Addition to West Windsor - Plainsboro High School North 90 Grovers Mill Road, Plainsboro, New Jersey 08536

West Windsor Plainsboro Regional School District 321 Village Road East, West Windsor, New Jersey 08550



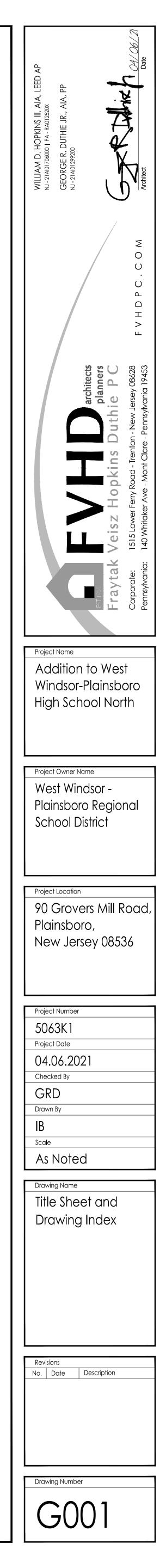
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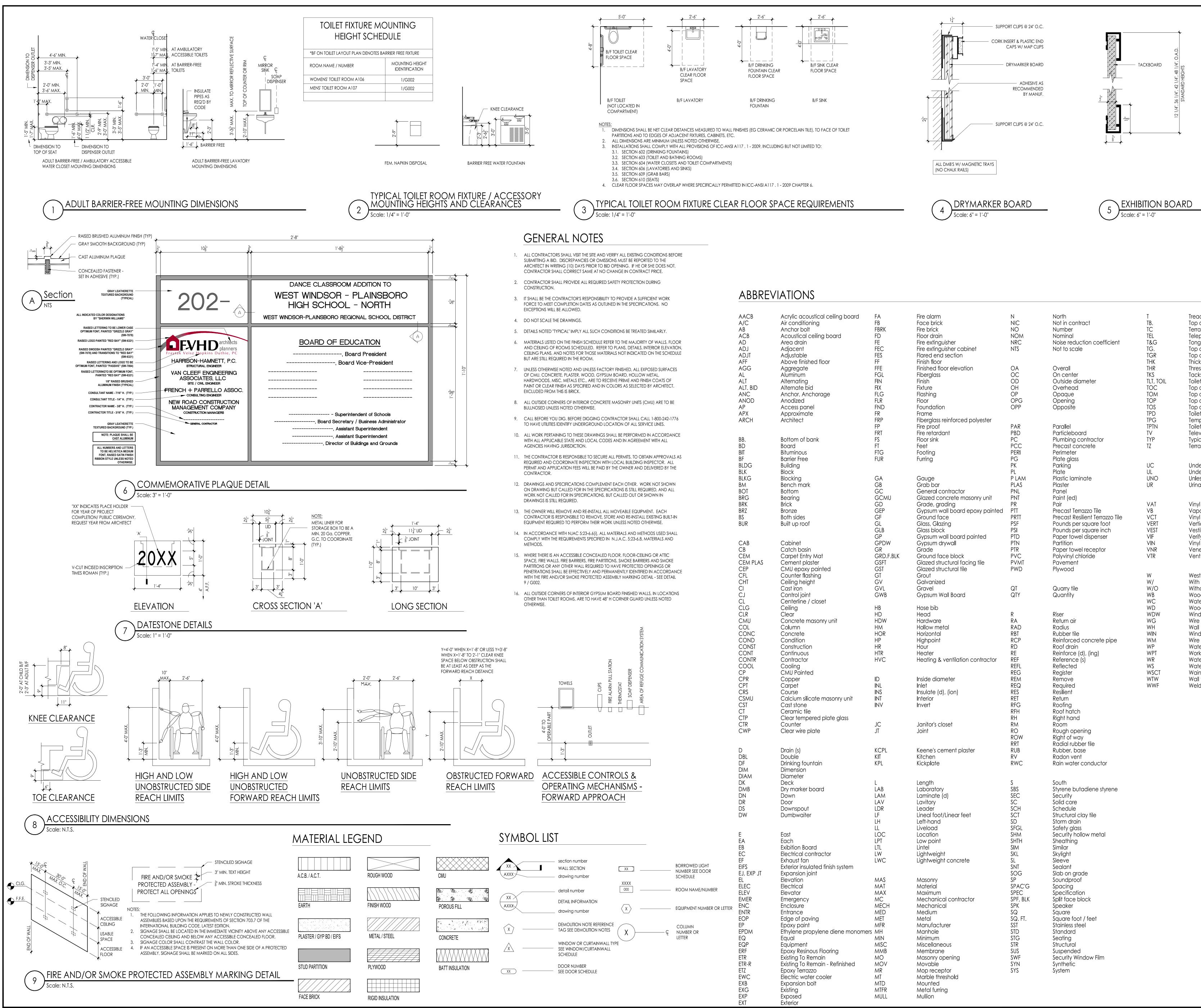
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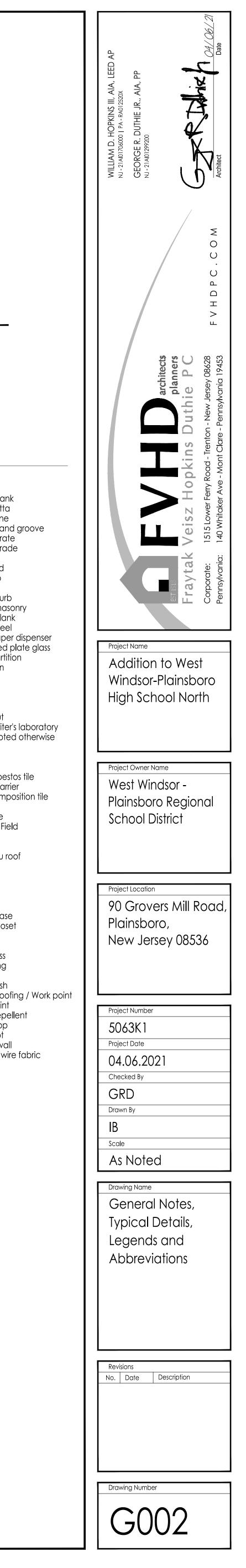
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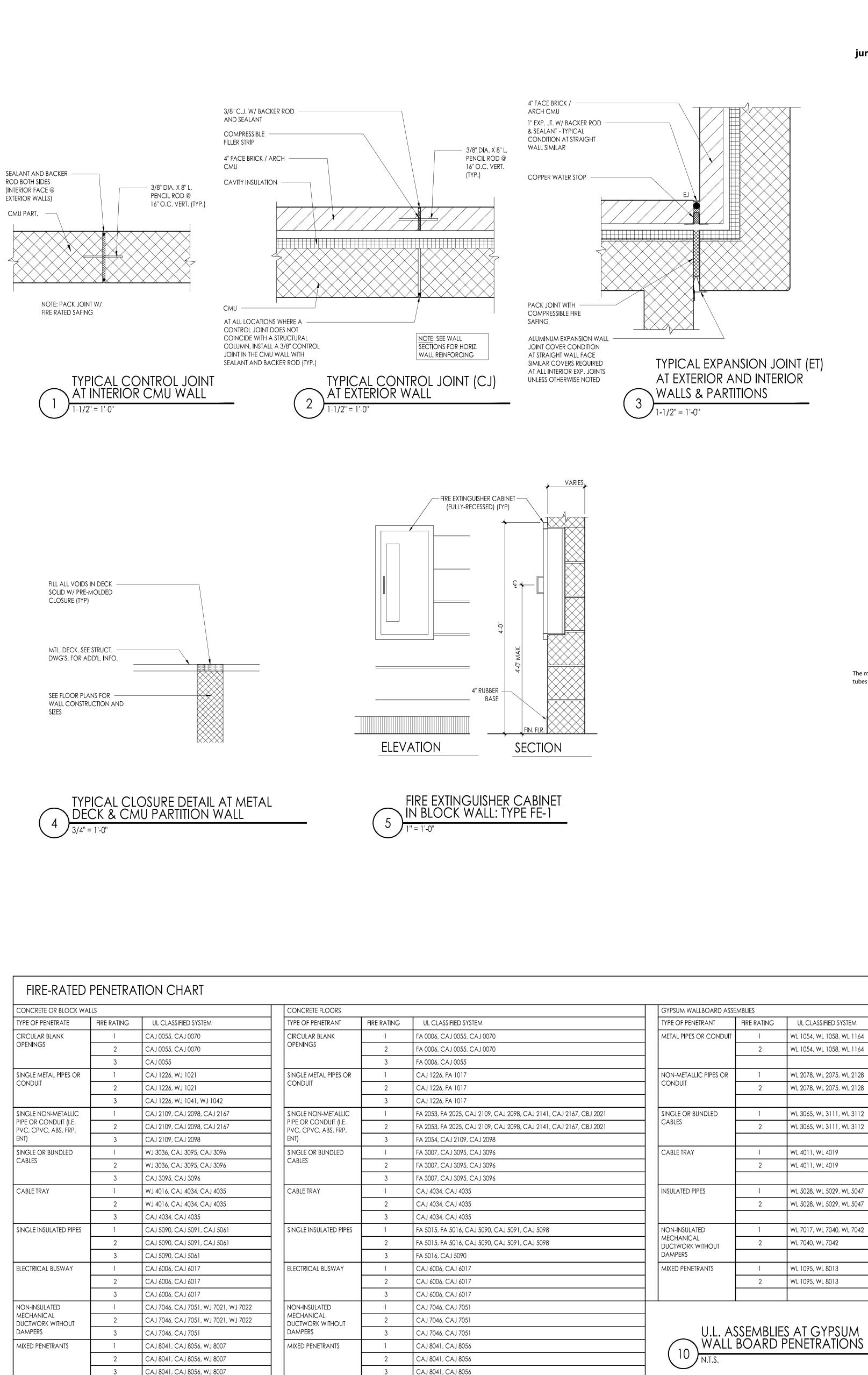
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P2.0 Fire Protection Floor Plan P1.0 Fire Protection Floor Plan PLUMBING Image: Comparison of the plan	FIRE PROTECTION			
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4.0 Plumbing Part Roof Plan 5.0 Plumbing Enlarged Plans & Details				
5.0 Plumbing Enlarged Plans & Details				





ATIONS						
Acrylic acoustical ceiling board	FA	Fire alarm	Ν	North	Т	Tread
Air conditioning	FB	Face brick	NIC	Not in contract	TB.	Top of bank
Anchor bolt Acoustical ceiling board	FBRK FD	Fire brick Floor drain	NO NOM	Number Nominal	TC TEL	Terra cotta Telephone
Area drain	FE	Fire extinguisher	NRC	Noise reduction coefficient	T&G	Tongue and
Adjacent	FEC FES	Fire extinguisher cabinet Flared end section	NTS	Not to scale	TG. TGR	Top of grate
Adjustable Above finished floor	FES	Finish floor			THK	Top of grade Thick
Aggregate	FFE	Finished floor elevation	OA	Overall	THR	Threshold
Aluminum Alternating	FGL FIN	Fiberglass Finish	OC OD	On center Outside diameter	tks tlt, toil	Tackstrip Toilet
Alternate bid	FIX	Fixture	ОН	Overhead	TOC	Top of curb
Anchor, Anchorage	FLG	Flashing	OP	Opaque	TOM	Top of masc
Anodized Access panel	FLR FND	Floor Foundation	OPG OPP	Opening Opposite	top tos	Top of plank Top of steel
Approximate	FR	Frame	-	- 1-1	TPD	Toilet paper
Architect	FRP FP	Fiberglass reinforced polyester Fire proof	PAR	Parallel	TPG TPTN	Tempered p Toilet partitio
	FRT	Fire retardant	PBD	Particleboard	TV	Television
Bottom of bank	FS	Floor sink	PC	Plumbing contractor	TYP	Typical
Board Bituminous	ft FtG	Feet Footing	PCC PERI	Precast concrete Perimeter	TZ	Terrazzo
Barrier Free	FUR	Furring	PG	Plate glass		
Building			PK PL	Parking Plate	UC UL	Undercut
Block Blocking	GA	Gauge	PL P LAM	Plastic Iaminate	UNO	Underwriter's Unless noted
Bench mark	GB	Grab bar	PLAS	Plaster	UR	Urinal
Bottom Bearing	GC GCMU	General contractor Glazed concrete masonry unit	PNL PNT	Panel Paint (ed)		
Brick	GCMU	Grade, grading	PR	Pair	VAT	Vinyl asbest
Bronze	GEP	Gypsum wall board epoxy painted	PTT	Precast Terrazzo Tile	VB	Vapor barrie
Both sides Built up roof	GF GL	Ground face Glass, Glazing	PRTT PSF	Precast Resilient Terrazzo Tile Pounds per square foot	VCT VERT	Vinyl compo Vertical
	GLB	Glass block	PSI	Pounds per square inch	VEST	Vestibule
	GP	Gypsum wall board painted	PTD	Paper towel dispenser	VIF	Verify In Field
Cabinet Catch basin	GPDW GR	Gypsum drywall Grade	PTN PTR	Partition Paper towel receptor	VIN VNR	Vinyl Veneer
Carpet Entry Mat	GRD.F.BLK	Ground face block	PVC	Polyvinyl chloride	VTR	Vent thru ro
Cement plaster	GSFT GST	Glazed structural facing tile Glazed structural tile	PVMT PWD	Pavement Bluwood		
CMU epoxy painted Counter flashing	GI	Grout	FWD	Plywood	W	West
Ceiling height	GV	Galvanized			W/	With
Cast iron Control joint	GVL GWB	Gravel Gypsum Wall Board	QT QTY	Quarry tile Quantity	W/O WB	Without Wood base
Centerline / closet	GVVB	Gypsonn wall board	QII	Quanny	WC	Water close
Ceiling	HB	Hose bib	P		WD	Wood
Clear Concrete masonry unit	HD HDW	Head Hardware	R RA	Riser Return air	WDW WG	Window Wire glass
Column	HM	Hollow metal	RAD	Radius	WH	Wall hung
Concrete Condition	HOR HP	Horizontal	rbt RCP	Rubber tile Reinforced concrete pipe	WIN WM	Window Wire mesh
Construction	HR	Highpoint Hour	RD	Roof drain	WP	Waterproofi
Continuous	HTR	Heater	RE	Reinforce (d), (ing)	WPT	Work point
Contractor Cooling	HVC	Heating & ventilation contractor	REF REFL	Reference (s) Reflected	WR WS	Water repell Waterstop
CMU Painted			REG	Register	WSCT	Wainscot
Copper	ID	Inside diameter	REM	Remove	WTW	Wall to wall
Carpet Course	INL INS	Inlet Insulate (d), (ion)	req res	Required Resilient	WWF	Welded wire
Calcium silicate masonry unit	INT	Interior	RET	Return		
Cast stone Ceramic tile	INV	Invert	rfg Rfh	Roofing Roof hatch		
Clear tempered plate glass			RH	Right hand		
Counter	1 <u>C</u>	Janitor's closet	RM	Room		
Clear wire plate	JT	Joint	RO ROW	Rough opening Right of way		
			RRT	Radial rubber tile		
Drain (s)	KCPL	Keene's cement plaster	RUB	Rubber, base		
Double Drinking fountain	KIT KPL	Kitchen Kickplate	RV RWC	Radon vent Rain water conductor		
Dimension						
Diameter Deck	1	Length	S	South		
Dry marker board	LAB	Laboratory	SBS	Styrene butadiene styrene		
Down	LAM	Laminate (d)	SEC	Security		
Door Downspout	lav Ldr	Lavitory Leader	sc sch	Solid core Schedule		
Dumbwaiter	LF	Lineal foot/Linear feet	SCT	Structural clay tile		
	LH	Left-hand	SD	Storm drain		
East	ll LOC	Liveload Location	sfgl shm	Safety glass Security hollow metal		
Each	LPT	Low point	SHTH	Sheathing		
Exibition Board Electrical contractor	LTL LW	Lintel	SIM SKL	Similar Skyliaht		
Exhaust fan	LWC	Lightweight Lightweight concrete	SL	Skylight Sleeve		
Exterior insulated finish system		6 6	SNT	Sealant		
Expansion joint Elevation	MAS	Masonry	sog sp	Slab on grade Soundproof		
Electrical	MAT	Material	spac'g	Spacing		
Elevator	MAX	Maximum Machanical contractor	SPEC	Specification		
Emergency Enclosure	MC MECH	Mechanical contractor Mechanical	SPF, BLK SPK	Split face block Speaker		
Entrance	MED	Medium	SQ	Square		
Edge of paving	MET	Metal Manufacturor	SQ. FT.	Square foot / feet		
Epoxy paint Ethylene propylene diene monomers	MFR 5 MH	Manufacturer Manhole	sst std	Stainless steel Standard		
Equal	MIN	Minimum	stg	Seating		
Equipment	MISC MMB	Miscellaneous Membrane	STR	Structural Suspended		
Epoxy Resinous Flooring Existing To Remain	MO MMB	Membrane Masonry opening	SUS SWF	Suspended Security Window Film		
Existing To Remain - Refinished	MOV	Movable	SYN	Synthetic		
Epoxy Terrazzo Electric water cooler	MR MT	Mop receptor Marble threshold	SYS	System		
Expansion bolt	MTD	Mounted				
Existing	MTFR	Metal furring				

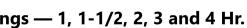


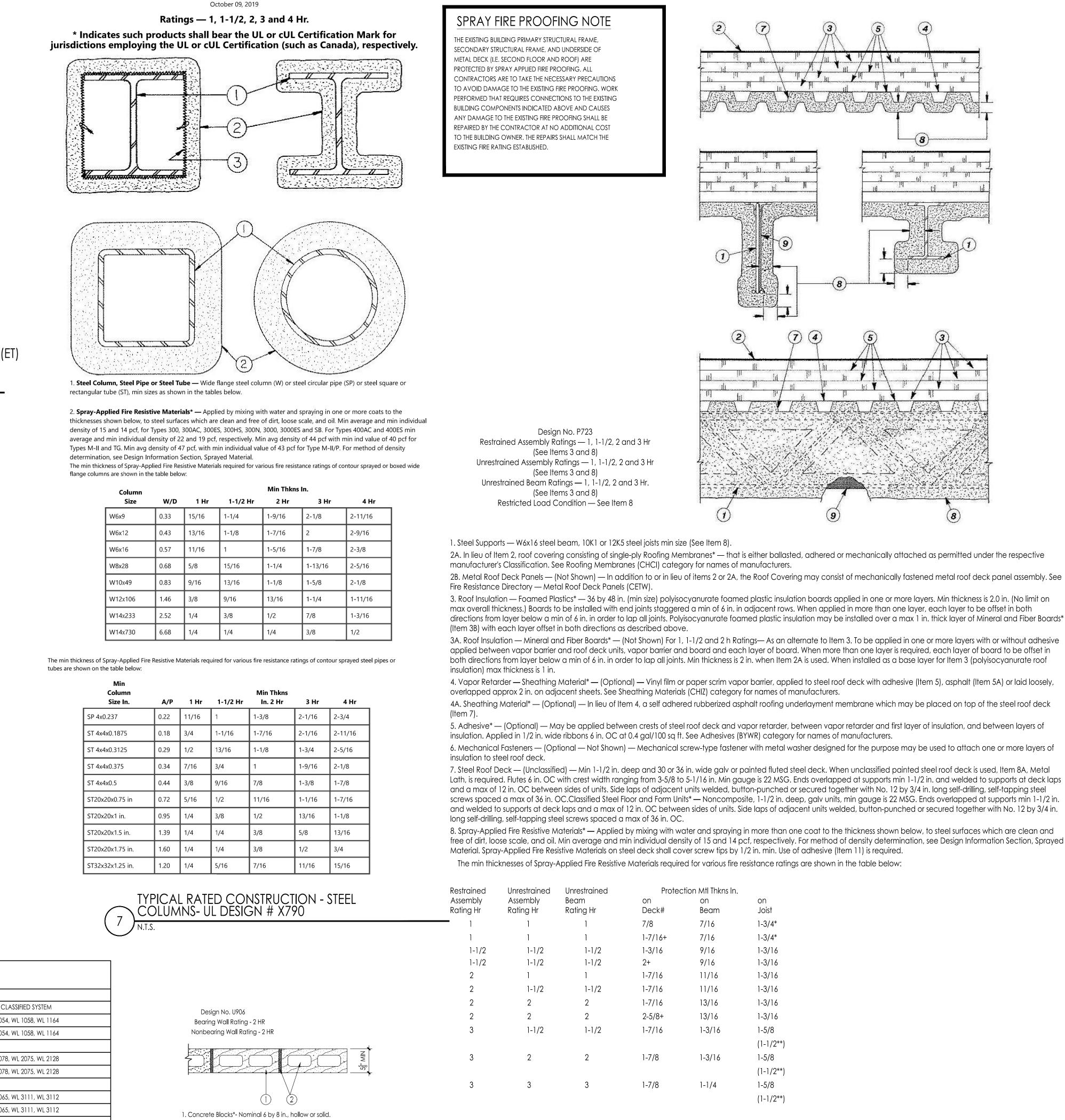


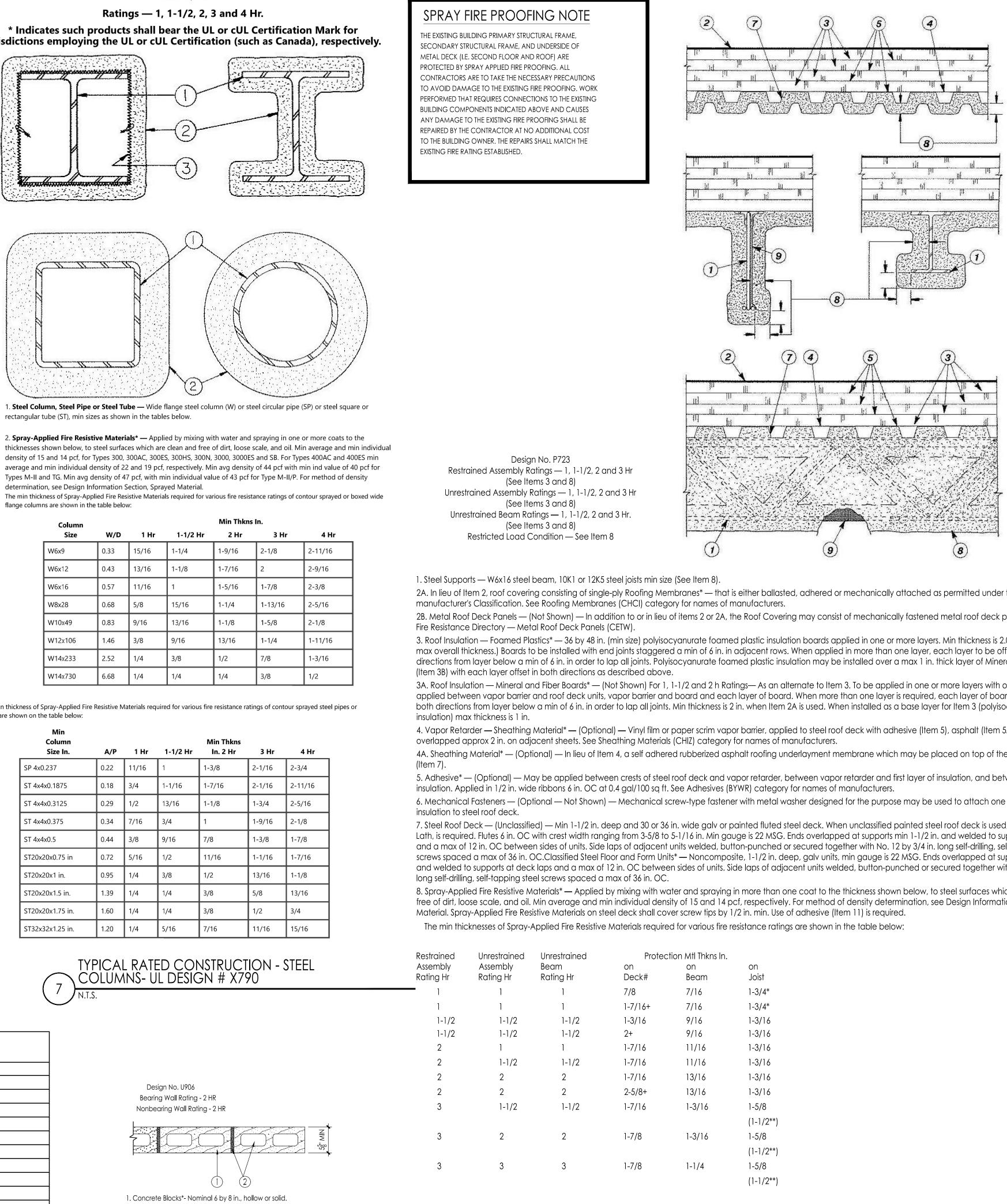
J.L. ASSEMBLIES AT CONCRETE OR SLOCK WALL PENETRATIONS

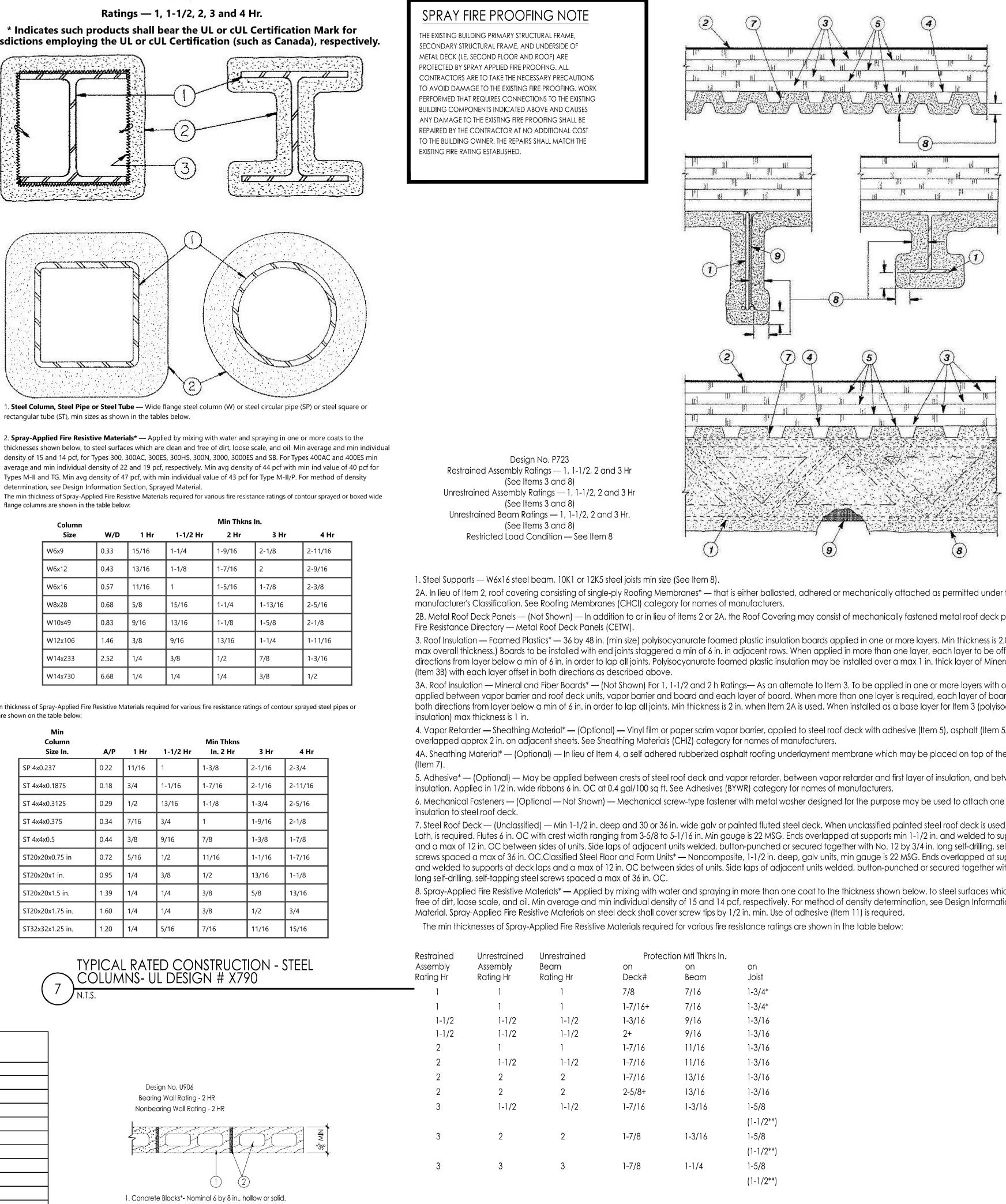


Design No. X790









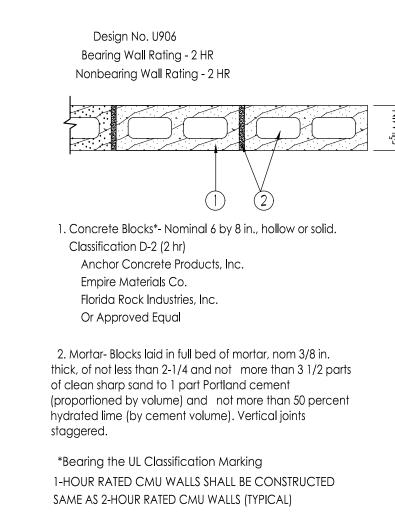
Column		Min Thkns In.							
Size	W/D	1 Hr	1-1/2 Hr	2 Hr	3 Hr	4			
W6x9	0.33	15/16	1-1/4	1-9/16	2-1/8	2-11/1			
W6x12	0.43	13/16	1-1/8	1-7/16	2	2-9/16			
W6x16	0.57	11/16	1	1-5/16	1-7/8	2-3/8			
W8x28	0.68	5/8	15/16	1-1/4	1-13/16	2-5/16			
W10x49	0.83	9/16	13/16	1-1/8	1-5/8	2-1/8			
W12x106	1.46	3/8	9/16	13/16	1-1/4	1-11/1			
W14x233	2.52	1/4	3/8	1/2	7/8	1-3/16			
W14x730	6.68	1/4	1/4	1/4	3/8	1/2			

tubes are shown on the table below:

Min Column				Min Thkns		
Size In.	A/P	1 Hr	1-1/2 Hr	In. 2 Hr	3 Hr	4 Hr
SP 4x0.237	0.22	11/16	1	1-3/8	2-1/16	2-3/4
ST 4x4x0.1875	0.18	3/4	1-1/16	1-7/16	2-1/16	2-11/16
ST 4x4x0.3125	0.29	1/2	13/16	1-1/8	1-3/4	2-5/16
ST 4x4x0.375	0.34	7/16	3/4	1	1-9/16	2-1/8
ST 4x4x0.5	0.44	3/8	9/16	7/8	1-3/8	1-7/8
ST20x20x0.75 in	0.72	5/16	1/2	11/16	1-1/16	1-7/16
ST20x20x1 in.	0.95	1/4	3/8	1/2	13/16	1-1/8
ST20x20x1.5 in.	1.39	1/4	1/4	3/8	5/8	13/16
ST20x20x1.75 in.	1.60	1/4	1/4	3/8	1/2	3/4
ST32x32x1.25 in.	1.20	1/4	5/16	7/16	11/16	15/16



	GYPSUM WALLBOARD ASSE	GYPSUM WALLBOARD ASSEMBLIES				
	TYPE OF PENETRANT	FIRE RATING	UL CL			
	METAL PIPES OR CONDUIT	1	WL 1054			
		2	WL 1054			
	NON-METALLIC PIPES OR	1	WL 2078			
		2	WL 2078			
CAJ 2141, CAJ 2167, CBJ 2021	SINGLE OR BUNDLED	1	WL 3065			
CAJ 2141, CAJ 2167, CBJ 2021	CABLES	2	WL 3065			
	CABLE TRAY	1	WL 4011			
		2	WL 4011			
	INSULATED PIPES	1	WL 5028			
		2	WL 5028			
CAJ 5098	NON-INSULATED	1	WL 7017			
CAJ 5098	MECHANICAL DUCTWORK WITHOUT	2	WL 7040			
	DAMPERS MIXED PENETRANTS	1	WL 1095			
		2	WL 1095			
		SSEMBLIE BOARD	SAT (





#The required minimum thickness of Spray-Applied Fire Resistive Materials on the steel deck is increased by 1/16 in. for 1-1/2 hr Unrestrained Assembly Rating and 1/4 in. for 2 hr Unrestrained Assembly Rating when Item 5B is used.

+No minimum insulation thickness required.

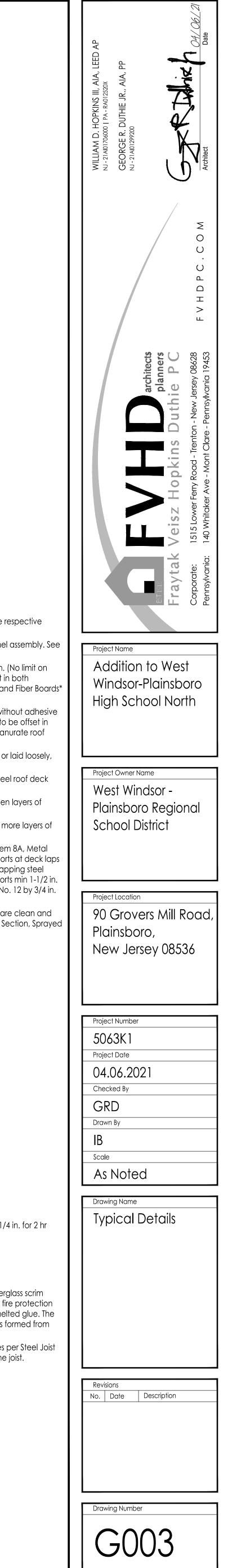
*-The 3/4 in. thickness may be applied when numeral and fiber board insulation is used or when the joist is limited to max tensile stress of 26,000 psi.

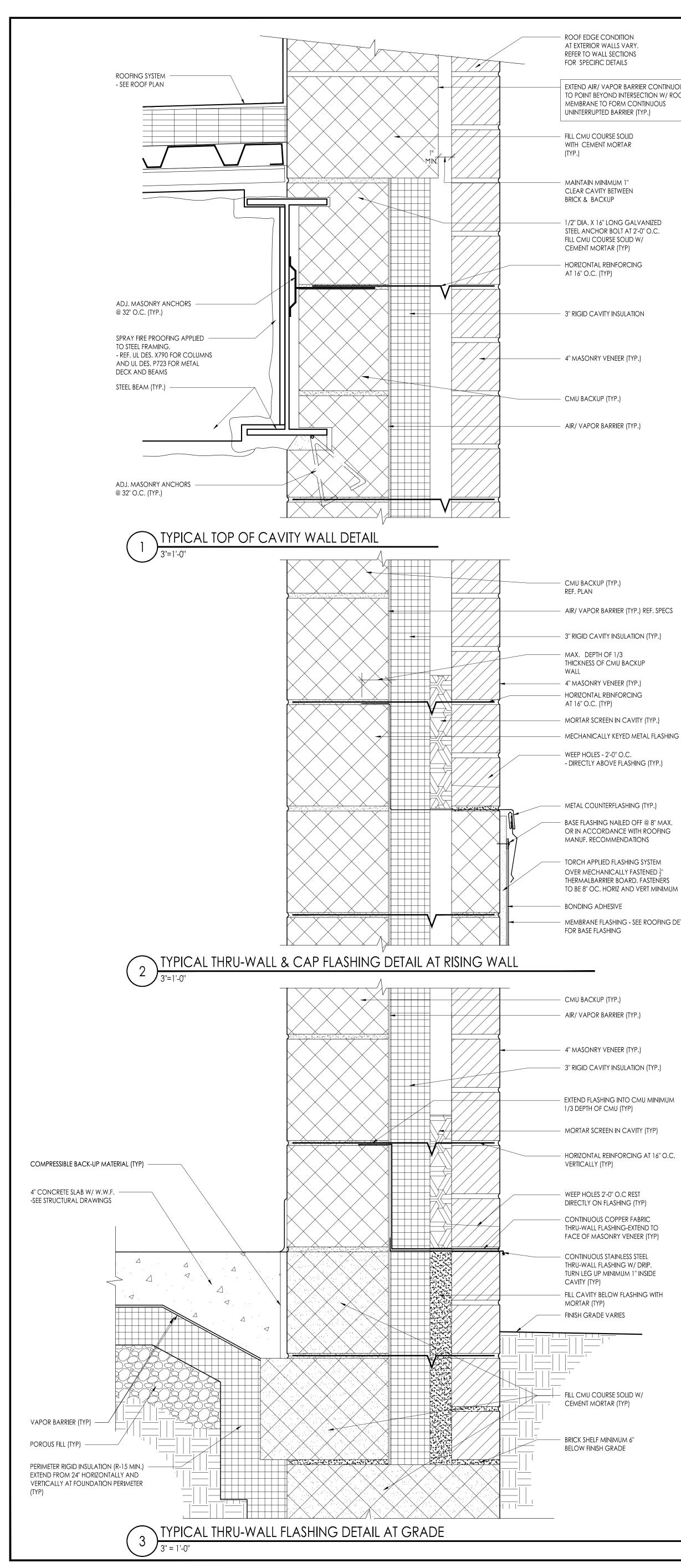
**-The 1-1/2 in. thickness may be applied when minimum size joist is 12K5.

9. Glass Fiber Mesh — (Optional) — May be used to facilitate the spray application of the protection material to the steel bar joists. Min 3/32 in. sq mesh, coated fiberglass scrim fabric, weighing a min of 1.9 oz/sq yd shall be attached to one side of each joist web member. The method of attachment must be sufficient to hold the mesh and fire protection material during application and curing of the material. An acceptable method of attaching the mesh is by embedding the mesh in min 1/4 in. long beads of hot-melted glue. The beads of glue shall be spaced min 12 in. OC along the top chord of the bar joists. Another method of attachment is the use of 1-1/4 in. long 1/2 in. wide hairpin clips formed from 0.064 in. diam steel wire, alternating from top to bottom of the joist web member.

10. Bridging — (Not Shown) — Min 1-1/4 by 1-1/4 by 1/8 in. thick steel angles welded to top and bottom chords of each joist. Number and spacing of bridging angles per Steel Joist Institute specification. Bridging coated with the same thickness of Spray-Applied Fire Resistive Materials as the joist to a min distance of 12 in. beyond each side of the joist. 11. Adhesive* — Applied to steel roof deck in accordance with manufacturer's instructions. *Bearing the UL Classification Mark

TYPICAL RATED CONSTRUCTION - STEEL BEAMS AND STEEL DECK- UL DESIGN # U-P723





ROOF EDGE CONDITION AT EXTERIOR WALLS VARY. REFER TO WALL SECTIONS FOR SPECIFIC DETAILS

EXTEND AIR/ VAPOR BARRIER CONTINUOUSLY TO POINT BEYOND INTERSECTION W/ ROOFING MEMBRANE TO FORM CONTINUOUS UNINTERRUPTED BARRIER (TYP.)

FILL CMU COURSE SOLID WITH CEMENT MORTAR (TYP.)

MAINTAIN MINIMUM 1" CLEAR CAVITY BETWEEN

1/2" DIA. X 16" LONG GALVANIZED STEEL ANCHOR BOLT AT 2'-0" O.C. FILL CMU COURSE SOLID W/ CEMENT MORTAR (TYP) - HORIZONTAL REINFORCING

AT 16" O.C. (TYP)

- 3" RIGID CAVITY INSULATION

- 4" MASONRY VENEER (TYP.)

- CMU BACKUP (TYP.)

- AIR/ VAPOR BARRIER (TYP.)

THICKNESS OF CMU BACKUP

WEEP HOLES - 2'-0" O.C.

- DIRECTLY ABOVE FLASHING (TYP.)

METAL COUNTERFLASHING (TYP.)

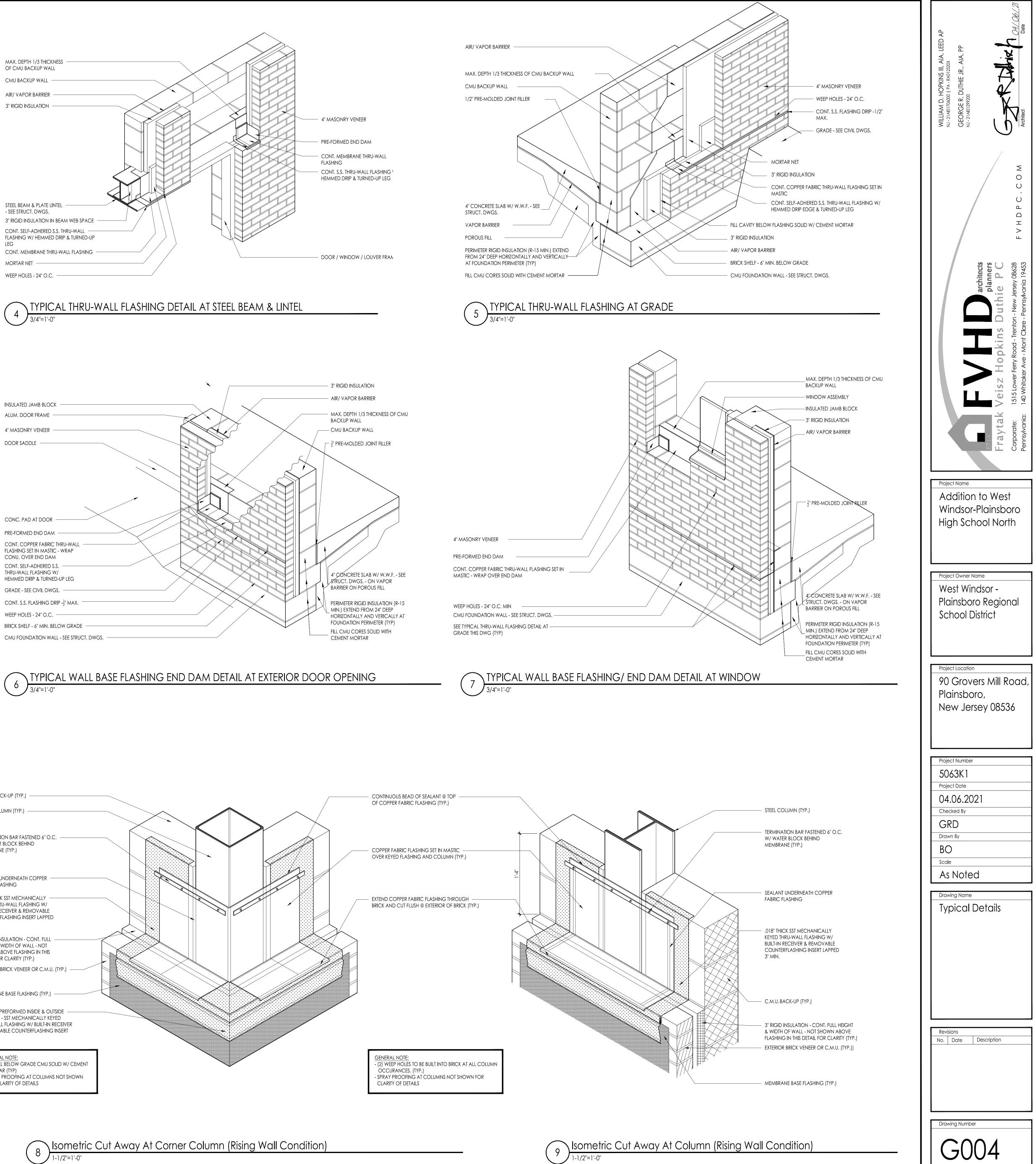
BASE FLASHING NAILED OFF @ 8" MAX.

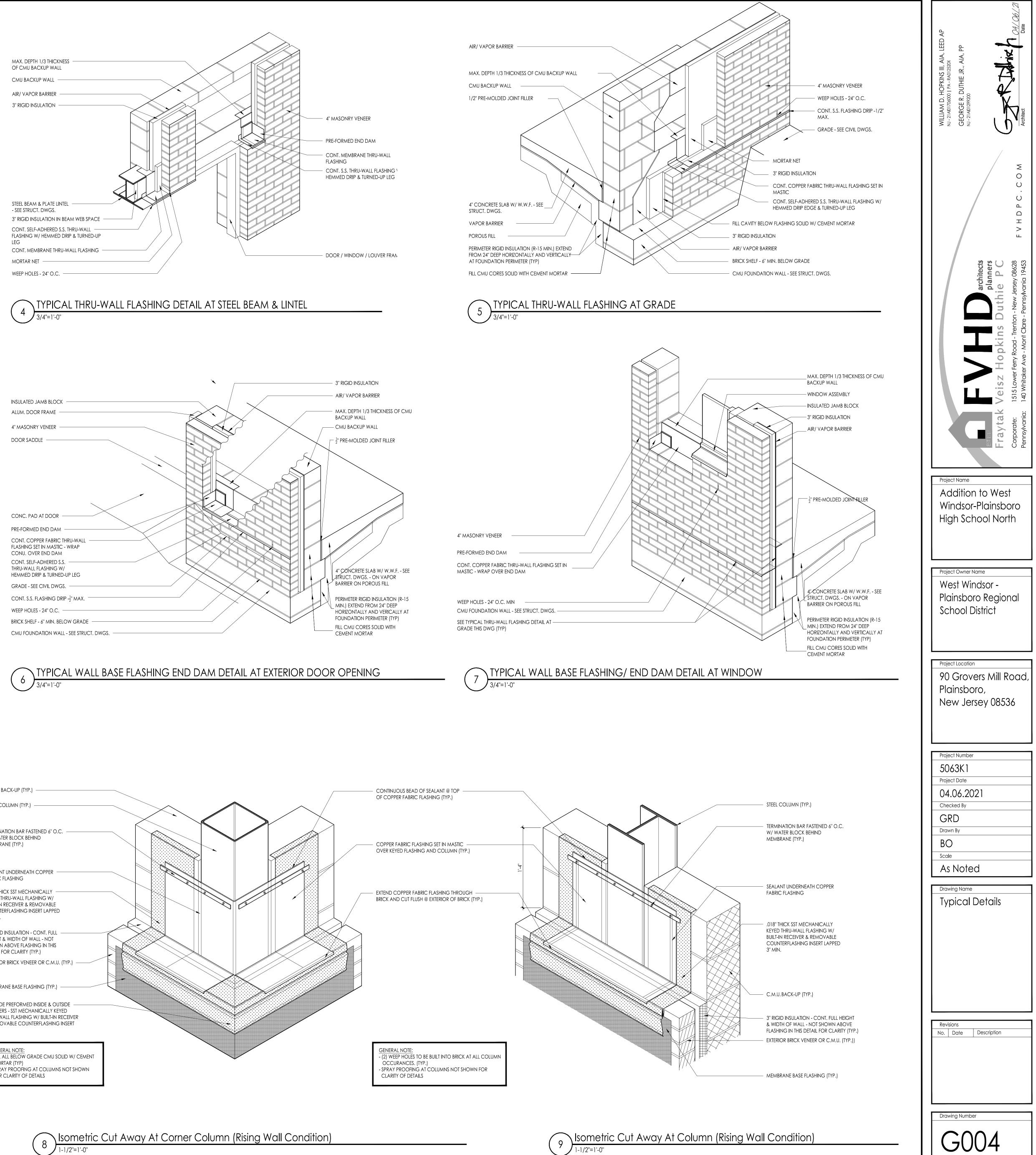
OR IN ACCORDANCE WITH ROOFING

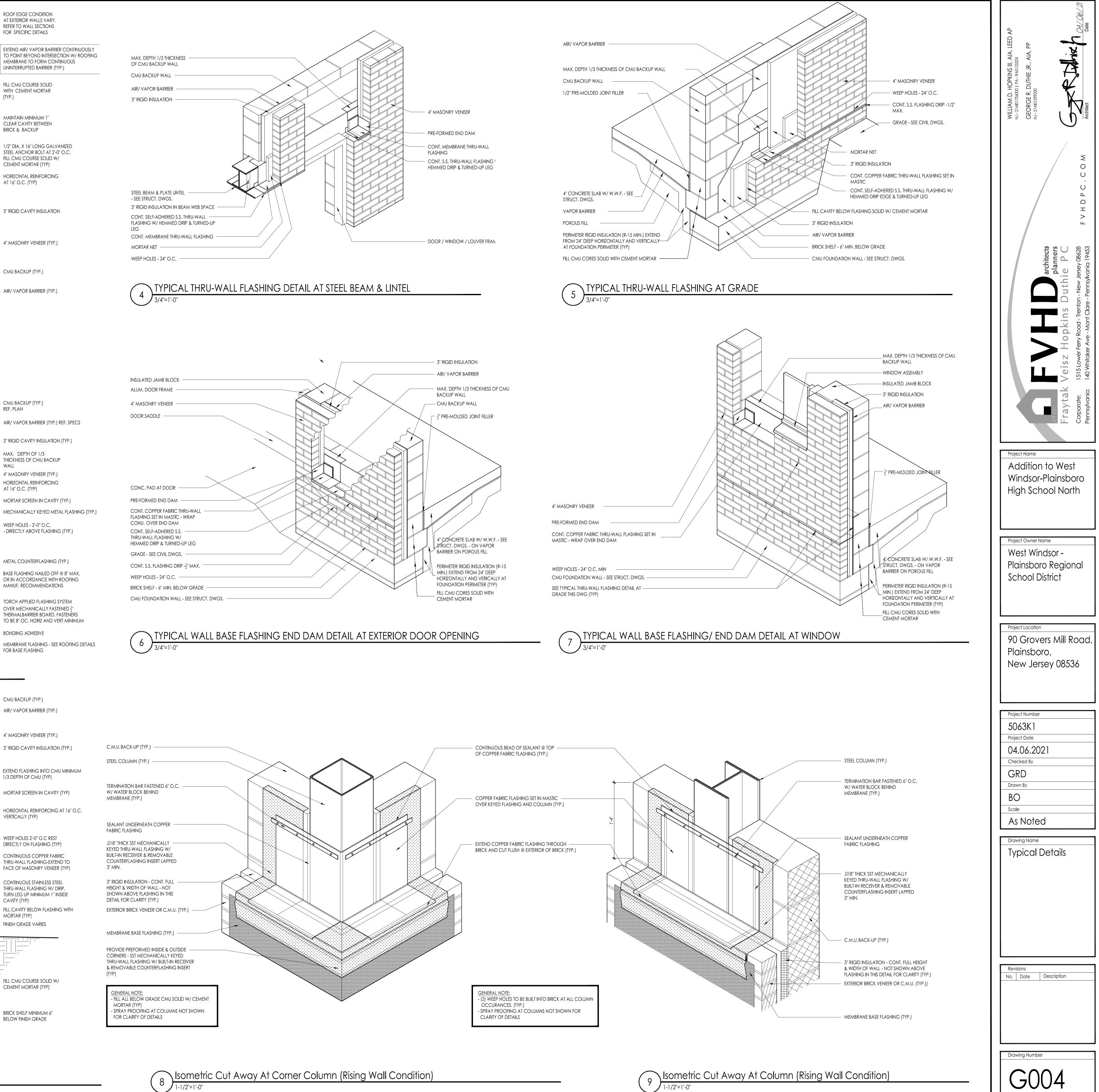
TORCH APPLIED FLASHING SYSTEM

OVER MECHANICALLY FASTENED 1/2

THERMALBARRIER BOARD. FASTENERS







- CMU BACKUP (TYP.) AIR/ VAPOR BARRIER (TYP.)

- 4" MASONRY VENEER (TYP.) - 3" RIGID CAVITY INSULATION (TYP.)

- EXTEND FLASHING INTO CMU MINIMUM 1/3 DEPTH OF CMU (TYP)

MORTAR SCREEN IN CAVITY (TYP)

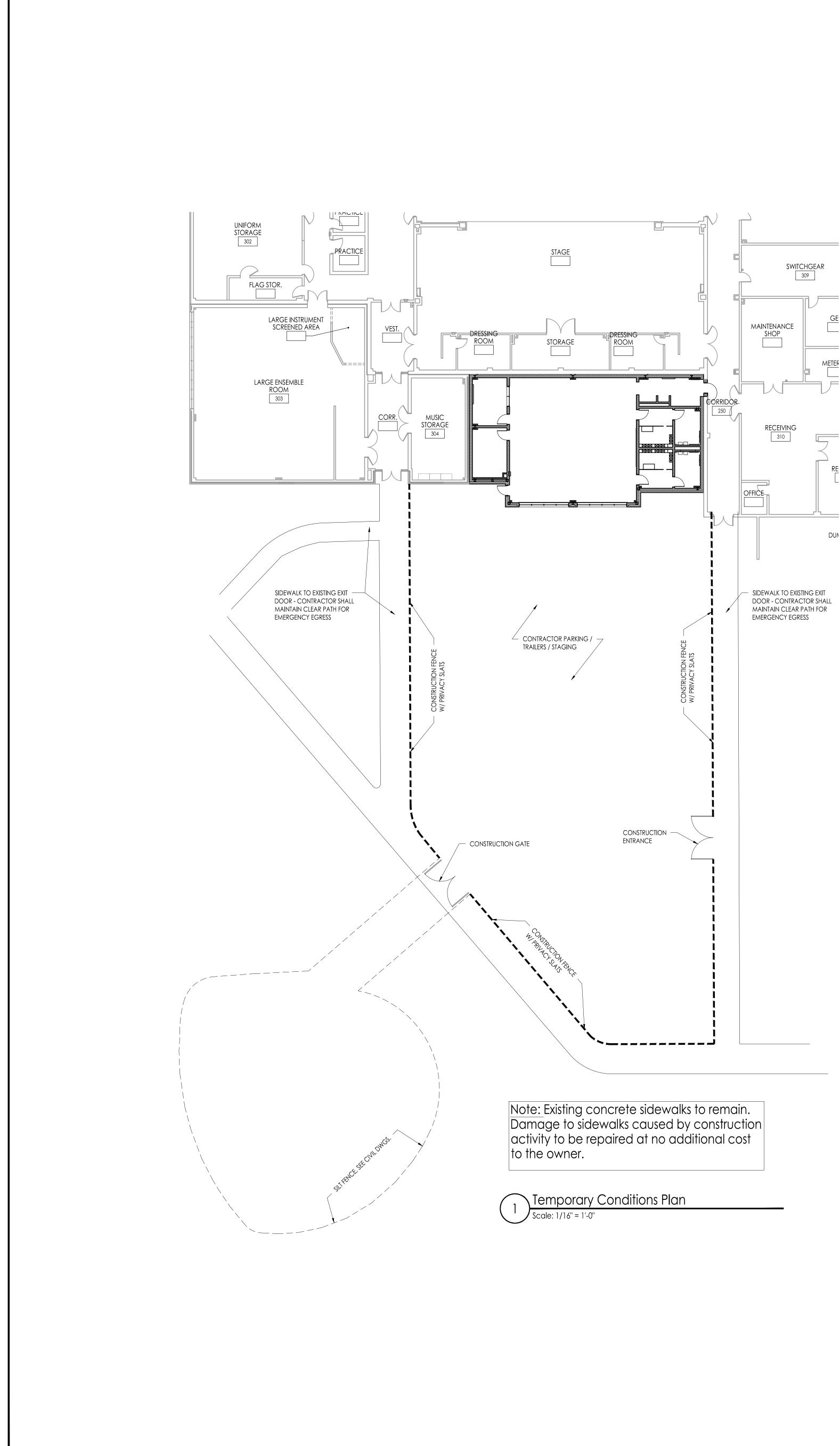
HORIZONTAL REINFORCING AT 16" O.C. VERTICALLY (TYP)

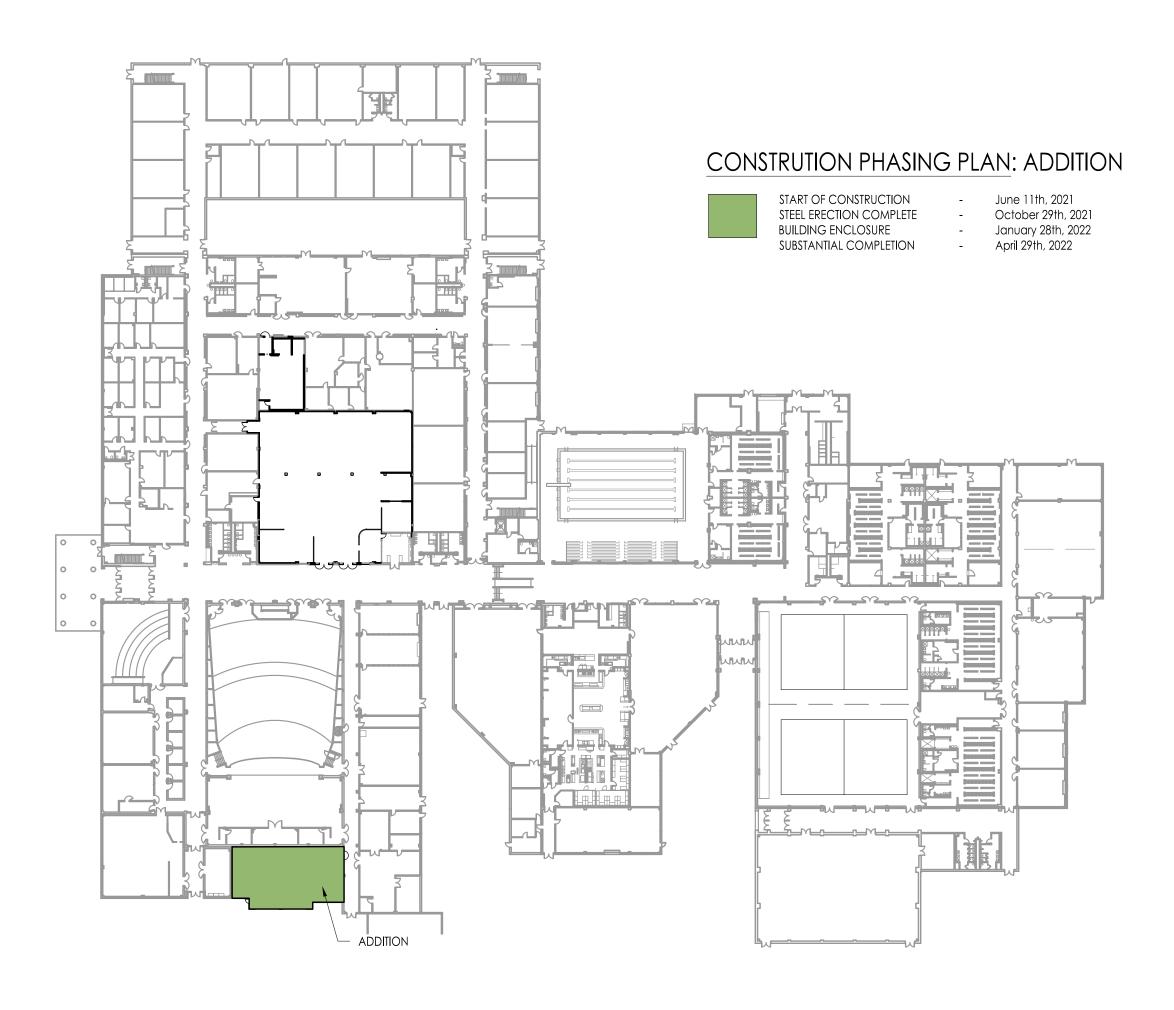
WEEP HOLES 2'-0" O.C REST DIRECTLY ON FLASHING (TYP) CONTINUOUS COPPER FABRIC THRU-WALL FLASHING-EXTEND TO FACE OF MASONRY VENEER (TYP)

CONTINUOUS STAINLESS STEEL THRU-WALL FLASHING W/ DRIP. TURN LEG UP MINIMUM 1" INSIDE CAVITY (TYP) FILL CAVITY BELOW FLASHING WITH MORTAR (TYP) - FINISH GRADE VARIES

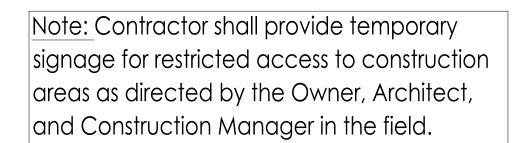
CEMENT MORTAR (TYP)

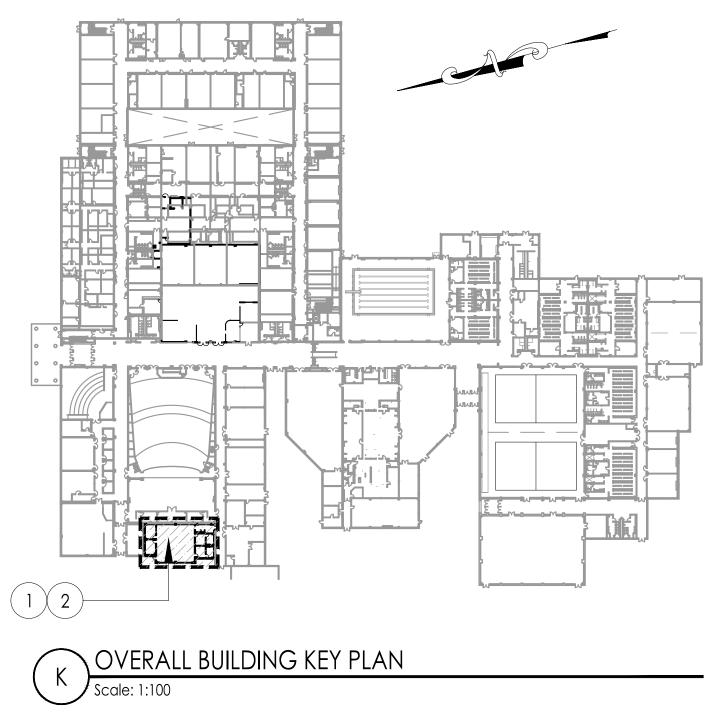
BRICK SHELF MINIMUM 6" BELOW FINISH GRADE

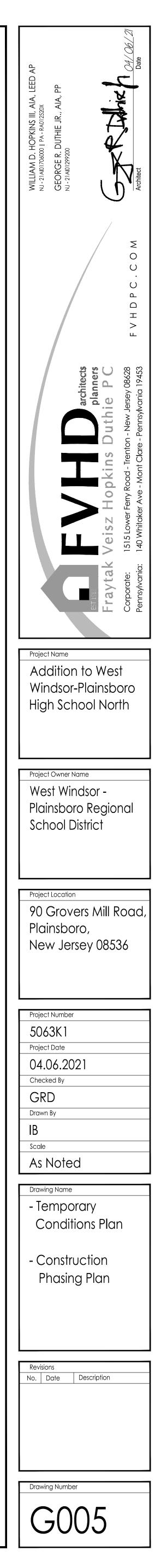


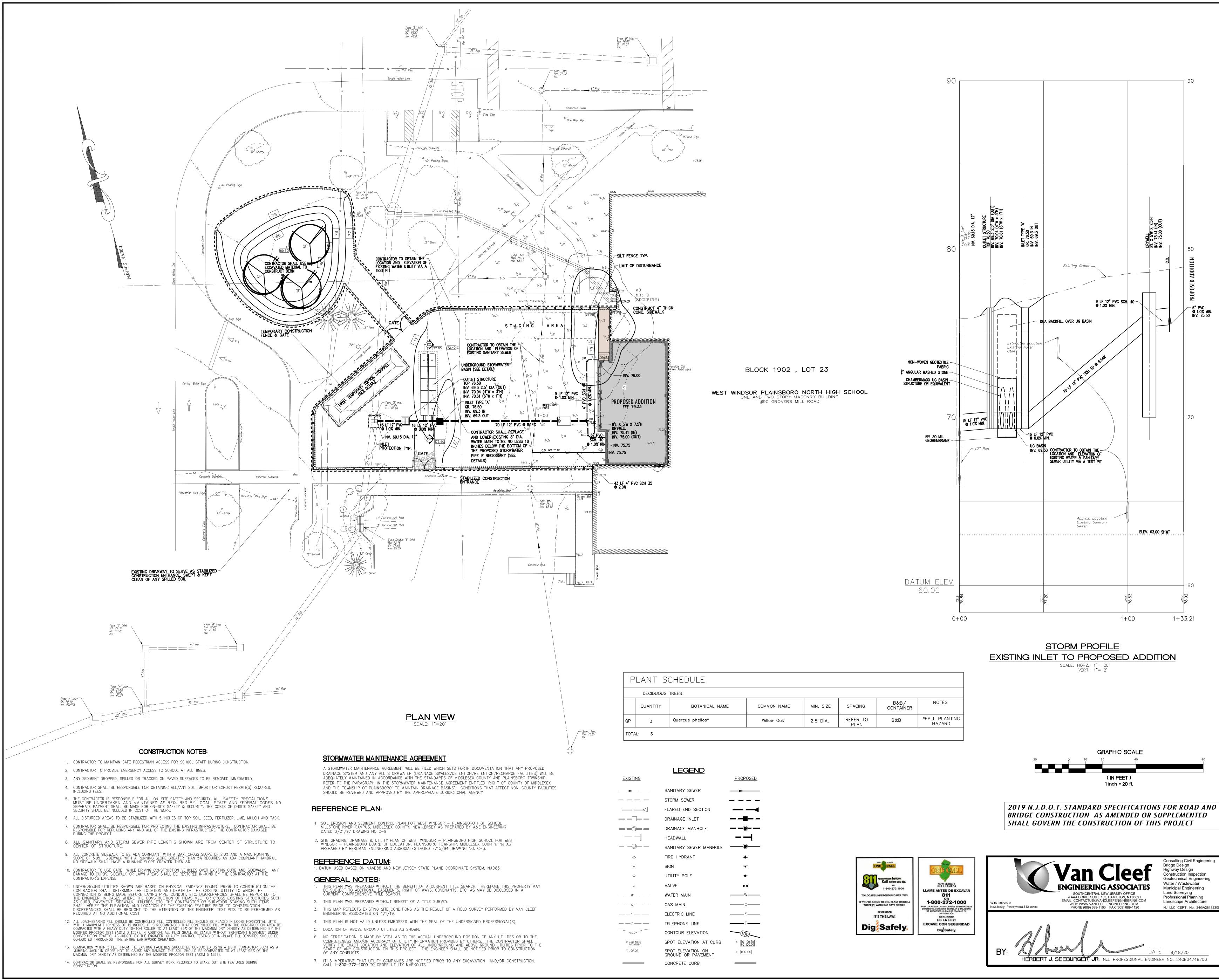


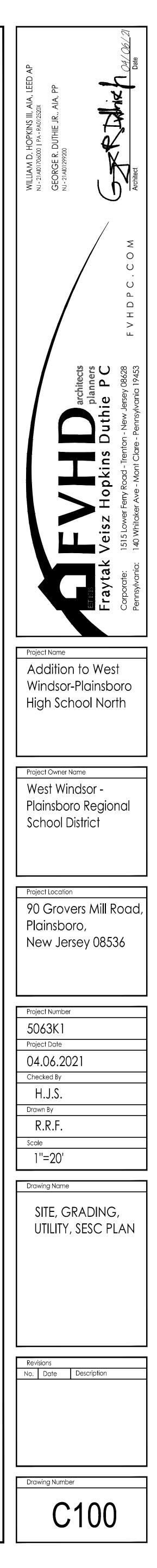
2 Construction Phasing Plan Scale: 1/64" = 1'-0"

