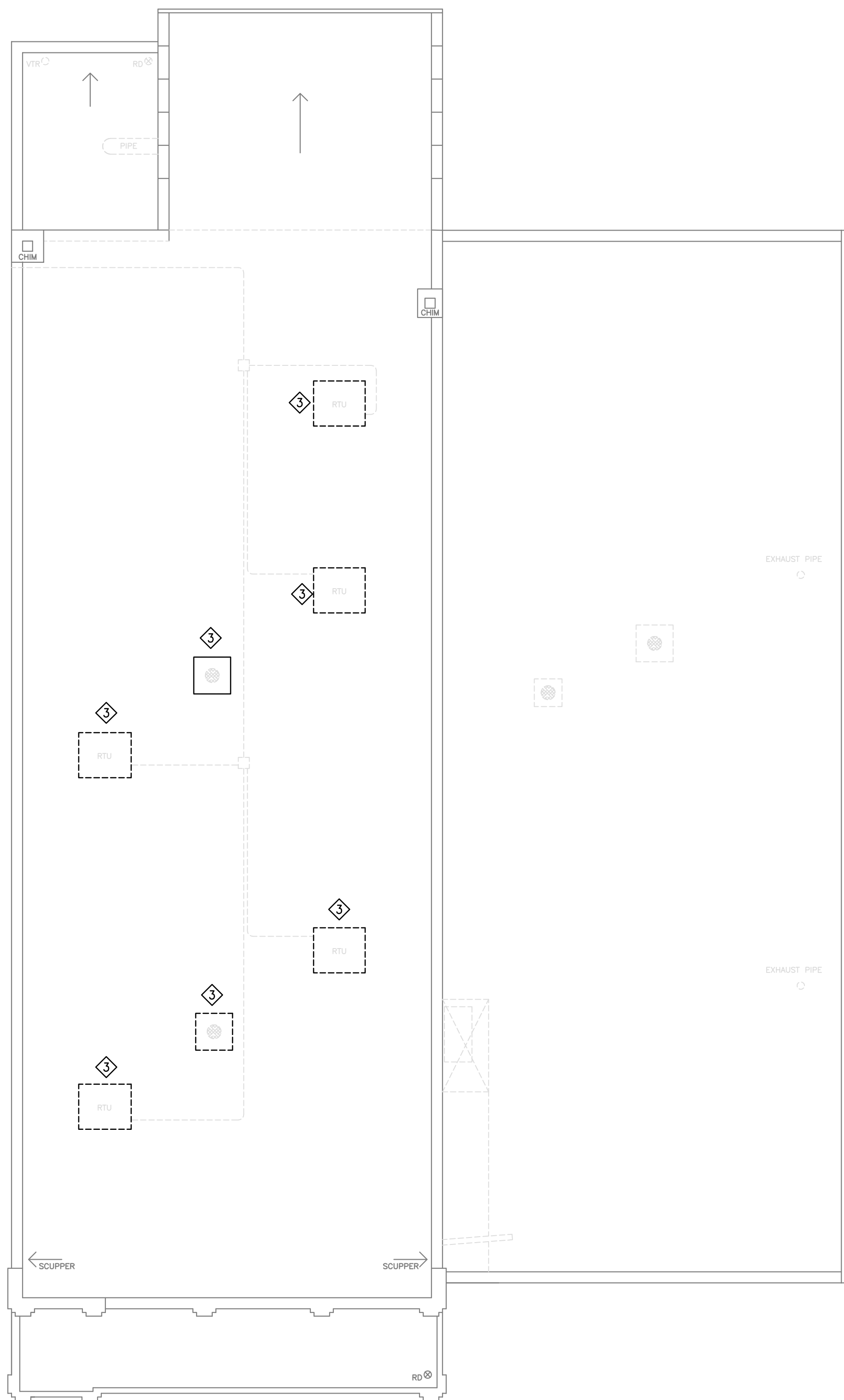
 NORTH	JOB NO. RSFDX19001
	SHEET - OF -
SCALE AS NOTED DRAWN BY NS-L DATE 03/10/20 APPROVED DD	DRAWING NO. E-100

5/27/2020 10:00 AM - Riverside Fire Co. Remodel and Additions (RIVERSIDE) - 10-10-2020
 10/10/2020 10:00 AM - Riverside Fire Co. Remodel and Additions (RIVERSIDE) - 10-10-2020
 10/10/2020 10:00 AM - Riverside Fire Co. Remodel and Additions (RIVERSIDE) - 10-10-2020



SECOND FLOOR PLAN - DEMOLITION

1
E-101
SCALE: 1/8"=1'-0"



ROOF PLAN - DEMOLITION

2
E-101
SCALE: 1/8"=1'-0"

GENERAL NOTES:

1. SEE DRAWING E-001 FOR NOTES.
2. SEE DRAWING E-002 FOR SYMBOLS AND ABBREVIATIONS.
3. CONTRACTOR SHALL COORDINATE THE PHASING OF ALL SYSTEMS SHUTDOWN AND REMOVAL WITH OTHER CONTRACTORS AND THE OWNER PRIOR TO THE START OF WORK.
4. ALL EXISTING INFORMATION IS TAKEN FROM FIELD OBSERVATIONS AND EXISTING DRAWINGS. CONTRACTOR SHALL VERIFY ALL EXISTING INFORMATION PRIOR TO THE START OF WORK.

ELECTRICAL DEMOLITION NOTES:

1. EXISTING LIGHTING AND RECEPTACLES IN THIS AREA SHALL BE REMOVED. EXISTING CIRCUITS SHALL BE SAFED OFF TO BE REUSED WHERE POSSIBLE. NO CIRCUITS WITHOUT GROUNDS ARE TO REMAIN.
2. EXISTING PANELBOARD TO BE REMOVED - LEAVE FEEDERS IN GOOD CONDITION FOR EXTENSION/RECONNECTION.
3. REMOVE ALL ROOFTOP HVAC EQUIPMENT FEEDERS BACK TO SOURCE.
4. REMOVE EXISTING PANEL AND FEEDER BACK TO SOURCE.
5. REMOVE EXISTING LIGHTING CONTROL PANEL AND ALL WIRING IN ITS ENTIRETY.
6. TURN OFF AND DISCONNECT ELECTRICAL SERVICES TO MECHANICAL EQUIPMENT TO BE DEMOLISHED. COORDINATE LOCATION AND REMOVAL WITH MECHANICAL DRAWINGS.

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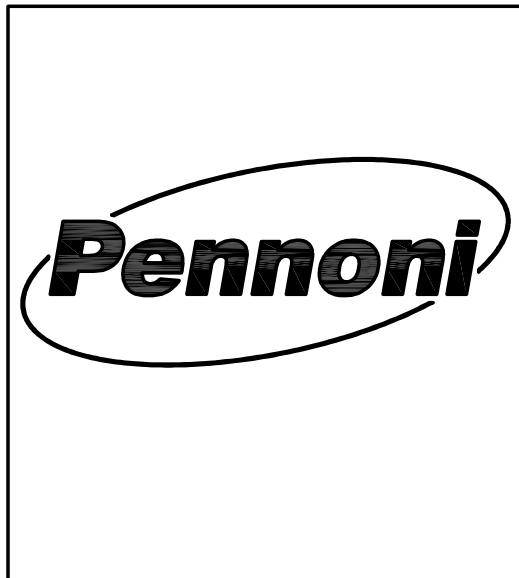
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SCALE	DRAWING NO.
AS NOTED	E-101
DRAWN BY	
DATE	
APPROVED	
NS-L	
03/10/20	
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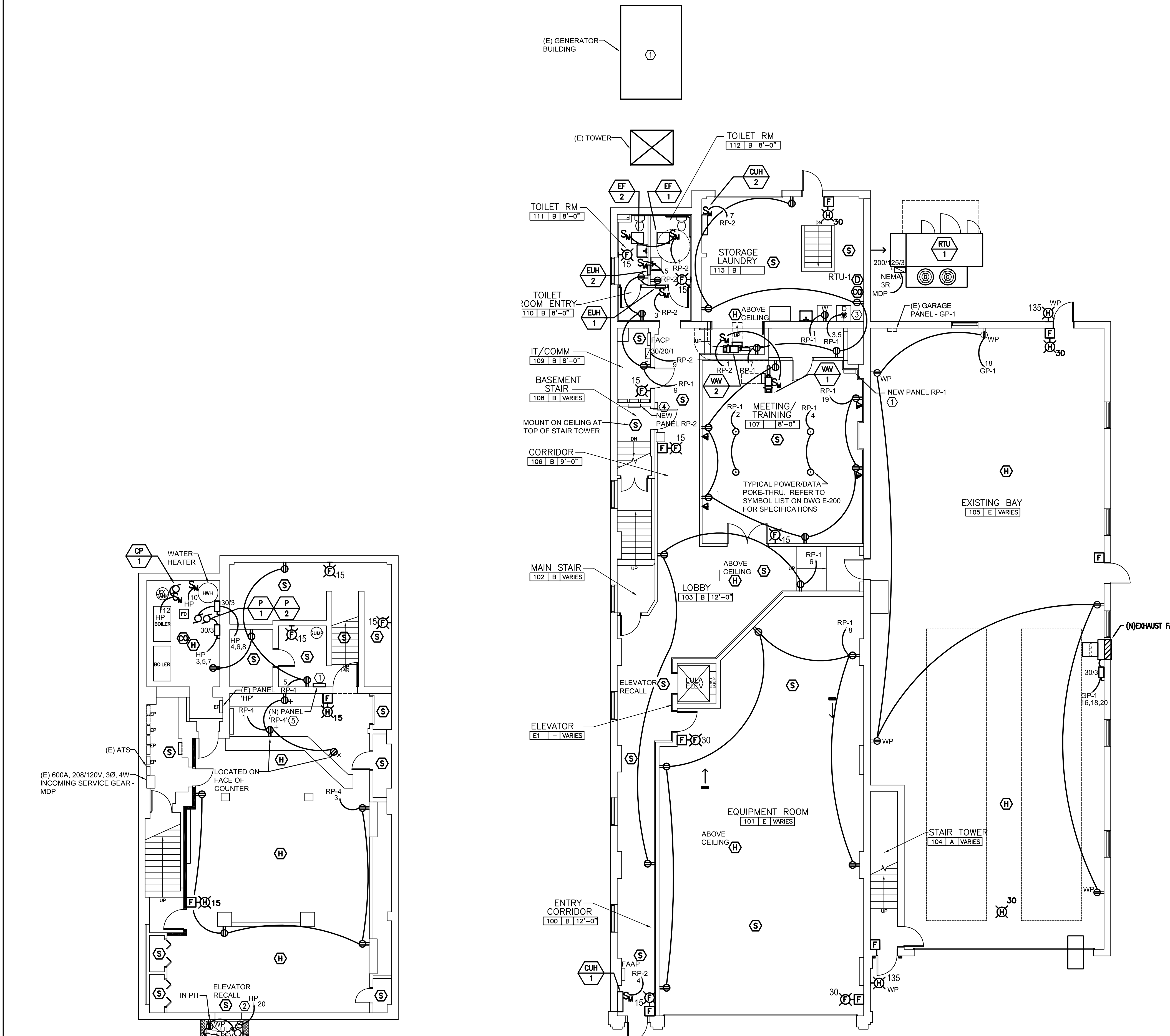
ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
ELECTRICAL - DEMOLITION
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

BID SET DATE: 07/17/2020	BID SET	RM	BY
	NO.	NO.	NO.
	DATE	NO.	NO.



1/27/2020 10:00 AM - Riverside Fire Co. Remodel and Additions (RIVERSIDE) - 10-11-20
 1/27/2020 10:00 AM - Riverside Fire Co. Remodel and Additions (RIVERSIDE) - 10-11-20
 1/27/2020 10:00 AM - Riverside Fire Co. Remodel and Additions (RIVERSIDE) - 10-11-20



BASEMENT PLAN - POWER NEW WORK

FIRST FLOOR PLAN - POWER NEW WORK

GENERAL NOTES:

1. SEE DRAWING E-001 FOR NOTES.
2. SEE DRAWING E-002 FOR SYMBOLS AND ABBREVIATIONS.
3. SEE DRAWING E-400 FOR ADDITIONAL FIRE ALARM INFORMATION.
4. THE CONTRACTOR SHALL COORDINATE THE PHASING OF ALL SYSTEMS SHUTDOWN AND REMOVAL WITH OTHER CONTRACTORS AND THE OWNER PRIOR TO THE START OF WORK.
5. UPDATE EXISTING PANEL DIRECTORY WITH ALL NEW CONNECTED EQUIPMENT.
6. ALL FINAL EQUIPMENT LOCATIONS AND MOUNTING HEIGHTS ARE TO BE COORDINATED WITH ALL TRADES INVOLVED IN THE INSTALLATION AND OWNER.
7. ALL EXTERIOR CONDUITS SHALL BE RGS - RIGID GALVANIZED STEEL WITH THREADED FITTINGS.

ELECTRICAL NEW WORK NOTES:

- ① PROVIDE NEW PANEL RP-1 MODIFY/EXTEND EXISTING FEEDER.
- ② CONNECT TO ELEVATOR MANUFACTURER SUPPLIED SHUNT TRIP CIRCUIT BREAKER. REFER TO SINGLE LINE DIAGRAM 2/E-400.
- ③ COORDINATE RECEPTACLE NEMA CONFIGURATION WITH MANUFACTURER'S EQUIPMENT.
- ④ PROVIDE NEW PANEL RP-2. MODIFY/EXTEND EXISTING FEEDER.
- ⑤ PROVIDE NEW PANEL RP-4. MODIFY/EXTEND EXISTING FEEDER.

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DATE: 07/17/2020

DATE	NO.	REVISIONS	BY
07/17/20	-	BID SET	RM

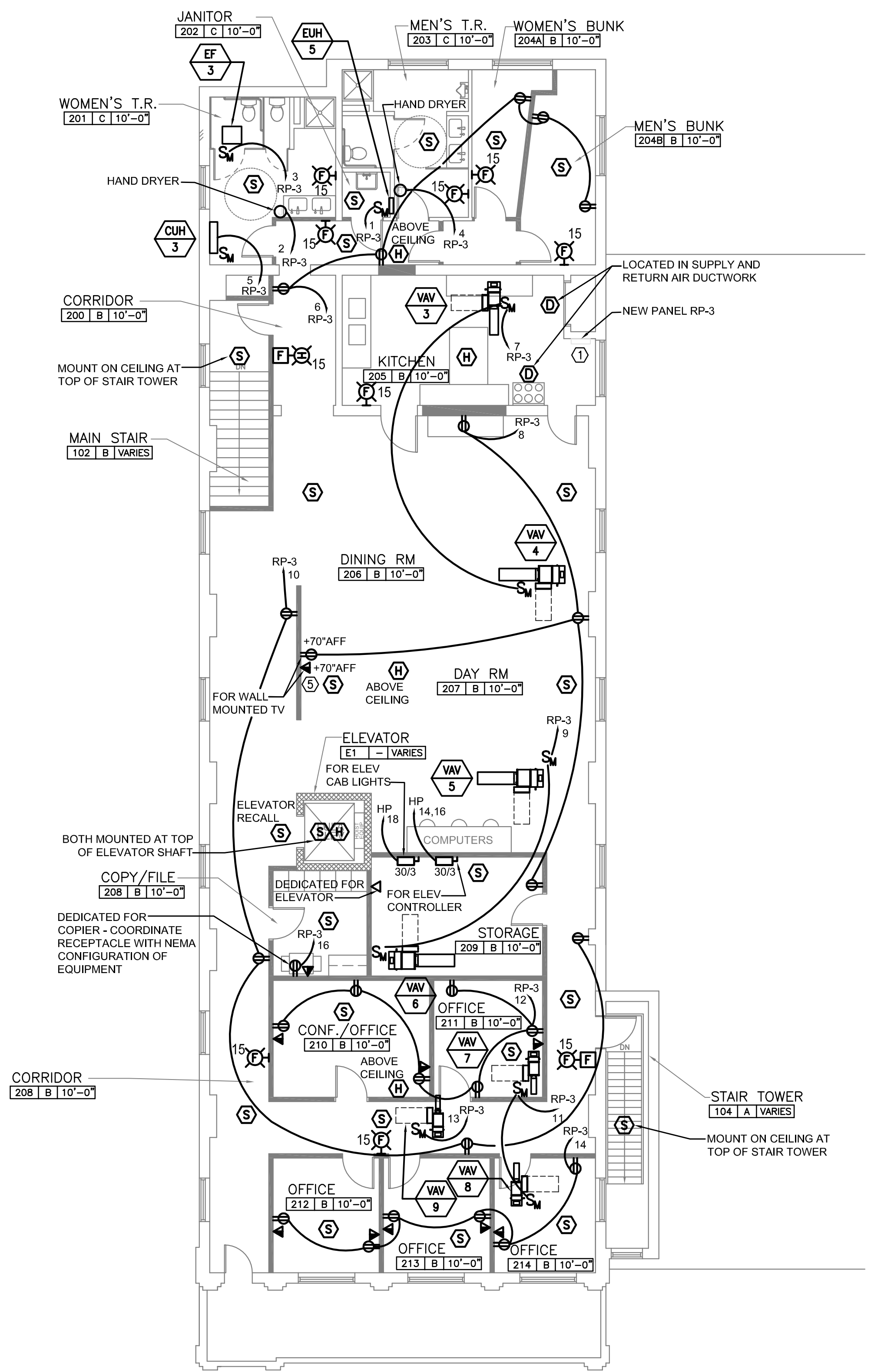
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

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 ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
ELECTRICAL - POWER NEW WORK
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

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 NORTH	JOB NO. RSFDX19001
	SHEET - OF -
SCALE AS NOTED DRAWN BY NS-L DATE 03/10/20 APPROVED DD	DRAWING NO. E-200

1/27/2020 10:58 AM (10/10/2020) - Riverside Fire Co. Information and Addendum and Addendum (10/10/2020) - 10/10/2020
 Author: Scott-Lane



SECOND FLOOR PLAN - POWER NEW WORK

1
 E-201
 SCALE: 1/8"=1'-0"

GENERAL NOTES:

1. SEE DRAWING E-001 FOR NOTES.
2. SEE DRAWING E-002 FOR SYMBOLS AN ABBREVIATIONS.
3. REFER TO DRAWING E-400 FOR ADDITIONAL FIRE ALARM INFORMATION.
4. THE CONTRACTOR SHALL COORDINATE THE PHASING OF ALL SYSTEMS SHUTDOWN AND REMOVAL WITH OTHER CONTRACTORS AND THE OWNER PRIOR TO THE START OF WORK.
5. UPDATE EXISTING PANEL DIRECTORY WITH ALL NEW CONNECTED EQUIPMENT.
6. ALL FINAL EQUIPMENT LOCATIONS AND MOUNTING HEIGHTS ARE TO BE COORDINATED WITH ALL TRADES INVOLVED IN THE INSTALLATION AND OWNER.
7. ALL EXTERIOR CONDUITS SHALL BE RGS - RIGID GALVANIZED STEEL WITH THREADED FITTINGS.

ELECTRICAL NEW WORK NOTES:

- ① PROVIDE NEW 100A/208/120V, 3Ø, 4W MLO PANEL. MODIFY/EXTEND EXISTING FEEDER.



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DATE: 07/17/2020		BID SET	REVISIONS
DATE	NO.		
07/17/20	-		

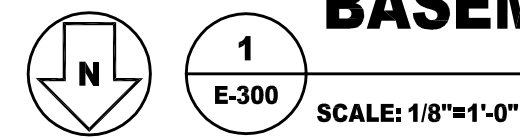
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ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
ELECTRICAL - POWER NEW WORK
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

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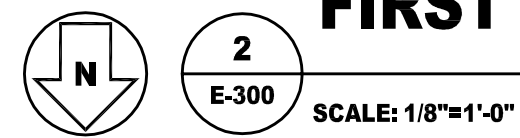
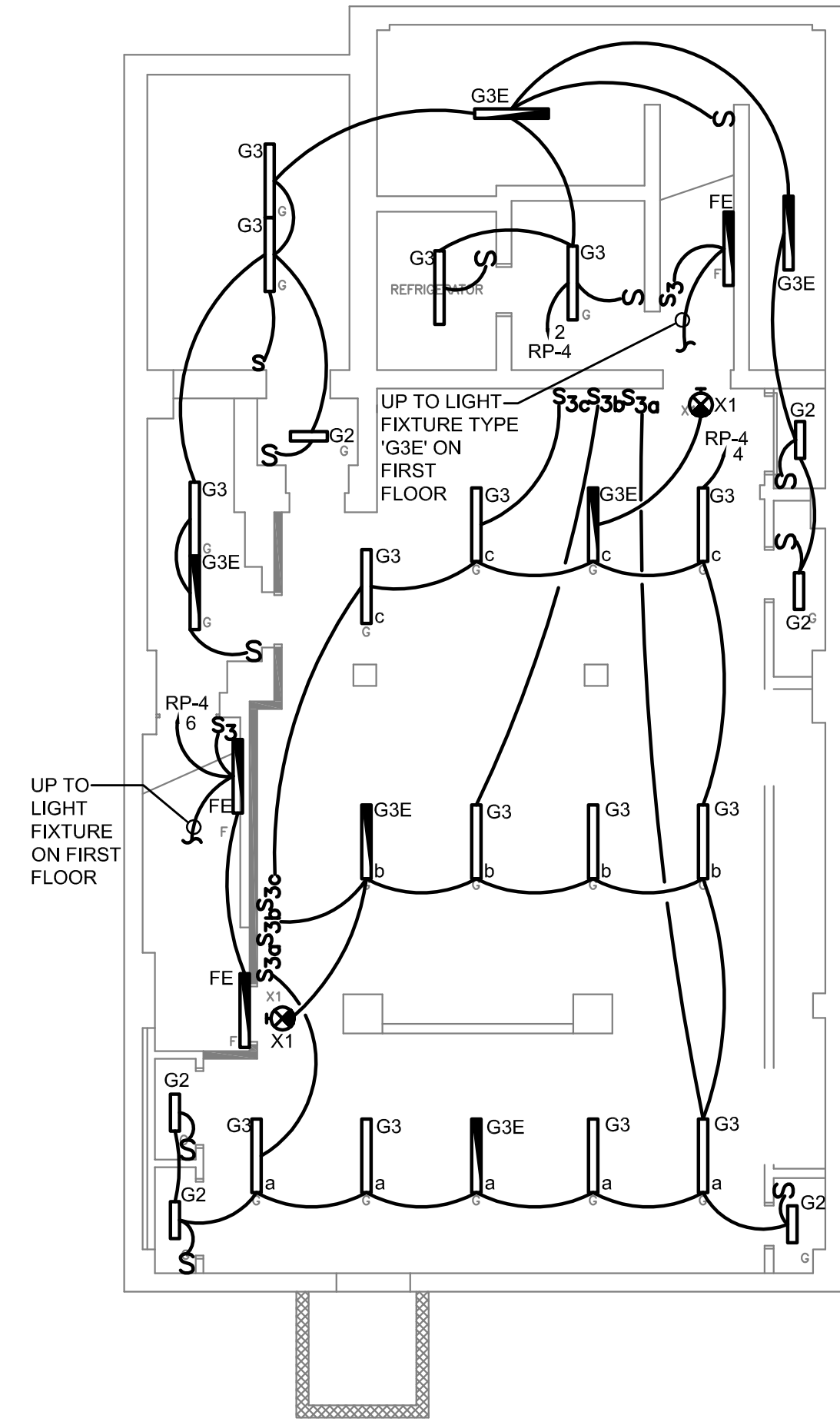
NORTH	JOB NO.
	RSFDX19001
NORTH	SHEET - OF -

SCALE	DRAWING NO.
AS NOTED	
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NS-L	
DATE	
03/10/20	
APPROVED	
DD	E-201



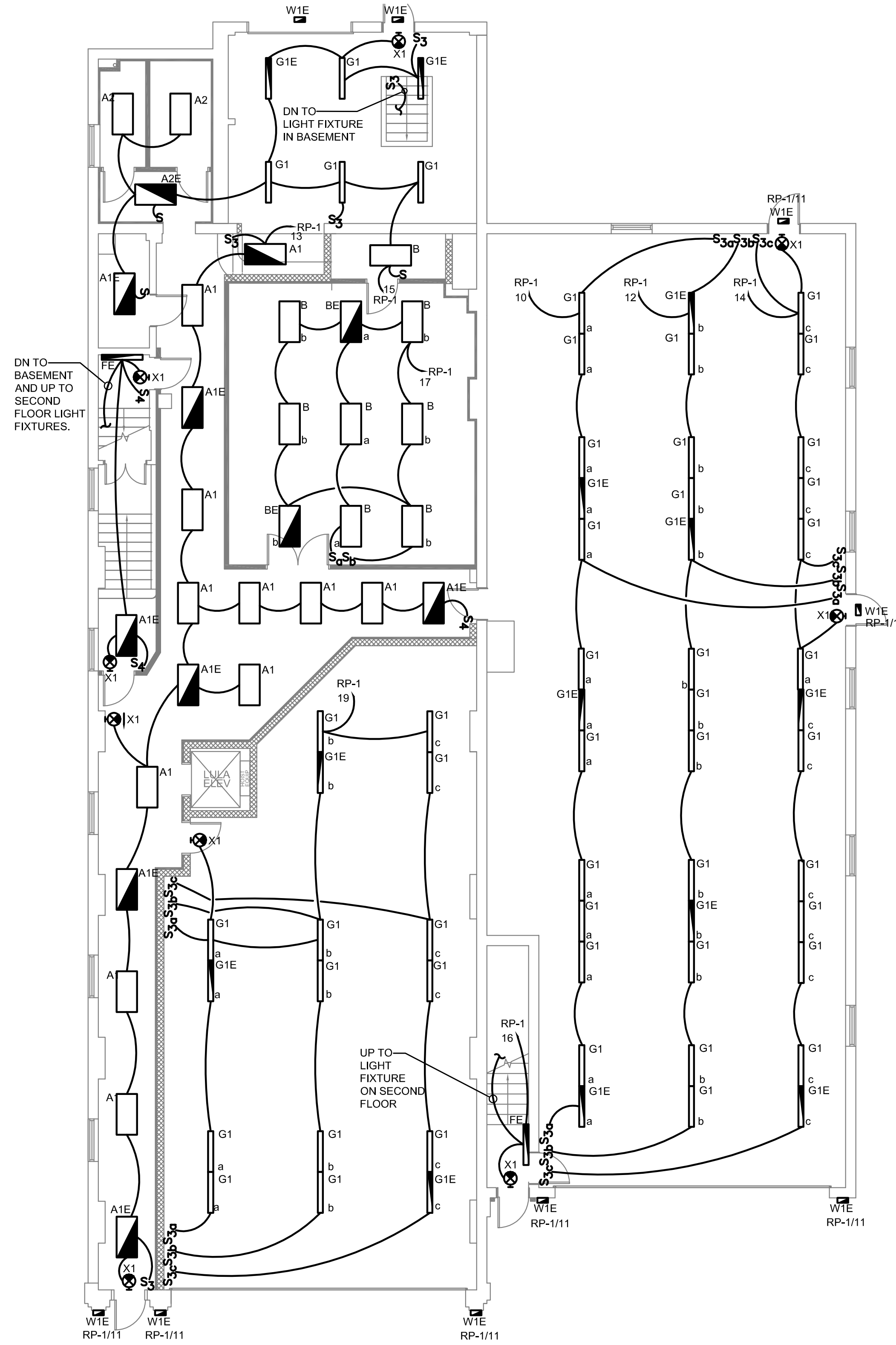
BASEMENT PLAN - LIGHTING NEW WORK

SCALE: 1/8"=1'-0"



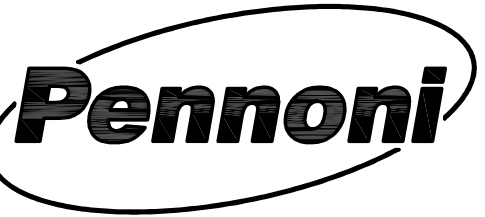
FIRST FLOOR PLAN - LIGHTING NEW WORK

SCALE: 1/8"=1'-0"



GENERAL NOTES:

1. SEE DRAWING E-001 FOR NOTES.
2. SEE DRAWING E-002 FOR SYMBOLS AND ABBREVIATIONS.
3. THE CONTRACTOR SHALL COORDINATE THE PHASING OF ALL SYSTEMS SHUTDOWN AND REMOVAL WITH OTHER CONTRACTORS AND THE OWNER PRIOR TO THE START OF WORK.
4. UPDATE EXISTING PANEL DIRECTORY WITH ALL NEW CONNECTED EQUIPMENT.
5. ALL FINAL EQUIPMENT LOCATIONS AND MOUNTING HEIGHTS ARE TO BE COORDINATED WITH ALL TRADES INVOLVED IN THE INSTALLATION AND OWNER.
6. ALL EXTERIOR CONDUITS SHALL BE RGS - RIGID GALVANIZED STEEL WITH THREADED FITTINGS.
7. CONNECT ALL EXIT SIGNS AND BATTERY UNITS IN LIGHT FIXTURES AHEAD OF SWITCH.
8. COORDINATE LIGHTING WITH ARCHITECTURAL REFLECTED CEILING PLANS.