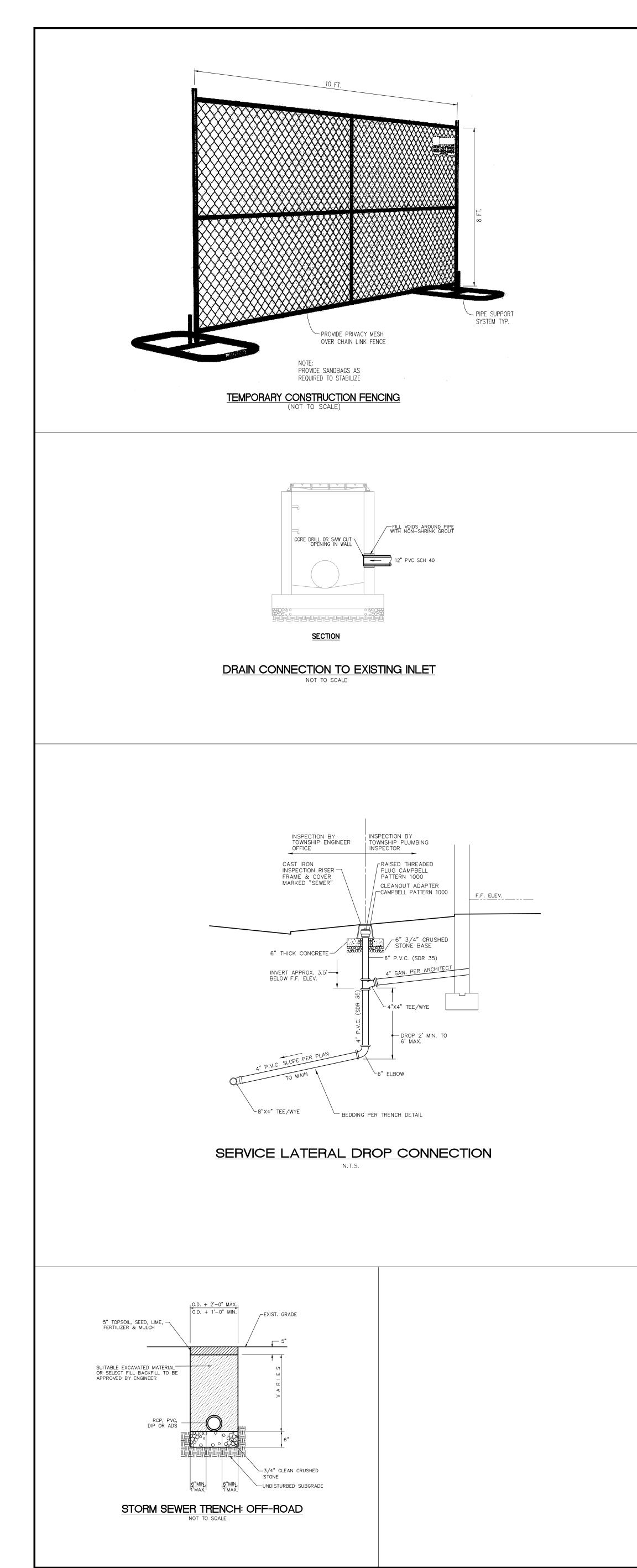


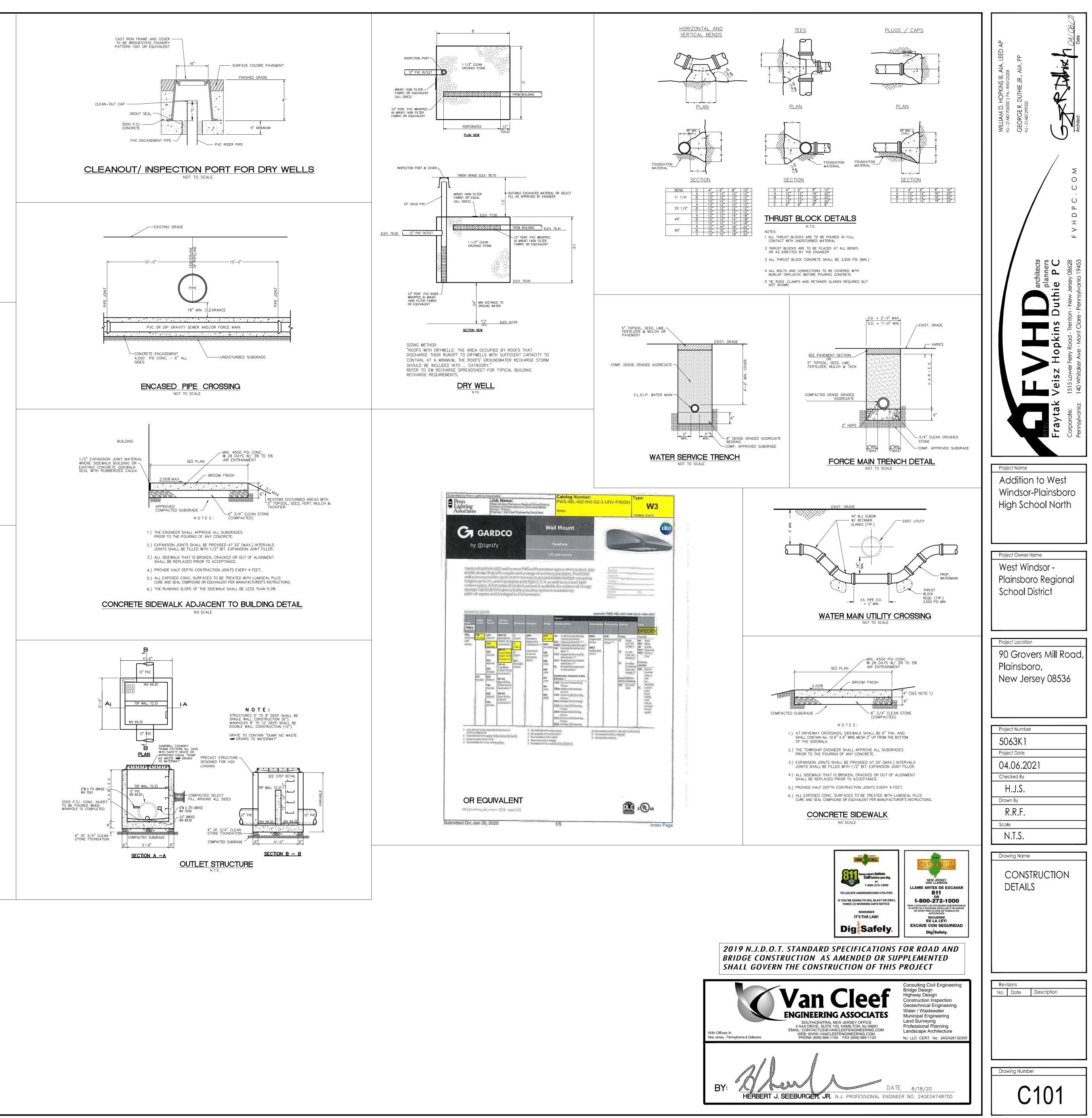




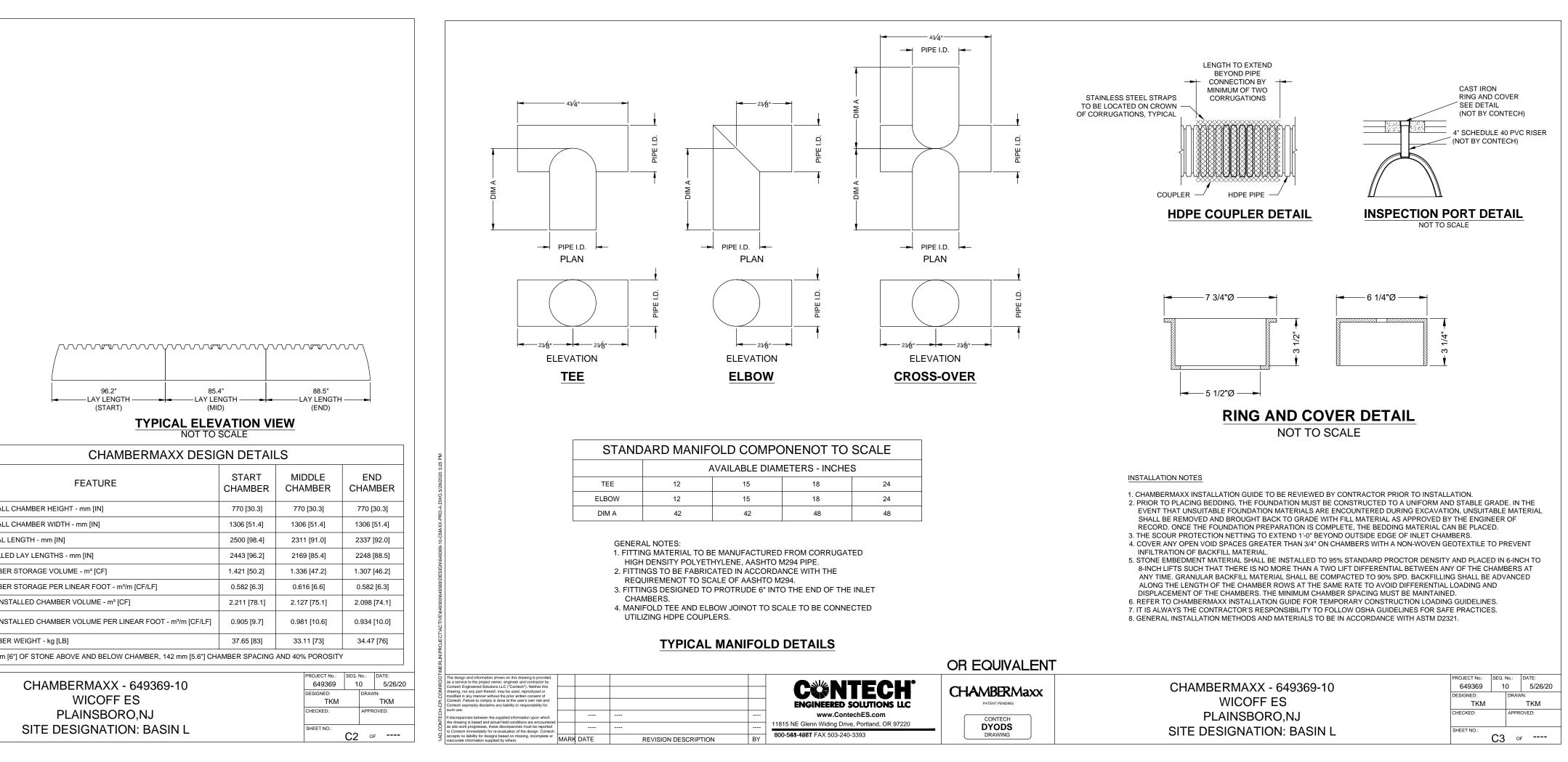


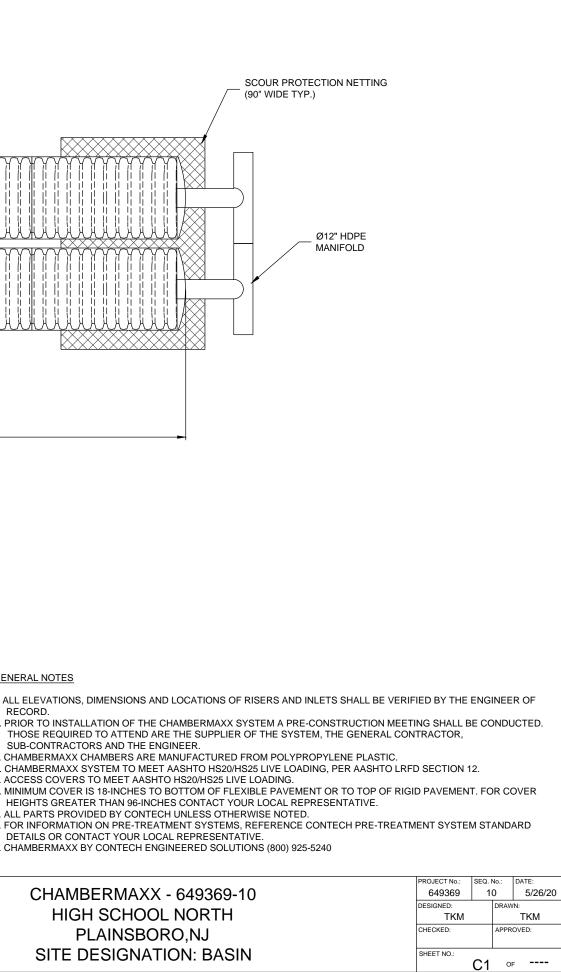


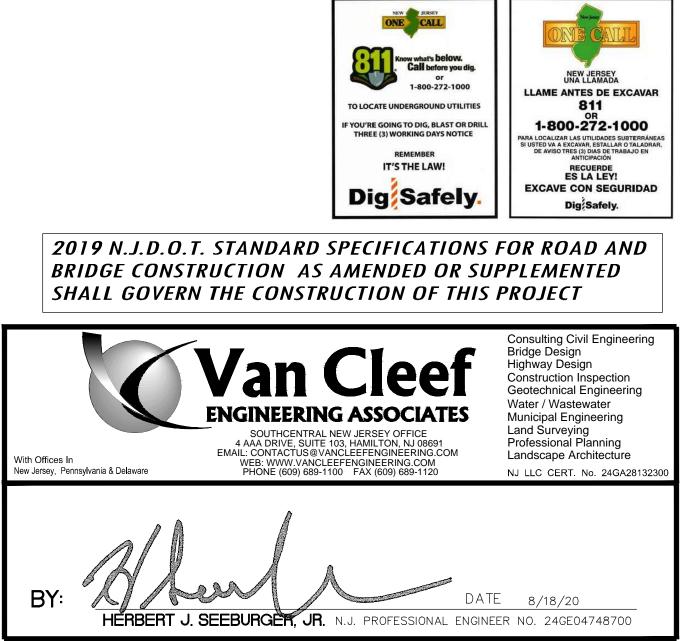


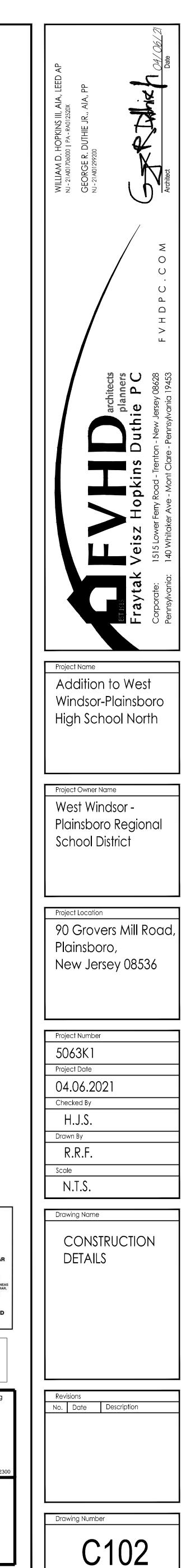


(3)					96 WXX	
CONTECH C-40 OR C-45 NON-WOVEN GEOTEXTILE SUITABILITY OF SUBGRADE				e" MIN. 30.3"	TOP/ STONE = 3.00 (REF) TOP/ CHAMBER = 2.50 (REF) BOT/ CHAMBER = -0.00 (REF)	
TO BE VERIFIED BY ENGINEER OF RECORD IMPERMEABLE LINER PER EOR NOT PROVIDE BY CONTECH		1.4"	57"	12" MIN.	BOT/ STONE = -0.50 (REF)	
SCOUR PROTECTION NETTING (TYP OF ALL INLET PIPES)	(TYP) (T	YP)		(TYP)		
ADEQUATE WHEN NO FURTHER Y SATISFIED WITH THE LEVEL OF CO SYSTEM. BACKFILL SHALL BE PLA DURING THE BACKFILL PROCESS. SYSTEM. EQUIPMENT USED TO PLACE AND CO GIVEN TO PROVIDING ADEQUATE MI	ACING BY MEANS OF SHOVEL-SLIC IELDING OF THE MATERIAL IS OBS OMPACTION. INADEQUATE COMPA ICED SUCH THAT THERE IS NO MOF BACKFILL SHALL BE ADVANCED A OMPACT THE BACKFILL SHALL BE C NIMUM COVER FOR SUCH EQUIPME	ING, RODDING, AIR- ERVED UNDER THE CTION CAN LEAD TO RE THAN A TWO-LIFT LONG THE LENGTH (DF A SIZE AND TYPE ENT, AND MAINTAIN	TAMPER, VIBRATORY ROD, C COMPACTOR, OR UNDER FO EXCESSIVE DEFLECTIONS V DIFFERENTIAL BETWEEN TI OF THE SYSTEM AT THE SAM SO AS NOT TO DISTORT, DAI BALANCED LOADING ON ALL	R OTHER EFFECTIVE METH OT, AND THE PROJECT ENO VITHIN THE SYSTEM AND SI HE SIDES OF ANY CHAMBER E RATE TO AVOID DIFFERE MAGE, OR DISPLACE THE C CHAMBERS IN THE SYSTEM	IODS. COMPACTION IS CONSIDERED GINEER OR THEIR REPRESENTATIVE IS ETTLEMENT OF THE SOILS OVER THE R IN THE SYSTEM AT ALL TIMES NTIAL LOADING ON ANY PIPES IN THE HAMBERS. ATTENTION MUST BE M, DURING ALL SUCH OPERATIONS.	
OTHER ALTERNATE BACKFILL MATE	RIAL MAY BE ALLOWED DEPENDING	GON SITE SPECIFIC	CONDITIONS. CONTACT YOU	R LOCAL CONTECH REPRE	SENTATIVE FOR DETAILS.	
The design and information shown on this drawing is provided as a service to the project owner, engineer and contractor by Contech Engineered Solutions LLC ('Contech'). Neither this drawing, nor any part threed, may be used, reproduced or modified in any manner without the pior written consent of Contech. Failure to comply is done at the user's own risk and			C [*] N1	ECH.	OR EQUIVALENT CHAMBERMaxx	
Contech expressly disclaims any liability or responsibility for such use. If discrepancies between the supplied information upon which the drawing is based and actual field conditions are encountered as site work progresses, these discrepancies must be reported to Contech immediately for re-evaluation of the design. Contech contech is informed and provide in competence of the design.	 CATE REVISION DESCI	 RIPTION BY	11815 NE Glenn Widing Drive,	hES.com Portland, OR 97220	CONTECH DYODS DRAWING	
	.				ᢉᡪ᠊ᢧᡀᡘ᠊ᢊ᠊ᡳᡗᡪᡘᡪᠺ᠋᠊ᡘ᠆ᠶᡘ᠆ᢧᡘ	
OR TO TOP OF RIG - 12 INCH STONE PERIN	B INCHES TO BOTTOM OF ID PAVEMENT //ETER TYPICAL VELOPE TO BE WRAPPEI	FLEXIBLE PA	VEMENT			









MANAGEMENT OF HIGH ACID PRODUCING SOILS

Where Applicable This practice is applicable to any high acid-producing soil materials. Such materials have been found in the Coastal Plain areas of Burlington, Camden, Cumberland, Gloucester, Mercer, Middlesex, Monmouth, Ocean, Salem and Somerset Counties.

- <u>Methods and Materials</u> 1. Limit the excavation area and exposure time when high acid-producing soils are encountered.
- 2. Topsoil stripped from the site shall be stored separately from temporarily stockpiled high acid-producing soils.
- 3. Stockpiles of high acid-producing soil should be located on level land to minimize its movement, especially when this material has a high clay content. 4. Temporarily stockpiled high acid-producing soil material to be stored more than 48 hours should be covered with properly anchored, heavy grade sheets of polyethylene where possible. If not possible, stockpiles shall be covered with a minimum of 3 to 6 inches of wood chips to minimize erosion of the stockpile. Silt fence shall be installed at the toe of
- the slope to contain movement of the stockpiled material. Topsoil shall not be applied to the stockpiles to prevent topsoil contamination with high acid-producing soil. 5. High acid—producing soils with a pH of 4.0 or less or containing iron sulfide (including borrow from cuts or dredged sediment) shall be ultimately placed or buried with limestone applied at the rate of 10 tons per acre (or 450 pounds per 1,000 square feet of surface area) and covered with a minimum of 12 inches of settled soil with a pH of 5.0 or more except as follows:
- a. Areas where trees or shrubs are to be planted shall be covered with a minimum of 24 inches of soil with a pH or 5 or more. b. Disposal areas shall not be located within 24 inches of any surface of a slope or bank, such as berms, stream banks, ditches, and others, to prevent potential lateral leaching
- 6. Equipment used for movement of high acid-producing soils should be cleaned at the end of each day to prevent spreading of high acid-producing soil materials to other parts of the site, into streams or stormwater conveyances, and to protect machinery from
- accelerated rusting. 7. Non-vegetative erosion control practices (stone tracking pads, strategically placed limestone check dam, sediment barrier, wood chips) should be installed to limit the movement of high
- acid-producing soils from, around, or off the site. 8. Following burial or removal of high acid-producing soil, topsoiling and seeding of the site (see Temporary Vegetative Cover for Soil Stabilization, Permanent Vegetative Cover for Soil Stabilization, and Topsoiling), monitoring must continue for a minimum of 6 months to ensure there is adequate stabilization and that no high acid-producing soil problems emerge. If problems still exist, the affected area must be treated as indicated above to correct the problem

MAINTAINING VEGETATION <u>Methods and Materials</u>

- A preventive maintenance program anticipates requirements and accomplishes work when it can be done with least effort and expense to insure adequate vegetative cover. Maintenance should occur on a regular basis, consistent with favorable plant growth, soil, and climatic conditions. This involves regular seasonal work for mowing, fertilizing, liming, watering, pruning, fire control, weed and pest control, reseeding, and timely repairs. The degree of preventive maintenance needed depends upon the type of vegetation and its proposed function or use.
- 1. Mowing is a recurring practice and its intensity depends upon the function of the ground cover. On high to moderate (A to B) maintenance areas, such as lawns, certain recreation fields, and picnic areas, mowing will be frequent (2 to 7 day intervals) and typically at a height of 2.5 to 3 inches. Return clippings from mowing (mulching mower) to the turf to reduce the amount of fertilizer needed to maintain the turf by as much as 50%. Some turf mixtures can be managed as naturalized stands requiring only one (cool season mixtures) or two (warm season mixtures) mowings per year. Mowing of naturalized areas is typically done at heights no less than 4 inches and should not be done between April 1st and July 15th to avoid disturbing ground nesting birds. The large amount of clipping debris generated by mowing naturalized areas will need to be removed and/or dispersed so the vegetation is not smothered. Burning of naturalized areas is another procedure used to manage naturalized turfs. Low maintenance (D) areas may be left unmowed to permit natural succession. See pg. 4-13 footnote #4, Maintenance Levels A, B, C and D in the Standard
- for Permanent Vegetative Cover, Table 4-3. 2. Incorporation of organic matter (for example, mature compost) into the soil will substantially reduce the need for fertilizer and irrigation inputs. 3. Fertilizer and lime should be applied as needed to maintain a dense stand of desirable
- species. Frequently mowed areas and those on sandy soils will require more frequent fertilization but at lower nutrient rates per application. 4. Lime requirement should be determined by soil testing every 2 or 3 years. Fertilization may
- increase the need for liming. Contact the local county extension office for details on soil testing and fertilization and pest control recommendations online at http://niges.rutgers.edu/county/. 5 Fertilization and additions of other soil amendments are not recommended for managing
- native vegetation such as in the Pinelands National Reserve. See the Standard for Permanent Vegetative Stabilization for specific requirements in the PNR. 6. Weed invasion may result from abusive mowing and from inadequate fertilizing and liming. Many newly established grasses will not survive if mowed at heights below 2.5 inches and at intervals greater than 7 days. Brush invasion is a common consequence of lack of mowing. The amount of weeds or brush that can be tolerated in any vegetated area depends upon the intended use of the land. Drainage ways are subject to rapid infestation by weed and woody plants. These should be controlled, since they often reduce drainage way efficiency. Control of weeds or brush is accomplished by using herbicides or mechanical
- 7. Fire hazard is greater where dry vegetation has accumulated. The taller the vegetation, the areater the hazard. 8. Prune trees and shrubs to remove dead or damaged branches. Remove undesirable or invasive plants to maintain integrity of the landscape and enhance quality of permanent

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION <u>Methods and Materials</u>

1. <u>Site Preparation</u>

vegetative cover.

- A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standard for Land Gradina. B. Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for
- compaction in accordance with the Standard for Land Grading C. Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites.
- Topsoil shall be amended with organic matter, as needed, in accordance with the Standard D. Install needed erosion control practices or facilities such as diversions, grade-stabilization
- structures, channel stabilization measures, sediment basins, and waterways. 2. <u>Seedbed Preparation</u> A. Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co-operative Extension
- Soil sample mailers are available from the local Rutgers Cooperative Extension offices (http://njaes.rutgers.edu/county/). Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise and incorporated into the surface 4 inches. If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half rate application of the same fertilizer within 3 to 5 weeks after seeding.
- B. Work lime and fertilizer into the topsoil as nearly as practical to a depth of 4 inches with a disc, spring—tooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform
- seedbed is prepared. C. High acid producing soil. Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seedbed reparation. See Standard for Management of High Acid-Producing Soils for specific requirements.
- <u>Seeding</u> A. Select a mixture from Table 4-3 or use a mixture recommended by Rutgers Cooperative Extension or Natural Resources Conservation Service which is approved by the Soil Conservation District. Seed germination shall have been tested within 12 months of the planting date. No seed shall be accepted with a germination test date more than 12 months
- old unless retested. 1. Seeding rates specified are required when a report of compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in rates may be used when permanent vegetation is established prior to a report of compliance inspection. These rates apply to all methods of seeding. Establishing permanent vegetation means 80%
- vegetative coverage with the specified seed mixture for the seeded area and mowed once. 2. Warm—season mixtures are grasses and legumes which maximize growth at high temperatures, generally 850 F and above. See Table 4-3 mixtures 1 to 7. Planting rates for warm—season grasses shall be the amount of Pure Live Seed (PLS) as determined by germination testing results.
- 3. Cool-season mixtures are grasses and legumes which maximize growth at temperatures below 85oF. Many grasses become active at 65oF. See Table 4-3, mixtures 8-20. Adjustment of planting rates to compensate for the amount of PLS is not required for cool season grasses.
- B. Conventional Seeding is performed by applying seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacked seedings, seed shall be incorporated into the soil within 24 hours of seedbed preparation to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4inch deeper on coarse-textured soil. C. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seedling emergence. This is the preferred method. When
- performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.
- D. Hydroseeding is a broadcast seeding method usually involving a truck, or trailer-mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. <u>Mulch shall not be included in the tank with</u> seed. Short-fibered mulch may be applied with a hydroseeder following seeding. (also see Section 4-Mulching below). Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. When poor seed to soil contact occurs, there is a reduced seed germination and growth. 4. <u>Mulching</u>
- Mulching is required on all seeding. Mulch will protect against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement. A. Straw or Hay. Unrotted small grain straw, hay free of seeds, to be applied at the rate of 1-1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimper is used instead of a liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed. Application — Spread mulch uniformly by hand or mechanically so that at least 85% of the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square feet sections and distribute 70 to 90 pounds within each section. Anchoring shall be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the
- area, steepness of slopes, and costs. 1. Peg and Twine. Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.
- 2. Mulch Nettings Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed. 3. Crimper (mulch anchoring coulter tool) — A tractor—drawn implement, somewhat like a disc
- harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required. 4. Liquid Mulch-Binders - May be used to anchor salt hay, hay or straw mulch.
- a. Applications should be heavier at edges where wind may catch the mulch, in valleys, and at crests of banks. The remainder of the area should be uniform in appearance. b. Use one of the following:
- (1) Organic and Vegetable Based Binders Naturally occurring, powder-based, hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turf grass. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which
- may need further evaluation for use in this state. (2) Synthetic Binders — High polymer synthetic emulsion, miscible with water when diluted and, following application of mulch, drying and curing, shall no longer be soluble or dispersible in water. Binder shall be applied at rates recommended by the manufacturer and remain tacky until germination of grass. Note: All names given above are registered trade names. This does not constitute a recommendation of these products to the exclusion of other products.

- B. Wood-fiber or paper-fiber mulch shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre (or as recommended by the product manufacturer) and may be applied by a hydroseeder. Mulch shall not be mixed in the tank with seed. Use is limited to flatter slopes
- and during optimum seeding periods in spring and fall. C. Pelletized mulch - compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers, and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applied in accordance with the manufacturer's recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs/1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weedseed free mulch is desired, or on sites where
- straw mulch and tackifier agent are not practical or desirable. Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage. 5. Irrigation (where feasible) If soil moisture is deficient supply new seeding with adequate water (a minimum of 1/4 inch
- applied up to twice a day until vegetation is well established). This is especially true when seedings are made in abnormally dry or hot weather or on droughty sites. 6. Topdressing Since soil organic matter content and slow release nitrogen fertilizer (water insoluble) are
- prescribed in Section 2A Seedbed Preparation in this Standard, no follow-up of topdressing is mandatory. An exception may be made where gross nitrogen deficiency exists in the soil to the extent that turf failure may develop. In that instance, topdress with 10-10-10 or equivalent at 300 pounds per acre or 7 pounds per 1,000 square feet every 3 to 5 weeks until the gross nitrogen deficiency in the turf is ameliorated. . Establishing Permanent Vegetative Stabilization The quality of permanent vegetation rests with the contractor. The timing of seeding, preparing the seedbed, applying nutrients, mulch and other management are essential. The seed application rates in Table 4-3 are required when a <u>Report of Compliance</u> is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in application rates may be used when permanent vegetation is established prior to requesting a Report of
- <u>Compliance</u> from the district. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative cover (of the seeded species) and mowed once. Note this designation of mowed once does not guarantee the permanency of the turf should other maintenance factors be neglected or otherwise mismanaged.

Table 4-2 Permanent Stabilization Mixtures for Various Uses							
	PLANTING MIXTURES BY SOIL DRAINAGE CLASS/1 (see Table 4-3)						
Application	Excessively Drained	Well to Moderately Well Drained	Somewhat Poorly to Poorly Drained				
Residential/commercial lots	10, 12, 15	6, 10, 12, 13, 14, 15	16				
Pond and channel banks, dikes, berms and dams	2, 5, 6, 10	5, 6, 7, 8, 9, 15	2, 8, 16, 17				
Drainage ditches, swales, detention basins	2, 9, 11	2, 7, 9, 11, 12, 17	2, 9, 16, 17				
Filter Strips	12	11, 12	11, 12				
Grasses waterway, spillways	2, 3, 9, 10, 12	6, 7, 9, 10, 11, 12	2, 9, 11,12				
Recreation areas, athletic fields	5, 12, 15, 18	12, 13, 14, 15, 18	16				
Special Problem Sites Steep slopes and banks, roadsides, borrow areas	2, 3, 4 ,6	2, 3, 5, 7, 8, 9, 10, 15, 18	2, 9, 10, 11, 12				
Sand and gravel pits, Sanitary landfills	1, 2, 3, 4, 6, 20	1, 2, 3, 4, 5, 6, 8, 15, 20	2, 8				
Dredged material, spoilbanks, Borrow areas	2, 3, 6, 20	2, 3, 6, 11,	2,8				
Streambanks & shorelines 2	2, 8, 20, 21a	2, 8, 19b, 20, 21a, 21b	2, 8, 19a, 21a,b,c,d				
Utility rights-of-way	3,7,180	3, 7	8, 9, 17				

1. Refer to Soil Surveys for drainage class descriptions. 2. Refer to Soil Bioengineering Standard for additional seed mixtures. 3. Spillwavs only 4. See Appendix E for description of turf grasses and cultivars

Table 4-3

			in New Jei		TI ID P		TTNA 2		<i>uary 2014</i>		
SEED MIXTURE ²	PLA	IT VEGE		e MIX	I UKES		TING R		AND P	LANT	ING
	RA	ATE /3	O = Optimal Planting period A = Acceptable Planting period								
					PLANT I		SS ZONE		gure 4-1)		
	ibs/scre	15s/1000 _sq. ft.	3/15- 5/31	6/1-7/3		3/1-4/30	Zone 6b 5/1- 8/14	8/15- 10/1 5	2/1- 4/30	one 7a, 7 5/1- 8/14	8/15 10/3 0
WARM SEASON SEED MIXTURES											
1A. For Pinelands National Reserve Seed mixtures see Table 4-4 page 4-17			0			0			0		
 Switchgrass and/or Coastal panicgrass plus or Flatpea 	15 15 20 20	.35 .35 45 .45	0			0	3		o		
2. Deertongue or Switchgrass Redtop	15 20 1 10	.35 .45 .1 .23	0			0			0		
3. Switchgrass Deertongue Little Bluestem Sheep fescue plus Partridge pea	15 10 20 20 10	.35 .25 .45 .45 .25	0			0			0		
4. Switchgrass Big Bluestem Little Bluestem Sand lovegrass Coastal panicgrass	10 5 5 4 10	.25 .10 .10 .10 .25	0	,		0			0		
5. Bermudagrass Zoysiagrass (seed) Zoysiagrass (sprigs)	15 30	0.35 0.70	0			0			0		
······································											
COOL SEASON SEED MIXTURES	130	3	A	A ⁵	0	A	A ⁵	0	Α	A ⁵	0
6. Fine Fescue (Blend) Hard Fescue Chewings fescue Strong Creeping Red Fescue Kentucky bluegrass Perennial ryegrass plus White clover (see note at right)	45 20 5	.1 5 .10									
 Strong Creeping red fescue Kentucky bluegrass Perennial ryegrass or Redtop plus White clover 	130 50 20 10 5	3 1 .5 25 .10	Å	A ⁵	0	A	A ⁵	o	A	A ⁵	0
 Tall fescue (turf-type) or Strong Creeping red fescue or Peremial ryegrass Flatpea 	30 30 30 25	.7 .7 .60	0	A ⁶	-	0	A ⁶		0	A ⁶	
 Deertongue Redtop Wild rye (Elymus) Switchgrass 	20 2 15 25	.45 .05 .35 .60	0			0			0		
10. Tall fescue (turf-type) Perennial ryegrass or White clover (see note at right)	265 20 10 5	6 5 .25 .10	0	A ⁵	A ⁵	0	A ⁵	A ⁵	0	A ⁵	A ⁵
11 Kentucky Bluegrass Turf-type Tall fescue	15 45 22	0.33 1 5	Α	A ⁵	0	Α	A ⁵	0	Α	A ⁵	0
12. Turf-type Tall fescue (Blend of 3 cultivars)	350	8	A	A ⁵	0	A	A ⁵	0	Α	A ⁵	0
 Hard Fescue and/or Chewing fescue and/or Strong creeping red fescue Perennial ryegrass Ky. bhuegrass (bend) 	175 45 45	4 1 . 1	Α	A ⁵	0	Α	A ⁵	0	A	A ⁵	0
14. Tall fescue Ky. bluegrass (blend) Perennial ryegrass (blend)	265 20 20	6 0.50 0.50	A	A ⁵	0	A	A ⁵	0	A	A ⁵	0
15. Hard fescue Chewings fescue Strong Creeping red fescue Peremial ryegrass	130 45 45 10	3 1 1 .25	A	A ⁵	0	A	A ⁵	0	A	A ⁵	0
16. Rough bluegrass Strong Creeping red fescue	90 130	2.0 3	A	A ⁵	ο	^r A	A ⁵	0	Α	A ⁵	0
17. Creeping bentgrass Creeping red fescue Alkali saltgrass	45 45 45	1 1 1	A	A ⁵	0	A	A ⁵	o	A	A ⁵	o
 Hard or Sheeps fescue N. E. wildflower mixture 	25 12	0.60 0.35	0	A	0	0	A	0	0	A	0
19. a. Smooth cordgrass b. Saltmeadow cordgrass	veg veg					0	Before July 1		0	Before July 1	
20. American Beachgrass Coastal Panicgrass	Veg 20	.45				Before April 1			0		
 a. Purpleosier willow b. Dwarf willow c. Redosier dogwood d. Silky dogwood 	veg veg. veg. veg.		Before May 10			Before May 10			Before May 1		

TES	1
MAINTENANCE Level 4	REMARKS
C-D	
C-D	Use Deertongue if pH < 4.0. Switchgrass is superior wildlife plant. Use for waterways. Redtop provides quick cover.
C-D	Pinelands mixture.
C-D	Native warm-season mixture.
4-D	Bermudagrass has superior salt tolerance. Zoysia has greater wear tolerance
	General low- maintenance mixture.
B-D	White clover can be removed when used to establish lawns

B-D more drought tolen

Use Redtop for increased drought-Tall fescue best selected for droughty conditions.
 Use Creeping red fescue in heavy sha Use Flatpea to suppress woody vegetation. Native wet mix. C-D white clover can be excluded on lawn sites Filter strip use for nutrient uptake.

Use in a managed filter strip for nutrie uptake. General lawn/recreation Athletic field/ 3 cultivar mix of Kentucky Bluegr

D Low-maintenance fit

Moist shade.

Use bentgrass und wetter conditions.

Saltgrass will only persistent under salin

Regional Wildflower

Hydroseeding not recommended.

Planted in the intertidal zone. Planted above mean high tide.

Coastal Panicgrass may be interseeded between rows of beachgrass

Also refer to Chapter 16 and 18 of USDA NRCS Engineering Field Handbook

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION <u>Where Applicable</u> On exposed soils that have the potential for causing off-site environmental damage.

Methods and Materials

- 1. Site Preparation A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in
- accordance with Standards for Land Grading, pg. 19-1. B. Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11
- through 42. C. Immediately prior to seeding, the surface should be scarified 6" to 12" where there has been soil compaction. This practice is permissible only where there is no danger to

underground utilities (cables, irrigation systems, etc.).

Table 4-3 Footnotes:

1. See Appendix B for descriptions of turf grass mixtures and cultivars. The actual amount of warm-season grass mixture used in Table 3 (seed mix 1-7) shall be adjusted to reflect the amount of PLS as determined by germination testing results. No adjustment is required for cool-season grasses (seed mixtures 8-20). 2. Seeding mixtures and/or rates not listed above may be used if recommended by the local

oil Conservation District, Natural Resources Conservation Service; recommendations of

- Rutgers Cooperative Extension may be used if approved by the Soil Conservation District. Legumes (white clover, flatpea, lespedeza) should be mixed with proper innoculant prior to 3. Seeding rates specified are required when a report of compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in rates may be used when permanent vegetation is established prior to a report of compliance inspection. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative coverage of the seeded area and mowed once. Grass seed mixture checked by the State Seed Analyst, New Jersey Department of Agriculture, Trenton, New Jersey, will
- assure the purchaser that the mixture obtained is the mixture ordered, pursuant to the N.J. State Seed Law, N.J.S.A. 4:8-17.13 et. sea. O = optimal planting period A = acceptable planting period
- 4. Maintenance Level: A: Intensive mowing, (2-4 days), fertilization, lime, pest control and irrigation (Examples -
- high-maintenance lawns, commercial and recreation areas, public facilities). B: Frequent mowing, (4-7 days), occasional fertilization, lime and weed control (Examples -
- home lawns, commercial sites, school sites). C: Periodic mowing (7-14 days), occasional fertilization and lime (Examples - home lawns,
- D: Infrequent or no mowing, fertilization and lime the first year of establishment (Examples — roadsides, recreation areas, public open spaces) 5. Summer seedings should only be conducted when the site is irrigated. Mixes including white clover require that at least six weeks of growing season remain after seeding to ensure establishment before freezing conditions.

STANDARD FOR STABILIZATION WITH MULCH ONLY

Where Applicable This practice is applicable to areas subject to erosion, where the season and other conditions may not be suitable for growing an erosion-resistant cover or where stabilization is needed for a short period until more suitable protection can be applied.

Methods and Materials

- 1 Site Preparation A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation. seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Gradina
- B. Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42. 2. Protective Materials
- A. Unrotted small-grain straw, at 2.0 to 2.5 tons per acre, is spread uniformly at 90 to 115 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may be used if approved by the Soil Conservation District. The approved rates above have been met when the mulch covers the ground completely upon visual inspection, i.e. the soil cannot be seen below the mulch. C. Synthetic or organic soil stabilizers may be used under suitable conditions and in quantities as
- recommended by the manufacturer. D. Wood-fiber or paper-fiber mulch at the rate of 1,500 pounds per acre (or according to the
- manufacturer's requirements) may be applied by a hydroseeder E. Mulch netting, such as paper jute, excelsior, cotton, or plastic, may be used. F. Woodchips applied uniformly to a minimum depth of 2 inches may be used. Woodchips will not be
- used on areas where flowing water could wash them into an inlet and plug it. G. Gravel, crushed stone, or slag at the rate of 9 cubic yards per 1,000 sq. ft. applied uniformly to a minimum depth of 3 inches may be used. Size 2 or 3 (ASTM C-33) is recommended.
- 3. Mulch Anchoring should be accomplished immediately after placement of hay or straw mulch to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area and steepness of slopes
- A. Peg and Twine Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each pea with two or more round turns.
- B. Mulch Nettings Staple paper, cotton, or plastic nettings over mulch. Use degradable netting in areas to be mowed. Netting is usually available in rolls 4 feet wide and up to 300 feet long. C. Crimper Mulch Anchoring Coulter Tool - A tractor-drawn implement especially designed to punch and anchor mulch into the soil surface. This practice affords maximum erosion control, but its use is limited to those slopes upon which the tractor can operate safely. Soil penetration should be about 3 to 4 inches. On sloping land, the operation should be on the contour D. Liquid Mulch-Binders
- . Applications should be heavier at edges where wind catches the mulch, in valleys, and at crests of banks. Remainder of area should be uniform in appearance. 2. Use one of the following: a. Organic and Vegetable Based Binders — Naturally occurring, powder based, hydrophilic materials that
- mixed with water formulates a ael and when applied to mulch under satisfactory curing conditions wil form membrane networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phyto-toxic effect or impede growth of turfgrass. Vegetable based gels shall be applied at rates and weather conditions recommended by the manufacturer. b. Synthetic Binders — Hiah polymer synthetic emulsion, miscible with water when diluted and followir application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates and weather conditions recommended by the manufacturer and remain tacky until germination of grass.

STANDARD FOR PERMANENT STABILIZATION WITH SOD

Where Applicable On exposed soils that have a potential for causing off-site environmental damage where an immediate, permanent, vegetative cover is desired. Water (rain or irrigation) is required for success; access to irrigation is essential during drought.

- Methods and Materials 1. High quality cultivated sod is preferred over native or pasture sod.
- 2. Sod should be free of broadleaf weeds and undesirable coarse and fine weed grasses. 3. Sod should be of uniform thickness, typically 5/8 inch, plus or minus 1/4 inch, at time of
- cutting (excludes top growth.). 4. Sod should be vigorous and dense and be able to retain its own shape and weight when suspended vertically with a firm grasp from the upper 10 percent of the strip. Broken
- pads and rolls or torn and uneven ends will not be acceptable. 5. For droughty sites, a sod of turf-type tall fescue or turf-type tall fescue mixed with
- Kentucky bluegrass is preferred over a 100% Kentucky bluegrass sod. Although not widely available, a sod of fine fescue is also acceptable for droughty sites. 6. Only moist, fresh, unheated sod should be used. Sod should be harvested, delivered, and installed within a period of 24 hours or less during summer months.
- 1. Site Preparation A. Grade as needed and feasible to permit the use of conventional equipment for liming,
- fertilizing, incorporation of organic matter, and other soil preparation procedures. All grading should be done in accordance with Standard for Land Grading
- B. Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 6 inches (unsettled) is required on all sites. See the Standard for Topsoiling for topsoil and amendment requirements. C. Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways
- 2. Soil Preparation A. Uniformly apply ground limestone, and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample mailers are available from the local Rutgers Cooperative Extension offices (http://njaes.rutgers.edu/county/). Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet using 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise and incorporated into the surface 4 inches. If fertilizer is not incorporated, apply $\frac{1}{2}$ the rate described above during seedbed preparation and repeat another $\frac{1}{2}$ rate application of the same fertilizer within 3 to 5 weeks after seeding. Apply limestone at the rate of 2 tons/acre unless soil testing indicates otherwise. Calcium carbonate is the equivalent and standard for measuring the ability of liming materials to neutralize soil acidity and supply calcium and magnesium to grasses and legumes.
- Limestone application rates shall be established through soil testing. 1. Pulverized dolomitic limestone is preferred for most soils south of the New
- Brunswick-Trenton line; however, this should be confirmed by soil testing. B. Work lime, and fertilizer into the topsoil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonably uniform, fine seedbed is prepared C. Remove from the surface all objects that would prevent good sod to topsoil contact and remove all other debris, such as wire, cable, tree roots, pieces of concrete, clods, lumps,
- or other unsuitable material. D. Inspect site just before sodding. If traffic has left the soil compacted, the area must be retilled and firmed in accordance with the above. 3. Sod Placement
- A. Sod strips should be laid on the contour, never up and down the slope, starting at the bottom of the slope and working up. On steep slopes, the use of ladders will facilitate the Standards for Soil Erosion and Sediment Control in New Jersey January 2014
- work and prevent damage to the sod. During periods of high temperature, lightly irrigate the soil immediately prior to laying the sod B. Place sod strips with snug, even joints (seams) that are staggered. Open spaces invite
- C. Lightly roll or tamp sod immediately following placement to insure solid contact of root mat and soil surface. Do not overlap sod. All joints should be butted tightly to prevent voids which would cause drying of the roots and invasion of weeds. D. On slopes greater than 3 to 1, secure sod to surface soil with wood pegs, wire staples
- biodegradable plastic spikes, or split shingles (8 to 10 inches long by 3/4 inch wide). E. Surface water cannot always be diverted from flowing over the face of the slope, but a capping strip of heavy jute or plastic netting, properly secured, along the crown of the slope and edges will provide extra protection against lifting and undercutting of sod. The same technique can be used to anchor sod in water-carrying channels and other critical
- areas. Wire staples must be used to anchor netting in channel work. F. Immediately following installation, sod should be watered until water penetrates the soil layer beneath sod to a depth of 1 inch. Maintain optimum water for at least two weeks. 4. Topdressing - Since soil organic matter and slow release nitrogen fertilizer (water insoluble) are prescribed in Sections 1 and 2in this Standard, a follow-up topdressing is not mandatory, except where aross nitroaen deficiency exists in the soil to the extent that turf
- failure may develop, topdressing shall then be applied. Topdress with 10-0-10 or equivalent at 400 pounds per acre or 7 pounds per 1,000 square feet every 3 to 5 weeks until the gross nitrogen deficiency in the turf is ameliorated.

Hardiness Zones Range of average annual minimum temperatures for and Warren counties

> Zone 6a (-5 to -10) Includes portions of Sussex, Warren, Passaic, Morris, Somerset and

Zone 6b (0 to -5) Includes portions of Bergen, Passaic, Morris, Essex, Hudson, Union, Somerset, Middlesex, Mercer, Hunterdon, Monmouth, Ocean, Burlington, Camden, Gloucester, Atlantic, Cumberland and Cape May counties

Zone 7a (5 to 0) Includes portions of Camden, Gloucester, Salem, Cumberland Cape May, Atlantic, Burlington, Ocean and Monmouth counties

Zone 7b (10 to 5) Includes portions of Cape May, Atlantic, Ocean and Monmouth counties

After USDA-ARS Misc. Publication 1475 NJDA State Soil Conservation Committee

- 2. Seedbed Preparation A. Apply ground limestone and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample mailers are available from the local Rutgers Cooperative Extension offices. Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-20-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Apply limestone at the rate indicated by soil testing. Calcium carbonate is the equivalent and standard for measuring the ability of liming materials to neutralize soil acidity and supply calcium and magnesium to grasses and
- B. Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is
- C. Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retilled in accordance with the above.
- D. Soils high in sulfides or having a pH of 4 or less refer to Standard for Management of High Acid Producing Soils, pg. 1-1.

A. Select seed from recommendations in Table 7-2.

TABLE 7-2									
TEMPORARY VEGE	TEMPORARY VEGETATIVE STABILIZATION GRASSES, SEEDING RATES, DATES								
SEED SELECTIONS		G RATE 1 inds)	OPTIMUM SEEDING DATE 2 Based on Plant Hardiness Zone 3						
SEED SELECTIONS	Per Acre	Per 1000 Sq. Ft.	ZONE 5b, 6s	ZONE 6b	ZONE 7a, b				
		(COOL SEASO	N GRASSES					
1. Perennial ryegrass	100	1.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15				
2. Spring oats	86	2.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15				
3. Winter Barley	96	2.2	8/1-9/15	8/15-10/1	8/15-10/15				
4. Annual ryegrass	100	1.0	3/15-6/1 8/1-9/15	3/15-6/1 8/1-9/15	2/15-5/1 8/15-10/15				
5. Winter Cereal Rye	112	2.8	8/1-11/1	8/1-11/15	8/1-12/15				
		WA	RM SEASON	GRASSES					
6. Pearl millet	20	0.5	6/1-8/1	5/15-8/15	5/1-9/1				
7. Millet (German or Hungarian)	30	0.7	6/1-8/1	5/15-8/15	5/1-9/1				

1 Seeding rate for warm season grass, selections 5 - 7 shall be adjusted to reflect the amount of Pure Line Seed (PLS) as determined by a germination test result. No adjustment is required for cool season grasses.

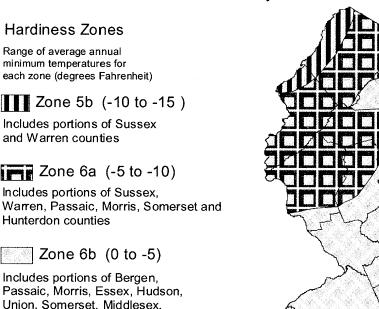
2 May be planted throughout summer if soil moisture is adequate or seeded area can be

3 Plant Hardiness Zone (see figure 7-1) 4 Twice the depth for sandy soils

- B. Conventional Seeding. Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacked seedings, seed shall be incorporated into the soil, to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse textured soil. C. Hydroseeding is a broadcast seeding method usually involving a truck or trailer mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short fibered mulch may be applied with a hydroseeder following seeding. (also see
- Section IV Mulching) Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. Poor seed to soil contact occurs reducing seed germination and growth. Hydroseeding may be used for areas too steep for conventional equipment to traverse or too obstructed with rocks, stumps, etc. D. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact,
- restore capillarity, and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized. 4. Mulchina Mulching is required on all seeding. Mulch will insure against erosion before grass is
- established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement. A. Straw or Hay. Unnrotted small grain straw, hay free of seeds, applied at the rate of 1-1/2 \circ 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimper is used instead of a liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed. Application. Spread mulch uniformly by hand or mechanically so that approximately 95% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square feet sections and distribute 70 to 90 pounds within each
- Anchoring shall be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and costs.
- . Peg and Twine. Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a cris-cross and a square pattern. Secure twine around each peg with two or more round turns. 2. Mulch Nettings. Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a
- degradable netting in areas to be mowed. 3. Crimper (mulch anchoring tool). A tractor-drawn implement, somewhat like a disc harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch
- rate must be 3 tons per acre. No tackifying or adhesive agent is required. 4. Liquid Mulch-Binders. - May be used to anchor hay or straw mulch. a. Applications should be heavier at edges where wind may catch the mulch, in valleys, and at crests of banks. The remainder of the area should be uniform in appearance. b. Use one of the following:
- (1) Organic and Vegetable Based Binders Naturally occurring, powder based, hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turfgrass. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which
- may need further evaluation for use in this state. (2) Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates recommended by the manufacturer and remain tacky until permination of grass.
- Note: All names give above are registered trade names. This does not constitute a commendation of these products to the exclusion of other products. B. Wood-fiber or paper-fiber mulch. Shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 ponds per acre (or as recommended by the project manufacturer) and may be applied by a hydroseeder. This mulch shall not be mixed in the tank with seed. Use is limited to flatter slopes and during optimum seeding periods in spring and fall
- C. Pelletized mulch. Compressed and extruded paper and/or wood fiber product, which may contain co-polymers tackifiers, fertilizers and coloring agents. The dry pellets, when applied to a seeded area and watered, forma mulch mat. Pelletized mulch shall be applies in accordance with the manufacturers recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs./1,000 square feet and activated with 0.2 to 0.4 inches of water.
- This material has bee found to be beneficial for use on small lawn or renovation areas, seeded areas where weed-seed free mulch is desired or on sites where straw mulch and tackifier agent are not practical or desirable. Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage

Fig. 7-1

USDA Plant Hardiness Zones Average Annual Minimum Temperature New Jersey Æ



ND DEPTH.
OPTIMUM SEED DEPTH 4 (inches)
0.5
1.0
1.0
0.5
1.0
1.0

1.0



U 10 20 30 Miles

10 0 10 20 30 Kilometers

STANDARD FOR TOPSOILING

Where Applicable Topsoil shall be used where soils are to be disturbed and will be revegetated..

Methods and Materials

- A. Topsoil should be friable1, loamy2, free of debris, objectionable weeds and stones, and contain no toxic substance or adverse chemical or physical condition that may be harmful to plant growth. Soluble salts should not be excessive (conductivity less than 0.5 millimhos per centimeter. More than 0.5 millimhos may desicate seedlings and adversely impact growth). Topsoil hauled in from offsite should have a minimum organic matter content of 2,75
- percent. Organic matter content may be raised by additives. B. Topsoil substitute is a soil material which may have been amended with sand, silt, clay, organic matter, fertilizer or lime and has the appearance of topsoil. Topsoil substitutes may be utilized on sites with insufficient topsoil for establishing permanent vegetation. All topsoil substitute materials shall meet the requirements of topsoil noted above. Soil tests shall be performed to determine the components of sand, silt, clay, organic matter, soluble salts and
- Friable means easily crumbles in the fingers, as defined in most soils texts. 2 Loamy means texture groups consisting of coarse loamy sands, sandy loam, fine and very fine sandy loam, loam, silt loam, clay loam, sandy clay loam and silty clay loam textures and having less than 35% coarse fragments (particles less than 2mm in size) as defined in the Glossary of Soil Science Terms, 1996, Soil Science Society of America.
- 2. Stripping and Stockpiling A. Field exploration should be made to determine whether quantity and or quality of surface soil justifies stripping. B. Stripping should be confined to the immediate construction area.
- C. Where feasible, lime may be applied before stripping at a rate determined by soil tests to bring the soil pH to approximately 6.5. In lieu of soil tests, see lime rate guide in seedbed preparation for Permanent Vegetative Cover for Soil Stabilization, pg. 4-1.
- D. A 4-6 inch stripping depth is common, but may vary depending on the particular soil. E. Stockpiles of topsoil should be situated so as not to obstruct natural drainage or cause off-site environmental damage F. Stockpiles should be vegetated in accordance with standards previously described herein; see
- standards for Permanent (pg. 4—1) or Temporary (pg.7—1) Vegetative Cover for Soil Stabilization. Weeds should not be allowed to grow on stockpiles. 3. Site Preparation A. Grade at the onset of the optimal seeding period so as to minimize the duration and area of exposure of disturbed soil to erosion. Immediately proceed to establish vegetative cover in
- accordance with the specified seed mixture. Time is of the essence B. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and anchoring, and maintenance.
- See the Standard for Land Grading, pg. 19-1. C. As guidance for ideal conditions, subsoil should be tested for lime requirement. Limestone, if needed, should be applied to bring soil to a pH of approximately 6.5 and incorporated into the soil as nearly as practical to a depth of 4 inches.
- D. Immediately prior to topsoiling, the surface should be scarified 6" to 12" where there has been soil compaction. This will help insure a good bond between the topsoil and subsoil. This practice is permissible only where there is no danger to underground utilities (cables, irrigation systems, etc.).
- E. Employ needed erosion control practices such as diversions, grade stabilization structures, channel stabilization measures, sedimentation basins, and waterways. See Standards 11 through 42. 4. Applying Topsoil
- A. Topsoil should be handled only when it is dry enough to work without damaging soil structure; i.e., less than field capacity (see glossary). B. A uniform application to a depth of 5 inches, minimum of 4 inches, firmed in place is required. Soils with a pH of 4.0 or less or containing iron sulfide shall be covered with a minimum depth of 12 inches of soil having a pH of 5.0 or more, in accordance with the Standard for Management of High Acid Producing Soil (pg. 1-1).

STANDARD FOR TREE PROTECTION DURING CONSTRUCTION <u>Where Applicable</u>

On new development sites with existing trees.

Methods and Materials

- . Reconnaissance should be performed before land clearing begins to identify dead and weak trees to be removed and healthy trees to remain, to create aesthetically pleasing development site with vegetation rather than the presence of dead or dying trees. Inventory the site and clearly mark the trees and stands of trees to be saved. Consider relocating streets, houses, or other structures if necessary and feasible. Once clearing begins and damage to the trees occurs, valuable specimens may be lost.
- A. Characteristics of trees to be protected and saved. The following lists characteristics that should be evaluated before deciding to remove or protect a tree. . Tree Viaor Tree health is the overall condition of the tree. A tree of low vigor is more susceptible to damage by environmental changes than healthy trees and is more susceptible to insect and
- disease attacks. Indications of poor vigor include the dying of the tips of branches and entire limbs, small annual twig growth, stunted leaf size, sparse foliage, and poor foliage colo Avoid saving hollow or rotten trees, trees cracked, split, leaning or crooked, oozing sap, or with broken tops. Use woodchips generated from removal of trees of poor health and spread them around the root zones to help protect the trees that remain. 2. Tree Aae
- Large, picturesque trees may be more aesthetically valuable than smaller, young trees, but also require more extensive protection measures. If leaving an older tree, be sure it is sound and healthy. 3. Species (the right trees for the right locations)
- Many species of trees found in New Jersey woodlands are not suitable for shade tree uses around buildings. Avoid protecting trees that are short-lived, brittle, have soft wood, messy leaves, fruit, or are frequently attacked by insects and disease. Tree root systems which do not adapt well to cuts and fills may not be a suitable alternative. The following are severely affected by compacted construction fills: Aspen, Beech, Paper birch, Eastern red cedar, Black cherry, Dogwood, Katsura tree, Linden, Paperbark maple, Sugar maple, Black oak, Pin oak, Red oak, White oak, Pines, and Tuliptree. 4. Resistant to Insects and Diseases
- Avoid leaving trees in highly visible areas or specimens that are frequent targets of insects and diseases. American Elm, for example, could be lost due to Dutch Elm Disease. Wild Cherry, another example, is a favorite host of the tent caterpillar, which causes defoliation of the trees in early summer. The following are susceptible to insects (I) and disease (D): White Ash(D), Birch (I), Butternut (D), Crabapples (D), some Elms (D), Hawthorn (D), Hemlock (I), Linden (I), Sugar Maple (D), Mountain Ash (D), Sassafras (I), Scholartree (D), Redbud (D) 5. Tree Aesthetics Choose trees that are aesthetically pleasing, exhibiting good shape and form. Avoid leaning,
- crooked, and misshapen trees. Occasionally, an odd-shaped tree or one of unusual form may add interest to the landscape if strategically located. Be sure the tree is structurally sound and vigorous. 6. Spring and Autumn Coloration
- Species differ in fall color. Some are bright red, others orange and yellow. Other species exhibit no autumn color, such as walnut, locust, and sycamore. 7. Wildlife Benefits
- Favor trees that are preferred by wildlife for food, cover, and nesting. A mixture of evergreens and hardwoods is beneficial. Evergreen trees are important for cover during the winter months. The hardwoods are more valuable for food. 8. Air Pollution Susceptibilit
- Tree species vary greatly to susceptibility to air pollution. Symptoms vary from browning on the edges of the leaves and needles, to stunting of growth, to death of the tree. The following show tolerance to urban stress and are less likely to present problems with sidewalks: Baldcypress, Corktree, Amur maple, Kentucky coffee tree, Crabapple, Dawn redwood, Ginkgo (male), Goldenraintree, Hackberry, Hawthorn, Honeylocust, European hornbeam, Horsechestnut, Lindens, Oaks (excluding pin), Pear, Scholartree, Sourgum (tupelo), Sweetgum, Yews, 7elkova,
- 9. Species Longevity Favor trees whose life span is long, such as oak, beech, and tulip poplar. Short-lived trees; (Black locust, Gray birch, Aspen) should be avoided for use as shade, lawn or specimen trees. Although some short—lived trees have an attractive form or pleasing coloration in the spring or fall, such trees may not live for a long time and thus may not be worth
- B. Criteria for protecting remaining trees: 1. General mechanical damage - see Tree Protection During Construction Detail for correct root zone calculation and placement of tree protection. 2. Box trees within 25 feet of a building site to prevent mechanical injury. Fencing or other barrier should be installed beyond the Critical Root Radius see Tree Protection During
- Construction Detail. Tree root systems commonly extend well beyond the drip line. 3. Boards will not be nailed to trees during building operations. 4. Feeder roots should not be cut in an area inside the Protected Root Zone (PRZ). 5. Damaged trunks or exposed roots should have damaged bark removed immediately and no
- paint shall be applied. Exposed roots should be covered with topsoil immediately after excavation is complete. Roots shall be pruned to give a clean, sharp surface amenable to healing. Roots exposed during hot weather should be irrigated to prevent permanent tree injury. Care for serious injury should be prescribed by a professional forester or licensed tree 6. Tree limb removal, where necessary, will be done as natural target pruning to remove the
- desired branch as close as possible to the branch collar. There should be NO flush cuts. Flush cuts destroy a major defense system of the tree. No tree paint shall be applied. All cuts shall be made at the outside edge of the branch collar. Cuts made too far beyond the branch collar may lead to excess sprouting, cracks and rot. Removal of a "V" crotch should be considered for free standing specimen trees to avoid future splitting damage.

Note: For more specific data on certain tree characteristics by species, see Table 9.1 of the Standards for Soil Erosion and Sediment Control in New Jersey for 2014, or consult with a Licensed Professional Tree Expert, Soil Conservation District or Rutgers Cooperative Extension.

Know what's below. Call before you dig. or 1-800-272-1000

TO LOCATE UNDERGROUND UTILITIES

F YOU'RE GOING TO DIG, BLAST OR DRII

THREE (3) WORKING DAYS NOTICE

REMEMBER

IT'S THE LAW!

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NEW JERSEY

1-800-272-1000

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RECUERDE ES LA LEY!

EXCAVE CON SEGURIDAD

Dig Safely.

A LOCALIZAR LAS

LLAME ANTES DE EXCAVA

STANDARD FOR DUST CONTROL

Definition The control of dust on construction sites and roads.

- To prevent blowing and movement of dust from exposed soil surfaces, reduced on-site and off-site damage and health hazards and improve traffic safety. Condition Where Practice Applies
- This practice is applicable to areas subject to dust blowing and movement where on-site and off—site damage is likely without treatment. Consult with local municipal ordinances on any

Water Quality Enhancement

Sediments deposited as "dust" are often fine colloidal material which is extremely difficult to remove from water once it becomes suspended. Use of this standard will help to control the generation of dust from construction sites and subsequent blowing and deposition into local surface water resources Planning Criteria

The following methods should be considered for controlling dust:

Mulches — See Standard of Stabilization with Mulches Only, pg. 5-1

Vegetative Cover — See Standard for: Temporary Vegetative Cover, pg. 7—1, Permanent Vegetative Cover for Soil Stabilization pg. 4—1 and Permanent Stabilization with Sod, pg. 6—1 Spray-On Adhesives - On mineral soils (not effective on muck soils). Keep traffic off these

Table 16-1 Dust Control Materials			
MATERIAL	WATER DILUTION	TYPE OF NOZZLE	AP GALLO
Anionic asphalt emulsion	7:1	Coarse Spray	1
Latex emulsion	12.5:1	Fine Spray	
Resin in water	4:1	Fine Spray	
Polyacrylamide (PAM)—spray on	Apply accor	instructions	
Polyacrylamide (PAM) — dry spread	as an additi	to flocculat	
	suspeded co	<u>olloids. See sediment b</u>	<u>asin standar</u>
Acisulated Soy Bean Soap Stick	None	Coarse spray	

Tillage - To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. hisel—type plows spaced about 12 inches apart and spring—toothed harrows are examples of equipment which may produce the desired effect.

Sprinkling - Site is sprinkled until the surface is wet. Barriers — Solid board fences, snow fences, burlap fences, crate walls, bales of hay and similar

material can be used to control air currents and soil blowing. Calcium Chloride - Shall be in the form of loose, dry aranules or flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.

Stone - Cover surface with crushed stone or coarse aravel.

Freehold Soil Conservation District March 2014 1. The Freehold Soil Conservation District shall be notified forty-eight (48) hours in advance of any soil disturbing

2. All Soil Erosion and Sediment Control practices are to be installed prior to soil disturbance, or in their proper sequence, and maintained until permanent protection is established. 3. Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards. 4. N.J.S.A 4:24-39 et. Seq. requires that no Certificates of Occupancy be issued before the District determines that a

project or portion thereof is in full compliance with the Certified Plan and Standards for Soil Erosion and Sediment Control in New Jersey and a Report of Compliance has been issued. Upon written request from the applicant, the District may issue a Report of Compliance with conditions on a lot-by-lot or section-by-section basis, provided that the project or portion thereof is in satisfactory compliance with the sequence of development and tempora measures for soil erosion and sediment control have been implemented, including provisions for stabilization and site

5. Any disturbed areas that will be left exposed more than sixty (60) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of 2 to 2 ½ tons per acre, according to the Standard for Stabilization with Mulch Only. 6. Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. soil stockpiles, steep slopes and roadway embankments) will receive temporary seeding in combination with straw mulch or a

suitable equivalent, and a mulch anchor, in accordance with State Standards. 7. A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways, and parking areas. In areas where no utilities are present, the sub-base shall be installed within fifteen (15) days of the preliminary grading. 8. The Standard for Stabilized Construction Access requires the installation of a pad of clean crushed stone at points

where traffic will be accessing the construction site. After interior roadways are paved, individual lots require a stabilized construction access consisting of one inch to two inch (1" – 2") stone for a minimum length of ten feet (10') equal to the lot entrance width. All other access points shall be blocked off. 9. All soil washed, dropped, spilled, or tracked outside the limit of disturbance or onto public right-of-ways will be removed immediately.

10. Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading. 11. At the time that site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.

12. In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less or containing iron sulfides shall be ultimately placed or buried with limestone applied at the rate of 10 tons/acre, (or 450 lbs/1,000 sq ft of surface area) and covered with a minimum of 12" of settled soil with a pH of 5 or more, or 24" where trees or shrubs are to be planted 13. Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational. 14. Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to

minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering. 15. Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied as required by the Standard for Dust Control. 16. Stockpile and staging locations established in the field shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and Sediment Control Plan. Certification of a new Soil Erosion and Sediment Control Plan may be required for these activities if an area greater than 5,000 square feet is disturbed.

17. All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note #6. 18. The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.

Freehold Soil Conservation District 4000 Kozloski Road, Freehold, NJ 07728-5033, (732) 683-8500, fax (732) 683-9140, Email: info@freeholdscd.org.

- SEQUENCE OF CONSTRUCTION
- 1.) INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON PLANS
- 2.) INSTALL STABILIZED CONSTRUCTION ENTRANCE(S) AS SHOWN ON ON THE SOIL EROSION SEDIMENT CONTROL PLANS AND DETAILS.
- 3.) MOBILIZATION AND DEMOLITION OF EXISTING SITE FEATURES AS REQUIRED.
- 4.) CONSTRUCT UNDERGROUND BASIN AS FOLLOWS: a. CLEAR AND GRUB DETENTION BASIN AREA AND REMOVE
- DEBRIS FROM SITE.
- b. CONSTRUCT OUTLET STRUCTURE
- d. STABILIZE ANY STOCKPILED MATERIAL. 5.) CLEAR AND GRUB ALL AREAS IN ACCORDANCE WITH THE LIMITS OF
- DISTURBANCE PHASE I. IMMEDIATELY REMOVE DEBRIS FROM SITE. 6.) INSTALL REMAINING STORM WATER INFRASTRUCTURE.
- 7.) STRIP, STOCKPILE AND STABILIZE TOPSOIL AT LOCATIONS AS SHOWN
- ON PLANS. 8.) ROUGH GRADE SITE
- 9.) CONSTRUCT ALL ONSITE UTILITIES
- 10.) CONSTRUCT BUILDING
- 11.) INSTALL LIGHTING AS SHOWN ON THE PLANS.

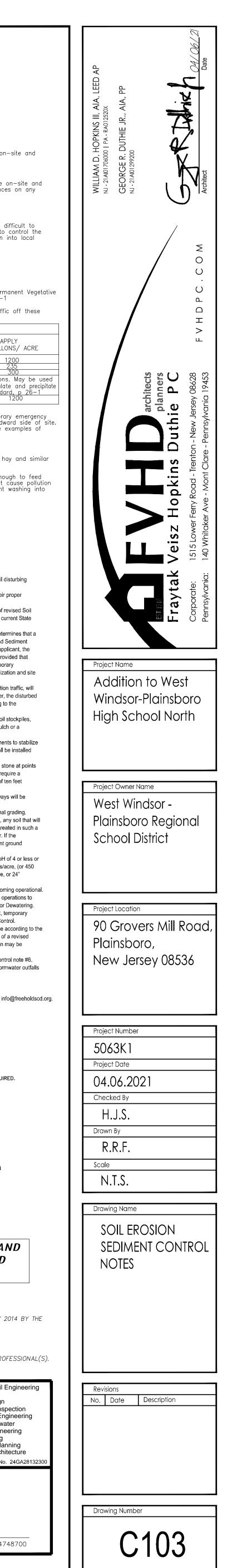
2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

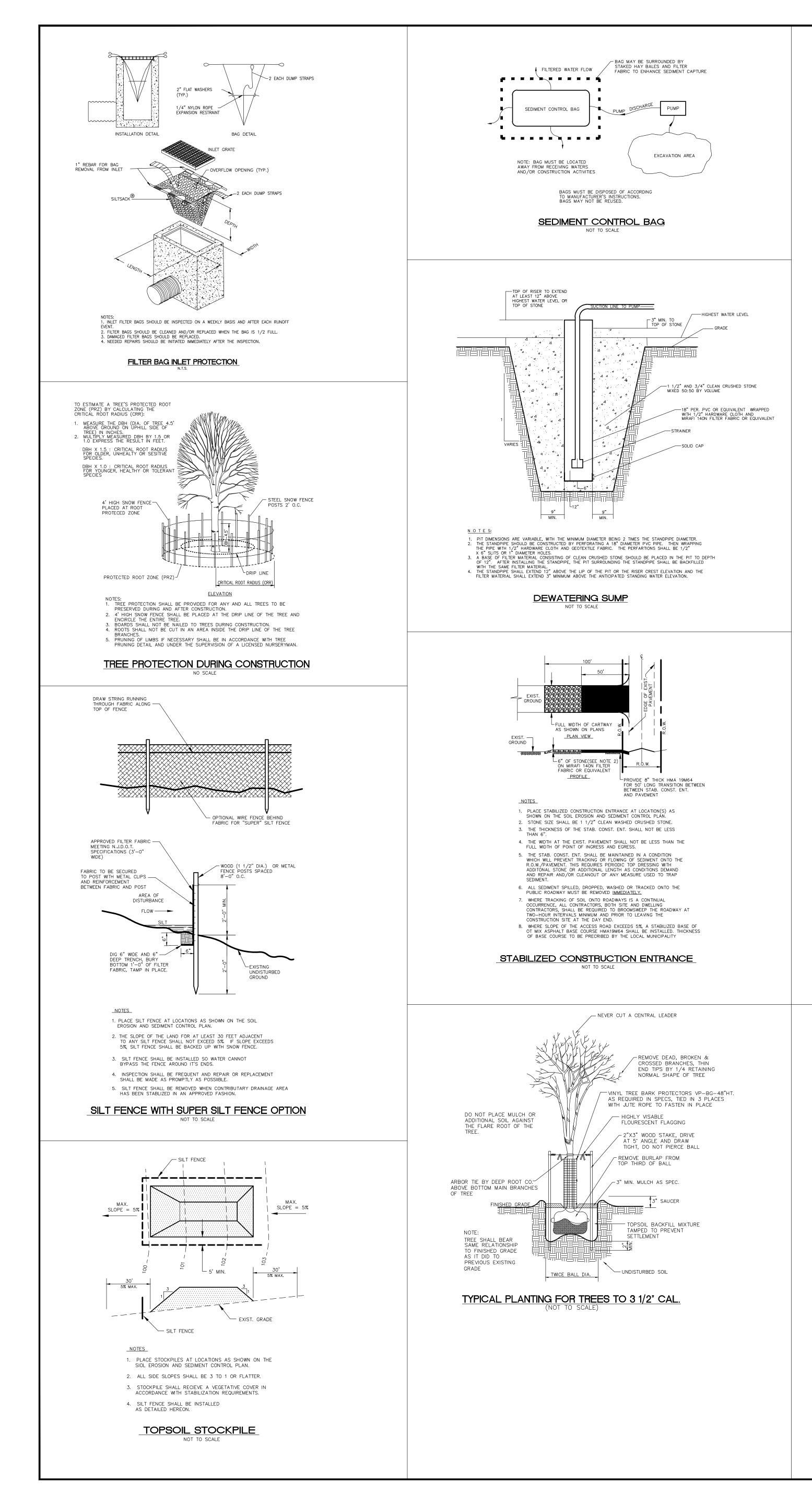
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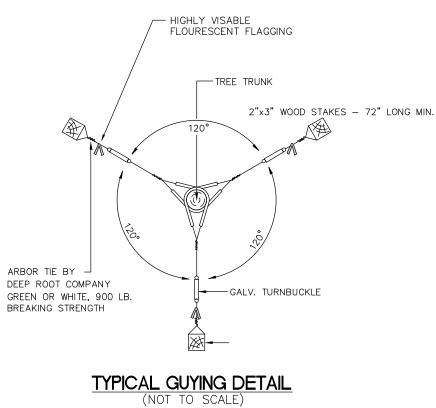
"STANDARD FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY" ADOPTED FEBRUARY 2014 BY THE NEW JERSEY STATE SOIL CONSERVATION COMMITEE. **GENERAL NOTES:**

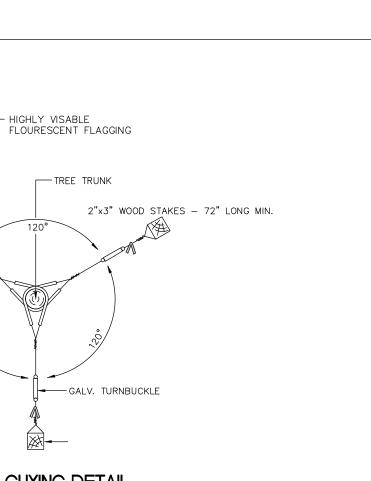
1. THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).

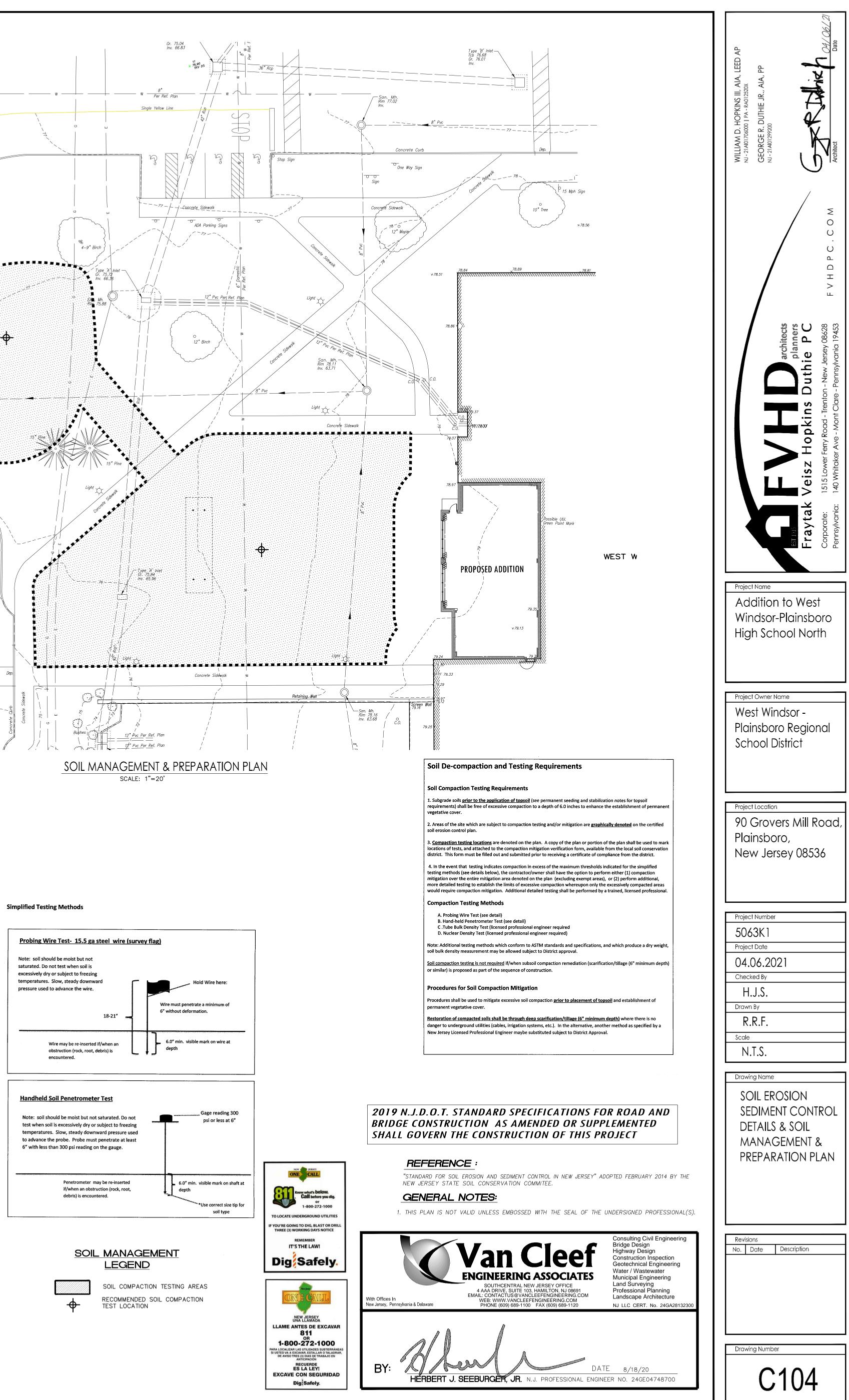
With Offices In New Jersey, Pennsylvania & Delaware	Van Clee ENGINEERING ASSOCIATES SOUTHCENTRAL NEW JERSEY OFFICE 4 AAA DRIVE, SUITE 103, HAMILTON, NJ 08691 EMAIL: CONTACTUS@VANCLEEFENGINEERING.COM WEB: WWW.VANCLEEFENGINEERING.COM PHONE (609) 689-1100 FAX (609) 689-1120	Water / Wastewater
BY: HERBERT J		DATE 8/18/20 NGINEER NO. 24GE04748700

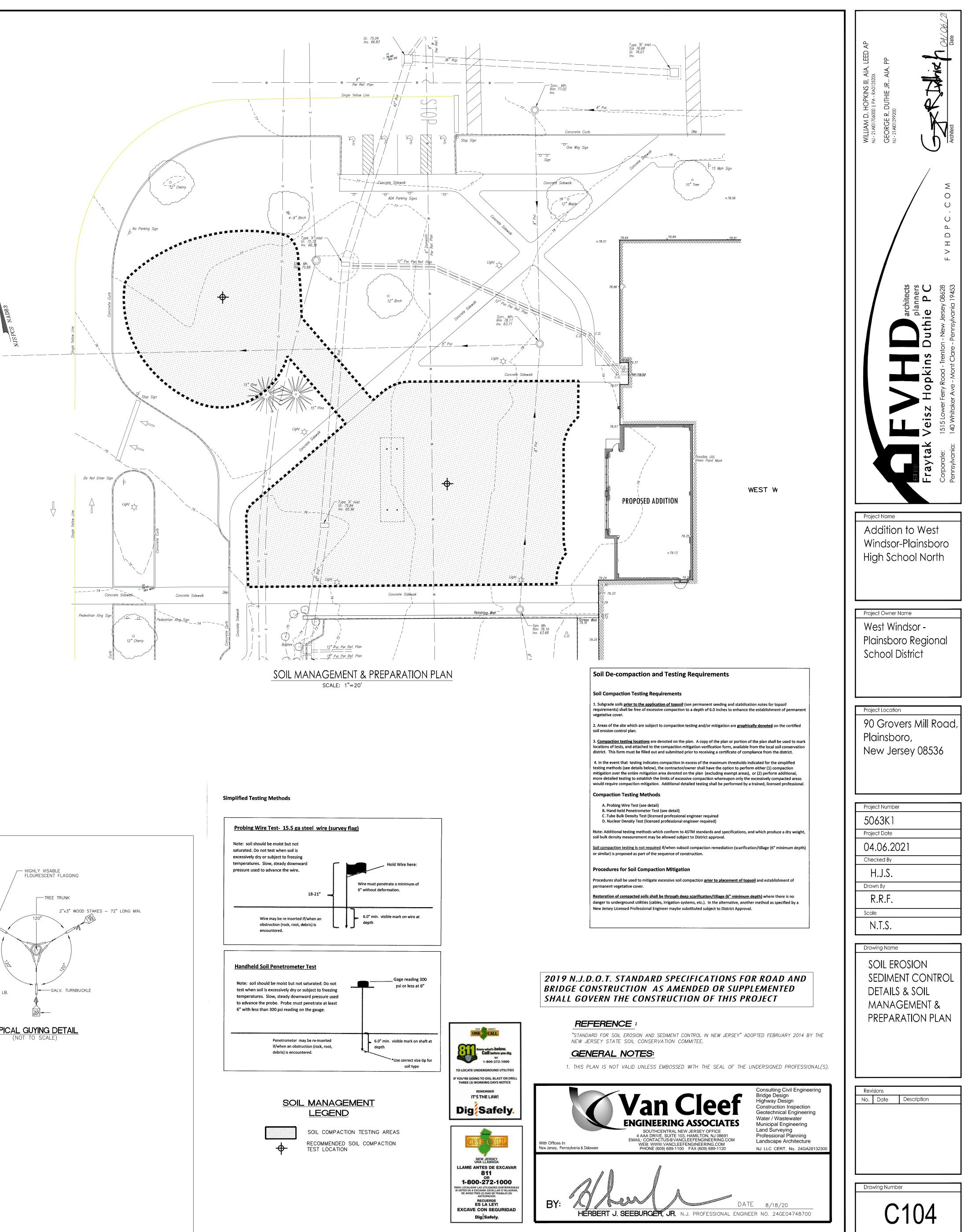




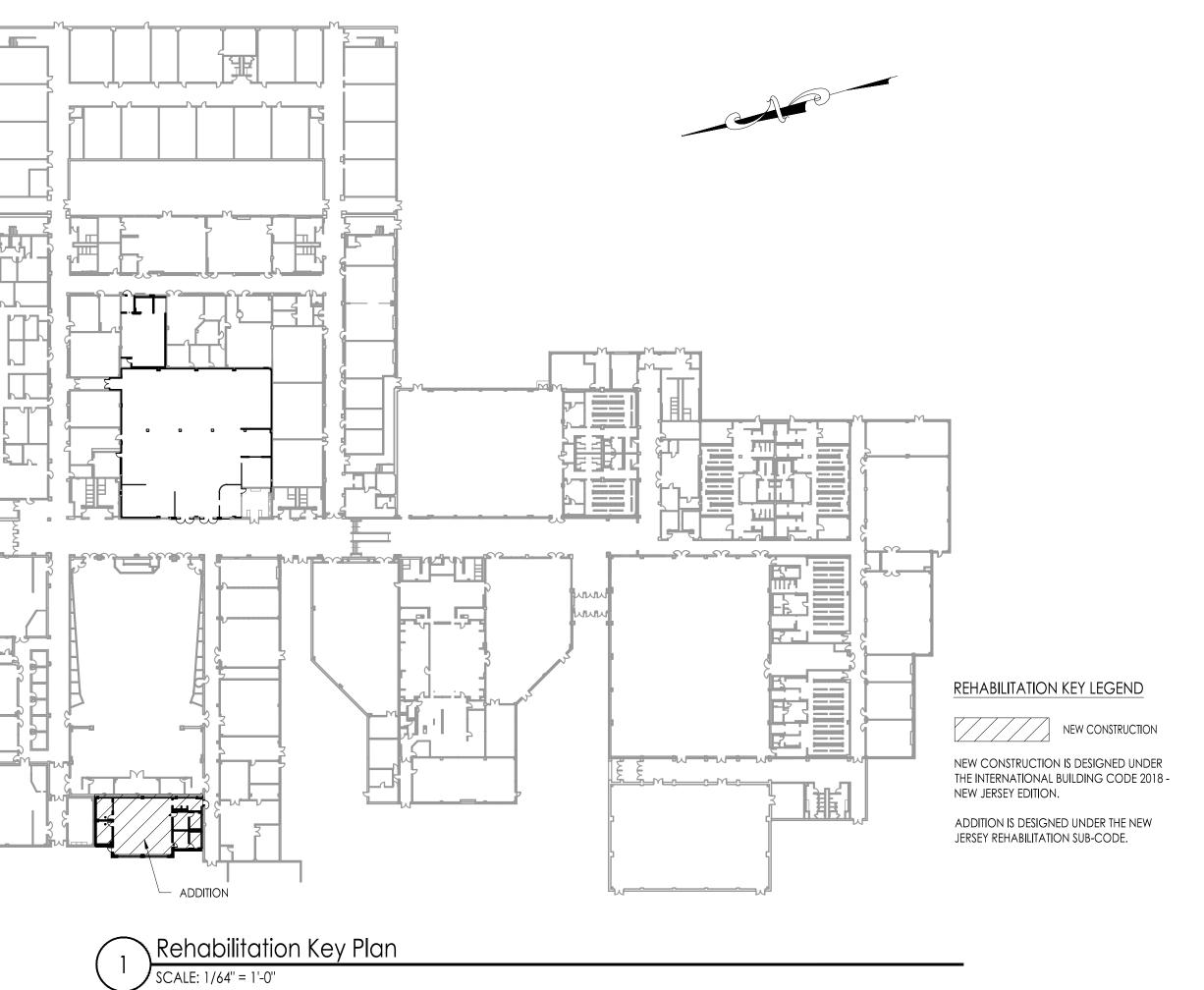


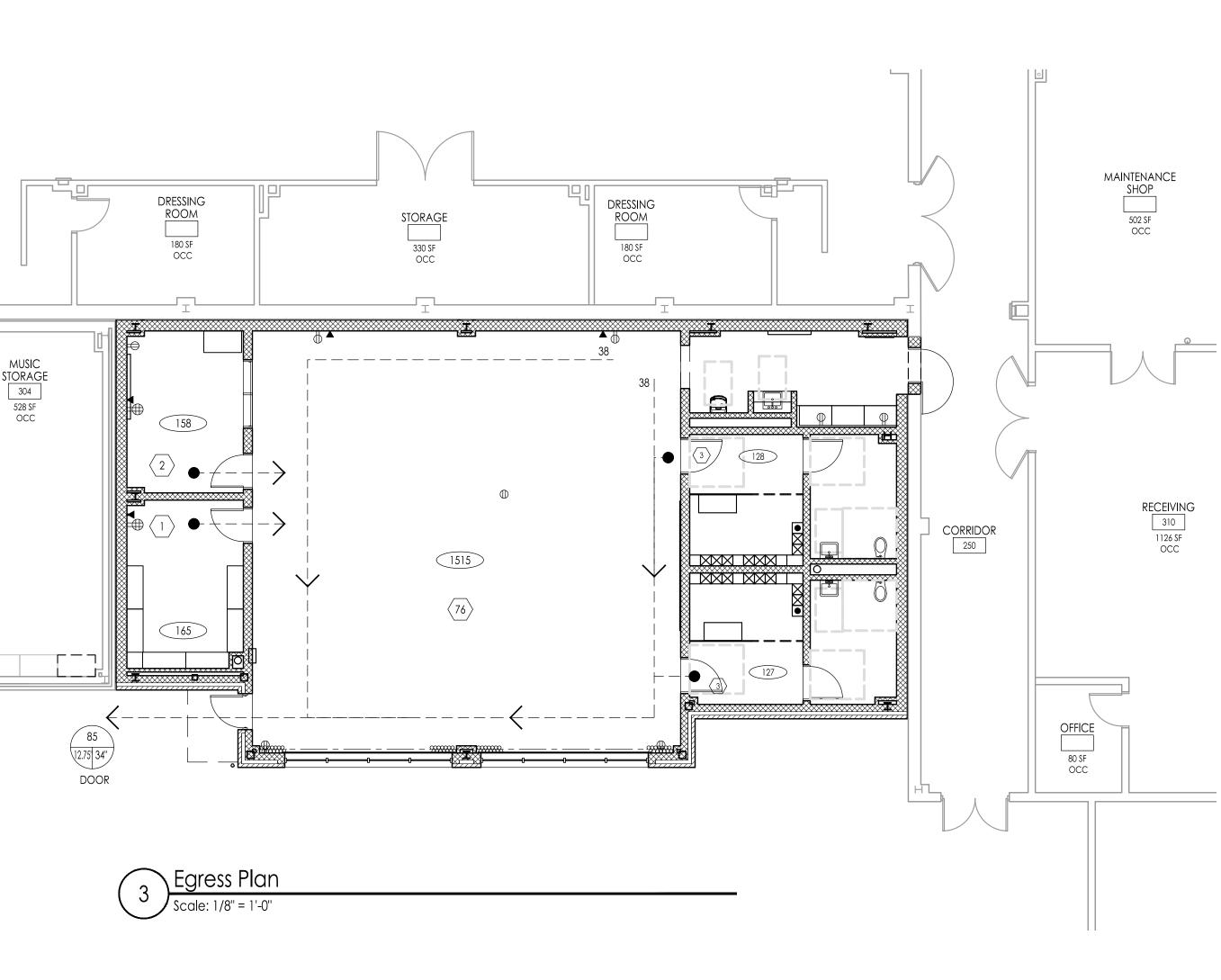


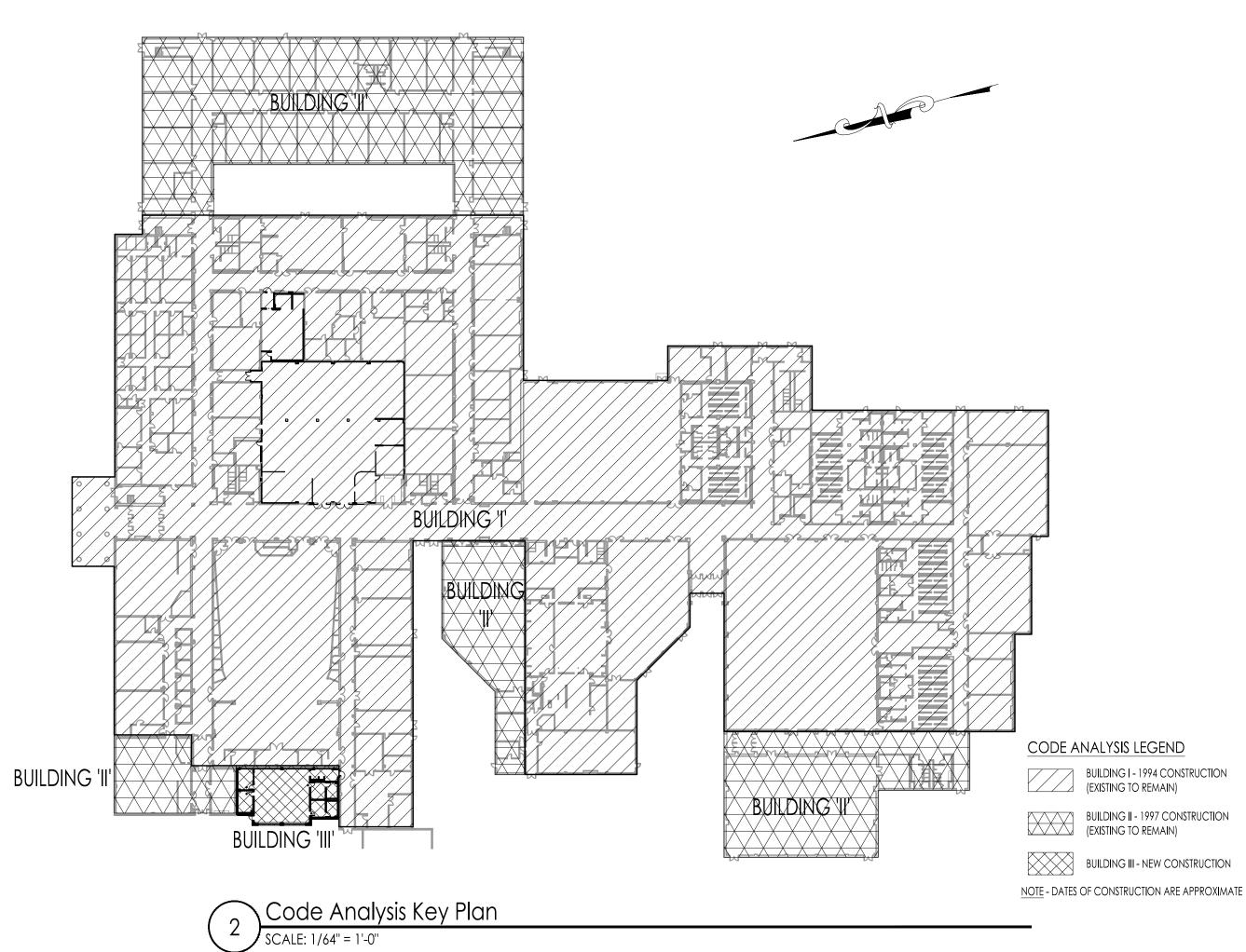




THIS PROJECT WAS DESIGNED UNDER	ES: R THE FOLLOWING CODES:	
CONSTRUCTION CODE - BUILDING SUBCODE - BARRIER-FREE SUBCODE - PLUMBING SUBCODE - MECHANICAL SUBCODE - ELECTRICAL SUBCODE - FUEL GAS SUBCODE - ENERGY CONSERVATION SUBCODE -	NEW JERSEY REHABILITATION SUBCODE 5:23-6 INTERNATIONAL BUILDING CODE 2018 - NEW JERSEY EDITION N.J.A.C. 5:23-7 AND ICC-ANSI A117.1-2009 NATIONAL STANDARD PLUMBING SUBCODE 2018 INTERNATIONAL MECHANICAL CODE 2018 NATIONAL ELECTRICAL CODE 2017 INTERNATIONAL FUEL GAS CODE 2018 ASHRAE 90.1 2016	
BUILDING ANALYSI	S (ADDITION) - BUILDING 'III'):	
BUILDING 'III' (NEW EDUCATIONAL)		_
PROTECTED AND FULLY SPRINKLEREE	e (Educational)	
CONSTRUCTION TYPE TABULAR ALLOWABLE AREA AREA INCREASE - SPRINKLER ADJUSTED ALLOWABLE AREA	1B UNLIMITED N/A N/A	
actual area (New Addition) Building 'III'	2,866 S.F.	
ALLOWABLE HEIGHT ACTUAL HEIGHT	6 STORIES / 180'-0" (TABLE 504.3 & 504.4) 1 STORY / 22'-0"	
	SK CATEGORY 'III' AS DEFINED IN TABLE 1604.5 OF IBC-2018 NJ EDITION -	
THE BUILDING WILL <u>NOT</u> BE DESIG	E' OCCUPANCIES WITH OCCUPANT LOAD GREATER THAN 250. NATED AS OR USED AS AN EMERGENCY SHELTER FOR HURRICANE, EARTHQUAKE OR OTHER	
emergencies and is <u>not</u> class	SIFIED AS OCCUPANCY CATEGORY 'IV'.	
RADON NOTE:		
·		0 0
	CIATED CONSTRUCTION TECHNIQUES ARE NOT REQUIRED FOR THIS PROJECT.	
	OR RECOGNIZED RADON PRONE AREA.	
FROM NATIONAL FIRE PROTECTION	SCHEDULE (NEW ADDITION): ASSOCIATION CODES)	
FROM NATIONAL FIRE PROTECTION A FIRE EXTINGUISHER TYPES 1. MULTI-PURPOSE DRY C 2. PROVIDE A MINIMUM 2	SCHEDULE (NEW ADDITION): ASSOCIATION CODES) HEMICAL TYPE UL RATED 2A:10:B:C 51b FOR TYPE A,B,C FIRES 2-A RATING FOR EACH 6000 S.F. AREA AND A TRAVEL DISTANCE OF NOT MORE THAN 75' IN EACH DIRECTION. NGUISHERS SHALL EITHER REMAIN IN PLACE OR SHALL BE REPLACED WITH NEW FIRE EXTINGUISHERS DURING THE	
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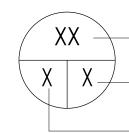




EGRESS PLAN LEGEND

$ \rightarrow$	PATH OF EGRESS TRAVEL
G	BARRIER-FREE BUILDING ENTRANCE / EXIT
X	TRAVEL DISTANCE
XXX	NET SQUARE FOOTAGE - NEW CONSTRUCTION
$\langle \mathbf{x} \rangle$	OCCUPANT LOAD - NEW CONSTRUCTION - SEE ROOM CAPACITY NOTES
FE-1	NEW FIRE EXTINGUISHER IN SEMI-RECESSED CABINET (CMU WALL), SEE DWG. G003

BUILDING EXIT CAPACITY



XX - OCCUPANT LOAD - IBC 2018 NJ CHPT. 10

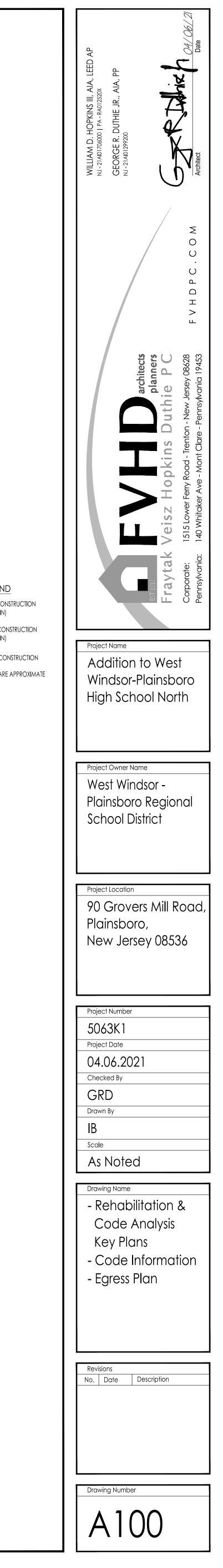
- NET CLEAR EGRESS WIDTH REQUIRED (IN INCHES)

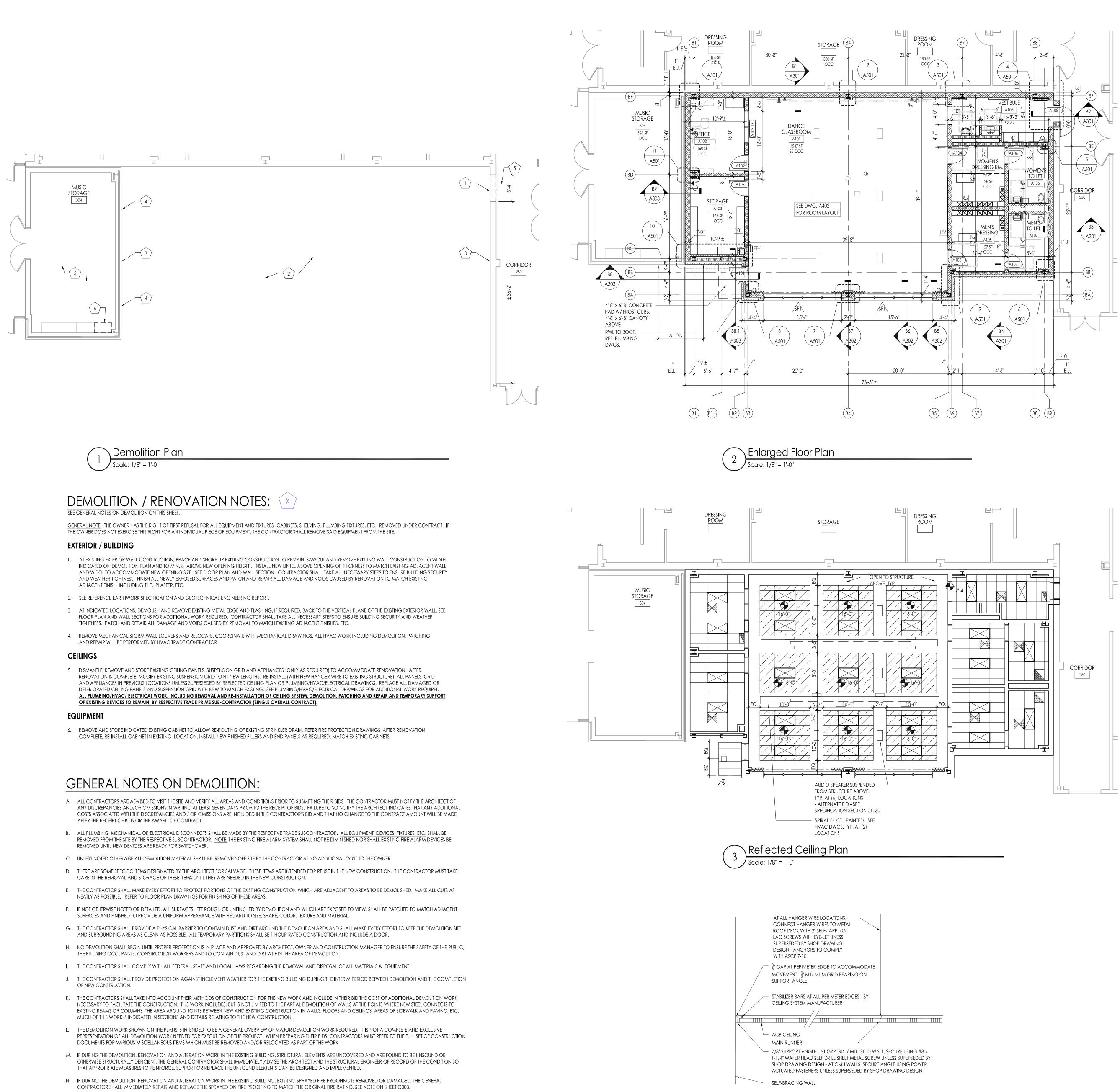
ROOM CAPACITY NOTES:

SEE THE CODE ANALYSIS KEY PLAN ON THIS SHEET.

OCCUPANT LOADS -

OCCUPANT LOAD IN THE ADDITION TO BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH IBC 2018 - NJ EDITION.





ACB Seismic Bracing Detail

PLAN LEGEND

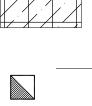
(//////////////////////////////////////	BRICK
	NEW CMU PARTITION
FE-1	NEW FIRE EXTINGUISHER IN SEMI-RECESSED CABINET (CMU WALL) - SEE DETAIL 5 / G003
EJ CJ	EXPANSION JOINT - SEE DETAIL 3 / G003 INTERIOR CONTROL JOINT - SEE DETAIL 1 / G003
DMB EB	DRYMARKER BOARD - SEE SPECIFICATIONS AND DETAIL 4 / G002 EXHIBITION BOARD - SEE SPECIFICATIONS AND DETAIL 5 / G002

PLAN NOTES

- 1. ALL NEW WALLS SHALL EXTEND TO UNDERSIDE OF STEEL DECK UNLESS NOTED OTHERWISE.
- 2. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF EXTERIOR CONTROL JOINTS SEE ALSO DTL. 3 / G003. 3. SEE STRUCTURAL DRAWINGS FOR SEISMIC REINFORCEMENT DETAILS AND REQUIREMENTS FOR ALL INTERIOR AND EXTERIOR MASONRY WALLS.
- 4. ALL EXPOSED EXTERIOR STEEL LINTELS SHALL BE PAINTED GALVANIZED STEEL 5. ALL BIDDERS MUST VISIT THE SITE AND VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO SUBMITTING A BID. IF ANY DISCREPANCIES OR OMISSIONS ARE FOUND, THE BIDDER(S) MUST NOTIFY THE ARCHITECT OF THESE, IN WRITING, AT LEAST TEN (10) WORKING DAYS PRIOR TO RECEIPT OF BIDS. IF THEY DO NOT DO SO, ANY MODIFICATION OR CORRECTION SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

<u>ACB-1</u> - 2' X 4' ACOUSTICAL CEILING BOARD - SEE FINISH SCHEDULE FOR LOCATION & TYPE
<u>AACB</u> - 2' X 4' ACRYLIC ACOUSTICAL CEILING BOARD SEE FINISH SCHEDULE FOR LOCATION

REFLECTED CEILING PLAN LEGEND



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SUPPLY / RETURN / EXHAUST DIFFUSER (SEE HVAC DRAWINGS)

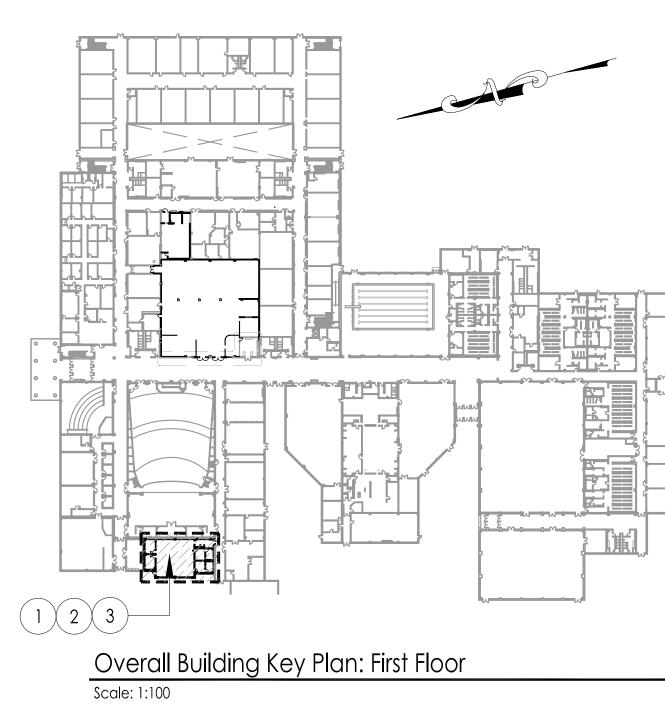
DCS-1 - 2' X 4' ACOUSTICAL ACCENT CLOUD -

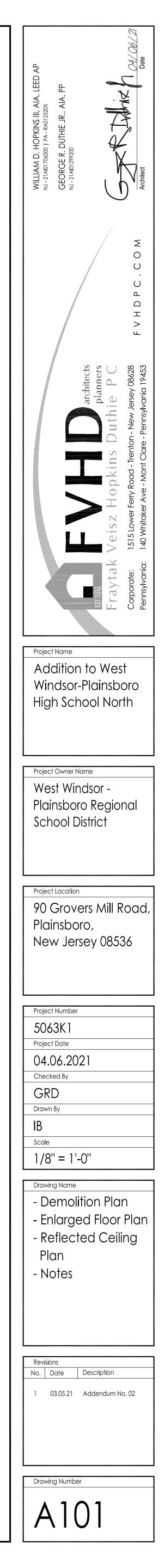
EE FINISH SCHEDULE FOR LOCATION & TYPE

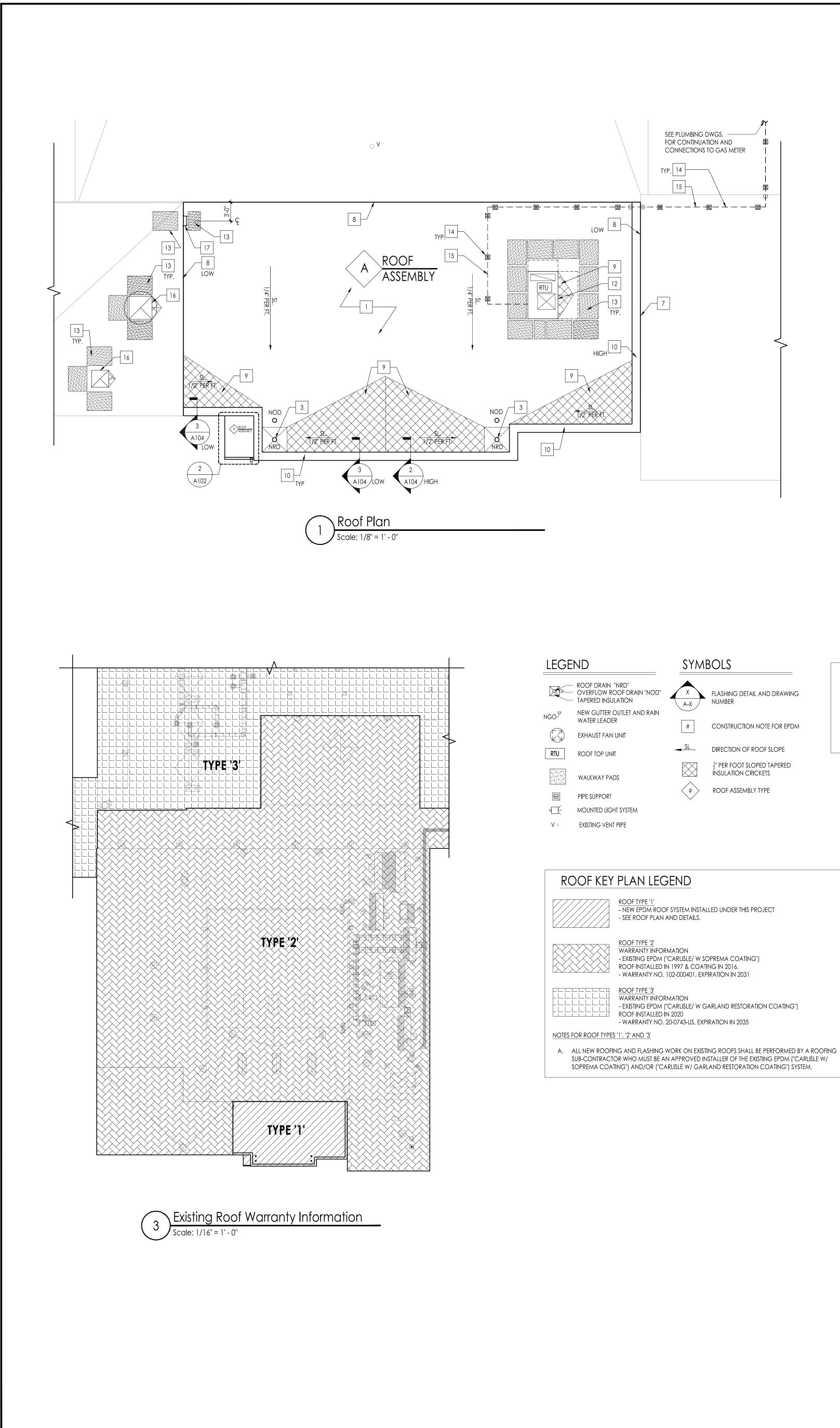
LIGHTS (SEE ELECTRICAL DRAWINGS)

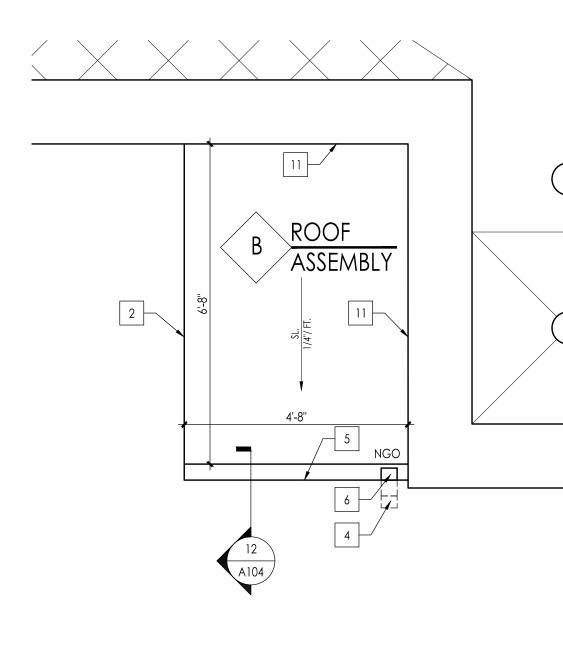
REFLECTED CEILING NOTES:

- 1. SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR TYPES, SIZES AND ADDITIONAL INFORMATION ON CEILING-MOUNTED DEVICES.
- 2. ALL SPRINKLER HEADS, DIFFUSERS AND LIGHTS TO BE CENTERED IN THE GWB
- OR ACB CEILING UNLESS NOTED OTHERWISE. 3. GENERAL, HVAC, PLUMBING AND ELECTRICAL CONTRACTORS TO
- COORDINATE LOCATION OF SPRINKLER HEADS, DIFFUSERS AND LIGHTS.
- 4. SEE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS NOT SHOWN ON REFLECTED CEILING PLAN.
- 5. A.F.F. = ABOVE FINISH FLOOR (MAIN DATUM ELEVATION)
- 6. SEE DETAIL 4/ A101 FOR TYPICAL SEISMIC BRACING AT SUSPENDED CEILINGS









 \mathcal{T} Enlarged Canopy Plan Scale: 1/2" = 1' - 0"

 $\frac{1}{2}$ " PER FOOT SLOPED TAPERED INSULATION CRICKETS

GENERAL SHEET NOTES

1. REF. SHEET A103 FOR GENERAL CONSTRUCTION NOTES. 2. COORDINATE ALL ROOF TOP UNITS AND ROOF PENETRATIONS WITH ALL APPLICABLE DISCIPLINES. 3. REF. SHEET A103 FOR ROOF TYPE ASSEMBLIES.

ROOF KEY	PLAN LEGEND
	ROOF TYPE '1' - NEW EPDM ROOF SYSTEM INSTALLED UNDER THIS PROJE - SEE ROOF PLAN AND DETAILS.
	ROOF TYPE '2' WARRANTY INFORMATION - EXISTING EPDM ("CARLISLE/ W SOPREMA COATING") ROOF INSTALLED IN 1997 & COATING IN 2016, - WARRANTY NO. 102-000401, EXPIRATION IN 2031
	ROOF TYPE '3' WARRANTY INFORMATION - EXISTING EPDM ("CARLISLE/ W GARLAND RESTORATION ROOF INSTALLED IN 2020 - WARRANTY NO. 20-0743-US, EXPIRATION IN 2035

SUB-CONTRACTOR WHO MUST BE AN APPROVED INSTALLER OF THE EXISTING EPDM ("CARLISLE W/ SOPREMA COATING") AND/OR ("CARLISLE W/ GARLAND RESTORATION COATING") SYSTEM.

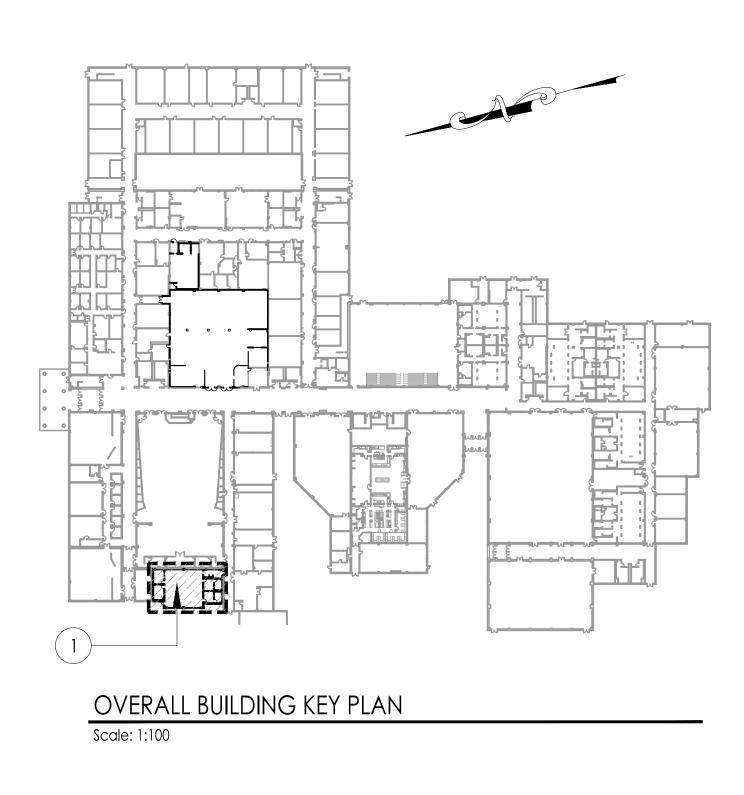
RESPONSIBILITY CHART

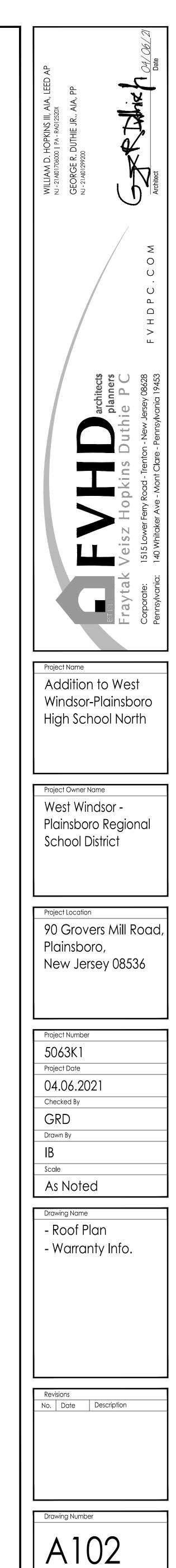
MATERIAL	FURNISHED BY	INSTALLED BY
EQUIPMENT	HVAC	HVAC
CURB	CONTRACTOR	CONTRACTOR
EQUIPMENT	GENERAL	GENERAL
FLASHING	CONTRACTOR	CONTRACTOR
COUNTER	HVAC	GENERAL
FLASHING	CONTRACTOR	CONTRACTOR

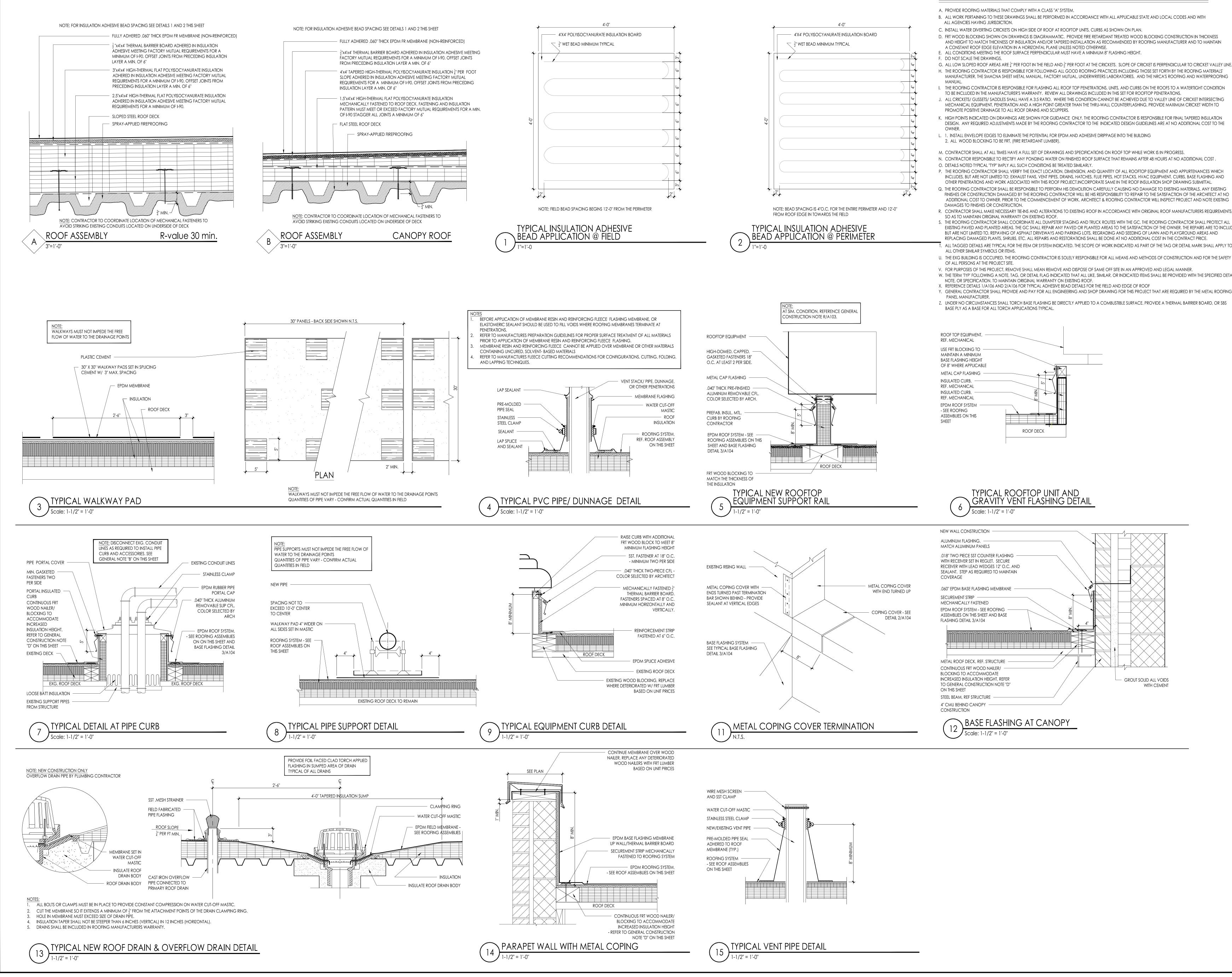
THIS CHART SHALL ONLY APPLY AT CONDITIONS OF NEW ROOF CONSTRUCTION WHERE THERE IS A GENERAL PRIME CONTRACTOR AND AN HVAC PRIME CONTRACTOR CONTRACTED FOR THE PROJECT.

CONSTRUCTION NOTES - EPDM 🗵

- INSTALL ROOF PER ASSEMBLY NOTED ON PLAN AND SPECIFICATIONS. ROOF SYSTEM MUST HAVE A MINIMUM "R"-VALUE OF 30.0. INSTALL WATER DIVERTING SADDLES/CRICKETS WHERE SHOWN ON PLANS WITH TAPERED INSULATION MINIMUM 1\2" PER FOOT SLOPE SLOPE IS PERPENDICULAR TO SADDLE/CRICKET VALLEY LINE. DO NOT WALK OR RUN EQUIPMENT UPON NEWLY APPLIED ROOFING PLIES UNTIL THE ADHESIVE HAS SET UP TO ELIMINATE THE POTENTIAL FOR VOIDS. 2 INSTALL METAL EDGE SYSTEM, COLOR SELECTED BY ARCHITECT. INSTALL FRT WOOD BLOCKING TO MATCH HEIGHT OF THE INSULATION AND CRICKET. EXTEND SMOOTH BASE PLY OF ROOF SYSTEM DOWN THE FACE OF WOOD AND OVER TOP OF FASCIA BOARD METAL. INSTALL WATER CAN'T DATE AND STOLE WITH AND STOLE
- SYSTEM DOWN THE FACE OF WOOD AND OVER TOP OF FASCIA BOARD METAL. INSTALL WATER CANT DAM AND STRIP WITH SMOOTH BASE PLY. INSTALL BASE FLASHING SYSTEM FROM THE ROOF UP AND OVER WATER CANT DAM. INSTALL METAL FASCIA AND EXTENDER SO THAT THE OUTSIDE VERTICAL LEG OF THE PERIMETER METAL FLASHINGS EXTEND DOWN PAST THE TOP EDGE OF THE TOP OF MASONRY, PLANK SIDING OR COMPOSITE ALUMINUM FASCIA BY 1". METAL EDGE SYSTEM MUST BE INCLUDED IN MANUFACTURER'S WARRANTY. REF. 11 & 12/A104 FOR CANOPY ROOF EDGE DETAIL
- 3 AT ROOF DRAIN LOCATIONS, INSTALL NEW CAST IRON ROOF DRAIN AND ASIM SCHEDULE 40 PVC KOOF DRAIN CONDUCTION LATERSTOCK AS & ECHIED AND FLASHING IN ROOF CEMENT TAPERED ROOF DECK INSULATION SUMP. RUN BASE PLY OF ROOF SYSTEM DOWN INTO DRAIN BELL, INSULATE DRAIN BELL AND PIPING. SET 36" SQUARE 4 LB LEAD FLASHING IN ROOF CEMENT TAPERED ROOF DECK INSULATION SUMP. RUN BASE PLY OF ROOF SYSTEM DOWN INTO DRAIN BELL, INSULATE DRAIN BELL AND PIPING. SET 36" SQUARE 4 LB LEAD FLASHING IN ROOF CEMENT PIPING DIA. APPLY STRIPPING TO LEAD FLASHING. APPLY TOP PLY OF ROOFING SYSTEM. INSTALL NEW PIPE AS CLOSE TO EXISTING STRUCTURE ABOVE AS POSSIBLE. SLOPE PIPE AT 1/8" PER FOOT (REF PLUMBING). SUPPORT PIPE WITH METAL PIPE HANGERS AS INDICATED, BRACKETS AND SHIELDS AT 4'-0" ON CENTER HUNG FROM STRUCTURE ABOVE. PROVIDE CLEAN-OUTS AT EACH DIRECTION CHANGE. INSULATE ALL NEW PIPE WITH PLASTIC COATED SEMI-RIGID PIPE INSULATION. USE FIRE RATED SEALANT IN ALL FIRE RATED ASSEMBLIES. OVERFLOW DRAINS ARE NOT TO HAVE A SUMPED DRAIN AREA. REF 13/A103 AT MAIN DRAINS AND 12/A104 FOR ADDITIONAL INFORMATION AT CANOPY GUTTER & DOWNSPOUT.
- 4 RAIN WATER CONDUCTOR BOOT: INSTALL NEW RAIN WATER CONDUCTOR BOOT, SEE DETAIL 13/A104, PROVIDE ALL FITTINGS AND ASSOCIATED APPURTENANCES TO CONNECT TO UNDERGROUND STORM SYSTEM REFER TO CIVIL DRAWINGS, TYPICAL OF ALL LOCATIONS.
- GUTTER EDGE: INSTALL PRE FINISHED .050" ALUMINUM GUTTER AND LEADER. RUN ROOF MEMBRANE DOWN ONTO FACE OF NEW WOOD BLOCKING. WHERE SEAMLESS GUTTER CANNOT BE 5 PROVIDED, INSTALL GUTTER IN 10' SECTIONS JOINED WITH BASE PLATES AND EXPANSION JOINTS NO MORE THAN 50' APART. PROVIDE EPDM SELF ADHERING MEMBRANE AT THE GUTTER INTERIOR JOINTS. PROVIDE DOWNSPOUT FABRICATED FROM .050" ALUMINUM. SIZE OF LEADER, TO BE 4"X4", AND DESIGNED AS PER SMACNA REQ. INSTALL NEW METAL EDGE ON ROOF SURFACE EXTENDING DOWN INTO GUTTER. FASTEN 4" O.C. AND STRIP WITH MEMBRANE FLASHING. APPLY SEALANT AT EDGES OF STRIPPING. METAL DRIP EDGE SYSTEM MUST BE INCLUDED UNDER THE ROOFING MANUFACTURER'S WARRANTY AND MEET FM I-90 FOR WIND UPLIFT. COLOR SELECTED BY ARCHITECT. (REF 12/A104)
- 6 DOWN SPOUT LOCATION, REF. CONSTRUCTION NOTE "5"
- 7 REMOVE EXISTING METAL E SUPPORT IN THE 1" GAP. REMOVE EXISTING METAL EDGE. INSTALL BASE FLASHING LEAVING A 1" EXPANSION JOINT BETWEEN THE EXISTING ROOF AND NEW RISING WALL. INSTALL INSULATION AND MEMBRANE
- 8 BASE FLASHING AT EXPANSION JOINT, REF. DETAIL 7/A104
- 9 $\frac{1}{2}$ " PER FOOT SLOPED TAPERED INSULATION CRICKETS
- 10 AT ALL COPING COVERS, INSTALL PRE-ENGINEERED METAL COPING COVER SYSTEM. SYSTEM MUST HAVE SPRING CLIPS AND NO EXPOSED FASTENERS. SYSTEM MUST MEET FM 1-90 AND SYSTEM MUST BE INCLUDED IN MANUFACTURER'S WARRANTY. ENDS AT WALLS MUST BE TURNED UP AND COVERED WITH COUNTERFLASHING. INSTALL EXTENDER ON OUTSIDE FACE IF COPING FACE MUST BE INCLUDED IN MANUFACTURER'S WARRANTY. ENDS AT WALLS MUST BE TURNED UP AND COVERED WITH COUNTERFLASHING. INSTALL EXTENDER ON OUTSIDE FACE IF COPING FACE DOES NOT COVER TOP OF WALL PANEL, CMU OR BRICK. INSTALL TWO-PIECE COUNTERFLASHING ON INSIDE LEG. COLOR CHOSEN BY ARCHITECT, REFER TO DETAIL 2/A104
- CANOPY BASE FLASHING, REF. 9/A104
- AT ALL ROOFTOP EQUIPMENT ON FULLY ENCLOSED CURBS, INSTALL WOOD BLOCKING WHICH HAS BEEN FASTENED TO THE ROOF DECK TO MAINTAIN 8" MINIMUM FLASHING HEIGHT FROM THE SURFACE OF THE ROOF. INSTALL INSULATION AND CANT STRIP. RUN ROOF MEMBRANE UP CURBS 2" ABOVE THE CANT STRIP. INSTALL EPDM BASE FLASHING. FASTEN TOP EDGE AND INSTALL A REMOVABLE COUNTER FLASHING, SEE DETAIL 6/A103 AND FOLLOW MFR'S LATEST INSTALLATION REQUIREMENTS. CURBS MUST ALSO BE SET LEVEL WHERE REQUIRED FOR PROPER FUNCTIONING OF THE ROOF TOP UNIT. ALL COLORS ARE SELECTED BY ARCH. REF NOTE "R" ON SHEET A 103 FOR CURBS AT EXISTING ROOF.
- 13 WALKWAY PADS INSTALL AROUND ALL ROOFTOP UNITS AND ROOFTOP EQUIPMENT. MODIFY WALKWAY PADS AS REQUIRED SO THAT THE PAD MUST NOT IMPEDE THE FREE FLOW OF WATER TO THE DRAINAGE POINTS. SEE DETAIL 3/A103.
- 14 ROOF TOP PIPE SUPPORT, REF. 8/A103, REF MECHANICAL AND PLUMBING FOR ADDITIONAL INFORMATION
- 15 NEW ROOF TOP GAS PIPE, REF. MECHANICAL AND PLUMBING FOR CONTINUATION AND ADDITIONAL INFORMATION.
- 16 ROOF TOP EXHAUST FAN MOUNTED ON ROOF CURB, REF. 9/A103 FOR SIM. CONDITION AND REF. MECHANICAL FOR ADDITIONAL CURB INFORMATION. NOTE: REF. GENERAL CONSTRUCTION NOTE "R" ON SHEET A103, FOR ALL CURBS TO BE INSTALLED AT EXISTING ROOF.
- 17 PROVIDE AND INSTALL ROOF ACCESS LADDER SEE DETAIL 14/A104.



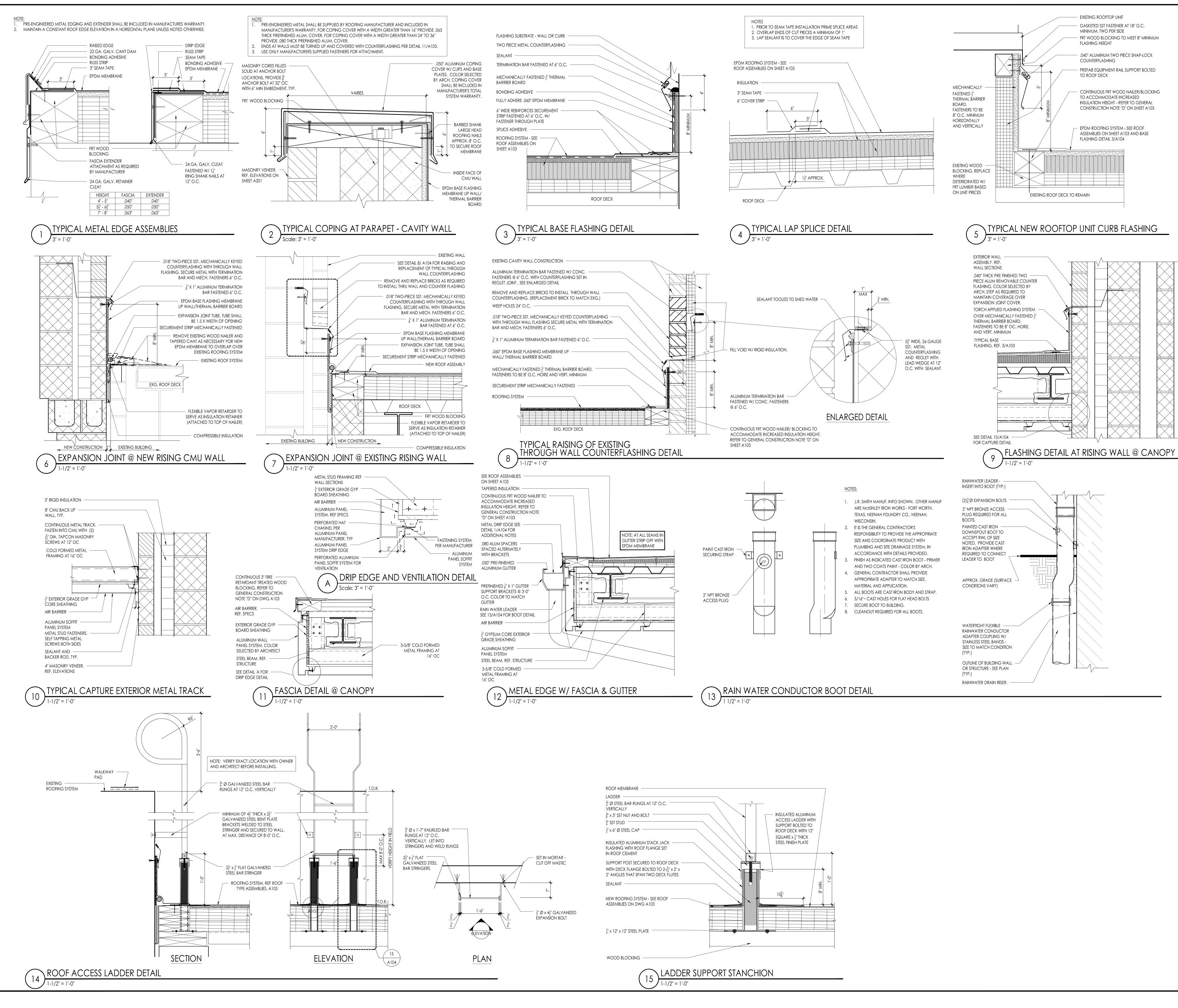


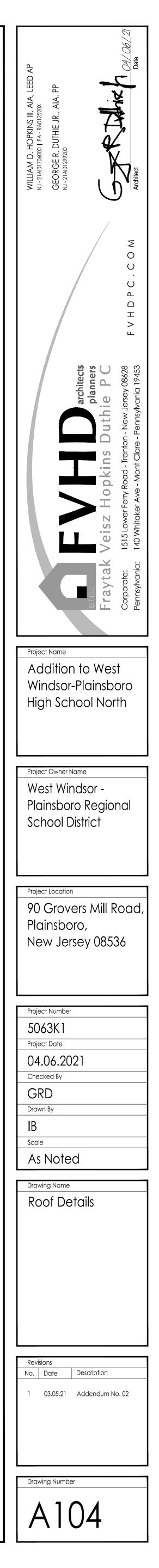


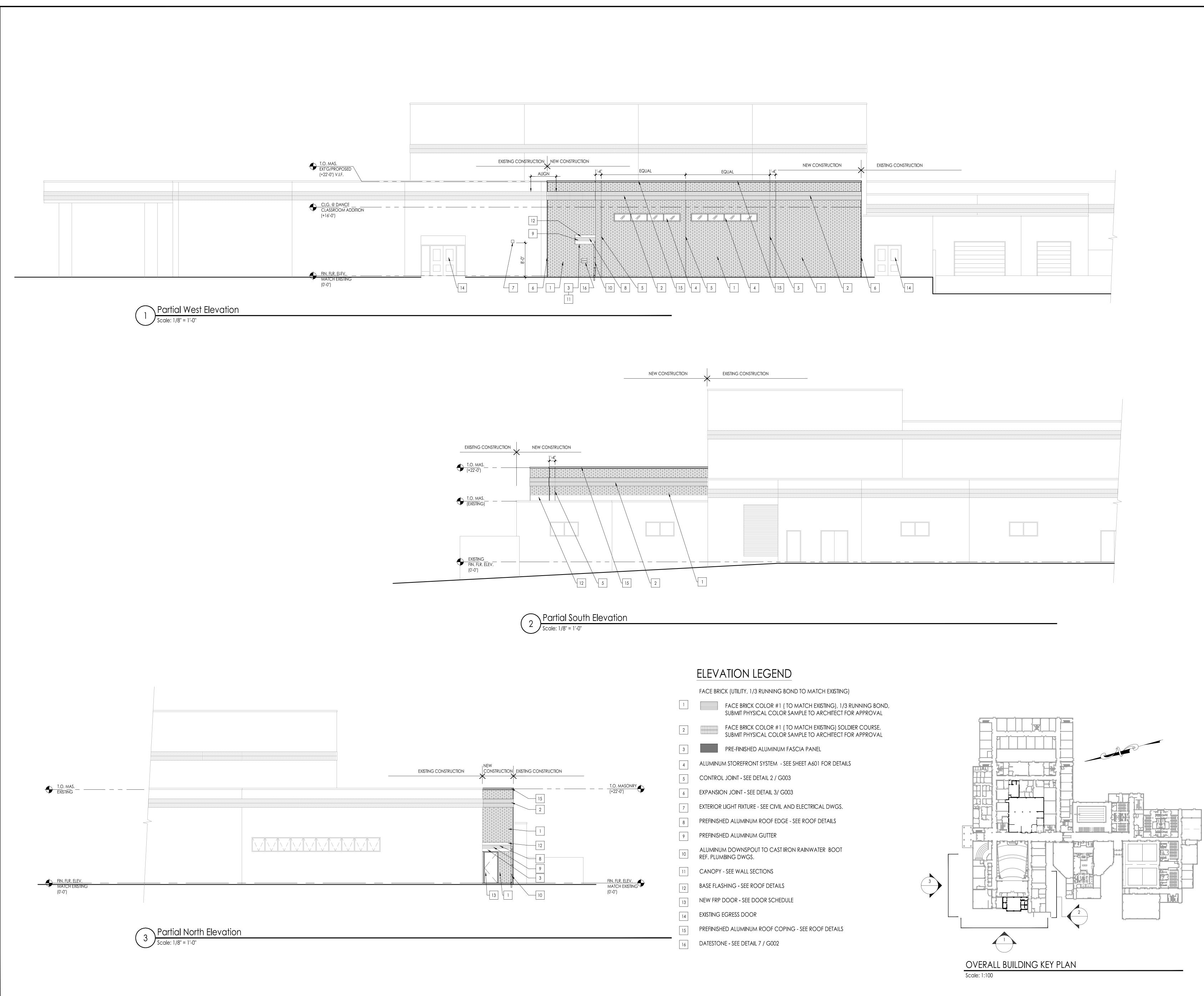
- INCLUDES, BUT ARE NOT LIMITED TO: EXHAUST FANS, VENT PIPES, DRAINS, HATCHES, FLUE PIPES, HOT STACKS, HVAC EQUIPMENT, CURBS, BASE FLASHING AND OTHER PENETRATIONS AND WORK ASSOCIATED WITH THIS ROOF PROJECT. INCORPORATE SAME IN THE ROOF INSULATION SHOP DRAWING SUBMITTAL. Q. THE ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM HIS DEMOLITION CAREFULLY CAUSING NO DAMAGE TO EXISTING MATERIALS. ANY EXISTING FINISHES OR CONSTRUCTION DAMAGED BY THE ROOFING CONTRACTOR WILL BE HIS RESPONSIBILITY TO REPAIR TO THE SATISFACTION OF THE ARCHITECT AT NO ADDITIONAL COST TO OWNER. PRIOR TO THE COMMENCEMENT OF WORK, ARCHITECT & ROOFING CONTRACTOR WILL INSPECT PROJECT AND NOTE EXISTING R. CONTRACTOR SHALL MAKE NECESSARY TIE-INS AND ALTERATIONS TO EXISTING ROOF IN ACCORDANCE WITH ORIGINAL ROOF MANUFACTURERS REQUIREMENTS S. THE ROOFING CONTRACTOR SHALL COORDINATE ALL DUMPSTER STAGING AND TRUCK ROUTES WITH THE GC. THE ROOFING CONTRACTOR SHALL PROTECT AL EXISTING PAVED AND PLANTED AREAS. THE GC SHALL REPAIR ANY PAVED OR PLANTED AREAS TO THE SATISFACTION OF THE OWNER. THE REPAIRS ARE TO INCLUDE
- REPLACING DAMAGED PLANTS, SHRUBS, ETC. ALL REPAIRS AND RESTORATIONS SHALL BE DONE AT NO ADDITIONAL COST IN THE CONTRACT PRICE. ALL TAGGED DETAILS ARE TYPICAL FOR THE ITEM OR SYSTEM INDICATED. THE SCOPE OF WORK INDICATED AS PART OF THE TAG OR DETAIL MARK SHALL APPLY TO U. THE EXG BUILDING IS OCCUPIED. THE ROOFING CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND FOR THE SAFETY
- V. FOR PURPOSES OF THIS PROJECT, REMOVE SHALL MEAN REMOVE AND DISPOSE OF SAME OFF SITE IN AN APPROVED AND LEGAL MANNER. W. THE TERM 'TYP' FOLLOWING A NOTE, TAG, OR DETAIL FLAG INDICATED THAT ALL LIKE, SIMILAR, OR INDICATED ITEMS SHALL BE PROVIDED WITH THE SPECIFIED DETAIL
- Y. GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ALL ENGINEERING AND SHOP DRAWING FOR THIS PROJECT THAT ARE REQUIRED BY THE METAL ROOFING
- Z. UNDER NO CIRCUMSTANCES SHALL TORCH BASE FLASHING BE DIRECTLY APPLIED TO A COMBUSTIBLE SURFACE. PROVIDE A THERMAL BARRIER BOARD, OR SBS

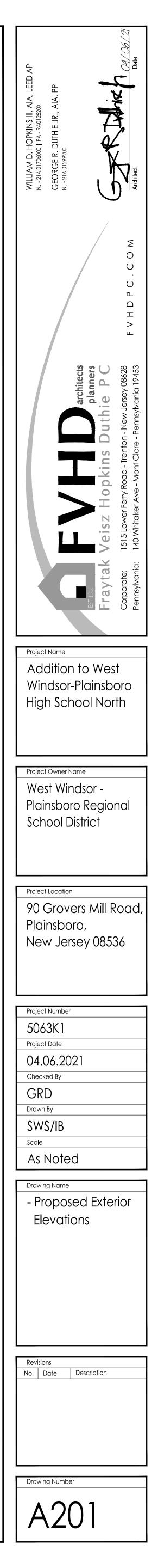
GENERAL CONSTRUCTION NOTES

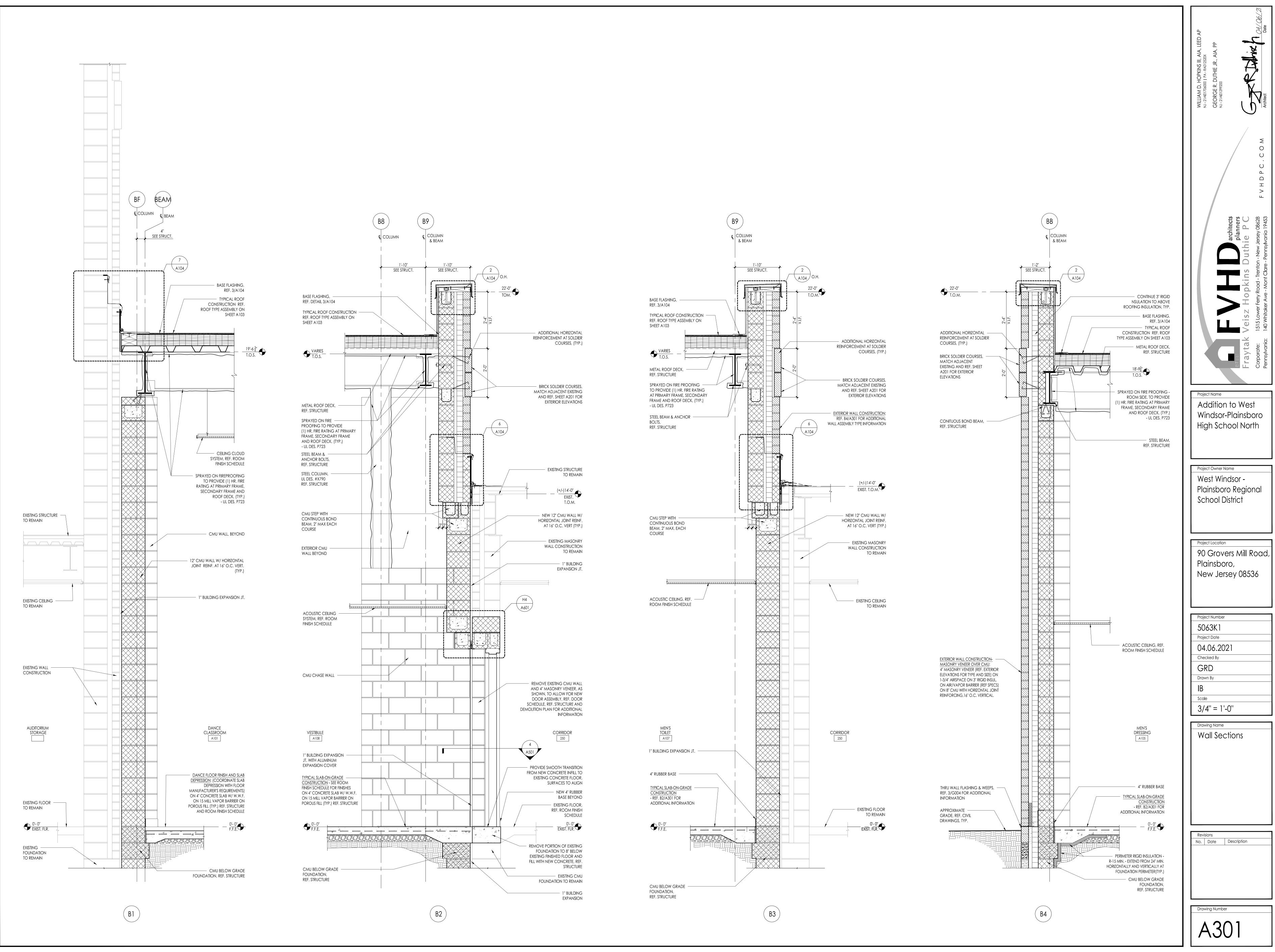
Addition to West Windsor-Plainsbord High School North Project Owner Name West Windsor -Plainsboro Regional School District **Project Location** 90 Grovers Mill Road, Plainsboro, New Jersey 08536 Project Number 5063K1 Project Date 04.06.202 Checked By GRD Drawn By IB Scale As Noted Drawing Name Roof Details Revisions No. Date Description Drawing Number A103