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BID SET
DATE: 07/17/2020

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ALTERATIONS
 RIVERSIDE FIRE COMPANY 1

ELECTRICAL - LIGHTING NEW WORK

RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

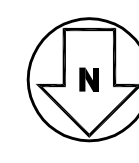
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	JOB NO. RSFDX19001
	SHEET - OF -

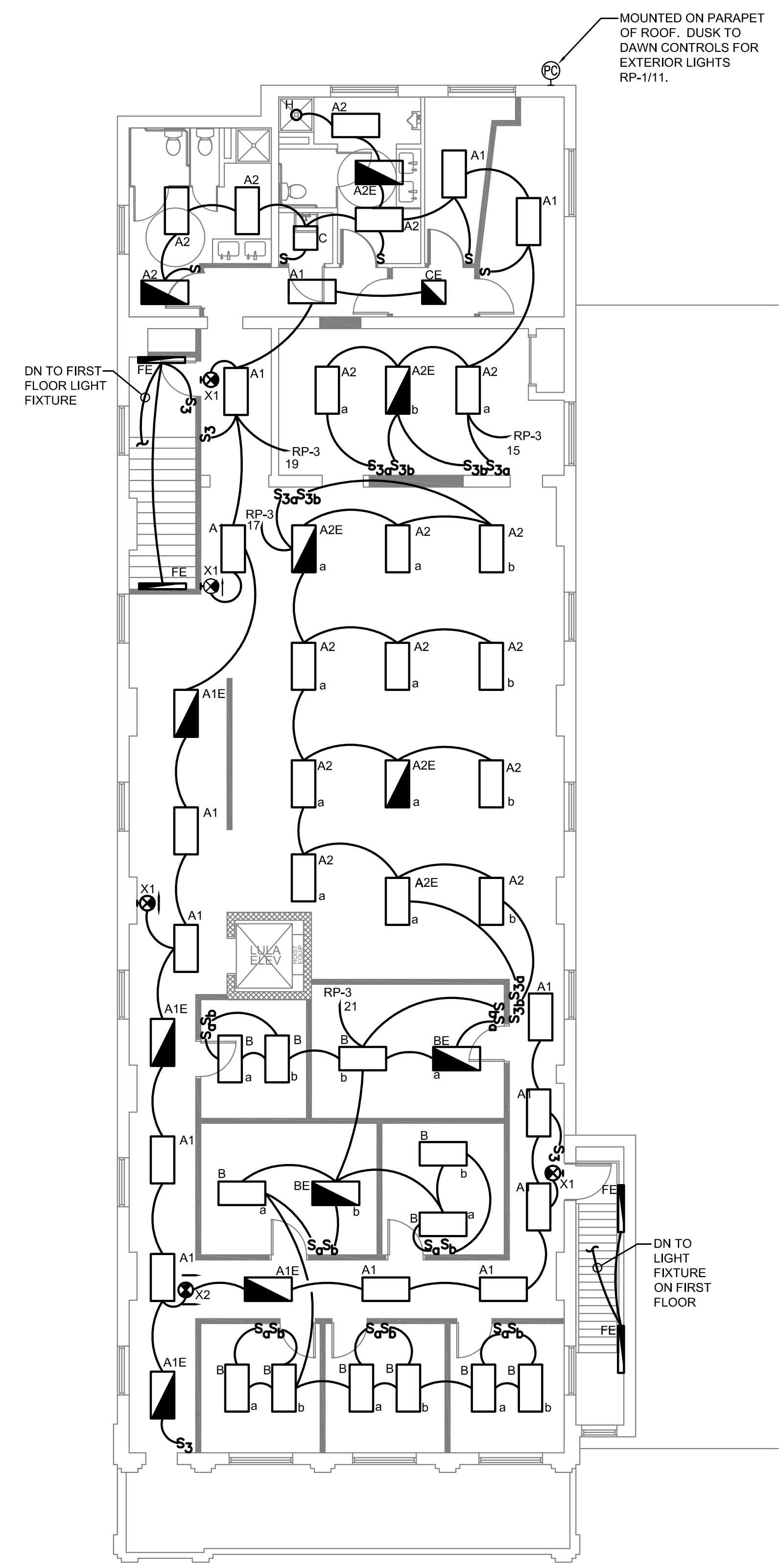
SCALE AS NOTED	DRAWING NO. E-300
DRAWN BY NS-L	
DATE 03/10/20	
APPROVED DD	

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5/27/2020 10:00 AM (GMT-07:00) - Riverside Fire Co Remodel and Additions (RIVERSIDE) - 10-11-20
 Author: Scott Taylor


1
E-301

SECOND FLOOR PLAN - LIGHTING NEW WORK



SCALE: 1/8"=1'-0"

GENERAL NOTES:

1. SEE DRAWING E-001 FOR NOTES.
2. SEE DRAWING E-002 FOR SYMBOLS AN ABBREVIATIONS.
3. THE CONTRACTOR SHALL COORDINATE THE PHASING OF ALL SYSTEMS SHUTDOWN AND REMOVAL WITH OTHER CONTRACTORS AND THE OWNER PRIOR TO THE START OF WORK.
4. UPDATE EXISTING PANEL DIRECTORY WITH ALL NEW CONNECTED EQUIPMENT.
5. ALL FINAL EQUIPMENT LOCATIONS AND MOUNTING HEIGHTS ARE TO BE COORDINATED WITH ALL TRADES INVOLVED IN THE INSTALLATION AND OWNER.
6. ALL EXTERIOR CONDUITS SHALL BE RGS - RIGID GALVANIZED STEEL WITH THREADED FITTINGS
7. COORDINATE LIGHTING WITH ARCHITECTURAL REFLECTED CEILING PLANS.

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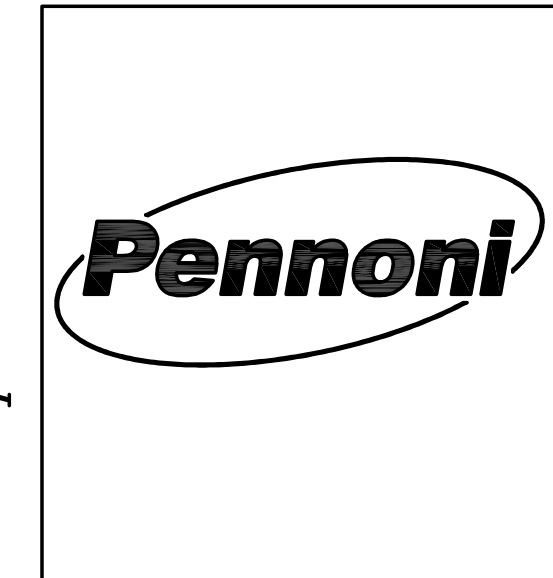
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AS NOTED	E-301
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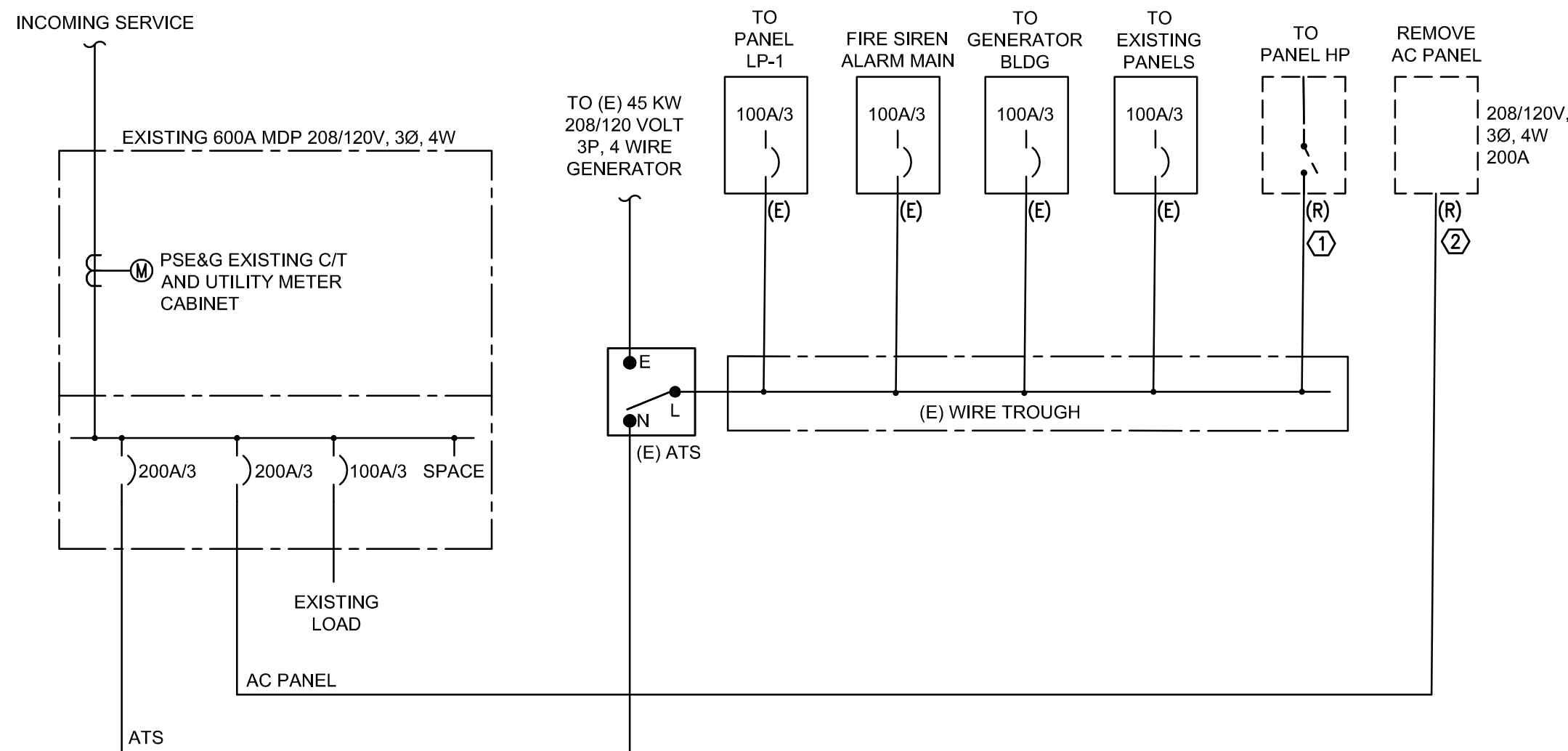
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ALTERATIONS
 RIVERSIDE FIRE COMPANY 1
ELECTRICAL - LIGHTING NEW WORK
 RIVERSIDE FIRE COMPANY NO. 1
 14 W. SCOTT STREET
 RIVERSIDE, NJ 08075

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

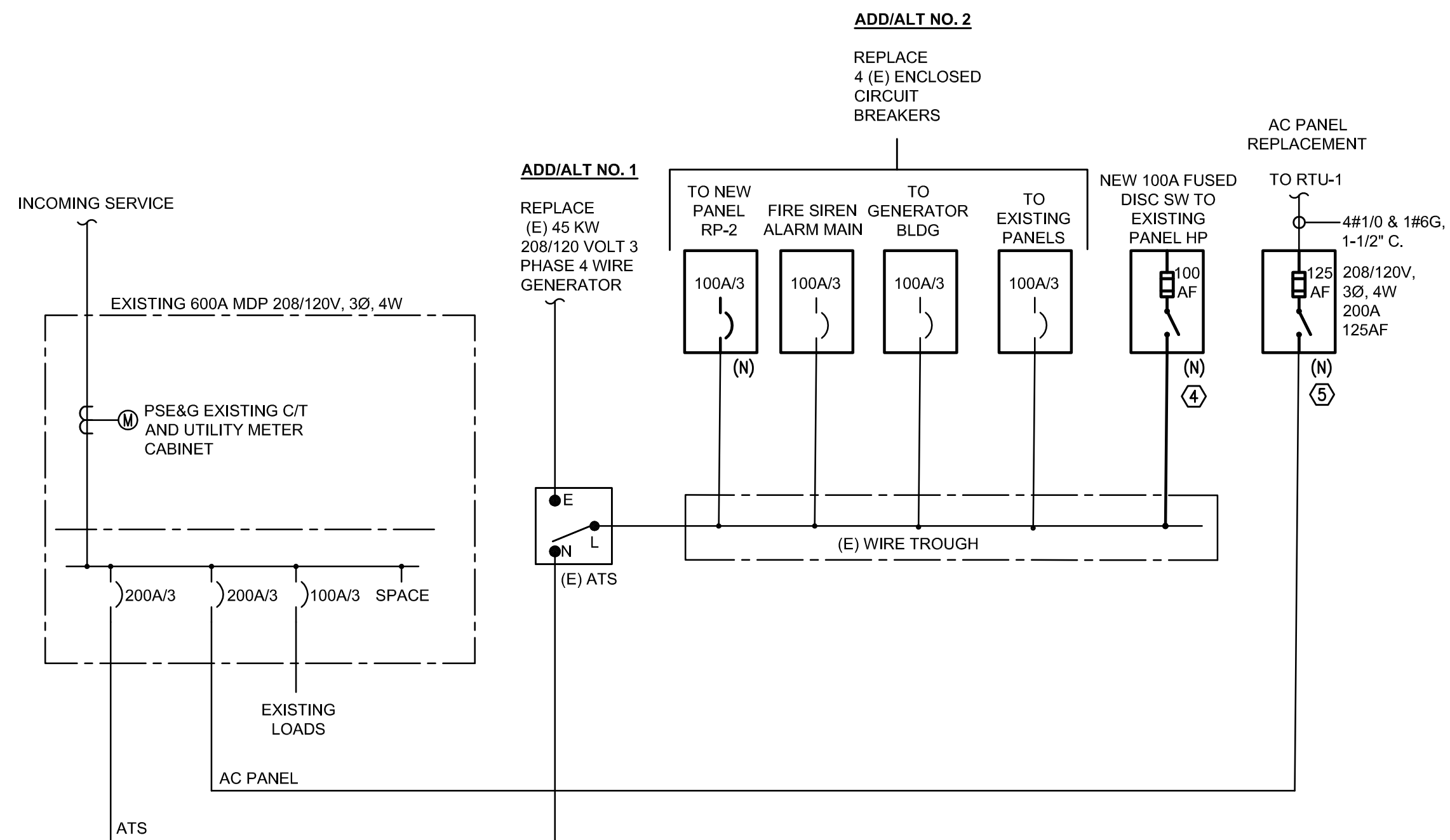
BID SET		DATE	NO.	REVISIONS	BY
DATE: 07/17/2020		07/17/20	-	BID SET	RM





1 PARTIAL EXISTING SINGLE LINE DIAGRAM - ELECTRIC ROOM

1
E-400
SCALE: NONE



2 PARTIAL REVISED SINGLE LINE DIAGRAM - ELECTRIC ROOM

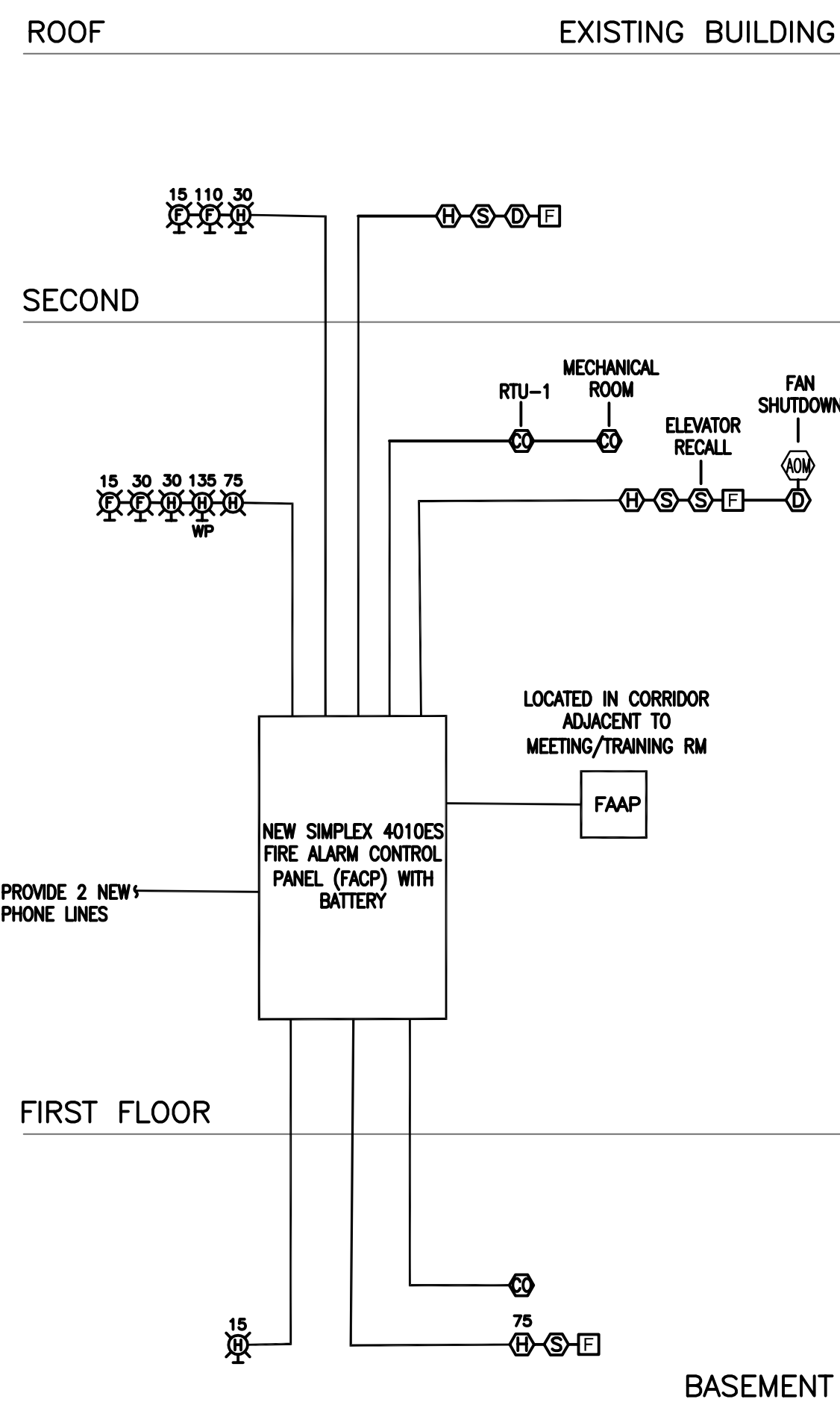
2
E-400
SCALE: NONE

SINGLE LINE DIAGRAM NOTES:

- ① REMOVE PANEL 'HP' DISCONNECT SWITCH. KEEP WIRING IN GOOD CONDITION FOR EXTENSION/RECONNECTION.
- ② REMOVE EXISTING 'AC' PANEL. KEEP WIRING IN GOOD CONDITION FOR EXTENSION/RECONNECTION.
- ③ NOT USED.
- ④ PROVIDE NEW 100A FUSED DISCONNECT SWITCH - FUSED AT 100AMPS. MODIFY/EXTEND EXISTING WIRING AS REQUIRED.
- ⑤ PROVIDE NEW 200A FUSED DISCONNECT SWITCH - FUSE AT 125 AMPS FOR RTU-1. MODIFY/EXTEND WIRING AS REQUIRED.

GENERAL NOTES:

1. SEE DRAWING E-001 FOR NOTES.
2. SEE DRAWING E-002 FOR SYMBOLS AN ABBREVIATIONS.



3 NEW FIRE ALARM SYSTEM PANEL SINGLE LINE DIAGRAM

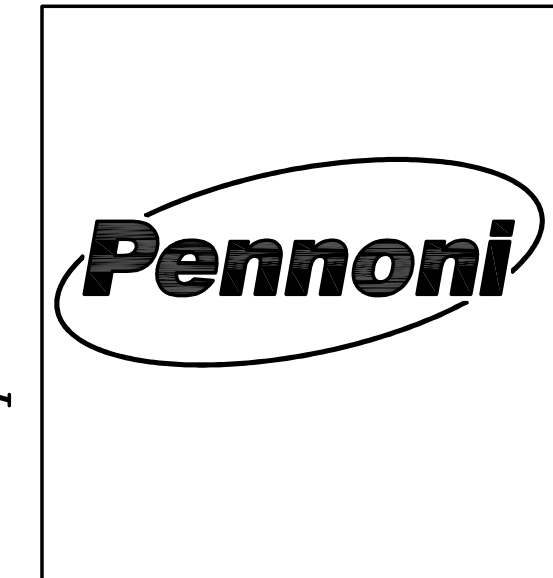
3
E-400
SCALE: NONE

FIRE ALARM NOTES:

1. PROVIDE 3/4" METAL CONDUIT EMT WITH COMPRESSION FITTINGS FROM THE MAIN FIRE ALARM CONTROL PANEL TO EVERY ANNUNCIATOR PANEL, EXTENDER PANEL AND NAC AS REQUIRED.
2. DEVICES SHOWN REPRESENT TYPICAL DEVICES, REFER TO FLOOR PLANS FOR EXACT QUANTITY OF DEVICES AND EQUIPMENT LOCATION.
3. REMOVE (E) FIRE ALARM PANEL AND REPLACE WITH SIMPLEX 4010ES FIRE ALARM PANEL. CONNECT NEW AND EXISTING F/A DEVICES TO REMAIN IN EXISTING BUILDING TO NEW F/A PANEL.

GENERAL FIRE ALARM NOTES:

1. THESE PLANS HAVE BEEN PROVIDED AS A GUIDE ONLY AND SHALL BE CONSIDERED FOR SCHEMATIC PURPOSES ONLY - QUANTITIES, CAPACITIES, LOCATIONS AND DIMENSIONS OF EQUIPMENT THAT ARE SHOWN ARE APPROXIMATE. THE EQUIPMENT AND CONDUIT LAYOUT THAT IS INCLUDED ON THESE PLANS WAS SELECTED AND SHOWN FOR THE PURPOSE OF PROVIDING A GENERAL UNDERSTANDING OF THE FIRE ALARM SYSTEMS.
2. REFER TO DRAWINGS E-200 & E-201 FOR FIRE ALARM DEVICES AND EQUIPMENT LOCATIONS.
3. REFER TO DRAWING E-002 FIRE ALARM SYMBOLS.
4. REFER TO DRAWING E-400 FOR FIRE ALARM RISER AND NOTES.
5. REFER TO THE ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS FOR COORDINATION.
6. CONTRACTOR SHALL COORDINATE WORK SEQUENCE WITH GENERAL CONTRACTOR AND OTHER CONTRACTORS EMPLOYED ON THE PROJECT PRIOR TO START OF WORK.
7. CONTRACTOR TO CONFIRM ALL ELECTRICAL REQUIREMENTS FOR APPROVED EQUIPMENT AND DEVICES WITH ALL OTHER CONTRACTORS AND OWNER PRIOR TO PURCHASE AND START OF WORK.
8. CONTRACTOR TO COORDINATE AND CONFIRM ALL EXACT INSTALLATION LOCATIONS, MOUNTING HEIGHTS AND INTERCONNECTION REQUIREMENTS FOR DEVICES AND EQUIPMENT WITH ALL OTHER CONTRACTORS PRIOR TO ROUGH-IN.
9. REFER TO FLOOR PLANS FOR PROPOSED ANTICIPATED QUANTITIES AND LOCATIONS OF INITIATING AND NOTIFICATION DEVICES AND EQUIPMENT. EXACT QUANTITIES OF FIRE ALARM DEVICES FOR THE COMPLETE SYSTEM SHALL BE AS REQUIRED BY LOCAL AHJ.
10. PROVIDE STROBE CANDELA RATING AS SHOWN ON FLOOR PLAN.
11. REFER TO MECHANICAL CONTRACTOR DRAWINGS FOR LOCATIONS AND QUANTITIES OF MONITORED DUCT-MOUNTED SMOKE DETECTORS AND SMOKE DAMPERS. COORDINATE CONNECTION OF THESE DEVICES TO THE FIRE ALARM SYSTEM WITH THE MECHANICAL CONTRACTOR.
12. EACH DUCT DETECTOR SHALL HAVE REMOTE TEST/INDICATOR LOCATED IN CEILING TILE DIRECTLY ABOVE. COORDINATE WITH THE ARCHITECTURAL REFLECTED CEILING PLAN.
13. FOR ALL BRANCH CIRCUITS WHICH DO NOT CROSS FIRE ALARM ZONE USE RED MC CABLE.
14. REFER TO FLOOR PLAN E-200 & E-201 FOR ALL FA DEVICES TO BE CONNECTED TO THE FA SYSTEM.
15. THE FIRE ALARM RISER IS DIAGRAMMATIC AND IT MAY NOT SHOW ALL REQUIRED FA APPLIANCES. CONTRACTOR SHALL PROVIDE ALL CONTROL, ANNUNCIATION AND MONITORING AND INITIATING DEVICES REQUIRED TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
16. FIRE ALARM DEVICE MOUNTING HEIGHTS SHALL COMPLY WITH ANSI 117 AND NFPA 72 REQUIREMENTS.
17. PROVIDE ALL EQUIPMENT CLEARANCES IN ACCORDANCE WITH NEC REQUIREMENTS.
18. COORDINATE LOCATION OF ALL CEILING MOUNTED DEVICES WITH REFLECTED CEILING PLAN AND AFFECTED TRADES PRIOR TO INSTALLATION. SMOKE DETECTORS SHALL BE KEPT AWAY FROM SUPPLY DUCTS, BUT CO SENSORS SHALL BE PLACED CLOSE TO OUTPUT.
19. PROTECTIVE ANI-DUST COVERS SHALL BE INSTALLED AND MAINTAINED ON ALL SYSTEM DETECTORS UNTIL FINAL ACCEPTANCE BY THE AHJ.
20. ALL FIRE ALARM DEVICES SHALL BE LABELED WITH A UNIQUE IDENTIFICATION NUMBER CORRESPONDING WITH THE NUMBERING SEQUENCE AS SUBMITTED ON THE PROJECT PRODUCT SUBMITTALS.
21. THE FIRE ALARM ANNUNCIATION PANEL SHALL DEPICT FLOOR PLAN, EXIT DOORS. IT SHALL ALSO SHOW LOCATION OF FAACP AND FAAP WITH INDICATOR "YOU ARE HERE". THE FLOOR PLAN DISPLAY SHALL BE ORIENTATED WITH ACTUAL LAYOUT OF THE BUILDING AT LOCATION OF THE ANNUNCIATOR PANEL.



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BID SET		RM	BY
DATE: 07/17/2020		BID SET	REVISIONS
07/17/20	-	NO.	

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

515 Grove Street, Suite 1B
Haddon Heights, NJ 08035 - 856.647.0505

ALTERATIONS	RIVERSIDE FIRE COMPANY 1
ELECTRICAL DIAGRAMS	
RIVERSIDE FIRE COMPANY NO. 1	
14 W. SCOTT STREET	
RIVERSIDE, NJ 08075	

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JOB NO. RSFDX19001	SHEET - OF -

SCALE AS NOTED	DRAWING NO. E-400
DRAWN BY NS-L	
DATE 03/10/20	
APPROVED DD	

Pennoni Associates Inc.

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NO.	MOUNTING	LAMPS					REMARKS
					TYPE	NO.	LUMENS	WATTS	VOLTS	
A1	2'X4' RECESSED LED TROFFER WITH 0-10V DIMMING TO 1%. ACRYLIC FROSTED ACRYLIC PRISMATIC LENS AND STEEL HOUSING.	METALUX	24-G-R-LD5-64-F1-UNV-L835-CD-1-U	RECESSED	3500K LED	1	6462	48	120	*COORDINATE CEILING TYPE WITH ARCHITECTURAL REFLECTED CEILING PLANS.
A1E	SAME AS FIXTURE TYPE A1 EXCEPT WITH INTEGRAL BATTERY UNIT.	METALUX	24-G-R-LD5-64-F1-UNV-EL7W-L835-CD-1-U	RECESSED	3500K LED	1	6462	48	120	*COORDINATE CEILING TYPE WITH ARCHITECTURAL REFLECTED CEILING PLANS.
A2	2'X4' RECESSED LED TROFFER WITH 0-10V DIMMING TO 1%. ACRYLIC FROSTED ACRYLIC PRISMATIC LENS AND STEEL HOUSING.	METALUX	24-G-R-LD5-56-F1-UNV-L835-CD-1-U	RECESSED	3500K LED	1	5618	45.1	120	*COORDINATE CEILING TYPE WITH ARCHITECTURAL REFLECTED CEILING PLANS.
A2E	SAME AS FIXTURE TYPE A2 EXCEPT WITH INTEGRAL BATTERY UNIT.	METALUX	24-G-R-LD5-56-F1-UNV-EL7W-L835-CD-1-U	RECESSED	3500K LED	1	5618	45.1	120	*COORDINATE CEILING TYPE WITH ARCHITECTURAL REFLECTED CEILING PLANS.
B1	2'X4' RECESSED LED TROFFER WITH ANGLE SIDE LENS AND DIFFUSED CENTER LENS AND STEEL HOUSING.	FINELITE	HPR LED-A-2X4-DCO-S-835-120V-SC-C*	RECESSED	3500K LED	1	3772	27	120	*COORDINATE CEILING TYPE WITH ARCHITECTURAL REFLECTED CEILING PLANS.
B1E	SAME AS FIXTURE TYPE B EXCEPT WITH INTEGRAL BATTERY UNIT.	FINELITE	HPR LED-A-2X4-DCO-S-835-120V-SC-C* PROVIDE WITH 7 WATT EMERGENCY BATTERY PACK	RECESSED	3500K LED	1	3772	27	120	*COORDINATE CEILING TYPE WITH ARCHITECTURAL REFLECTED CEILING PLANS.
B2	2'X4' RECESSED LED TROFFER WITH ANGLE SIDE LENS AND DIFFUSED CENTER LENS AND STEEL HOUSING.	FINELITE	HPR LED-A-2X4-DCO-HO-835-120V-SC-C*	RECESSED	3500K LED	1	5416	41	120	*COORDINATE CEILING TYPE WITH ARCHITECTURAL REFLECTED CEILING PLANS.
B2E	SAME AS FIXTURE TYPE B EXCEPT WITH INTEGRAL BATTERY UNIT.	FINELITE	HPR LED-A-2X4-DCO-HO-835-120V-SC-C* PROVIDE WITH 7 WATT EMERGENCY BATTERY PACK	RECESSED	3500K LED	1	5416	41	120	*COORDINATE CEILING TYPE WITH ARCHITECTURAL REFLECTED CEILING PLANS.
C	2'X2' RECESSED LED TROFFER WITH 0-10V DIMMING TO 1%. ACRYLIC FROSTED ACRYLIC PRISMATIC LENS AND STEEL HOUSING.	METALUX	22-G-R-LD5-32-F1-UNV-L835-CD-1-U	RECESSED	3500K LED	1	3268	29.9	120	*COORDINATE CEILING TYPE WITH ARCHITECTURAL REFLECTED CEILING PLANS.
CE	SAME AS FIXTURE TYPE C EXCEPT WITH INTEGRAL BATTERY UNIT.	METALUX	22-G-R-LD5-32-F1-UNV-L835-CD-1-U	RECESSED	3500K LED	1	3268	29.9	120	*COORDINATE CEILING TYPE WITH ARCHITECTURAL REFLECTED CEILING PLANS.
D	LED WALL MOUNTED VAPORPROOF LIGHT WITH DIE CAST ALUMINUM HOUSING AND GUARD	E-CONLIGHT	E-VT802A-WM401G	SURFACE	4000K LED	1	1900	22	120	
FE	1'X4' LINEAR WRAPAROUND LED WITH FROSTED ACRYLIC DIFFUSER LENS	DAY-BRITE	FSW-4-XXX-835-120-SDIM-EMLED	SURFACE	3500K LED	1	4000	31	120	
G1	3'X4' SQUARE LENSED PENDANT LED STRIP WITH 0-10V DIMMING TO 10%. FULL FROST LENS AND STEEL CHANNEL.	COOPER LIGHTING SOLUTIONS	4SNLED-LD5-11-SL-SLW-UNV-L835-CD1-U-SCF	PENDANT	3500K LED	1	6376	70	120	BAY - MOUNTING HEIGHT = 16'-0" AFF EQUIP RM - MOUNTIN HEIGHT = 12'-0" AFF
G1E	SAME AS FIXTURE TYPE G1 EXCEPT WITH INTEGRAL BATTERY UNIT.	COOPER LIGHTING SOLUTIONS	4SNLED-LD5-64-SL-SLW-UNV-EL72-L835-CD1-U-SCF	PENDANT	3500K LED	1	6376	70	120	BAY - MOUNTING HEIGHT = 16'-0" AFF EQUIP RM - MOUNTIN HEIGHT = 12'-0" AFF
G2	3'X2' SQUARE LENSED PENDANT LED STRIP WITH 0-10V DIMMING TO 10%. FULL FROST LENS AND STEEL CHANNEL.	COOPER LIGHTING SOLUTIONS	2SNLED-LD5-64-SL-SLW-UNV-L835-CD1-U-SCF	PENDANT	3500K LED	1	5203	36	120	MOUNTING HEIGHT = 8'-0" AFF TO BOTTOM
G3	3'X4' SQUARE LENSED PENDANT LED STRIP WITH 0-10V DIMMING TO 10%. FULL FROST LENS AND STEEL CHANNEL.	COOPER LIGHTING SOLUTIONS	4SNLED-LD5-52-SL-SLW-UNV-L835-CD1-U-SCF	PENDANT	3500K LED	1	5203	52	120	MOUNTING HEIGHT = 8'-0" AFF TO BOTTOM
G3E	SAME AS FIXTURE TYPE G3 EXCEPT WITH INTEGRAL BATTERY UNIT.	COOPER LIGHTING SOLUTIONS	4SNLED-LD5-52-SL-SLW-UNV-EL72-L835-CD1-U-SCF	PENDANT	3500K LED	1	5203	52	120	MOUNTING HEIGHT = 8'-0" AFF TO BOTTOM
H	5" RECESSED LED SHOWER DOWNLIGHT	PRESCOLITE	LF6ML-277-6LFML30L-35K-8-DL	RECESSED	3500K LED	1	3061	32.7	120	SHOWER LOCATION
W1E	MINI TRAPEZOID SHAPE LED WALL PACK WITH INTEGRAL BATTERY UNIT. DIE CAST ALUMINUM HOUSING AND TYPE 3 OPTIC DISTRIBUTION. IP66 RATED.	GARDCO	111L-16L-550-NW-G2-4-EBPC-120-DD-F1-' * COLOR AND FINISH SELECTED BY ARCHITECT	SURFACE	4000K LED	16	2688	29	120	MOUNTING HEIGHT OVER DOORS AT 10' O.C. COORDINATE ALL FINAL LOCATIONS WITH ARCHITECTURAL ELEVATIONS.
W2E	TRAPEZOID SHAPE LED WALL PACK WITH INTEGRAL BATTERY UNIT. DIE CAST ALUMINUM HOUSING AND TYPE 4 OPTIC DISTRIBUTION. IP66 RATED.	GARDCO	101L-16L-700-NW-G1-3-EBPC-120-DD-F1-' * COLOR AND FINISH SELECTED BY ARCHITECT	SURFACE	4000K LED	16	3594	37	120	MOUNTING HEIGHT ON BUILDING AT 12' O.C. COORDINATE ALL FINAL LOCATIONS WITH ARCHITECTURAL ELEVATIONS.
X1	SINGLE FACE LED EXIT SIGN WITH RED LETTERS WITH WHITE DIE CAST ALUMINUM HOUSING.	EATON	CX-7-1-WH-R	UNIVERSAL	N/A	N/A	N/A	.98	120	CONNECT TO NEARBY EMERGENCY LIGHTING CIRCUIT WITHIN SAME SPACE. UNIVERSAL MOUNTING (COORDINATE MOUNTING WITH ARCHITECTURAL DRAWINGS). PROVIDE DIRECTIONAL ARROWS AS PER DWGS.
X2	DOUBLE FACE LED EXIT SIGN WITH RED LETTERS WITH WHITE DIE CAST ALUMINUM HOUSING.	EATON	CX-7-2-WH-R	UNIVERSAL	N/A	N/A	N/A	.98	120	CONNECT TO NEARBY EMERGENCY LIGHTING CIRCUIT WITHIN SAME SPACE. UNIVERSAL MOUNTING (COORDINATE MOUNTING WITH ARCHITECTURAL DRAWINGS). PROVIDE DIRECTIONAL ARROWS AS PER DWGS.

NOTES:

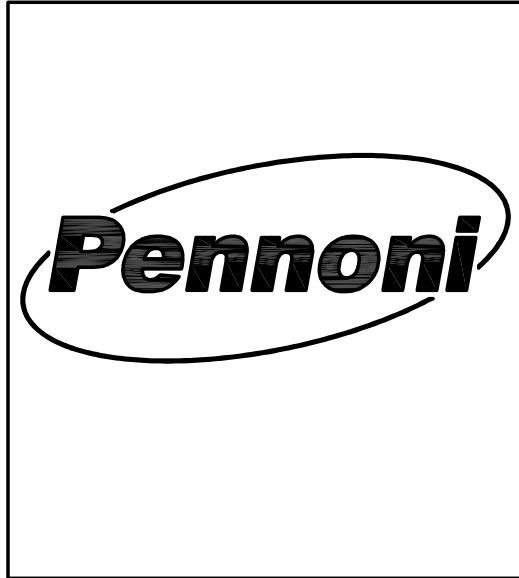
- COORDINATE ALL LIGHT FIXTURE MOUNTING WITH ARCHITECTURAL REFLECTED CEILING PLANS, AND ALL CEILING MOUNTED DEVICES AND EQUIPMENT.
- ALL FINAL FINISHES AND COLORS WILL BE DETERMINED BY THE ARCHITECT.

J:\Projects\19001\19001.dwg - Riverside Fire Co Remodel and ADA\19001.dwg - 19001.dwg
 Author: Scott-L
 Date: 03/10/20

Engineers • Surveyors • Planners • Landscape Architects

515 Grove Street, Suite 1B
 Haddon Heights, NJ 08035 - 856.647.0505

Pennoni Associates Inc.



BID SET
DATE: 07/17/2020

DATE	NO.	REVISIONS
07/17/20	-	
		RM
		BY

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

ALTERATIONS
RIVERSIDE FIRE COMPANY 1

ELECTRICAL SCHEDULES

RIVERSIDE FIRE COMPANY NO. 1
14 W. SCOTT STREET
RIVERSIDE, NJ 08075

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<p>NORTH</p>	JOB NO. RSFDX19001
	SHEET - OF -

SCALE AS NOTED	DRAWING NO. E-500
DRAWN BY NS-L	
DATE 03/10/20	
APPROVED DD	

ELECTRICAL PANEL SCHEDULE NOTES:

- 1. ALL NEW PANEL(S) AND CIRCUIT BREAKERS SHALL MATCH THE EXISTING EQUIPMENT IN MANUFACTURER AND MODEL, NOT LIMITED TO, SHORT CIRCUIT RATING.

PANEL SCHEDULE table for PANEL: RP-1, VOLTAGE: 208Y120V, PHASE: 3Ø, WIRE: 4W, AMP: 100A, MOUNTING: SURFACE. Includes columns for Description, Wire, Poles, BKR Size, VA/PHASE (A, B, C), and Notes.

PANEL SCHEDULE table for PANEL: RP-2, VOLTAGE: 208Y120V, PHASE: 3Ø, WIRE: 4W, AMP: 100A, MOUNTING: SURFACE. Includes columns for Description, Wire, Poles, BKR Size, VA/PHASE (A, B, C), and Notes.

PANEL SCHEDULE table for PANEL: RP-3, VOLTAGE: 208Y120V, PHASE: 3Ø, WIRE: 4W, AMP: 100A, MOUNTING: SURFACE. Includes columns for Description, Wire, Poles, BKR Size, VA/PHASE (A, B, C), and Notes.

PANEL SCHEDULE table for PANEL: RP-4, VOLTAGE: 208Y120V, PHASE: 3Ø, WIRE: 4W, AMP: 100A, MOUNTING: SURFACE. Includes columns for Description, Wire, Poles, BKR Size, VA/PHASE (A, B, C), and Notes.

PANEL SCHEDULE table for PANEL: GP-1, VOLTAGE: 208Y120V, PHASE: 3Ø, WIRE: 4W, AMP: 150A, MOUNTING: SURFACE. Includes columns for Description, Wire, Poles, BKR Size, VA/PHASE (A, B, C), and Notes.

Table for Panel Schedule (unlabeled), VOLTAGE: 208Y120V, PHASE: 3Ø, WIRE: 4W, AMP: 100A, MOUNTING: SURFACE. Includes columns for Description, Wire, Poles, BKR Size, VA/PHASE (A, B, C), and Notes.

EXISTING PANEL SCHEDULE table for PANEL: HP, VOLTAGE: 208Y120V, PHASE: 3Ø, WIRE: 4W, AMP: 100A, MOUNTING: SURFACE. Includes columns for Description, Wire, Poles, BKR Size, VA/PHASE (A, B, C), and Notes.

REVISED PANEL SCHEDULE table for PANEL: HP, VOLTAGE: 208Y120V, PHASE: 3Ø, WIRE: 4W, AMP: 100A, MOUNTING: SURFACE. Includes columns for Description, Wire, Poles, BKR Size, VA/PHASE (A, B, C), and Notes.

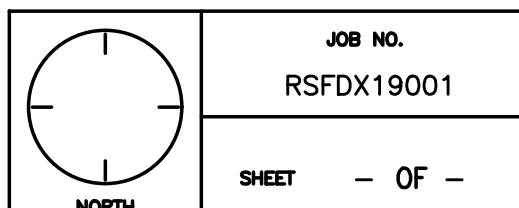


BID SET DATE: 07/17/2020. Form with fields for Bid Set, Revisions, Date, and No.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

ALTERATIONS RIVERSIDE FIRE COMPANY 1 ELECTRICAL SCHEDULES RIVERSIDE FIRE COMPANY NO. 1 14 W. SCOTT STREET RIVERSIDE, N.J. 08075

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JOB NO. RSFDX19001 SHEET - OF -. SCALE: AS NOTED DRAWN BY: NS-L DATE: 03/10/20 APPROVED: DD DRAWING NO. E-501

Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects

RIVERSIDE FIRE COMPANY EXPANSION

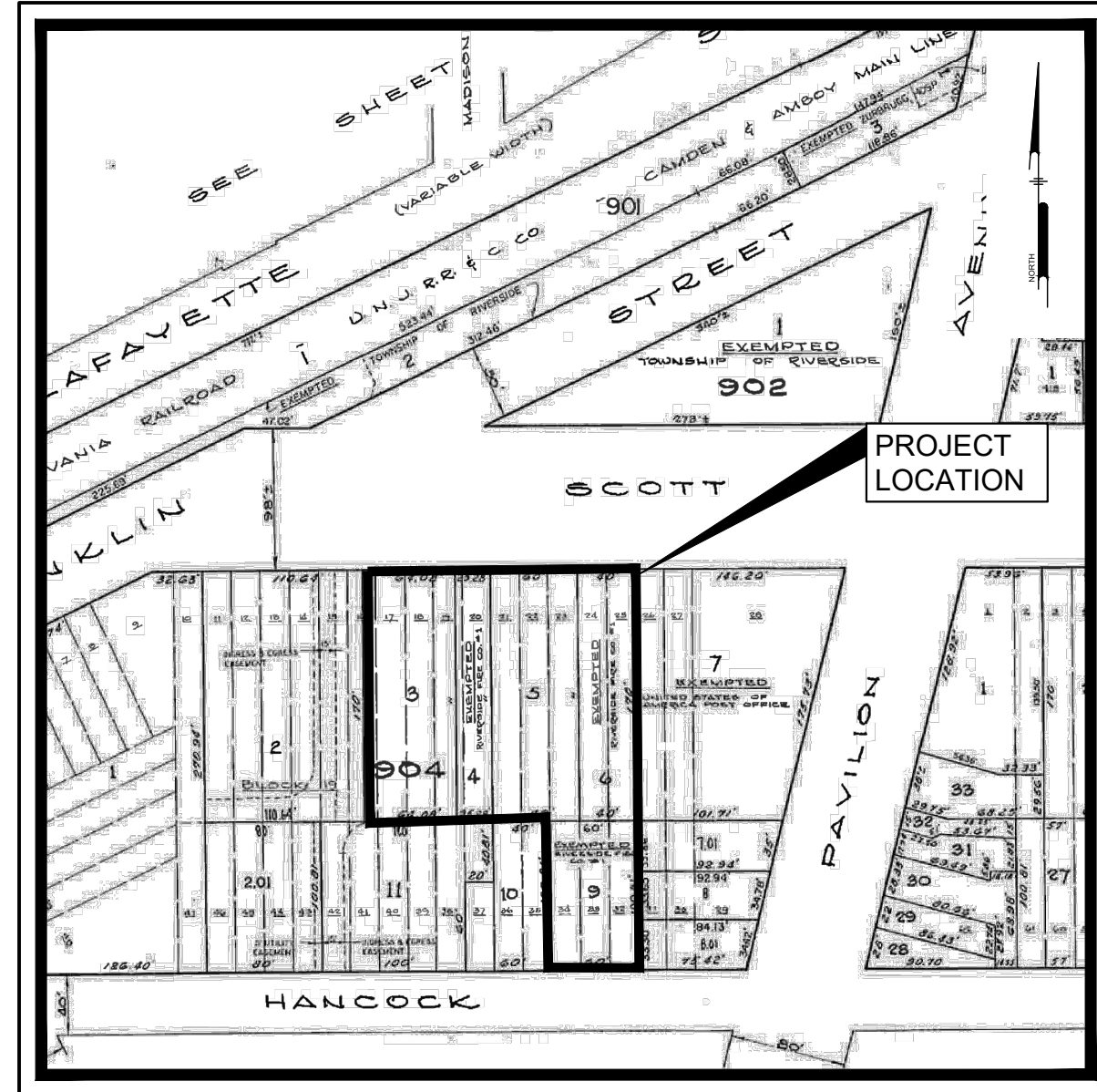
PRELIMINARY AND FINAL SITE PLANS

BLOCK 904, LOTS 3, 4, 5, 6, & 9

RIVERSIDE TOWNSHIP, BURLINGTON COUNTY, NJ

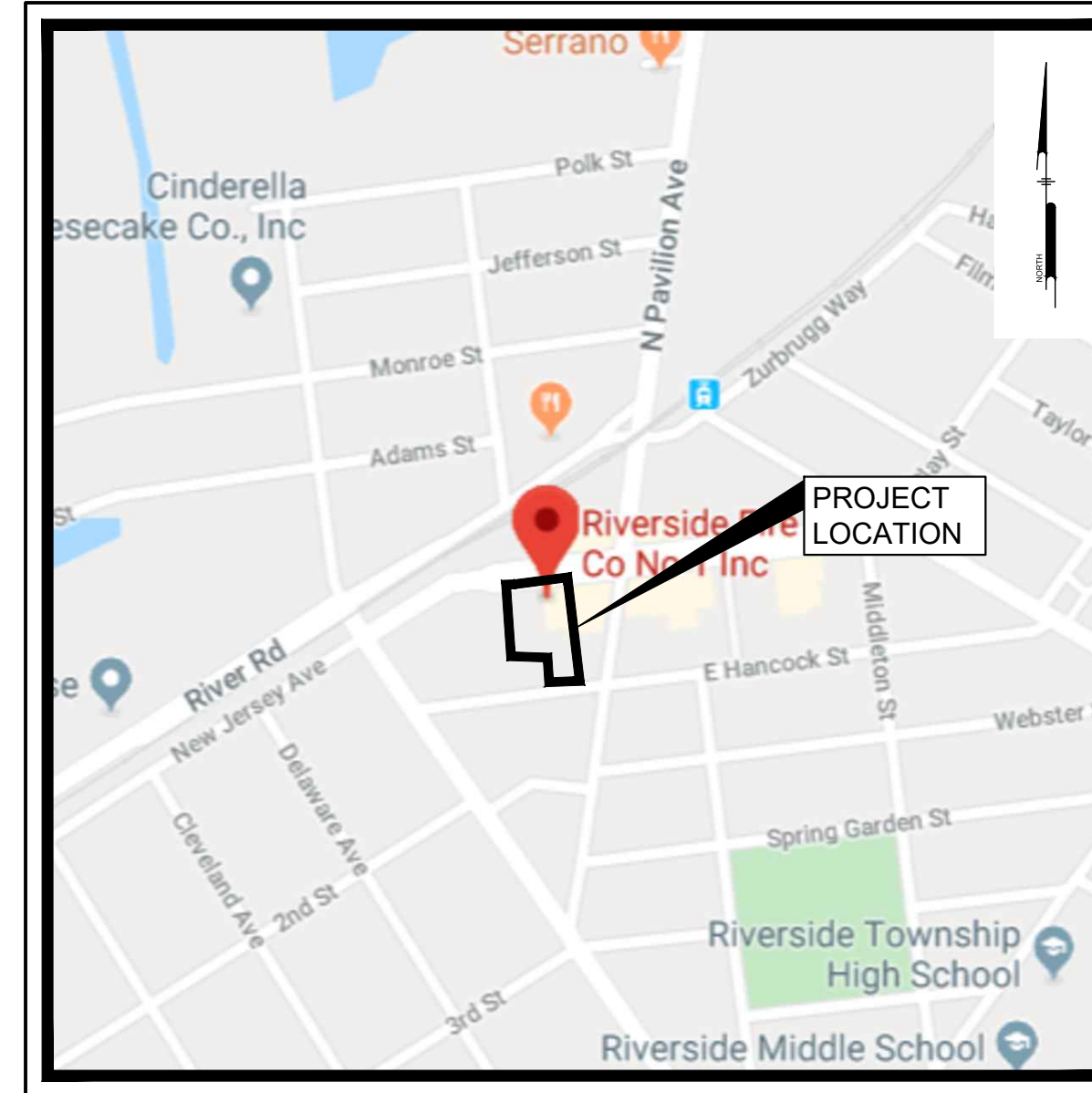
PREPARED FOR:
OWNER/DEVELOPER
RIVERSIDE FIRE COMPANY
14 W SCOTT ST
RIVERSIDE TOWNSHIP, NJ 08075

Sheet List Table			
SHEET NUMBER	DWG TITLE	SHEET TITLE	DRAWING DATE
1	CS0001	COVER SHEET	JULY 17, 2020
2	CS0002	GENERAL NOTES	JULY 17, 2020
3	CS0201	EXISTING CONDITION	JULY 17, 2020
4	CS0501	DEMOLITION PLAN	JULY 17, 2020
5	CS1001	SITE PLAN	JULY 17, 2020
6	CS1501	GRADING PLAN	JULY 17, 2020
7	CS1701	UTILITY PLAN	JULY 17, 2020
8	CS6001	CONSTRUCTION DETAILS	JULY 17, 2020
9	CS6002	CONSTRUCTION DETAILS	JULY 17, 2020
10	CS6003	CONSTRUCTION DETAILS	JULY 17, 2020
11	CS8001	SOIL EROSION AND SEDIMENT CONTROL PLAN	JULY 17, 2020
12	CS8501	SOIL EROSION AND SEDIMENT CONTROL NOTES	JULY 17, 2020
13	CS8502	SOIL EROSION AND SEDIMENT CONTROL DETAILS	JULY 17, 2020
1	V0401	TOPOGRAPHY AND BOUNDARY SURVEY	DECEMBER 3, 2019



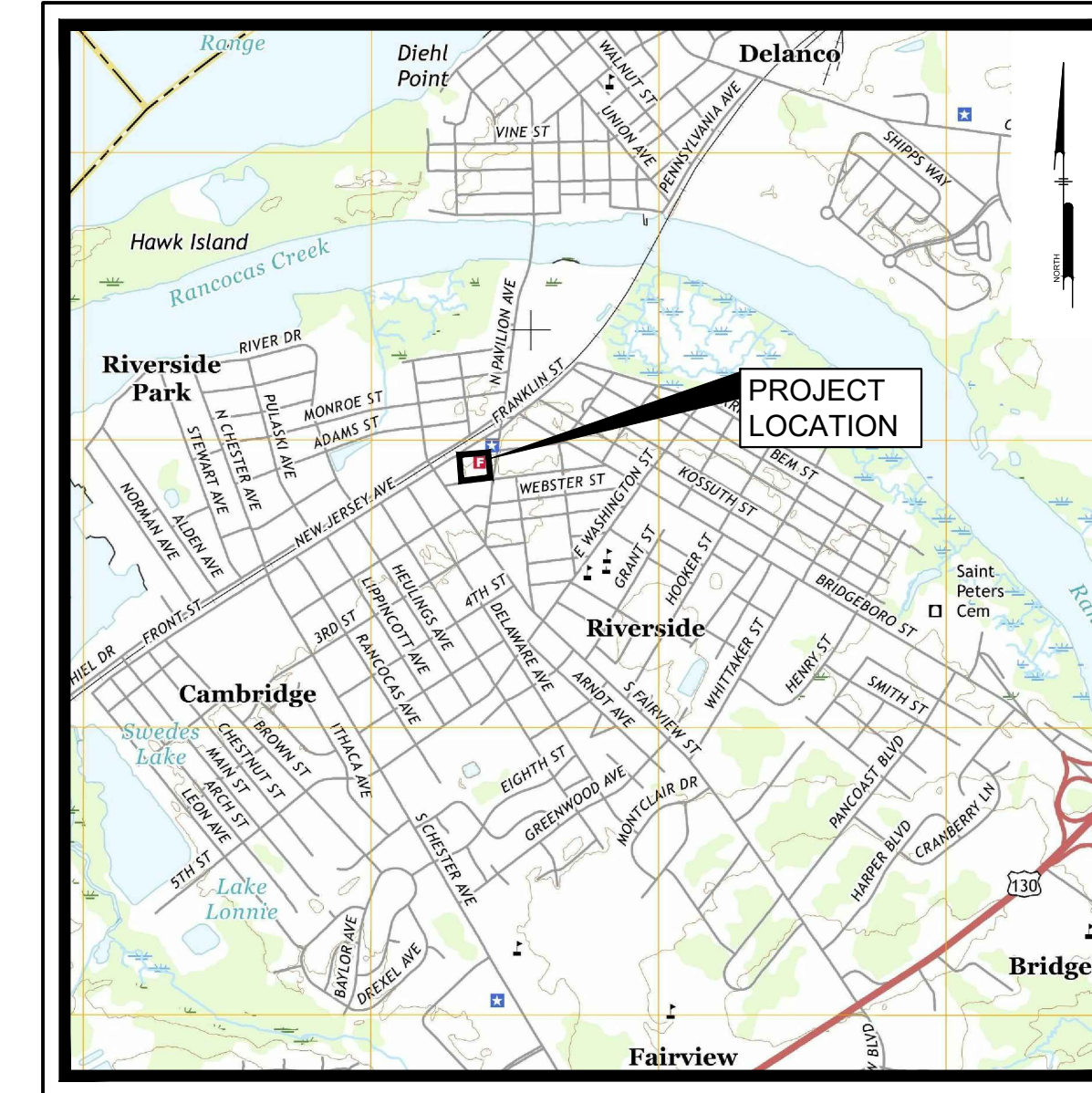
TAX MAP SHEET #9

Scale: N.T.S.



LOCATION MAP

Scale: 1" = 500'



USGS MAP

Scale: 1" = 2000'

PREPARED BY:
PENNONI ASSOCIATES INC.



515 Grove Street, Suite 1B
Haddon Heights, NJ 08035
T 856.547.0505
F 856.547.9174

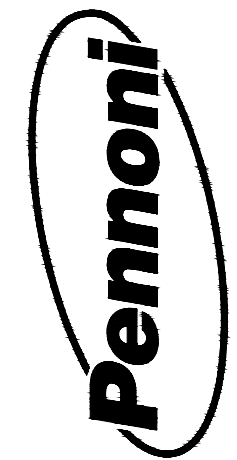
NJ CERTIFICATE OF AUTHORIZATION NO. GA28033300

NEW JERSEY



CALL BEFORE YOU DIG
1-800-272-1000

CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE REQUIREMENTS OF THE NEW JERSEY ONE-CALL DAMAGE PREVENTION SYSTEM AS STATED IN THE "UNDERGROUND FACILITY PROTECTION ACT". TICKET NUMBER(S):



PENNONI ASSOCIATES INC.
515 Grove Street, Suite 1B
Haddon Heights, NJ 08035
T 856.547.0505 F 856.547.9174
NJ COA NO. GA28033300

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ANDREW T. BANFF
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 45121

(Signature)
7/17/2020

RIVERSIDE FIRE COMPANY EXPANSION
14 W SCOTT ST
RIVERSIDE TOWNSHIP

COVER SHEET

RIVERSIDE FIRE COMPANY
14 W SCOTT ST
RIVERSIDE TOWNSHIP, NJ 08075

NO.	DATE	REVISIONS	BY

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PROJECT: **RSFDX19001**
DATE: JULY 17, 2020
DRAWING SCALE: AS NOTED
DRAWN BY: XY
APPROVED BY: ATB

CS0001
SHEET 1 OF 13

**BID SET
NOT FOR CONSTRUCTION**

GENERAL NOTES:

- G-1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN SITE EXAMINATION AND DETERMINING THE ACTUAL NATURE AND EXTENT OF EXISTING CONDITIONS PRIOR TO UNDERTAKING WORK.
G-2. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE OWNER AND OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR ERRORS DISCOVERED ON THE PLAN...
G-3. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER...
G-4. UTILIZE A MOBILE SWEEPER AND WATER TRUCK DAILY FOR DUST CONTROL ALONG HAUL ROUTES AND IN AREAS MADE AVAILABLE FOR CONSTRUCTION.
G-5. PREVENT WATER PONDING RESULTING FROM CONSTRUCTION OPERATIONS. PROMPTLY REMOVE ANY PONDED WATER TO THE SATISFACTION OF THE ENGINEER.
G-6. CONTRACTOR SHALL WORK TO MINIMIZE EXCESS SOIL GENERATED. IF IT IS NECESSARY TO REMOVE SOIL FROM THE SITE, IT SHOULD BE DISPOSED OF AT A PERMITTED DISPOSAL FACILITY...
G-7. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER.
G-8. VERIFY ALL INDICATED CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PERFORMING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR HAMPER THE PERFORMANCE OF THE WORK...
G-9. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, AND THE OWNER, AND SHALL PROMPTLY NOTIFY THE OWNER AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
G-10. THE BOTTOM OF ALL EXCAVATIONS AND COMPACTED EARTHWORK SHALL BE INSPECTED AND APPROVED BY A REGISTERED GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE STRUCTURES AND/OR BACKFILLING. APPROVAL BY THE GEOTECHNICAL ENGINEER, IN WRITING, SHALL INDICATE THAT THE SOIL IS ADEQUATE TO SAFELY SUPPORT A FOUNDATION PRESSURE OF 2,000 PSF. EXCAVATION BELOW THE ANTICIPATED BOTTOMS OF FOOTINGS ALONG WITH PLACEMENT OF COMPACTED BACKFILL MAY BE REQUIRED. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST, AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS.
G-11. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
G-12. THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
G-13. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
G-14. ALL TRAFFIC CONTROL DEVICES TO BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. SIGN POSTS SHALL BE GALVANIZED STEEL AND ALL SIGN MATERIALS SHALL BE MADE OF REFLECTIVE SHEETING ON ALUMINUM BLANKS IN ACCORDANCE WITH NJDOT STANDARD SPECIFICATIONS.
G-15. ALL DIMENSIONING IS TO CURB OR BUILDING FACE, UNLESS OTHERWISE NOTED.
G-16. UNLESS OTHERWISE INDICATED, ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2007, AS AMENDED AND SUPPLEMENTED TO DATE.
G-17. ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, UNLESS OTHERWISE NOTED.
G-18. ALL NEW CONCRETE PAVING AND CURBING SHALL MEET FLUSH WITH EXISTING.
G-19. SHOP DRAWINGS FOR PROPOSED CAST-IN-PLACE AND/OR PRECAST CONCRETE STRUCTURES SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION OR PROCUREMENT.
G-20. THE CONTRACTOR SHALL NOTIFY THE SOIL CONSERVATION DISTRICT A MINIMUM OF 72 HOURS BEFORE THE BEGINNING OF CONSTRUCTION.
G-21. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
G-22. UPON COMPLETION OF THE WORK, REMOVE ALL DEBRIS, EQUIPMENT AND UNUSED MATERIALS FROM OWNER PROPERTY AND RESTORE THE AREAS TO THEIR ORIGINAL CONDITION, AS APPROVED BY THE ENGINEER.
G-23. BID QUANTITIES SHOWN HEREIN ARE ALL INCLUSIVE TO THE PAY ITEM TO BE CONSTRUCTED. THERE SHALL BE NO SEPARATE PAYMENT FOR ANY ITEM SHOWN WITHIN THE CONTRACT DOCUMENTS THAT ARE NOT SPECIFICALLY IDENTIFIED AS A PAY ITEM. THERE SHALL BE NO SEPARATE PAYMENTS TO CONSTRUCT ANY INCIDENTAL SITE FEATURE REQUIRED TO FINISH SITE CONSTRUCTION. THE COSTS OF ALL IMPROVEMENTS SHALL BE INCLUDED WITHIN THE VARIOUS PAY ITEMS UNIT COST.
G-24. THE OWNER RETAINS THE RIGHT TO INCREASE, DECREASE AND/OR ELIMINATE ANY PAY ITEM QUANTITY. PAYMENT SHALL BE BASED UPON THE INSTALLED PAY ITEM QUANTITY. THERE SHALL NOT BE ANY ADDITIONAL PAYMENT DUE TO CHANGES IN PAY ITEM QUANTITIES.
G-25. THE CONTRACTOR IS REQUIRED TO PROVIDE ALL TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE MUTCD. THE COSTS OF TRAFFIC CONTROL DEVICES SHALL BE INCLUDED WITHIN THE VARIOUS BID ITEMS UNIT COST. THERE SHALL BE NO SEPARATE PAYMENT.

HIGH VOLTAGE PROXIMITY ACT

THE CONTRACTOR IS NOTIFIED THAT ALL PROVISIONS OF THE HIGH-VOLTAGE PROXIMITY ACT, P.L. 1948, c. 249 AS AMENDED THROUGH MAY 20, 1987 SHALL BE STRICTLY ADHERED TO. THE CONTRACTOR SHALL ALSO ADHERE TO ALL PROVISIONS OF PART 1926.550, SUBPART N OF THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF DECEMBER, 1970. PARTICULAR ATTENTION IS DIRECTED TO THE PROVISIONS OF THE ABOVE ACT REQUIRED WARNING SIGNS, NOTIFICATION TO POWER COMPANY AND RESPONSIBILITY FOR SAFEGUARDS AND ALSO PROHIBITED ACTIVITY.