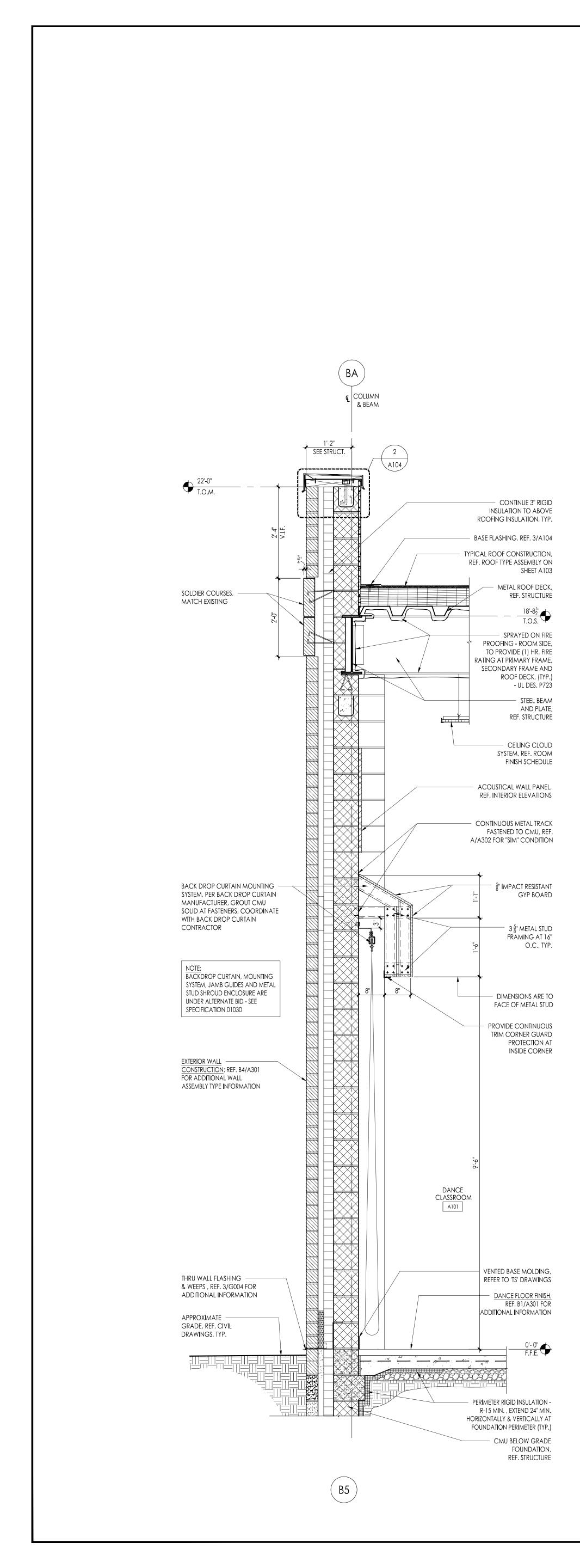


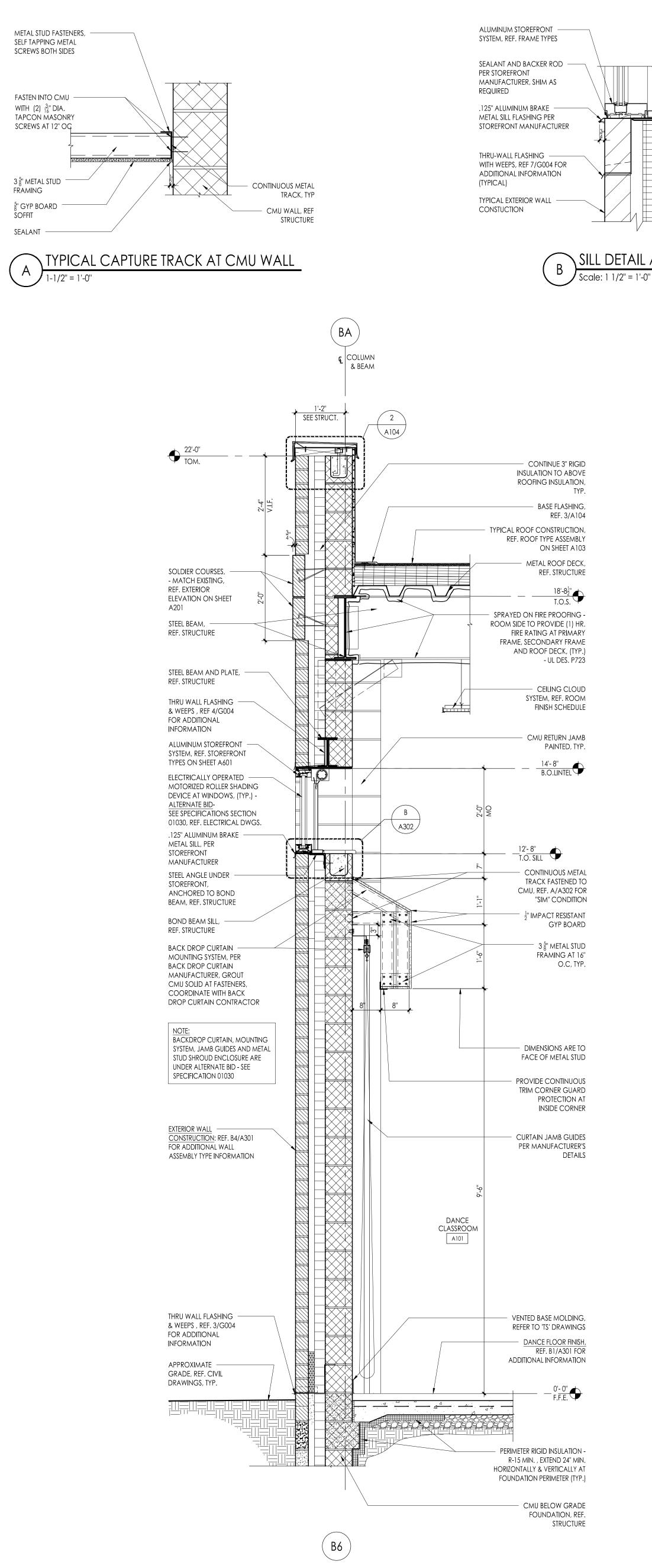


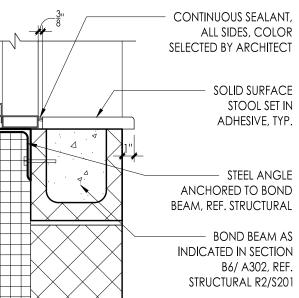




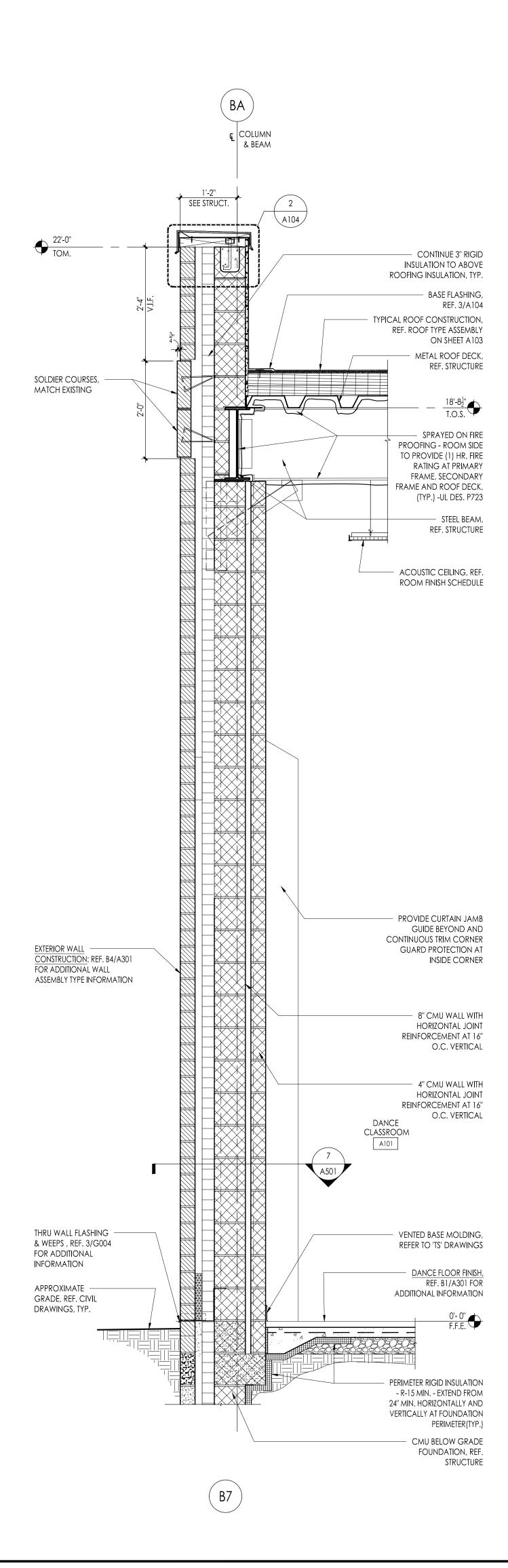


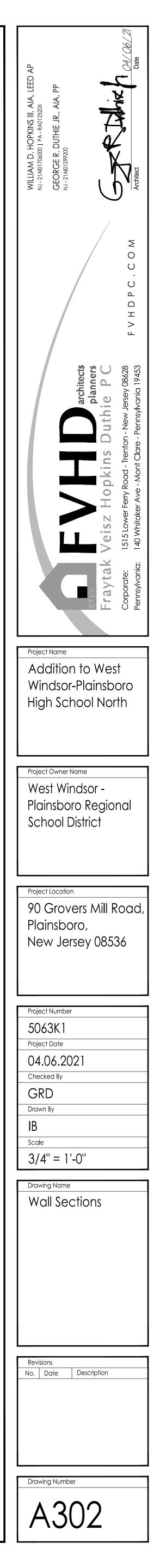


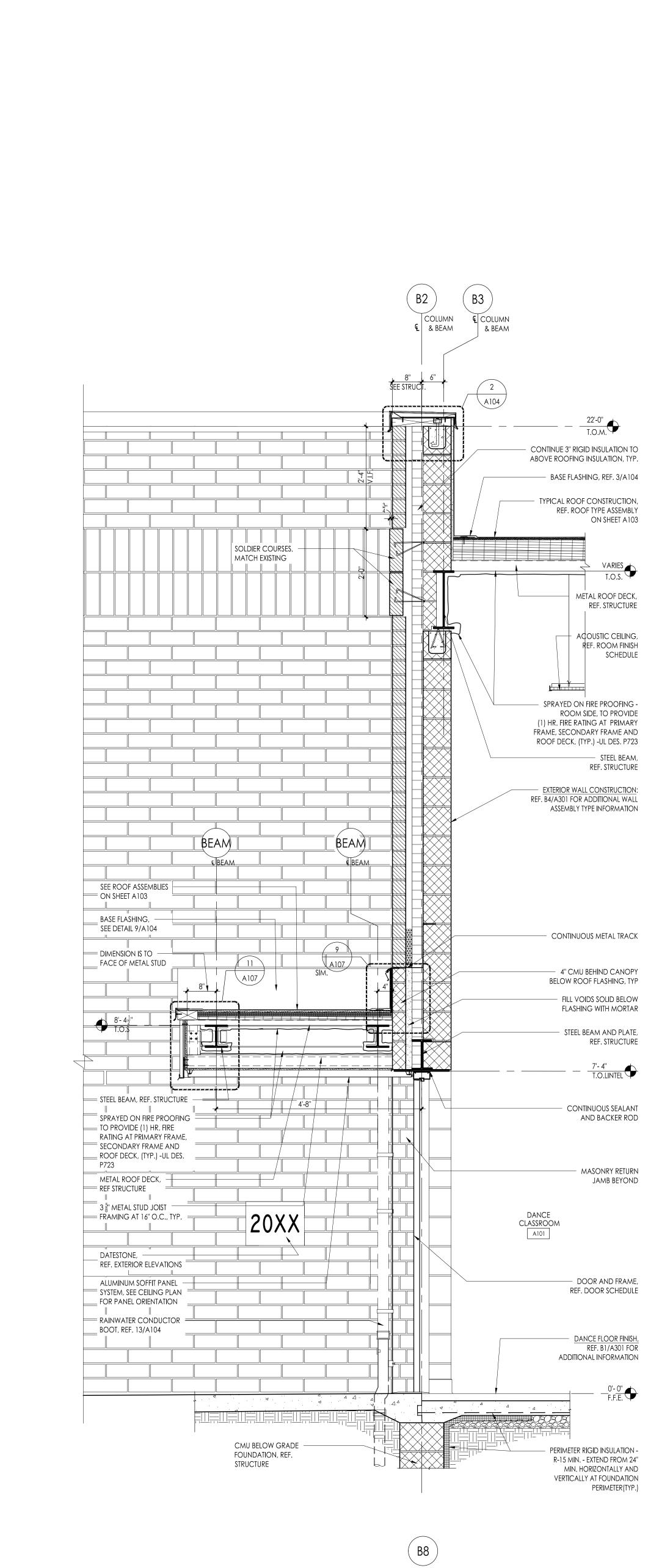


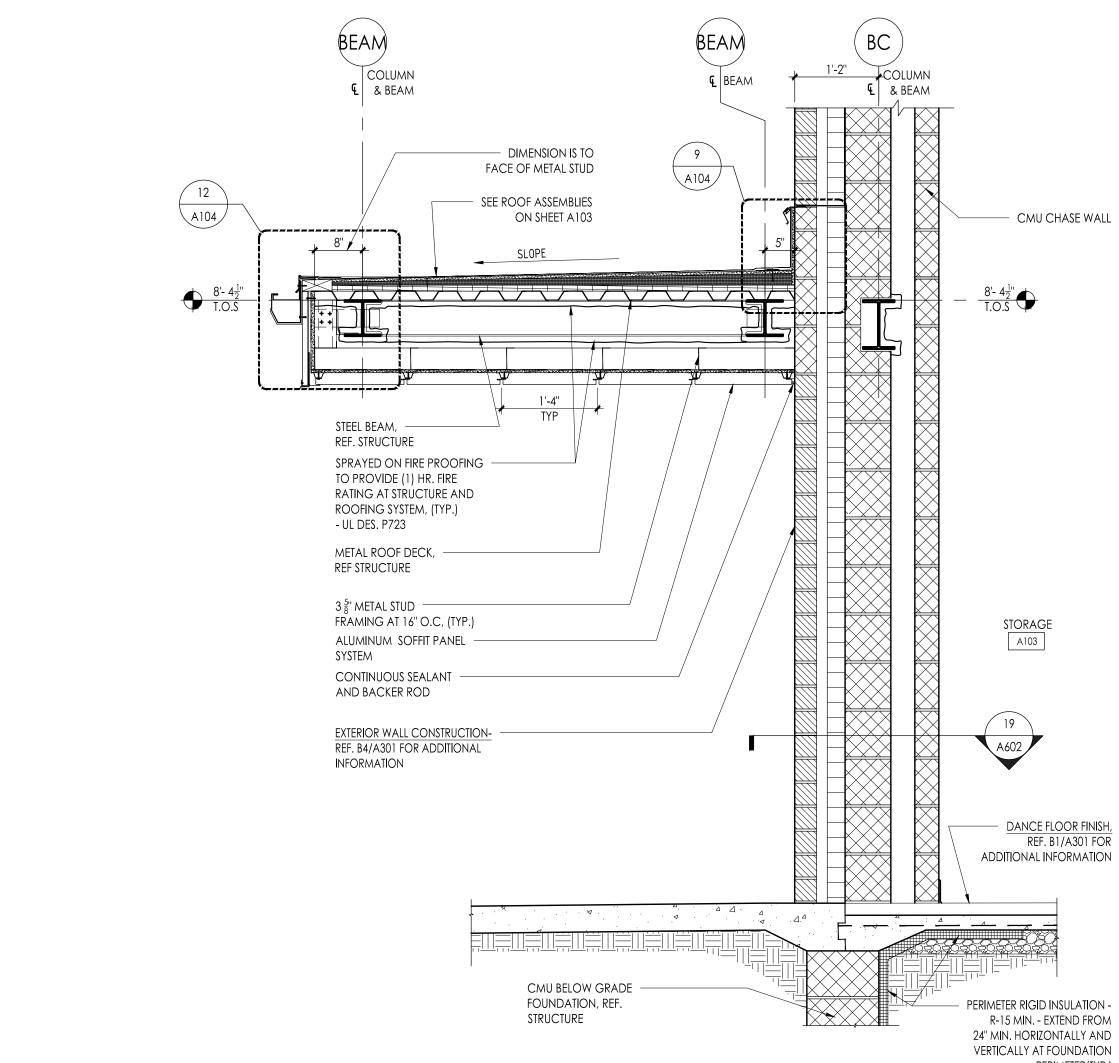


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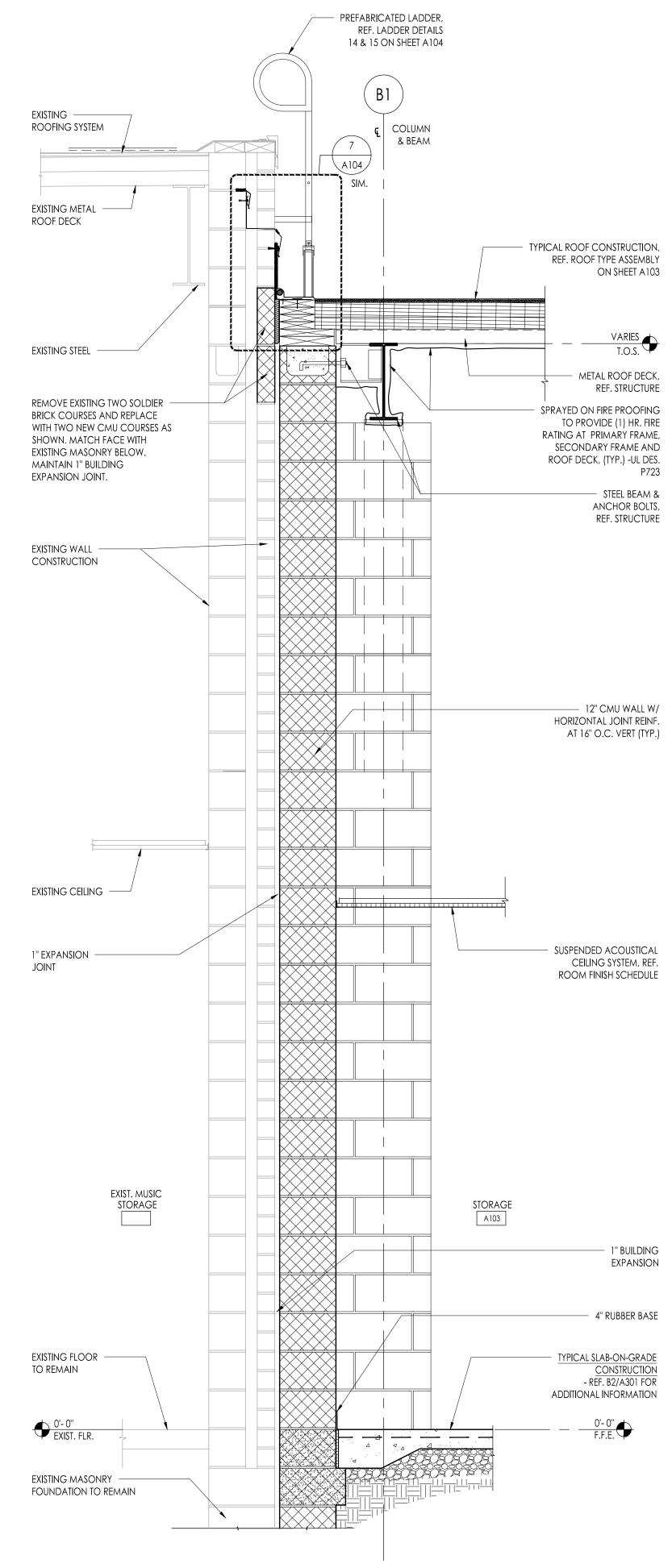








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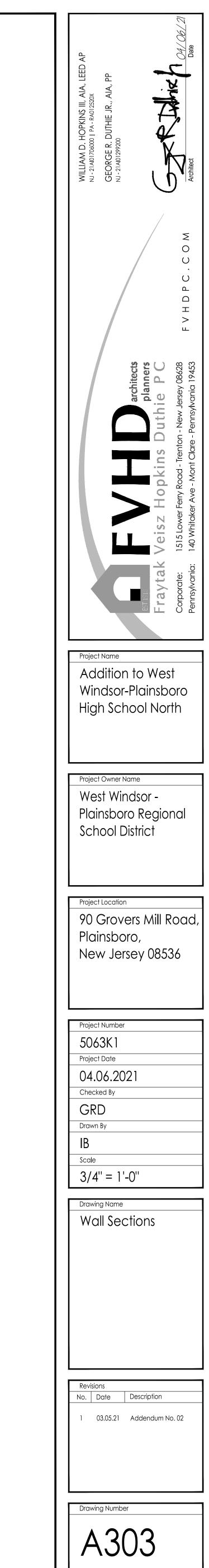
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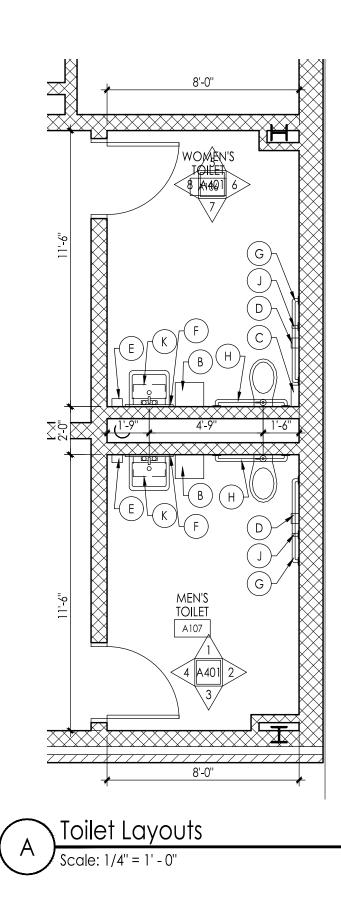
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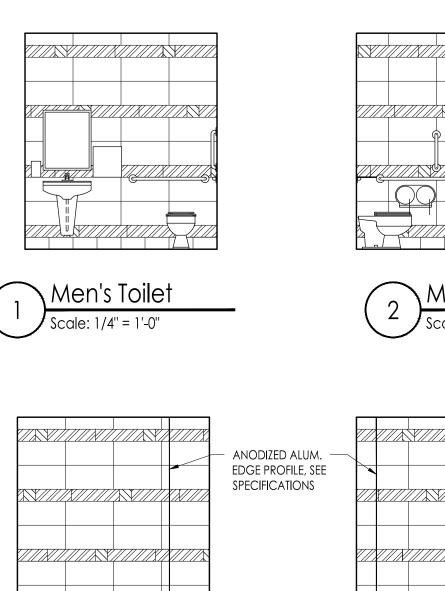
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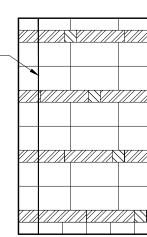
> DANCE FLOOR FINISH, REF. B1/A301 FOR ADDITIONAL INFORMATION

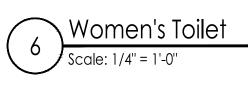
PERIMETER RIGID INSULATION -R-15 MIN. - EXTEND FROM 24" MIN. HORIZONTALLY AND VERTICALLY AT FOUNDATION PERIMETER(TYP.)

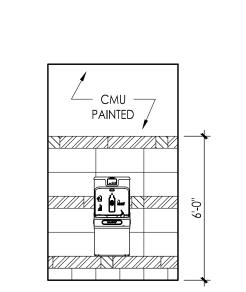




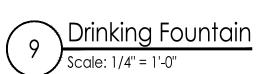








5 Women's Toilet Scale: 1/4" = 1'-0"



EQUIPMENT SCHEDULE

ITEM NO.	ΜΑΝΙ
1	САМРВ
2	САМРВ
3	JUST (O
4	ICI SCIE
5	САМРВ

<u>NOTES:</u>

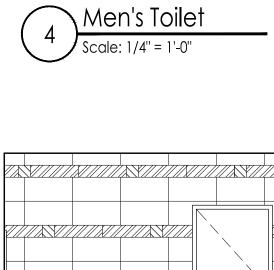
- SEE PLUMBING DRAWINGS AND SPECIFICATION.

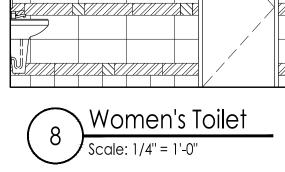
- OTHERWISE NOTED. FOR REFERENCE ONLY.
- SURFACES (UNLESS NOTED OTHERWISE)
- SURFACES (UNLESS NOTED OTHERWISE). INSTALLATION AND FINAL CONNECTION.
- PLUMBING AND ELECTRICAL SUB-CONTRACTORS. THE LIST SHALL HAVE A DESCRIPTION OF THE ITEMS
- PRIOR TO BILLING FOR THIS EQUIPMENT. 8. EQUIPMENT SUB-CONTRACTOR SHALL MAKE SINK CUT-OUTS. 9. ALL DUPLEX OUTLETS SHALL BE G.F.C.I. UNLESS NOTED OTHERWISE.
- ARCHITECT IN WRITTEN FORM OF ANY DISCREPANCIES.
- CABINET. FINISH TO MATCH CASEWORK.
- 13. ALL PRINTERS AND COMPUTERS ARE N.I.C. (TYPICAL) 14. RUBBER BASE ON ALL CASEWORK BY G.C. (TYPICAL)

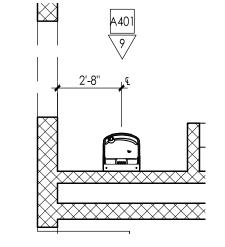
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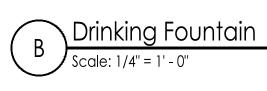
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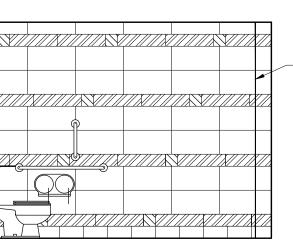








3 Men's Toilet Scale: 1/4" = 1'-0"



ANODIZED ALUM. EDGE PROFILE, SEE Specifications

2 Men's Toilet Scale: 1/4" = 1'-0"

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7 Women's Toilet Scale: 1/4" = 1'-0"
PORCELAIN TILE LEGEND
PT (WALL) COLOR #1
PT (WALL) COLOR #2
PT (WALL) COLOR #3
NOTES: 1. SEE DRAWING G002 FOR TYPICAL TOILET ROOM FIXTURE / ACCESSORY MOUNTING HEIGHTS AND CLEARANCES.

UFACTURER	CAT. NO.	DESCRIPTION	WIDTH	DEPTH	HEIGHT	REMARKS
BELL RHEA (OR APPROVED EQUAL)	4672	WALL CASE - DOUBLE DOORS	41-1/4"	12"	16-3/16"	ONE ADJUSTABLE SHELF
BELL RHEA (OR APPROVED EQUAL)	8760-42	ADA CLOSURE PANEL ASSEMBLY - 42" WIDE	42"	22-1/2"	33"	
DR APPROVED EQUAL)	SL-ADA-1921-A-GR	STAINLESS STEEL DROP-IN SINK	21"			
ENTIFIC-JAMESTOWN METAL (OR APPROVED EQUAL)	P101-36	OPEN FRONT BASE CABINET - METAL	36"	22''	35-1/4"	ONE ADJUSTABLE SHELF
BELL RHEA (OR APPROVED EQUAL)	5872	TEACHER'S WARDROBE	41-1/4"	22-1/2"	84"	4 ADJUSTABLE SHELVES, 1 CENTER FIXED SHELF

1. ALL CATALOG NUMBERS REFER TO BRADLEY WASHROOM ACCESSORIES UNLESS OTHERWISE NOTED. ALL SCHEDULED EQUIPMENT MANUFACTURES ARE "BASIS OF DESIGN", OR APPROVED EQUAL. 2. INDICATED ACCESSORIES SUPPLIED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR. 3. LAVATORY SHIELD MANUFACTURED BY "TRUEBRO - IPS CORPORATION" OR APPROVED EQUAL

4. SEE DRAWING G002 FOR MOUNTING HEIGHTS AND CLEARANCES AT ALL FIXTURES AND ACCESSORIES.

GENERAL CASEWORK NOTES:

1. CATALOG NUMBERS REFER TO MOST CURRENT CAMPBELL RHEA CASEWORK CATALOG UNLESS

2. ALL CASEWORK DOORS AND DRAWERS TO HAVE LOCKS KEYED ALIKE PER ROOM AND MASTER KEYED. 3. ALL TOPS SHALL BE PLYWOOD, 1" TOTAL THK. WITH PLASTIC LAMINATE COVERING ON ALL EXPOSED

4. ALL BACKSPLASHES SHALL BE 3/4" PLYWOOD WITH PLASTIC LAMINATE COVERING ON ALL EXPOSED 5. ALL FURNITURE AND EQUIPMENT SHOWN DOTTED AND/OR INDICATED AS (N.I.C.) IS NOT IN CONTRACT. 6. THE CASEWORK & EQUIPMENT SUB-CONTRACTOR(S) SHALL TURN OVER TO THE PLUMBING AND ELECTRICAL SUB-CONTRACTOR(S) IN A PACKAGE, ALL SINKS, FIXTURES, FAUCETS, TAILPIECES,

STRAINERS, GAS COCKS, ETC., AND ELECTRICAL DEVICES, NIPPLES AND LOCKNUTS, ETC., FOR 7. THE CASEWORK AND EQUIPMENT SUB-CONTRACTOR SHALL PROVIDE AN ITEMIZED LIST AND A DESIGNATED SITE LOCATION FOR THE TRANSFER OF THE MATERIALS REFERENCED IN NOTE 6 TO THE

AND QUANTITY ALONG WITH A SIGN-OFF LINE FOR THE PLUMBING AND ELECTRICAL SUB-CONTRACTORS. A COPY OF THE SIGNED LIST IS TO BE SUBMITTED TO THE ARCHITECT / OWNER

10. SINK CABINETS SHALL BE INSTALLED BEFORE THE INSTALLATION OF ADJACENT CABINETS. 11. ALL CONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY

12. PROVIDE ALL FILLERS AS REQUIRED. FILLERS AT BASE CABINETS SHALL BE AT FRONT OF CABINET AND COUNTERTOP SHALL BE CONTINUOUS OVER FILLER PANEL. FILLERS AT TALL CABINETS SHALL BE AT FRONT AND TOP OF CABINET. FILLERS AT WALL CASES SHALL BE AT FRONT, TOP AND BOTTOM OF

15. ALL SCHEDULED EQUIPMENT MANUFACTURERS ARE "BASIS OF DESIGN", OR APPROVED EQUAL.

SINK NOTE 'A': (ITEM #3)

STEEL TAILPIECE (#J-35-SSF).

SL-ADA-1921-A-GR STAINLESS STEEL SINK, JUST MANUFACTURING OR APPROVED EQUAL, "THE STYLIST ADA" SERIES, TYPE 304, WHEELCHAIR ACCESSIBLE SINK, SINGLE COMPARTMENT, SELF-RIM, 18 GAUGE STAINLESS STEEL, 19" x 21" x 6" DEEP, DRAIN CENTER, SINK UNDERCOATED W/ SOUND DEADENING MATERIAL. FURNISH COMPLETE WITH JUST FAUCET (#J-1174-KS) CONCEALED HOT & COLD WATER MIXING FAUCET WITH SWIVEL GOOSENECK SPOUT, AERATOR AND WRIST BLADE HANDLES. INCLUDE ONE JUST OFFSET DRAIN ASSEMBLY (#J-ADA-35-FS) W/ DRAIN INSULATING KIT (#J-ADA-150)

W/ STAINLESS STEEL FLAT STRAINER & 4" LONG STAINLESS

SINK, FAUCET, STRAINER AND TAILPIECE TO BE SUPPLIED BY EQUIPMENT CONTRACTOR. THE PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL ALL TRAPS, VALVES, WASTE LINES, ETC. AS REQUIRED TO MAKE THE SYSTEM FULLY FUNCTIONAL. THE PLUMBING CONTRACTOR SHALL MAKE THE FINAL PLUMBING CONNECTIONS REQUIRED TO MAKE THE SYSTEM FULLY FUNCTIONAL. SEE GENERAL CASEWORK NOTES # 6 & 7.

NOTE: All furniture and equipment without the symbol \langle OR MARKED (N.I.C.) IS NOT IN CONTRACT UNLESS NOTED OTHERWISE. SEE EQUIPMENT SCHEDULE FOR EQUIPMENT MARKED WITH THE SYMBOL /

NOTE:

SEE 1/8" PLAN FOR LOCATION & ROOM NUMBERS.

SEE 1/8" PLAN TO DETERMINE WHICH ROOMS ARE OPPOSITE HAND AND/OR SIMILAR TO ROOM SHOWN.

<u>NOTE:</u>

PROVIDE A MINIMUM 18" BARRIER-FREE MANEUVERING CLEARANCE AT THE PULL SIDE OF ALL DOORS ADJACENT TO CABINETS, SHELVING. CORRIDOR LOCKERS, ETC.

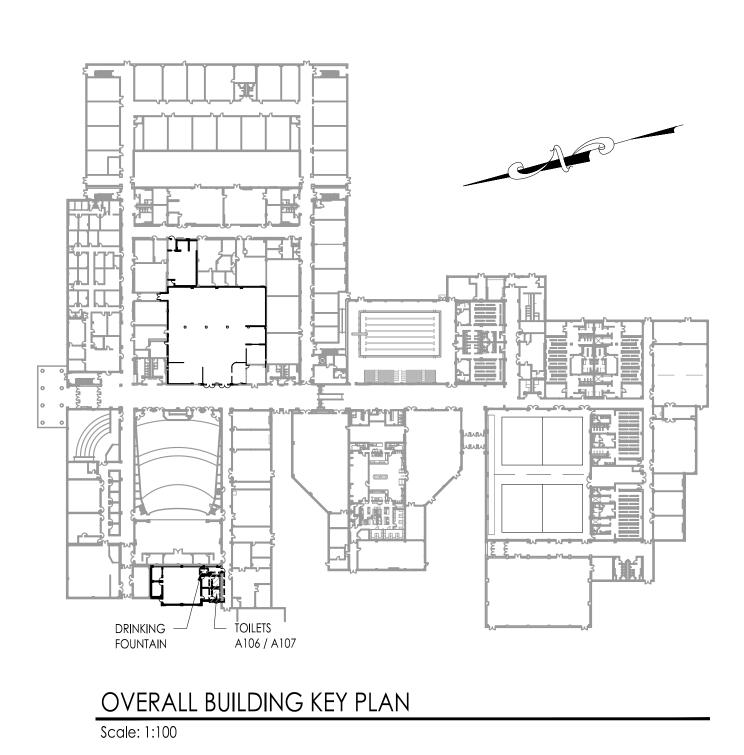
NOTE:

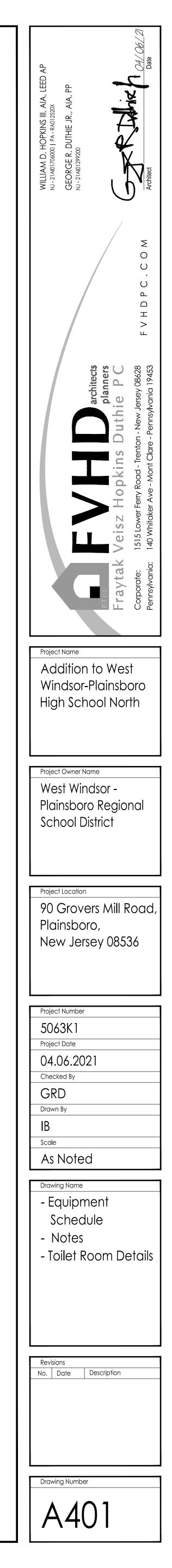
ALL COMPUTER WORKSTATIONS ARE NOT IN CONTRACT (N.I.C.) UNLESS NOTED OTHERWISE (TYPICAL)

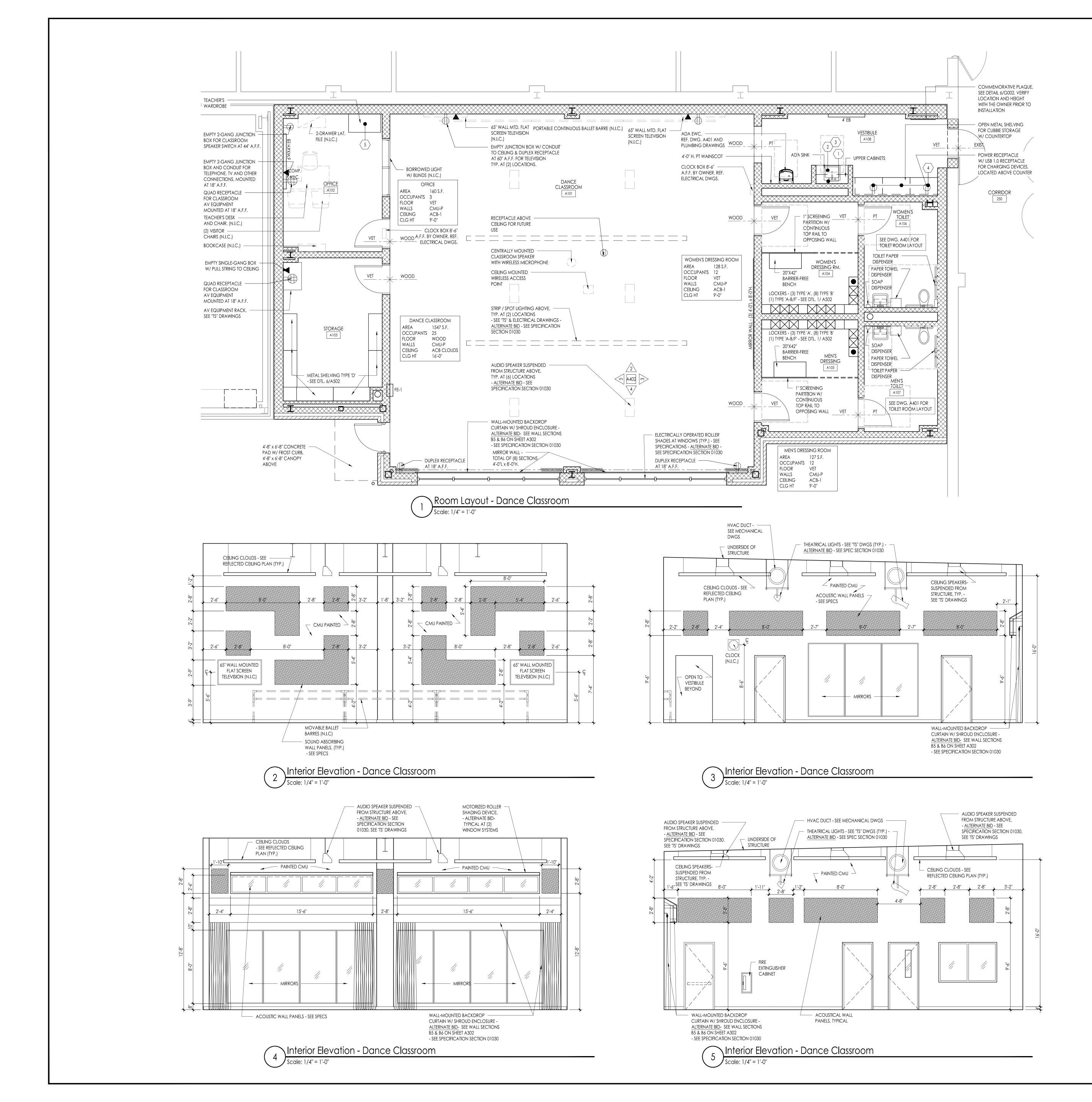
EQUIPMENT CONTRACT NOTE:

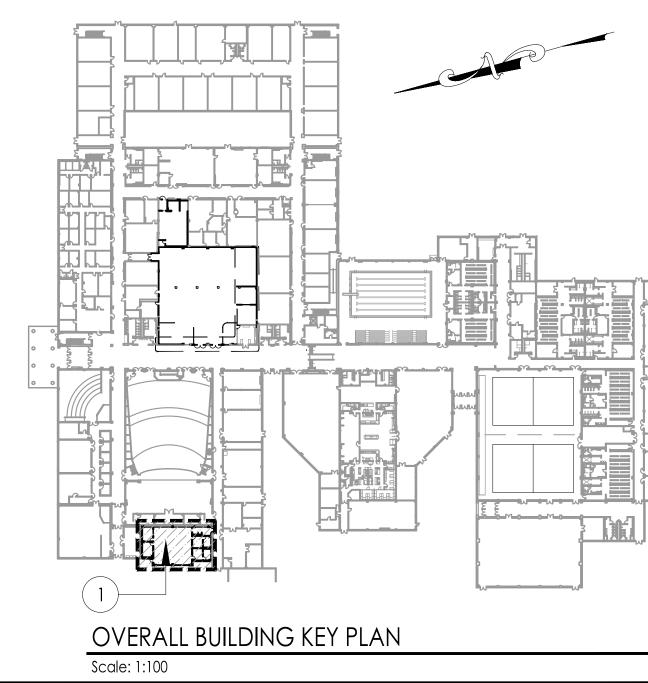
THE EQUIPMENT SUB-CONTRACTOR(S) SHALL BE (A) SUBCONTRACTOR(S) OF THE GENERAL CONSTRUCTION WORK CONTRACTOR.

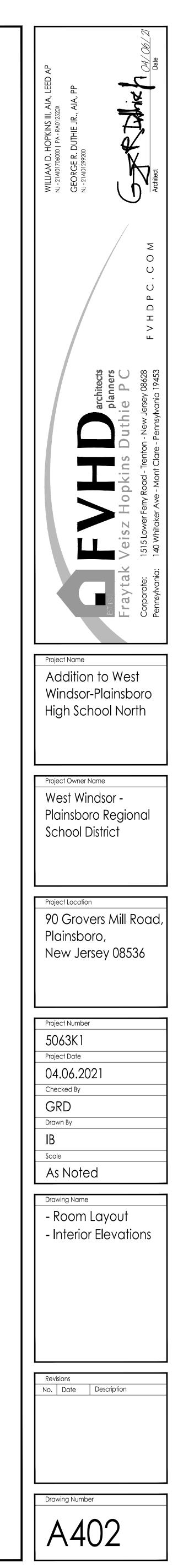
		TOILET ROO	M AC		SOR	IES
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10.	CAT. NO.	DESCRIPTION	Н.	D.	W.	REMARKS
A		NOT USED				
В		PAPER TOWEL DISPENSER				SEE NOTE 2
С	#4722-15	SANITARY NAPKIN DISPOSAL	15 1/8"	4''	10 3/4"	SURFACE MOUNTED
D		TOILET TISSUE DISPENSER				SEE NOTE 2
E		SOAP DISPENSER				SEE NOTE 2
F	#781-2430	MIRROR	30''		24''	TEMPERED GLASS
G	#812-2	GRAB BAR		1 1/2" D.	42"	SAFETY GRIP FINISH
Н	#812-2	GRAB BAR		1 1/2" D.	36"	SAFETY GRIP FINISH
J	#812-2	GRAB BAR	18"	1 1/2" D.		SAFETY GRIP FINISH, MOUNT VERTICAL
К	#2018	LAVATORY PIPING SHIELD	16"	20''	10''	SEE NOTE 3



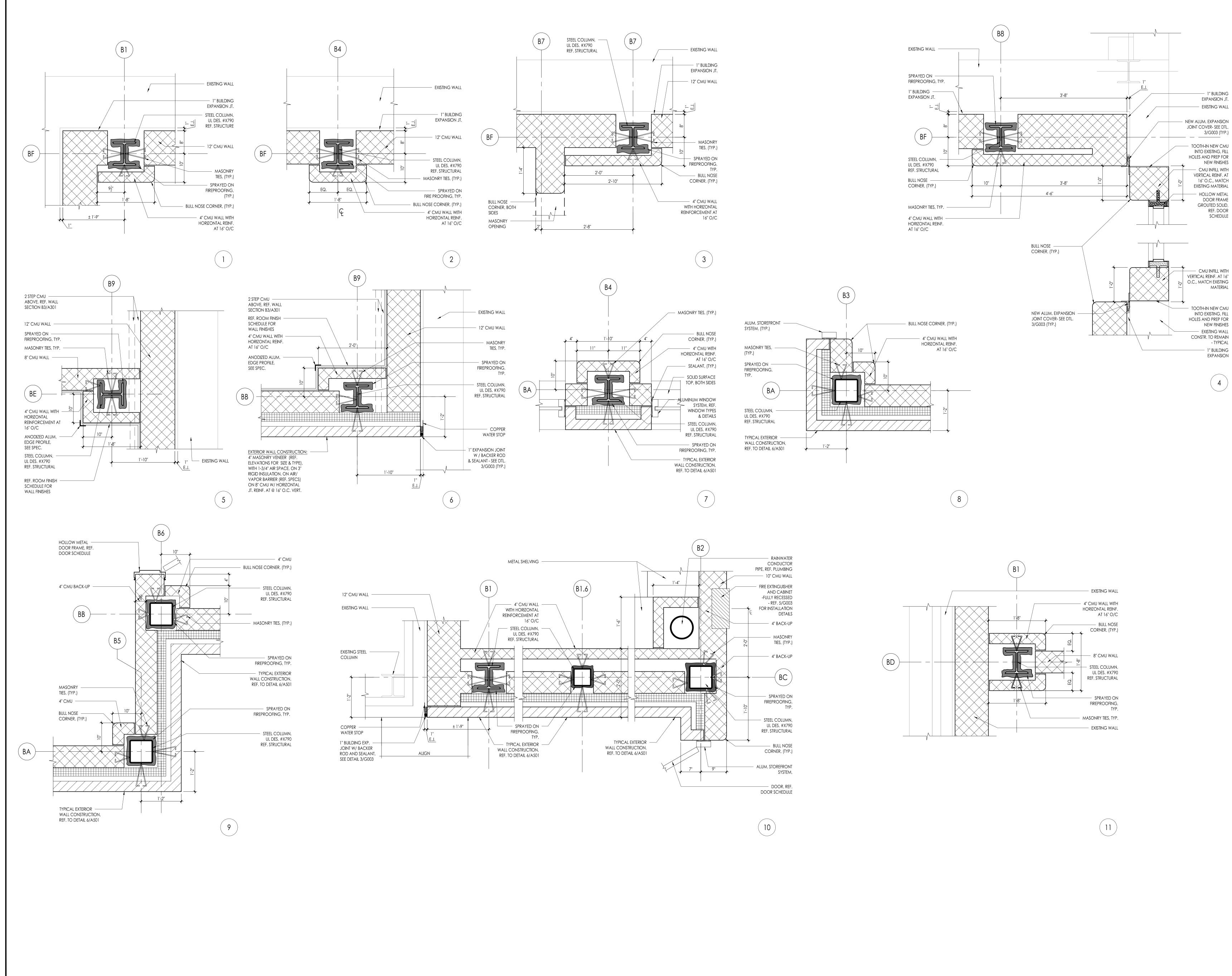


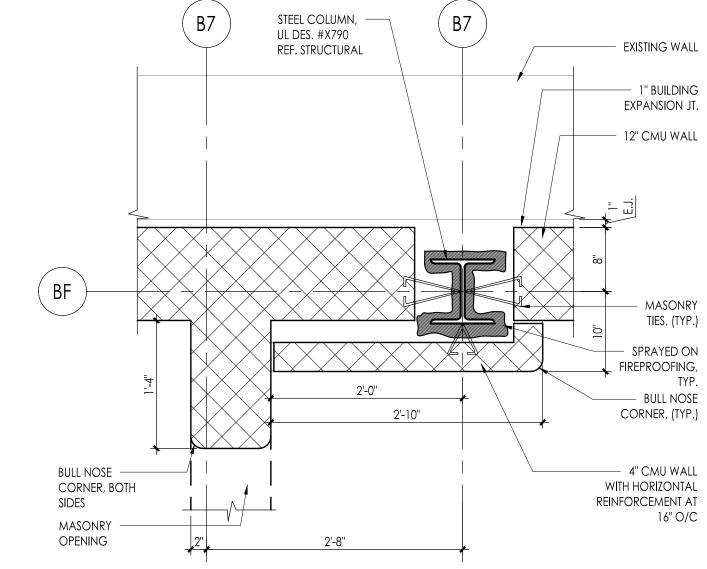




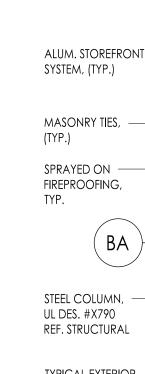


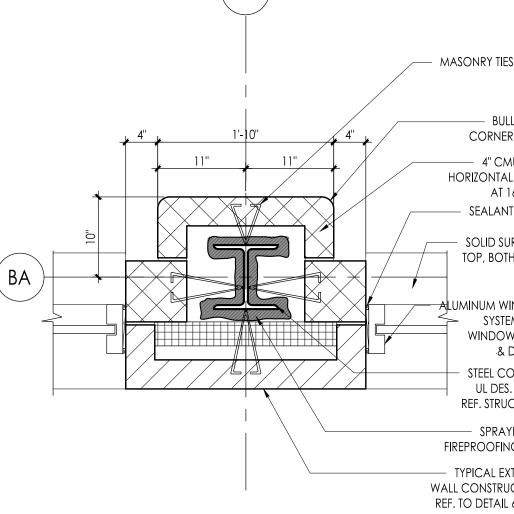


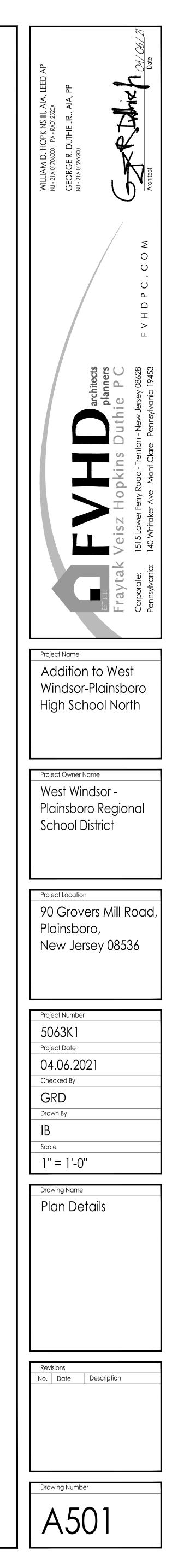








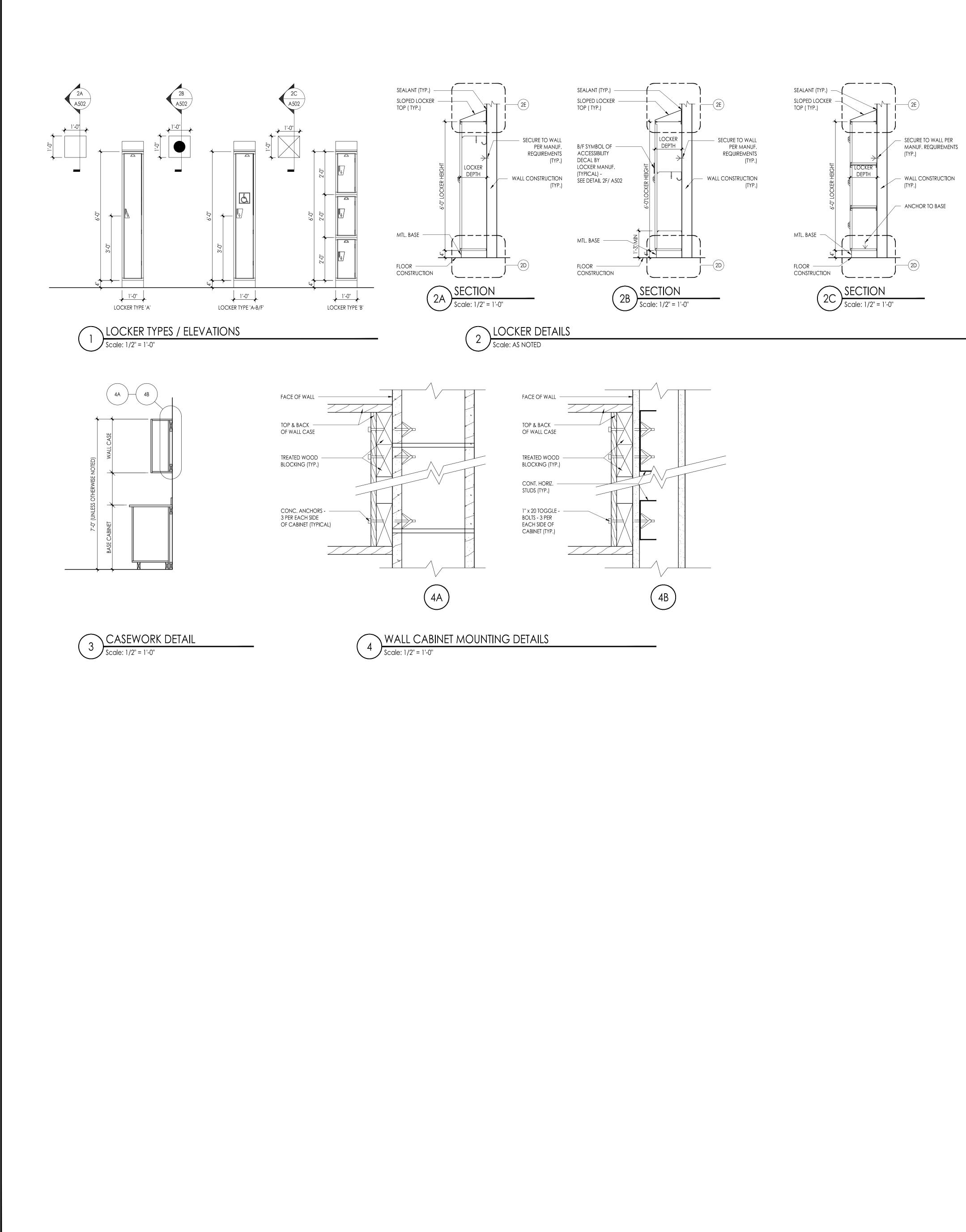


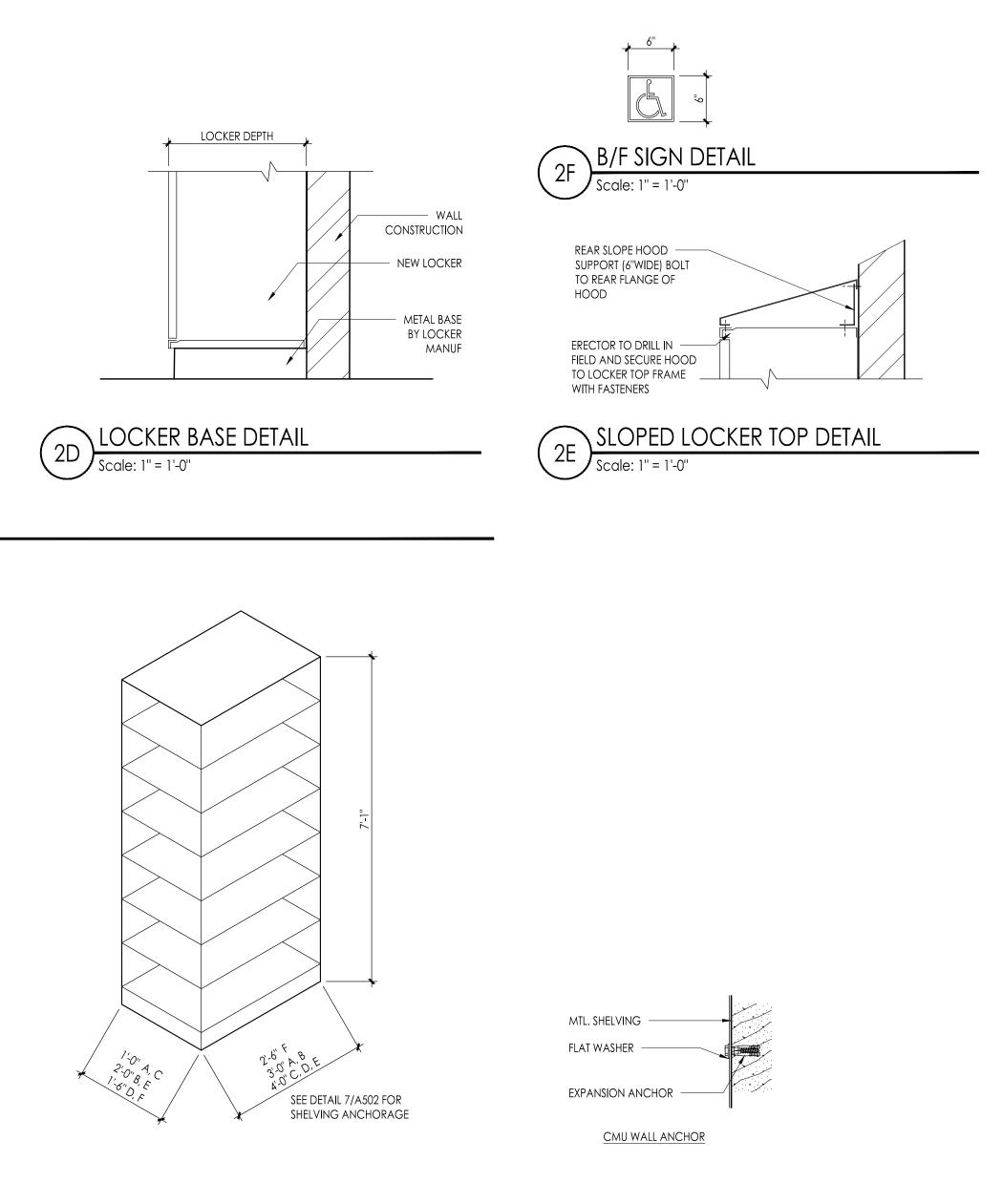


MATERIAL

- TYPICAL

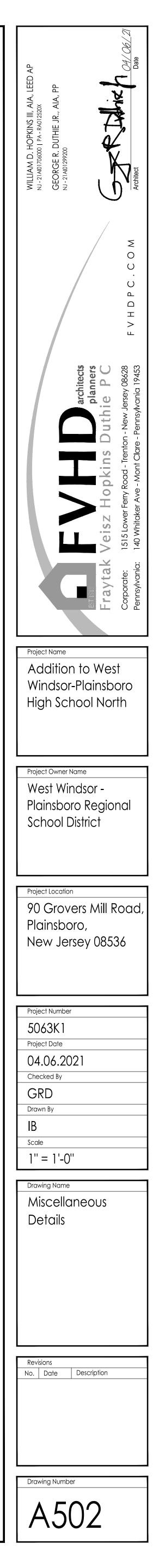
(4)

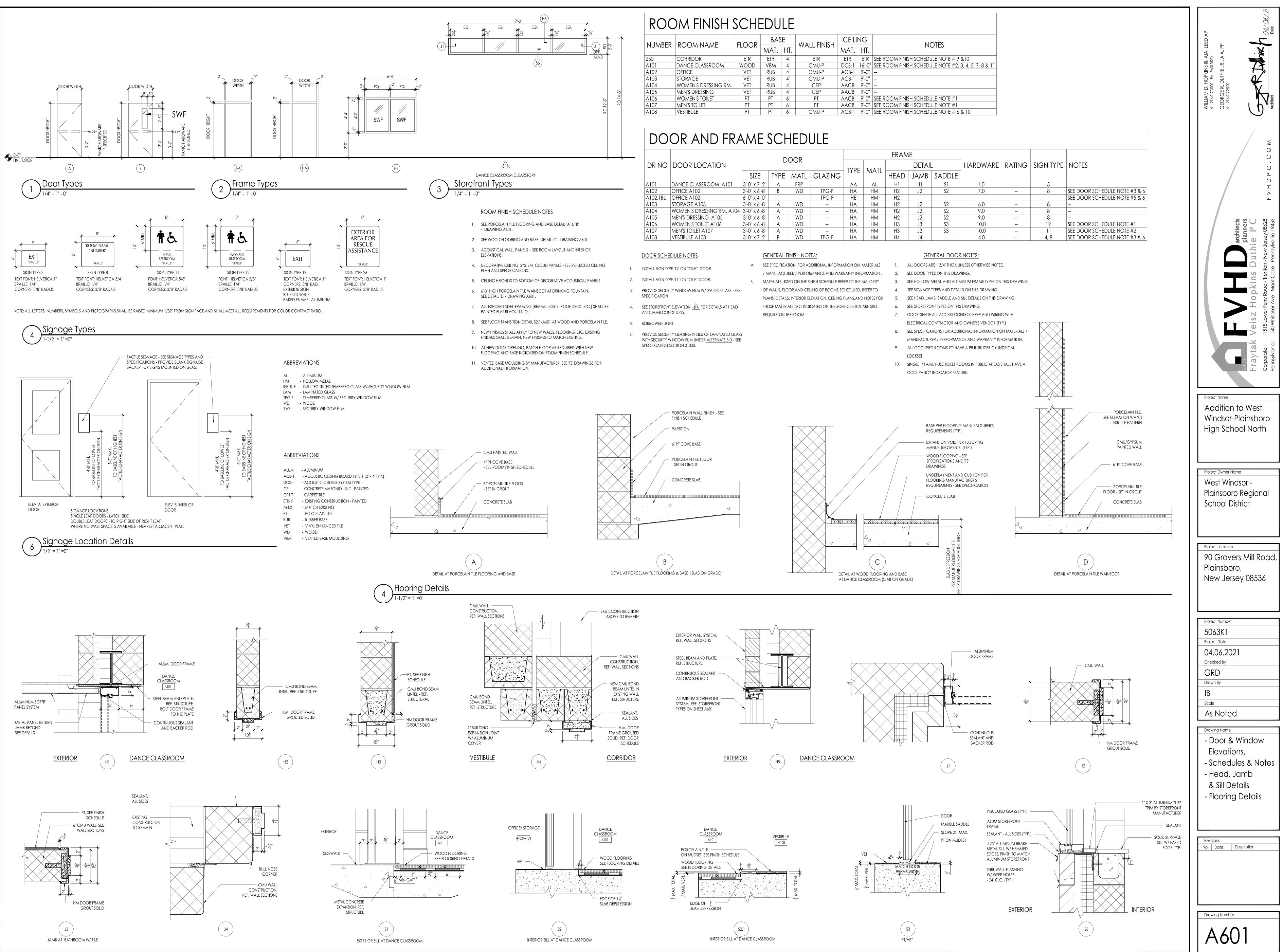




6 METAL SHELVING SCHEDULE Scale: 1/2" = 1'-0"

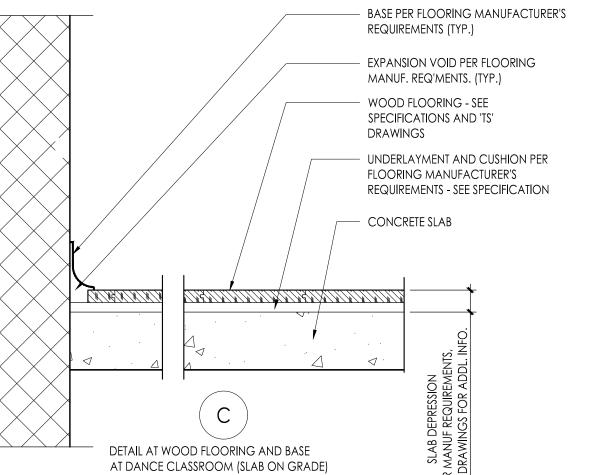
7 CMU WALL ANCHOR DETAIL Scale: 1 1/2" = 1'-0"

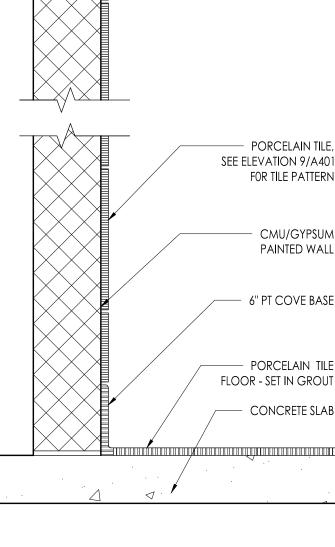




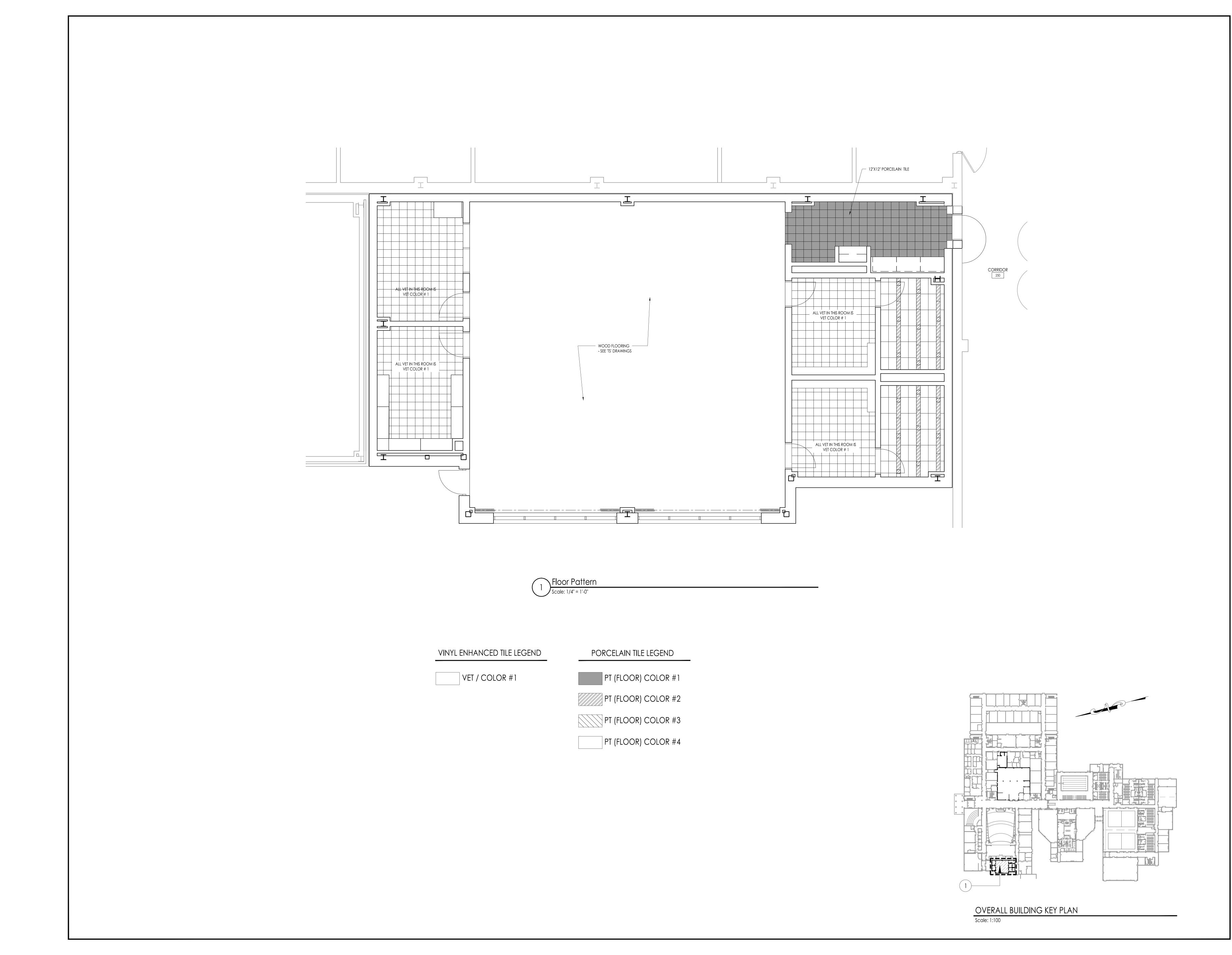
FLOOR	BASE		WALL FINISH	CEILING		NOTES				
FLOOR	MAT.	HT.	VVALL I IINISTI	MAT.	HT.	INUILS				
ETR	ETR	4"	ETR	ETR	ETR	SEE ROOM FINISH SCHEDULE NOTE # 9 & 10				
WOOD	VBM	4"	CMU-P	DCS-1	16'-0"	SEE ROOM FINISH SCHEDULE NOTE #2, 3, 4, 5, 7, 8 & 11				
VET	RUB	4"	CMU-P	ACB-1	9'-0"					
VET	RUB	4"	CMU-P	ACB-1	9'-0"					
VET	RUB	4"	CEP	AACB	9'-0"					
VET	RUB	4"	CEP	AACB	9'-0"					
PT	PT	6"	PT	AACB	9'-0"	SEE ROOM FINISH SCHEDULE NOTE #1				
PT	PT	6"	PT	AACB	9'-0"	SEE ROOM FINISH SCHEDULE NOTE #1				
PT	PT	6"	CMU-P	ACB-1	9'-0''	SEE ROOM FINISH SCHEDULE NOTE # 6 & 10				

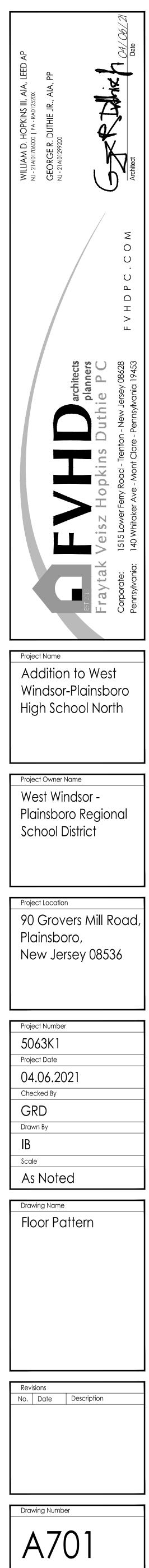
		OOR		FRAME									
		UUK		TYPE	DETAIL		_	HARDWARE	RATING	IG SIGN TYPE	NOTES		
	SIZE	TYPE	MATL	GLAZING		MATL	HEAD	JAMB	SADDLE				
	3'-0" x 7'-2"	А	FRP		AA	AL	H1	JI	S1	1.0		3	
	3'-0" x 6'-8"	В	WD	TPG-F	HA	НМ	H2	J2	S2	7.0		8	SEE DOOR SCHEDULE NOTE #3 & 6
	6'-0'' x 4'-0''			TPG-F	HE	НМ	H2						SEE DOOR SCHEDULE NOTE #5 & 6
	3'-0" x 6'-8"	А	WD		HA	НМ	H2	J2	S2	6.0		8	
4	3'-0" x 6'-8"	А	WD		HA	НМ	H2	J2	S2	9.0		8	
	3'-0" x 6'-8"	А	WD		HA	НМ	H2	J2	S2	9.0		8	
	3'-0" x 6'-8"	А	WD		HA	НМ	H3	J3	S3	10.0		12	SEE DOOR SCHEDULE NOTE #1
	3'-0" x 6'-8"	А	WD		HA	НМ	H3	J3	\$3	10.0		11	SEE DOOR SCHEDULE NOTE #2
	3'-0" x 7'-2"	В	WD	TPG-F	HA	НМ	H4	J4		4.0		4, 8	SEE DOOR SCHEDULE NOTE #3 & 6

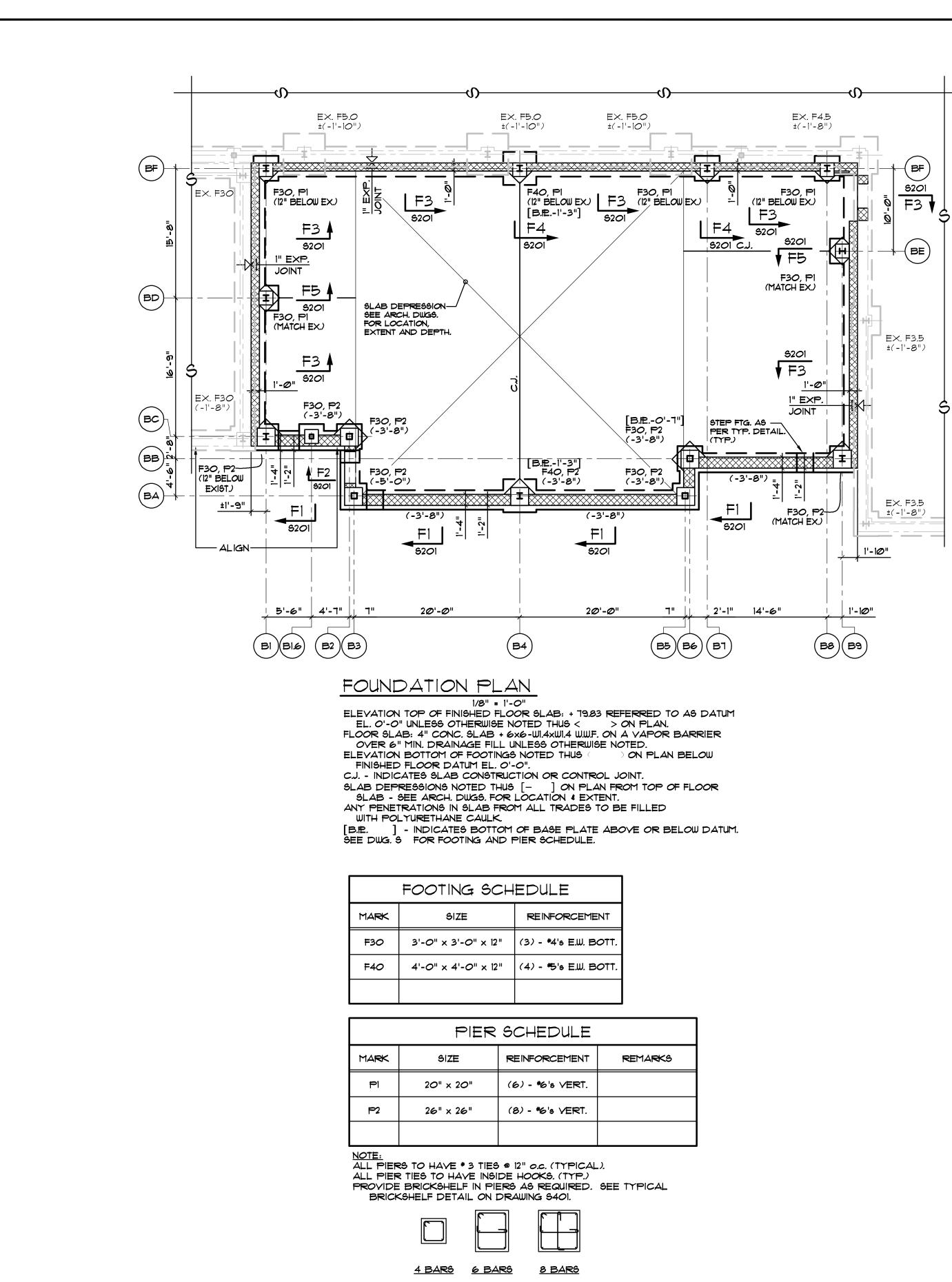




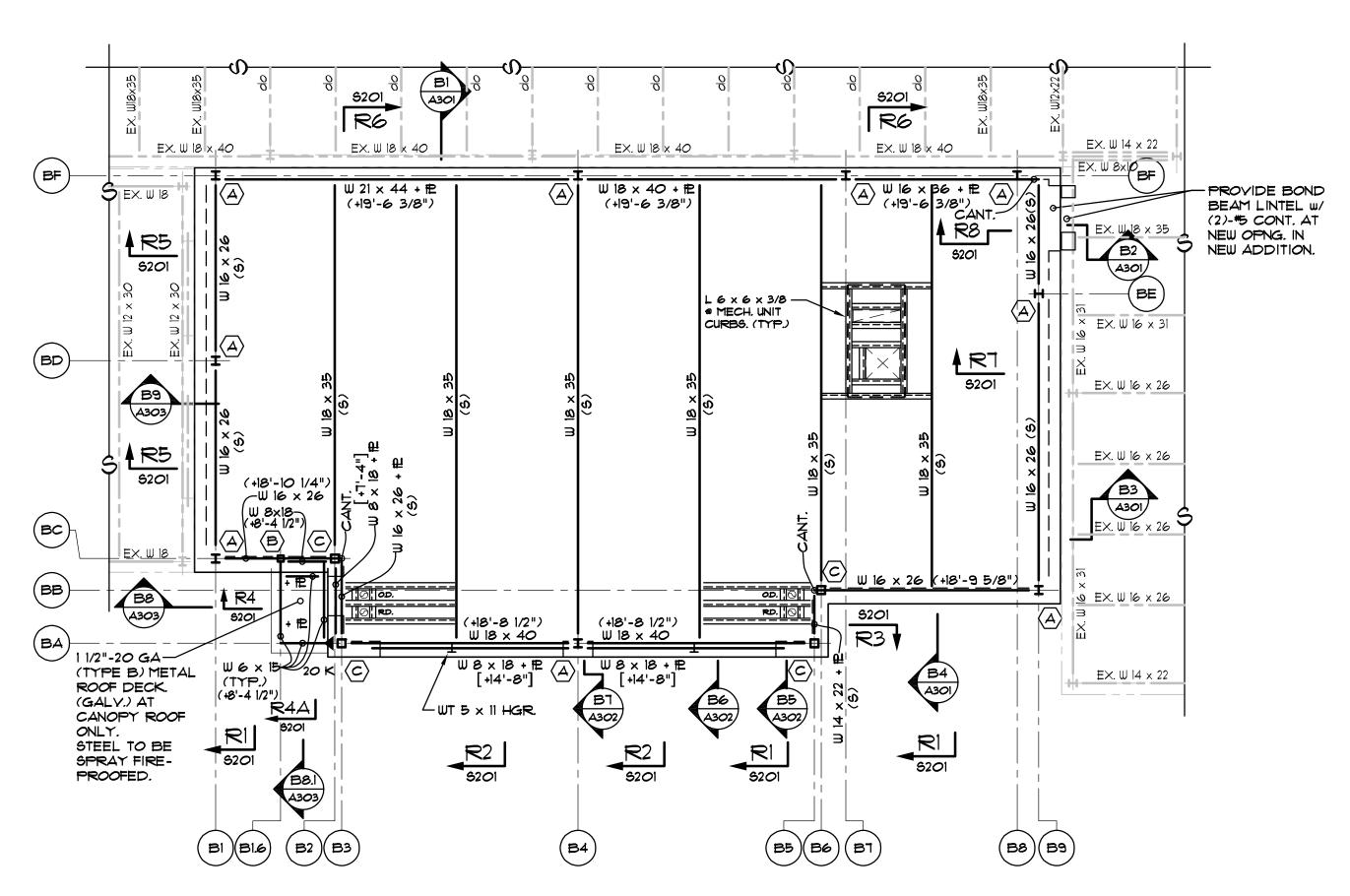


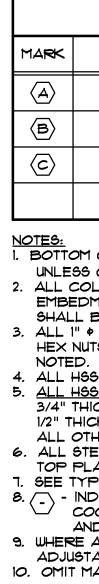






TIE ARRANGEMENTS





ROOF FRAMING PLAN

1/8" = 1'-0" ELEVATION TOP OF STEEL BEAMS NOTED THUS (+) *o*n plan

ABOVE DATUM UNLESS OTHERWISE NOTED. ROOF DECK: 3"- 20 GA. METAL ROOF DECK (GALV.).