A COPY OF THE HIGH-VOLTAGE PROXIMITY ACT IS AVAILABLE IN THE OFFICE OF THE COUNTY ENGINEER OR MAY BE OBTAINED FROM THE NEW JERSEY DEPARTMENT OF LABOR, DIVISION OF WORKPLACE STANDARDS, OFFICE OF SAFETY COMPLIANCE, TRENTON, NJ 08625 PURSUANT TO N.J.A.C. 5:23-2.21 (a) OF THE NEW JERSEY CONSTRUCTION CODE AND CFR 1926.32 (f) (OSHA COMPETENT PERSON). THE GENERAL CONTRACTOR IS DESIGNATED AS THE "RESPONSIBLE PERSON IN CHARGE OF CONSTRUCTION" AND THE SITE SUPERVISOR RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS.

THE CONTRACTOR AND/OR OWNER SHALL PROVIDE FULL-TIME GEOTECHNICAL OBSERVATION DURING EARTHWORK AND FOUNDATION CONSTRUCTION.

UTILITY NOTES:

- C-1. BEFORE STARTING WORK, CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE TO RIVERSIDE TOWNSHIP, ALL UTILITY COMPANIES AND INTERESTED PARTIES AND THE OWNER PRIOR TO CONSTRUCTION. THE SCHEDULE SHALL DETAIL ALL ITEMS ASSOCIATED WITH CARRYING OUT THE CONTRACT ON A DAILY BASIS. CONSTRUCTION SHALL BE SEQUENCED SUCH THAT NO MORE THAN ONE HYDRANT IS OUT OF SERVICE AT ANY GIVEN TIME. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE FIRE MARSHALL WITH REGARD TO HYDRANT SERVICE INTERRUPTIONS NOT LESS THAN 3 DAYS PRIOR TO INTERRUPTION.
C-2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS ATTEMPTED TO LOCATE AND INDICATE EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES.
C-3. BEFORE EXCAVATING THE PROJECT AREA THE CONTRACTOR IS TO VERIFY THE LOCATION OF ANY UNDERGROUND UTILITY (GAS MAINS, WATER MAINS, SEWER LINES, TELEPHONE LINES, ETC.). SHOULD ANY UNDERGROUND UTILITY INTERFERE WITH PROJECT CONSTRUCTION THE ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES THREE (3) DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION FOR ACCURATE FIELD LOCATIONS. FOR UTILITY MARKOUT CALL 1-800-272-1000.
C-4. TREES SHALL BE PLANTED A MINIMUM OF 10' FROM FIRE HYDRANTS AND WATER LINES AND SANITARY LINES.
C-5. SEWERS AND WATER MAINS GENERALLY SHALL BE SEPARATED A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE WATER AND SEWER ENTITY SHALL BE MADE. IN GENERAL, THE VERTICAL SEPARATION AT A CROSSING OF SEWER AND WATER LINE SHALL BE AT LEAST 18 INCHES, WHERE THIS IS NOT POSSIBLE, THE SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10FT ON EITHER SIDE OF THE CROSSING OR OTHER SUITABLE PROTECTION SHALL BE PROVIDED.
C-6. PIPE BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
C-7. BACKFILL IN THE TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE MUNICIPALITY'S INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
C-8. CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH TO INSTALL NEW UTILITY AND BACKFILL BY THE END OF EACH WORK DAY. OPEN TRENCH SHALL NOT BE PERMITTED AT ANY TIME CONTRACTOR IS NOT ACTIVELY WORKING ON PORTION OF UTILITY REQUIRING OPEN EXCAVATION.
C-9. EXISTING MAINS TO BE ABANDONED IN PLACE SHALL BE CAPPED AND FILLED WITH AN APPROVED CONTROLLED LOW STRENGTH MATERIAL (CLSM).
C-10. ALL SANITARY SEWER FORCEMAIN PIPING SHALL BE PVC CLASS 150 (DR18) AWWA C900 UNLESS OTHERWISE NOTED. ALLGravity SANITARY SEWER SHALL BE SDR 26 UNLESS OTHERWISE NOTED.
C-11. STORM SEWER PIPING: MINIMUM CLASS III RCP, WALL B IN ACCORDANCE WITH CURRENT N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION UNLESS OTHERWISE NOTED.
C-12. TRENCH DETAILS ARE INTENDED TO PROVIDE INFORMATION REGARDING BACKFILLING MATERIALS AND GENERAL MATERIAL DEPTHS AND PAVEMENT LIMITS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND SHALL PROVIDE APPROPRIATE SAFETY MEASURES, SHEETING, AND BRACING AS MAY BE REQUIRED DUE TO FIELD CONDITIONS. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA STANDARDS AND DETAILS FOR TRENCH EXCAVATION. THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR FIELD CONDITIONS, TRENCHING OR BACKFILLING OPERATIONS DURING CONSTRUCTION.
C-13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND PRECLUDING ANY PONDING OF WATER IN ALL AREAS, EXCEPTING REASONABLE AND SAFE DEPTHS WITHIN THE SEDIMENTATION BASIN.
C-14. GAS, ELECTRIC, TELEPHONE AND CABLE TV LINES MAY BE INSTALLED BY THE RESPECTIVE UTILITY. THE EXACT LOCATION OF EACH MAIN SHALL BE COORDINATED BY THE OWNER/GENERAL CONTRACTOR AND SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW PRIOR TO INSTALLATION.
C-15. EXISTING STREET SURFACES AND OTHER SURFACES DISTURBED BY THE CONSTRUCTION OF FACILITIES FOR THIS PROJECT SHALL BE RESTORED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY ENGINEER.
C-16. RESET ALL WATER VALVES BOXES, HYDRANTS, SANITARY CLEANOUTS OR VENTS, GAS VALVES, METERS, SANITARY RIMS, INLET GRATES AND ALL OTHER UTILITY BOXES OR RIMS TO NEW GRADES AS REQUIRED. THE COST SHALL BE INCLUDED WITHIN THE VARIOUS PAY ITEMS. THERE SHALL BE NO SEPARATE PAYMENT.
C-17. ALL WATER PIPES, FITTINGS AND VALVES SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA REQUIREMENTS.
C-18. THE MUNICIPALITY'S ENGINEER MUST BE GIVEN 48 HOURS ADVANCE NOTICE OF SANITARY SEWER/WATERMAIN WORK AND THE REPRESENTATIVES MUST WITNESS THE WORK/CONNECTION.
C-19. ALL PRECAST CONCRETE INLETS SHALL CONFORM TO ASTM-C913 "PRECAST CONCRETE WATER AND WASTEWATER STRUCTURES".
C-20. ALL INLET AND MANHOLE PIPE OPENINGS SHALL BE SEALED WITH NON-SHRINK GROUT OR APPROVED EQUAL.
C-21. WATER MAIN APPURTENANCES, SUCH AS BUT NOT LIMITED TO: FITTINGS AND VALVES SHALL BE BLOCKED WITH CONCRETE AS DETAILED HEREIN.
C-22. THRUST BLOCKS AND RESTRAINTS SHALL BE INSTALLED AT ALL BENDS AND FITTINGS. THRUST BLOCKS SHALL HAVE TWENTY-EIGHT (28) DAY STRENGTH OF 4,000 P.S.I.
C-23. EXISTING SANITARY SEWERS THAT ARE TO REMAIN IN SERVICE SHALL REMAIN IN ACTIVE OPERATION AT ALL TIMES. EXISTING WATER MAINS SHALL REMAIN IN ACTIVE OPERATION EXCEPT AS NECESSARY FOR CONNECTIONS. PROVIDE A MINIMUM OF TWO WEEKS NOTICE TO THE ENGINEER AND OWNER PRIOR TO SERVICE DISRUPTIONS.
C-24. ALL UTILITIES TO BE INSTALLED UNDERGROUND EXCEPT WHERE NOTED.
C-25. ALL SANITARY SEWER, WATER, ELECTRIC, COMMUNICATION LINES SHALL BE INSTALLED WITH DETECTABLE WARNING TAPE WITH THE WORDING "CAUTION BURIED LINE BELOW" THE NAME OF THE TYPE OF UTILITY SHALL BE PROVIDED ON THE DETECTABLE WARNING TAPE.

200 FT PROPERTY OWNERS LIST

Table with columns: Block, Lot, Property Owner, No, Mailing Address, Street, Town, State, Zip Code. Lists property owners in the area including New Jersey Transit Corp, Townships of Riverside, and various individuals.

DEMOLITION NOTES

- D-1. ANY WATER METERS DISCOVERED DURING THE COURSE OF DEMOLITION SHALL BE IDENTIFIED AND DOCUMENTED PRIOR TO REMOVAL.
D-2. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 241 AND OSHA STANDARDS.
D-3. ALL HOLES AND TRENCH AREAS REMAINING AFTER DEMOLITION SHALL BE BACKFILLED TO MATCH EXISTING GRADE. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST, AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS.
D-4. WHERE A PIPE BEING REMOVED IS CONNECTED TO AN EXISTING STRUCTURE, EITHER REMOVE THE PIPE AND FILL THE WALL OPENING WITH CONCRETE, OR CUT THE PIPE WITHOUT PERCUSSION NOT MORE THAN 6" FROM THE OUTSIDE FACE OF THE STRUCTURE AND FILL THE REMAINING LENGTH OF PIPE WITH CONCRETE.
D-5. THE REMOVAL OF EXISTING BOLLARDS, FENCE POSTS & FOOTINGS SHALL INCLUDE THE PIPE/ POST AND CONCRETE FOOTING IN ITS ENTIRETY.
D-6. ALL EXISTING CATCH BASINS AND MANHOLES SHALL BE FIELD LOCATED PRIOR TO WORK AND THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PERTAINING TO LOCATIONS SHOWN ON THE CONTRACT DRAWINGS.
D-7. CONTRACTOR SHALL NOTIFY OWNER AND THE ENGINEER 72 HRS. PRIOR TO INITIATING UTILITY ABANDONMENT.
D-8. IF FIELD CONDITIONS DIFFER FROM THOSE SHOWN ON THIS PLAN THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND DIG TEST PITS AS NECESSARY TO VERIFY LOCATION.
D-9. ALL UTILITIES SHALL BE REMOVED TO A MINIMUM OF FOUR (4) FT BELOW EXISTING GROUND SURFACE. DEMOLISH FIRE HYDRANT THRUST BLOCKS IF ENCOUNTERED.
D-10. ELECTRICAL UTILITIES SHALL BE DISCONNECTED PRIOR TO BEGINNING ANY DEMOLITION WORK. DEMOLITION SHALL INCLUDE THE REMOVAL OF BURIED AND EXPOSED CONDUIT IN THE AREA DESIGNATED FOR DEMOLITION. SEALING ENDS OF ALL BURIED CONDUIT ABANDONED IN PLACE AND REMOVING ALL POWER AND CONTROL WIRING BETWEEN THE DEMOLISHED FACILITY AND THE TERMINAL JUNCTION BOX, CIRCUIT BREAKER, OR METER CONTROL CENTER SUPPLYING POWER TO THE FACILITY.
D-11. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE DISCONNECTION AND/OR REMOVAL OF ANY SERVICE UTILITIES ATTACHED/CONNECTED/RECIEVING/ SUPPLYING, ETC. TO ANY BUILDING AND/OR STRUCTURE NOTED HEREIN TO BE DEMOLISHED. CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS OR APPROVALS ASSOCIATED WITH SAME.
D-12. ALL ACTIVE CONSTRUCTION SITES AND LOCATIONS SHALL BE PROVIDED WITH NON-COMBUSTIBLE REFUSE CONTAINER(S) IN SUCH NUMBERS AS SHALL BE NECESSARY TO CONTAIN ALL COMBUSTIBLE REFUSE GENERATED BY THE CONSTRUCTION ACTIVITIES. ALL COMBUSTIBLE REFUSE, RUBBISH AND DEBRIS SHALL BE COLLECTED UP AND DEPOSITED IN THE CONTAINER(S) ON A DAILY BASIS. REFUSE CONTAINER(S) SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM ANY BUILDING, STRUCTURE, LOT LINE OR COMBUSTIBLE MATERIAL STORAGE LOCATION.
D-13. WHILE CONSTRUCTION ACTIVITIES ARE IN PROGRESS, AT LEAST FOUR(4) PORTABLE FIRE EXTINGUISHERS HAVING A RATING OF AT LEAST 10-A, 80-BC SHALL BE PROVIDED, AND SHALL BE MAINTAINED IN A LOCATION APPROVED BY THE FIRE OFFICIAL. PERSONNEL NORMALLY ON THE CONSTRUCTION SITE SHALL BE INSTRUCTED IN THE USE OF THE FIRE EXTINGUISHERS PROVIDED.
D-14. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING STRUCTURES AS IDENTIFIED ON THE DEMOLITION PLAN, CS0501. THE CONTRACTOR MUST NOTIFY THE ENGINEER IF ANY DAMAGE OCCURS TO THESE ITEMS. THE ENGINEER/ OWNER WILL DETERMINE WHETHER THE DAMAGED ITEMS CAN BE REPAIRED, OR SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
D-15. PRIOR TO REMOVAL OF EXISTING FULL-DEPTH ASPHALTIC AND/OR CONCRETE PAVEMENT, CONTRACTOR SHALL SAWCUT TO FULL DEPTH TO PROVIDE A CLEAN STRAIGHT EDGE. CONCRETE SIDEWALK AND/OR CURB SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.
D-16. ALL TREES/SHRUBS/BRUSH WITHIN THE LIMITS OF DISTURBANCE SHOWN AND/OR AS DIRECTED BY THE ENGINEER SHALL BE COMPLETELY REMOVED, INCLUDING GRUBBING.
D-17. EXISTING SHED TO BE RELOCATED AS INDICATED SHALL BE DIRECTED PER THE OWNER. RELOCATING COST SHALL INCLUDE FULL DEMOLITION.
ENVIRONMENTAL NOTES:
E-1. ALL MATERIAL BROUGHT ON SITE SHALL BE CLEAN FILL, SAMPLED, AND ANALYZED IN ACCORDANCE WITH STANDARD NJDEP QUALITY ASSURANCE STANDARDS AND PRACTICES AT A MINIMUM, AS SPECIFIED IN N.J.A.C. 7:29E. TO FULLY CHARACTERIZE THE CONTAMINANTS IN THE LATEST SOIL CLEANUP CRITERIA (SCC). THE CONTRACTOR SHALL SUBMIT TO THE OWNER WRITTEN DOCUMENTATION FROM A LABORATORY CERTIFIED IN NEW JERSEY ENVIRONMENTAL LABORATORY CERTIFICATION PROGRAM (ELCP) AND IN ACCORDANCE WITH N.J.A.C. 7:18 PRIOR TO PLACEMENT OF THE MATERIAL ON SITE. THE MATERIAL MUST NOT CONTAIN CONTAMINANTS ABOVE THE MOST RESTRICTIVE DIRECT CONTACT OR IMPACT TO GROUNDWATER (IGW) SCC.
E-2. BY GENERAL SITE OBSERVATION, NO FRESHWATER WETLANDS EXIST ON SITE.

NOTE

- 1. THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (E) OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (F) (OSHA COMPETENT PERSON).
2. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PROPOSED DISTURBANCE AREA.
3. THE CONTRACTOR SHALL OBTAIN ROAD OPENING PERMITS IF REQUIRED BY THE LOCAL COMMUNITY AND/OR STATE AGENCY AND FOLLOW ALL TRAFFIC PROVISIONS CONTAINED WITHIN THE PERMIT WHICH WILL INCLUDE FOLLOWING THE REQUIREMENTS OF THE MUTCD.

LEGEND

Legend table with columns: EXISTING, PROPOSED, EXISTING, PROPOSED. Lists various symbols for utility lines, structures, and terrain features.

Professional Engineer information for Andrew T. Banff, Pennoni Associates Inc., New Jersey License No. GE 45121, dated 7/17/2020.

RIVERSIDE FIRE COMPANY EXPANSION GENERAL NOTES

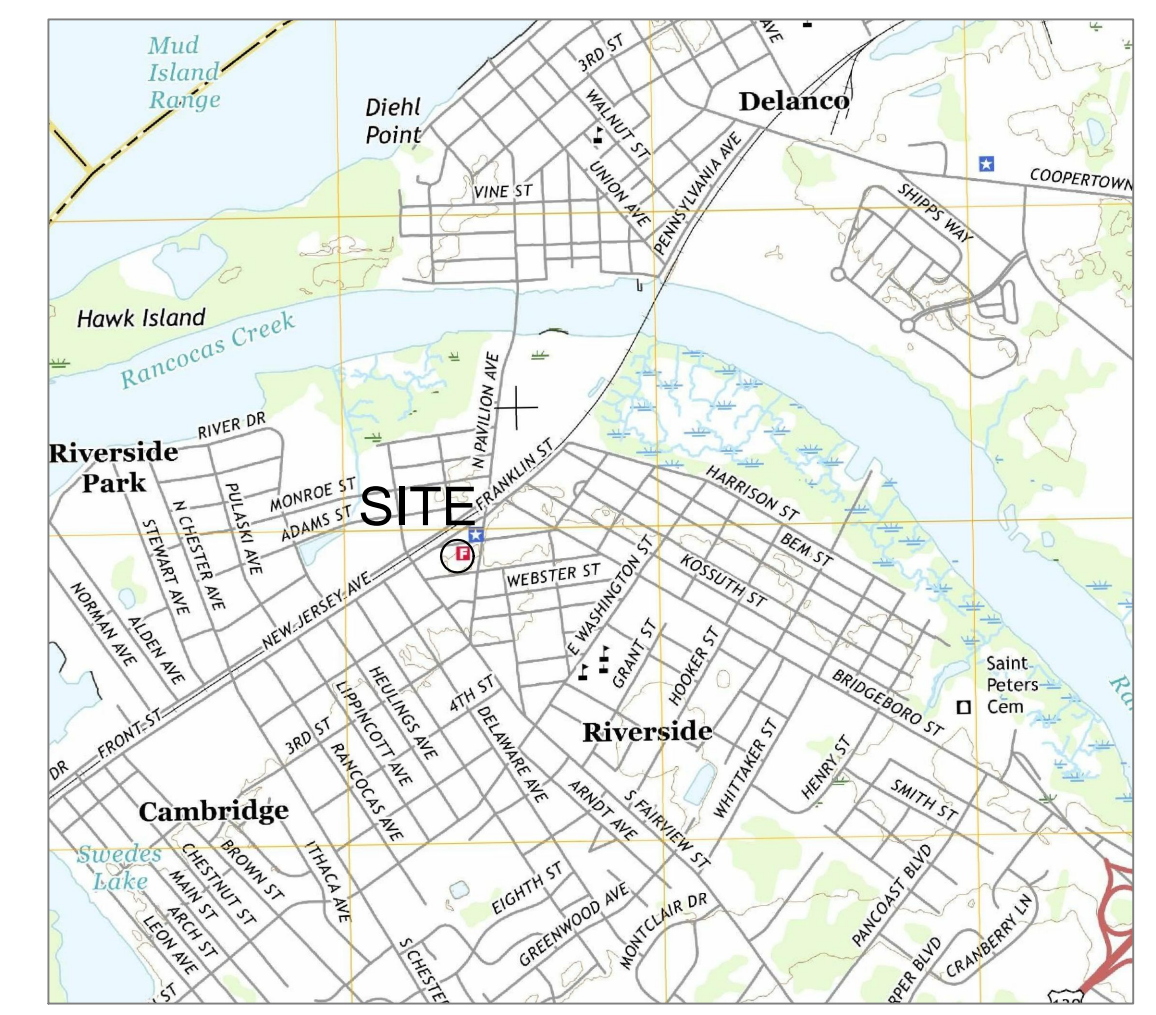
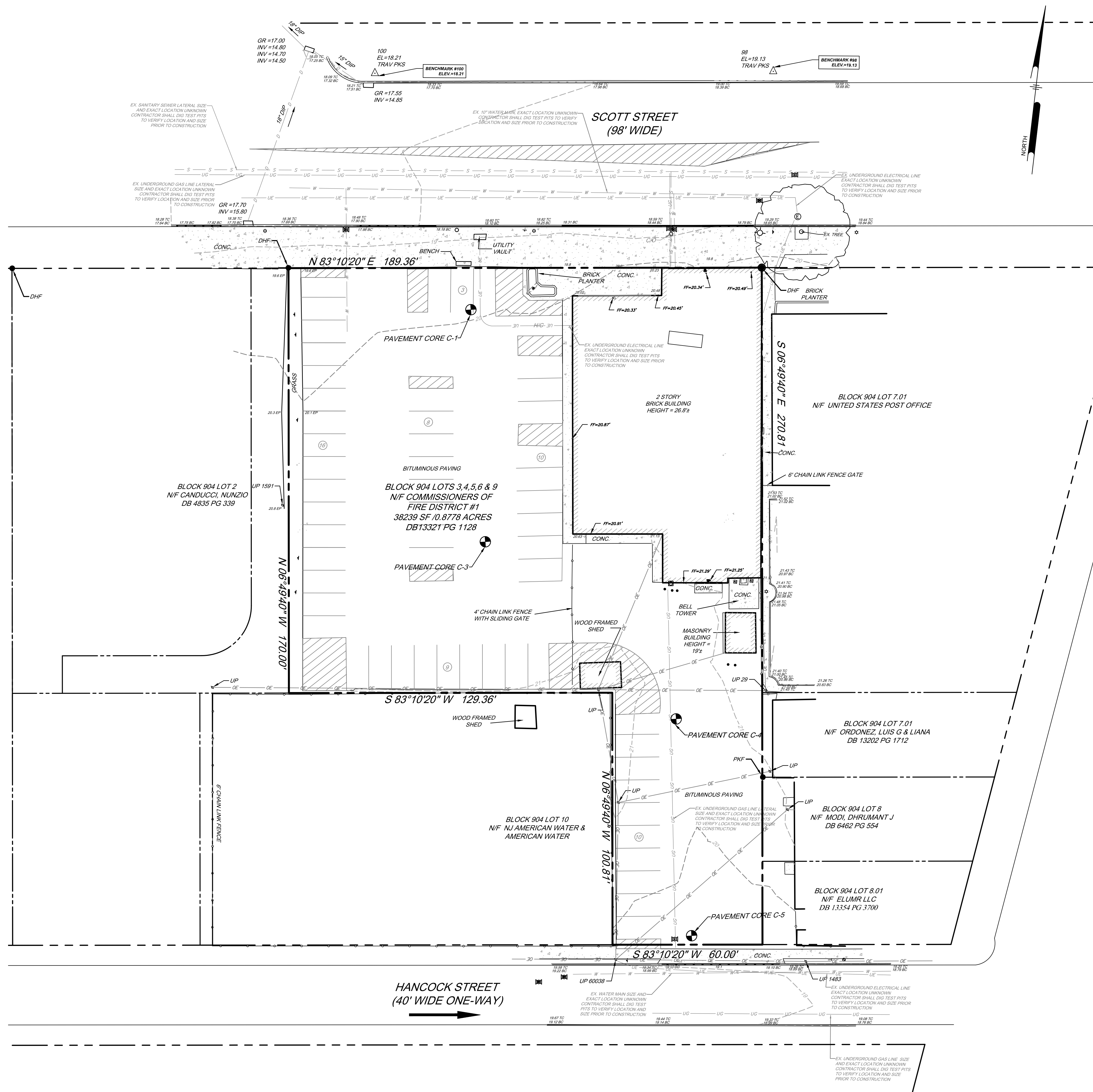
Table with columns: NO., DATE, REVISIONS. A grid for tracking revisions to the drawing.

Project information: PROJECT R5FDX19001, DATE JULY 17, 2020, DRAWING SCALE NTS, DRAWN BY XY, APPROVED BY ATB, SHEET 2 OF 13.

BID SET NOT FOR CONSTRUCTION

Vertical text on the left margin: PROJECT STATUS, RIVERSIDE FIRE COMPANY EXPANSION, SHEET 2 OF 13, PENNONI ASSOCIATES INC.

U:\Admin\BIDSET\BIDSET\19001 - Riverside Fire Co. Renovation and Addition\CS0201.dwg
 PLOTTED: 7/20/2020 2:09 PM BY: shihang ye PROJECT STATUS:



LOCATION MAP

NOTES:

EXISTING INFORMATION SHOWN BASED ON FIELD SURVEYS PERFORMED BY PENNONI ASSOCIATED INC. ON 12/03/2019.

EXISTING INFORMATION SHOWN IS OBTAINED FROM FIELD SURVEY PLAN ENTITLED "TOPOGRAPHIC AND BOUNDARY SURVEY", DATED ON DECEMBER 3, 2019, SIGNED AND SEALED BY KEITH M. LUDWIG, PLS, DATED ON DECEMBER 6, 2019.

IT IS THE RESPONSIBILITY OF ALL DESIGNERS & CONTRACTORS UTILIZING THIS PLAN & THE INFORMATION CONTAINED THEREON TO CALL THE NJ ONE-CALL SYSTEM AT 1-800-272-1000 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY, RECORD PLANS, AND EXISTING DRAWINGS. PENNONI MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA.

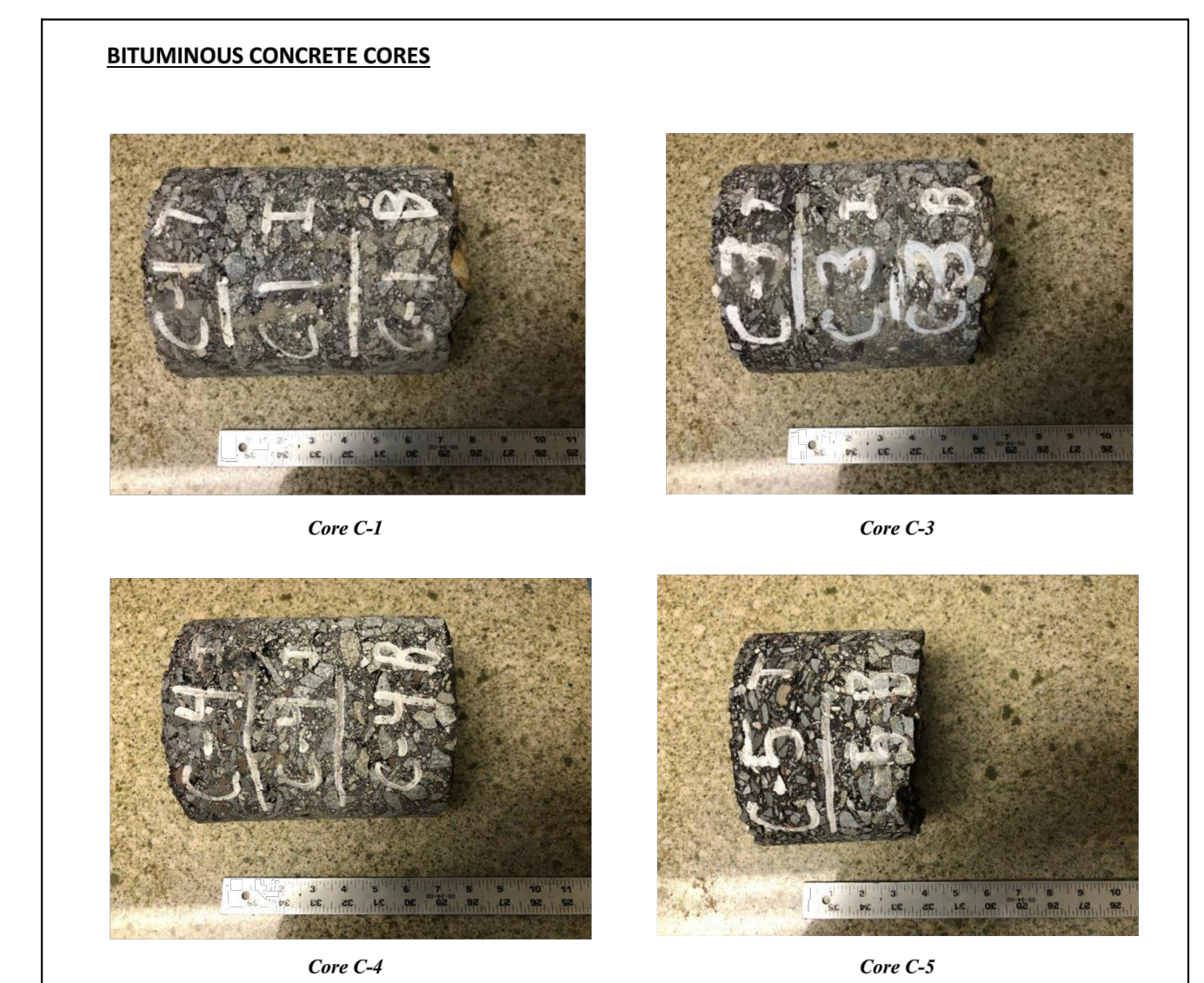
HORIZONTAL INFORMATION BASED ON NEW JERSEY PLANE COORDINATE SYSTEM NORTH AMERICAN DATUM (NJSPCS NAD 83).

VERTICAL INFORMATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).

Table 1: Asphalt/Concrete Core Location, Dimensions and Selected Testing Summary

Core ID	Date Extracted	Diameter (in)	As-Received Overall Concrete Length (in)	Location	Testing Performed
C-1	11/18/2019	5.67	6 1/2	Parking Lot	Thickness
C-3	11/18/2019	5.67	6 1/4	Parking Lot	Thickness
C-4	11/18/2019	5.67	6 1/2	Parking Lot	Thickness
C-5	11/18/2019	5.67	4 1/4	Parking Lot	Thickness

BITUMINOUS CONCRETE CORES LOG



BITUMINOUS CONCRETE CORES

NOTES:

THE FOLLOWING SOIL BORING LOGS SHOWN HEREON WERE OBTAINED FROM A REPORT ENTITLED "BITUMINOUS CONCRETE AND CONCRETE CORING". THE CONTRACTOR SHALL REVIEW THIS REPORT PRIOR TO CONSTRUCTION AND IMPLEMENT THE RECOMMENDATIONS PROVIDED WITHIN SUCH REPORT.



**BID SET
NOT FOR CONSTRUCTION**

Pennonni

PENNONI ASSOCIATES INC.
 515 Grove Street, Suite 1B
 Haddon Heights, NJ 08035
 T 856.547.0505 F 856.547.9174
 NJ COA. NO. G428033300

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ANDREW T. BANFF
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE 45121

Andrew T. Banff
 7/17/2020

RIVERSIDE FIRE COMPANY EXPANSION
 14 W SCOTT ST
 RIVERSIDE TOWNSHIP

EXISTING CONDITION

RIVERSIDE FIRE COMPANY
 14 W SCOTT ST
 RIVERSIDE TOWNSHIP, NJ 08075

NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RELATING THEREFROM.