PROVIDE FRAME AROUND ALL ROOF DRAINS & AT ALL OTHER ROOF OPENINGS LARGER THAN 8" AS PER TYPICAL DETAIL.

COORDINATE SIZE & LOCATION OF ALL ROOF OPNGS. W/ ARCH. & MECH. DWGS. SPACE ALL STEEL MEMBERS EQUALLY UNLESS OTHERWISE NOTED ON PLAN.

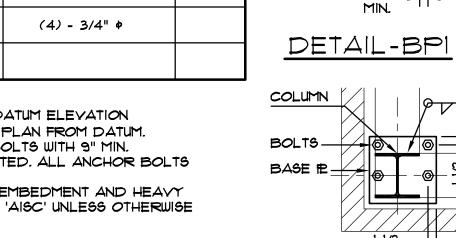
] - INDICATES ELEVATION BOTTOM OF FE AT BEAM + FE LINTEL AND BOTTOM OF ANGLE AT BEAM + L'S LINTEL. SEE ARCH. DWGS ...

(3) - INDICATES SLOPING MEMBER.

NOTE: ALL STEEL COLUMNS, BEAMS AND METAL ROOF DECK TO BE SPRAY FIRE-PROOFED. SEE ARCHITECTURAL DRAWINGS FOR UL LISTINGS AND REQUIREMENTS.

NOTE: PROVIDE ROOF FRAMING AROUND ALL NEW OPENINGS IN THE EXISTING ROOF AS PER TYPICAL DETAIL AS SHOWN ON DWG. 5301. SEE ARCH. & MECH. DWGS. FOR LOCATIONS. (TYP.)

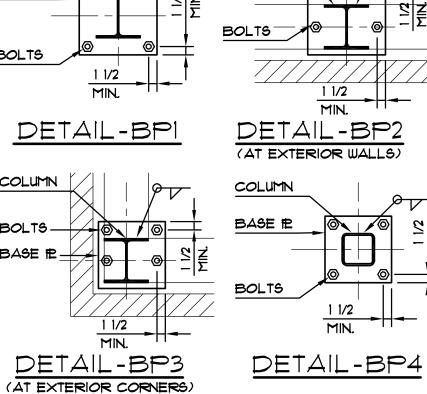
COLUMN SCHEDULE							
SIZE	BASE PLATE	ANCHOR BOLTS	DETAIL				
W 8 x 31	3/4" × 14" × 1'-2"	(4) - 3/4" ø					
HSS 6 x 6 x 1/4	3/4" × 12" × 1'-0"	(4) - 3/4" ø					
HSS 8 x 8 x 1/4	3/4" × 14" × 1'-2"	(4) - 3/4" ø					



COLUMN

BASE f

BOLTS



NOTES: 1. BOTTOM OF BASE PLATES TO BE -1" BELOW DATUM ELEVATION UNLESS OTHERWISE NOTED THUS [B.E.] ON PLAN FROM DATUM. 2. ALL COLUMNS TO HAVE (4) - 3/4" & ANCHOR BOLTS WITH 9" MIN. EMBEDMENT + 3" HOOK UNLESS OTHERWISE NOTED. ALL ANCHOR BOLTS SHALL BE ASTM FI554. 3. ALL 1" & ANCHOR BOLTS TO HAVE MINIMUM 12" EMBEDMENT AND HEAVY HEX NUTS AT THIER EMBEDDED ENDS AS PER 'AISC' UNLESS OTHERWISE

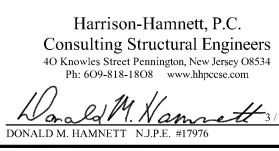
4. ALL HSS COLUMNS TO BE Fy = 46 K.S.I. 5. <u>ALL HSS COLUMNS TO HAVE:</u> 3/4" THICK CAP FE. @ BEAM BEARING:

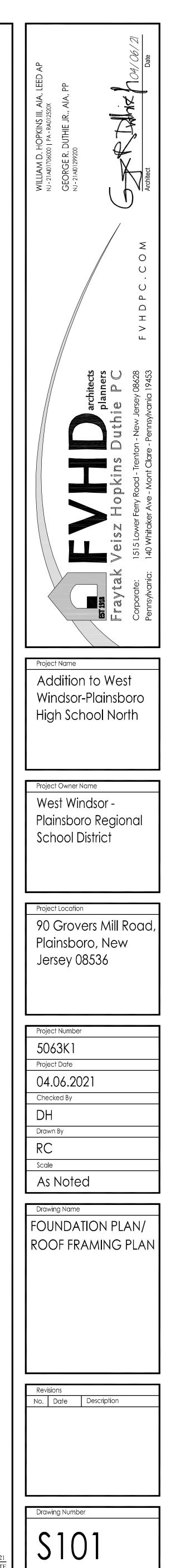
1/2" THICK CAP FE. @ JOIST BEARING

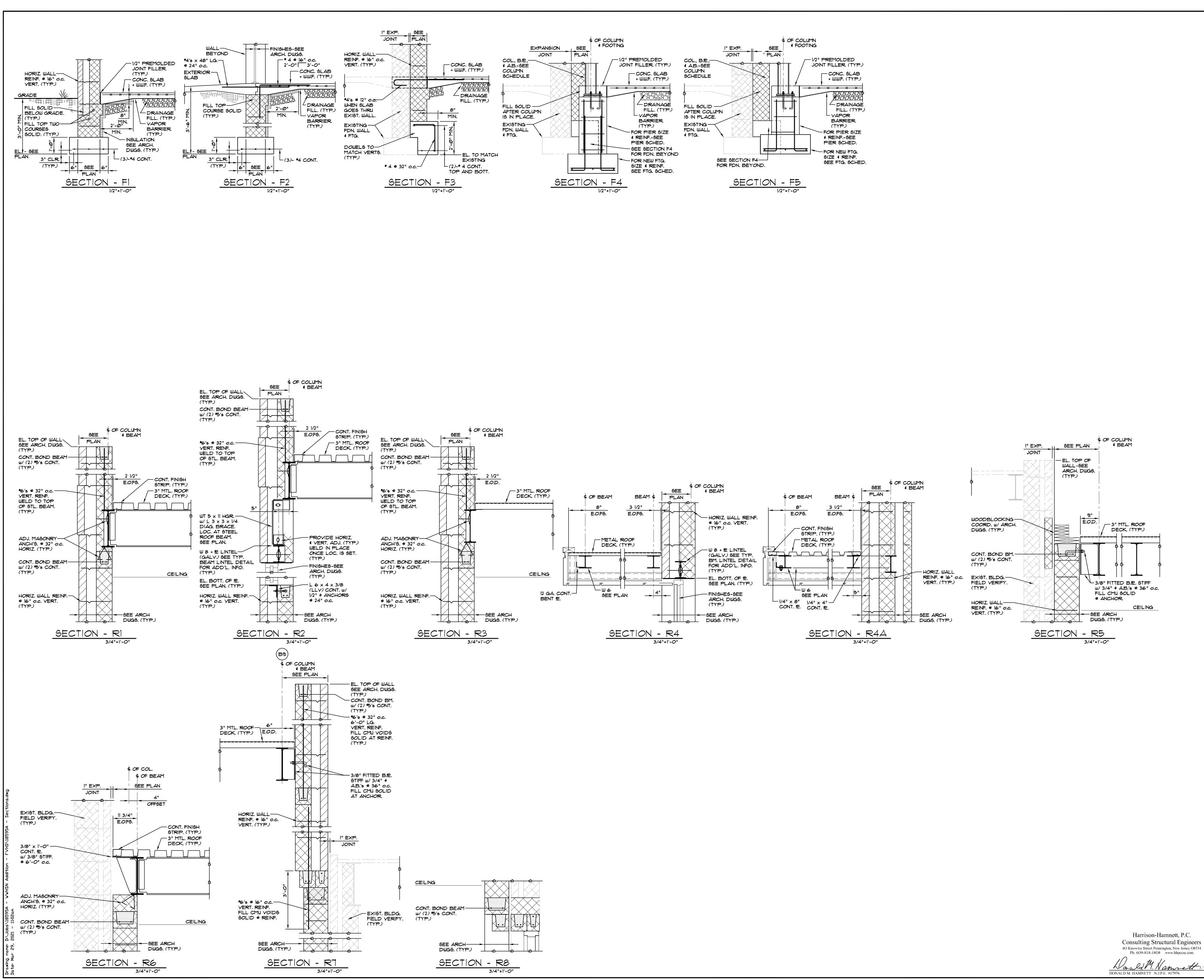
ALL OTHERS 1/4" THICK CAP P. - U.O.N. 6. ALL STEEL COLUMNS SUPPORTING CANTILEVER MEMBERS TO HAVE 3/4" TOP PLATES W/ (4)-3/4" & A325 BOLTS U.O.N.

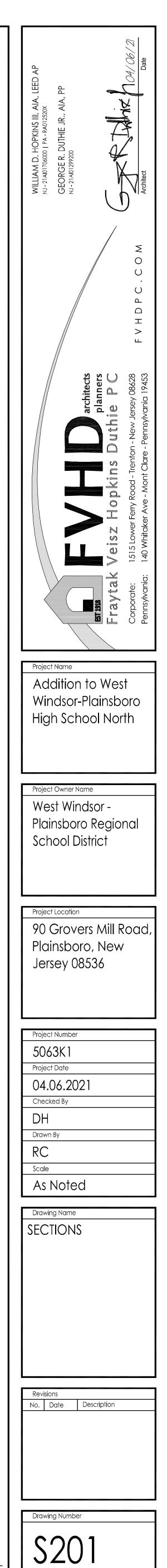
1. SEE TYPICAL THRU-RE DETAIL FOR BEAM TO TUBE COLUMN CONNECTIONS. 8. - INDICATES THE POINT AT WHICH A STEEL COLUMN TERMINATES. COORDINATE THE HEIGHT OF STEEL WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.

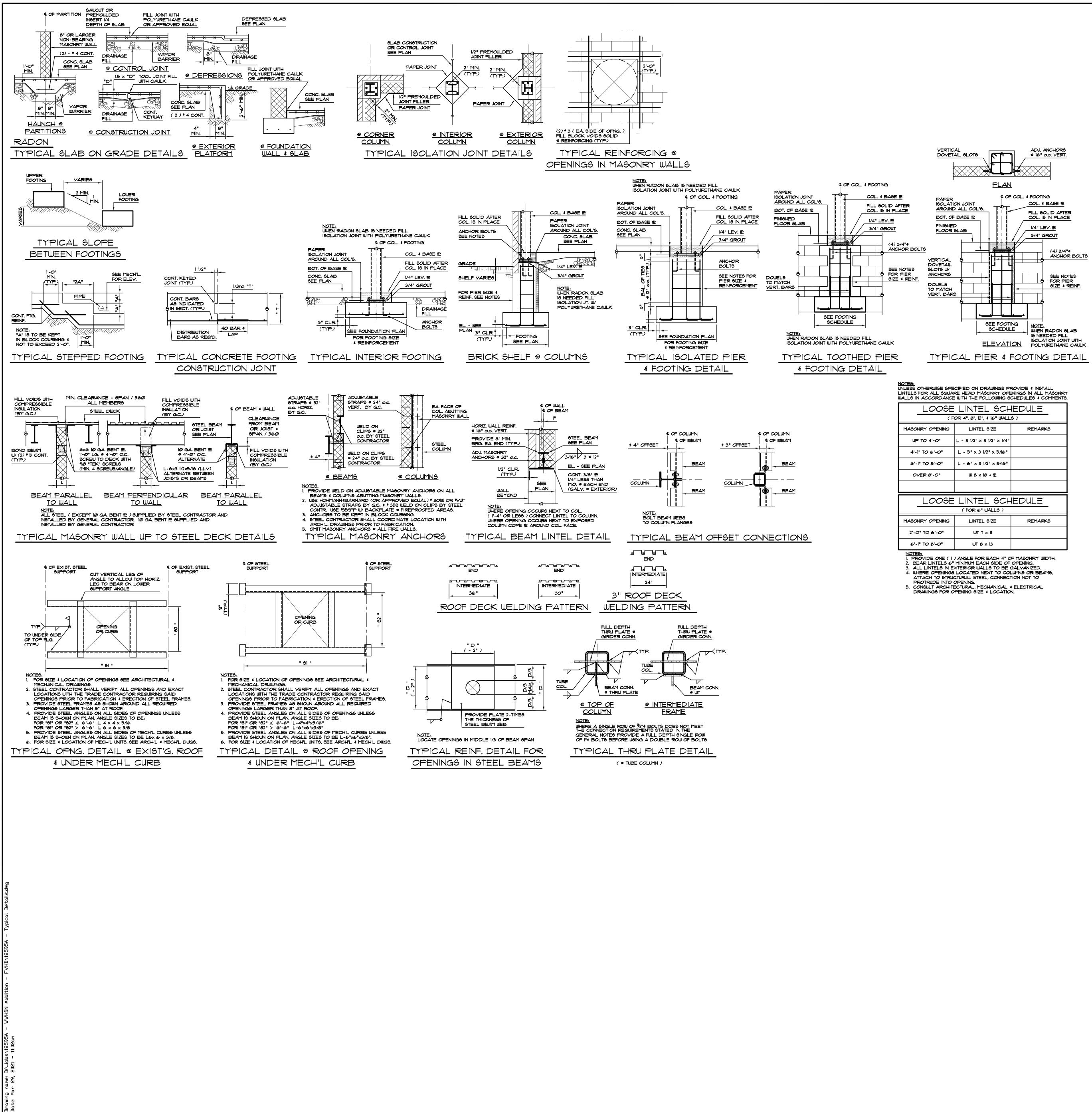
9. WHERE ANY FACE OF COLUMN ABUTS MAGONRY WALLS, PROVIDE ADJUSTABLE MASONRY ANCHORS @ 24" O.C. VERTICALLY. 10. OMIT MASONRY ANCHORS AT FIRE WALLS.











GENERAL NOTES

FOUNDATION

- 1. All footings shall bear on soil having a minimum safe bearing capacity of 1.5 tons per square foot.
- Confirm in field prior to placing footings. 2. Elevations given correspond to the computed bottom of footings and are minimum depths which are not to be construed as limiting in any way the depth required to reach good bearing.
- 3. No footings shall be placed in water or on frozen ground. 4. No fill or backfill shall be placed over or against work at such time or in such a manner which would endanger the stability or otherwise damage such work. 5. See soils report for requirements concerning preparation of soil for foundations.

CAST-IN-PLACE CONCRETE

All concrete work shall conform to the latest edition of the ACI Building Code. 2. All concrete, except slabs on grade, shall attain 3000 PSI compressive strength at 28 days. All concrete for slabs on grade shall attain 3500 PSI compressive strength at 28 days.

<u>REINFORCING</u>

- All reinforcing bar details shall conform to the latest ACI code and detailing manual. All bars shall be ASTM A-615, Grade 60. Welded wire fabric shall be ASTM A-185.
- 4. Clearance of main reinforcing from adjacent surfaces unless shown otherwise shall be: A. Unformed surfaces in contact with ground or exposed to the weather: 3" B. Bottom surfaces of slabs on grade: 3"
 - C. Formed surfaces in contact with ground or exposed to weather: *5 bars or smaller: 1-1/2"
 - Bars larger than #5: 2" D. Exterior wall surfaces: 2"
- E. In all cases not less than the diameter of the bar. 5. All reinforcement shall be inspected and approved by architect or his designate before concrete is poured. 6. Tolerances for placing reinforcing shall be:
- A. +or- 1/4 inch for members with an effective depth of 24 inches or less. B. +or- 1/2 inch for members with an effective depth of more than 24 inches.
- 7. Where continuous bars are called for, they shall be run continuously around corners and lapped at necessary splices or hooked at discontinuous ends. Laps shall be 40 bar diameters. Bar laps may
- be offset to avoid control or construction joints. Electrical Contractor to provide grounding electrode system as required by NEC section 250-52(a). Coordinate location and schedule with General Contractor.

STRUCTURAL STEEL

- All structural steel details shall be designed in accordance with the latest issue of the American Institute of Steel Construction (AISC), "Specification for Structural Steel Buildings - Allowable
- Stress Design and Plastic Design". 2. Connections shall be designed to develop the full strength of the member over the required
- 3. Provide double angle connections at all beam to wide flange columns and beam to beam connections whenever possible. The steel fabricator must notify the Structural Engineer if there are to be any
- changes. See Typical Thru-PI Detail for beam to tube column connections. Field connections shall be made by high strength bolts 3/4" minimum in diameter or welded as shown on drawings. 5. All pipe shapes shall be ASTM A53, Grade B, Fy= 35 KSI.
- 6. All tubes shapes shall be ASTM A500, Grade B. FY=46 KSI.
- All structural wide flange shapes to be ASTM A-992/A572, Grade 50. 8. All steel plates, angles, channels are to be ASTM A-36 unless indicated otherwise.

STEEL JOISTS

All standard bar joists, materials, and workmanship shall conform to the latest edition of the S.J.I. "Standard Specifications for Openweb Joists, K Series" or "Standard Specifications for Longspan Steel Joist, LH-Series and Deep Longspan Steel Joists, DLH-Series." 2. Do not load joists until bridging is installed.

<u>STEEL ROOF DECK</u>

- 1. Deck shall be 20 gage galvanized 15" wide rib variety (Type B) continuous over at least 3 spans. 2. Deck to be installed as per manufacturer's recommendations.
- MASONRY REQUIREMENTS

- All block work shall be in accordance with IBC2018 w/ NJ Modification and other applicable All block shall be lightweight aggregate and conform to ASTM C 90.
 Mortar shall be ASTM C 270, Type S for below and above grade work.
- 4. Where block fill is called for on drawings, use Type S mortar or concrete with a compressive strength of 2500 PSI in accordance with ASTM C 476, and installed in accordance with ACI-531 for high or low lift procedures
- 5. All masonry walls are to have a #4 vertical reinforcing bars at ends, at intersections at corners and at a maximum spacing of 10 feet on centers. These reinforcing bars are to be full height and grouted solid. These bars may be spliced provided that a 40 bar diameter lap is maintained. 6. All openings are to have two *3 vertical reinforcing bars within 16 inches of each side and a
- bond beam top and bottom with two #3 bars (unless noted otherwise on plan). All reinforcing is to extend past the opening a minimum of 24 inches. All masonry walls are to have a bond beam with two #4 bars within 16 inches of the top of the wall
- 8. All running bond masonry walls are to have horizontal reinforcing at every other course. Where masonry is laid in other than running bond, horizontal joint reinforcement is to be provided at every horizontal joint. The horizontal wall reinforcing shall be No. 9 gage "Dur-o-wall" or equivalent. Provide fabricated corner sections at all corners.
- 9. All wall bearing beams are to have the masonry wall grouted solid a minimum of 8 inches each side of bearing location and two #4 vertical reinforcing bars full height at each grouted cell (maximum of four bars). 10. Coordinate masonry with all trades requiring items to be built-in.

COLD FORM METAL FRAMING

- 1. All Cold Form Metal framework for the exterior walls, load-bearing walls and roof framing shall be designed by the cold form metal framing contractor in accordance with the manufacturer's quidelines. See required design loads on drawings.
- 2. Submit signed and sealed shop drawings and calculations by a registered PA Professional Engineer for review prior to fabrication and erection.
- 3. Installation to be in strict accordance with shop drawings and manufacturer's recommendations. Brace all walls during erection as per manufacturer's recommendations.
- 4. All welds are to be by a certified welder. 5. Metal studs to have rows of horizontal bridging at a maximum 4'-6" on center. Bridges to be installed as per manufacturer's recommendations.
- 6. All metal tracks to match size and gauge of wall studs.
- 7. All cold form metal framework for the exterior walls supporting masonry veneer shall be designed for a maximum lateral deflection of L/600 of the span. 8. All cold form metal framework for the exterior walls supporting non-masonry veneer shall be designed for a maximum lateral deflection of L/240 of the span.

MISCELLANEOUS

- . Contractor shall verify all dimensions, sections and elevations on the job. 2. Consult the Architectural, Mechanical and Electrical drawings for verification of location and dimensions of chases, inserts, openings, sleeves, washes, drips, reveals, depressions, equipment pads and other product requirements.
- 3. All walls shall be braced during construction until permanently restrained. 4. Reproductions of contract documents are not acceptable as shop drawings and will be rejected.

ROOF LOADING SCHEDULE

DEAD	LOAD:

ROOFING INSULATION METAL ROOF DECK STEEL JOISTS STRUCTURAL STEEL MECH., ELEC CEILING	6.0 2.0 2.0 3.0 4.0 2.0 1.0	P.S.F. P.S.F. P.S.F. P.S.F. P.S.F. P.S.F.
LIVE LOAD:	20.0	P.S.F.
DESIGN LOAD	30.0 25.0	P.S.F. P.S.F.
Pf = 0.1 x Ce x I x Ct x Pg = DRIFT LOADING TO DRIFT LENGTH 13.61 FEI	19.25 58.68 ET	P.S.F. P.S.F.
JOIST NET UPLIFT	14.0	P.9.F.

LATERAL LOADING SCHEDULE

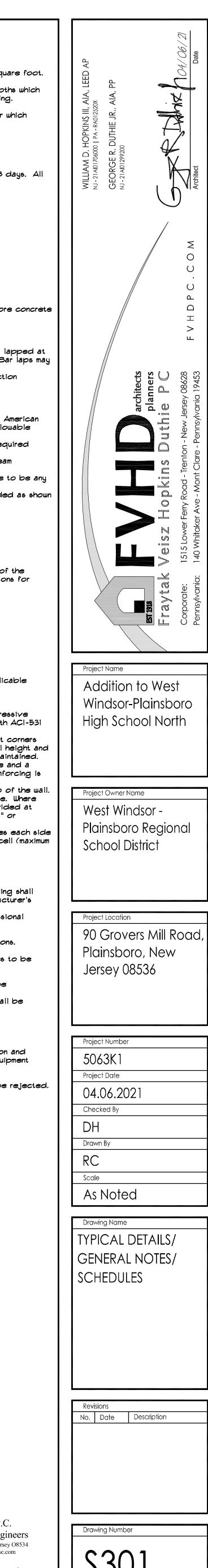
WIND LOAD: IBC 2018 - ASCE 7-16

- BASIC WIND SPEED = 124 M.P.H. RISK CATEGORY = III , EXPOSURE C INTERNAL PRESSURE COEFF. GCpi = ± 0.18 COMPONENT & CLADDING ROOF - 10 SF = -91.40
- WALLS 10 SF = + 35.49, 43.68
- SEISMIC LOADING: IBC 2018 ASCE 7-16 SEISMIC RISK CATEGORY - III
- IMPORTANCE FACTOR (Ie) = 1.25 Ss = 0.228 SI = 0.053
- SITE CLASS D
- Sds = 0.244 Sdl = 0.084SEISMIC DESIGN CATEGORY - B
- STRUCTURAL STEEL SYSTEM NOT SPECIF. DETAILED FOR SEISMIC
- SEISMIC RESPONSE COEFFICENT (Cs) = 0.101 RESPONSE MODIFICATION FACTOR (R) = 3
- EQ. LAT. FORCE PROC.

Harrison-Hamnett, P.C. Consulting Structural Engineers 40 Knowles Street Pennington, New Jersey 08534 Ph: 609-818-1808 www.hhpccse.com

ONALD M. HAMNETT N.LP.E. #17976

VALLS IN ACCORDANCE WITH THE FOLLOWING SCHEDULES & COMMENTS.								
LOOSE LINTEL SCHEDULE								
(=	(FOR 4", 8", 12", \$ 16" WALLS)							
MASONRY OPENING	LINTEL SIZE	REMARKS						
up to 4'-0"	L - 3 1/2" × 3 1/2" × 1/4"							
4'-1" TO 6'-0"	L - 5" x 3 1/2" x 5/16"							
6'-1" †0 8'-0"	L - 6" x 3 1/2" x 5/16"							
0ver 8'-0"	₩8×18+1₽							
LOOSE LINTEL SCHEDULE								
	(FOR 6"WALLS)							
MASONRY OPENING	LINTEL SIZE	REMARKS						
2'-0" TO 6'-0"	WT 7 × 11							
6'-1" †0 8'-0"	WT 8 x 13							
NOTES								



anald M. Nammett

FIRE PROTECTION GENERAL NOTES

1. DO NOT SCALE FROM THESE DRAWINGS.

- 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE AND ADOPTED REGULATIONS INCLUDING BUT NOT LIMITED TO NFPA REQUIREMENTS, NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL FIRE PROTECTION MATERIALS, INSTALLATION PROCEDURES AND SYSTEM LAYOUTS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION. THE FIRE PROTECTION CONTRACTOR SHALL OBTAIN FIRE SPRINKLER PERMIT/FILE THE SHOP DRAWINGS AND HYDRAULIC CALCULATIONS WITH THE LOCAL AUTHORITY HAVING JURISDICTION AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THIS INSTALLATION.
- 3. THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON FPA CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF FPA AND ARE INVALID.
- DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
- SUBMITTED TO THE OWNER'S REPRESENTATIVE BEFORE ANY WORK IS STARTED.
- 6. IF THERE ARE ANY QUESTIONS CONCERNING WHAT THE INSURANCE UNDERWRITER WILL REQUIRE IN ORDER TO APPROVE THE COMPLETED INSTALLATION (PIPING SIZING, LOCATION OF RISERS, TEST STATIONS, HYDRANTS, ALARMS, ETC.) THE BIDDER SHALL CONSULT WITH THE INSURANCE UNDERWRITER BEFORE SUBMITTING HIS BID. FAILURE TO CONSULT WITH THE INSURANCE UNDERWRITER DOES NOT RELIEVE THIS CONTRACTOR FROM HIS RESPONSIBILITY BY THE COMPLETION OF ANY AND ALL WORK REQUIRED WITH NO EXTRA CHARGES TO THE OWNER.
- 7. FURNISH AND LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE FIRE SUPPRESSION SYSTEM WHERE SHOWN ON DRAWINGS AND REQUIRED BY NFPA 13 AND LOCAL AUTHORITIES.
- 8. THE CONTRACTOR SHALL RUN A CERTIFIED FLOW TEST AS REQUIRED BY NFPA 13, APPENDIX E TO DETERMINE THE ADEQUACY OF THE WATER PRESSURE. PRIOR TO BID, COORDINATE WITH ARCHITECT/ENGINEER IF RESIDUAL WATER PRESSURE IS LOWER THAN THE DESIGN PRESSURE SPECIFIED ON DRAWINGS. PROVIDE ALTERNATE PRICE FOR A WATER PRESSURE BOOSTER SYSTEM IF REQUIRED.
- 9. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL, DETAILED CONSTRUCTION DRAWINGS AND HYDRAULIC CALCULATIONS TO THE ENGINEER AND FIRE SUB-CODE OFFICIAL, PRIOR TO THE INSTALLATION OF ANY EQUIPMENT. OBTAIN CERTIFICATE OF INSPECTION AND APPROVAL FROM THE SAME AGENCY HAVING JURISDICTION AFTER INSTALLATION. FIRE SUPPRESSION CONSTRUCTION DRAWINGS SHALL BE SIGNED AND SEALED BY AN ENGINEER LICENSED IN THE AREA WHERE THE PROJECT IS LOCATED.
- 10. CONTRACTOR MUST VISIT THE SITE TO DETERMINE THE FULL EXTENT OF THE EXISTING FIRE PROTECTION WORK AND EXISTING CONDITIONS, BECOME FAMILIAR WITH THE DISCONNECTIONS, REMOVAL, RELOCATIONS, AND/OR RECONNECTIONS OF EXISTING FIRE PROTECTION EQUIPMENT REQUIRED. NO EXTRA COMPENSATION SHALL BE PROVIDED FOR LACK OF SUCH DETERMINATION, FAMILIARIZATION, AND/OR ALLOWANCE.
- 11. PRIOR TO DEMOLITION AND CONSTRUCTION, FIRE PROTECTION CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT/OWNER OF CONFLICTS OR CONDITIONS WHICH INTERFERE WITH REQUIREMENTS ON THESE DOCUMENTS.
- 12. UNLESS INDICATED OTHERWISE, DISCONNECT AND REMOVE ALL EXISTING FIRE PROTECTION COMPONENTS NOT INTENDED TO BE REUSED.
- 13. DISCONNECT, RELOCATE, AND RECONNECT EXISTING FIRE PROTECTION SYSTEMS AND EQUIPMENT WHERE REQUIRED.
- 14. CONTRACTOR RESPONSIBLE TO RELOCATE EXISTING SPRINKLER PIPING WHERE CONFLICTS
- OCCUR WITH DUCTWORK. COORDINATE WITH MECHANICAL CONTRACTOR. 15. SPRINKLER HEADS SHALL NOT INTERFERE WITH LIGHTING FIXTURES, SPEAKERS, AIR CONDITIONING DIFFUSERS AND GRILLES, ETC. COORDINATE WITH ARCHITECT'S REFLECTED
- CEILING PRIOR TO SUBMITTING SHOP DRAWING. 16. THE FIRE PROTECTION DRAWINGS ARE INTENDED TO INDICATE, ONLY DIAGRAMMATICALLY,
- 17. COORDINATE ALL FIRE SPRINKLER WORK WITH ARCHITECTURAL REFLECTED CEILING PLANS AND OTHER TRADES. SPRINKLER SHALL BE LOCATED IN CENTER OF CEILING TILE OR IN QUARTER POINT OF 4' DIMENSION AND CENTER OF 2' DIMENSION.
- 18. ALL NEW SPRINKLER PIPING SHALL BE SEISMICALLY BRACED AND PITCHED FOR DRAINAGE. 19. FIRE SPRINKLER SYSTEMS NOT ASSOCIATED WITH THE DEMOLITION SHALL BE LEFT IN SERVICE.
- 20. ALL CONNECTIONS TO EXISTING BUILDING SERVICES SHALL BE CAREFULLY COORDINATED WITH THE UTILITY COMPANY AND THE OWNER'S SCHEDULE. SERVICE WORK OF THIS NATURE TO OCCUR DURING UNOCCUPIED BUILDING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL EXISTING EQUIPMENT IS OPERATIONAL AFTER ANY SHUTDOWN OCCURS.
- 21. CHANGES OR SUBSTITUTIONS OF EQUIPMENT WILL NOT BE ALLOWED WITHOUT SPECIFIC WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER. ALL COSTS RESULTING FROM THE SELECTION OF OTHER THAN SPECIFIED EQUIPMENT SHALL BE BORNE BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO WORK AFFECTING OTHER CONTRACTORS, THE OWNER, OR **RE-DESIGN ISSUES.**
- 22. ALL INDICATED WORK SHALL BE PERFORMED BY THE FIRE PROTECTION CONTRACTOR UNLESS OTHERWISE NOTED.
- 23. DO NOT USE ANY PART OF THE OWNER'S BUILDING AS A SHOP, EXCEPT PARTS DESIGNATED FOR SUCH PURPOSES BY THE OWNER.
- 24. ALL CONTRACT WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE WRITTEN SPECIFICATIONS FOR THIS PROJECT WHICH ARE CONSIDERED TO BE AN INTEGRAL PART OF THE CONTRACT DOCUMENTS. ALL CONTRACTORS AND SUBCONTRACTORS SHALL MAINTAIN (AT THE JOB SITE) AND REFER TO COPIES OF THE WRITTEN SPECIFICATIONS AS PART OF THESE DRAWINGS. REFER TO THE WRITTEN SPECIFICATIONS IN CONJUNCTION WITH THE PLANS FOR FULL PROJECT SCOPE. IN ALL CASES OF DISCREPANCY BETWEEN PLANS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AND WHERE IT
- 25. ANY DISCREPANCIES OR INADEQUACIES WITHIN THESE BID DOCUMENTS OR BETWEEN THESE BID DOCUMENTS AND RELATED HVAC, ELECTRICAL, FIRE PROTECTION, ARCHITECTURAL, INTERIOR DECOR AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER PRIOR TO BID SUBMISSION.
- 26. THE FIRE PROTECTION CONTRACTOR SHALL REVIEW THESE PLANS AND SPECIFICATIONS, AS WELL AS THE RELATED HVAC, ELECTRICAL, ARCHITECTURAL, INTERIOR DECOR AND SITE ENGINEERING DRAWINGS TO BECOME FAMILIAR WITH THE FULL PROJECT SCOPE. DURING THE COURSE OF CONSTRUCTION COORDINATION AND ACTUAL CONSTRUCTION, THE FIRE PROTECTION CONTRACTOR SHALL COOPERATE WITH ALL OTHER CONTRACTORS AND TRADES ON THIS PROJECT TO ENSURE A SMOOTH RUNNING AND CAREFULLY COORDINATED INSTALLATION.
- 27. CONTRACTOR SHALL COORDINATE HIS SCHEDULING WITH THE OWNER AND GENERAL CONTRACTOR TO COMPLY WITH THE OWNERS USAGE OF THE BUILDING.
- 28. IF ANY UNEXPECTED DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS IS MADE DURING THE COURSE OF WORK, THE CONTRACTOR SHALL REPORT THE DISCOVERY IMMEDIATELY TO THE OWNER. THE CONTRACTOR SHALL STOP ANY WORK THAT MAY DISTURB THE SUSPECTED HAZARDOUS MATERIAL. CONTRACTOR SHALL RESUME WORK AFTER ALL HAZARDOUS MATERIAL HAS BEEN REMEDIATED.
- 29. CONTRACTOR RESPONSIBLE FOR THE PROPER CARE OF ALL OWNER'S EQUIPMENT AND/OR FURNISHINGS WHICH ARE REQUIRED TO BE TEMPORARILY REMOVED, STORED OR RELOCATED. CONTRACTOR SHALL REPLACE, REPAIR OR REIMBURSE OWNER FOR ALL DAMAGES TO SUCH PROPERTIES AT FULL REPLACEMENT VALUE AND EQUIVALENCY. CONTRACTOR SHALL ADVISE OWNER FOR DISPOSITION OR REMOVED EQUIPMENT AND/OR MATERIALS.

4. REPRODUCTION OF ANY PORTION OF THE CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP

5. SHOP DRAWINGS BEARING THE APPROVAL OF THE INSURANCE UNDERWRITER SHALL BE

THE EXTENT AND THE GENERAL CHARACTER AND LOCATIONS OF THE WORK INCLUDED.

IS UNCLEAR, SUCH CASES SHALL BE REFERRED TO THE ENGINEER FOR ADJUDICATION.

- 30. CONTRACTOR'S WORK MAY BE REQUIRED OUTSIDE OF DESIGNATED SPACE. ALL SYSTEMS BEING DEMOLISHED AND REMOVED, MODIFIED, AND/OR TERMINATED SHALL BE FIELD VERIFIED. TO INSURE NO WORK PERFORMED. INSIDE OR OUTSIDE OF THE DESIGNATED SPACE. SHALL DISRUPT ANY SERVICE OR SYSTEMS OF ANY OTHER AREAS. IF ANY CONDITIONS ARISE THAT ARE NOT IDENTIFIED ON DRAWINGS, IMMEDIATE NOTIFICATION SHALL BE PROVIDED TO THE ENGINEER OR OWNER. NO WORK SHALL PROCEED WITHOUT APPROVALS FROM ENGINEER OR OWNER.
- 31. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY HAVE TO BE ADAPTED TO COMPLY WITH EXISTING BUILDING CONDITIONS. CONTRACTOR SHALL SUBMIT FIRE PROTECTION SHOP DRAWINGS, INDICATING LOCATIONS, AND ROUTING OF DUCTS, PIPING, AND WIRING.
- 32. PIPING SHOWN ON DRAWINGS SHOW THE GENERAL RUN AND CONNECTIONS AND MAY OR MAY NOT IN ALL PARTS BE SHOWN IN ITS EXACT POSITION. CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING THE PIPING SUITABLE IN EVERY RESPECT FOR THE WORK. PIPING SHALL BE INSTALLED SO THAT ACCESS, CLEARANCE, HEADROOM AND PITCH ARE MAINTAINED. CONTRACTORS OF THE VARIOUS TRADES SHALL COORDINATE THE INSTALLATION.
- 33. ALL CONTRACTORS SHALL PROVIDE CUTTING AND PATCHING FOR THEIR RESPECTIVE TRADES. 34. REMOVE AND REINSTALL CEILING SYSTEM AS REQUIRED FOR THE INSTALLATION OF FIRE PROTECTION WORK AND REPLACE IN KIND ANY COMPONENTS DAMAGED BY PERSONNEL OR EQUIPMENT DURING PERFORMANCE OF THE WORK. PATCH AND REPAIR ALL DAMAGE CAUSED BY REMOVAL, MATCH EXISTING ADJACENT SURFACES.
- 35. ALL SPRINKLER PIPING TO RUN AS HIGH AS POSSIBLE. ALL MAINS SHALL BE RUN TIGHT TO STEEL. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR.
- 36. ALL EXPOSED HORIZONTAL AND VERTICAL PIPING SHALL BE INSTALLED IN A NEAT ARRANGEMENT IN LOCATIONS WHICH ARE THE MOST INCONSPICUOUS. VERTICAL DROPS SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND THEIR FINAL LOCATIONS SHALL BE COORDINATED AND RUN WITHIN CHASES, WALLS, SOFFITS WITH OTHER MECHANICAL/ELECTRICAL FEEDS. ALL SUCH LOCATIONS ARE TO BE REVIEWED WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION.
- 37. ALL PIPING SYSTEM PENETRATIONS OF FIRE-RATED WALLS AND FLOOR SHALL BE SEALED WITH UL APPROVED FIRE RESISTANT JOINT SEALER, SPECIFIED TECHNOLOGIES "PENSIL 200" OR EQUAL, TWO-PART FOAMED-IN-PLACE SILICONE SEALANT. FIRE RESISTANT SEALER SHALL BE TESTED IN ACCORDANCE WITH ASTM 814. INSTALL SEALANT, INCLUDING FORMING, PACKING AND OTHER ACCESSORY MATERIALS TO FILL OPENINGS WHERE FIRE-RATED WALL PENETRATIONS OCCUR. COMPLY WITH INSTALLATION REQUIREMENTS ESTABLISHED BY TESTERS AND INSPECTION AGENCY.
- 38. ALL CONTRACTORS REMOVING ANY EQUIPMENT, PIPES, DUCTS, CONDUITS, ETC. SHALL PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- 39. REFER TO SPECIFICATIONS FOR SPRINKLER HEAD AND ESCUTCHEON FINISHES AND COLORS. 40. THE FIRE PROTECTION CONTRACTOR SHALL PROVIDE A COMPLETE SET OF "AS-BUILT" DRAWINGS INDICATING THE PRECISE LOCATION OF ALL SYSTEMS, EQUIPMENT CONCEALED OR EMBEDDED PIPES, PIPE CONNECTIONS AND ACCESS DOORS. THESE PLANS SHALL ALSO INCLUDE ALL CHANGES AND DEVIATIONS FROM BID DOCUMENTS.
- 41. GUARANTEE ALL WORK, MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE (1) YEAR FROM DATE OF CERTIFICATE OF OCCUPANCY.

APPLICABLE CODES:

ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST CODES AND SUBCODES AS ADOPTED BY THE STATE OF NEW JERSEY:

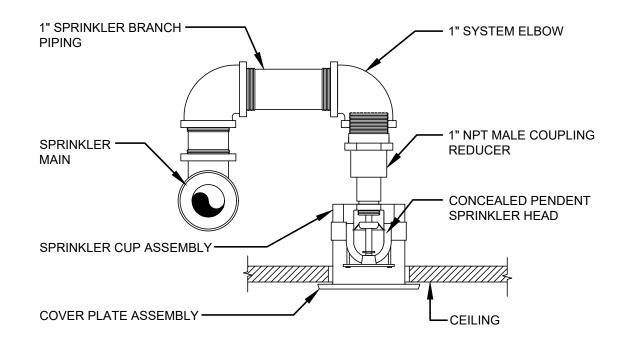
- NEW JERSEY UNIFORM CONSTRUCTION CODE (NJUCC) REHABILITATION SUBCODE 5:23-6
- ADMINISTRATIVE CODE: TITLE 6
- 2018 INTERNATIONAL BUILDING CODE NJ EDITION
- 2017 NATIONAL ELECTRICAL CODE 2018 NATIONAL STANDARD PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2016 ASHRAE 90.1 ENERGY CONSERVATION CODE • 2016 NFPA 13
- REQUIREMENTS OF LOCAL AUTHORITY HAVING JURISDICTION

DESIGN CRITERIA:

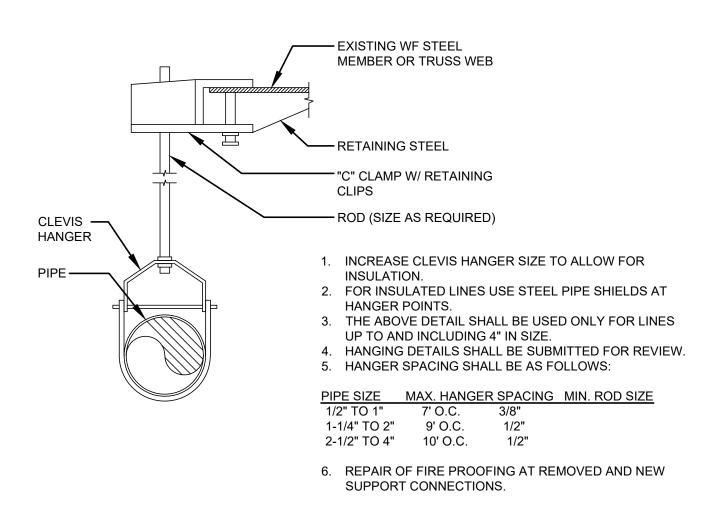
- 1. FIRE SPRINKLER SYSTEM SHALL BE HYDRAULICALLY CALCULATED BASED ON THE DESIGN CRITERIA INDICATED ON THE FLOOR PLANS.
- 2. THE CONTRACTOR SHALL RUN A CERTIFIED FLOW TEST INDICATING THE FOLLOWING INFORMATION AS REQUIRED BY NFPA 13, APPENDIX B TO DETERMINE THE ADEQUACY OF THE WATER PRESSURE. COORDINATE WITH ARCHITECT/ENGINEER IF RESIDUAL WATER PRESSURE IS LOWER THAN THE DESIGN PRESSURE SPECIFIED ON DRAWING. FLOW TEST: HYDRANT NO. , TEST DATE:
- STATIC PRESSURE: PSI
- RESIDUAL PRESSURE: PSI FLOW: GPM
- FLOW HYDRANT
- 3. SPRINKLER HEADS SHALL HAVE A 1/2" NOMINAL ORIFICE AND A TEMPERATURE RATING OF 165°F. TYPE AND MAKE SHALL MATCH EXISTING.
- 4. ALL NEW DROP NIPPLES SHALL BE 1" UNLESS OTHERWISE NOTED.



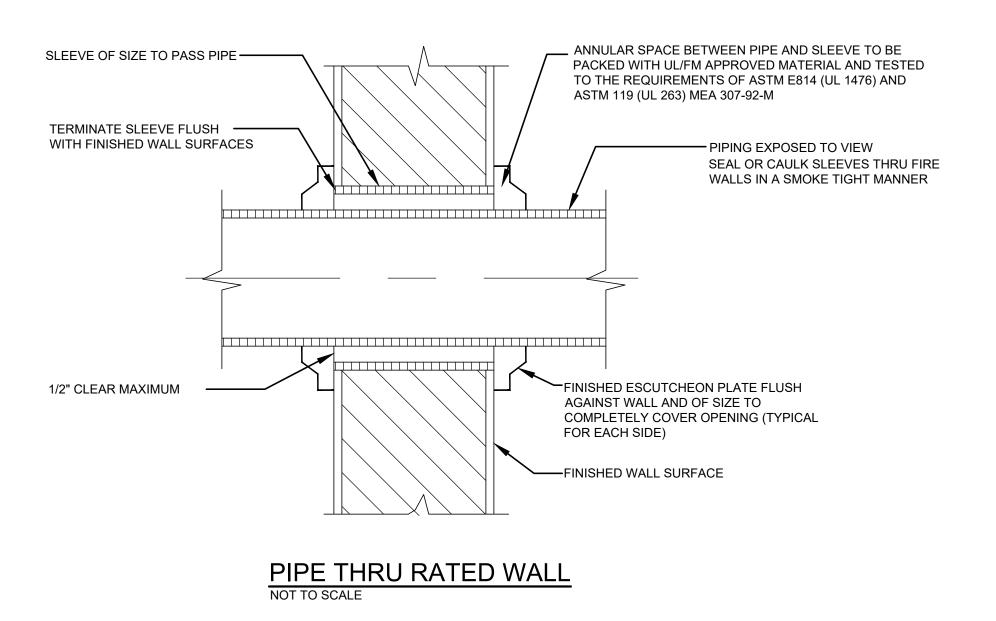
JOHN D. SCHOEPFER, PE PROFESSIONAL ENGINEER, NJ LIC. No. 24GE04561900

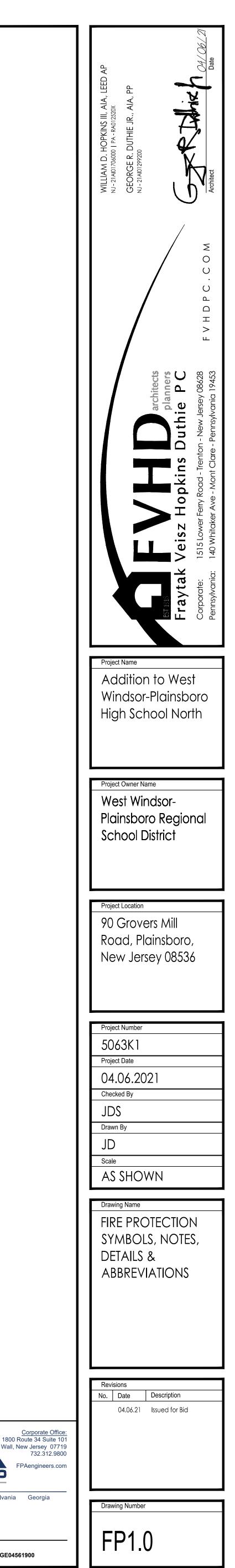


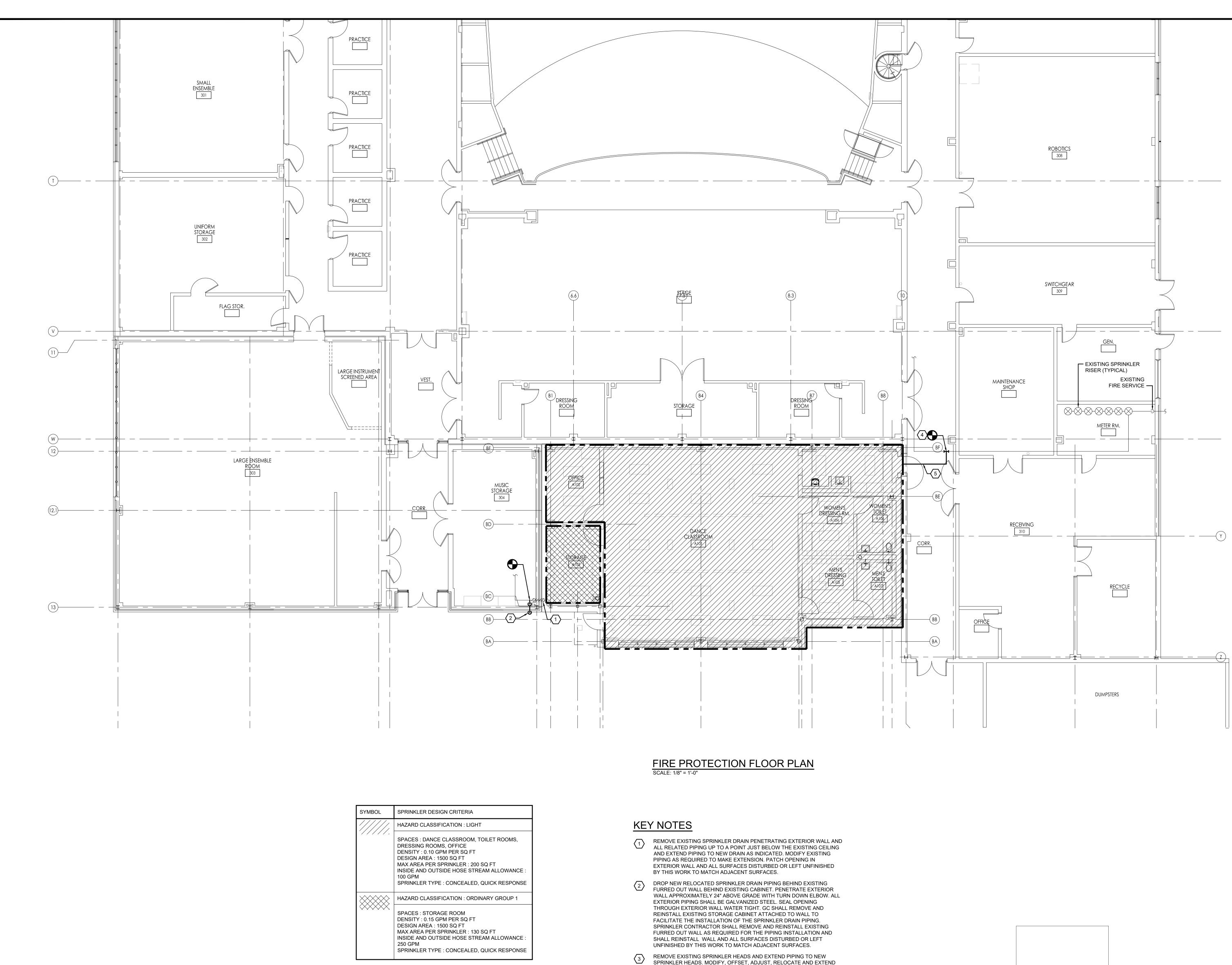
CONCEALED SPRINKLER HEAD

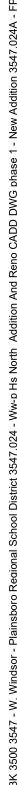




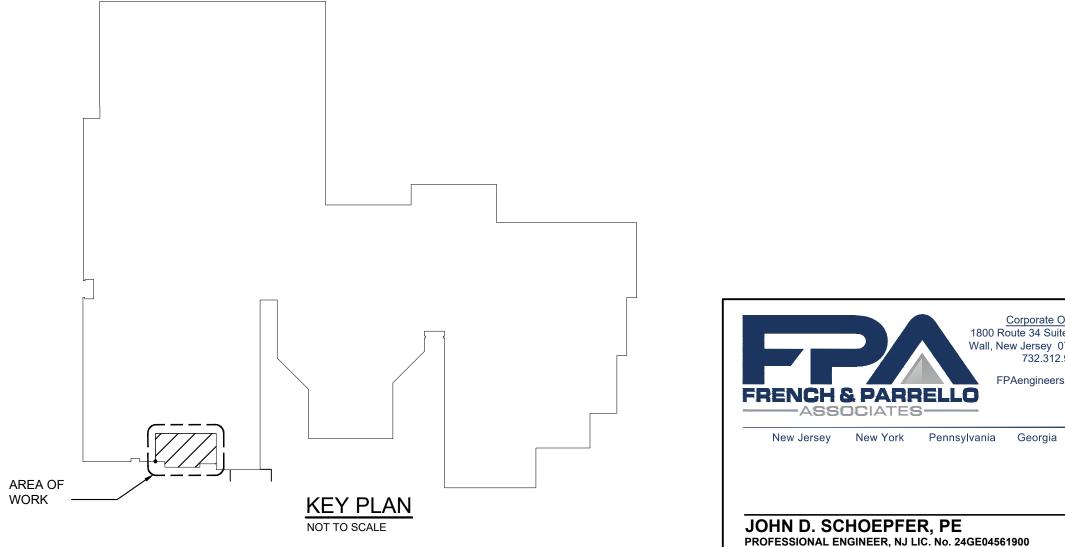


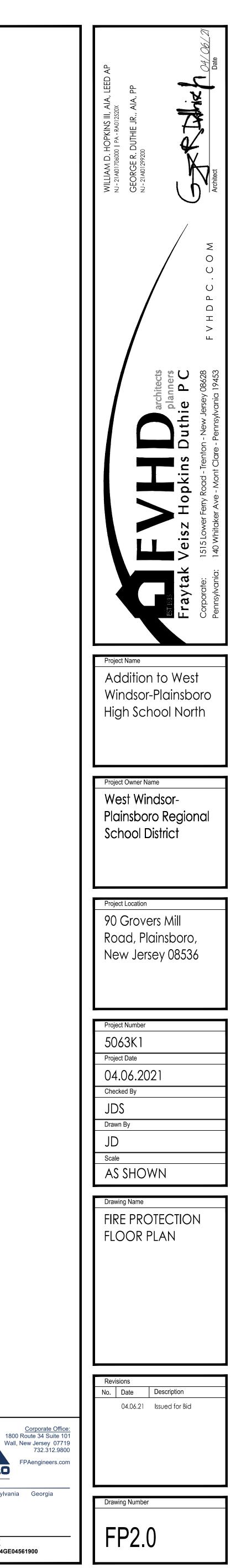






- SPRINKLER HEADS. MODIFY, OFFSET, ADJUST, RELOCATE AND EXTEND EXISTING PIPING AS REQUIRED TO ACCOMMODATE NEW DUCTWORK, CEILING LAYOUT, CEILING HEIGHT, SOFFITS, DIFFUSERS, LIGHTS, CEILING CLOUDS, AND EXIT SIGNS. PROVIDE A NEW SPRINKLER HEAD SYSTEM LAYOUT AS PER NFPA 13 REQUIREMENTS. (REFER TO ALL ARCHITECTURAL CEILING LAYOUT AND DEMOLITION DRAWINGS AND MECHANICAL DRAWINGS FOR AN EXACT SCOPE OF WORK WITH-IN THE EXISTING BULDING). SPRINKLER HEADS SHALL BE LOCATED IN CENTER OF TILE.
- 4 CONNECT TO EXISTING 4" BULK MAIN SERVING THIS ZONE. FIELD VERIFY EXACT LOCATION AND SIZE OF EXISTING BULK MAIN. EXTEND, OFFSET, AND ADJUST EXISTING PIPING AS REQUIRED TO MAKE CONNECTION.
- INSTALL PIPING ABOVE EXISTING CEILING TILE. CAREFULLY REMOVE EXISTING TILE FOR INSTALLATION OF PIPING AND REINSTALL IN ORIGINAL $\langle 5 \rangle$ CONDITION. CONTRACTOR RESPONSIBLE TO REPLACE ANY CEILING TILE DAMAGED AS PART OF THIS WORK WITH NEW TILE TO MATCH EXISTING.





<u>PL</u>	UMBING GENERAL NOTES
1.	DO NOT SCALE FROM THESE DRAWINGS.
2.	ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE AND ADOPTED REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL PLUMBING MATERIALS, INSTALLATION PROCEDURES AND SYSTEM LAYOUTS SHALL BE APPROVED BY ALL APPLICABLE CODE
0	ENFORCEMENT AUTHORITIES HAVING JURISDICTION. THE PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THIS INSTALLATION.
з.	THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON FPA CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF FPA AND ARE INVALID.
4.	REPRODUCTION OF ANY PORTION OF THE CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
5.	UPON CONTRACT AWARD, CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANY TO SCHEDULE ANY UTILITY UPGRADES. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL UTILITY UPGRADES, SECURE ALL PERMITS AND INSPECTIONS.
6.	ALL CONNECTIONS TO EXISTING BUILDING SERVICES SHALL BE CAREFULLY COORDINATED WITH THE UTILITY CO. AND THE OWNER'S SCHEDULE. SERVICE WORK OF THIS NATURE TO OCCUR DURING UNOCCUPIED BUILDING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL EXISTING EQUIPMENT IS OPERATIONAL AFTER ANY SHUTDOWN OCCURS.
7.	CHANGES OR SUBSTITUTIONS OF EQUIPMENT WILL NOT BE ALLOWED WITHOUT SPECIFIC WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER. ALL COSTS RESULTING FROM THE SELECTION OF OTHER THAN SPECIFIED EQUIPMENT SHALL BE BORNE BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO WORK AFFECTING OTHER CONTRACTORS, THE OWNER, OR RE-DESIGN ISSUES.
8.	ALL INDICATED WORK SHALL BE PERFORMED BY THE PLUMBING CONTRACTOR UNLESS OTHERWISE NOTED.
	DO NOT USE ANY PART OF THE OWNER'S BUILDING AS A SHOP, EXCEPT PARTS DESIGNATED FOR SUCH PURPOSES BY THE OWNER.
10.	ALL CONTRACT WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE WRITTEN SPECIFICATIONS FOR THIS PROJECT WHICH ARE CONSIDERED TO BE AN INTEGRAL PART OF THE CONTRACT DOCUMENTS. ALL CONTRACTORS AND SUBCONTRACTORS SHALL MAINTAIN (AT THE JOB SITE) AND REFER TO COPIES OF THE WRITTEN SPECIFICATIONS AS PART OF THESE DRAWINGS. REFER TO THE WRITTEN SPECIFICATIONS IN CONJUNCTION WITH THE PLANS FOR FULL PROJECT SCOPE. IN ALL CASES OF DISCREPANCY BETWEEN PLANS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AND WHERE IT IS UNCLEAR, SUCH CASES SHALL BE REFERRED TO THE ENGINEER FOR ADJUDICATION.
11.	ANY DISCREPANCIES OR INADEQUACIES WITHIN THESE BID DOCUMENTS OR BETWEEN THESE BID DOCUMENTS AND RELATED HVAC, ELECTRICAL, FIRE PROTECTION, ARCHITECTURAL, INTERIOR DECOR AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER PRIOR TO BID SUBMISSION.
12.	THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS BID FOR THE PROPOSED WORK. HE SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMISSION OF BIDS IN WRITING.
	THE PLUMBING CONTRACTOR SHALL REVIEW THESE PLANS AND SPECIFICATIONS, AS WELL AS THE RELATED HVAC, ELECTRICAL, ARCHITECTURAL, INTERIOR DECOR AND SITE ENGINEERING DRAWINGS TO BECOME FAMILIAR WITH THE FULL PROJECT SCOPE. DURING THE COURSE OF CONSTRUCTION COORDINATION AND ACTUAL CONSTRUCTION, THE PLUMBING CONTRACTOR SHALL COOPERATE WITH ALL OTHER CONTRACTORS AND TRADES ON THIS PROJECT TO ENSURE A SMOOTH RUNNING AND CAREFULLY COORDINATED INSTALLATION.
	CONTRACTOR SHALL COORDINATE HIS SCHEDULING WITH THE OWNER AND GENERAL CONTRACTOR TO COMPLY WITH THE OWNERS USAGE OF THE BUILDING. IF ANY UNEXPECTED DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS IS MADE DURING THE COURSE OF WORK, THE CONTRACTOR SHALL REPORT THE DISCOVERY IMMEDIATELY TO
16	THE COURSE OF WORK, THE CONTRACTOR SHALL REPORT THE DISCOVERT IMMEDIATELT TO THE OWNER. THE CONTRACTOR SHALL STOP ANY WORK THAT MAY DISTURB THE SUSPECTED HAZARDOUS MATERIAL. CONTRACTOR SHALL RESUME WORK AFTER ALL HAZARDOUS MATERIAL HAS BEEN REMEDIATED. CONTRACTOR RESPONSIBLE FOR THE PROPER CARE OF ALL OWNER'S EQUIPMENT AND/OR
10.	CONTRACTOR RESPONSIBLE FOR THE PROPER CARE OF ALL OWNER'S EQUIPMENT AND/OR FURNISHINGS WHICH ARE REQUIRED TO BE TEMPORARILY REMOVED, STORED OR RELOCATED. CONTRACTOR SHALL REPLACE, REPAIR OR REIMBURSE OWNER FOR ALL DAMAGES TO SUCH PROPERTIES AT FULL REPLACEMENT VALUE AND EQUIVALENCY. CONTRACTOR SHALL ADVISE OWNER FOR DISPOSITION OR REMOVED EQUIPMENT AND/OR MATERIALS.
17.	CONTRACTOR'S WORK MAY BE REQUIRED OUTSIDE OF DESIGNATED SPACE. ALL SYSTEMS BEING DEMOLISHED AND REMOVED, MODIFIED, AND/OR TERMINATED SHALL BE FIELD VERIFIED TO INSURE NO WORK PERFORMED, INSIDE OR OUTSIDE OF THE DESIGNATED SPACE, SHALL DISRUPT ANY SERVICE OR SYSTEMS OF ANY OTHER AREAS. IF ANY CONDITIONS ARISE THAT ARE NOT IDENTIFIED ON DRAWINGS, IMMEDIATE NOTIFICATION SHALL BE PROVIDED TO THE ENGINEER OR OWNER. NO WORK SHALL PROCEED WITHOUT APPROVALS FROM ENGINEER OR OWNER.
18.	DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY HAVE TO BE ADAPTED TO COMPLY WITH EXISTING BUILDING CONDITIONS. CONTRACTOR SHALL SUBMIT PLUMBING SHOP DRAWINGS, INDICATING LOCATIONS, AND ROUTING OF DUCTS, PIPING, AND WIRING.
9.	PIPING SHOWN ON DRAWINGS SHOW THE GENERAL RUN AND CONNECTIONS AND MAY OR MAY NOT IN ALL PARTS BE SHOWN IN ITS EXACT POSITION. CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING THE PIPING SUITABLE IN EVERY RESPECT FOR THE WORK. PIPING SHALL BE INSTALLED SO THAT ACCESS, CLEARANCE, HEADROOM AND PITCH ARE MAINTAINED. CONTRACTORS OF THE VARIOUS TRADES SHALL COORDINATE THE INSTALLATION.
	ALL CONTRACTORS SHALL PROVIDE CUTTING AND PATCHING FOR THEIR RESPECTIVE TRADES. REMOVE AND REINSTALL CEILING SYSTEM AS REQUIRED FOR THE INSTALLATION OF PLUMBING WORK AND REPLACE IN KIND ANY COMPONENTS DAMAGED BY PERSONNEL OR EQUIPMENT DURING PERFORMANCE OF THE WORK. PATCH AND REPAIR ALL DAMAGE CAUSED BY
22.	REMOVAL, MATCH EXISTING ADJACENT SURFACES. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTION OF DOMESTIC WATER, GAS, SANITARY AND VENT PIPING INCLUDING VALVES, TRIMS AND EQUIPMENT, TO
23.	PLUMBING FIXTURES AT LOCATIONS INDICATED ON THE PLANS. RUN ALL DOMESTIC WATER AND SANITARY WASTE AT LOWEST LEVEL, AND SANITARY VENT AS HIGH AS POSSIBLE THROUGHOUT ENTIRE BUILDING. INSTALL LONG RUNS OF PIPING WITHIN STEEL (JOIST) SPACE AND OTHER PIPING TIGHT TO BOTTOM OF STEEL. COORDINATE AND VERIFY WITH OTHER CONTRACTORS SO AS NOT TO INTERFERE WITH DUCTWORK, LIGHTING SYSTEMS, ETC.
24.	ALL EXPOSED HORIZONTAL AND VERTICAL PIPING SHALL BE INSTALLED IN A NEAT ARRANGEMENT IN LOCATIONS WHICH ARE THE MOST INCONSPICUOUS. VERTICAL DROPS SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND THEIR FINAL LOCATIONS SHALL BE COORDINATED AND RUN WITHIN CHASES, WALLS, SOFFITS WITH OTHER
25.	MECHANICAL/ELECTRICAL FEEDS. PLUMBING CONTRACTOR SHALL REVIEW ARCHITECTURAL DRAWINGS FOR CHASE LOCATIONS TO COORDINATE ALL VERTICAL PIPING ROUTING. ALL SUCH LOCATIONS ARE TO BE REVIEWED WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION. ALL PLUMBING FIXTURES/APPLIANCES SHALL HAVE THEIR OWN INDEPENDENT SHUT-OFF VALVES. INSTALLED IN AN EASILY ACCESSIBLE AND CONVENIENT LOCATION. EACH DOMESTIC
26.	VALVES, INSTALLED IN AN EASILY ACCESSIBLE AND CONVENIENT LOCATION. EACH DOMESTIC WATER BRANCH LINE SHALL HAVE ITS OWN SHUT-OFF VALVE. DOMESTIC HOT WATER HEATER TEMPERATURE/PRESSURE RELIEF VALVES SHALL BE PIPED FULL SIZE TO THE NEAREST APPROVED STANDPIPE OR FLOOR DRAIN. THIS REQUIREMENT
27.	SHALL BE APPLICABLE TO ALL DOMESTIC WATER HEATERS EXCEPT INSTANTANEOUS WATER HEATERS. THE PLUMBING CONTRACTOR SHALL RUN OUT ALL BUILDING DRAINAGE AND WASTE LINES TO WITHIN 5'-0" OF THE BUILDING FOUNDATION AND MAKE FINAL CONNECTIONS TO SITE SYSTEMS
28.	AS INDICATED ON PLANS. COORDINATE WITH SITE ENGINEER. FURNISH AND INSTALL PIPE SLEEVES OR SLEEVE SEAL SYSTEMS AS REQUIRED. SEE
	SPECIFICATION FOR DETAILS. ALL PIPING SYSTEM PENETRATIONS OF FIRE-RATED WALLS AND FLOORS SHALL BE SEALED WITH UL APPROVED FIRE RESISTANT JOINT SEALER TO MAINTAIN FIRE, SMOKE AND DRAFT
	INTEGRITY OF STRUCTURE. SPECIFIED TECHNOLOGIES "PENSIL 200" OR EQUAL, TWO-PART FOAMED-IN-PLACE SILICONE SEALANT. FIRE RESISTANT SEALER SHALL BE TESTED IN ACCORDANCE WITH ASTM 814. INSTALL SEALANT, INCLUDING FOAMING, PACKING AND OTHER ACCESSORY MATERIALS TO FILL OPENINGS WHERE FIRE-RATED WALL PENETRATIONS OCCUR. COMPLY WITH INSTALLATION REQUIREMENTS ESTABLISHED BY TESTERS AND INSPECTION AGENCY.
30.	ALL PENETRATIONS IN FOUNDATION WALLS AND FLOORS INCLUDING SLAB PENETRATIONS SHALL BE SUBSTANTIALLY SEALED BY UTILIZING A NON-CRACKING POLYURETHANE OR SIMILAR CAULK, OR EQUIVALENT IN ORDER TO CLOSE OFF THE SOIL GAS (RADON) ENTRY ROUTES AS REQUIRED BY CODE.
31.	INSULATE ALL NEW HOT WATER AND COLD WATER PIPING SYSTEMS. INSULATION SHALL BE INSTALLED AS A COMPLETE SYSTEM INCLUDING VALVES, FITTINGS, ETC. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
-	INSULATE ROOF DRAIN & OVERFLOW DRAIN BODIES AND ALL INTERIOR STORM PIPING. INSULATION SHALL BE INSTALLED AS A COMPLETE SYSTEM INCLUDING FITTINGS, ETC. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
	ALL CONTRACTORS REMOVING ANY EQUIPMENT, PIPES, DUCTS, CONDUITS, ETC SHALL PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES. PROVIDE GAS PIPING SUPPORTS ON ROOF AT ALL DIRECTION CHANGES AND STRAIGHT RUNS
J.	WITH SPACING NOT EXCEEDING LENGTHS STATED IN TABLE 415.1 OF IFGC, 2015 FOR MATERIALS AND LISTED PIPE SIZES. SUPPORTS SHALL BE SADDLE BLOCK ROLLER TYPE WITH PIPE SECURED TO STAND WITH CLAMP OR METAL BAND. SUPPORT SHALL NOT BE SECURED TO ROOF SURFACE. BOTTOM OF PIPING SHALL BE MINIMUM 3 1/2" ABOVE ROOF SURFACE.
	WHERE SLABS ARE CUT FOR UNDERSLAB PIPING OR BEING REPLACED, COORDINATE WITH ARCHITECTURAL DRAWINGS TO PITCH FLOOR TO FLOOR DRAIN. ALL FLOOR DRAIN TRAPS SHALL BE PROVIDED WITH DEEP SEAL TRAPS AND BARRIER TYPE
	TRAP SEAL PROTECTION DEVICE COMPLYING WITH ASSE 1072.