PROJECT: **RSFDX19001**

DATE: **JULY 17, 2020**

DRAWING SCALE: **1" = 20'**

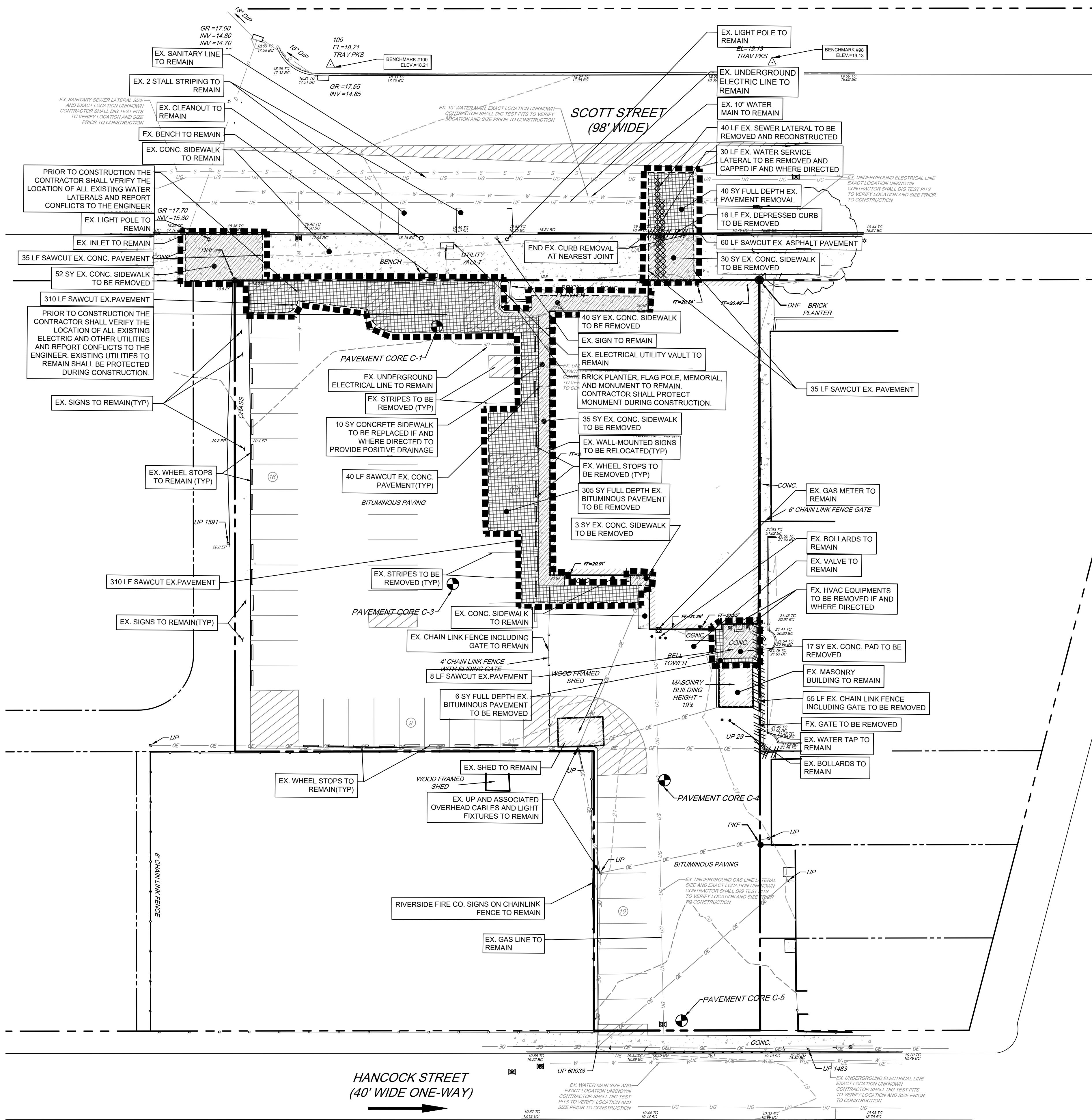
DRAWN BY: **XY**

APPROVED BY: **ATB**

CS0201

SHEET **3** OF **13**

U:\A\2020\RFSD\RFSD\19001 - Riverside Fire Co. Renovation and Addition\CS0501_SHEET\CS0501.dwg PLOTTED: 1/20/2020 3:30 PM BY: shahang ye PROJECT STATUS:



LEGEND

	EXISTING ASPHALT REMOVAL
	EXISTING CONCRETE REMOVAL
	CONCRETE CURB REMOVAL
	UTILITY REMOVAL
	DEMOLITION LIMIT
	FENCE OR WALL REMOVAL



**BID SET
NOT FOR CONSTRUCTION**

PENNONI ASSOCIATES INC.
515 Grove Street, Suite 1B
Haddon Heights, NJ 08035
T 856.547.0505 F 856.547.9174
NJ COA. NO. G428033300

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ANDREW T. BANFF
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 45121

[Signature] 7/17/2020

RIVERSIDE FIRE COMPANY EXPANSION
14 W SCOTT ST
RIVERSIDE TOWNSHIP

DEMOLITION PLAN

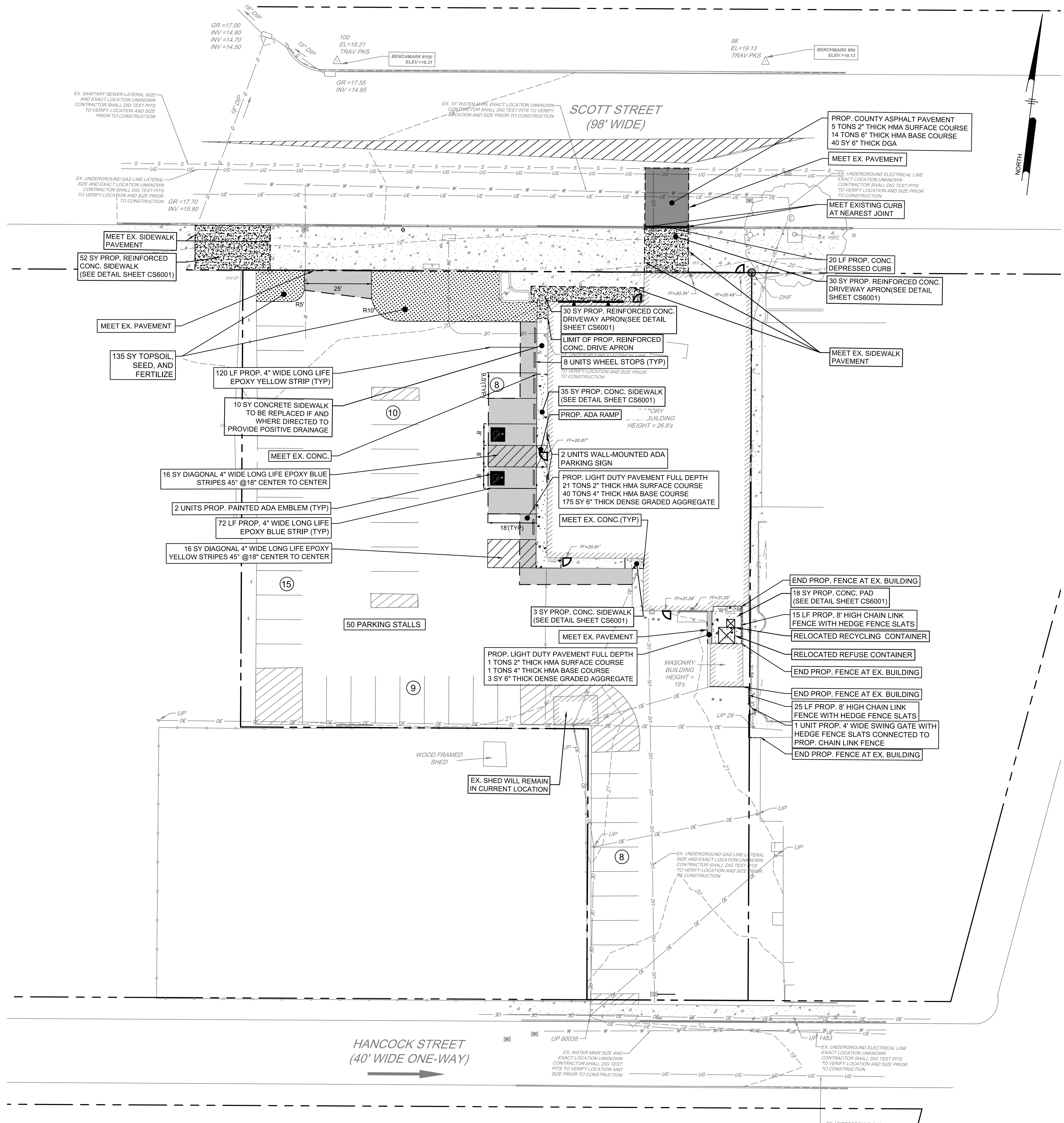
RIVERSIDE FIRE COMPANY
14 W SCOTT ST
RIVERSIDE TOWNSHIP, NJ 08075

NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

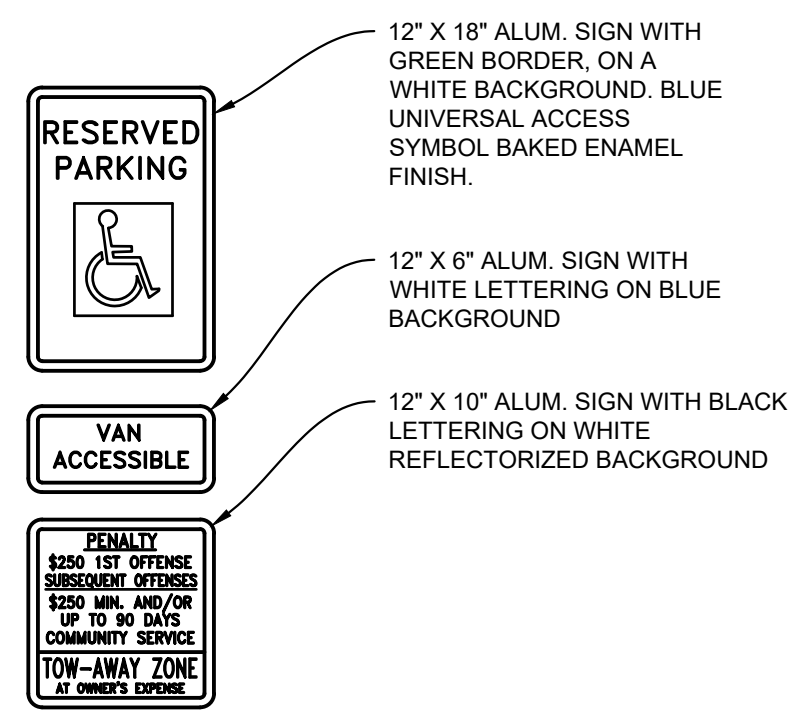
PROJECT: **RSFDX19001**
DATE: **JULY 17, 2020**
DRAWING SCALE: **1" = 20'**
DRAWN BY: **XY**
APPROVED BY: **ATB**

CS0501
SHEET **4** OF **13**



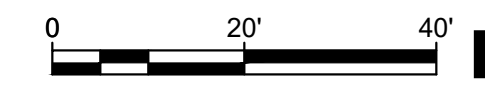
LEGEND

- PROP. LIGHT DUTY PAVEMENT
- PROP. COUNTY ROAD PAVEMENT
- PROP. CONC. PAVEMENT
- PROP. REINFORCED CONC. PAVEMENT
- PROP. TOPSOIL, SEEDING AND FERTILIZING



ADA PARKING SIGN DETAIL
N.T.S.

- NOTE:**
- ALL CONCRETE SIDEWALK WITHIN ROW AND/OR WITHIN AREAS OF VEHICLE TRAFFIC SHALL BE REINFORCED.
 - CONTRACTOR SHALL OBTAIN COUNTY ROAD OPENING PERMIT PRIOR TO CONSTRUCTION.



**BID SET
NOT FOR CONSTRUCTION**

PENNONI ASSOCIATES INC.
515 Grove Street, Suite 1B
Haddon Heights, NJ 08035
T 856.547.0505 F 856.547.9174
NJ COA NO. GA28033300

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ANDREW T. BANFF
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 45121

7/17/2020

RIVERSIDE FIRE COMPANY EXPANSION
14 W SCOTT ST
RIVERSIDE TOWNSHIP
SITE PLAN
RIVERSIDE FIRE COMPANY
14 W SCOTT ST
RIVERSIDE TOWNSHIP, NJ 08075

NO.	DATE	REVISIONS	BY

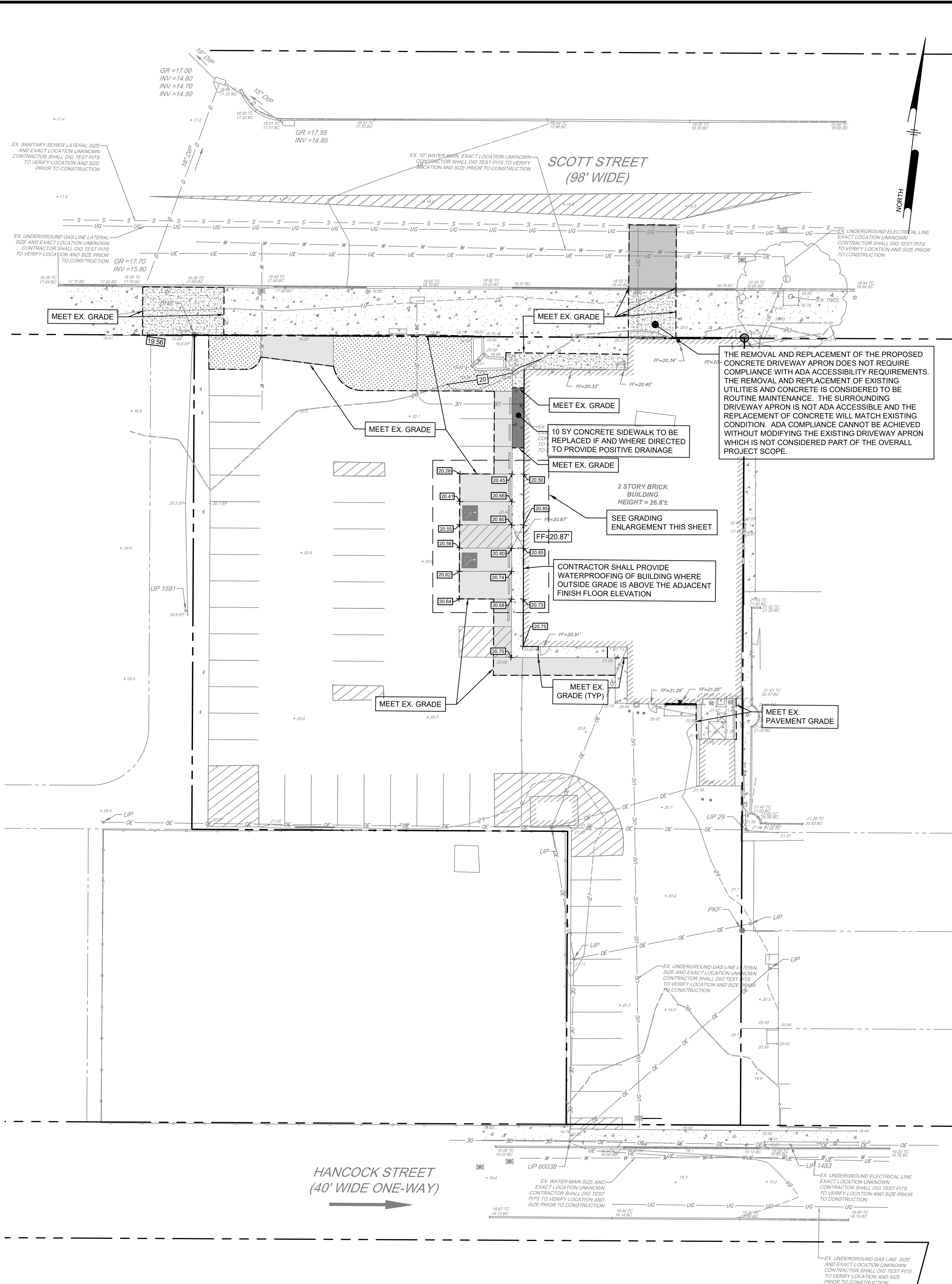
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PROJECT **RSFDX19001**
DATE **JULY 17, 2020**
DRAWING SCALE **1" = 20'**
DRAWN BY **XY**
APPROVED BY **ATB**

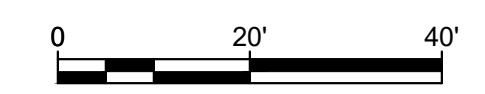
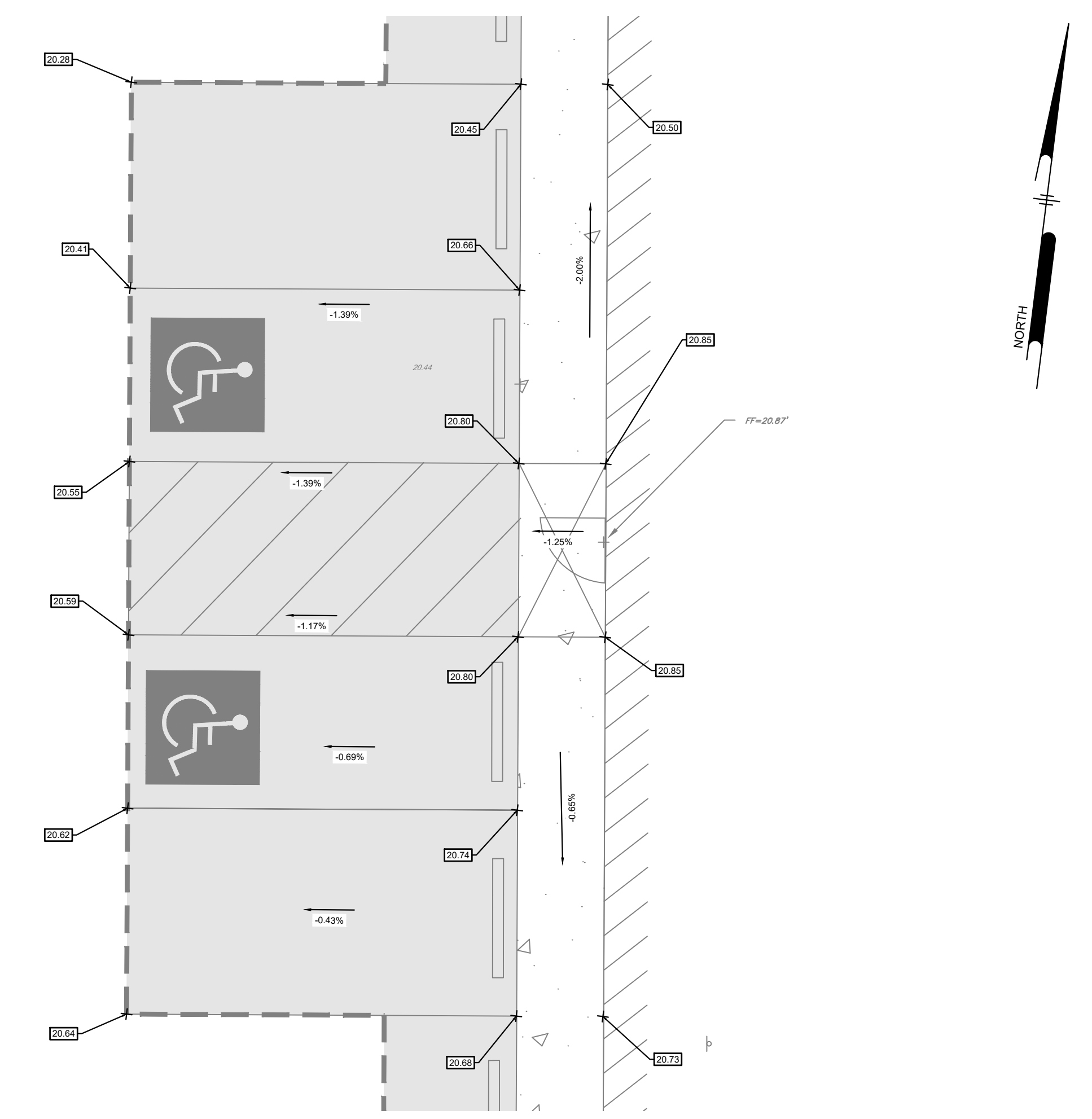
CS1001
SHEET **5** OF **13**

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U:\drawings\RSFD\19001 - Riverside Fire Co. Renovation and Additions - SHEET CS1501.dwg
 PLOTTED: 1/20/2020 3:30 PM BY: jwhang YL PROJECT STATUS:



RIVERSIDE FIRE COMPANY SIDE ENTRANCE ADA ENLARGEMENT



**BID SET
NOT FOR CONSTRUCTION**



PENNONI ASSOCIATES INC.
515 Grove Street, Suite 1B
Haddon Heights, NJ 08035
T 856.547.0505 F 856.547.9174
NJ COA NO. G428033300

ANDREW T. BANFF
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 45121



7/17/2020

RIVERSIDE FIRE COMPANY EXPANSION
14 W SCOTT ST
RIVERSIDE TOWNSHIP
GRADING PLAN
RIVERSIDE FIRE COMPANY
14 W SCOTT ST
RIVERSIDE TOWNSHIP, NJ 08075

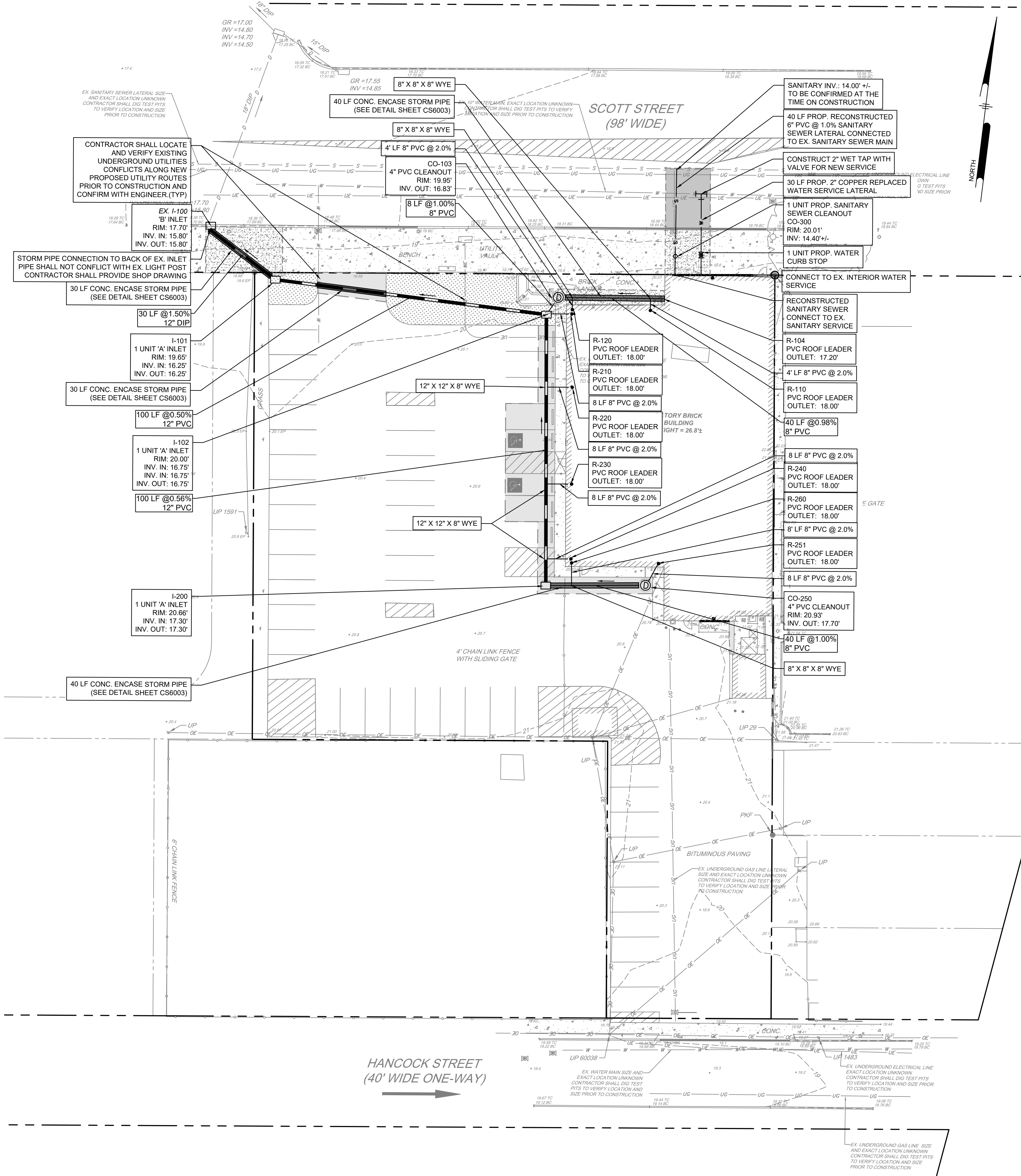
NO.	DATE	REVISIONS	BY

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PROJECT	RSFDX19001
DATE	JULY 17, 2020
DRAWING SCALE	1" = 20'
DRAWN BY	XY
APPROVED BY	ATB

CS1501
SHEET 6 OF 13

U:\Account\RSFD\RSFD\19001 - Riverside Fire Co. Renovation and Addition\CS1701.dwg PLOTTED: 7/20/2020 3:31 PM BY: jshahing YR PROJECT STATUS



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ANDREW T. BANFF
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE 45121

Andrew T. Banff
 7/17/2020

RIVERSIDE FIRE COMPANY EXPANSION
 14 W SCOTT ST
 RIVERSIDE TOWNSHIP
UTILITY PLAN
 RIVERSIDE FIRE COMPANY
 14 W SCOTT ST
 RIVERSIDE TOWNSHIP, NJ 08075

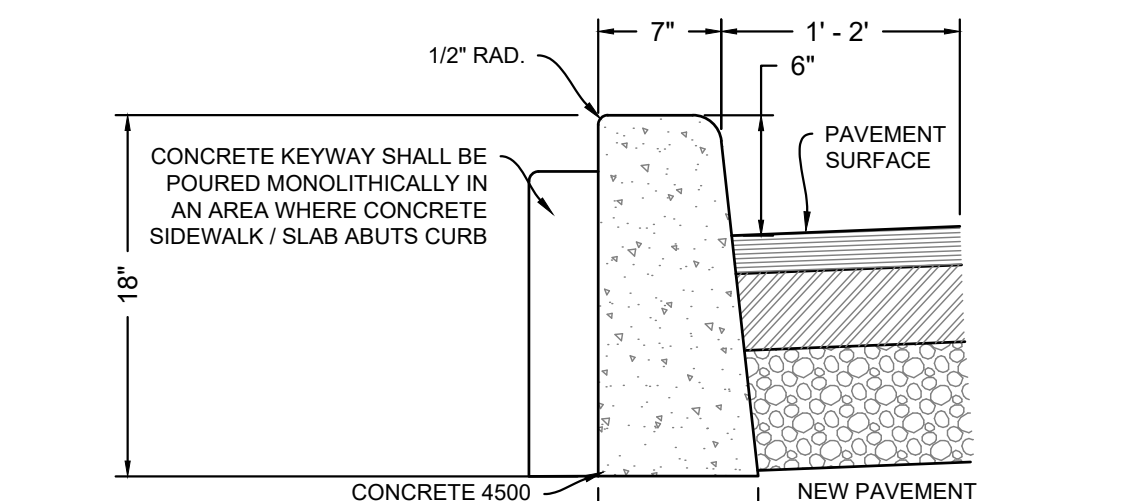
NO.	DATE	REVISIONS	BY

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PROJECT: **RSFDX19001**
 DATE: **JULY 17, 2020**
 DRAWING SCALE: **1" = 20'**
 DRAWN BY: **XY**
 APPROVED BY: **ATB**

CS1701
 SHEET 7 OF 13

**BID SET
 NOT FOR CONSTRUCTION**

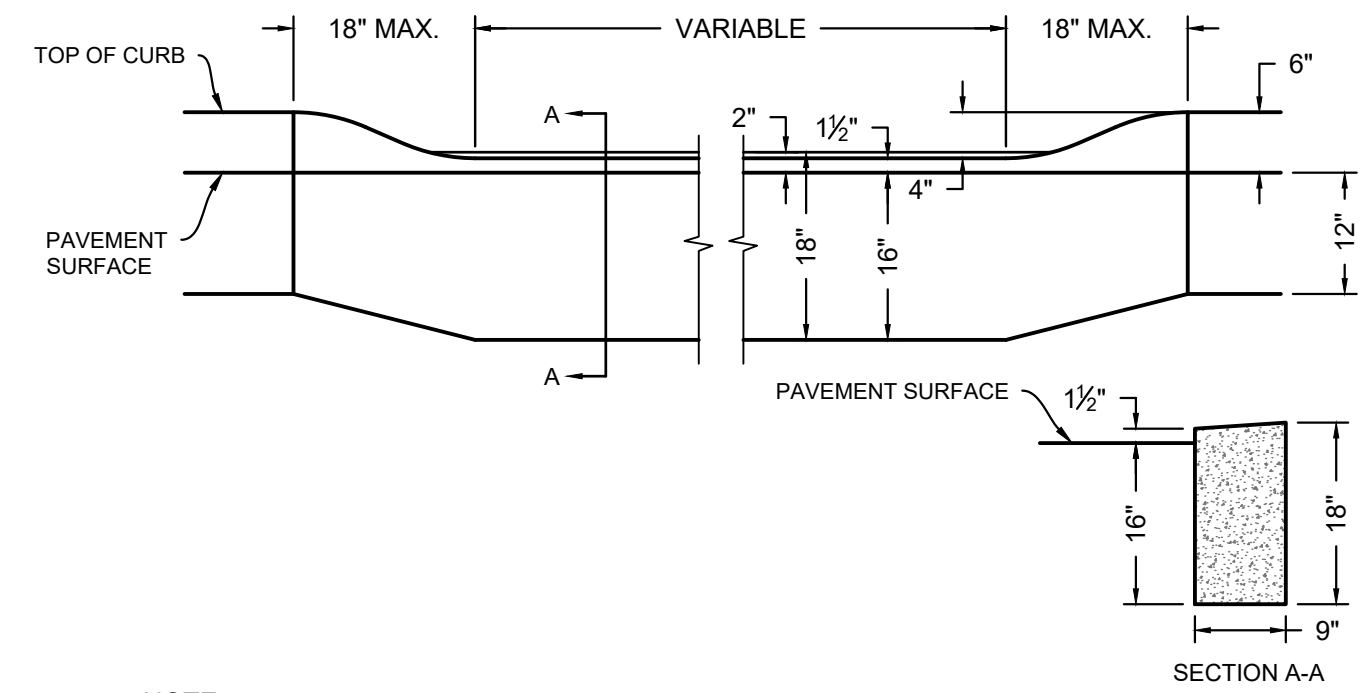


NOTES:

- WHEN NEW CURB IS CONSTRUCTED ALONG AN EXISTING PAVED AREA, THE EXISTING PAVEMENT SHALL BE CUT IN A STRAIGHT LINE PARALLEL TO FACE OF NEW CURB WITH A SHARP TOOL AND THE NEW PAVEMENT SHALL BE TACKED AND BUTTED TO EXISTING PAVEMENT.
- EXPANSION JOINTS 3/4" WIDE SHALL BE INSTALLED IN THE CURB 20' APART AND FILLED WITH CELLULAR COMPRESSION MATERIAL AS SPECIFIED AND RECESSED 3/8" FROM FACE AND TOP OF CURB. EXPANSION JOINTS TO BE INCLUDED IN PRICE BID FOR CURB. EXPANSION JOINTS TO BE INCLUDED IN PRICE BID FOR CURB. CONSTRUCTION JOINT SHALL BE CUT MID-POINT BETWEEN EXP. JOINTS.

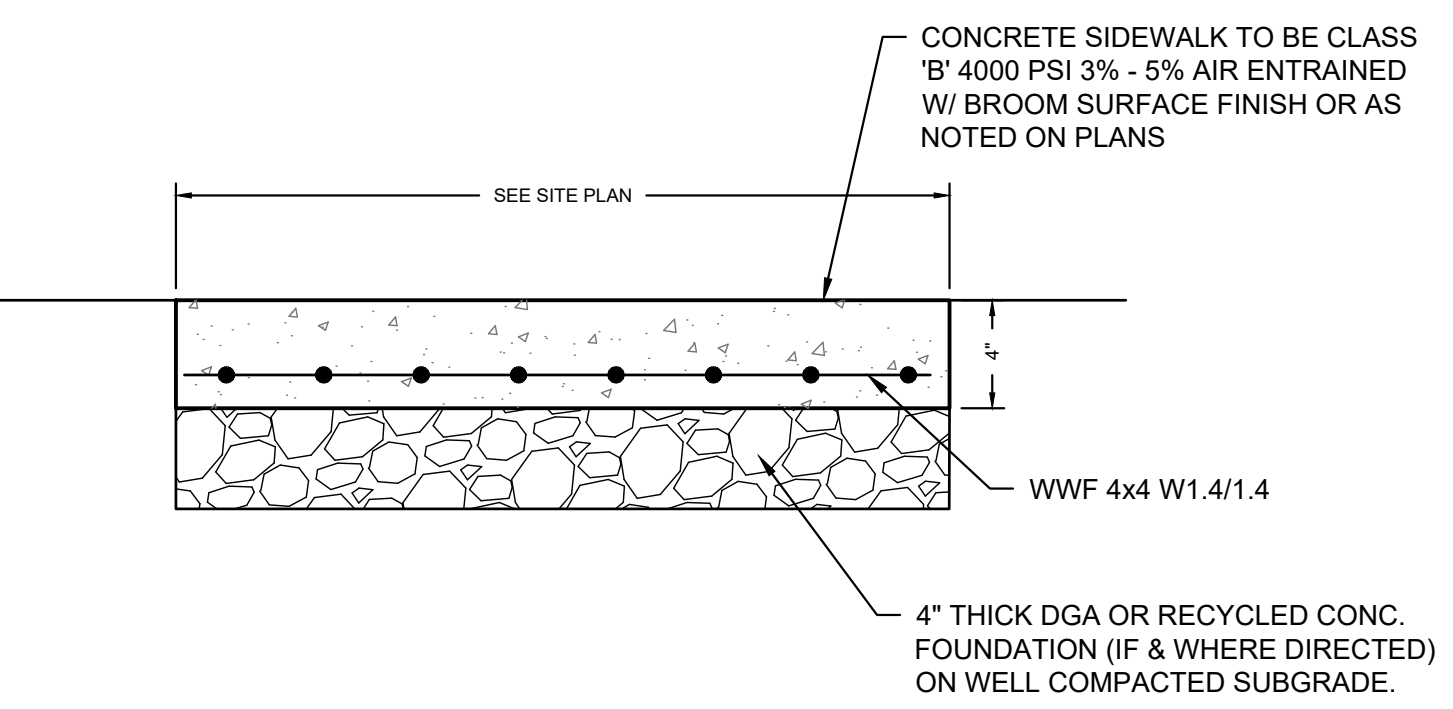
* WHERE NO ELEVATIONS ARE GIVEN ON THE PLAN, MATCH THE PROJECTED TOP OF EXISTING CURB. THE PROJECTED TOP OF CURB SHALL BE DETERMINED BY A STRING LINE.

VERTICAL CONCRETE CURB DETAIL
N.T.S.



NOTE:
THERE SHALL BE NO SEPARATE PAYMENT FOR THIS DETAIL. PAYMENT FOR THIS DETAIL SHALL BE BASED UPON THE CONCRETE CURB PAY ITEM.

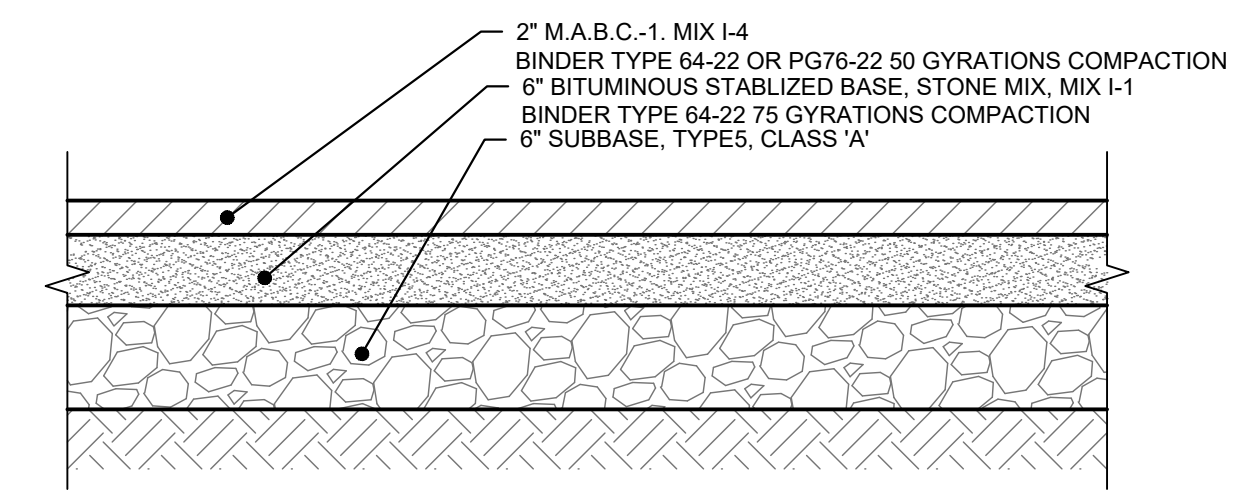
DEPRESSED CURB DETAIL
N.T.S.



NOTES:

- PAYMENT OF REINFORCED CONCRETE SHALL BE BASED ON THE REINFORCED CONCRETE DRIVEWAY PAY ITEM.
- PRE MOLDED BITUMINOUS EXPANSION JOINT MATERIAL (OR EQUAL) SHALL BE INSTALLED EVERY TWENTY (20) FEET AND CONTRACTION JOINTS INSTALLED EVERY FOUR (4) FEET.

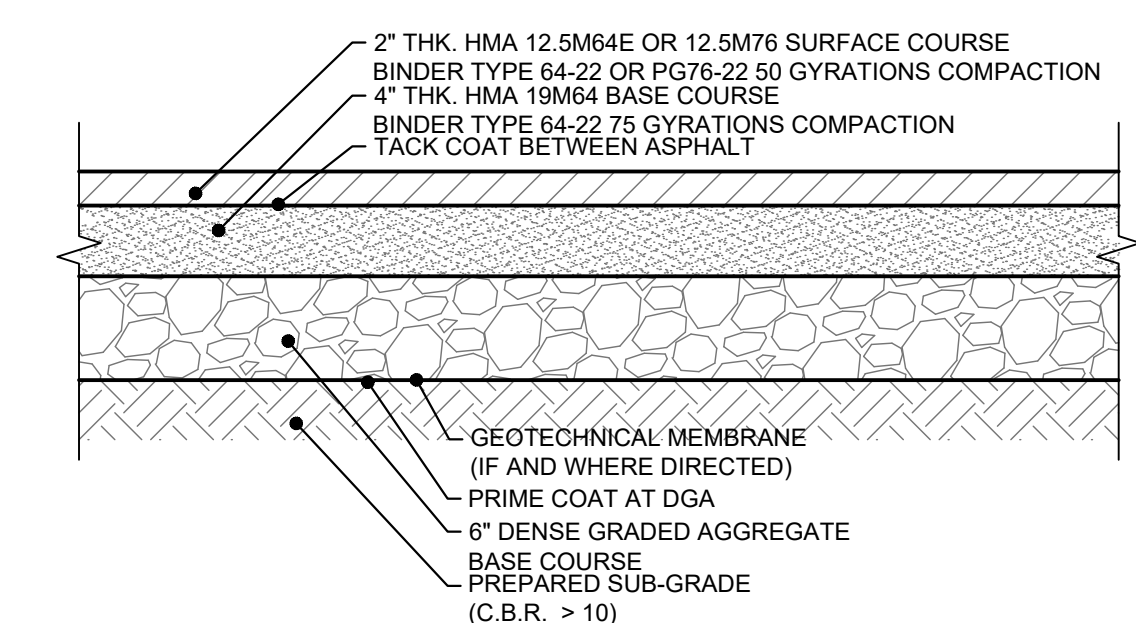
REINFORCED CONCRETE SIDEWALK DETAIL
N.T.S.



NOTES:

- MAXIMUM LIFT THICKNESS FOR MABC SHALL BE TWO (2) INCHES.
- MAXIMUM LIFT THICKNESS FOR BITUMINOUS STABILIZED BASE SHALL BE THREE (3) INCHES.
- REFER TO NJDOT SPECIFICATIONS AND ADDENDA FOR SPECIFIC MIXTURE DETAILS

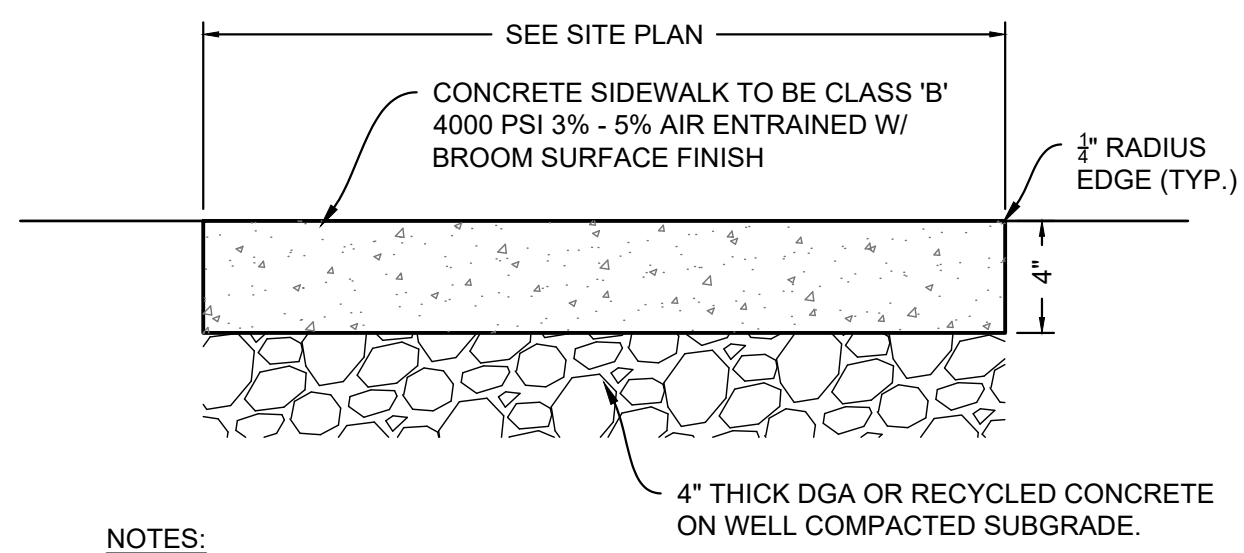
BURLINGTON COUNTY ASPHALT PAVING SECTION DETAIL
N.T.S.



LIGHT DUTY PAVING NOTES:

- THE ABOVE PAVING SPECIFICATION SHALL ONLY BE VALID FOR ADT < 3,500 AND EAL < 200,000. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF THE PROPOSED PAVING CROSS-SECTION WITH THE ENGINEER. THE CONTRACTOR SHALL PROVIDE CBR TESTING PRIOR TO PLACEMENT OF DGA TO CONFIRM CBR > 10.
- THE CONTRACTOR SHALL OBTAIN FROM THE ENGINEER THE FINAL STRUCTURAL DESIGN CALCULATIONS FOR THE PROPOSED PAVEMENT INSTALLATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT FINAL SHOP DRAWINGS FOR APPROVAL BY THE ENGINEER FOR ALL COMPONENTS PROPOSED FOR THE PAVEMENT INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE UPON ACCEPTANCE BY THE OWNER A MINIMUM 2 YEAR WARRANTY ON THE PAVEMENT SURFACE. ANY AND ALL DEFECTS IN THE PAVEMENT SURFACES SHALL BE REMEDIED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- MATERIALS FOR THE HOT MIX ASPHALT (HMA) SURFACE COURSE SHALL BE HMA 9.5M4 OR HMA 9.5M4, CONFORMING TO SECTION 401 OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. MATERIALS FOR THE HOT MIX ASPHALT (HMA) BASE COURSE SHALL BE HMA 19.5M4 OR HMA 19.5M4, CONFORMING TO SECTION 401 OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- THICKNESS MAY HAVE TO BE CONSTRUCTED IN MULTIPLE LIFTS, BASED ON EQUIPMENT CAPABILITIES.
- THE DENSE GRADED AGGREGATE BASE SHALL CONFIRM TO SECTION 302 OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION
- ALL SUB-GRADES SHALL BE CONSIDERED "POOR" UNTIL THE CONTRACTOR PROVES OTHERWISE THROUGH CBR TESTING OR APPROVED FIELD EVALUATION OF SOIL CLASSIFICATION. TEST RESULTS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.
- SUBGRADE COMPACTION SHALL BE APPROVED BY THE ENGINEER. SUB-GRADE SHALL BE PROOF-ROLLED PRIOR TO INSTALLATION OF DGA. SUBGRADE MATERIALS SHALL BE DRY PRIOR TO PLACEMENT OF DGA. UNSUITABLE SUB-GRADE MATERIALS SHALL BE REMOVED AND REPLACED WITH SUITABLE BACKFILL AS APPROVED BY THE ENGINEER AND/OR PROVIDE AN 8 OZ. NON-WOVEN GEOTEXTILE FABRIC BETWEEN SUB-GRADE & STONE SUB-BASE AS DIRECTED BY ENGINEER AND AS WARRANTED FROM RESULTS OF PROOF-ROLLING SUBGRADE AREAS. RECOMMENDED FABRIC-GOETEX 801 AS MANUFACTURED BY S.I. GEOSOLUTIONS OR EQUAL.
- PAVEMENT THICKNESS DESIGNS ASSUMES STAGED CONSTRUCTION PROCESS. THE LIFE OF THE PAVEMENT IS 20 YEARS. THE PAVEMENT COURSE IS DESIGNED TO WITHSTAND CONSTRUCTION TRAFFIC DURING AN ASSUMED THREE-YEAR CONSTRUCTION PERIOD, THROUGHOUT WHICH TIME THE HOT ASPHALT SURFACE COURSE HAS NOT BEEN PLACED. AT THE END OF THE CONSTRUCTION PERIOD, THE BASE COURSE WILL HAVE AN EXPECTED REMAINING LIFE OF 17 YEARS. DURING THE TIME WHEN THE SURFACE COURSE IS NOT IN PLACE, THE BASE COURSE MUST CARRY THE ENTIRE IMPOSED TRAFFIC LOADING.
- A PRIME COAT (EMULSIFIED ASPHALT) TO BE APPLIED AT A RATE OF 0.25 GAL./S.Y. AT DGA SURFACE. A TACK COAT (EMULSIFIED ASPHALT) SHALL BE APPLIED AT A RATE OF 0.10 GAL./S.Y. BETWEEN ASPHALT LAYERS.
- PRIOR TO PAVEMENT CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SCHEDULE OF VALUES OF EACH SEPARATE MATERIAL BY UNIT COSTS, INCLUDING BUT NOT LIMITED TO: GEGRID, BASE AND SURFACE PAVEMENT (TON), PAVEMENT, TACK COAT, DGA AND UNSUITABLE MATERIAL EXCAVATION. TOTAL CONSTRUCTION COST SHALL BE ADJUSTED BASED UPON INSTALLED QUANTITIES.
- PAVING SPECIFICATIONS ARE SUBJECT TO FIELD CBR TESTING.

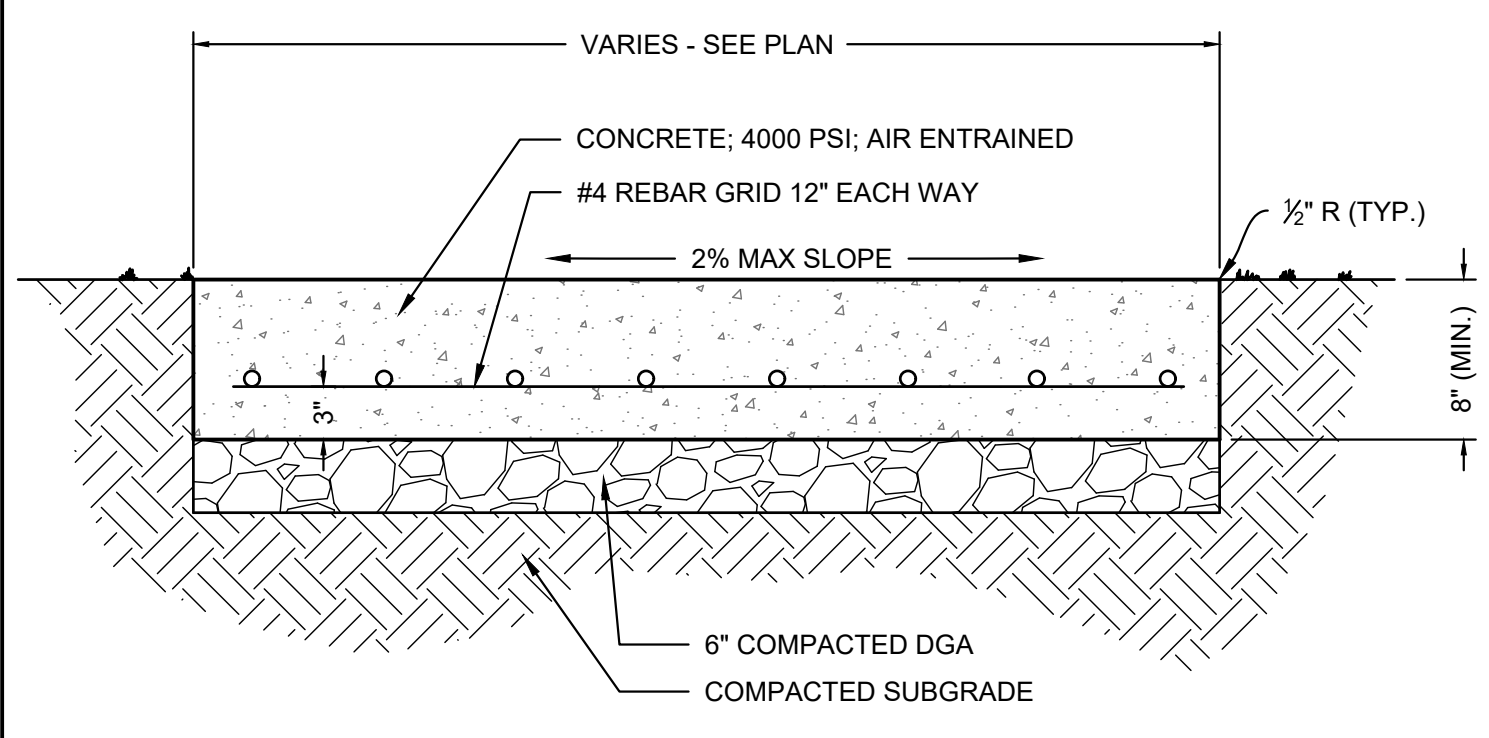
LIGHT DUTY ASPHALT PAVING SECTION DETAIL
N.T.S.



NOTES:

- PRE MOLDED BITUMINOUS EXPANSION JOINT MATERIAL (OR EQUAL) SHALL BE INSTALLED EVERY TWENTY (20) FEET AND CONTRACTION JOINTS INSTALLED EVERY FOUR (4) FEET.
- CONCRETE PLACE WITHIN AREA SUBJECT TO VEHICLE LOADS SHALL BE REINFORCED.
- PAYMENT OF REINFORCED CONCRETE SHALL BE BASED ON THE REINFORCED CONCRETE DRIVEWAY PAY ITEM.

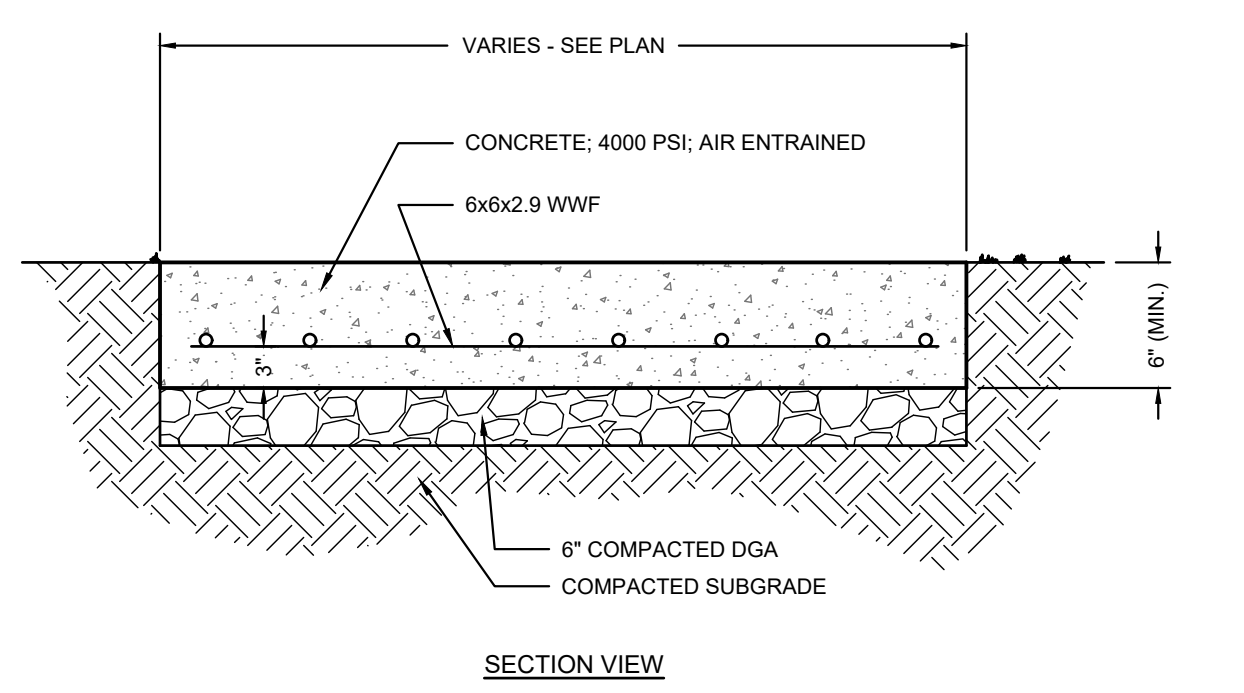
STANDARD CONCRETE SIDEWALK
N.T.S.



SPECIFICATIONS

- EXPANSION JOINTS SHALL BE AT 15 FT C.C. MAXIMUM. EXPANSION JOINT LOCATIONS SHALL APPROVED BY ENGINEER/OWNER.
- EXPANSION JOINT SHALL BE 1/2" MASTIC MATERIAL OR APPROVED EQUAL.
- ALL EXPANSION JOINTS SHALL RECEIVE A BACKER ROD AND COLORED NON-SHRINK SEALER TO MATCH CONCRETE; SIKA OR EQUAL.

REINF. CONC. DRIVEWAY APRON
N.T.S.



SPECIFICATIONS

- EXPANSION JOINTS SHALL BE AT 15 FT C.C. MAXIMUM. EXPANSION JOINT LOCATIONS SHALL APPROVED BY ENGINEER/OWNER.
- EXPANSION JOINT SHALL BE 1/2" MASTIC MATERIAL OR APPROVED EQUAL.
- ALL EXPANSION JOINTS SHALL RECEIVE A BACKER ROD AND COLORED NON-SHRINK SEALER TO MATCH CONCRETE; SIKA OR EQUAL.
- PAYMENT OF THE CONCRETE PAD SHALL BE BASED ON THE REINFORCED CONCRETE DRIVEWAY PAY ITEM.

CONCRETE PAD
N.T.S.

Pennoni
PENNONI ASSOCIATES INC.
515 Grove Street, Suite 1B
Haddon Heights, NJ 08035
T 856.547.0505 F 856.547.9174
NJ COA. NO. GA28033300

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ANDREW T. BANFF
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 45121

7/17/2020

RIVERSIDE FIRE COMPANY EXPANSION
14 W SCOTT ST
RIVERSIDE TOWNSHIP

CONSTRUCTION DETAILS

RIVERSIDE FIRE COMPANY
14 W SCOTT ST
RIVERSIDE TOWNSHIP, NJ 08075

NO.	DATE	REVISIONS	BY

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PROJECT **RSFDX19001**
DATE **JULY 17, 2020**
DRAWING SCALE **N.T.S.**
DRAWN BY **XY**
APPROVED BY **ATB**

BID SET
NOT FOR CONSTRUCTION

CS6001
SHEET **8** OF **13**

U:\Account\RSFDX19001\19001 - Renewal Fire Co. Renovation and Fire Station\CS6001.dwg PLOTTED: 7/20/2020 3:31 PM BY: Andrew T. Banff PROJECT STATUS: RIVERSIDE FIRE COMPANY

6000 SERIES HEDGE FENCE SLAT

FENCESCREEN PROPERTIES		
SLAT TYPE	SLAT WIDTH	STANDARD HEIGHTS
6000 Hedge Slat	18/32", 2 1/4" or 2"	4, 5, 6, 7, 8, 10 and 12 feet
WIRE GAUGE	SLATS PER BOX	AVERAGE COVERAGE PER BOX
9, 11 or 11 1/2"	82	10 linear feet

MATERIAL COMPOSITION
Natural Hedge Fence Slats are made with 16-gauge, galvanized, bristled wire and needles are made with 3-mil PVC.

DURABILITY
PVC Fence Products are resistant to severe weather conditions, salt water, sand, road dirt, most acids, alcohol, alkaline, ammonia, petroleum distillates and common environmental pollutants.

MAINTENANCE
Pressure cleaning of surface contaminants is quickly accomplished with plain water.

FEATURES
- UV stabilized to protect against the harmful rays of the sun.
- Flame retardant.
- 10-year, limited warranty.

Available Colors
Green

Detail Name: 6000 Series Natural Hedge Fence Slat
Drawing Number: 6000 - HEDGE SLAT
PHONE: 1.888.313.6313 | **www.FenceScreen.com**

HEDGE FENCE SLATS DETAIL (N.T.S.)

PAINTED PARKING STALL STRIPING DETAIL (N.T.S.)

NOTES:

1. PAINT FOR ALL STRIPING SHALL BE BLUE PER ADA SPECIFICATIONS.
2. PAINT SHALL BE LONG LIFE EPOXY, THERMOPLASTIC AND/OR EQUAL.

ADA PARKING SPACE PAVEMENT MARKING DETAIL (N.T.S.)

NOTE:
PAINT SHALL BE LONG LIFE EPOXY, THERMOPLASTIC AND/OR EQUAL.

CHAINLINK FENCE DETAIL (N.T.S.)

NOTES:

1. ALL CONCRETE FOR FOUNDATIONS SHALL BE 4000 PSI MIN. @ 28 DAYS.
2. MESH FENCE FABRIC SHALL BE 9 GAUGE, BLACK, VINYL-COATED, 2" MESH.
3. ALL HARDWARE AND FRAMING SHALL BE BLACK POLYESTER POWDER COATED.

OPENING (F/F)	
3'-0"	
3'-6"	
4'-0"	
5'-0"	
6'-0"	

NOM HEIGHT (H)	
6'-0"	
7'-0"	
8'-0"	
9'-0"	
10'-0"	
11'-0"	
12'-0"	

PEDESTRIAN SWING GATE (N.T.S.)