	PLUMBING LEGEND
SYMBOLS	DESCRIPTION
	SOIL OR WASTE PIPING
	VENT PIPING
	PIPING BURIED OR UNDER FLOOR (SERVICE NOTED)
——AW——	ACID WASTE PIPING
IW	INDIRECT WASTE PIPING
EJ	EJECTOR DISCHARGE PIPING
	DOMESTIC COLD WATER PIPING
	DOMESTIC HOT WATER PIPING
	DOMESTIC HOT WATER CIRCULATION PIPING
— G —	NATURAL GAS PIPING
	EXISTING PIPING TO REMAIN
+ + + + + +	EXISTING PIPING TO BE REMOVED
× × ×	EXISTING PIPING TO BE ABANDONED
•	POINT OF NEW CONNECTION TO EXISTING WORK
₽	WATER HAMMER ARRESTER
Ħ	HOSE BIBB
∃₩	WALL HYDRANT
I 	CLEAN-OUT/PLUG OUTLET
0	CLEAN-OUT DECK PLATE OR GRADE PLATE
∞——	"P" TRAP
— Ş —	BOTTOM PIPE CONNECTION
	TOP PIPE CONNECTION
c	ELBOW TURNED DOWN
o	ELBOW TURNED UP/CONNECTION TO VERTICAL LINE
^	VALVE IN VERTICAL
-@₩-	GATE OR BALL VALVE
-ō•	BALL VALVE
→-	CHECK VALVE
-▲-☆-	OS&Y (OUTSIDE SCREW & YOKE) VALVE
_	GAS COCK
-*	RELIEF VALVE
I	UNION
O	FLOOR DRAIN
	PUMP
— M —	METER
- + - 1 - +	CIRCUIT SETTER ASSEMBLY
	BACKFLOW PREVENTER ASSEMBLY
Y	REGULATOR

DRAIN SCHEDULE

OD OVERFLOW ROOF DRAIN: OVERFLOW RO DRAWINGS. OVERFLOW ROOF DRAIN ST	
CODP CLEAN OUT DECK PLATE: JR SMITH FIGU CLEANOUT WITH ROUND ADJUSTABLE SO THREAD, BRONZE PLUG. SIZE PER PLAN.	CORIA
COWP CLEAN OUT WALL PLATE: JR SMITH FIGU THREAD, BRONZE PLUG. SIZE PER PLAN.	

PLUMBING EQUIPMENT SCHEDULE

<u>-PWH</u>	FROST PROOF WALL HYDRANT: JR SMITH BREAKER.	550
WHA	WATER HAMMER ARRESTER: SIOUX CHIEF MANUFACTURER'S REQUIREMENTS.	ΗYI

PLUMBING FIXTURE SCHEDULE

<u>P-1A</u>	ACCESSIBLE WATER CLOSET: KOHLER K-960 MOUNTED TOILET, SLOAN ROYAL MODEL 111 VALVE WITH TRUE MECHANICAL OVERRIDE AN WITHOUT COVER. MOUNT FIXTURE TO MEET
<u>P-2A</u>	ACCESSIBLE LAVATORY, KOHLER K-2007 "KIN ETF-880-4-BOX-CP-0.5GPM-MLM-IR-BT-FCT HA PLATE, ZURN MODEL ZW1070XL THERMOSTAT GRID DRAIN AND JR SMITH CARRIER FIGURE GUARD. MOUNT FIXTURE TO MEET ADA REQU
<u>P-3A</u>	ACCESSIBLE WATER COOLER: ELKAY LZS8W SINGLE COOLER, WATER FILTER AND WALL C ROOM TEMP, 370W, 120/1Ø. PROVIDE SUPPLY MEET ADA REQUIREMENTS.
<u>P-4A</u>	ACCESSIBLE SINK: SINK & FAUCETS SHALL BE INSTALLED BY PLUMBING CONTRACTOR. SEE CONTRACTOR SHALL PROVIDE DRAIN, TRAP, T FOR A COMPLETE AND OPERATIONAL SYSTEM ALL WORK WITH THE EQUIPMENT CONTRACTO

SYMBOL LIST NOTES

1. SYMBOLS ARE INDICATED FOR GENERAL REFERENCE ONLY. THE PRESENCE OF A SYMBOL DOES NOT INDICATE ITS USE ON THIS PROJECT. REFER TO PLAN DRAWINGS FOR SPECIFIC SYMBOLS USED.

IRON ROOF DRAIN WITH ADJUSTABLE EXTENSION. RECEIVER AND CAST IRON DOME.

DRAIN STANDPIPE. SEE DETAIL ON ARCHITECTURAL PIPE SHALL BE SAME DIAMETER AS ROOF DRAIN.

4023S 5 3/4" DIA, MEDIUM-DUTY CAST IRON RIATED SECURED NICKEL BRONZE TOP. TAPER

4422C, WALL CLEANOUT WITH ACCESS COVER, TAPER

509QT NON-FREEZE WITH INTEGRAL VACUUM

YDRA-RESTER OR APPROVED EQUAL. SIZE PER

- 6057 "HIGHCLIFF" 1.28 GPF ELONGATED FLOOR 11 ESS-1.28-TMO-HW HARD WIRED SENSOR FLUSH AND CHURCH MODEL 9500SSC OPEN FRONT SEAT T ADA REQUIREMENTS.
- KINGSTON" WALL-MOUNTED LAVATORY WITH SLOAN HARD WIRED SENSOR 0.5 GPM FAUCET WITH 4" TRIM ATIC MIXING VALVE, SUPPLIES, STOP VALVES, P-TRAP, 0710. PROVIDE INSULATION KIT BY TRUBRO LAV QUIREMENTS.
- WSLP ENHANCED BOTTLE FILLING STATION WITH CARRIER, 8 GPH OF 50°F DRINKING WATER 90°F LY, STOP VALVE AND P-TRAP. MOUNT FIXTURE TO
- BE FURNISHED BY EQUIPMENT CONTRACTOR AND E ARCHITECTURAL DRAWINGS. PLUMBING P, TAILPIECE, SUPPLIES, STOPS, ETC AS REQUIRED EM AND MAKE ALL FINAL CONNECTIONS. COORDINATE TOR. INSULATE TRAP, SUPPLIES AND ANGLE STOPS WITH INSULATION KIT BY TRUBRO LAV GUARD.

PLAN	PLUMBING						
NO	FIXTURE	WASTE	TRAP	VENT	CW	HW	NOTES
P-1A	TOILET	4"	-	2"	1 1/2"	-	1,2
P-2A	LAVATORY	1 1/2"	1 1/2"	1 1/2"	1/2"	1/2"	1,3
P-3A	WATER COOLER W/ BOTTLE FILLER	1 1/2"	1 1/2"	1 1/2"	1/2"	-	1
P-4A	SINK	1 1/2"	1 1/2"	1 1/2"	3/4"	3/4"	1,3
ARO 2. LOO	TALL FIXTURES IN ACC CHITECTURAL DRAWIN CATE TRIP LEVER/HAN ULATE ALL EXPOSED	NGS FOR EXA	ACT TYPE, C N SIDE OF C	OUNT, AND L	OCATION OF NT PER ADA F	HANDICAP F	IXTURES. ITS.

	PLUMBING ABBREVIATIONS						
AW	ACID WASTE	IE	INVERT ELEVATION				
со	CLEANOUT	LAV	LAVATORY				
CODP	CLEANOUT DECK PLATE	OSY	OUTSIDE SCREW & YOKE GATE				
COG	CLEANOUT GRADE		VALVE				
COWP	CLEANOUT WALL PLATE	PSI	POUNDS PER SQUARE INCH				
CW	COLD WATER		(GAUGE)				
DN	DOWN (PENETRATES FLOOR SLAB)	SAN	SANITARY				
DFU	DRAINAGE FIXTURE UNIT	ST	STORM				
EJDIS	EJECTOR DISCHARGE	SQ FT	SQUARE FOOT				
EWC	ELECTRIC WATER COOLER	TP	TRAP PRIMER				
FPWH	FROST PROOF WALL HYDRANT	TW	TEMPERED WATER				
FD	FLOOR DRAIN	UG					
FU	FIXTURE UNIT	UP	UP (PENETRATES FLOOR SLAB)				
FT	FEET	UR	URINAL				
G	GAS	V	VENT				
GPM	GALLONS PER MINUTE	VIF	VERIFY IN FIELD				
GAL	GALLONS	VTR					
HB	HOSE BIBB	WC					
HW	HOT WATER		WATER FIXTURE UNITS				
HWR	HOT WATER RETURN	WHA	WATER HAMMER ARRESTOR				
IW	INDIRECT WASTE						

APPLICABLE CODES:

EQUAL.

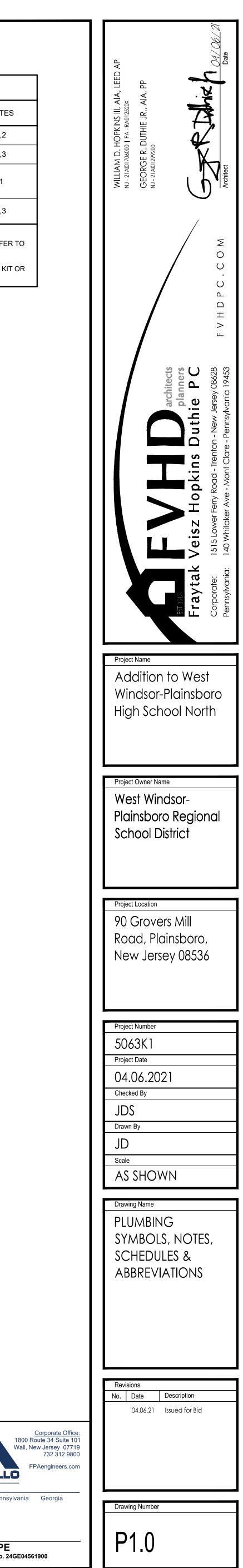
ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST CODES AND SUBCODES AS ADOPTED BY THE STATE OF NEW JERSEY:

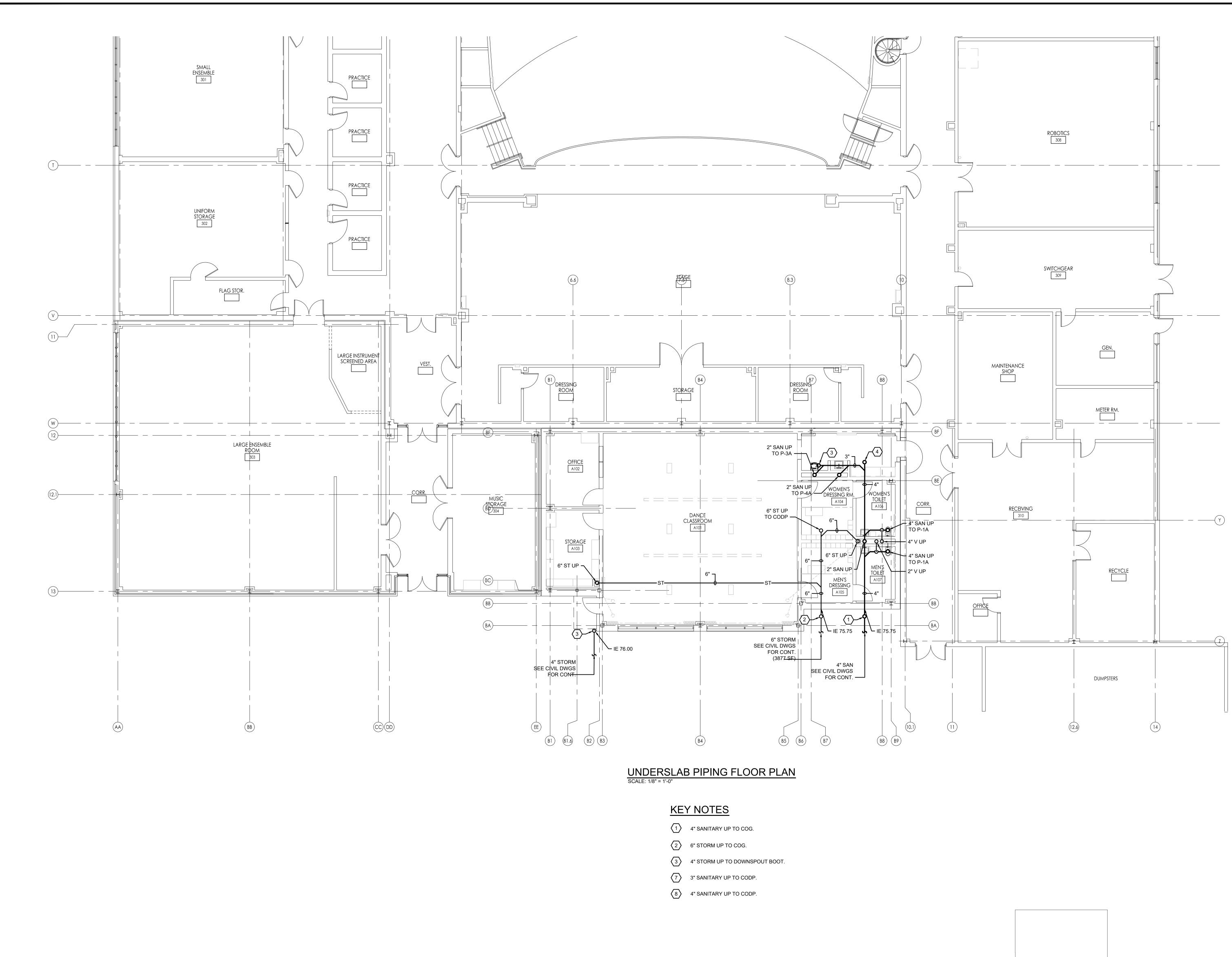
- NEW JERSEY UNIFORM CONSTRUCTION CODE (NJUCC)
- REHABILITATION SUBCODE 5:23-6 ADMINISTRATIVE CODE: TITLE 6
- 2018 INTERNATIONAL BUILDING CODE NJ EDITION
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- 2018 NATIONAL STANDARD PLUMBING CODE 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2016 ASHRAE 90.1 ENERGY CONSERVATION CODE • 2016 NFPA 13
- REQUIREMENTS OF LOCAL AUTHORITY HAVING JURISDICTION

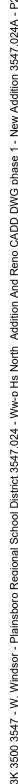


JOHN D. SCHOEPFER, PE PROFESSIONAL ENGINEER, NJ LIC. No. 24GE04561900

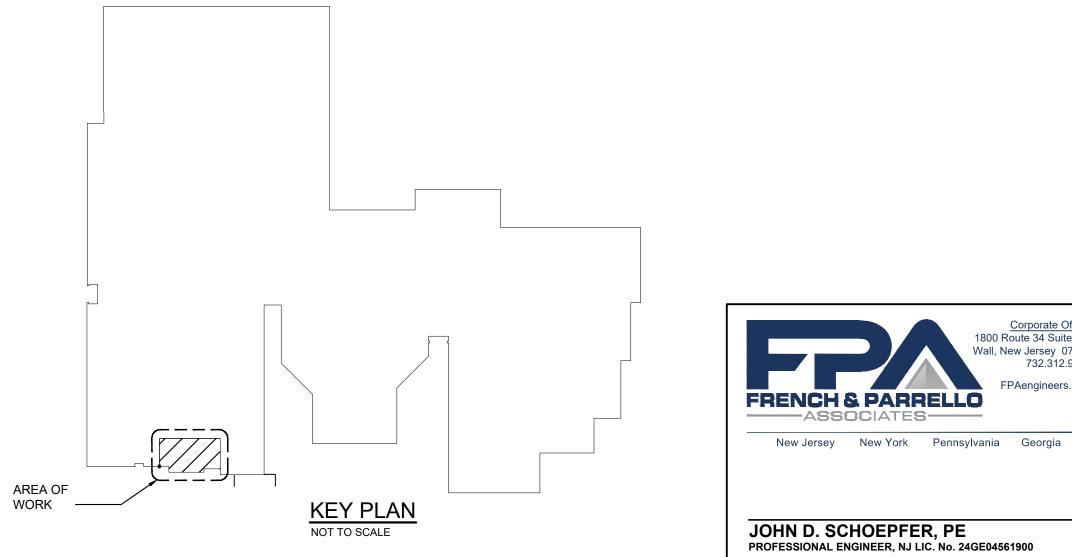


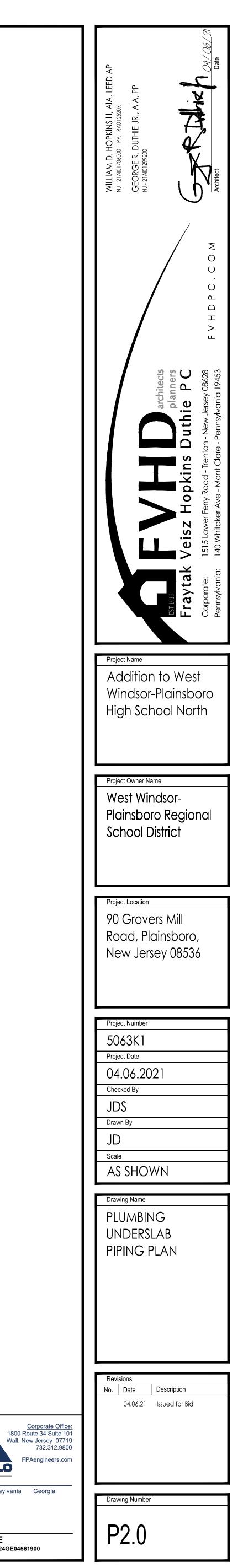


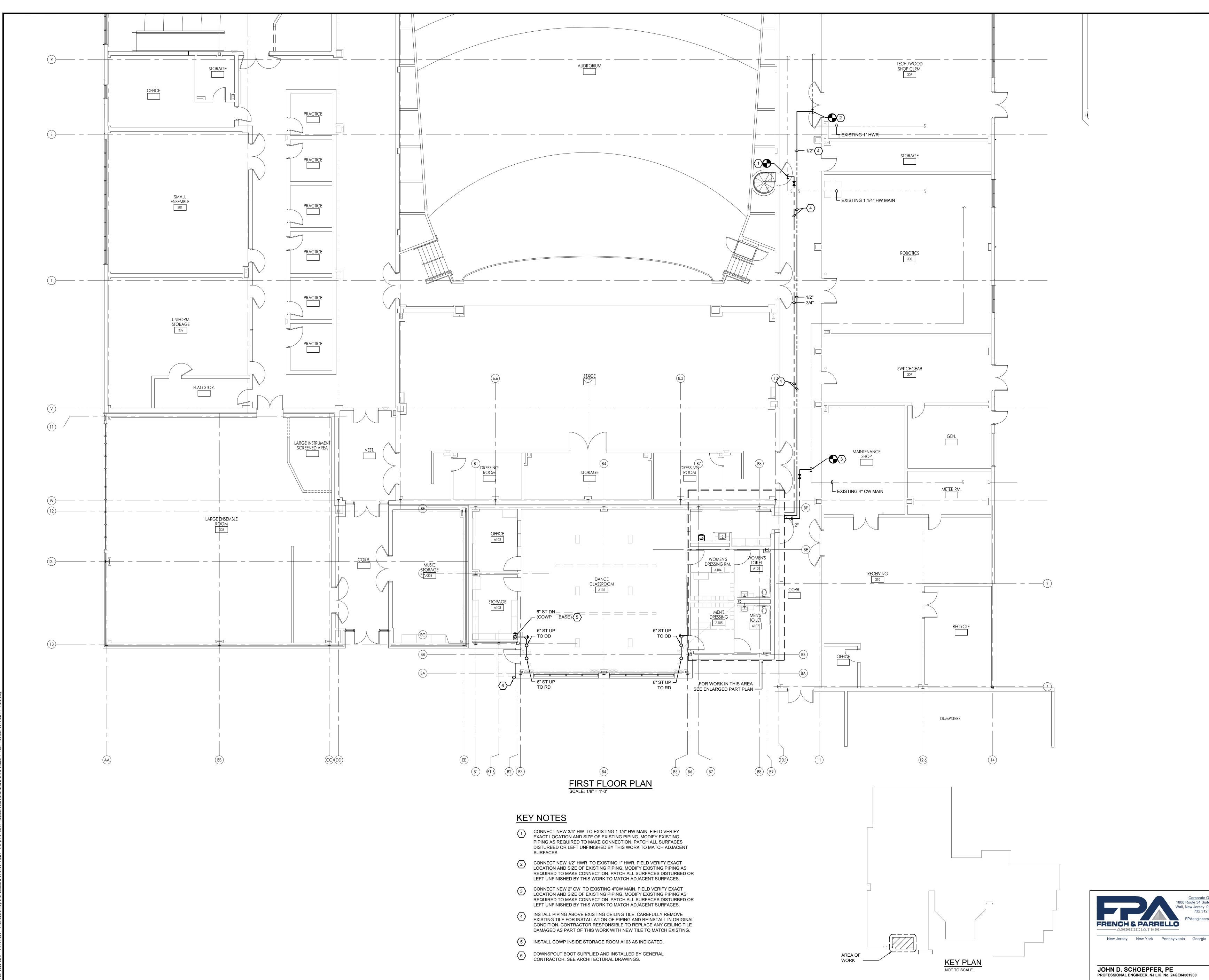




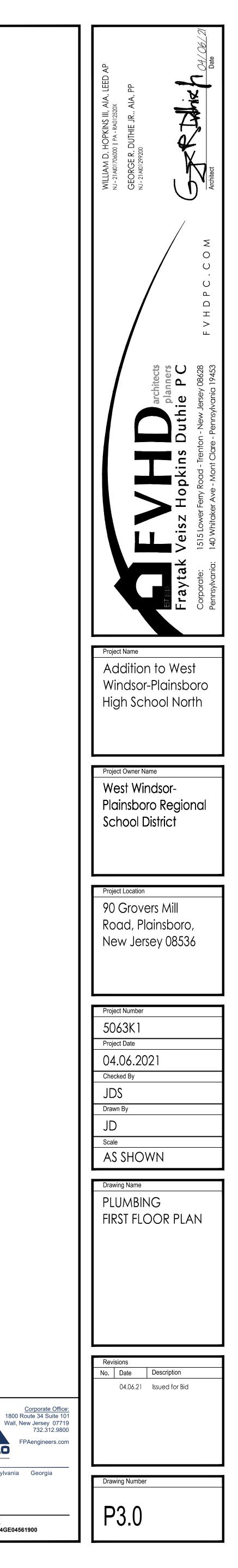
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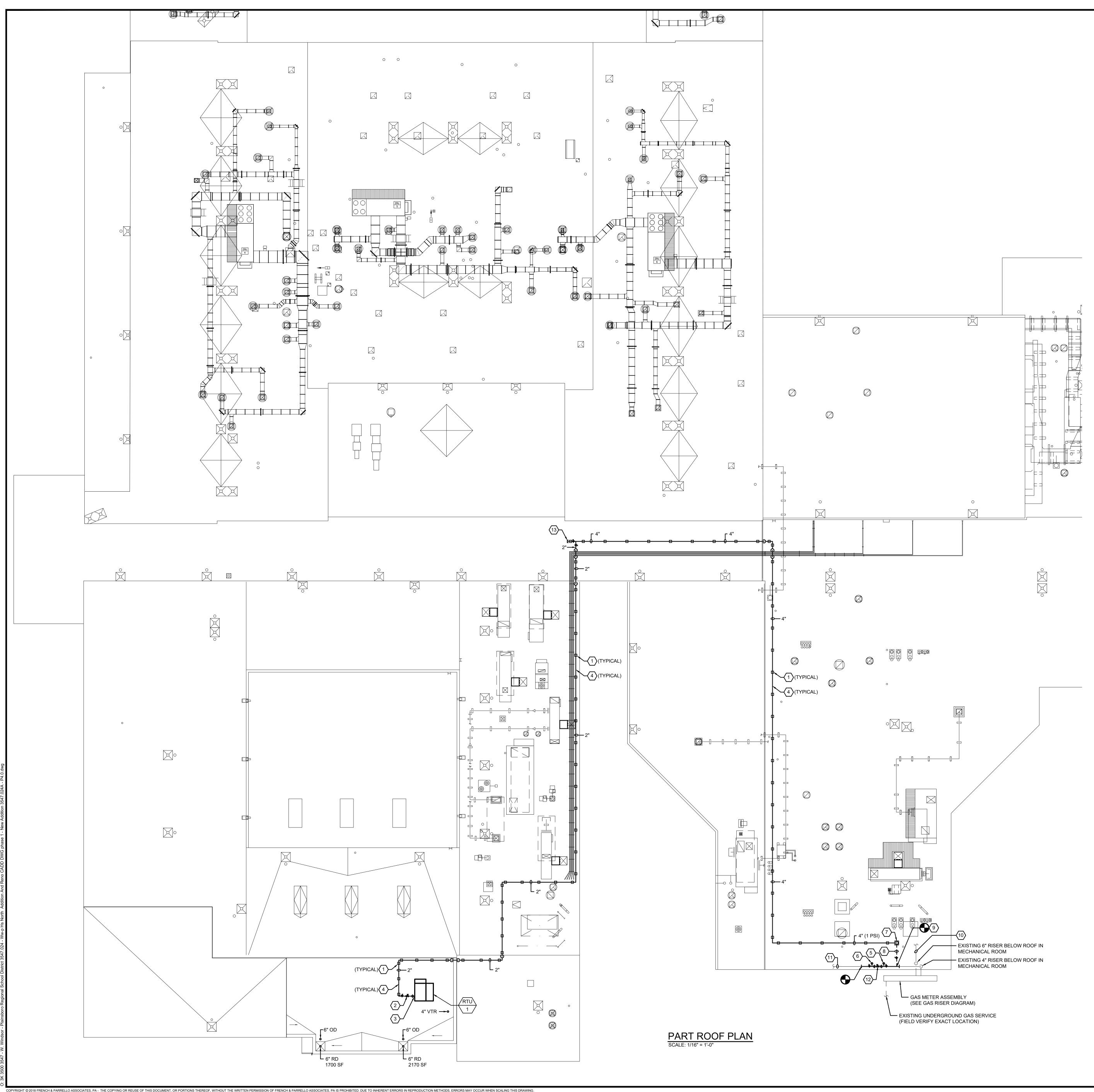




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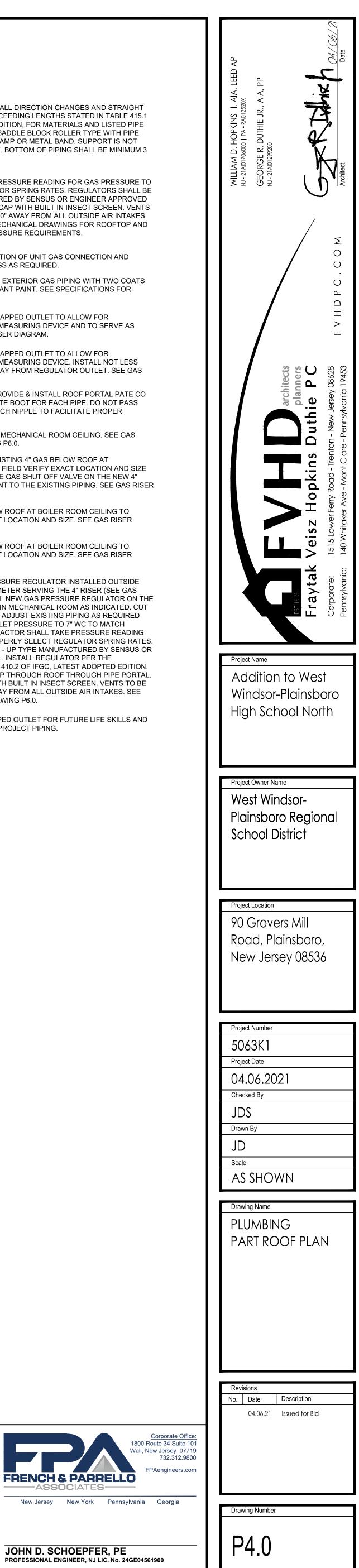


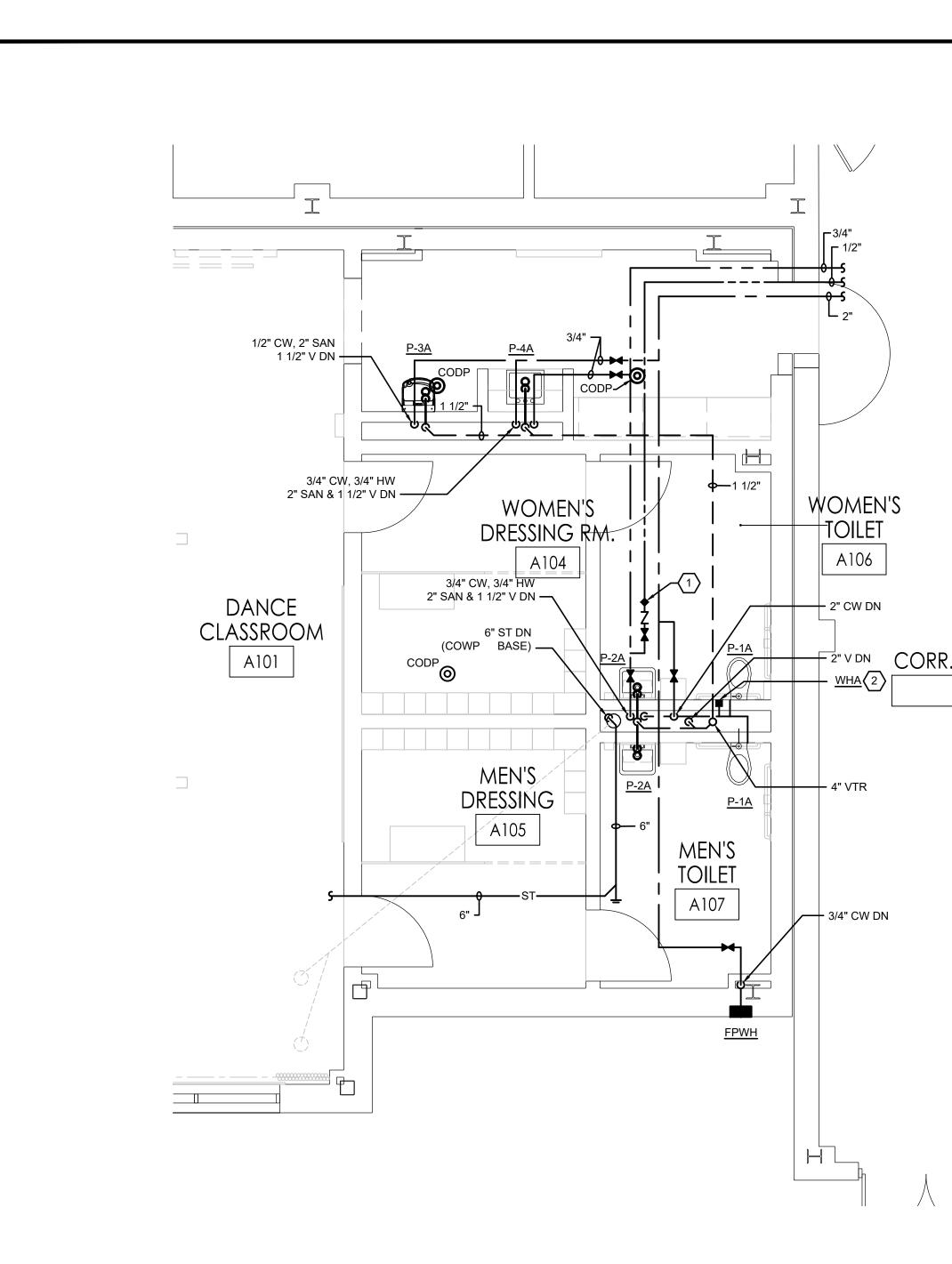
CIATES



KEY NOTES

- PROVIDE PIPE SUPPORTS AT ALL DIRECTION CHANGES AND STRAIGHT $\left< 1 \right>$ RUNS WITH SPACING NOT EXCEEDING LENGTHS STATED IN TABLE 415.1 OF IFGC, LATEST ADOPTED EDITION, FOR MATERIALS AND LISTED PIPE SIZES. SUPPORTS SHALL BE SADDLE BLOCK ROLLER TYPE WITH PIPE SECURED TO STAND WITH CLAMP OR METAL BAND. SUPPORT IS NOT SECURED TO ROOF SURFACE. BOTTOM OF PIPING SHALL BE MINIMUM 3 1/2" ABOVE ROOF SURFACE.
- CONTRACTOR SHALL TAKE PRESSURE READING FOR GAS PRESSURE TO PROPERLY SELECT REGULATOR SPRING RATES. REGULATORS SHALL BE LOCK - UP TYPE MANUFACTURED BY SENSUS OR ENGINEER APPROVED EQUAL. PROVIDE WITH VENT CAP WITH BUILT IN INSECT SCREEN. VENTS TO BE LOCATED MINIMUM 10'-0" AWAY FROM ALL OUTSIDE AIR INTAKES AND WINDOWS. REFER TO MECHANICAL DRAWINGS FOR ROOFTOP AND MAKE UP AIR UNITS GAS PRESSURE REQUIREMENTS.
- FIELD VERIFY SIZE AND LOCATION OF UNIT GAS CONNECTION AND PROVIDE TRANSITION FITTINGS AS REQUIRED.
- CLEAN, PRIME AND PAINT ALL EXTERIOR GAS PIPING WITH TWO COATS $\langle 4 \rangle$ MARINE GRADE RUST RESISTANT PAINT. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- $\left< 5 \right>$ PROVIDE TEE FITTING WITH CAPPED OUTLET TO ALLOW FOR CONNECTION OF PRESSURE MEASURING DEVICE AND TO SERVE AS SEDIMENT TRAP. SEE GAS RISER DIAGRAM.
- $\langle 6 \rangle$ PROVIDE TEE FITTING WITH CAPPED OUTLET TO ALLOW FOR CONNECTION OF PRESSURE MEASURING DEVICE. INSTALL NOT LESS THAN 10 PIPE DIAMETERS AWAY FROM REGULATOR OUTLET. SEE GAS RISER DIAGRAM.
- 4" GAS DOWN THRU ROOF. PROVIDE & INSTALL ROOF PORTAL PATE CO OR EQUAL. PROVIDE SEPARATE BOOT FOR EACH PIPE. DO NOT PASS MORE THAN (1) PIPE THRU EACH NIPPLE TO FACILITATE PROPER SEALING.
- NEW 4" GAS BELOW ROOF AT MECHANICAL ROOM CEILING. SEE GAS RISER DIAGRAM ON DRAWING P6.0. $\left< 8 \right>$
- $\langle 9 \rangle$ CONNECT NEW 4" GAS TO EXISTING 4" GAS BELOW ROOF AT MECHANICAL ROOM CEILING. FIELD VERIFY EXACT LOCATION AND SIZE OF EXISTING PIPING. PROVIDE GAS SHUT OFF VALVE ON THE NEW 4" LINE NEAR CONNECTION POINT TO THE EXISTING PIPING. SEE GAS RISER DIAGRAM ON DRAWING P6.0.
- $\langle 10 \rangle$ EXISTING 6" GAS MAIN BELOW ROOF AT BOILER ROOM CEILING TO REMAIN. FIELD VERIFY EXACT LOCATION AND SIZE. SEE GAS RISER DIAGRAM ON DRAWING P6.0.
- $\langle 11 \rangle$ EXISTING 4" GAS MAIN BELOW ROOF AT BOILER ROOM CEILING TO REMAIN. FIELD VERIFY EXACT LOCATION AND SIZE. SEE GAS RISER DIAGRAM ON DRAWING P6.0.
- $\langle 12 \rangle$ REMOVE EXISTING GAS PRESSURE REGULATOR INSTALLED OUTSIDE DOWNSTREAM OF THE GAS METER SERVING THE 4" RISER (SEE GAS RISER DIAGRAM) AND INSTALL NEW GAS PRESSURE REGULATOR ON THE EXISTING 4" LINE AT CEILING IN MECHANICAL ROOM AS INDICATED. CUT BACK, EXTEND, OFFSET, AND ADJUST EXISTING PIPING AS REQUIRED FOR INSTALLATION. SET OUTLET PRESSURE TO 7" WC TO MATCH EXISTING PRESSURE. CONTRACTOR SHALL TAKE PRESSURE READING FOR GAS PRESSURE TO PROPERLY SELECT REGULATOR SPRING RATES. REGULATOR SHALL BE LOCK - UP TYPE MANUFACTURED BY SENSUS OR ENGINEER APPROVED EQUAL. INSTALL REGULATOR PER THE REQUIREMENTS OF SECTION 410.2 OF IFGC, LATEST ADOPTED EDITION. EXTEND REGULATOR VENT UP THROUGH ROOF THROUGH PIPE PORTAL PROVIDE WITH VENT CAP WITH BUILT IN INSECT SCREEN. VENTS TO BE LOCATED MINIMUM 10'-0" AWAY FROM ALL OUTSIDE AIR INTAKES. SEE GAS RISER DIAGRAM ON DRAWING P6.0.
- PROVIDE 4" VALVED AND CAPPED OUTLET FOR FUTURE LIFE SKILLS AND
MEDIA CENTER RENOVATION PROJECT PIPING.





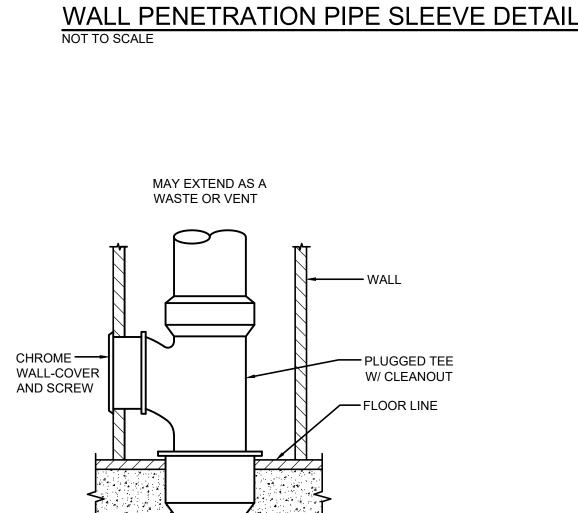
ENLARGED PLAN - DANCE CLASSROOM

KEY NOTES

SET BALANCING VALVE TO 1 GPM.

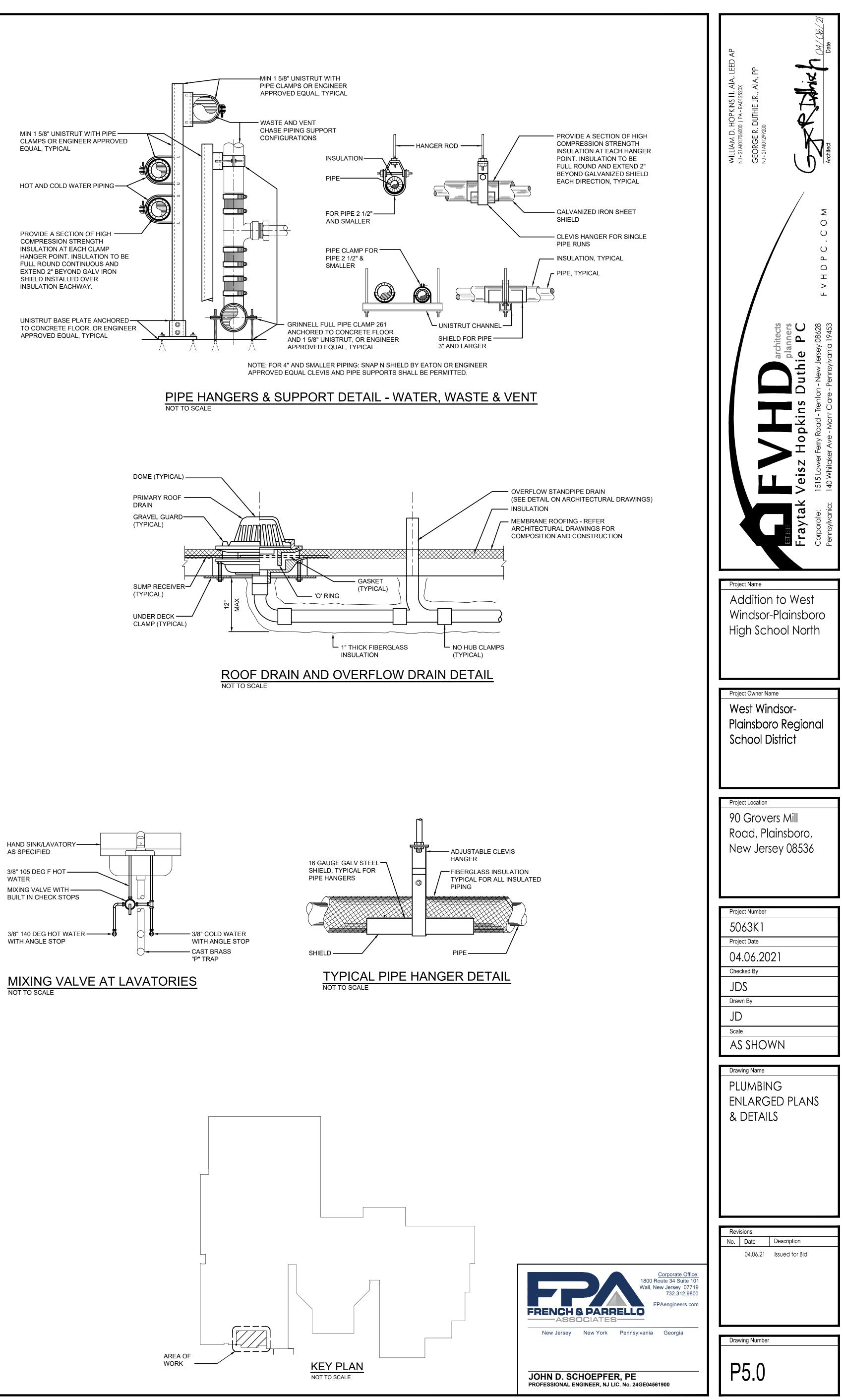
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2 PROVIDE ACCESS PANEL FOR WHA ACCESS.



WALL CLEANOUT DETAIL

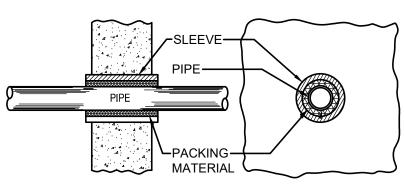
PIPING



–PACKING MATERIAL (CONCRETE AND FOUNDATION WALLS) NOTE: NO STRUCTURAL STRAIN SHOULD BE TRANSMITTED FROM ANY WALL TO THE PIPING SYSTEM THE SLEEVING, RELIEVING ARCH, OR STRUCTURAL BEAM SUPPORT METHODS PROTECT THE PIPING FROM

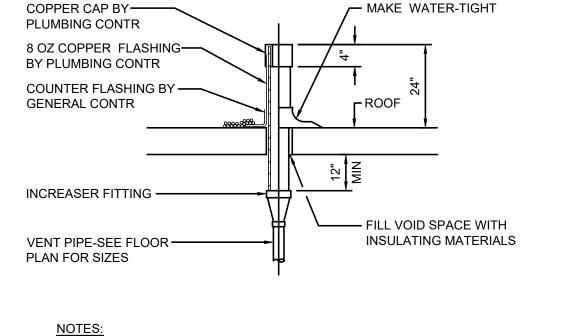
SUPERIMPOSED LOADS THE "PACKING" MATERIAL AROUND THE PIPE IS

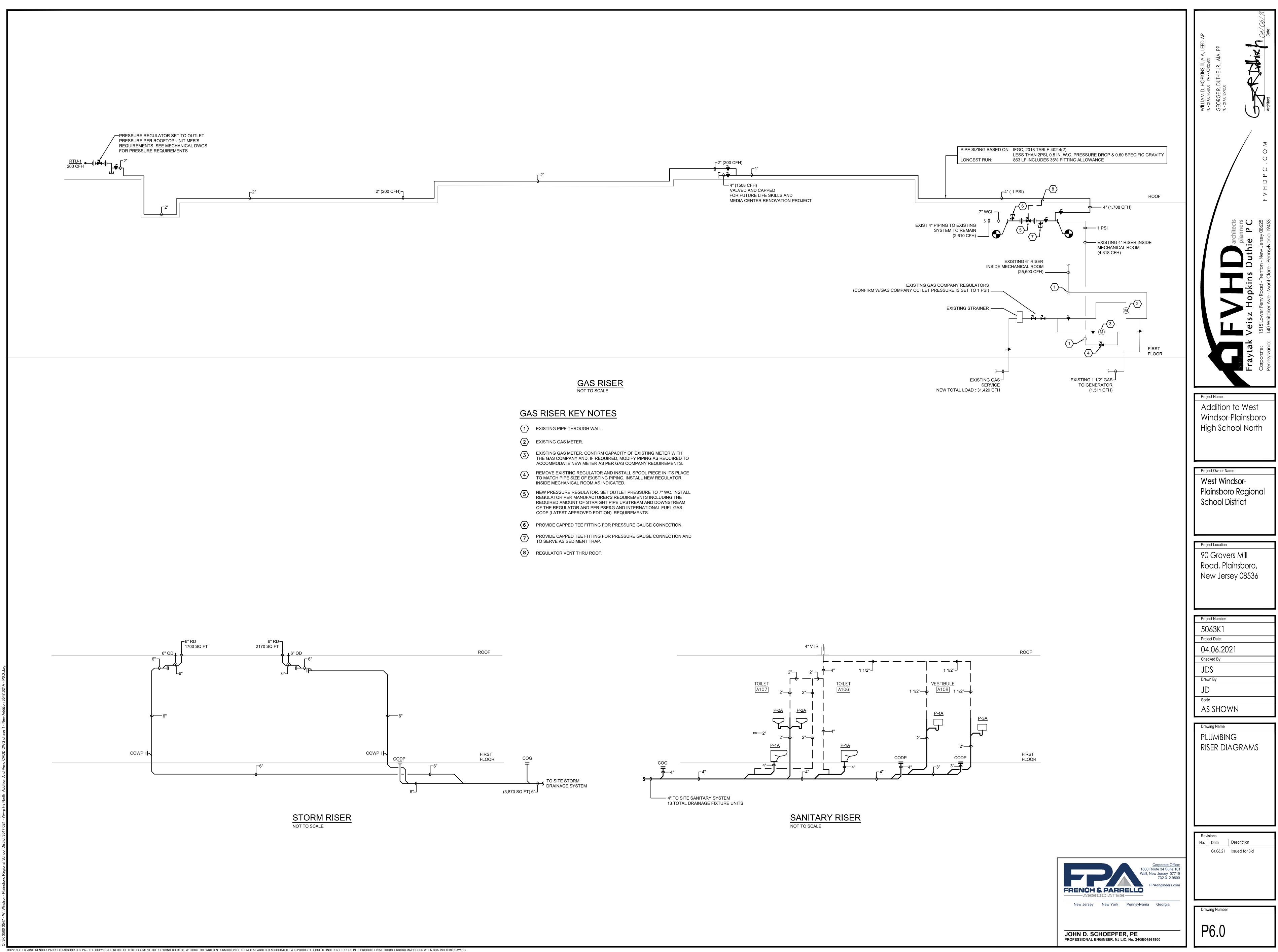
FLEXIBLE ENOUGH TO RESPOND TO SETTLING IN THE STRUCTURE OR



VENT INCREASER DETAIL NOT TO SCALE

- TO COORDINATE WITH OTHER TRADES. 5. ROOFING CONTRACTOR SHALL SUPPLY BOOT FLASHING FOR RUBBER ROOF SYSTEMS.
- PROPER FLASHING. 4. ALL VENT RISERS SHALL BE OFFSET AS REQUIRED TO CLEAR ROOF STRUCTURE, DUCTWORK OR MECH ROOFTOP UNITS. PLUMBING CONTRACTOR
- . MINIMUM SIZE OF VENT EXTENSION THROUGH ROOF TO BE 3". CHANGE OF DIAMETER TO BE MADE AT LEAST 12" BELOW ROOF. 3. VENT PIPE TO EXTEND 24" ABOVE ROOF AND TO BE SEALED WATERTIGHT BY





	MECHANICAL LEGEND
SYMBOLS	
	NEW DUCT OR PIPE
	EXISTING DUCT OR PIPE
<i>'//////</i>	TO BE REMOVED
	FLEX TO DIFFUSER (5'-0" MAXIMUM)
	RISE IN DUCT
	DROP IN DUCT
IIFC	FLEXIBLE DUCT CONNECTION
\boxtimes	CEILING DIFFUSER 4 WAY BLOW
	CEILING DIFFUSER 3 WAY BLOW
	CEILING DIFFUSER 2 WAY BLOW
	CEILING DIFFUSER 1 WAY BLOW
	RETURN OR EXHAUST REGISTER
VD r	VOLUME DAMPER
FD 🗲	FIRE DAMPER AND ACCESS DOOR
M	MOTOR OPERATED DAMPER
	UNDERCUT DOOR
	3-HR FIRE SMOKE DAMPER AND ACCESS DOOR
① 	THERMOSTAT AND HUMIDISTAT
Ø	CARBON MONOXIDE AND NATURAL GAS DETECTION SENSOR
Θ	HUMIDISTAT
(SD)	DUCT SMOKE DETECTOR
Ø	CO2 DETECTOR
0	PURGE OVERRIDE
\bullet	CONNECT TO EXISTING
$\langle \mathbf{X} \rangle$	KEY NOTE DESIGNATION
$\left\langle \begin{array}{c} x \\ x \end{array} \right\rangle$	TOP: EQUIPMENT DESIGNATION BOTTOM: UNIT NUMBER
X X-E	TOP: EQUIPMENT DESIGNATION BOTTOM: ROOM NUMBER - EXISTING
CW	COLD WATER PIPING
HWS	HOT WATER SUPPLY PIPING
HWR	HOT WATER RETURN PIPING
— CHWS —	CHILLED WATER SUPPLY PIPING
	CHILLED WATER RETURN PIPING
PC	PUMPED CONDENSATE PIPING
CD	CONDENSATE DRAIN PIPING
bd	SHUT-OFF VALVE
	BALANCE VALVE
	THROTTLING VALVE
₩	MOTOR OPERATED VALVE, THREE WAY
—M —	MOTOR OPERATED VALVE, TWO WAY
	CHECK VALVE
	GAS COCK
— ——-	UNION
-','	STRAINER WITH BLOWDOWN
*	RELIEF VALVE
Ø	PRESSURE GAUGE

	Ν
AFF	ABOVE FINISHE
AD	ACCESS DOOR
ATC	AUTOMATIC TEN
BDD	BACKDRAFT DAM
BMS	BUILDING MANA
BOD	BOTTOM OF DUC
BOP	BOTTOM OF PIPI
CD	CEILING DIFFUS
CO	CLEANOUT
CFM	CUBIC FEET PEF
DCV	DEMAND CONTR
DS	DUCT SILENSER
DIA	DIAMETER
Е	EXISTING
EC	ELECTRICAL CO
EG	EXHAUST GRILL
EG	EXHAUST REGIS
ETR	EXISTING TO RE

APPLICABLE CODES:

- REHABILITATION SUBCODE 5:23-6 ADMINISTRATIVE CODE: TITLE 6 2018 INTERNATIONAL BUILDING CODE - NJ EDITION 2017 NATIONAL ELECTRICAL CODE
- 2018 NATIONAL STANDARD PLUMBING CODE 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE • 2016 ASHRAE 90.1 ENERGY CONSERVATION CODE
- 2016 NFPA 13

SYMBOL LIST NOTES 1. SYMBOLS ARE INDICATED FOR GENERAL REFERENCE ONLY. THE PRESENCE OF A SYMBOL DOES NOT INDICATE ITS USE ON THIS PROJECT. REFER TO PLAN DRAWINGS FOR SPECIFIC SYMBOLS USED.

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MECHANICAL ABBREVIATIONS

ED FLOOR	EV	EXHAUST VENTILATOR
R	FVAV	FAN POWERED VAV BOXES
EMPERATURE CONTROLS	IOM	INSTALLATION AND OPERATION MANUAL
AMPER	MC	MECHANICAL CONTRACTOR
AGEMENT SYSTEM	MOD	MOTOR OPERATED DAMPER
JCT	NAE	NETWORK AUTOMATION ENGINE
PE	OAI	OUTDOOR AIR INTAKE
SER	OC	ON CENTER
	PC	PLUMBING CONTRACTOR
ER MINUTE	RP	RADIANT PANEL
ROL VENTILATION	RR	RETURN GRILLE
R	RR	RETURN REGISTER
	SG	SUPPLY GRILLE
	SR	SUPPLY REGISTER
ONTRACTOR	TG	TRANSFER GRILLE
LE	VAV	VARIABLE AIR VOLUME BOXES
ISTER	WMS	WIRE MESH SCREEN
EMAIN	WR	WALL REGISTER

ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST CODES AND SUBCODES AS ADOPTED BY THE STATE OF NEW JERSEY: NEW JERSEY UNIFORM CONSTRUCTION CODE (NJUCC)

REQUIREMENTS OF LOCAL AUTHORITY HAVING JURISDICTION

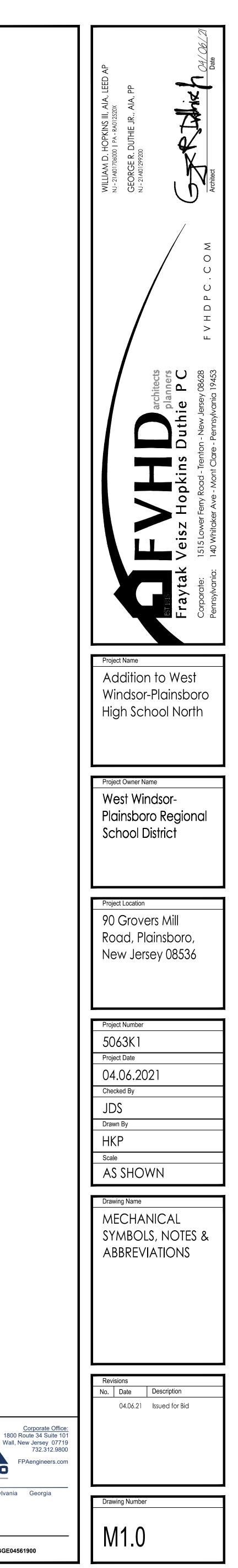
MECHANICAL GENERAL NOTES:

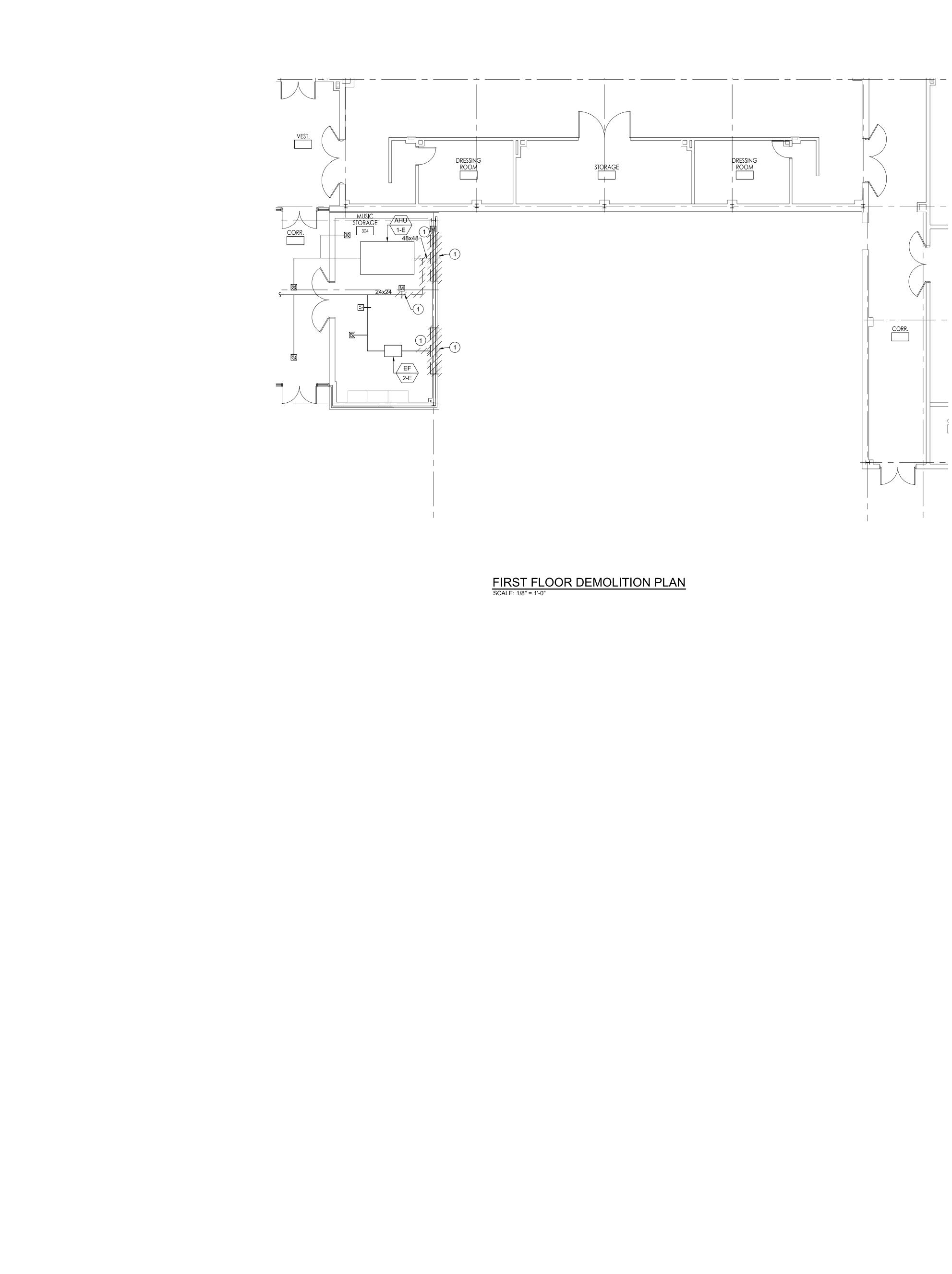
1. DO NOT SCALE FROM THESE DRAWINGS.

- 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE AND ADOPTED REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MECHANICAL MATERIALS, INSTALLATION PROCEDURES AND SYSTEM LAYOUTS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THIS INSTALLATION.
- 3. THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON FPA CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF FPA AND ARE INVALID.
- 4. REPRODUCTION OF ANY PORTION OF THE CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
- 5. UPON CONTRACT AWARD, CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANY TO SCHEDULE ANY UTILITY UPGRADES. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL UTILITY UPGRADES, SECURE ALL PERMITS AND INSPECTIONS. 6. ALL CONNECTIONS TO EXISTING BUILDING SERVICES SHALL BE CAREFULLY COORDINATED
- WITH THE UTILITY CO AND THE OWNER'S SCHEDULE. SERVICE WORK OF THIS NATURE TO OCCUR DURING UNOCCUPIED BUILDING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL EXISTING EQUIPMENT IS OPERATIONAL AFTER ANY SHUTDOWN OCCURS. 7. CHANGES OR SUBSTITUTIONS OF EQUIPMENT WILL NOT BE ALLOWED WITHOUT SPECIFIC
- WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER. ALL COSTS RESULTING FROM THE SELECTION OF OTHER THAN SPECIFIED EQUIPMENT SHALL BE BORNE BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO WORK AFFECTING OTHER CONTRACTORS, THE OWNER, OR RE-DESIGN ISSUES.
- 8. ALL INDICATED WORK SHALL BE PERFORMED BY THE MECHANICAL CONTRACTOR UNLESS OTHERWISE NOTED.
- 9. DO NOT USE ANY PART OF THE OWNER'S BUILDING AS A SHOP, EXCEPT PARTS DESIGNATED FOR SUCH PURPOSES BY THE OWNER.
- 10. ALL CONTRACT WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE WRITTEN SPECIFICATIONS FOR THIS PROJECT WHICH ARE CONSIDERED TO BE AN INTEGRAL PART OF THE CONTRACT DOCUMENTS. ALL CONTRACTORS AND SUBCONTRACTORS SHALL MAINTAIN (AT THE JOB SITE) AND REFER TO COPIES OF THE WRITTEN SPECIFICATIONS AS PART OF THESE DRAWINGS. REFER TO THE WRITTEN SPECIFICATIONS IN CONJUNCTION WITH THE PLANS FOR FULL PROJECT SCOPE. IN ALL CASES OF DISCREPANCY BETWEEN PLANS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AND WHERE IT IS UNCLEAR, SUCH CASES SHALL BE REFERRED TO THE ENGINEER FOR ADJUDICATION.
- 11. ANY DISCREPANCIES OR INADEQUACIES WITHIN THESE BID DOCUMENTS OR BETWEEN THESE BID DOCUMENTS AND RELATED PLUMBING, ELECTRICAL, FIRE PROTECTION, ARCHITECTURAL, INTERIOR DECOR AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER PRIOR TO BID SUBMISSION.
- 12. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS BID FOR THE PROPOSED WORK. HE SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMISSION OF BIDS IN WRITING.
- 13. THE MECHANICAL CONTRACTOR SHALL REVIEW THESE PLANS AND SPECIFICATIONS, AS WELL AS THE RELATED PLUMBING, ELECTRICAL, ARCHITECTURAL, INTERIOR DECOR AND SITE ENGINEERING DRAWINGS TO BECOME FAMILIAR WITH THE FULL PROJECT SCOPE. DURING THE COURSE OF CONSTRUCTION COORDINATION AND ACTUAL CONSTRUCTION, THE MECHANICAL CONTRACTOR SHALL COOPERATE WITH ALL OTHER CONTRACTORS AND TRADES ON THIS PROJECT TO ENSURE A SMOOTH RUNNING AND CAREFULLY COORDINATED INSTALLATION.
- 14. THE MECHANICAL CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND AS-BUILT CONDITIONS PERTAINING TO THE HVAC SYSTEMS. MECHANICAL CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, MATERIAL, PARTS, SUPPLIES AND LABOR TO BALANCE ALL HVAC EQUIPMENT TO OWNER'S SATISFACTION.
- 15. CONTRACTOR SHALL COORDINATE HIS SCHEDULING WITH THE OWNER AND GENERAL CONTRACTOR TO COMPLY WITH THE OWNERS USAGE OF THE BUILDING.
- 16. IF ANY UNEXPECTED DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS IS MADE DURING THE COURSE OF WORK, THE CONTRACTOR SHALL REPORT THE DISCOVERY IMMEDIATELY TO THE OWNER. THE CONTRACTOR SHALL STOP ANY WORK THAT MAY DISTURB THE SUSPECTED HAZARDOUS MATERIAL. CONTRACTOR SHALL RESUME WORK AFTER ALL HAZARDOUS MATERIAL HAS BEEN REMEDIATED.
- 17. CONTRACTOR RESPONSIBLE FOR THE PROPER CARE OF ALL OWNER'S EQUIPMENT AND/OR FURNISHINGS WHICH ARE REQUIRED TO BE TEMPORARILY REMOVED. STORED OR RELOCATED. CONTRACTOR SHALL REPLACE, REPAIR OR REIMBURSE OWNER FOR ALL DAMAGES TO SUCH PROPERTIES AT FULL REPLACEMENT VALUE AND EQUIVALENCY. CONTRACTOR SHALL ADVISE OWNER FOR DISPOSITION OF REMOVED EQUIPMENT AND/OR MATERIALS.
- 18. CONTRACTOR'S WORK MAY BE REQUIRED OUTSIDE OF DESIGNATED SPACE. ALL SYSTEMS BEING DEMOLISHED AND REMOVED, MODIFIED, AND/OR TERMINATED SHALL BE FIELD VERIFIED TO INSURE NO WORK PERFORMED, INSIDE OR OUTSIDE OF THE DESIGNATED SPACE, SHALL DISRUPT ANY SERVICE OR SYSTEMS OF ANY OTHER AREAS. IF ANY CONDITIONS ARISE THAT ARE NOT IDENTIFIED ON DRAWINGS, IMMEDIATE NOTIFICATION SHALL BE PROVIDED TO THE ENGINEER OR OWNER. NO WORK SHALL PROCEED WITHOUT APPROVALS FROM ENGINEER OR OWNER.
- 19. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY HAVE TO BE ADAPTED TO COMPLY WITH EXISTING BUILDING CONDITIONS. CONTRACTOR SHALL SUBMIT HVAC SHOP DRAWINGS, INDICATING LOCATIONS, AND ROUTING OF DUCTS, PIPING, AND WIRING.
- 20. DUCTING AND PIPING SHOWN ON DRAWINGS SHOW THE GENERAL RUN AND CONNECTIONS AND MAY OR MAY NOT IN ALL PARTS BE SHOWN IN ITS EXACT POSITION. CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING THE DUCTING/PIPING SUITABLE IN EVERY RESPECT FOR THE WORK. DUCTWORK/PIPING SHALL BE INSTALLED SO THAT ACCESS, CLEARANCE, HEADROOM AND PITCH ARE MAINTAINED. CONTRACTORS OF THE VARIOUS TRADES SHALL COORDINATE THE INSTALLATION. MECHANICAL CONTRACTOR SHALL REVIEW ARCHITECTURAL DRAWINGS FOR CHASE AND SOFFIT LOCATIONS TO COORDINATE ALL EXPOSED DUCTWORK & PIPE ROUTING.
- 21. ALL CONTRACTORS SHALL PROVIDE CUTTING AND PATCHING FOR THEIR RESPECTIVE TRADES. 22. REMOVE AND REINSTALL CEILING SYSTEM AS REQUIRED FOR THE INSTALLATION OF MECHANICAL WORK AND REPLACE IN KIND ANY COMPONENTS DAMAGED BY PERSONNEL OR EQUIPMENT DURING PERFORMANCE OF THE WORK. PATCH AND REPAIR ALL DAMAGE CAUSED BY REMOVAL, MATCH EXISTING ADJACENT SURFACES.
- 23. ALL MECHANICAL EQUIPMENT AND APPLIANCES SHALL BEAR THE LABEL OF AN APPROVING AGENCY. LISTING AND LABELING AGENCY QUALIFICATIONS: A "NATIONALLY RECOGNIZED TESTING LABORATORY" AS DEFINED IN THE INTERNATIONAL MECHANICAL CODE, LATEST ADOPTED EDITION.
- 24. ALL PENETRATIONS THRU FIRE RATED WALLS, FLOORS, AND CEILINGS SHALL BE SEALED WITH A UL APPROVED FIRESTOP MATERIAL SUITABLE FOR CONSTRUCTION MATERIAL TO MAINTAIN FIRE, SMOKE, AND DRAFT INTEGRITY OF STRUCTURE. FIRE RESISTANT SEALER SHALL BE TESTED IN ACCORDANCE WITH ASTM E84. INSTALL SEALANT, INCLUDING FOAMING, PACKING AND OTHER ACCESSORY MATERIALS TO FILL OPENINGS WHERE FIRE-RATED WALL PENETRATIONS OCCUR. COMPLY WITH INSTALLATION REQUIREMENTS ESTABLISHED BY TESTERS AND INSPECTION AGENCY.
- 25. ALL CONTRACTORS REMOVING OR RELOCATING ANY EQUIPMENT, PIPES, DUCTS, CONDUITS, ETC SHALL PATCH ALL SURFACES DISTURBED BY THIS WORK TO MATCH ADJACENT SURFACES. 26. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER HANDLING, DISPOSAL & ASSOCIATED COSTS OF ALL REFRIGERANT MATERIAL, DURING THIS CONTRACT, IN
- ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND/OR REGULATIONS. 27. THE MECHANICAL CONTRACTOR SHALL MOUNT THE DUCT SMOKE DETECTOR. THE ELECTRICAL CONTRACTOR TO PROVIDE AND WIRE DUCT MOUNTED SMOKE DETECTOR. ELECTRIC CONTRACTOR SHALL ALSO PROVIDE AND WIRE A REMOTE MONITORING KEY OPERATED TEST AND ALARM STATION FOR EACH DUCT SMOKE DETECTOR. THE REMOTE TEST ALARM STATION SHALL BE MOUNTED AS DIRECTED IN THE AREA OF THE SMOKE DETECTOR.
- 28. THE MECHANICAL CONTRACTOR TO PROVIDE ALL ROOF CURBS, EQUIPMENT RAILS, SUPPORTS, ROOF PORTALS, AND ASSOCIATED EQUIPMENT TO ENSURE A COMPLETE INSTALLATION FOR NEW HVAC EQUIPMENT. MECHANICAL CONTRACTOR RESPONSIBLE TO PROVIDE EXACT LOCATIONS AND REVIEW AND RELEASED EQUIPMENT SUBMITTALS, OF ROOF CURBS, EQUIPMENT SUPPORTS, ROOF PORTALS, AND ASSOCIATED EQUIPMENT TO THE ARCHITECT, ALL ROOF PENETRATIONS, EQUIPMENT SUPPORTS, ROOF PORTALS AND ASSOCIATED EQUIPMENT SHALL BE INSTALLED BY ROOFING SUB-CONTRACTOR. ROOFING CONTRACTOR SHALL BE BONDED AND ALL WORK SHALL BE DONE SO AS NOT TO VOID ROOF WARRANTY. ROOFING CONTRACTOR SHALL PROVIDE BASE FLASHING, AND PROVIDE TEMPORARY WEATHER-PROOF COVERS UNTIL MECHANICAL CONTRACTOR INSTALLS NEW HVAC UNITS. MECHANICAL CONTRACTOR TO PROVIDE COUNTER FLASHING.
- 29. FURNISH TO THE ELECTRICAL CONTRACTOR ALL MOTOR STARTERS AND CONTROL DEVICES FOR MECHANICAL EQUIPMENT. ELECTRICAL CONTRACTOR SHALL INSTALL AND WIRE STARTER AND CONTROL EQUIPMENT FOR ALL MOTORS.
- 30. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL CONTROLLERS, ACTUATORS, TRANSFORMERS, SENSORS, RELAYS, CONTACTS, PANELS, CONDUIT, WIRING, ETC AS REQUIRED TO ACHIEVE SPECIFIED CONTROL SEQUENCE. WHERE LOCATING DEVICES ON EXISTING SURFACES, IF RECESSED WIRING CANNOT BE ACCOMMODATED (I.E. PRECAST, PRE-FAB PANELS, ETC.) INCLUDE WIRE MOLD AS NECESSARY TO PROVIDE CONCEALED INSTALLATION.