PENNONI ASSOCIATES INC.
515 Grove Street, Suite 1B
Haddon Heights, NJ 08035
T 856.547.0505 F 856.547.9174
NJ COA. NO. GA28033300

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PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 45121
7/17/2020

RIVERSIDE FIRE COMPANY EXPANSION
14 W SCOTT ST
RIVERSIDE TOWNSHIP

CONSTRUCTION DETAILS

RIVERSIDE FIRE COMPANY
14 W SCOTT ST
RIVERSIDE TOWNSHIP, NJ 08075

NO.	DATE	REVISIONS	BY

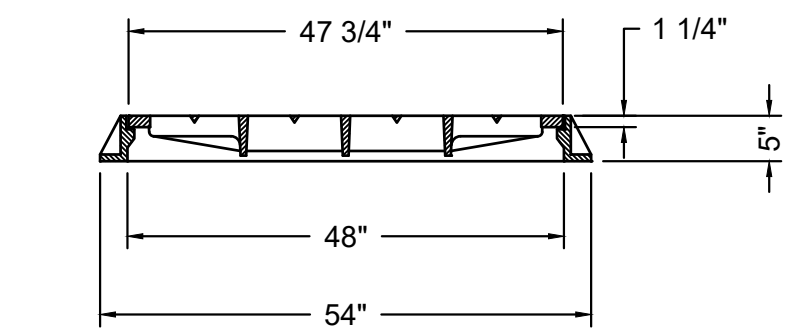
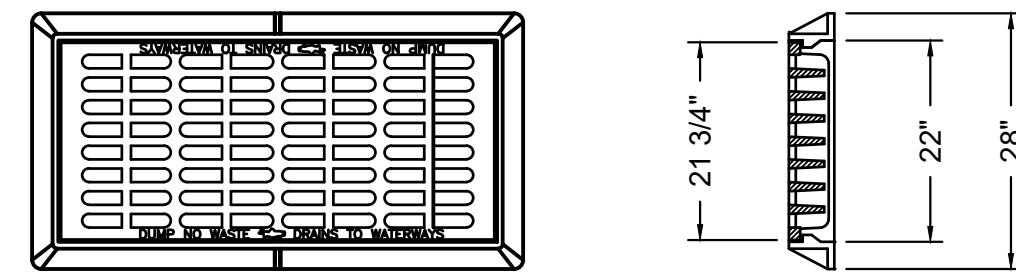
PROJECT	RSFDX19001
DATE	JULY 17, 2020
DRAWING SCALE	N.T.S.
DRAWN BY	XY
APPROVED BY	ATB

CS6002

SHEET 9 OF 13

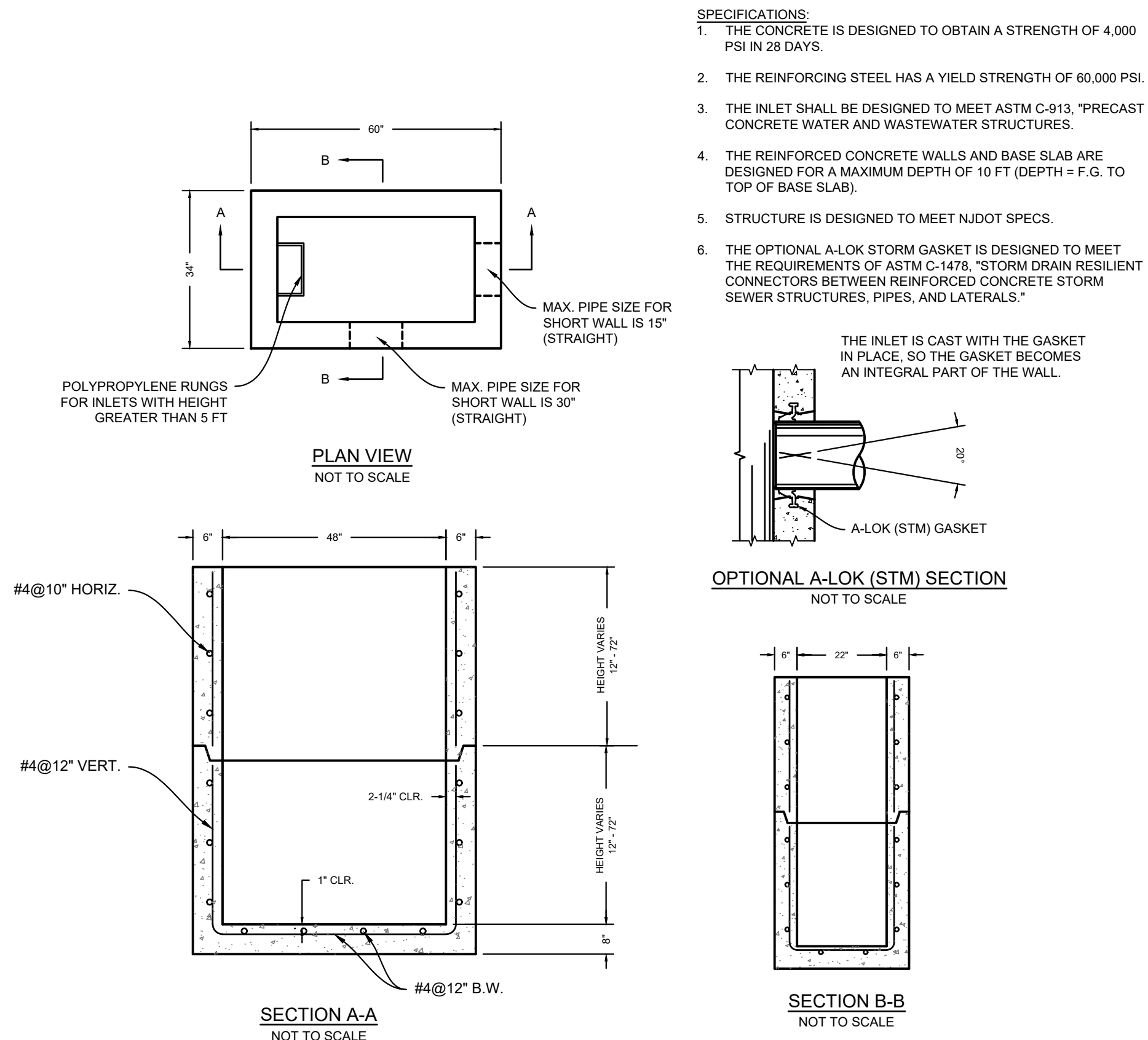
**BID SET
NOT FOR CONSTRUCTION**

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 PROJECT STATUS:



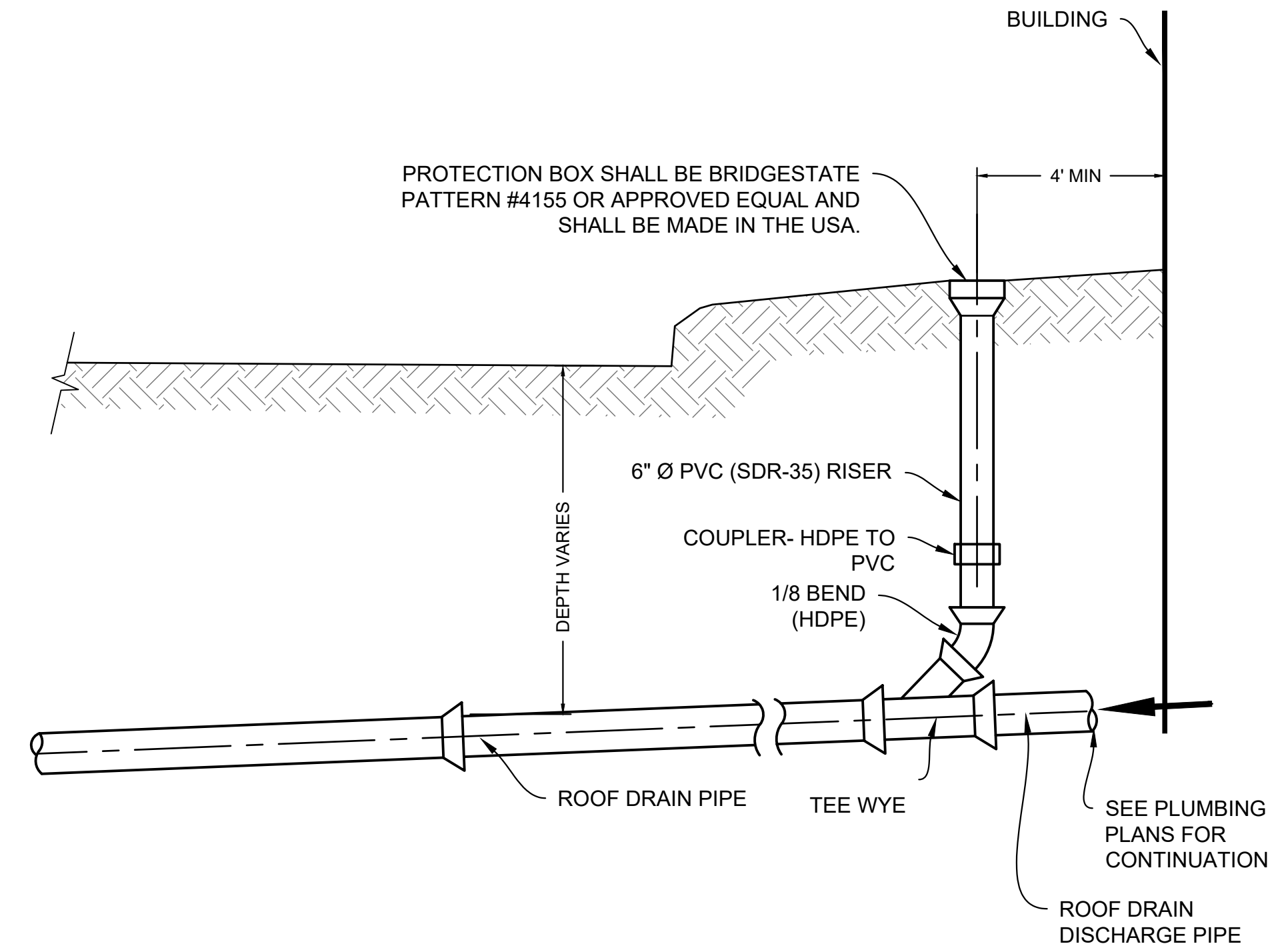
PATTERN No. 2617 AS MANUFACTURED BY
CAMPBELL BRIDGESTATE FOUNDRY COMPANY
(ECO GRATE)

NJDOT TYPE "A" INLET WITH BICYCLE SAFE GRATES
N.T.S.

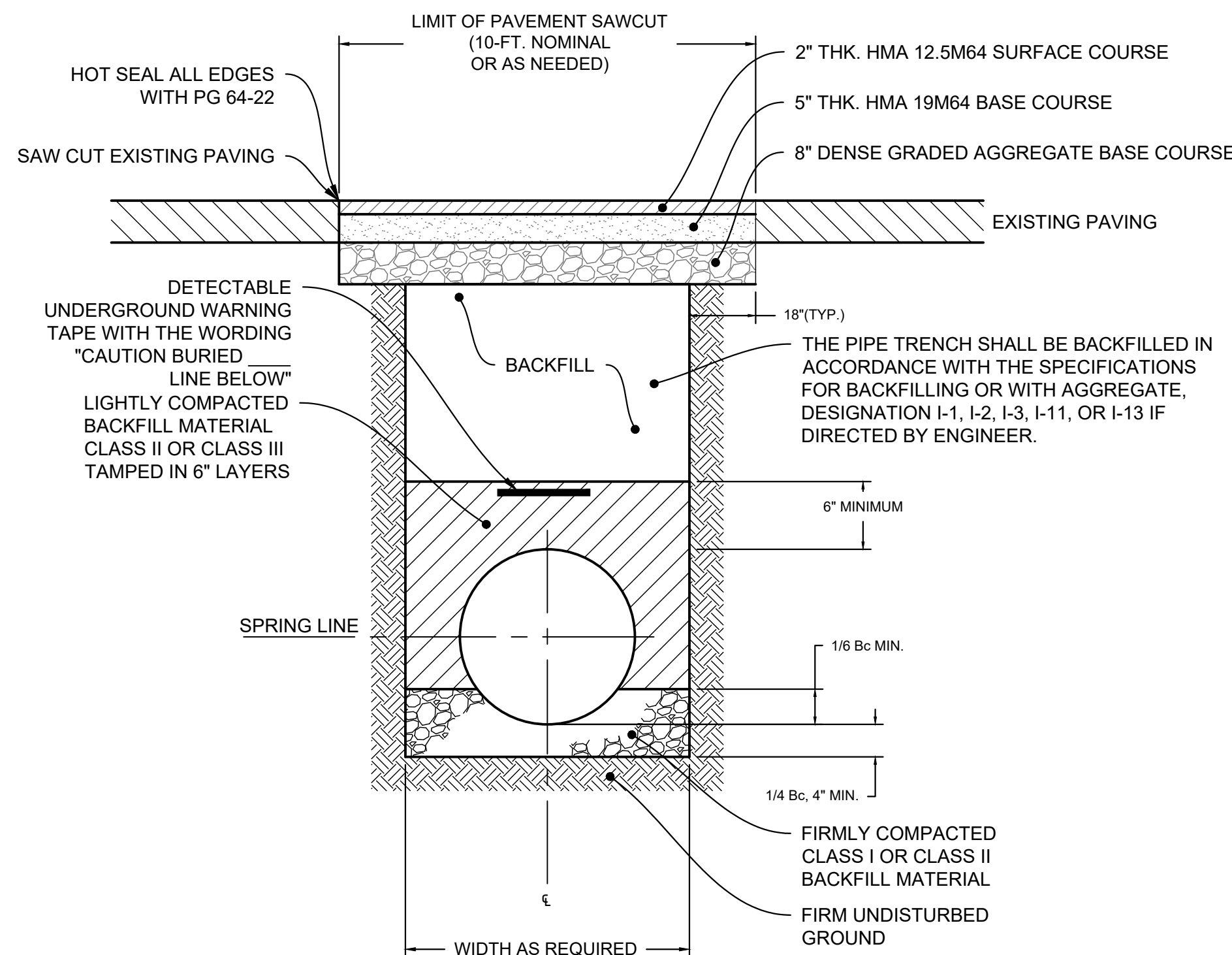


NJDOT TYPE "A" - SHALLOW INLET BASE AND RISER
N.T.S.

- SPECIFICATIONS:**
1. THE CONCRETE IS DESIGNED TO OBTAIN A STRENGTH OF 4,000 PSI IN 28 DAYS.
 2. THE REINFORCING STEEL HAS A YIELD STRENGTH OF 60,000 PSI.
 3. THE INLET SHALL BE DESIGNED TO MEET ASTM C-913, "PRECAST CONCRETE WATER AND WASTEWATER STRUCTURES."
 4. THE REINFORCED CONCRETE WALLS AND BASE SLAB ARE DESIGNED FOR A MAXIMUM DEPTH OF 10 FT (DEPTH = F.G. TO TOP OF BASE SLAB).
 5. STRUCTURE IS DESIGNED TO MEET NJDOT SPECS.
 6. THE OPTIONAL A-LOK STORM GASKET IS DESIGNED TO MEET THE REQUIREMENTS OF ASTM C-1478, "STORM DRAIN RESILIENT CONNECTORS BETWEEN REINFORCED CONCRETE STORM SEWER STRUCTURES, PIPES, AND LATERALS."



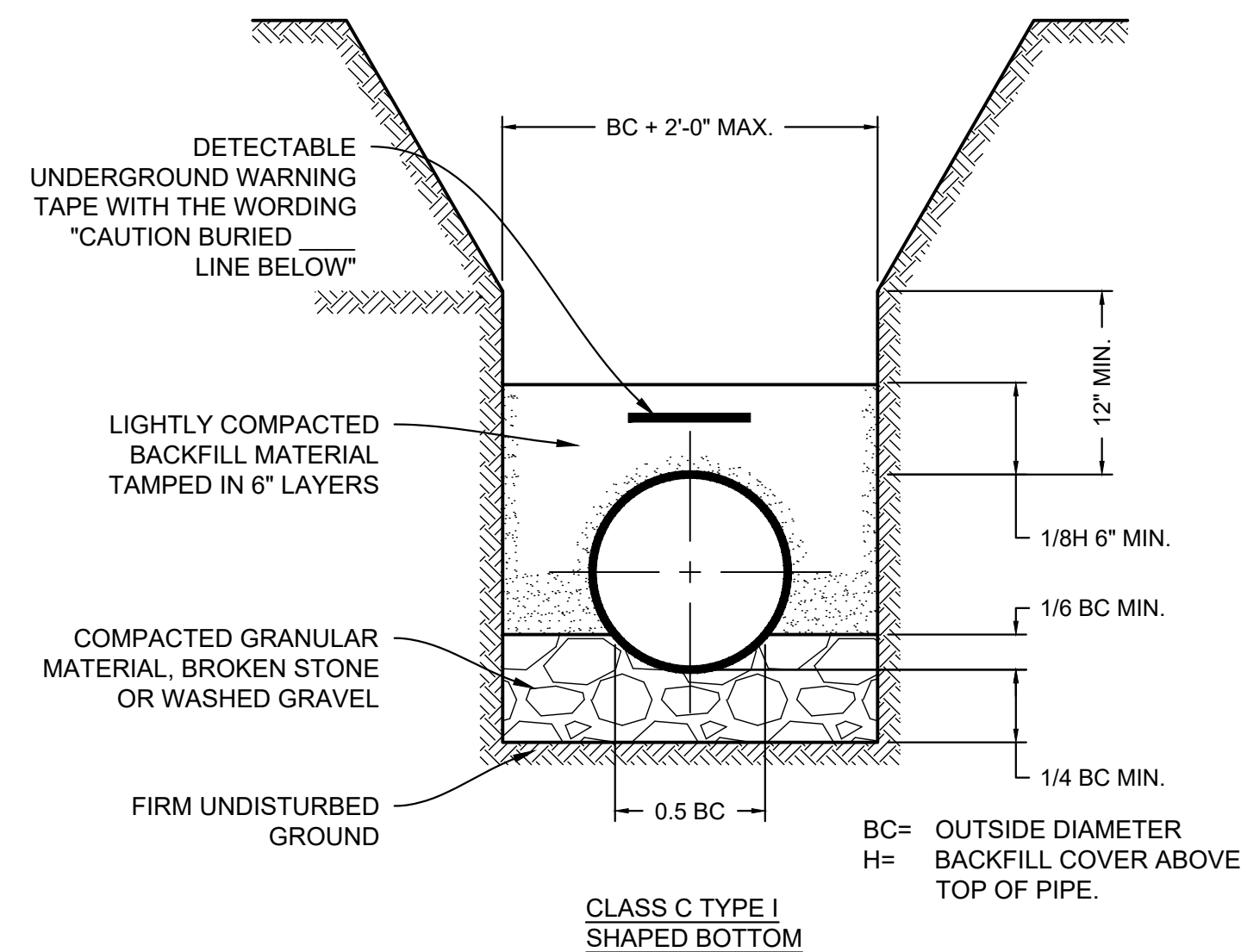
ROOF STORM DRAIN LATERAL AND CLEANOUTS DETAIL
N.T.S.



NOTES:

IN GRASS AREAS, BACKFILL AS NOTED, AND PROVIDE A MIN. 4" THICK LAYER OF TOPSOIL AND SEED IN ACCORDANCE WITH CS8501.

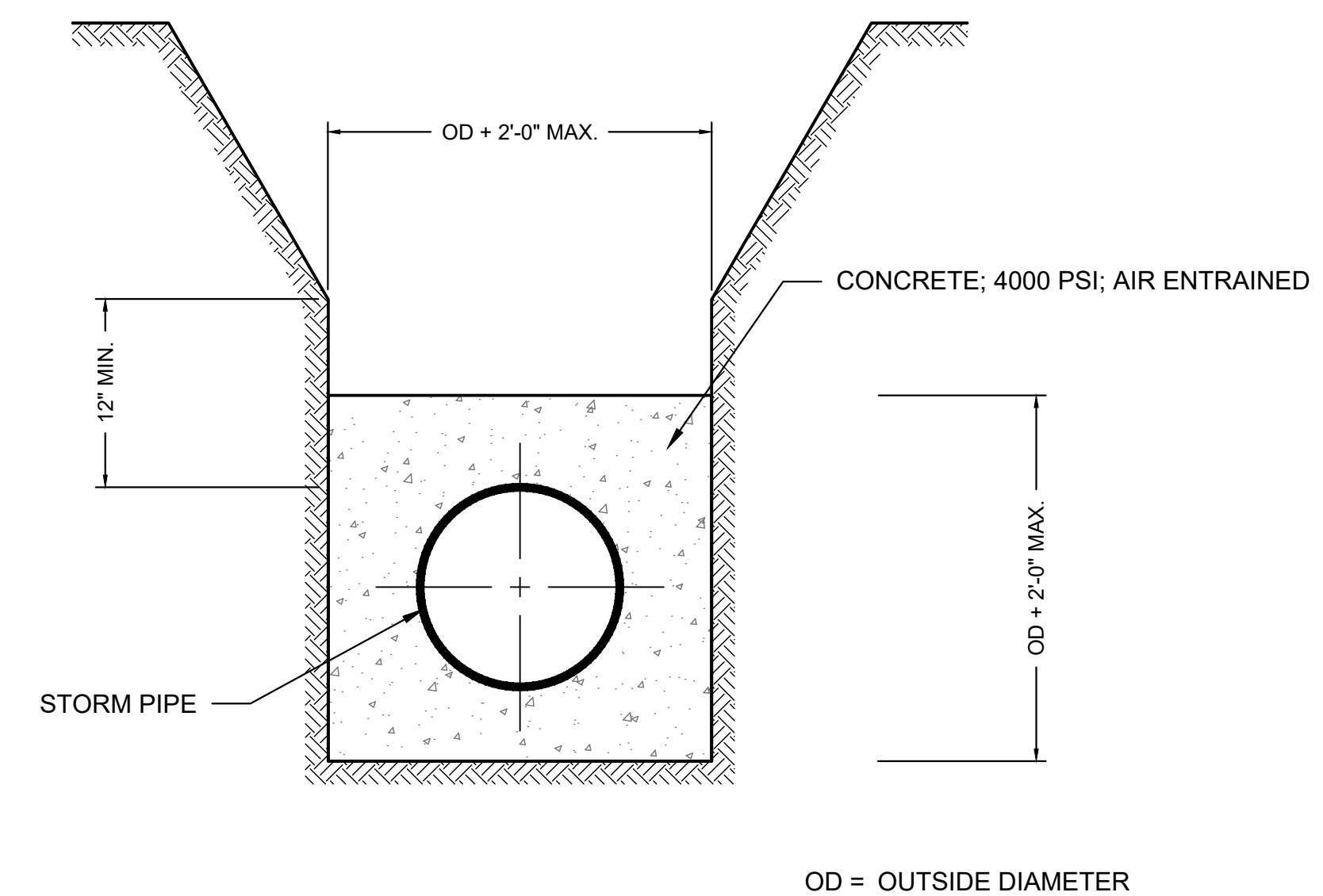
UTILITY TRENCH RESTORATION (PAVED AREAS)
N.T.S.



NOTES:

ALL STORM SEWER SHALL BE CONSTRUCTED WITH CLASS "C" TYPE II BEDDING. IF TRENCH BOTTOM DOES NOT PROVIDE SUFFICIENT BEARING STRENGTH, AS DETERMINED BY ENGINEER AND/OR IN AREAS WHERE PLACEMENT IS BELOW E.S.H.W.T., CLASS "C" TYPE I GRANULAR BEDDING SHALL BE USED.

PVC STORM SEWER BEDDING DETAIL
N.T.S.



CONCRETE ENCASEMENT DETAIL
N.T.S.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ANDREW T. BANFF
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 45121

7/17/2020

RIVERSIDE FIRE COMPANY EXPANSION
14 W. SCOTT ST.
RIVERSIDE TOWNSHIP

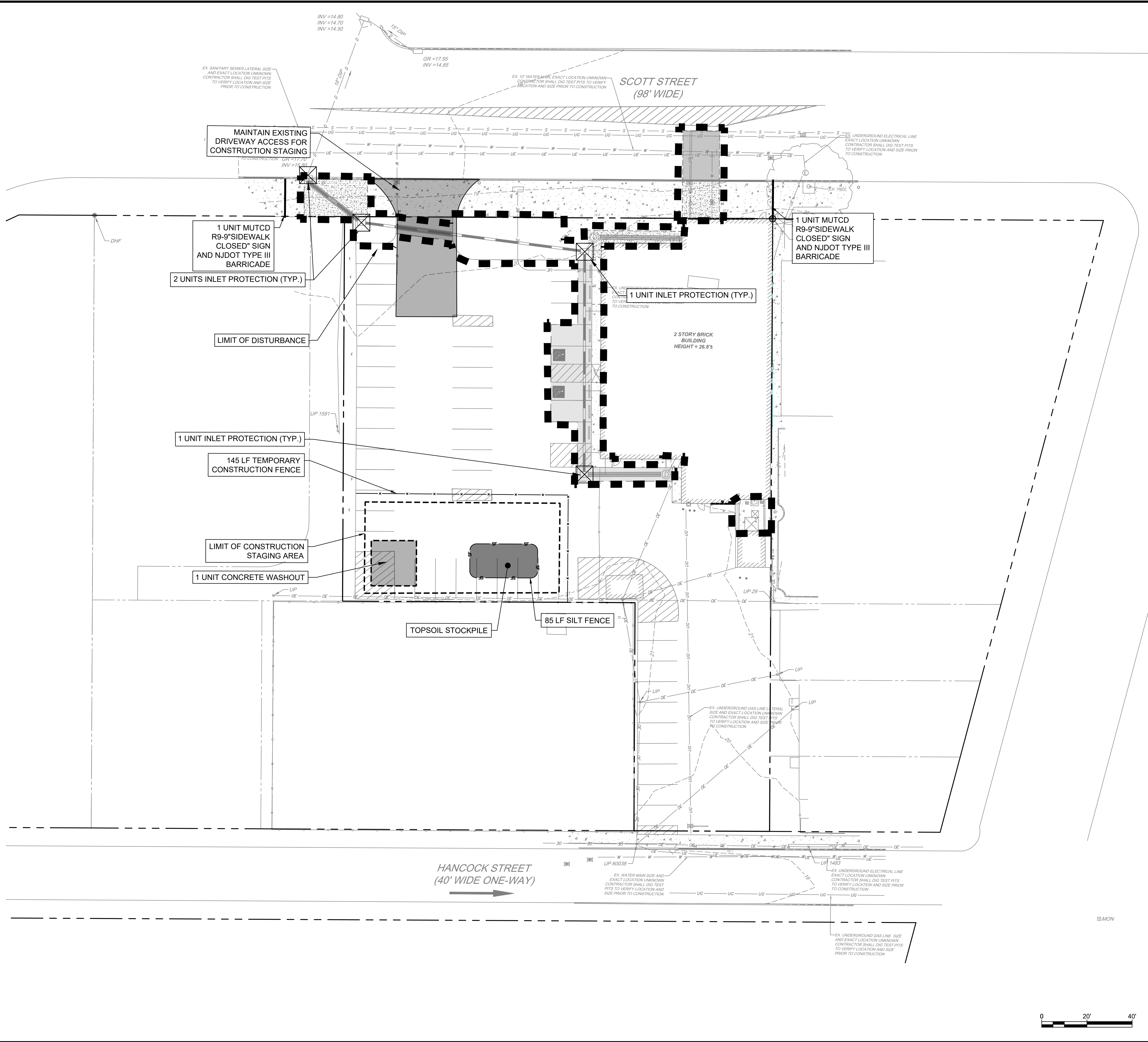
CONSTRUCTION DETAILS

RIVERSIDE FIRE COMPANY
14 W. SCOTT ST.
RIVERSIDE TOWNSHIP, NJ 08075

NO.	DATE	REVISIONS	BY

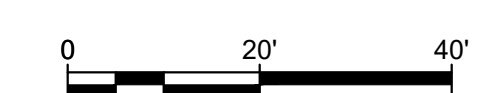
**BID SET
NOT FOR CONSTRUCTION**

U:\AEC\18\RFSDX19001 - Renovation Fire Co Removation and Fire Station 1302000.dwg
 PLOTTED: 1/20/2020 3:32 PM BY: jshahar | PROJECT STATUS: RIVERSIDE FIRE COMPANY EXPANSION



LEGEND

- LIMIT OF DISTURBANCE
- INLET PROTECTION
- CONSTRUCTION ENTRANCE
- CONSTRUCTION FENCE
- SILT FENCE



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 NOT FOR CONSTRUCTION**

Pennoni
 PENNONI ASSOCIATES INC.
 515 Grove Street, Suite 1B
 Haddon Heights, NJ 08035
 T 856.547.0505 F 856.547.9174
 NJ COA NO. G428033300

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ANDREW T. BANFF
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE 45121

Andrew T. Banff
 7/17/2020

RIVERSIDE FIRE COMPANY EXPANSION
 14 W. SCOTT ST
 RIVERSIDE TOWNSHIP

SOIL EROSION AND SEDIMENT CONTROL PLAN

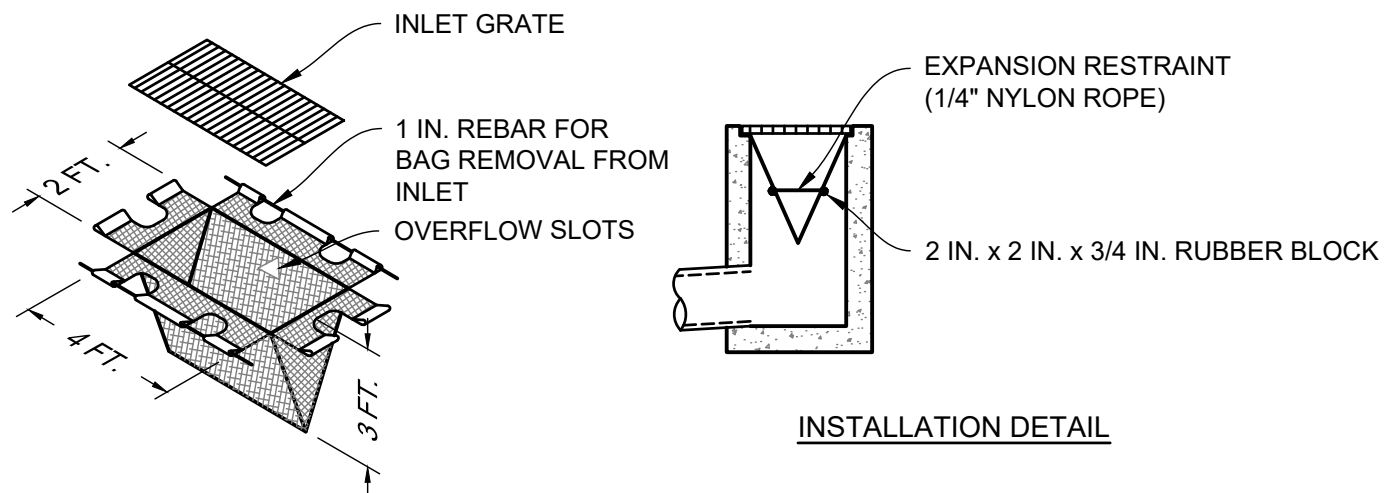
RIVERSIDE FIRE COMPANY
 14 W SCOTT ST
 RIVERSIDE TOWNSHIP, NJ 08075

NO.	DATE	REVISIONS	BY

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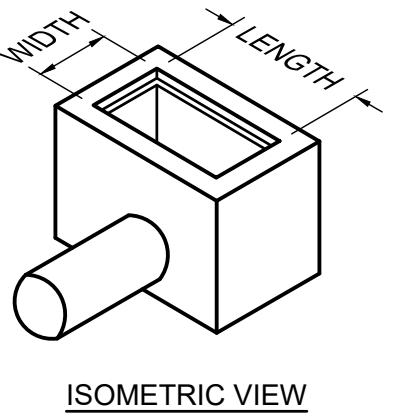
PROJECT: **RSFDX19001**
 DATE: **JULY 17, 2020**
 DRAWING SCALE: **1"=20'**
 DRAWN BY: **XY**
 APPROVED BY: **ATB**

CS8001
 SHEET 11 OF 13



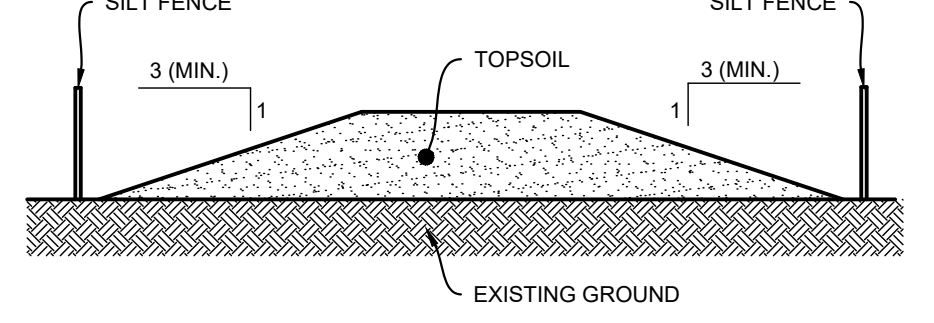
INSTALLATION DETAIL

NOTES:
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION.



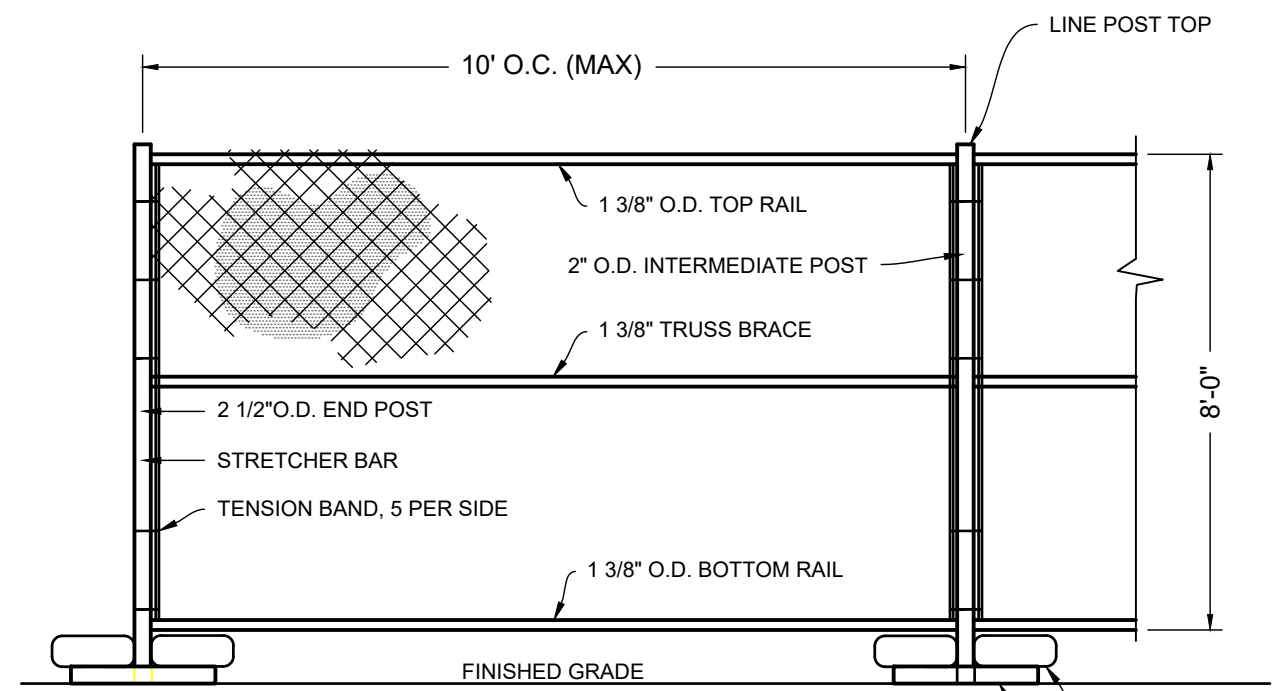
ISOMETRIC VIEW

INLET FILTER BAG PROTECTION DETAIL
N.T.S.



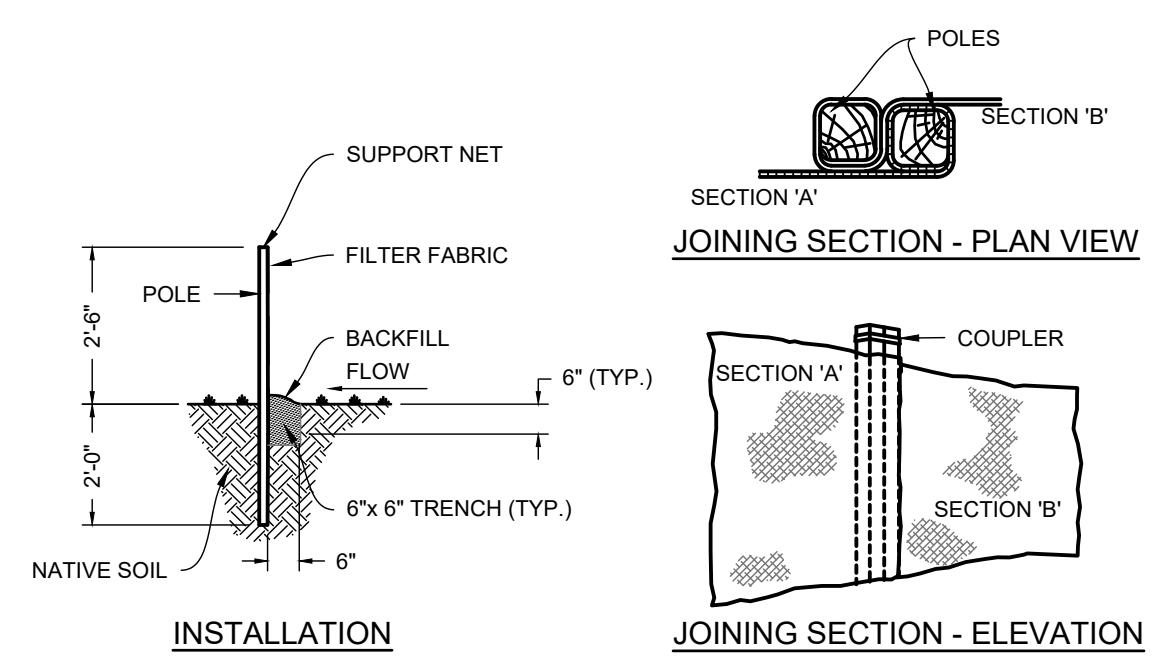
NOTES:
 1. TOPSOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE.
 2. STOCKPILE SHALL RECEIVE TEMPORARY VEGETATIVE STABILIZATION IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY IMMEDIATELY AFTER COMPLETION OF STOCKPILE.

TOPSOIL STOCKPILE DETAIL
N.T.S.



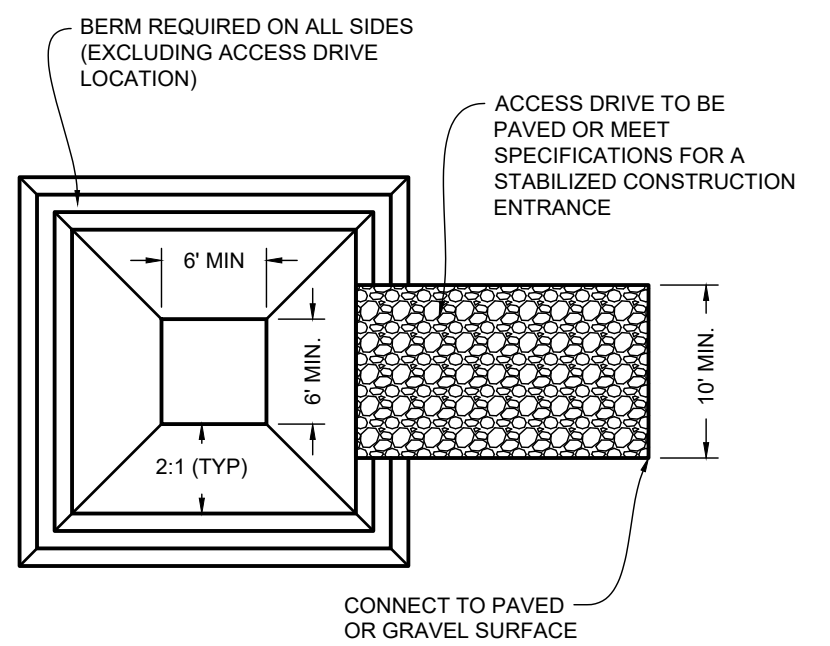
NOTES:
 1. 2x11 GA. WIRE FILL
 2. TENSION BANDS W/ NUTS AND BOLTS (NOT PRESS CLIPS)
 3. WIRE TIES EVERY 12"
 4. ALL PIPE AND WIRE TO BE HAND DIPPED GALVANIZED

CONSTRUCTION FENCE DETAIL
N.T.S.



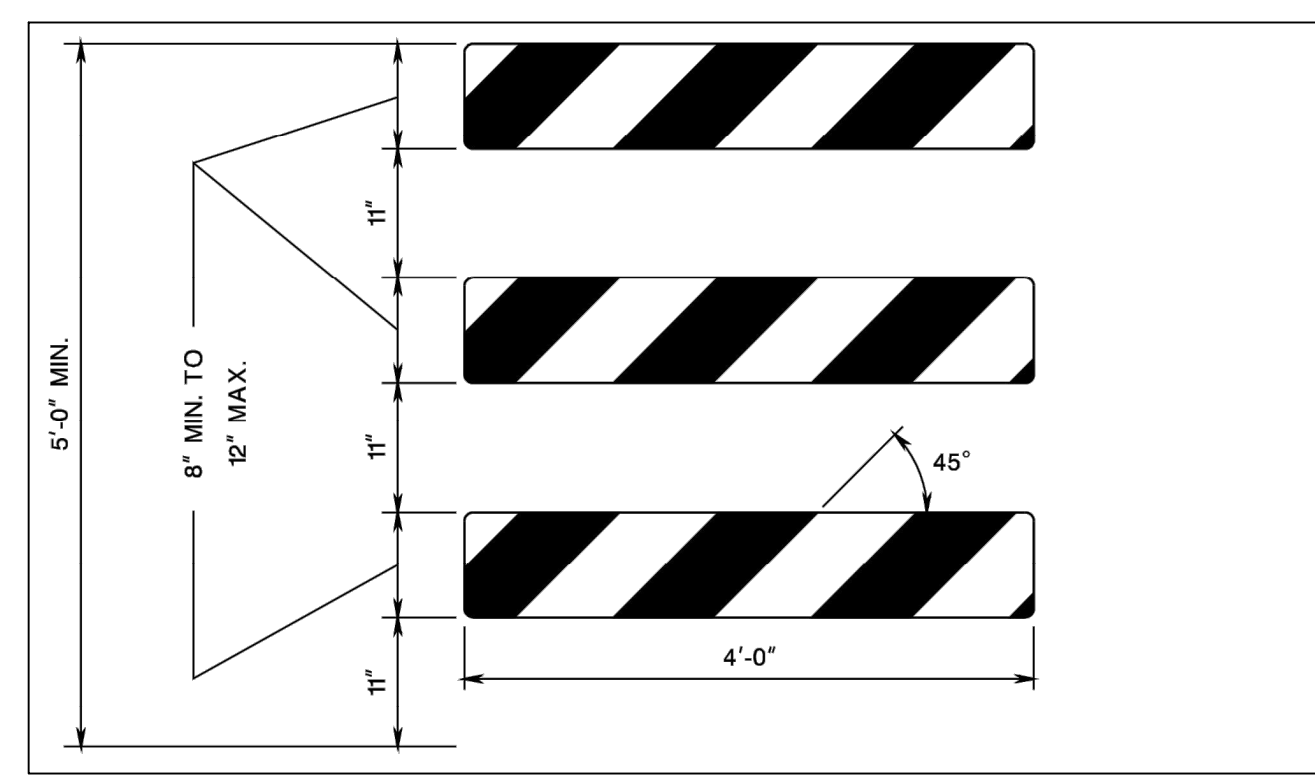
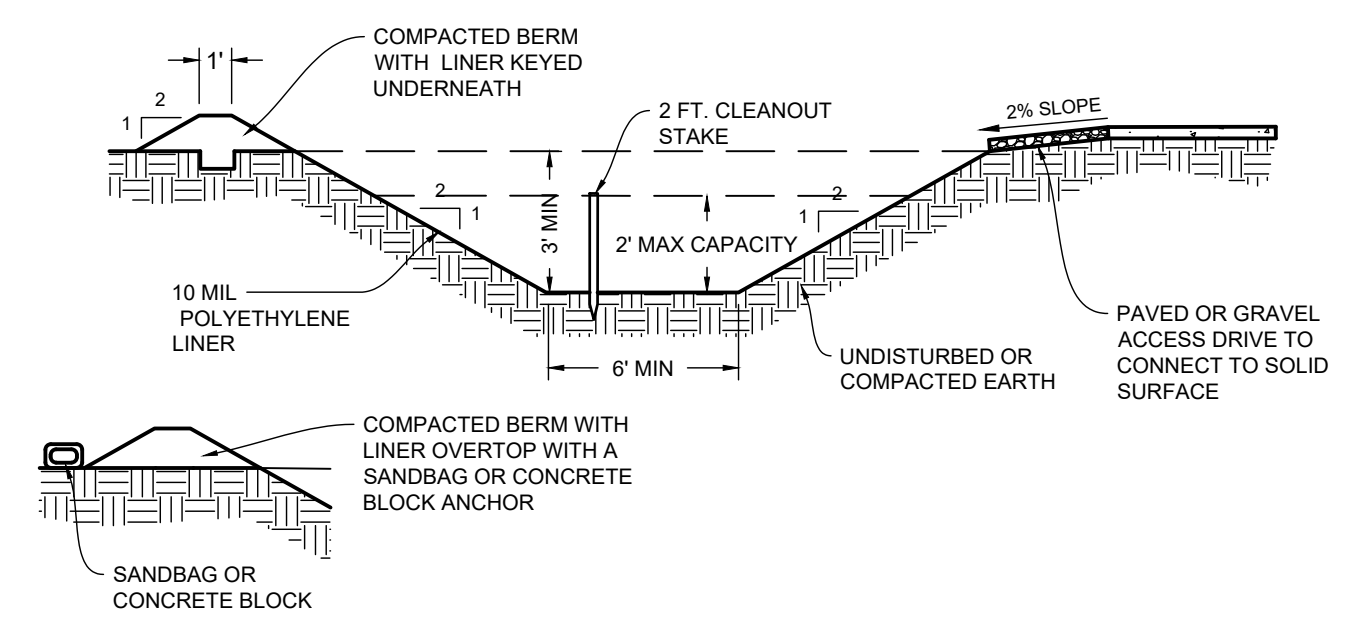
SILT FENCE TO BE USED ON SITE SHALL BE "ENVIROFENCE" PRECONSTRUCTED SILT FENCE OR EQUAL.
SPECIFICATIONS ARE:
 LENGTH: 100 FT.
 FABRIC WIDTH: 3 FT.
 POLE LENGTH: 4.5 FT.
 POLE SPACING: 7.7 FT.
 INSTALLED HEIGHT: 2.5 FT.
 SEDIMENT FABRIC: MIRAFI 100.

SILT FENCE DETAIL
N.T.S.



NOTES:
 1. LOCATE WASHOUT AREA A MINIMUM OF 50 FEET FROM OPEN CHANNELS, STORMDRAIN INLETS, WETLANDS OR WATERBODIES
 2. LOCATE WASHOUT AREA SO THAT IT IS ACCESSIBLE TO CONCRETE EQUIPMENT (SERVICE A MINIMUM 10 FOOT WIDE GRAVEL ACCESSWAY), BUT SO IT IS NOT IN A HIGHLY ACTIVE CONSTRUCTION AREA CAUSING ACCIDENTAL DAMAGE.
 3. MINIMUM DIMENSIONS FOR PREFABRICATED UNITS ARE 4 FEET BY 4 FEET BY 1 FOOT DEEP WITH A MINIMUM 4 MIL POLYETHYLENE PLASTIC LINER. MINIMUM DIMENSIONS FOR CONSTRUCTED CONCRETE WASHOUT AREAS ARE 6 FEET BY 6 FEET BY 3 FEET DEEP, WITH A MINIMUM 10 MIL POLYETHYLENE LINER, 2:1 SIDE SLOPES, AND A 1 FOOT HIGH BY 1 FOOT WIDE COMPACTED FILL BERM.
 4. THE LINER MUST BE FREE OF TEARS OR HOLES AND PLACED OVER SMOOTH SURFACES TO PREVENT PUNCTURING. FOR EXCAVATED WASHOUTS, ANCHOR THE LINER UNDERNEATH THE BERM OR OVERTOP WITH SANDBAGS OR CONCRETE BLOCKS TO HOLD IN PLACE.
 5. PROVIDE A SIGN DESIGNATING THE WASHOUT AREA, AND FOR LARGE CONSTRUCTION SITES, PROVIDE SIGNS THROUGHOUT DIRECTING TRAFFIC TO ITS LOCATION.
 6. ALLOW WASHED OUT CONCRETE MIXTURE TO HARDEN THROUGH EVAPORATION OF THE WASTEWATER. ONCE THE FACILITY HAS REACHED 75 PERCENT OF ITS CAPACITY, REMOVE THE HARDENED CONCRETE BY REUSING THE BROKEN AGGREGATE ONSITE, RECYCLING, OR DISPOSING OF OFFSITE. THE HARDENED MATERIAL CAN BE BURIED ON SITE WITH MINIMUM OF 1 FOOT OF CLEAN, COMPACTED FILL.
 7. APPLY A NEW LINER BEFORE REUSING THE STATION FOR ADDITIONAL WASHOUTS AFTER MAINTENANCE HAS OCCURRED.
 8. THE USE OF A MANUFACTURED WASHOUT IS PERMITTED SUBJECT TO APPROVAL BY THE UNDERSIGNED ENGINEER. CONTRACTOR SHALL SUBMIT A SHOP DRAWING FOR AUTHORIZATION.

CONCRETE WASHOUT DETAIL
N.T.S.



NOTES:
 1. ENSURE THE 8"MIN. x 48" TO 12"MAX. x 48" BARRICADE RAILS TO BE ATTACHED ACCORDING TO THE MANUFACTURERS' RECOMMENDATION.
 2. ENSURE ORANGE AND SILVER (WHITE) STRIPES TO BE RESTROREFLECTIVE SHEETING, ASTM D4958 TYPE III, ALTERNATE ORANGE AND SILVER (WHITE) STRIPES 8" WIDE SLOPING DOWNWARD THE ANGEL OF 45 DEGREES IN THE DIRECTION TRAFFIC IS TO PASS
 3. THE FRAMING, RAILS, AND BALLAST FOR BREAKAWAY BARRICADE TO BE NCHRP-350 CRASHED TESTED AND FHWA APPROVED.
 4. IF NECESSARY, FABRICATE THE BALLAST AND PLACE ACCORDING TO THE MANUFACTURERS' RECOMMENDATION.

BREAKAWAY TYPE III BARRICADE DETAIL
N.T.S.

**BID SET
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Pennoni
 PENNONI ASSOCIATES INC.
 515 Grove Street, Suite 1B
 Haddon Heights, NJ 08035
 T 856.547.0505 F 856.547.9174
 NJ COA NO. G428033300

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ANDREW T. BANFF
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE 45121

[Signature] 7/17/2020

RIVERSIDE FIRE COMPANY EXPANSION
 14 W SCOTT ST
 RIVERSIDE TOWNSHIP
 SOIL EROSION AND SEDIMENT CONTROL DETAILS
 RIVERSIDE FIRE COMPANY
 14 W SCOTT ST
 RIVERSIDE TOWNSHIP, NJ 08075

NO.	DATE	BY	REVISIONS

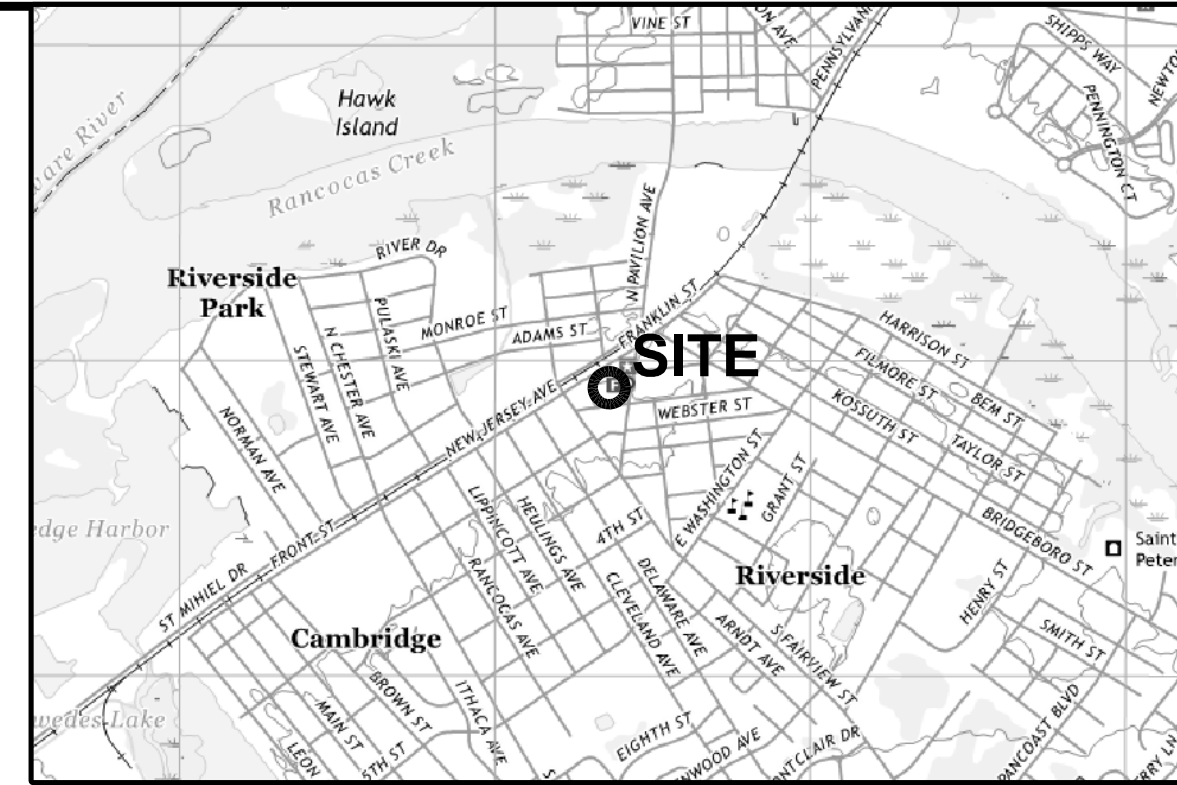
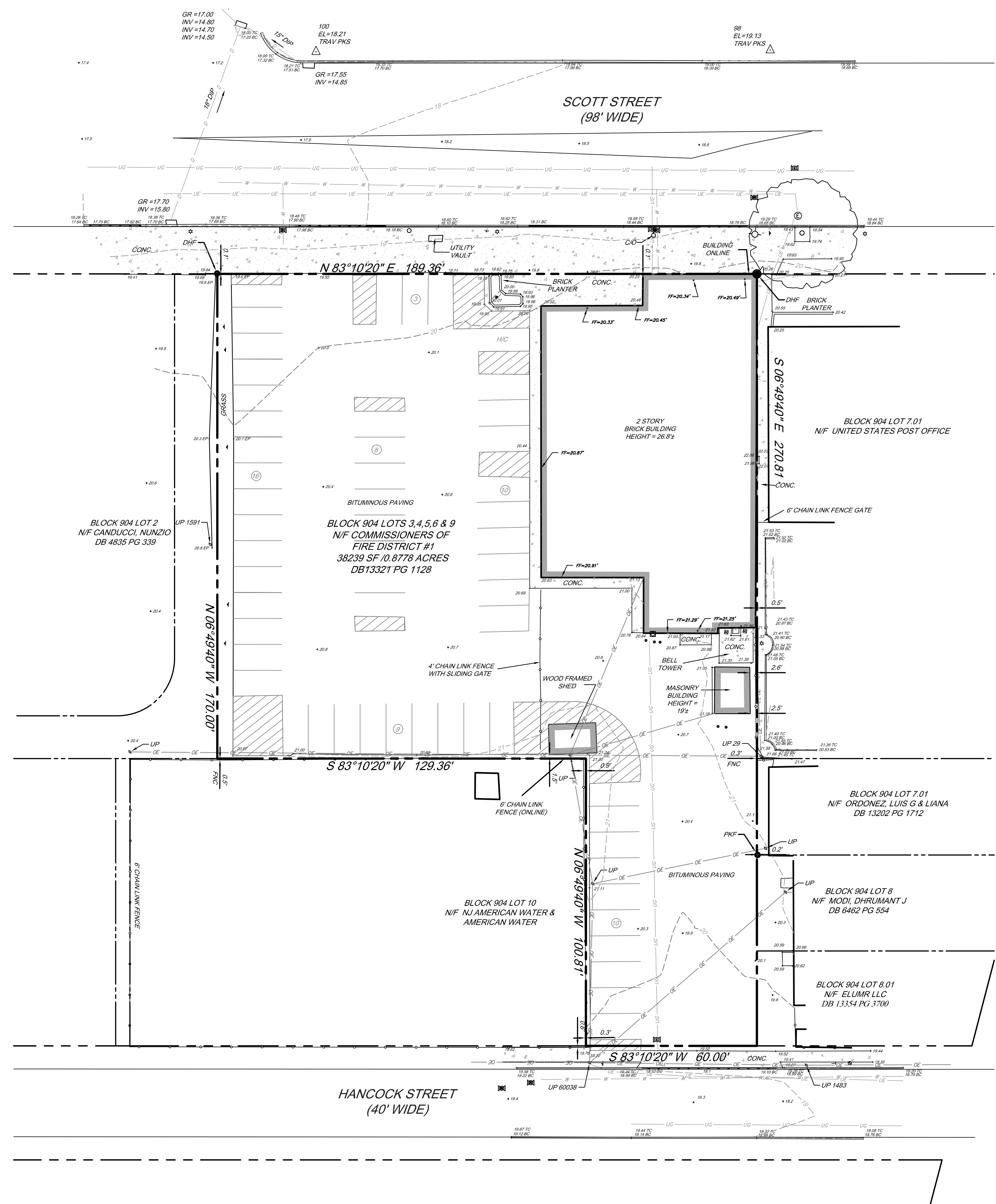
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PROJECT: **RSFDX19001**
 DATE: **JULY 17, 2020**
 DRAWING SCALE: **N.T.S.**
 DRAWN BY: **XY**
 APPROVED BY: **ATB**

CS8502
 SHEET 13 OF 13

PROJECT STATUS: PLOTTED: 7/20/2020 3:32 PM BY: Andrew T. Banff PLOT STYLE: Pennoni V2018.dwg U:\drawings\RSFDX19001 - Remedial Site Remediation and Ancillary\CS8502_SHEET13CS8502.dwg

U:\Account\RSFD\RSFD\19001 - Riverside Fire Co. Remodeler and FENCE\DWG\RSFD\19001_V0401.dwg
 PLOTTED: 1/28/2019 1:58 PM BY: Donald L. Lewis PROJECT STATUS:



LOCATION MAP
 N 40-02-14 W 74-57-38
 BEVERLY QUAD
 1" = 2000'

NOTES:

- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY EASEMENT, RESTRICTION AND/OR COVENANTS THAT A CURRENT REPORT OF TITLE, OR COMPLETE SEARCH OF THE PUBLIC RECORD, MAY DISCLOSE.
- THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE FOLLOWING SOURCES OF INFORMATION:
 - A-DEEDS OF RECORD
 - B-AN ACTUAL FIELD SURVEY PERFORMED BY PENNONI ASSOCIATES
 - C -THE "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWNSHIP OF RIVERSIDE, NEW JERSEY, BURLINGTON COUNTY, PANEL 112 OF 641," COMMUNITY PANEL NUMBER 340113, EFFECTIVE DATE: 12/21/2017, PARCEL IS LOCATED IN SPECIAL FLOOD HAZARD ZONE X (AREAS OF MINIMAL FLOOD HAZARD).
- BLOCK AND LOT NUMBERS REFER TO THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF RIVERSIDE BURLINGTON COUNTY, NEW JERSEY, PLATE #9.
- PLANIMETRIC & TOPOGRAPHIC FEATURES SHOWN ARE TAKEN FROM AN ACTUAL FIELD SURVEY PERFORMED BY PENNONI ASSOCIATES ON 12/03/19.
- THIS SURVEY IS NOT INTENDED TO GUARANTEE OWNERSHIP.
- SURVEY BASED ON N.J.S.P.C.S. NAD '83 (2011). SURVEY SCALED TO GROUND AT POINT XXXX.
 - GROUND SCALE FACTOR: 0.9999190420
 - GROUND COORDINATES: N:439,041.127 E:363,070.514 Z:18.21
 - VERTICAL DATUM: NAVD 1988
- IT IS BEYOND THE SCOPE OF THIS SURVEY TO DETERMINE THE EXISTENCE OR NON-EXISTENCE OF ANY REGULATED ENVIRONMENTAL CONDITION ON OR NEAR THE SUBJECT PARCEL(S). UNDERGROUND EXPLORATIONS WERE NOT CONDUCTED OR UTILIZED DURING THE PREPARATION OF THIS SURVEY. CONCERNED PARTIES SHOULD PURSUE ANY ENVIRONMENTAL MATTERS SEPARATE AND APART FROM THIS SURVEY.
- IT SHOULD NOT BE ASSUMED THAT ANY COPY OF THIS DRAWING WITHOUT A RAISED IMPRESSION OF THE SURVEYOR'S SEAL IS A TRUE COPY OF THE ORIGINAL AS ISSUED BY THE SURVEYOR.
- THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS ILLUSTRATED ARE BASED UPON UTILITY MARKOUT AND ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD. THE STATE OF NEW JERSEY REQUIRES NOTIFICATION PRIOR TO ANY EXCAVATION BY UTILIZING THE NEW JERSEY ONE-CALL SYSTEM (1-800-272-1000).

LEGEND

	PROPERTY LINE
	RIGHT OF WAY LINE
	CURB
	CURB DEPRESSION
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	FENCE
	OVERHEAD ELECTRIC
	WATER LINE
	UNDERGROUND GAS
	SANITARY SEWER LINE
	STORM SEWER LINE
	UNDERGROUND CATV
	UNDERGROUND ELECTRIC
	CONTROL POINT
	NATURAL GAS METER
	NATURAL GAS VALVE
	POWER UTILITY POLE
	SITE TRAFFIC SIGN
	SANITARY SEWER CLEAN-OUT
	SANITARY SEWER MANHOLE
	STORM SEWER INLET
	STORM SEWER MANHOLE
	ROOF DRAIN
	MINOR CONTOUR
	MAJOR CONTOUR
	SPOT ELEVATION
	WATER FIRE HYDRANT
	WATER VALVE



PENNONI ASSOCIATES INC.
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Keith M. Ludwig, PLS
 New Jersey LIC. 24GS04324400

RIVERSIDE FIRE COMPANY
 4 SCOTT STREET
 RIVERSIDE NEW JERSEY 08075
TOPOGRAPHIC AND BOUNDARY SURVEY
 LAMMEY + GIORGIO
 215 HIGHLAND AVENUE #B
 HADDON TOWNSHIP NEW JERSEY 08108

NO.	DATE	REVISIONS	BY

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PROJECT	RSFDX19001
DATE	2019-12-03
DRAWING SCALE	1"=20'
DRAWN BY	DJL
APPROVED BY	KML

V0401
 SHEET 1 OF 1