- 31. ALL HVAC EQUIPMENT CONTAINING COOLING (EVAPORATOR) COILS INCLUDING DOWN FLOW ROOF TOP UNIT SHALL HAVE CONDENSATE MONITORING FOR OVERFLOW PROTECTION FOR PRIMARY OR SECONDARY DRAIN PANS AS APPLICABLE. SUCH DEVICES SHALL BE LABELED TO COMPLY WITH UL 508, AND SHALL SHUT DOWN COOLING SYSTEM AND SIGNAL BMS SYSTEM IF APPLICABLE.
- 32. ALL SPACE SENSORS IE. TEMPERATURE, CARBON DIOXIDE, HUMIDITY, ETC., SHALL BE MOUNTED AT 48" AFF TO MEET ADA REQUIREMENTS. PROVIDE TAMPER PROOF COVERS FOR ALL TEMPERATURE SENSORS. PROVIDE TG500 SERIES
- VENTED GUARD, CLEAR OR ENGINEER APPROVED EQUAL, ON ALL TEMPERATURE SENSORS. AVAILABLE FROM WWW.KELE.COM, 888-397-5353.
- 33. PROVIDE GAS PIPING SUPPORTS ON ROOF AT ALL DIRECTION CHANGES AND STRAIGHT RUNS WITH SPACING NOT EXCEEDING LENGTHS STATED IN TABLE 415.1 OF IFGC, LATEST ADOPTED EDITION, FOR MATERIALS AND LISTED PIPE SIZES. SUPPORTS SHALL BE SADDLE BLOCK ROLLER TYPE WITH PIPE SECURED TO STAND WITH CLAMP OR METAL BAND. SUPPORT SHALL NOT BE SECURED TO ROOF SURFACE. BOTTOM OF PIPING SHALL BE MINIMUM 3 1/2" ABOVE ROOF SURFACE.
- 34. ALL EXPOSED HORIZONTAL AND VERTICAL PIPING SHALL BE INSTALLED IN A NEAT ARRANGEMENT IN LOCATIONS WHICH ARE THE MOST INCONSPICUOUS. VERTICAL DROPS SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND THEIR FINAL LOCATIONS SHALL BE COORDINATED AND RUN WITHIN CHASES, WALLS OR SOFFITS WITH OTHER PLUMBING/ ELECTRICAL FEEDS. MECHANICAL CONTRACTOR SHALL REVIEW ARCHITECTURAL DRAWINGS FOR CHASE & SOFFIT LOCATIONS TO COORDINATE ALL EXPOSED PIPING ROUTING. PROVIDE PIPE ENCLOSURE FOR ALL EXPOSED PIPING LOCATED OUTSIDE THE MECHANICAL ROOM. ALL SUCH LOCATIONS SHALL BE REVIEWED WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION.
- 35. ALL PIPING, EXCEPT IN MECHANICAL ROOMS SHALL BE ORGANIZED NEATLY AND KEPT TIGHT TO WALLS AND CEILINGS.
- 36. FURNISH AND INSTALL PIPE SLEEVES OR SLEEVE SEAL SYSTEMS AS REQUIRED. SEE SPECIFICATION FOR DETAILS.
- 37. GRAVITY CONDENSATE PIPING SHALL BE PITCHED MINIMUM 1/8" PER FOOT.
- 38. ALL DUCTWORK SHALL BE CONNECTED TO MOTORIZED EQUIPMENT WITH FLEXIBLE DUCT CONNECTORS. THE FLEXIBLE CONNECTIONS SHALL BE AT LEAST THREE INCHES WIDE AND PROVIDE SEPARATION BETWEEN THE DUCTS AND EQUIPMENT WITHOUT BEING TAUT. 39. ALL RECTANGULAR RIGID DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEET STEEL. FABRICATION OF DUCTWORK AND INSTALLATION SHALL BE IN ACCORDANCE WITH SMACNA STANDARDS AND RECOMMENDATIONS.
- 40. ALL DUCTWORK SIZES SHOWN ON DRAWINGS ARE CLEAR INTERNAL DIMENSIONS. 41. ALL INTERIOR RECTANGULAR DUCTWORK SHALL HAVE DUCT LINER. SEE SPECIFICATION FOR
- DETAILS. 42. ALL INTERIOR ROUND DUCTWORK EXPOSED WITHIN FINISHED SPACES SHALL BE FACTORY FABRICATED DOUBLE WALLED SPIRAL SEAM WITH INTERSTITIAL INSULATION. SEE SPECIFICATION FOR DETAILS.
- 43. ALL INTERIOR ROUND DUCTWORK CONCEALED OR EXPOSED IN NON-FINISHED AREA, EG ATTIC, ABOVE CEILING, ETC. SHALL BE SINGLE WALLED SPIRAL SEAM EXTERNALLY INSULATED WITH FLEXIBLE DUCTWRAP AND VAPOR BARRIER. SEE SPECIFICATIONS FOR DETAILS. 44. ALL FLEXIBLE DUCTWORK SHALL BE CLASS I, LABELED UL 181. SEE SPECIFICATIONS FOR
- DETAILS. 45. ALL EXTERIOR DUCTWORK SHALL HAVE DUCT LINER AND EXTERNAL RIGID INSULATION AND BE COVERED WITH SELF ADHERING PREFABRICATED PROTECTIVE MEMBRANE THAT IS UV AND OZONE RESISTANT. THIS JACKETING SHALL BE FIELD APPLIED IN ACCORDANCE WITH
- MANUFACTURER'S RECOMMENDATIONS. SEE SPECIFICATION FOR DETAILS. 46. DURING THE INSTALLATION OF MECHANICAL EQUIPMENT AND ASSOCIATED SYSTEMS, THE CONTRACTOR SHALL IDENTIFY ANY DAMAGE TO FIREPROOFING MATERIAL CAUSED BY WORK OF THE TRADE. THE CONTRACTOR SHALL PROVIDE WRITTEN REPORT DESIGNATION LOCATIONS, TO GENERAL CONTRACTOR, BEFORE FIREPROOFING IS COVERED BY SUBSEQUENT CONSTRUCTION.
- 47. THE MECHANICAL CONTRACTOR SHALL PROVIDE A COMPLETE SET OF "AS-BUILT" DRAWINGS INDICATING THE PRECISE LOCATION OF ALL SYSTEMS, EQUIPMENT, DUCTWORK, PIPING AND ACCESS DOORS. THESE PLANS SHALL ALSO INCLUDE ALL CHANGES AND DEVIATIONS FROM BID DOCUMENTS.



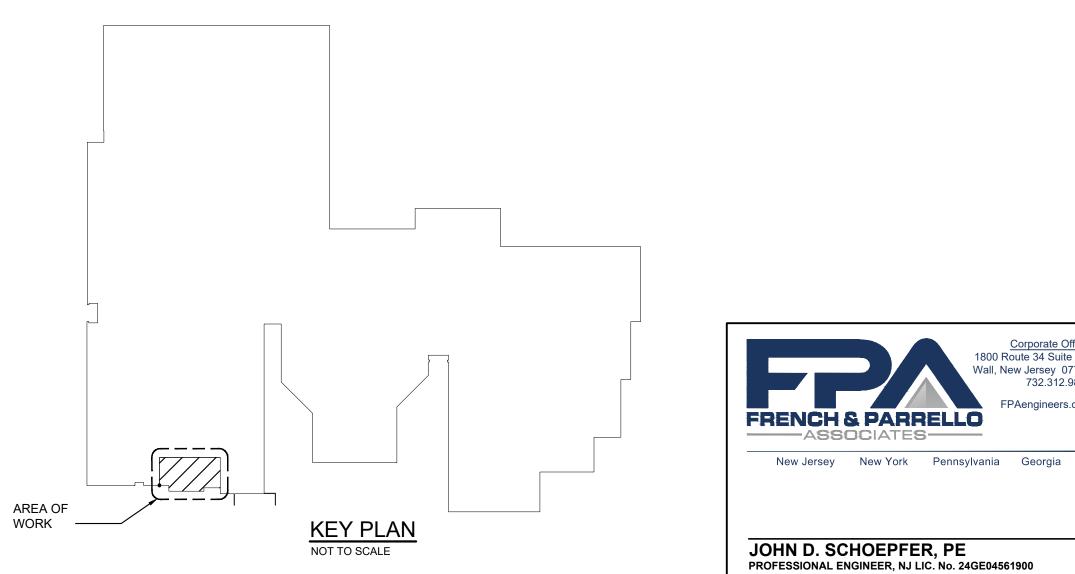


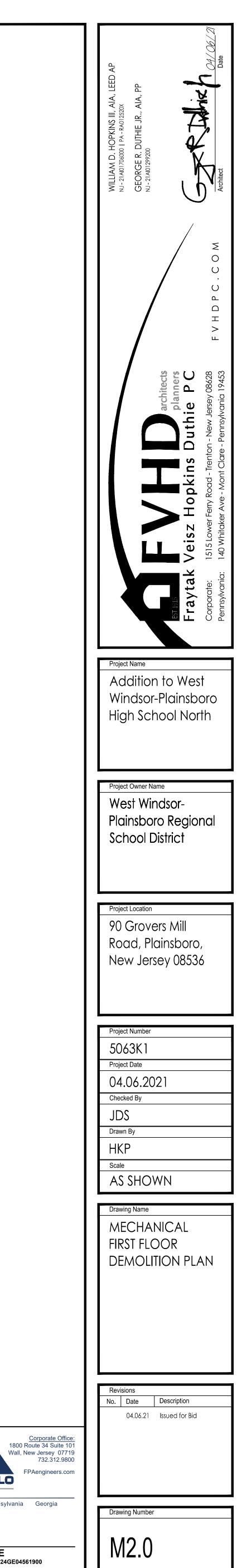


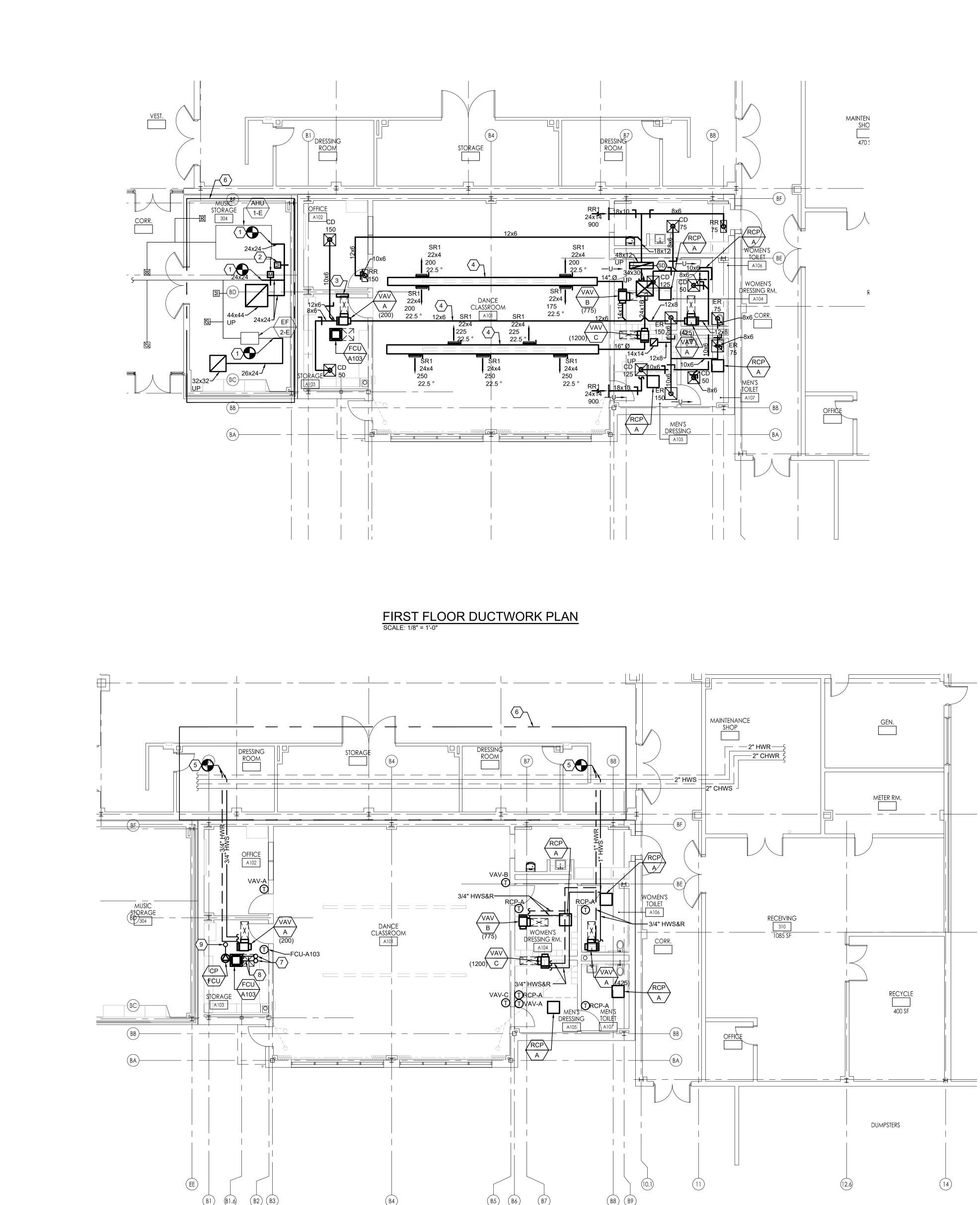
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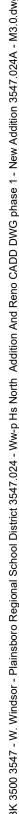
DEMOLITION KEY NOTES

1 REMOVE AND DISCARD THAT PORTION OF EXISTING DUCTWORK INCLUDING LOUVERS, DAMPERS, SUPPORTS AND ALL ASSOCIATED ACCESSORIES AS SHOWN. MAKE REMAINING DUCTWORK READY FOR CONNECTION TO NEW. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.







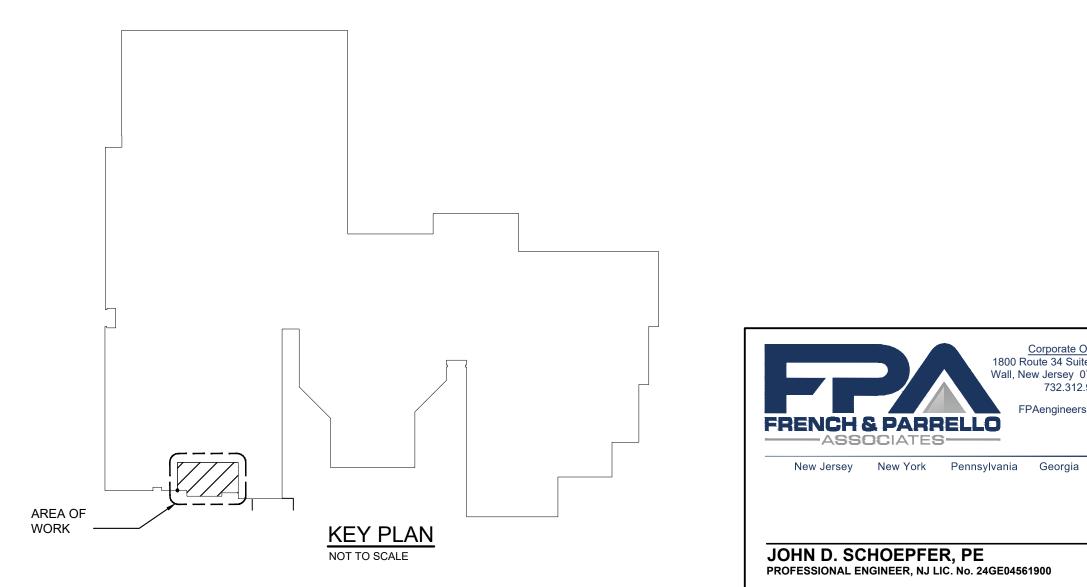


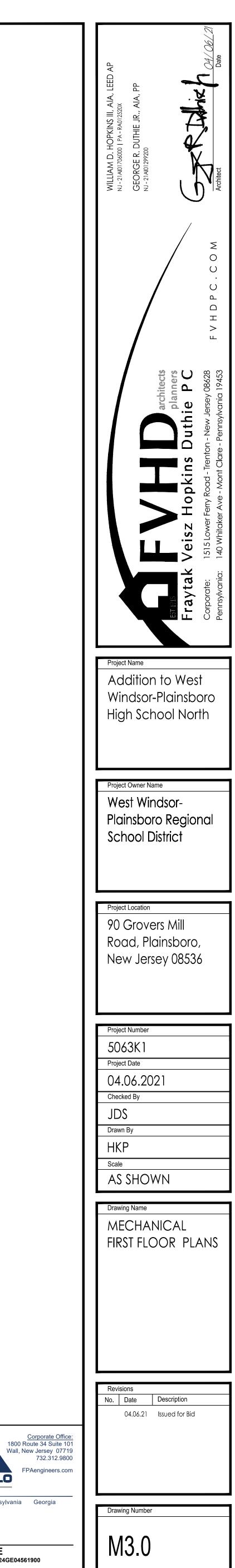
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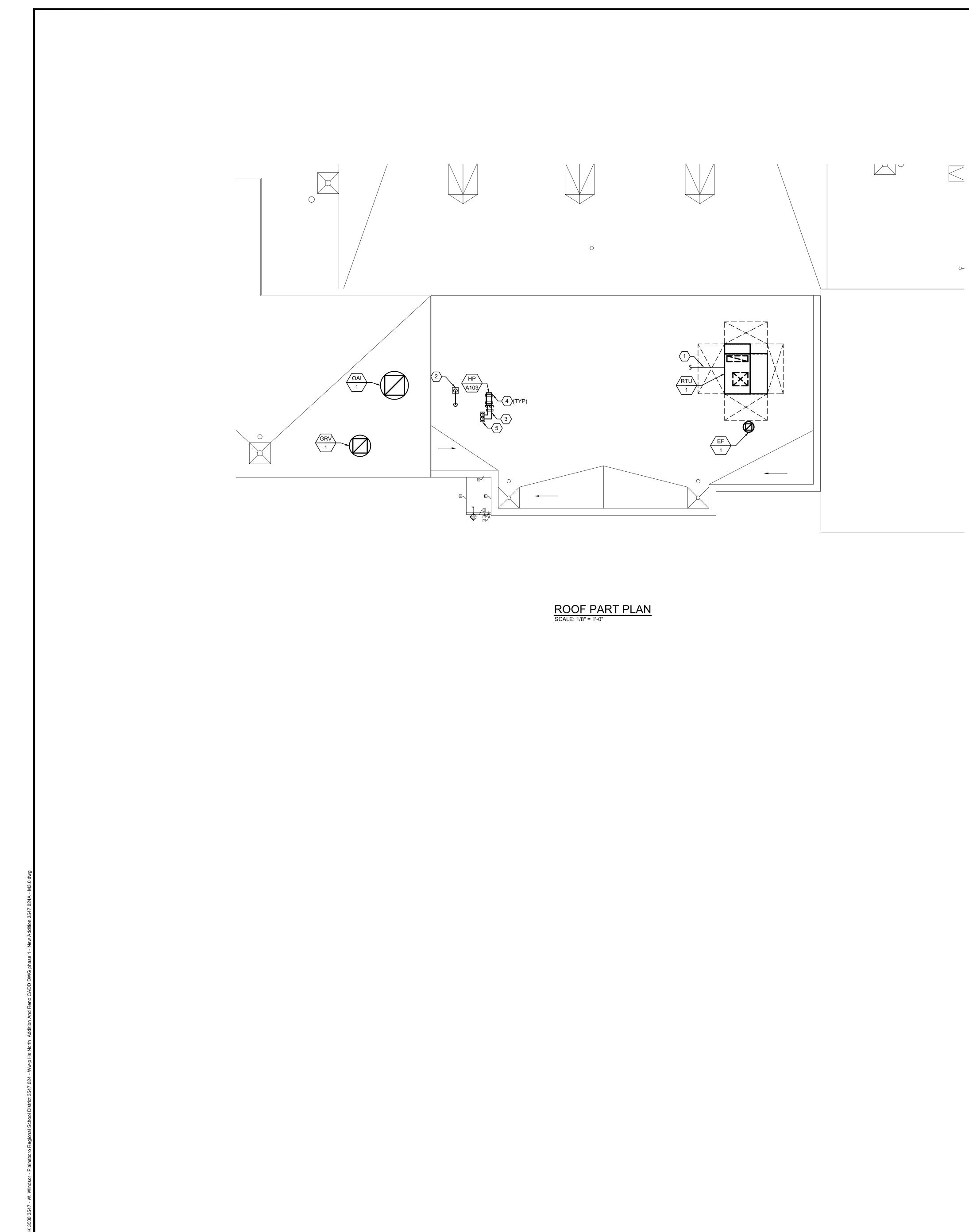
FIRST FLOOR PIPING PLAN SCALE: 1/8" = 1'-0"

KEY NOTES

- CONNECT TO EXISTING DUCTWORK. PROVIDE TRANSITIONS AS REQUIRED TO MAKE CONNECTION. CONTRACTOR TO SEAL DUCTWORK AIRTIGHT. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- PROVIDE NEW MOTORIZED DAMPER AND INTERLOCK WITH EXISTING AHU $\langle 2 \rangle$ AND CONTROL THE DAMPER AS PER EXISTING AHU UNIT SEQUENCE OF OPERATION. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- 3 PROVIDE NEW ATC PANEL. COORDINATE THE EXACT LOCATION IN FIELD WITH OWNER.
- ALL INDOOR DUCT SHALL HAVE STICKERS AND LABELS REMOVE AND ALL INDOOR DUCT SHALL HAVE STICKERS AND LABELS REMOVE AI PREPARED FOR PAINT. PAINT ALL EXPOSED INDOOR DUCTWORK, REGISTERS/DIFFUSERS, HANGER AND SUPPORTS. PROVIDE MINIMUM 2 COATS PRIMER AND 2 COATS OF INTERIOR GRADE PAINT. COORDINATE WITH ARCHITECT FOR COLOR SELECTION.
- CONNECT NEW HWS&R TO EXISTING PIPING MAIN. SEE FLOOR PLAN FOR $\left< 5 \right>$ NEW PIPE SIZES. FIELD VERIFY EXACT LOCATION AND SIZE OF EXISTING PIPING. VALVING NOT SHOWN FOR CLARITY. SEE PIPING DETAILS FOR ADDITIONAL INFORMATION. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- REMOVE AND REINSTALL CEILING SYSTEM AS REQUIRED FOR THE 6 INSTALLATION OF MECHANICAL WORK AND REPLACE IN KIND ANY COMPONENTS DAMAGED BY PERSONNEL OR EQUIPMENT DURING PERFORMANCE OF THE WORK. PATCH AND REPAIR ALL DAMAGE CAUSED BY REMOVAL, MATCH EXISTING ADJACENT SURFACES. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- $\langle 7 \rangle$ REFRIGERANT PIPING UP THRU PIPE PORTAL.
- REFRIGERANT PIPING LIQUID & HOT GAS. SIZE AND ROUTING AS PER 8 MANUFACTURER'S RECOMMENDATIONS. PROVIDE SUPPORTS AS REQUIRED. SEE SPECIFICATION FOR ADDITIONAL INFORMATION. PROVIDE REFRIGERANT ISOLATION VALVES ON REFRIGERANT PIPING. VALVES NOT SHOWN FOR CLARITY.
- $\langle 9 \rangle$ CONDENSATE DRAIN PIPING UP TO ROOF.



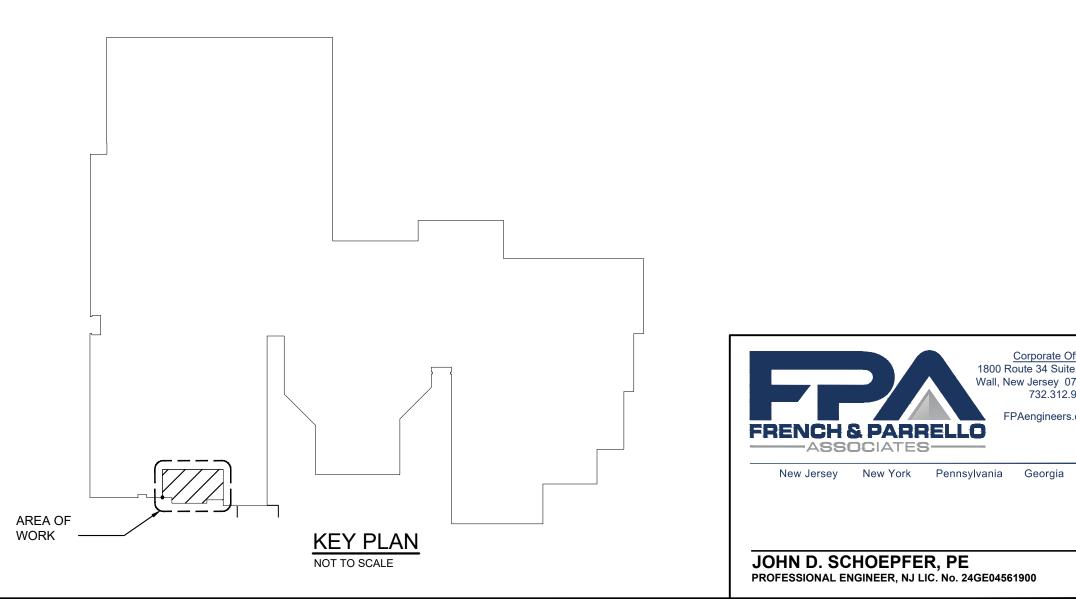


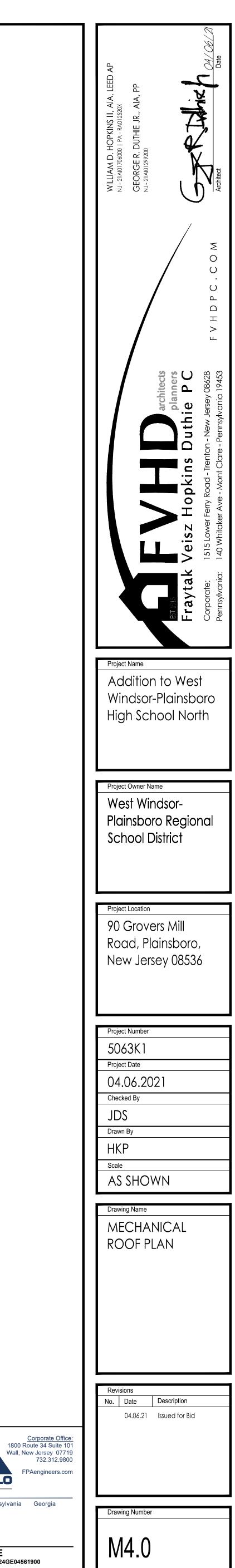


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KEY NOTES

- 1 1/4" CONDENSATE DRAIN WITH MINIMUM 2" DEEP TRAP. PIPE TO NEAREST ROOF DRAIN. MAINTAIN MINIMUM PITCH.
- 2 3/4" CONDENSATE DRAIN WITH MINIMUM 2" DEEP TRAP. DISCHARGE TO 24x11 CONCRETE SPLASH BLOCK, MANUFACTURED BY MERSHONE CONCRETE OR ENGINEER APPROVED EQUAL AND EPDM SLIP SHEET. MAINTAIN MINIMUM PITCH.
- 3 REFRIGERANT PIPING LIQUID & HOT GAS. SIZE AND ROUTING AS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE SUPPORTS AS REQUIRED. SEE SPECIFICATION FOR ADDITIONAL INFORMATION. PROVIDE REFRIGERANT ISOLATION VALVES ON REFRIGERANT PIPING. VALVES NOT SHOWN FOR CLARITY.
- 4 EQUIPMENT MOUNTING RAILS WITH RUST RESISTANT UNISTRUT CRADLE FRAMING AROUND ENTIRE PERIMETER. HEIGHT AS REQUIRED TO FRAMING AROUND ENTIRE PERIMETER. HEIGHT AS REQUIRED TO MAINTAIN MINIMUM 18" BOTTOM OF UNIT ABOVE ROOF. CONTRACTOR TO COORDINATE SUPPORT PLACEMENT TO MINIMIZE LOCATING SUPPORTS WITHIN CRICKET AREA. SEE DETAILS FOR ADDITIONAL INFORMATION.
- 5 PROVIDE ROOF PORTAL. PATE CO OR EQUAL. PROVIDE SEPARATE BOOT FOR EACH PIPE. PROVIDE ADDITIONAL BOOTS FOR ELECTRICAL POWER AND CONTROL CONDUITS. DO NOT PASS MORE THAN (1) PIPE THRU EACH NIPPLE TO FACILITATE PROPER SEALING.





			PROGRAM	OUTSIDE	OUTSIDE	OUTSIDE	SPACE	REQUIRED		EXHAUST R	ATE			A	CTUAL CFI	N		
ROOM NO	ROOM NAME	AREA SQ FT	OCCUPANT LOAD	AIR PER PERSON REQUIRED	AIR PER SF REQUIRED	AIR REQUIRED CFM	VENT EFFECT	OUTDOOR - AIR CFM	NO OF FIXTURE	CFM/FIXTURE	CFM/SF	REQUIRED CFM	OUTSIDE AIR	SUPPLY AIR	RETURN AIR	EXH AIR	TRANSF AIR	- EQUIPMENT SERVING SPACE
A101	DANCE CLASSROOM	1545	25	10	0.06	342.70	0.8	428.38	N/A	N/A	N/A	N/A	475	1900	1800	375	100	RTU-1
A102	OFFICE	205	2	5	0.06	22.30	0.8	27.88	N/A	N/A	N/A	N/A	35	150	150	35	-	RTU-1
A103	STORAGE	160	0	0	0.12	19.20	0.8	24.00	N/A	N/A	N/A	N/A	30	125	125	30	-	RTU-1
A104	WOMEN'S DRESSING ROOM	128	1	0	0	0.00	0.8	0.00	N/A	N/A	0.25	32	30	125	0	150	25	RTU-1/EF-1
A105	MEN'S DRESSING ROOM	127	1	0	0	0.00	0.8	0.00	N/A	N/A	0.25	31.75	30	125	0	150	25	RTU-1/EF-1
A106	WOMEN'S TOILET	100	0	0	0	0.00	0.8	0.00	1	70	N/A	N/A	12	50	0	75	25	RTU-1/EF-1
A107	MEN'S TOILET	115	0	0	0	0.00	0.8	0.00	1	70	N/A	N/A	12	50	0	75	25	RTU-1/EF-1
A108	VESTIBULE	154	0	0	0.06	9.24	0.8	11.55	N/A	N/A	N/A	N/A	15	75	75	15	-	RTU-1
	S: BASED ON 2018 INTERNAT ASHRAE VENTILATION STA								AR ROOM IS N	OT INCLUDED IN 1	THE IMC.							

					VARI	ABLE	AIR V	OLUME	UNIT	SCHE	DULE						
			DOV		N AINI	MIN SP				H	OT WATER CC	NL					
PLAN NO	MANUFACTURER MODEL	TYPE	BOX SIZE	CFM	MIN CFM	INLET AT MAX CFM	NO OF ROWS	HEATING MBH	EAT °F	LAT °F	APd IN WG	EWT °F	LWT °F	WPd FT WG	GPM	CONTROLS	REMARKS
VAV-A	TITUS DESV	SINGLE DUCT	8	200-600	50%	0.25	2	11.8	50	86.4	0.23	160	125.5	0.13	0.7	DDC	SEE NOTES
VAV-B	TITUS DESV	SINGLE DUCT	10	601-900	50%	0.26	2	17.10	50	85.1	0.25	160	125	0.12	1.0	DDC	SEE NOTES
VAV-C	TITUS DESV	SINGLE DUCT	12	901-1400	50%	0.31	2	27	50	85.6	0.3	160	120.1	0.23	1.4	DDC	SEE NOTES

1. PROVIDE REMOTE ROOM SENSORS. 2. PROVIDE INDIVIDUAL CONTROL SYSTEMS FOR EACH.

3. PROVIDE NETWORK CONTROL PANELS WHERE INDICATED ON DRAWINGS. 4. ELECTRICAL CONTRACTOR SHALL PROVIDE A 115V DUPLEX RECEPTACLE IN CLOSE PROXIMITY TO CONTROL

PANEL. 5. MECHANICAL CONTRACTOR SHALL PROVIDE ALL 24V WIRING BETWEEN CONTROL PANEL AND DAMPERS, SENSORS, ETC., IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.

6. VAV SHALL HAVE AUTOMATIC HEATING AND COOLING CHANGOVER. 7. PROVIDE WITH DDC BACNET CONTROLS FOR INTERFACE WITH EXISTING ATC CONTROL SYSTEM.

										PA	CKAG	ED G	AS-FIF	RED	ROO	F TOF	^{>} UNI	IT SCI	HED	ULE															(RTU) X
					MIN		SUPPLY FA	AN	EXH FAN CFN	И	DIR	ECT EXPA	NSION COO	DLING COI	L		НОТ	GAS REHE	AT			1	NATURAL	GAS BURN	NER			FILT	ERS	ELI	ECTRICAI	۸L	WEIGHT	DIMENSION	
PLAN NO.	MANUFACTURER MODEL	LOCATION	AREA SERVED	EER/IEER	OA CFM	AIRFLOW CFM		TOR MOTO	CFM ESP	IN TOTAL MBH	SENS MBH	REFRIG	EAT EAT DB WB °F °F		LAT WB °F	AIR PD IN. WG	EAT DB/WB °F	LAT DB/WB °F	TOTAL CAP MBH	- INPUT MBH	OUTPUT MBH	EAT DB °F	LAT DB °F	AFUE %	TEMP RISE °F	MODULATIN	IG TYPE	TYPE	MIN MERV RATING		MCA	MOP	W/CURB & ACCESS.		REMARKS
RTU-1	DAIKIN DPS007A	ROOF	DANCE AREA	12.1/19.8	650	2600	1.5 4	4.0 1813	2600 0.5	90.63	72.39	R410A 7	79.5 65.5	5 54	54	0.12	54/54	70.0/59.9	45.03	200	160	52.5	109.2	80	60	5:1	SS	MERV	14	208/3	42.7	50	2285	91x96.5x56.8	SEE NOTES
4 E 2. F	NIT TO BE MOUNTE LESS THAN 10 TO 10 TON AND ABO	ON - MODEL PO VE - MODEL P WITH UL 5087	SMIC ISOLATION CURB I 6200 WITH SOUND PACK 6300 WITH SOUND PACK APPROVED WATER DET	AGE 1 - RPFMA AGE 1 - RPFMA	A		N. WIRE CON	TROL	9. PROVII 10. PROVII 11. PROVII	DE HINGED DE HAIL GU DE BACNE	RY POWEREI O ACCESS DO JARDS. T INTERFACE N AIR SMOKE	OORS. E WITH EXI	STING ATC	CONTRO	L SYSTE	M.	,					AS 15. PR 16. PR	HRAE 90. OVIDE MO	1 LATEST DDULATINO NT WITH 4	EDITION G CONT " THICK	I. ROL WITH II MERV 14 FII	VERTER VA	DAMPERS FO	ED COMPR	ESSORS.					[

PROVIDE UNIT WITH VAV OPERATION.
 PROVIDE WITH COMPARATIVE ENTHALPY ECONOMIZER.

5. PROVIDE WITH POWER EXHAUST. 6. PROVIDE THRU BASE ELECTRIC.

7. PROVIDE UNIT MOUNTED NON-FUSED DISCONNECT SWITCH.

				FAN SC	HED	ULE								EF X
					FAN P	ERFORM	ANCE		ELECT	RICAL DATA				
PLAN NO	MANUFACTURER MODEL	LOCATION	AREA SERVED	FAN TYPE	CFM	ESP	FAN RPM	HP/ WATTS	RPM	VOLTS/Ø	DRIVE	dBA	WEIGHT LBS	REMARKS
EF-1	GREENHECK G-098-VG	ROOF DANCE AREA	SEE PLAN DANCE AREA	CENTRIFUGAL	450	0.75	1489	1/4	1725	115/1	DIRECT	57	50	SEE NOTES 1-4
NOTES: MOUNT FAN ON MINIMUM 12" HIGH ROOF CURB. PROVIDE SOLID STATE SPEED CONTROL, NEMA-1 TOGGLE SWITCH, BIRDSCREEN & BACKDRAFT DAMPER. PROVIDE ELECTRICAL DISCONNECT, VIBRATION ISOLATION SUPPORT RODS WITH MOUNTING BRACKETS, SPEED CONTROLLER AND ROUND DUCT CONNECTION. 4. PROVIDE CONTROLS FROM ATC CONTRACTOR.														

TEST STATION. LOCATE TEST STATION NEAR THERMOSTAT.

13. PROVIDE MINIMUM 2" THICK R-8 RIGID INSULATION AFFIXED TO ENTIRE BOTTOM OF UNIT WITH ADHESIVE AND MECHANICAL FASTENERS. COVER INSULATION WITH VENTURE TAPE MODEL 1577CW OR EQUAL EXTERIOR

MEMBRANE WRAP INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.

18. AFTER COMPLETING SYSTEM INSTALLATION AND TESTING, ADJUSTING, AND BALANCING RTU AND AIR-DISTRIBUTION

SYSTEMS, CLEAN FILTER HOUSINGS AND PROVIDE NEW FILTERS.

	GRAVITY	' VENT	ILAT	OR	SCHE	DULE		$\left(\begin{array}{c} OAI \\ X \end{array} \right)$
PLAN NO	MANUFACTURER MODEL	LOCATION	MAX CFM	AREA SF	VELOCITY	AIR PRESS DROP	SERVICE	REMAR
OAI-1	GREENHECK GRSI-42	DANCE AREA ROOF	5300	10	542	0.07	AHU-1-E	SEE NO
GRV-1	GREENHECK GRSR-30	DANCE AREA ROOF	5000	5	994	0.19	EF-2-E	SEE NO
NOTE	BROVIDE MINIMUM	18" HIGH CU	RB WITH	INTEGR	AL GRAVITY	BACKDRA	AFT DAMPEF	R & INSECT SC

				AIR DE	VICES SCH	EDUL	E				BASED ON TITUS CO
PLAN NO.	CFM RANGE	NECK SIZE	OVERALL SIZE	MANUFACTURER MODEL	REMARKS	PLAN NO.	CFM RANGE	NECK SIZE	OVERALL SIZE	MANUFACTURER MODEL	REMARKS
CD	0-100	6" DIA	12x12	OMNI	SEE NOTES 1 & 6	RR/ER	0-100	-	24x12	355RL	SEE NOTES 2 & 6
CD	101-225	8" DIA	12x12	OMNI	SEE NOTES 1 & 6	RR/ER	101-200	-	24x12	355RL	SEE NOTES 2 & 6
CD	0-100	6" DIA	24x24	OMNI	SEE NOTES 1 & 6	RR/ER	0-1000	-	24x12	355RL	SEE NOTES 2 & 6
CD	101-225	8" DIA	24x24	OMNI	SEE NOTES 1 & 6	RR/ER	0-1000	-	24x24	355RL	SEE NOTES 2 & 6
CD	226-360	10" DIA	24x24	OMNI	SEE NOTES 1 & 6	RR1/ER1	SEE PLANS	-	SEE PLANS	350RL	SEE NOTES 4 & 6
CD	361-550	12" DIA	24x24	OMNI	SEE NOTES 1 & 6						
CD	551-750	14" DIA	24x24	OMNI	SEE NOTES 1 & 6						
CD	751-1150	15" DIA	24x24	OMNI	SEE NOTES 1 & 6						
SR	SEE PLANS	-	SEE PLANS	300RL	SEE NOTES 3 & 6						
SR1	SEE PLANS	-	SEE PLANS	S300FS	SEE NOTES 5 & 6						
LD1	62.5 CFM/FT	SEE PLAN	1"-1 SLOT	FL-10 JT	SEE NOTES 6-8						
					ROPPED CEILING GRIE DRY ROUND BACK ADA						

PROVIDE WITH 35° DEFLECTION AT 1/2" BLADE SPACING WITH FRONT BLADE PARALLEL TO LONG DIMENSION. PROVIDE FRAME WITH ACCESSORIES FOR T-BAR LAY-IN CEILING GRID OR SURFACE MOUNTED BORDER FOR GYPSUM CEILING APPLICATION. SEE DRAWINGS FOR MOUNTING LOCATION. PROVIDE SQUARE TO ROUND TRANSITION AS REQUIRED. PROVIDE OPTIONAL OPPOSED BLADE DAMPER. PROVIDE SUPPLY REGISTER WITH DOUBLE DEFLECTION AT 3/4" BLADE SPACING WITH FRONT BLADES PARALLEL TO LONG DIMENSION, OPTIONAL DAMPER AND SURFACE MOUNT BORDER MOUNTING FRAME.

PROVIDE RETURN REGISTER WITH SINGLE DEFLECTION AT 3/4" BLADE SPACING WITH BLADES PARALLEL TO LONG DIMENSION, OPTIONAL DAMPER AND SURFACE MOUNT BORDER MOUNTING FRAME. PROVIDE WITH DOUBLE DEFLECTION AT 3/4" BLADE SPACING WITH FRONT BLADES PARALLEL TO SHORT DIMENSION AND OPTIONAL ASD (AIR SCOOP

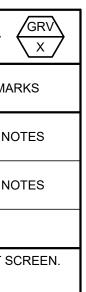
DIRECTIONAL BLOW CLIPS WHERE INDICATED ON DRAWINGS. PROVIDE AND INSTALL R-6 FOIL-BACKED INSULATION ON 12x12 MODULE. PROVIDE FACTORY INSTALLED

DAMPER/EXTRACTOR). . PROVIDE STANDARD FINISH - 26 WHITE.

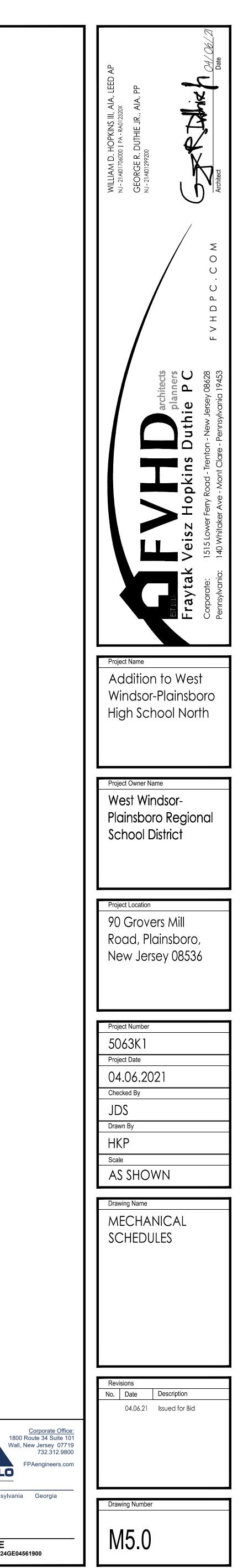
R-6 FOIL-BACKED INSULATION ON 24x24 MODULE.

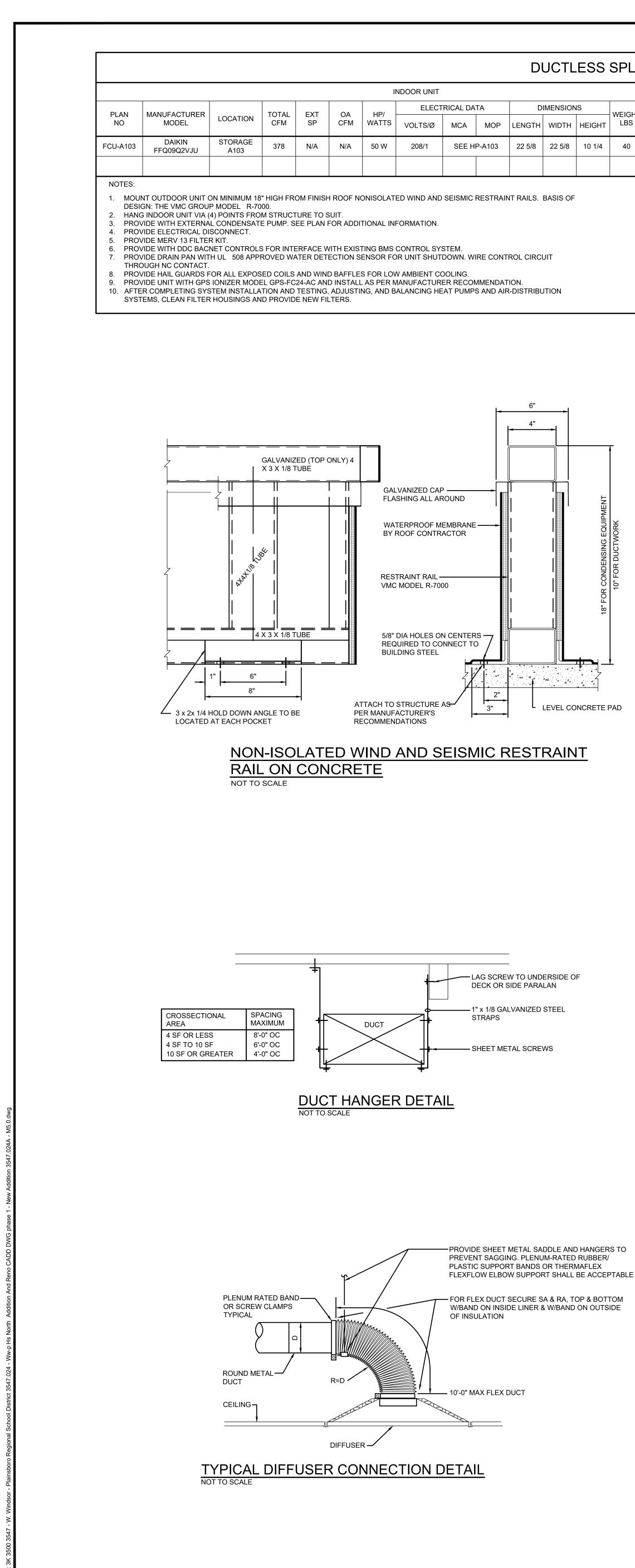
PROVIDE REMOTE CABLE OPERATED VOLUME DAMPERS LOCATED IN INACCESSIBLE CONSTRUCTION. PROVIDE BORDER TYPE 77 FOR DROP CEILING. PROVIDE 8"x8" PLENUM FOR ACTIVE LENGTH. SEE PLAN FOR ADDITIONAL INFORMATION. INACTIVE AND ACTIVE

LENGTH BORDER TYPES TO MATCH FOR CONTINUAL LOOK. PROVIDE PATTERN CONTROLLERS.







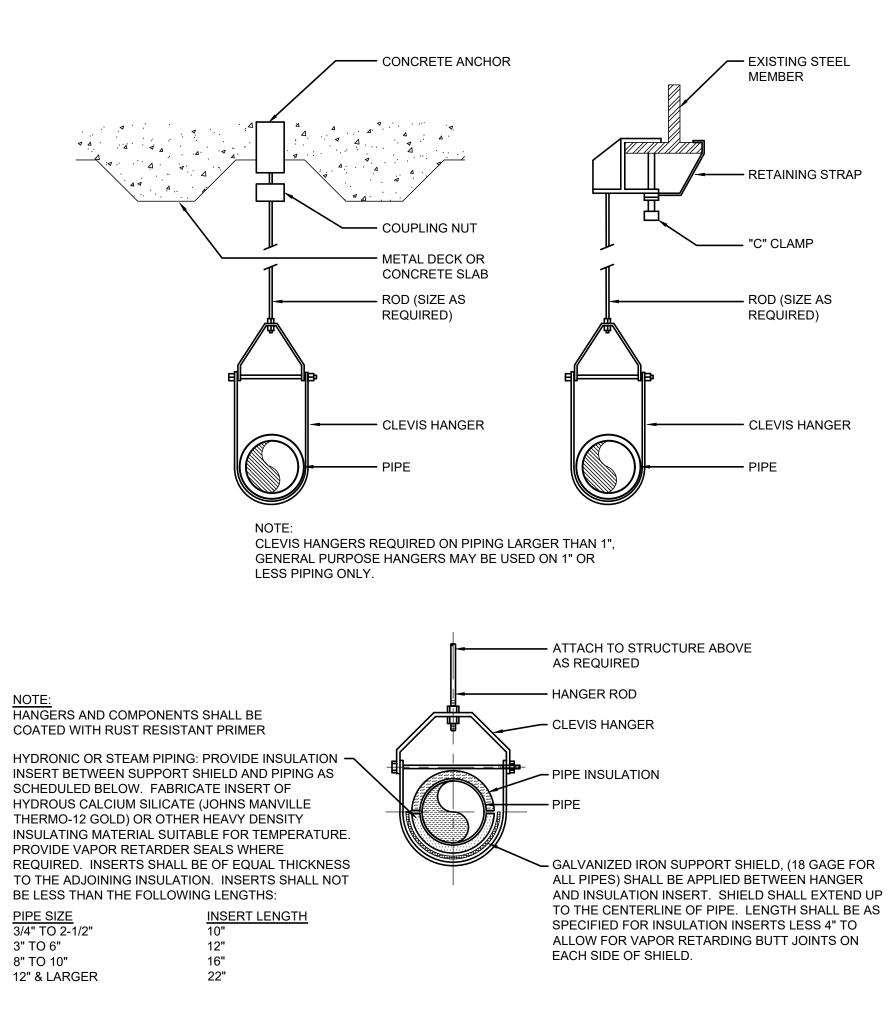


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NSION	S	WEIGHT		PLAN	MANUFACURER	TOTAL COOL	SENS COOL	HTG	HTG				ELECTRICA	L DATA		DI	MENSIONS	6	WEIGHT	
IDTH	HEIGHT	LBS	REMARKS	NO	MODEL	CAP MBH	CAP MBH	MBH 47 °F	MBH 17 °F	HSPF	SEER	COP 47°F	VOLTS/Ø	MCA	MFA	LENGTH	WIDTH	HEIGHT	LBS	REMARKS
2 5/8	10 1/4	40	SEE NOTES, HP-A103	HP-A103	DAIKIN RX09RMVJU9	9.10	7.99	10.00	6.00	11.70	20	4.58	208/1	9.00	15	26 9/16	11 3/16	21 5/8	100	SEE NOTES
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____ 12" CARLISLE RUBBER FULL PERIMETER SEAL TO BE ATTACHED TO WOOD NAILER AFTER ADJUSTMENT OF SPRINGS ROOFTOP UNIT CURB MUST HANDLE WIND AND SEISMIC LOADS LOAD PATH TO SEISMIC CLIP ATTACHMENT BUILDING WELD ROOF TOP UNIT TO CURB STRUCTURE — SEISMIC SPRING POCKET - WOOD NAILER UPPER CURB FLASHING -(FACTORY INSTALLED) LOWER CURB FLASHING -(SHIPPED LOOSE) ROOF MEMBRANE -AND INSULATION STANCHIONS ARE FIELD CUT AND -WELDED TO LEVEL THE CURB. WELD TO LOWER TUBE AND TO BUILDING STRUCTURE THROUGH DECK AT EACH SPRING POCKET. STANCHIONS SIZED BY CURB SUPPLIER AND SUPPLIED BY MECHANICAL CONTRACTOR - FIELD INSTALLED · 20 GA SHEET METAL CLOSURE WHERE LOWER TUBE MUST BE CAPABLE OF ----UNDERSIDE OF LOWER TUBE EXCEEDS HEIGHT OF ROOF INSULATION, BY ROOFER HANDLING POINT SUPPORT

ATTACHMENT OF ISOLATED WIND AND SEISMIC ROOF CURB ON LEVEL OR PITCHED BEAM-SUPPORTED ROOF NOT TO SCALE



PIPE HANGER & INSULATED PIPE DETAIL NOT TO SCALE

- UPPER TUBE (11 GA MINIMUM)

- 2" RIGID INSULATION SUPPLIED AND INSTALLED BY ROOFER

BUILDING STRUCTURE

AS REQUIRED - HANGER ROD NOTE: HANGERS AND COMPONENTS SHALL BE - CLEVIS HANGER COATED WITH RUST RESISTANT PRIMER HYDRONIC OR STEAM PIPING: PROVIDE INSULATION INSERT BETWEEN SUPPORT SHIELD AND PIPING AS - PIPE INSULATION SCHEDULED BELOW. FABRICATE INSERT OF HYDROUS CALCIUM SILICATE (JOHNS MANVILLE – PIPE THERMO-12 GOLD) OR OTHER HEAVY DENSITY INSULATING MATERIAL SUITABLE FOR TEMPERATURE. PROVIDE VAPOR RETARDER SEALS WHERE REQUIRED. INSERTS SHALL BE OF EQUAL THICKNESS - GALVANIZED IRON SUPPORT SHIELD, (18 GAGE FOR TO THE ADJOINING INSULATION. INSERTS SHALL NOT ALL PIPES) SHALL BE APPLIED BETWEEN HANGER BE LESS THAN THE FOLLOWING LENGTHS: AND INSULATION INSERT. SHIELD SHALL EXTEND UP TO THE CENTERLINE OF PIPE. LENGTH SHALL BE AS PIPE SIZE 3/4" TO 2-1/2" NSERT LENGTH SPECIFIED FOR INSULATION INSERTS LESS 4" TO ALLOW FOR VAPOR RETARDING BUTT JOINTS ON 3" TO 6" EACH SIDE OF SHIELD. 8" TO 10" 12" & LARGER 22"

PIPE HANGER & INSULATED PIPE DETAIL



JOHN D. SCHOEPFER, PE

NOT TO SCALE

1/8" CLEARANCE ALL AROUND UP TO 18" <u>FIG. A</u> RECTANGULAR DAMPER

ROD CONTINUOUS ON 2" WG

DAMPERS OVER 12" DIA

- ATTACH TO STRUCTURE ABOVE

CLASS AND ON ALL

22 GAUGE BLADE

3/8" PIN 🗕

ROUND DAMPE

- 3/8" QUADRANT

- DUCT

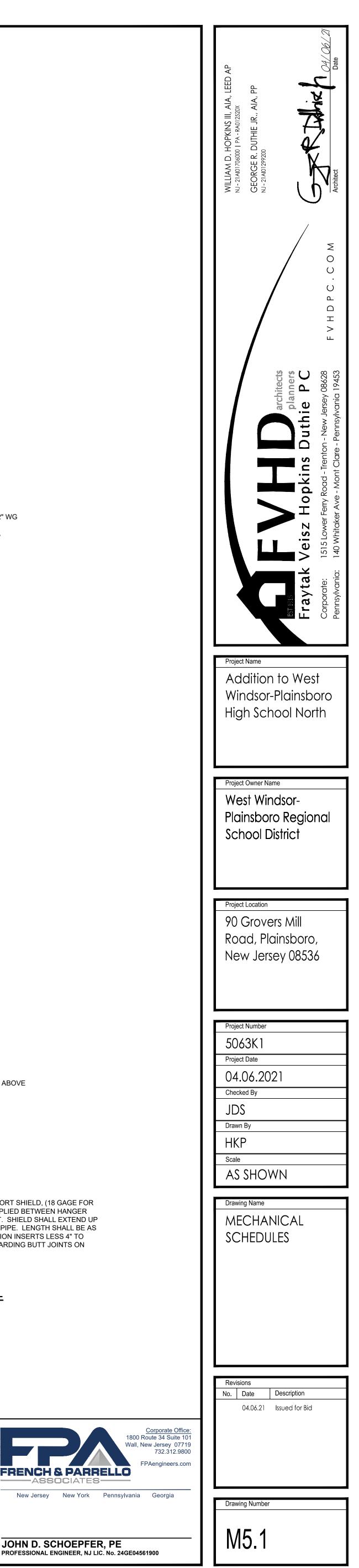
WING

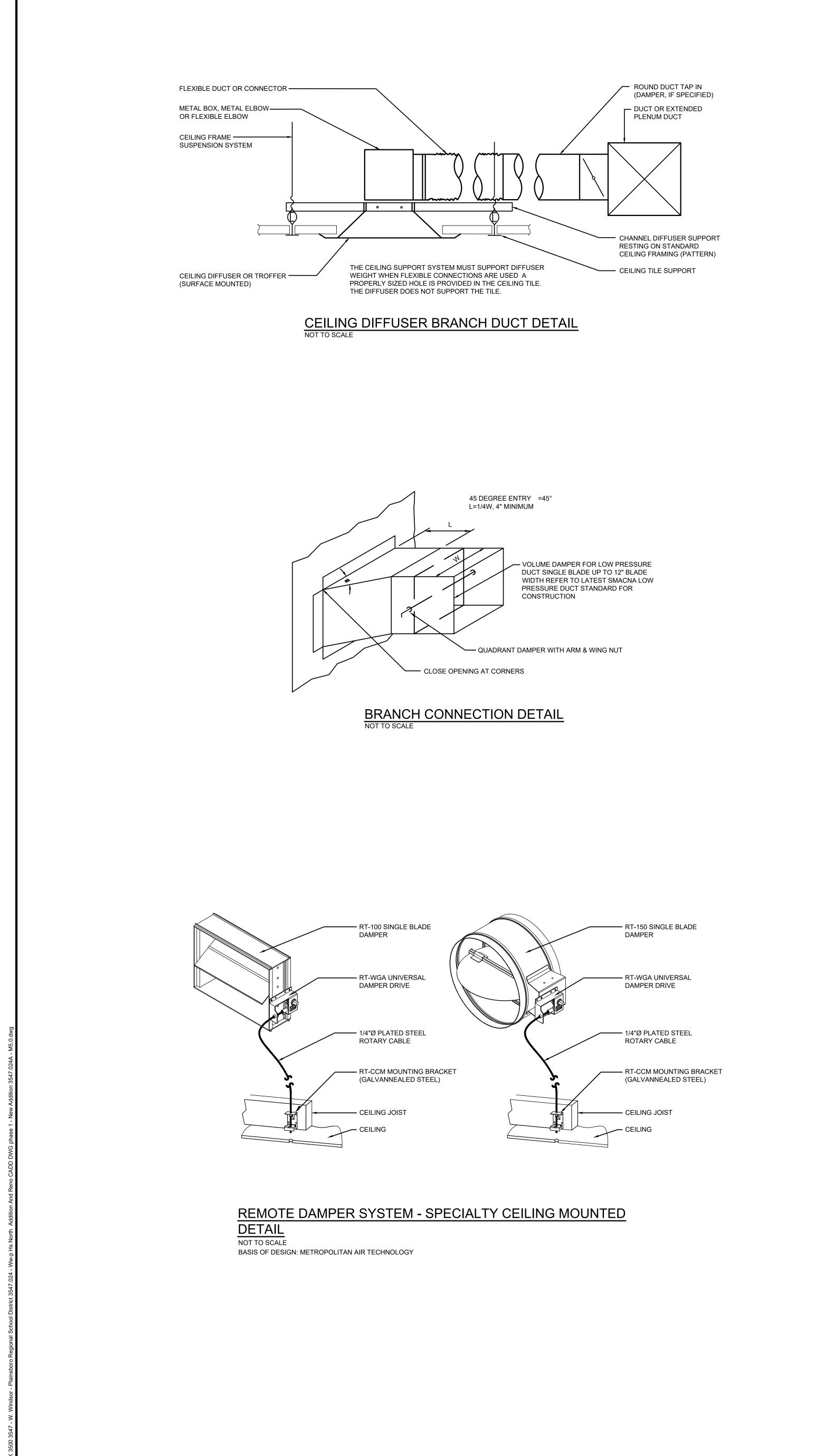
NUT

ARM-

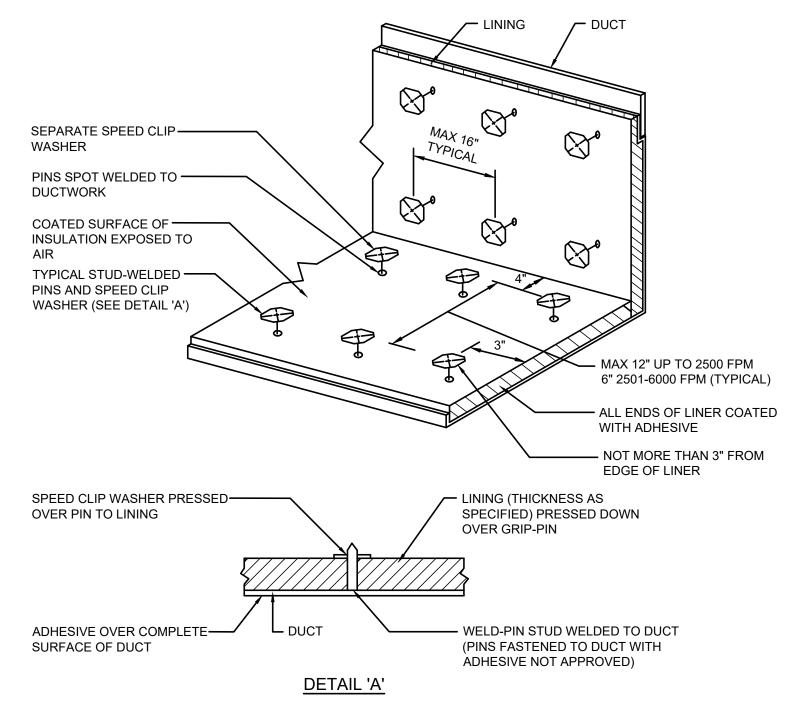
VOLUME DAMPERS - SINGLE BLADE TYPE NOT TO SCALE

RECTANGULAR VOLUME DAMPERS EXCEEDING 1.5 SF SHALL BE OPPOSED BLADE DAMPER TYPE

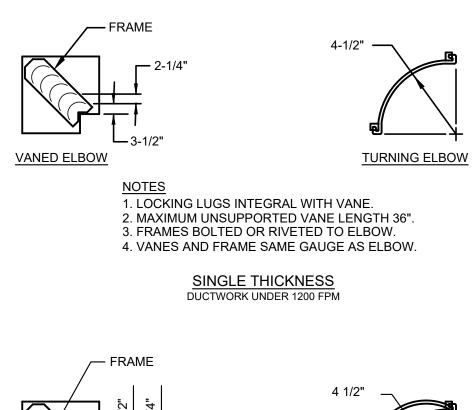


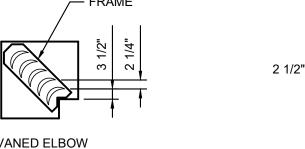


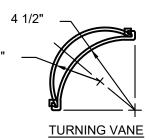
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SOUND LINING INSTALLATION DETAIL







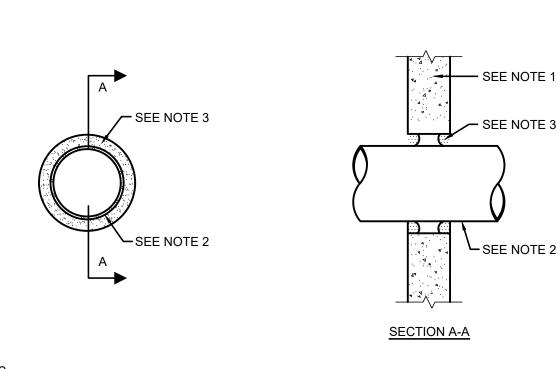
VANED ELBOW

DOUBLE THICKNESS

NOTES: 1. LOCKING LUGS INTEGRAL WITH VANE. 2. MAXIMUM UNSUPPORTED VANE LENGTH 48".

3. FRAMES BOLTED OR RIVETED TO ELBOW. 4. VANES AND FRAME SAME GAUGE AS ELBOW.

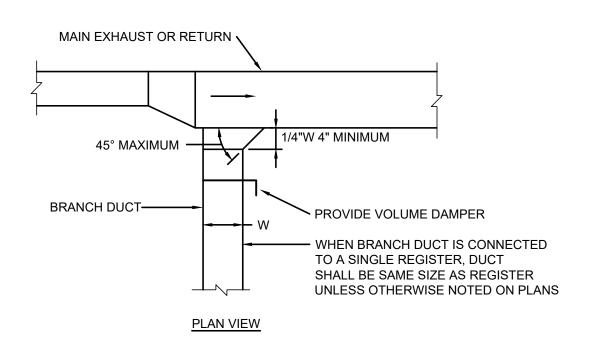
TURNING VANES FOR SQUARE ELBOWS



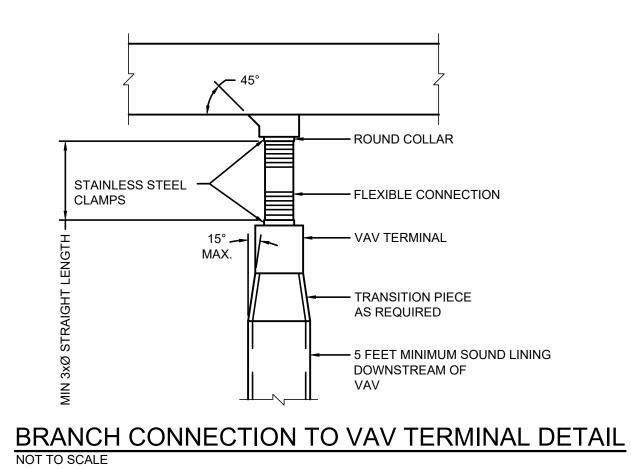
NOTES: 1. FLOOR OR WALL ASSEMBLY - MIN 4 1/2 INCH THICK LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS. MAX DIAMETER OF THROUGH OPENING IS 12 1/4 INCH. SEE CONCRETE BLOCKS (CAZT) CATEGORY IN FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS. 2. PIPE OR CONDUIT - NOMINAL 10 INCH DIAMETER (OR SMALLER) SCHEDULE 10 (OR HEAVIER) STEEL

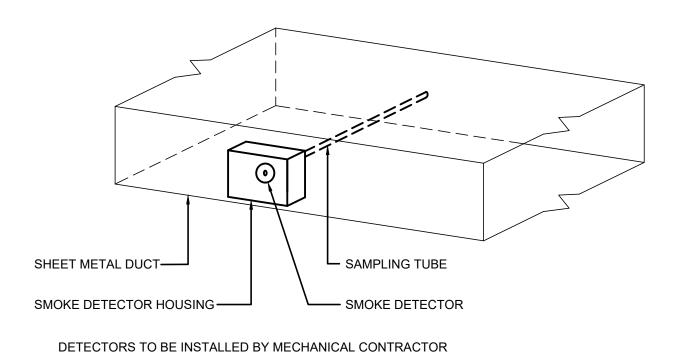
- PIPE, NOMINAL 6 INCH DIAMETER (OR SMALLER) RIGID STEEL CONDUIT, NOMINAL 4 INCH DIÁMETER (OR SMALLER) STEEL EMT OR NOMINAL 3 INCH DIAMETER (OR SMALLER) TYPE L (OR HEAVIER) COPPER PIPE. MAXIMUM ONE PIPE OR CONDUIT PER THROUGH OPENING. MAXIMUM ANNULAR SPACE BETWEEN PIPE OR CONDUIT AND EDGE OF OPENING IS 3/4 INCH MINIMUM ANNULAR SPACE BETWEEN PIPE OR CONDUIT AND EDGE OF OPENING IS 0 INCH (POINT CONTACT). PIPE OR CONDUIT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR OR WALL.
- 3. FILL, VOID OR CAVITY MATERIALS PUTTY: MOLDABLE PUTTY MATERIAL KNEADED BY HAND AND APPLIED TO FILL ANNULAR SPACE TO A MINIMUM DEPTH OF 1 INCH, FLUSH WITH TOP SURFACE OF FLOOR. IN WALL ASSEMBLIES, REQUIRED PUTTY THICKNESS TO BE INSTALLED SYMMETRICALLY ON BOTH SIDES OF WALL. MINNESOTA MINING & MFG. CO. - CP 25WB+. BEARING THE UL CLASSIFICATION MARKING

PIPE PENETRATION FIRE STOPPING DETAIL AT FIRE RATED MASONRY CORRIDOR PARTITION NOT TO SCALE

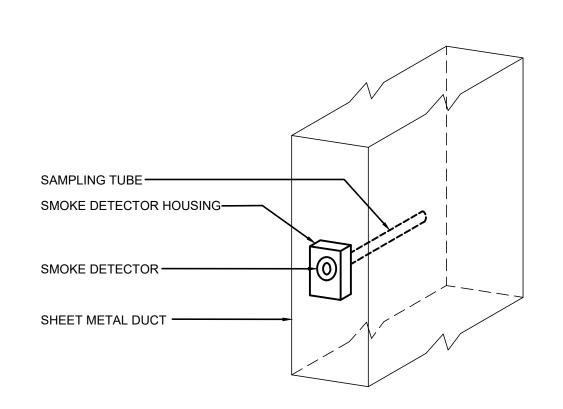


EXHAUST AND/OR RETURN BRANCH DUCT DETAIL





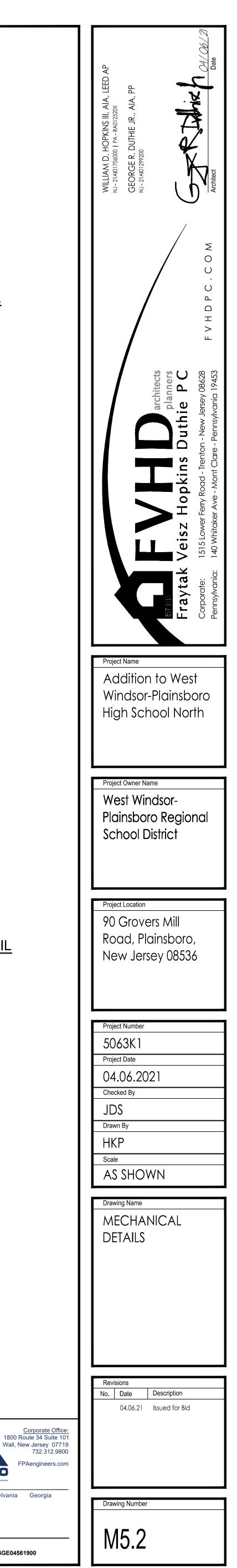
HORIZONTAL DUCT DETECTOR INSTALLATION DETAIL

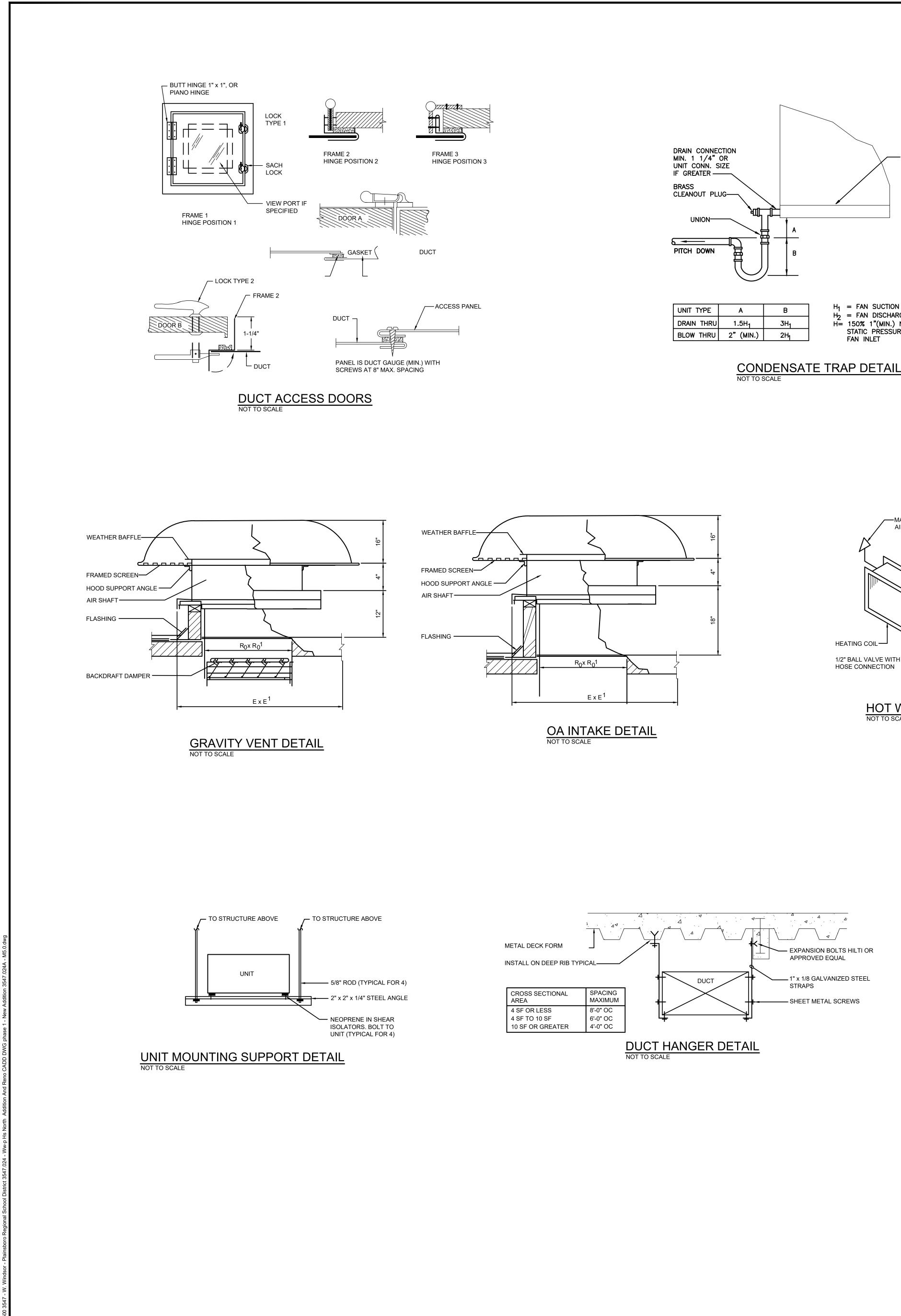


DETECTORS TO BE INSTALL BY MECHANICAL CONTRACTOR

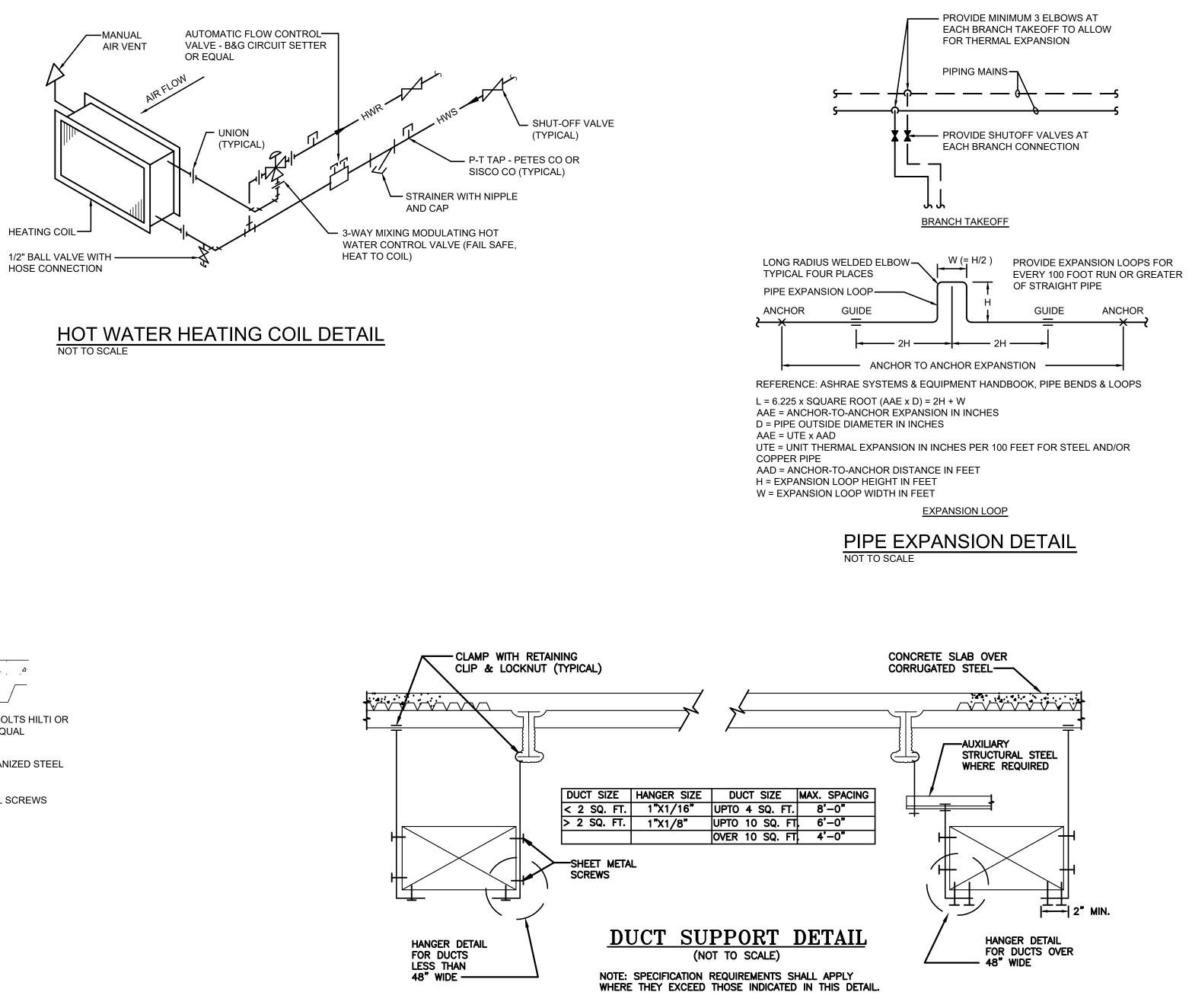
VERTICAL DUCT DETECTOR INSTALLATION DETAIL



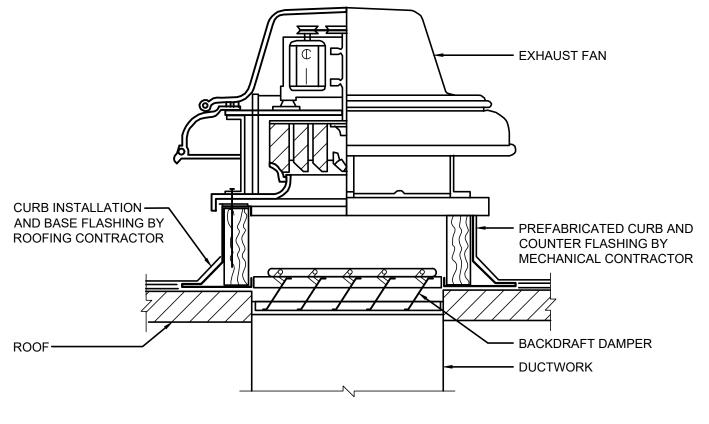




- COOLING COIL DRAIN PAN $H_1 = FAN SUCTION PRESSURE$ H₂ = FAN DISCHARGE PRESSURE H= 150% 1"(MIN.) NEGATIVE STATIC PRESSURE AT FAN INLET

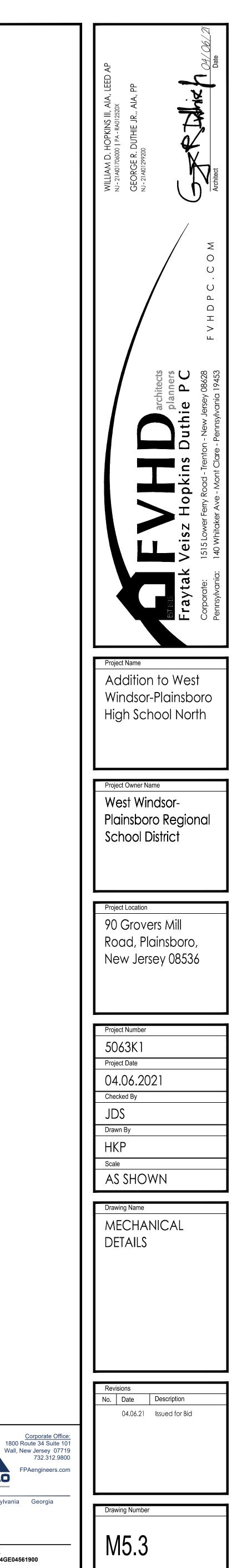


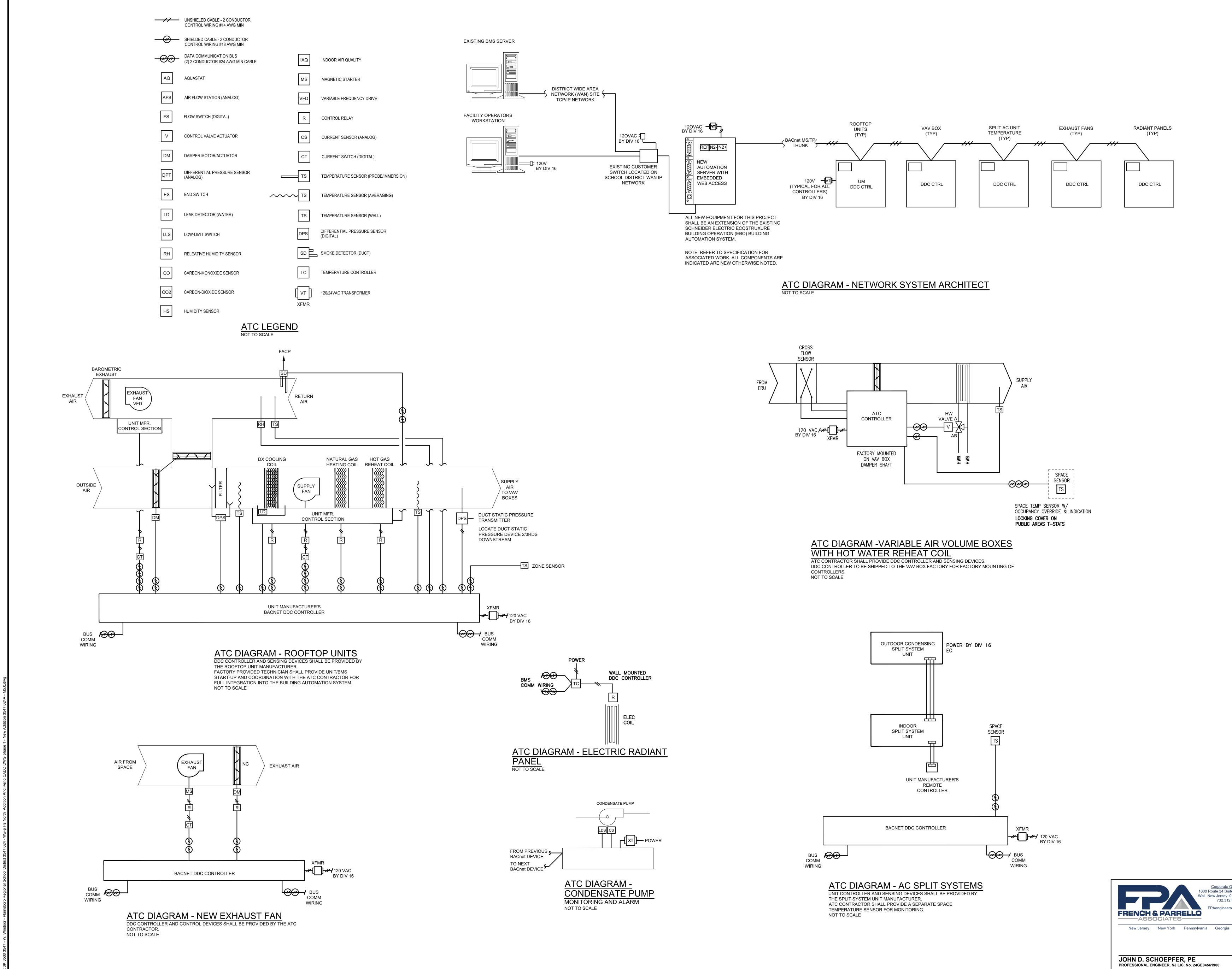


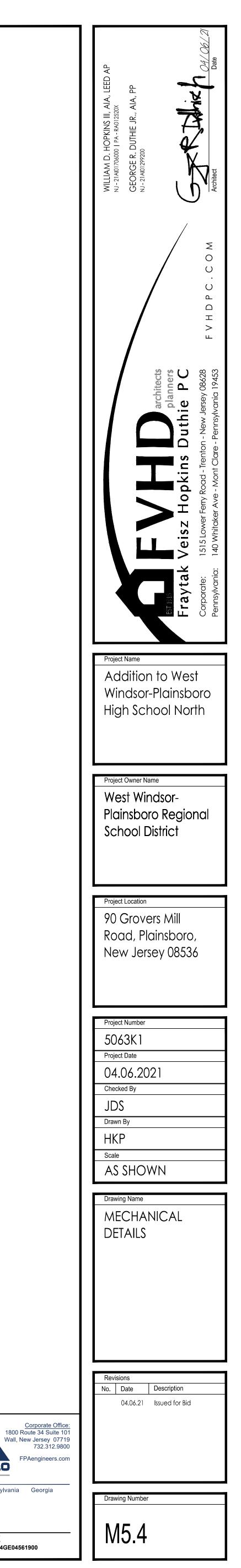












	DRAWINGS ARE DIAGRAMMATIC AND DEFINE THE INTENT OF THE WORK. LOCATIONS OF EQUIPMENT, FIXTURES, DEVICES, PANELBOARDS, DUCTS, PIPING, DIFFUSERS, PARTITIONS, OPENINGS, ETC. ARE APPROXIMATE AND ARE SUBJECT TO MODIFICATIONS CAUSED BY STRUCTURAL CONDITIONS AND	35.	ALL PENETRATIONS IN FOUNDATION WALLS AND FLOORS INCLUDING SLA PENETRATIONS SHALL BE SUBSTANTIALLY SEALED BY UTILIZING A NON-CRACKING POLYURETHANE OR SIMILAR CAULK OR EQUIVALENT TO CLOSE OFF THE SOIL GAS ENTRY ROUTES. ALL CONDUITS IN THE SPACE
	EQUIPMENT PROVIDED BY OTHER CONTRACTORS, SUBCONTRACTORS OR THE OWNER. COORDINATE ALL WORK WITH THE WORK OF OTHER TRADES. DETERMINE ROUGHING LOCATIONS FROM APPROVED SHOP DRAWINGS. MINOR MODIFICATIONS OF LOCATIONS REQUIRED TO EFFECT SUCH COORDINATION SHALL BE MADE AT NO COST TO THE OWNER.	36.	BELOW THE FOUNDATION FLOOR WHICH PENETRATE THESE BARRIERS S HAVE THREADED OR SOLVENTED FITTINGS. ALL NEW RACEWAY, WIRING AND CABLE IN NEW AND EXISTING FINISHED SPACES SHALL BE RUN CONCEALED IN NEW AND EXISTING CONSTRUCTI
2.	THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON FPA CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF FPA AND ARE INVALID.	37.	UNLESS OTHERWISE INDICATED CUT AND PATCH AS REQUIRED. PROVID PULLBOXES, SIZE AND TYPE AS REQUIRED. ALL NEW WIRING IS TO BE RUN CONCEALED WHERE POSSIBLE. PROVIDE PULLBOXES, SIZE AND LOCATION AS REQUIRED.
3.	REPRODUCTION OF ANY PORTION OF THE CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.	38.	EXPOSED RACEWAY, IF PERMITTED, SHALL BE RUN TRUE, PLUMB AND PARALLEL OR PERPENDICULAR TO BUILDING LINES. RIGID METAL CONDI 3/4 INCH MINIMUM, SHALL BE USED OUTDOORS ELECTRICAL METALLIC TUBING, 3/4 INCH MINIMUM, SHALL BE USED IN INDOOR UNFINISHED SPACE
4. 5.	SPECIFICATIONS MAY REQUIRE WORK, EQUIPMENT, SYSTEMS, METHODS, ETC. THAT IS NOT INDICATED ON THE DRAWINGS. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY TO EACH OTHER. WHERE DISCREPANCIES OR CONFLICTS OCCUR, THE	39.	SURFACE METAL RACEWAY (WIREMOLD) MAY BE USED IN EXISTING INDO FINISHED SPACES IF APPROVED BY THE ARCHITECT AND OWNER. ALL WIRING SHALL BE COPPER CONDUCTOR WITH 600 VOLTS INSULATIO METAL RACEWAY WITH APPROVED FITTINGS UNLESS OTHERWISE INDICA
-	CONTRACTOR SHALL INCLUDE THE MORE COSTLY METHOD IN HIS PROPOSAL UNLESS CLARIFIED BY BULLETIN OR ADDENDUM ACKNOWLEDGED PRIOR TO RECEIPT OF BIDS.	40.	
6.	DRAWINGS SHALL NOT BE SCALED. DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND REQUIREMENTS OF THE WORK. ALTHOUGH SIZE AND LOCATION OF EQUIPMENT IS DRAWN TO SCALE WHEREVER POSSIBLE, CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL OF THE CONTRACT DOCUMENTS AND VERIFY INFORMATION AT THE PROJECT SITE.	41. 42.	FEEDERS AND BRANCH CIRCUITS UNDERGROUND IN RACEWAY: TYPE THHN-THWN 90 DEGREE C INTERIOR FEEDERS AND BRANCH CIRCUITS IN RACEWAY: TYPE THHN 90 DEGREE C.
7.	THE OWNER WILL OCCUPY THE SITE AND EXISTING BUILDING DURING THE ENTIRE CONSTRUCTION PERIOD. COOPERATE WITH THE OWNER DURING CONSTRUCTION OPERATIONS TO AVOID ANY CONFLICTS. PERFORM THE WORK SO AS NOT TO INTERFERE WITH THE OWNER'S OPERATIONS.		EMERGENCY SYSTEM FEEDERS: TYPE THHN IN EMT CONDUIT. BRANCH CIRCUIT HOMERUNS TO FIRST OUTLET: TYPE THHN IN RACEWA AFTER THE FIRST OUTLET BOX, APPROVED CABLE MAY BE USED.
8.	SCHEDULE ALL POWER OUTAGES FOR OVERTIME ON SUNDAYS AND HOLIDAYS AT NO ADDITIONAL COST TO THE OWNER. EXISTING PROJECT CONDITIONS INDICATED ARE BASED ON FIELD OBSERVATION, EXISTING DESIGN / CONSTRUCTION DOCUMENTS AND	45.	FEEDERS SHALL BE MINIMUM 8 AWG BRANCH CIRCUIT WIRING MINIMUM AWG CONTROL WIRING MINIMUM 14 AWG UNLESS OTHERWISE INDICAT FEEDER AND BRANCH CIRCUIT WIRING LARGER THAN 10 AWG SHALL BE STRANDED CONDUCTOR 10 AWG AND SMALLER, STRANDED CONDUCTOR SOLID CONDUCTOR CONTROL WIRING, STRANDED CONDUCTOR.
9.	EXISTING RECORD DOCUMENTS AND ARE INTENDED TO INDICATE THE SCOPE OF THE WORK AFFECTED BY THIS PROJECT. THE TERM OTHERS SHALL BE UNDERSTOOD TO MEAN CONTRACTORS, SUBCONTRACTORS OR TRADESMEN ON THE PROJECT PERFORMING WORK ON THIS PROJECT UNDER SECTIONS OR DIVISIONS OTHER THAN ELECTRICAL	46.	METAL CLAD CABLE TYPE MC WITH 600 VOLT THHN INSULATION AND INSULATED GROUND CONDUCTOR MAY BE USED FOR BRANCH CIRCUITS IN HOLLOW SPACES, FISHED ABOVE EXISTING HUNG CEILINGS, FIXTURE CONNECTIONS AND ELSEWHERE AS PERMITTED BY THE NEC AND THE
10.	WORK. VERIFY THAT FIELD MEASUREMENTS AND CIRCUITING ARRANGEMENTS ARE AS INDICATED.	47.	ENGINEER. FIRE ALARM WIRING SHALL BE APPROVED FOR ITS APPLICATION 14 AW RACEWAY OR 14 AWG METAL CLAD CABLE FOR 120 VOLT CIRCUITS 16
	PRIOR TO BIDDING VISIT THE PROJECT SITE TO DETERMINE THE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. SCHEDULE SITE VISIT WITH OWNER. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR THE	48	FPLR OR FPLP FOR LOW VOLTAGE CIRCUITS IN NON AIR-HANDLING SPAC AND 14 AWG FPLP FOR LOW VOLTAGE CIRCUITS IN AIR-HANDLING APPLICATIONS. DO NOT INSTALL CONDUCTORS, WIRES OR CABLES OF ANY OTHER SYST
	ALL MATERIAL SHALL BE UNDERWRITERS' LABORATORIES LISTED FOR ITS APPLICATION WHERE SUCH LISTING IS APPLICABLE.		THE SAME RACEWAY OR CABLE WITH FIRE ALARM POWER SUPPLY CIRC NON-POWER LIMITED FIRE ALARM CIRCUITS OR POWER LIMITED FIRE AL CIRCUITS.
14. 15.	ALL EQUIPMENT SHALL BE AS INDICATED OR AS APPROVED BY THE ENGINEER. SUBMIT SHOP DRAWINGS, PRODUCT DATA SHEETS AND WIRING DIAGRAMS FOR ALL ELECTRICAL CONSTRUCTION MATERIALS, DEVICES, EQUIPMENT,	49. 50.	MAKE FLEXIBLE CONNECTIONS TO MOTORS AND OTHER ROTATING / VIBRATING EQUIPMENT. TAPS AND SPLICES FOR BRANCH CIRCUITS AND FEEDERS SHALL BE MAD WITH AN INSULATED TERMINAL BY ILSCO, OR APPROVED EQUAL.
16.	APPLIANCES AND SYSTEMS. OBTAIN SHOP DRAWINGS AND WIRING DIAGRAMS FROM OWNER AND OTHER CONTRACTORS FOR THE PROPER INSTALLATION OF RELATED ELECTRICAL		BRANCH CIRCUIT AND FEEDER TAPS SHALL BE FULL CIRCUIT SIZE UP TO THEIR OVERCURRENT PROTECTION DEVICE.
17	WORK AND, UNLESS OTHERWISE NOTED, WIRE ALL CONTROL DEVICES, VALVES, THERMOSTATS, ETC. REQUIRED FOR THE PROPER OPERATION OF THEIR SYSTEMS. OBTAIN ALL PERMITS REQUIRED, HAVE THE WORK INSPECTED FOR CODE		CONNECTIONS TO FIXTURE AND MOTOR LEADS 10 AWG AND SMALLERS BE MADE WITH 3M "SCOTCHLOK" PRE-INSULATED SPRING PRESSURE CONNECTORS TYPES Y, R OR G OR APPROVED EQUAL. STRANDED WIRING CONDUCTORS SHALL BE MADE UP TO SCREW TERMI
	COMPLIANCE AND PAY ALL FEES FOR INSPECTION AND CERTIFICATION. PROVIDE ADEQUATE TEMPORARY ELECTRICAL LIGHT AND POWER FOR THE PROJECT WORK OF ALL TRADES.		WITH 3M, T&B OR PANDUIT LOCKING FORK CRIMP TERMINALS WITH NYLO INSULATED GRIPS. UNLESS OTHERWISE INDICATED: ALL CONTROL, INTERLOCK AND
19. 20.	MAINTAIN CONTINUITY OF EXISTING CIRCUITS AFFECTED BY THIS WORK WHICH MUST REMAIN IN SERVICE. MAKE ALL MODIFICATIONS NECESSARY TO EXISTING PANELBOARDS AND		TEMPERATURE CONTROL WIRING FOR HVAC EQUIPMENT AND SYSTEMS SHALL BE FURNISHED, INSTALLED AND CONNECTED BY THE MECHANICA AUTOMATIC TEMPERATURE CONTROL CONTRACTOR ALL CONTROL AND INTERLOCK WIRING FOR PLUMBING EQUIPMENT AND SYSTEMS SHALL BE FURNISHED, INSTALLED AND CONNECTED BY THE ELECTRICAL CONTRAC
21.	SWITCHBOARDS TO ACCEPT NEW CIRCUITS. WHERE ELECTRICAL EQUIPMENT (I.E. SWITCHBOARDS, PANELBOARDS, TRANSFORMERS, DISCONNECTS, ETC.) OR SYSTEMS (I.E. FIRE ALARM, SOUND, INTERCOMMUNICATIONS, ALARM, ETC.) IS INDICATED TO BE MODIFIED TO ACCEPT NEW WORK SAID MODIFICATIONS SHALL BE PERFORMED BY ELECTRICAL EQUIPMENT FABRICATORS OR MANUFACTURER'S REPRESENTATIVES WHO CAN AFFECT SUCH MODIFICATIONS WITHOUT VOIDING THE UL LABEL OR MANUFACTURER'S WARRANTIES.		ALL ELECTRICAL POWER WIRING TO CONTROL PANELS, MOTOR OPERAT DAMPERS, MOTOR STARTERS, MOTORS AND ALL MECHANICAL DEVICES REQUIRE LINE VOLTAGE POWER SHALL BE FURNISHED, INSTALLED AND CONNECTED BY THE ELECTRICAL CONTRACTOR ALL CONTROL AND INTERLOCK WIRING FROM AUTOMATIC TEMPERATURE CONTROL PANELS CONTROLLED OR INTERLOCKED DEVICES SHALL BE FURNISHED, INSTALL AND CONNECTED BY THE MECHANICAL OR AUTOMATIC TEMPERATURE CONTROL CONTRACTOR REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
22.	WIRING, CONDUIT OR OTHER PART OF AN EXISTING ELECTRICAL SYSTEM, THE CONTRACTOR SHALL MODIFY OR EXTEND THE EXISTING SYSTEM COMPONENTS AS REQUIRED TO MEET THE CONNECTION POINT OF THE NEW ITEM. THE CONTRACTOR SHALL USE MATERIALS AND METHODS THAT MATCH THE EXISTING SYSTEM, OR AS SPECIFIED FOR NEW WORK, WHICHEVER IS	55.	THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL 120V CONTROL POW WIRING FEEDERS AND CIRCUIT BREAKERS REQUIRED FOR THE INSTALL OF MECHANICAL EQUIPMENT. STARTERS AND POWER DISCONNECT SWITCHES SHALL BE BY THE MECHANICAL CONTRACTOR. REFER TO SPECIFICATION SECTIONS AND COORDINATE WITH THE MECHANICAL CONTRACTOR FOR EXTENT OF WORK REQUIRED.
23.	"RECONNECTED" TO NEW WIRING, CONDUIT, ETC, THE CONTRACTOR SHALL	56.	WIRE EXIT LIGHTING AND EMERGENCY LIGHTING FIXTURES (UNIT EQUIP TO LOCAL AREA LIGHTING CIRCUIT SERVING THE RESPECTIVE AREA AHE OF SWITCH / DIMMER CONTROL.
	FABRICATE AND INSTALL THE NEW SYSTEM CONNECTIONS TO MATCH THE CONNECTION POINTS AND OTHER REQUIREMENTS OF THE EXISTING EQUIPMENT. WHERE THE EXISTING EQUIPMENT MUST BE REMOVED AND REINSTALLED TO FACILITATE THE REMOVAL OF THE OLD CONNECTIONS AND/ OR THE CONNECTION OF THE NEW MATERIAL, THAT WORK SHALL BE A PART	57.	WIRE ELECTRONIC TRAP PRIMERS TO NEAREST AVAILABLE 1P20A 120 VA CIRCUIT UNLESS OTHERWISE INDICATED. REFER TO PLUMBING FLOOR P AND SCHEDULES FOR LOCATIONS.
24.	OF THIS CONTRACT. EXACT LOCATION OF EQUIPMENT SHALL BE COORDINATED IN THE FIELD.	58.	CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AND INSTALLATI DETAILS AND VERIFY ALL MANUFACTURER'S REQUESTS PRIOR TO ANY SUBMISSION FOR CONSIDERATION BY THE ARCHITECT, ENGINEER OR OWNER.
26.	REFER TO APPROVED REFLECTED CEILING PLANS FOR EXACT LIGHTING LAYOUTS. REFER TO DRAWINGS AND SPECIFICATIONS OF OTHER TRADES FOR EQUIPMENT LOCATIONS AND CONTROLS.	59.	WIRING RUNS INDICATED ON THE DRAWINGS EXPRESS THE INTENT OF CIRCUIT ASSIGNMENT AND SWITCH CONTROL. ACTUAL WIRING METHOD USED SHALL BE SUITED FOR THE CONSTRUCTION OF THE BUILDING. REF TO DRAWINGS OF OTHER TRADES AND EXISTING CONDITIONS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS. NUMBER OF CONDUCTORS IS
27. 28.	GROUNDING AND BONDING SHALL MEET NEC AND EQUIPMENT / SYSTEM MANUFACTURER'S REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF DEBRIS GENERATED BY HIS WORK AND WORKERS AT THE END OF EACH WORKING	60.	ALWAYS INDICATED PROVIDE DISCONNECTS FOR ALL APPLIANCES, EQUIPMENT, MOTORS AN CONTROLLERS.
29.	DAY AND FOR GENERAL GOOD HOUSEKEEPING BY HIS WORKERS. CONTRACTOR SHALL PROVIDE REQUIRED REFUSE CONTAINERS. DISCONNECT AND REMOVE FROM THE PREMISES, OR STORE ON THE PREMISES IF REQUESTED BY THE OWNER, ALL EQUIPMENT FIXTURES,	61. 62.	INSTALL MOTOR STARTERS, CONTROLLERS OR COMBINATION STARTERS FURNISHED FOR EACH MOTOR. LOCATE AS DIRECTED IN THE FIELD. PROVIDE UN-SWITCHED 125 VOLT 20 AMP RECEPTACLE OUTLETS LOCAT THE SAME LEVEL AND WITHIN 25 FEET OF ALL HEATING, AIR-CONDITIONING
30.	DEVICES, RACEWAY, WIRING, CABLE, SUPPORTING DEVICES, ETC. REMOVED OR ABANDONED AS A RESULT OF THIS WORK. MAKE SAFE ALL WIRING AND CABLE WHICH MUST REMAIN IN SERVICE. REMOVE AND RELOCATE EXISTING EQUIPMENT, FIXTURES, DEVICES, ETC. AS	63.	AND REFRIGERATION EQUIPMENT UNLESS OTHERWISE NOTED. ROUTE RACEWAYS THROUGH ROOF USING DEDICATED ROOF JACKS OR POCKETS. RUN RACEWAY ON ROOF ON DEDICATED ROOF SUPPORTS EIG INCHES HIGH MINIMUM.
	INDICATED AND AS REQUIRED TO CLEAR NEW WORK. EXTEND AND CONNECT NEW WIRING TO EXISTING. DISCONNECT AND REMOVE, OR TEMPORARILY RELOCATE, EXISTING LIGHTING	64.	PROVIDE SEISMIC RESTRAINTS AND ANCHORS FOR EQUIPMENT, FIXTUR RACEWAY, ETC. AS REQUIRED BY INTERNATIONAL BUILDING CODE CHAP 16 - STRUCTURAL DESIGN AND CHAPTER 17 - STRUCTURAL TESTING AND
	FIXTURES, LOUDSPEAKERS, ETC. TO CLEAR THE INSTALLATION OF NEW DUCTWORK, PIPING, EQUIPMENT, ETC. THROUGHOUT THE ENTIRE RENOVATED AREAS AND REINSTALL WHEN WORK IS COMPLETE. REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS FOR THE EXTENT OF THE WORK. PROVIDE TEMPORARY NORMAL AND EMERGENCY LIGHTING AND TEMPORARILY RECONNECT LOUDSPEAKERS,	65.	INSPECTIONS AND AS SPECIFIED IN SPECIFICATION SECTION "SEISMIC CONTROLS". ALL 125 VOLT, SINGLE PHASE, 15- AND 20-AMPERE SINGLE AND DUPLEX RECEPTACLES WHICH DO NOT SERVE A DEDICATED APPLIANCE AND ARE WITHIN A 6 FOOT RADIUS OF A SINK, ARE INSTALLED IN WET LOCATIONS,
32.	ETC. UNTIL THE CEILING IS REINSTALLED. EXTEND EXISTING WIRING TO NEW LOCATIONS AS REQUIRED. TEMPORARILY RELOCATE, EXISTING FIRE ALARM DEVICES, HEAT/SMOKE		INSTALLED IN BATHROOMS, ON ROOFS, OR OUTDOORS WITH DIRECT GR ACCESS, SHALL BE GROUND FAULT CIRCUIT INTERRUPTING TYPE WHER AVAILABLE OR SHALL BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTING CIRCUIT BREAKERS.
	DETECTORS, ETC. TO CLEAR THE INSTALLATION OF NEW DUCTWORK, PIPING, EQUIPMENT, ETC. THROUGHOUT THE ENTIRE RENOVATED AREA. PROVIDE TEMPORARY SUPPORT OF EXISTING DEVICES AND REINSTALL WHEN WORK IS COMPLETED. RE-TEST THE FIRE ALARM SYSTEM PER NFPA 72 REQUIREMENTS. EXISTING FIRE ALARM DEVICES SHALL NOT BE DISABLED OR REMOVED FROM SERVICE. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL PLANS AND SPECIFICATIONS FOR THE EXTENT OF THIS WORK.	66.	DO NOT INSTALL EXPOSED WIRING, OR CABLE NOT UL LISTED FOR THE PURPOSE WOOD SUPPORTS OR ANCHORAGES NONMETALLIC CONDUIT BOXES OR FITTINGS OR VINYL, PLASTIC, NYLON, OR OTHER COMBUSTIB SMOKE PRODUCING IDENTIFICATION OR CONSTRUCTION MATERIALS IN SPACE ABOVE HUNG CEILINGS USED AS A PLENUM FOR THE RETURN OF ENVIRONMENTAL AIR.
33.	REMOVE AND REINSTALL CEILING SYSTEM AS REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK AND REPLACE IN KIND ANY COMPONENTS DAMAGED BY PERSONNEL OR EQUIPMENT DURING	_	DEMONSTRATE PRODUCT CAPABILITY AND COMPLIANCE WITH REQUIREMENTS OF ALL ELECTRICAL DEVICES, EQUIPMENT AND SYSTEM
34.	PERFORMANCE OF THE WORK. COORDINATE WITH ARCHITECT. PERFORM ALL CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF THE WORK. CUT NO STRUCTURAL MEMBER WITHOUT WRITTEN PERMISSION FROM THE ENGINEER. FINISH AND PAINT ALL PATCHED SURFACES WITH TWO	68. 69. 70.	PERFORM MANUFACTURER'S RECOMMENDED TESTS AND SUBMIT RESULT VERIFY PROPER ROTATION OF ALL ROTATING ELECTRICAL MACHINERY. TEST SWITCHBOARDS, PANELBOARDS, TRANSFORMERS, CABLES, SWITCH
	FROM THE ENGINEER. FINISH AND PAINT ALL PATCHED SURFACES WITH TWO COATS OF PAINT TO MATCH EXISTING SURFACES AS CLOSELY AS POSSIBLE. SEAL OPENINGS VERMIN AND WATER PROOF AND MAINTAIN FIRE RATING. USE SPECIFIED TECHNOLOGIES, INC. SPECSEAL SERIES LCI FOR PENETRATIONS	τυ.	TEST SWITCHBOARDS, PANELBOARDS, TRANSFORMERS, CABLES, SWITC CIRCUIT BREAKERS, GROUNDING SYSTEM, GROUND FAULT PROTECTION SYSTEM, SURGE ARRESTORS, AND TVSS DEVICES IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE CURRENT EDITION OF THE INTERNATION ELECTRICAL TESTING ASSOCIATION ACCEPTANCE TESTING SPECIFICATI FOR ELECTRIC POWER DISTRIBUTION EQUIPMENT AND SYSTEMS (NETA A PERFORM EACH VISUAL AND MECHANICAL INSPECTION AND ELECTRICAL

LOORS INCLUDING SLAB D BY UTILIZING A _K OR EQUIVALENT TO	71.
NDUITS IN THE SPACE	72.
ND EXISTING FINISHED EXISTING CONSTRUCTION AS REQUIRED. PROVIDE	73.
RE POSSIBLE. PROVIDE	74

STRANDED CONDUCTOR OR CONDUCTOR. I INSULATION AND OR BRANCH CIRCUITS RUN 78. IG CEILINGS, FIXTURE

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PROVIDE TWO SETS OF OPERATION AND MAINTENANCE MANUALS, BOUND AND INDEXED, WITH INSTRUCTIONS FOR ALL ELECTRICAL DEVICES, EQUIPMENT, APPLIANCES AND SYSTEMS.

PROVIDE ONE SET OF REPRODUCIBLE CONTRACT DRAWINGS, OR DIGITAL DATA FILES USING SAME SOFTWARE PROGRAM, VERSION, AND OPERATING SYSTEM AS CONTRACT DOCUMENTS, THAT HAVE BEEN REVISED AND ANNOTATED TO REFLECT THE AS-BUILT CONDITIONS OF THE PROJECT.

DELIVER CERTIFICATES OF ELECTRICAL AND OTHER INSPECTIONS, OR COPIES THEREOF, TO THE OWNER AT THE COMPLETION OF THE PROJECT WITH COPIES TO THE ENGINEER.

74. GUARANTEE ALL WORK IN WRITING TO THE OWNER AGAINST ANY AND ALL DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE AND PERFORM ALL CORRECTIVE WORK AT NO COST TO THE OWNER.

A CONTRACTOR MAKING A BID FOR WORK ON THIS PROJECT IS MADE AWARE 75. BY THIS NOTE THAT IT IS THE INTENT OF THE OWNER TO HAVE A COMPLETELY INSTALLED JOB. THE CONTRACTOR MAKING A BID FOR THIS WORK WARRANTS THAT HE WILL COMPLETE AND WIRE, PROVIDING ALL NECESSARY ELECTRICAL WORK FOR EQUIPMENT SHOWN AND / OR DETAILED ON ANY PROJECT DRAWINGS OR SPECIFICATIONS AND NOT JUST THOSE COMMONLY REFERRED TO AS A SINGLE TRADE DRAWING UNLESS SPECIFICALLY IDENTIFIED ELSEWHERE AS WORK OF OTHER TRADES. WHERE EQUIPMENT REQUIRING WIRING IS SPECIFIED OR SHOWN ON DRAWINGS OTHER THAN ELECTRICAL DRAWINGS, OR INDICATED, OR IMPLIED, SUCH AS ON SHOP DRAWINGS SUBMITTED LATER, THE CONTRACTOR CAN AND SHALL REQUEST DIRECTION REGARDING CIRCUIT SIZING PROTECTION AND ROUTING WHERE NECESSARY BUT SHALL UNDERSTAND ALL NECESSARY WORK TO COMPLETE THE INSTALLATION SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER OR PROJECT.

76. THE INSTALLATION OF ALL ELECTRICAL WORK INDICATED ON ALL ELECTRICAL DRAWINGS AND IN THE SPECIFICATIONS AND ANY SUBSEQUENT BULLETINS OR ADDENDA SHALL COMPLY WITH NEW JERSEY ADMINISTRATIVE CODE TITLE

77. THE SPACE ABOVE THE HUNG CEILING IS USED AS A PLENUM FOR THE RETURN OF ENVIRONMENTAL AIR. DO NOT INSTALL EXPOSED WIRING, OR CABLE NOT UL LISTED FOR THE PURPOSE WOOD SUPPORTS OR ANCHORAGES NONMETALLIC CONDUIT, BOXES OR FITTINGS OR VINYL, PLASTIC, NYLON, OR OTHER COMBUSTIBLE OR SMOKE PRODUCING IDENTIFICATION OR CONSTRUCTION MATERIALS IN THIS SPACE. ALL WIRING NOT INSTALLED IN CONDUIT SHALL BE PLENUM RATED.

PRE-EXISTING CONDITIONS ARE EXEMPT PER NJAC 5:23-6.8(D)10. "EXISTING WORKING CLEARANCES, CLEAR SPACE, ACCESS AND ENTRANCE DIMENSIONS TO WORKING SPACES, ILLUMINATION, HEADROOM CLEARANCES, AND LOCATION OF OVERCURRENT PROTECTION DEVICES SHALL BE ALLOWED TO REMAIN WITHOUT MODIFICATION."

THE CAPACITY OF THE EXISTING FIRE ALARM SYSTEM IS NOT BEING 79. DIMINISHED BELOW THAT WHICH EXISTS AT THE PRESENT TIME. NJAC 5:23-6.5(C) AND 5:23-6.6(C).

80. PROVIDE HEAVY GAUGE WELDED WIRE MESH PROTECTIVE GUARDS ON ALL FIRE ALARM DEVICES, CLOCKS, LOUDSPEAKERS, CALL INITIATING DEVICES, EXIT LIGHTS, EMERGENCY LIGHTING UNITS AND BATTERY PACKS IN CAFETERIAS, MULTIPURPOSE ROOMS, GYMNASIUMS, WEIGHT ROOMS, LOCKER ROOMS, BOILER ROOMS, MECHANICAL ROOMS, LOADING DOCKS, RECEIVING AREAS, PIPE SPACES, PIPE TUNNELS, STAGES, STORAGE ROOMS, SHOPS AND SHAFTS, ON THE BUILDING EXTERIOR, AND OTHER SPACES AND AREAS WHERE DEVICES ARE SUBJECT TO DAMAGE OR ACCIDENTAL OPERATION FROM SPORTS, PHYSICAL ACTIVITIES, GENERAL HOUSEKEEPING, MAINTENANCE, OR THE MOVEMENT OF SUPPLIES, MATERIALS, FURNITURE AND EQUIPMENT

ALL NEW CONSTRUCTION AND RENOVATION WORK SHOWN ON THE 81 DRAWINGS AND CONTAINED IN THE SPECIFICATIONS (UNLESS OTHERWISE NOTED AS "NOT IN CONTRACT" OR "N.I.C.") IS THE RESPONSIBILITY OF THE SINGLE PRIME GENERAL CONTRACTOR. REFERENCES TO SPECIFIC TRADE SUBCONTRACTORS (PLUMBING, MECHANICAL, ELECTRICAL, ETC.) ARE PROVIDED TO ASSIST THE SINGLE PRIME GENERAL CONTRACTOR IN THE DELINEATION OF SUBCONTRACTOR WORK. THE SINGLE PRIME GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DELINEATION OF ITS SUBCONTRACTORS' WORK AND THEREFORE SHALL NOT RELY ON SPECIFIC TRADE REFERENCES SHOWN ON THE CONTRACT DOCUMENTS.

THE EMERGENCY SYSTEM CONSISTS OF ALL FEEDERS AND BRANCH CIRCUITS 82 INDICATED AS THE LIFE SAFETY BRANCHES. THE WIRING OF THE EMERGENCY SYSTEM SHALL BE RUN IN ELECTRICAL METALLIC TUBING IN ACCORDANCE WITH NEC 517-30(C)(3).

ELECTRICAL CONTRACTOR TO CAREFULLY REMOVE AND STORE EXISTING 83. HUNG CEILING TILES INCLUDING THE LAY-IN ACOUSTIC CEILING TILES, SUPPORT GRID AND HANGERS AS REQUIRED TO FACILITATE INSTALLATION OF THE NEW WORK IN THE AFFECTED AREAS. PRIOR TO CEILING REMOVALS THE ELECTRICAL CONTRACTOR SHALL TEMPORARILY SUPPORT ALL EXISTING LIGHT FIXTURES, SENSORS OR OTHER EXISTING WIRED COMPONENTS AS MAY BE REQUIRED TO FACILITATE CEILING REMOVAL. AFTER WORK IS COMPLETED, CONTRACTOR SHALL RE-INSTALL THE EXISTING CEILING GRID AND EXISTING ACOUSTICAL TILES. CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY DAMAGED GRID, TILE AND/OR FIXTURE THAT MIGHT OCCUR DURING DEMOLITION AND/OR RE-INSTALLATION OF THE EXISTING CEILING. NEW GRID/TILES AND FIXTURE TO MATCH EXISTING. PATCH AND REPAIR ALL SURFACES DAMAGED TO MATCH EXISTING ADJACENT FINISH.

CONTRACTOR SHALL PROVIDE FIELD MARKINGS ON ELECTRICAL SERVICE EQUIPMENT TO INCLUDE THE AVAILABLE SHORT CIRCUIT RATING FROM THE UTILITY PER NEC 110.24.

IXTURES (UNIT EQUIPMENT) 85. CONTRACTOR SHALL PROVIDE AND INSTALL A LOCAL LOCKABLE DISCONNECT SWITCH BY EACH PIECE OF MOTORIZED OR PACKAGED EQUIPMENT. DISCONNECT AMPACITY RATING SHALL AT LEAST MATCH THAT OF THE UPSTREAM CIRCUIT BREAKER PROTECTING THE EQUIPMENT. INDOOR DISCONNECTS SHALL BE NEMA 1 TYPE AND OUTDOOR DISCONNECTS SHALL BE BE NEMA 3R TYPE.

> 86. IN ALL AREAS WHERE WORK IS BEING PERFORMED UNDER THIS CONTRACT, CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPORTING ALL EXISTING ELECTRICAL DEVICES AND WIRING/CONDUIT ABOVE THE EXISTING CEILINGS, PER NEC. ALL TELEDATA AND FIRE ALARM WIRING SHALL BE INDEPENDENTLY SUPPORTED FROM THE STRUCTURE WITH J-HOOKS AND NOT TIE-WRAPPED TO CONDUITS OR MECHANICAL PIPING.. ALL EXISTING POWER WIRING/CONDUIT AND JUNCTION BOXES SHALL BE INDEPENDENTLY SUPPORTED TO THE STRUCTURE AND NOT TO THE CEILING GUIDE WIRES, HVAC DUCTS, PIPING, ETC. PROVIDE ALL REQUIRED SUPPORTS AND ACCESSORIES AS REQUIRED PER NEC.

> UPON AWARD OF CONTRACT AND SUBSEQUENT APPROVAL OF SHOP 87 DRAWINGS BY ENGINEER OF RECORD, THE CONTRACTOR SHALL FILL OUT AND FILE AIR PERMIT APPLICATIONS IN A TIMELY MANNER FOR GENERATORS. THE CONTRACTOR SHALL PAY ALL FEES FOR THE PERMITS AND INSPECTIONS. PROVIDE THE OWNER AND ENGINEER EACH WITH A COPY OF FILLED OUT FORMS PRIOR TO MAILING. CONTRACTOR MUST SECURE PERMIT PRIOR TO PROJECT CLOSEOUT. SEND FORMS ALONG WITH NJDEP'S REQUIRED FEE TO: NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND ENERGY BUREAU OF SOURCE REVIEW, CN-27, TRENTON, NEW JERSEY 08625-0027.

> 88. CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY CONFLICT DISCOVERED BEFORE PERFORMING ANY WORK RELATED TO SUCH CONFLICT.

DEMOLITION NOTES:

- 1. DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL ASSOCIATED WI CONDUIT, DISCONNECT SWITCHES, ETC UNLESS SPECIFICALLY NOT OTHERWISE.
- 2. WHERE WIRING/CONDUIT SERVING AN EXISTING PIECE OF EQUIPME BELOW GRADE, CONTRACTOR SHALL REMOVE ALL WIRING BACK TO SOURCE AND CUT CONDUIT FLUSH WITH EXISTING FLOOR. PROVIDE WATERPROOF SEAL AROUND ALL OPENINGS
- THE CONTRACTOR SHALL PERFORM DEMOLITION AND REMOVAL WORK WITH MINIMUM INTERFERENCE WITH FUNCTIONING ELECTRICAL SYSTEMS. ALL AFFECTED SYSTEMS SHALL BE RECONNECTED AND RESTORED.
- 4. DEMOLITION AND REMOVAL WORK SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER. THE CONTRACTOR SHALL PATCH, REPAIR OR OTHERWISE RESTORE ANY DAMAGED INTERIOR OR EXTERIOR BUILDING SURFACE TO ITS ORIGINAL CONDITION.
- 5. THE CONTRACTOR SHALL REMOVE ALL ELECTRICAL LIGHT FIXTURES COMPLETE WITH ASSOCIATED WIRING, CONDUITS, ETC. WHERE THE REMOVAL OF THESE ITEMS DISRUPTS EXISTING WIRING THAT IS TO REMAIN, THE CONTRACTOR SHALL INSTALL JUNCTION BOXES AND OTHER DEVICES AND PROVIDE BYPASS CONNECTIONS NECESSARY TO MAKE CIRCUITS AFFECTED CONTINUOUS AND READY FOR OPERATION. OTHERWISE, WIRING SHALL BE REMOVED BACK TO THE NEAREST ELECTRICAL JUNCTION BOX THAT IS TO REMAIN OR TO PANELBOARD.
- 6. ALL UNUSED OUTLET BOXES OR CAPPED FLOOR OUTLETS SHALL BE PROVIDED WITH MATCHING BLANK COVERS.
- 7. EXISTING PANEL DIRECTORIES AFFECTED BY THE WORK SHALL BE MODIFIED TO REFLECT THE BRANCH CIRCUIT WIRING CHANGES. 8. PORTIONS OF FEEDER RUNS TO BE REMOVED OR ABANDONED AS A RESULT
- OF DEMOLITION WORK, BUT WHICH ARE REQUIRED TO REMAIN ENERGIZED, SHALL BE CUT AT CONVENIENT LOCATIONS, REROUTED AND RECONNECTED. NEW FEEDER EXTENSIONS SHALL MATCH EXISTING ONES IN ALL RESPECTS, CABLE TYPE, CONDUCTOR AMPACITY, CONDUIT SIZES, ETC.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER HANDLING, DISPOSAL, AND ASSOCIATED COSTS OF ALL MATERIAL REMOVED FROM FIXTURES, DURING THIS CONTRACT, IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES AND/OR REGULATIONS.
- 10. DISCONNECT AND REMOVE FROM THE PREMISES, OR STORE ON THE PREMISES IF REQUESTED BY THE OWNER, ALL EQUIPMENT AND LIGHT FIXTURES, AND SUPPORTING DEVICES REMOVED AS A RESULT OF THIS WORK.
- 11. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING CEILING SYSTEM INCLUDING BUT NOT LIMITED TO GRID, TILES, AND SUPPORT AND SHALL REPLACE IN KIND ANY DAMAGED CEILING COMPONENTS.

APPLICABLE CODES

ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST CODES AND SUBCODES AS ADOPTED BY THE STATE OF NEW JERSEY: NEW JERSEY UNIFORM CONSTRUCTION CODE (NJUCC)

- REHABILITATION SUBCODE 5:23-6
- ADMINISTRATIVE CODE: TITLE 6 • 2018 INTERNATIONAL BUILDING CODE - NJ EDITION
- 2017 NATIONAL ELECTRICAL CODE 2016 ASHRAE 90.1 ENERGY CONSERVATION CODE
- 2016 NFPA 13 REQUIREMENTS OF LOCAL AUTHORITY HAVING JURISDICTION

MOUNTING HEIGHTS					
HEIGHT	DESCRIPTION				
10'-0"	EMERGENCY BATTERY UNITS (OR 1'-0" BELOW CEILING)				
90" TO 6" BELOW CLG	FIRE ALARM AUDIBLE ALARM SIGNALS				
7'-6" TO 8'-0"	FIRE ALARM COMBINATION ALARM SIGNALS				
7'-0" TO 8'-0"	FIRE ALARM VISUAL SIGNALS				
6'-6"	TOP OF ELECTRICAL PANEL BOARDS (LIGHTING OR POWER)				
6'-0"	TOP OF HIGHEST ELECTRICAL DISCONNECT SWITCH OR STARTER				
4'-0"	TOP OF WALL MOUNTED DEVICES SUCH AS LIGHT SWITCHES, MANUAL MOTOR STARTERS, THERMOSTATS, TELEPHONE/INTERCOM HANDSETS, FIRE ALARM PULLSTATIONS, ETC.				
4'-0"	TOP OF WALL MOUNTED WIREMOLD (U.N.O.)				
2'-0"	BOTTOM OF RECEPTACLES IN MECHANICAL ROOMS AND EXTERIOR OF BUILDING.				
1'-6"	BOTTOM OF RECEPTACLES, TELEPHONE/TELEDATA OUTLETS, TELEVISION JACKS, ETC				
0'-0"	FINISHED FLOOR ELEVATION.				

ABBREVIATIONS

A AFF AFG C CB CH CO CT CU EC EG EM EMT ETR EWC FA FBO GFI	AMPERE ABOVE FINISHED FLOOR ABOVE FINISHED GRADE CONDUIT(S) CIRCUIT BREAKER COUNTER HEIGHT CONDUIT ONLY CURRENT TRANSFORMER COPPER ELECTRICAL CONTRACTOR EQUIPMENT GROUND EMERGENCY ELECTRICAL METALLIC TUBING EXISTING TO REMAIN ELECTRIC WATER COOLER FIRE ALARM FURNISHED BY OTHERS GROUND FAULT INTERRUPTER	GND, G IC IG I/L MC MOD NIC NL NTS RL RGS SPD TVSS T/C UON V W W	GROUND INTERRUPTING CAPACITY ISOLATED GROUND INTERLOCKED MECHANICAL CONTRACTOR MOTOR OPERATED DAMPER NOT IN CONTRACT NIGHT LIGHT NOT TO SCALE RELOCATED RIGID GALVANIZED STEEL SURGE PROTECTIVE DEVICE TRANSIENT VOLTAGE SURGE SUPPRESSOR TIME CLOCK UNLESS OTHERWISE NOTED VOLTS WALL MOUNTED WEATHERPROOF

SYMBOL LIST NOTES

- 1. SYMBOLS ARE INDICATED FOR GENERAL REFERENCE ONLY. THE PRESENCE OF A SYMBOL DOES NOT INDICATE ITS USE ON THIS PROJECT. REFER TO PLAN DRAWINGS FOR SPECIFIC SYMBOLS USED.
- 2. PROVIDE MOLDED INSERTS AT ALL PADDED WALL LOCATIONS (GYMNASIUMS, MULIT-PURPOSE ROOMS, ETC.). INSERTS SHALL BE AS MANUFACTURED BY PORTER ATHLETIC OR EQUAL, MODEL NO. 343 OR NO. 344 AS REQUIRED. COLOR AS SELECTED BY ARCHITECT.
- 3. ALL WIRING DEVICES SHALL BE LABELED WITH PANEL AND CIRCUIT NUMBER ON DEVICE PLATES.

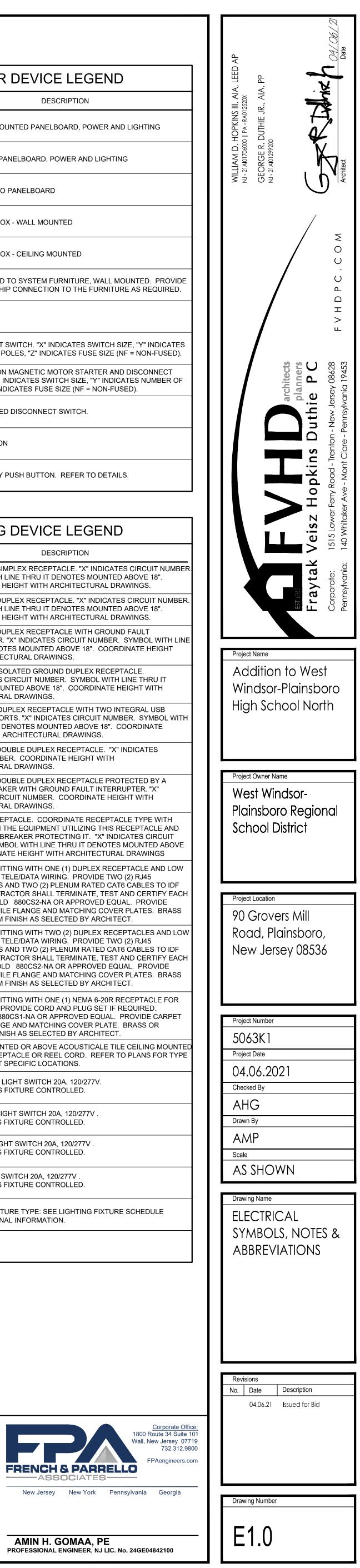
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LOW VOLTAGE DEVICE LEGEND SYMBOLS DESCRIPTION DATA COMMUNICATIONS OUTLET: 2-GANG JUNCTION BOX WITH $\nabla \quad \forall$ TWO (2) RJ45 CONNECTORS AND TWO (2) PLENUM RATED CAT6 CABLES TO NEAREST MDF OR IDF ROOM. CONTRACTOR SHALL TERMINATE, TEST AND CERTIFY EACH END. COMBINATION VOICE/DATA COMMUNICATIONS OUTLET: 2-GANG JUNCTION BOX WITH TWO (2) RJ45 CONNECTORS AND TWO (2) $\mathbf{A} \mathbf{A}$ PLENUM RATED CAT6 CABLES TO NEAREST MDF OR IDF ROOM. CONTRACTOR SHALL TERMINATE, TEST AND CERTIFY EACH END. INTERCOM SYSTEM CALL INIDATION DEVICE OR HANDSET. REFER TO RISER DIAGRAM. CATV JACK: 2-GANG JUNCTION BOX WITH 3/4" CONDUIT AND ΤV PULLSTRING UP TO ACCESSIBLE CEILING. CEILING MOUNTED PAGING SYSTEM SPEAKER MATCH EXISTING S S SYSTEM. REFER TO RISER DIAGRAM WALL MOUNTED SYSTEM CLOCK TO MATCH EXISTING SYSTEM. REFER TO RISER DIAGRAM. WALL MOUNTED SYSTEM CLOCK / INTERCOM SPEAKER TO MATCH CS EXISTING SYSTEM. REFER TO RISER DIAGRAM. CCTV CAMERA: 1-GANG JUNCTION BOX AND 3/4" CONDUIT UP TO ACCESSIBLE CEILING SPACE FOR USE BY OWNER'S VENDOR. CARD READER: 1-GANG JUNCTION BOX AND 3/4" CONDUIT UP TO CR ACCESSIBLE CEILING SPACE FOR USE BY OWNER'S VENDOR .. DOOR CONTACT: 1-GANG JUNCTION BOX AND 3/4" CONDUIT UP DC TO ACCESSIBLE CEILING SPACE FOR USE BY OWNER'S VENDOR. CEILING MOUNTED DATA COMMUNICATIONS OUTLET: 2-GANG JUNCTION BOX WITH TWO (2) RJ45 CONNECTORS AND TWO (2) PLENUM RATED CAT6 CABLES TO IDF ROOM. CONTRACTOR SHALL TERMINATE, TEST AND CERTIFY EACH END. WIRELESS ACCESS POINT - PLENUM RATED CAT6 CABLE TO NEAREST MDF OR IDF ROOM. CONTRACTOR SHALL TERMINATE TEST AND CERTIFY EACH END.

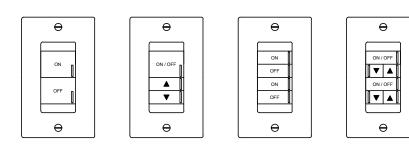
FI	RE ALARM DEVICE LEGEND
SYMBOLS	DESCRIPTION
▽ F	FIRE ALARM SPEAKER / STROBE
O F	FIRE ALARM STROBE
E	FIRE ALARM MANUAL PULL STATION
FACP	FIRE ALARM CONTROL PANEL
FANN	FIRE ALARM ANNUNCIATOR PANEL
SD	DUCT SMOKE DETECTOR
S SA	CEILING MOUNTED SMOKE DETECTOR. "A" INDICATES MOUNTED ABOVE CEILING.
	CEILING MOUNTED RATE OF RISE HEAT DETECTOR, "A" INDICATES MOUNTED ABOVE CEILING.
	CEILING MOUNTED HEAT DETECTOR, 135° UON. "A" INDICATES MOUNTED ABOVE CEILING.
(H) ₁₉₅ (H) ^A ₁₉₅	CEILING MOUNTED HEAT DETECTOR, 195° UON. "A" INDICATES MOUNTED ABOVE CEILING.
Ô	CARBON MONOXIDE DETECTOR
SC	COMBINATION SMOKE/CARBON MONOXIDE DETECTOR
Ø	CEILING MOUNTED SPEAKER / STROBE
DH	DOOR HOLDER
TS	SPRINKLER SYSTEM TAMPER SWITCH
FS	SPRINKLER SYSTEM FLOW SWITCH
ММ	ADDRESSABLE MONITOR MODULE
СМ	ADDRESSABLE CONTROL MODULE
SKL	REMOTE TEST KEY SWITCH AND INDICATING LIGHT FOR SMOKE DUCT DETECTOR.

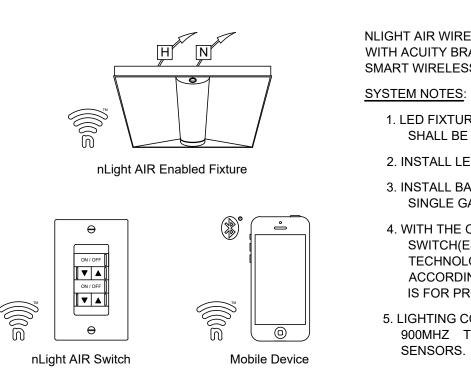
POWER DEVICE LEGEND					
SYMBOLS	DESCRIPTION				
	SURFACE MOUNTED PANELBOARD, POWER AND LIGHT				
	RECESSED PANELBOARD, POWER AND LIGHTING				
)	HOMERUN TO PANELBOARD				
Q	JUNCTION BOX - WALL MOUNTED				
Q	JUNCTION BOX - CEILING MOUNTED				
P	POWER FEED TO SYSTEM FURNITURE, WALL MOUNTED FLEXIBLE WHIP CONNECTION TO THE FURNITURE AS R				
K M	MOTOR				
∐ - J X/Y/Z	DISCONNECT SWITCH. "X" INDICATES SWITCH SIZE, "Y" NUMBER OF POLES, "Z" INDICATES FUSE SIZE (NF = NO				
X/Y/Z	COMBINATION MAGNETIC MOTOR STARTER AND DISCO SWITCH. "X" INDICATES SWITCH SIZE, "Y" INDICATES N POLES, "Z" INDICATES FUSE SIZE (NF = NON-FUSED).				
S™	MOTOR RATED DISCONNECT SWITCH.				
●	PUSH BUTTON				
E	EMERGENCY PUSH BUTTON. REFER TO DETAILS.				

	WIRING DEVICE LEGEND
SYMBOLS	DESCRIPTION
φ× φ ×	NEMA 5-20R SIMPLEX RECEPTACLE. "X" INDICATES CIRCU SYMBOL WITH LINE THRU IT DENOTES MOUNTED ABOVE COORDINATE HEIGHT WITH ARCHITECTURAL DRAWINGS
₽ × ₽ ×	NEMA 5-20R DUPLEX RECEPTACLE. "X" INDICATES CIRCU SYMBOL WITH LINE THRU IT DENOTES MOUNTED ABOVE COORDINATE HEIGHT WITH ARCHITECTURAL DRAWINGS
₽ × ₽ ×	NEMA 5-20R DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER. "X" INDICATES CIRCUIT NUMBER. SYMBO THRU IT DENOTES MOUNTED ABOVE 18". COORDINATE H WITH ARCHITECTURAL DRAWINGS.
₽ × ₽ ×	NEMA 5-20R ISOLATED GROUND DUPLEX RECEPTACLE. "X" INDICATES CIRCUIT NUMBER. SYMBOL WITH LINE THI DENOTES MOUNTED ABOVE 18". COORDINATE HEIGHT W ARCHITECTURAL DRAWINGS.
₩ × ₩×	NEMA 5-20R DUPLEX RECEPTACLE WITH TWO INTEGRAL CHARGING PORTS. "X" INDICATES CIRCUIT NUMBER. SYI LINE THRU IT DENOTES MOUNTED ABOVE 18". COORDIN HEIGHT WITH ARCHITECTURAL DRAWINGS.
₽×	NEMA 5-20R DOUBLE DUPLEX RECEPTACLE. "X" INDICAT CIRCUIT NUMBER. COORDINATE HEIGHT WITH ARCHITECTURAL DRAWINGS.
₽×	NEMA 5-20R DOUBLE DUPLEX RECEPTACLE PROTECTED CIRCUIT BREAKER WITH GROUND FAULT INTERRUPTER. INDICATES CIRCUIT NUMBER. COORDINATE HEIGHT WITH ARCHITECTURAL DRAWINGS.
₽ × ₽ ×	SPECIAL RECEPTACLE. COORDINATE RECEPTACLE TYPE THE PLUG ON THE EQUIPMENT UTILIZING THIS RECEPTA THE CIRCUIT BREAKER PROTECTING IT. "X" INDICATES ON NUMBER. SYMBOL WITH LINE THRU IT DENOTES MOUNT 18". COORDINATE HEIGHT WITH ARCHITECTURAL DRAWI
F	FLOOR BOX FITTING WITH ONE (1) DUPLEX RECEPTACLE VOLTAGE OR TELE/DATA WIRING. PROVIDE TWO (2) RJ45 CONNECTORS AND TWO (2) PLENUM RATED CAT6 CABLE ROOM. CONTRACTOR SHALL TERMINATE, TEST AND CEF END.WIREMOLD 880CS2-NA OR APPROVED EQUAL. PRO CARPET OR TILE FLANGE AND MATCHING COVER PLATES OR ALUMINUM FINISH AS SELECTED BY ARCHITECT.
Ð	FLOOR BOX FITTING WITH TWO (2) DUPLEX RECEPTACLE VOLTAGE OR TELE/DATA WIRING. PROVIDE TWO (2) RJ45 CONNECTORS AND TWO (2) PLENUM RATED CAT6 CABLE ROOM. CONTRACTOR SHALL TERMINATE, TEST AND CEF END. WIREMOLD 880CS2-NA OR APPROVED EQUAL. PRO CARPET OR TILE FLANGE AND MATCHING COVER PLATES OR ALUMINUM FINISH AS SELECTED BY ARCHITECT.
F3	FLOOR BOX FITTING WITH ONE (1) NEMA 6-20R RECEPTAGE EQUIPMENT. PROVIDE CORD AND PLUG SET IF REQUIRE WIREMOLD 880CS1-NA OR APPROVED EQUAL. PROVIDE OR TILE FLANGE AND MATCHING COVER PLATE. BRASS O ALUMINUM FINISH AS SELECTED BY ARCHITECT.
ф×	CEILING MOUNTED OR ABOVE ACOUSTICALE TILE CEILIN DUPLEX RECEPTACLE OR REEL CORD. REFER TO PLANS OF DEVICE AT SPECIFIC LOCATIONS.
S [×]	SINGLE POLE LIGHT SWITCH 20A, 120/277V. "X" INDICATES FIXTURE CONTROLLED.
S ^x ₃	THREE WAY LIGHT SWITCH 20A, 120/277V . "X" INDICATES FIXTURE CONTROLLED.
S ^x 4	FOUR WAY LIGHT SWITCH 20A, 120/277V . "X" INDICATES FIXTURE CONTROLLED.
Sĸ	KEYED LIGHT SWITCH 20A, 120/277V . "X" INDICATES FIXTURE CONTROLLED.
\bigotimes	LIGHTING FIXTURE TYPE: SEE LIGHTING FIXTURE SCHED FOR ADDITIONAL INFORMATION.
PC	PHOTO CELL.
	_



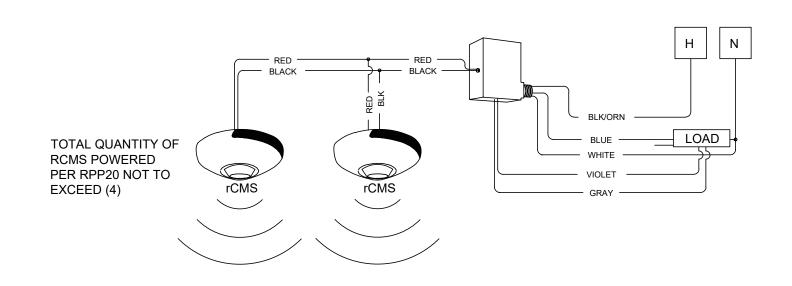
		LIC	GHT FIXTURE	SCHEDULE - CONTINU	JED					
			MANUFACTURER			BALLAST			70741	
TYPE	SYMBOL	DESCRIPTION		CATALOG NO.	LAMPS	TYPE	QTY	VOLTS	TOTAL WATTAGE	MOUNTING
Â		2X4 RECESSED LED FIXTURE WITH ACRYLIC LINEAR PRISMATIC DIFFUSER, WHITE HOUSING AND nLIGHT AIR CONTROLS.	LITHONIA	2VTL4-48L-ADPT-MVOLT-EZ1-LP835- NLIGHTAIR2-RES7PDT	INCLUDED	LD	1	UNV	38.4	RECESSED
ÂĒ		2X4 RECESSED LED FIXTURE WITH ACRYLIC LINEAR PRISMATIC DIFFUSER, WHITE HOUSING AND nLIGHT AIR CONTROLS FOR USE WITH EM GENERATOR.	LITHONIA	2VTL4-48L-ADPT-MVOLT-EZ1-LP835- NLIGHTAIR2-RES7PDT-EM. SEE NOTE 2.	INCLUDED	LD	1	UNV	38.4	RECESSED
B		2X4 RECESSED LED FIXTURE WITH ACRYLIC LENS, WHITE HOUSING AND nLIGHT AIR CONTROLS.	LITHONIA	2GTL-F4-48L-FW-A12125-MVOLT-EZ1- 35K- NLIGHTAIR2-RES7PDT.	INCLUDED	LD	1	UNV	35.8	RECESSED
æ		2X4 RECESSED LED FIXTURE WITH ACRYLIC LENS, WHITE HOUSING AND nLIGHT AIR CONTROLS FOR USE WITH EM GENERATOR.	LITHONIA	2GTL-F4-48L-FW-A12125-MVOLT-EZ1- 35K- NLIGHTAIR2-RES7PDT. SEE NOTE 2.	INCLUDED	LD	1	UNV	35.8	RECESSED
Ô		6" SQUARE RECESSED LED CANOPY LIGHTING FIXTURE WITH REMOTE DRIVER MOUNTED ABOVE NEAREST ACOUSTICAL TILE CEILING, WHITE TRIM AND WET LOCATION LABEL.	LITHONIA	LDN8SQ-35 60-LS8-AR-LSS-MVOLT- EZ1-SF-NLTAIR2SEE. NOTE 5.	INCLUDED	LD	1	UNV	35.1	RECESSED
\bigotimes	& •	EDGELIT LED EXIT SIGN WITH RED LETTERS AND BRUSHED NICKEL TRIM, CEILING OR WALL MOUNTED, WITH OR WITHOUT DIRECTIONAL ARROWS AS SHOWN ON PLANS, AND SELF-DIAGNOSTICS.	LITHONIA	EDG-1/2-R/RMR-EL-SD	INCLUDED	L	1	UNV	4.5	CEILING OR WALL
NOTES:				DRIVER TYPES			EMERC	SENCY FIXTU	RES	
1.	1. VERIFY ALL CEILING TYPES AND OPERATING VOLTAGE PRIOR TO ORDERING FIXTURES			L LED DRIVER		-		-		ADE" OR "FULL
2.	 WHERE FIXTURES ARE DESIGNATED WITH THE LETTERS "EM" OR SHADED, REFER TO NORMAL- EMERGENCY LIGHTING RELAY WIRING DIAGRAM FOR GENERATOR CONNECTED EMERGENCY LIGHTING AND PROVIDE ALL REQUIRED EQUIPMENT AND RELAYS. 			LD LED DIMMING DRIVER LCW LED COLD WEATHER DRIVER		SHADE" AND SHALL BE EMERGENCY FIXTURE POWERED VIA THE EMERGENCY GENERATOF DESIGNATED LIFE SAFETY PANELS. SEE NOT			RATOR BY	
3.	3. MOUNT PENDANT FIXTURES 8'-6" AFF UNLESS OTHERWISE DIRECTED BY THE ARCHITECT. CONFIRM THE HEIGHT OF ALL SUSPENDED FIXTURES WITH THE ARCHITECT PRIOR TO INSTALLATION.					BATT		CK, UNLESS	AVE AN EMER	
4.	4. ALL LAMPS SHALL HAVE A COLOR TEMPERATURE OF 3500 DEG. KELVIN AND A CRI OF 85 UNLESS SPECIFICALLY NOTED OTHERWISE.									
5.	5. LIGHTING FIXTURES SPECIFIED IN THE ABOVE SCHEDULE ARE "BASIS OF DESIGN". EQUIVALENT MANUFACTURER'S SHALL BE "AS ACCEPTED BY THE ENGINEER".									





TYPICAL CLASSROOM OR PRIVATE OFFICE - WIRELESS CONTROL SCHEMATIC NOT TO SCALE

CONFIRM ALL WIRING INSTALLATION DETAILS WITH THE SYSTEM VENDOR PRIOR TO ROUGH-IN. TYPICAL OF EVERY CONTROLLED CIRCUIT.

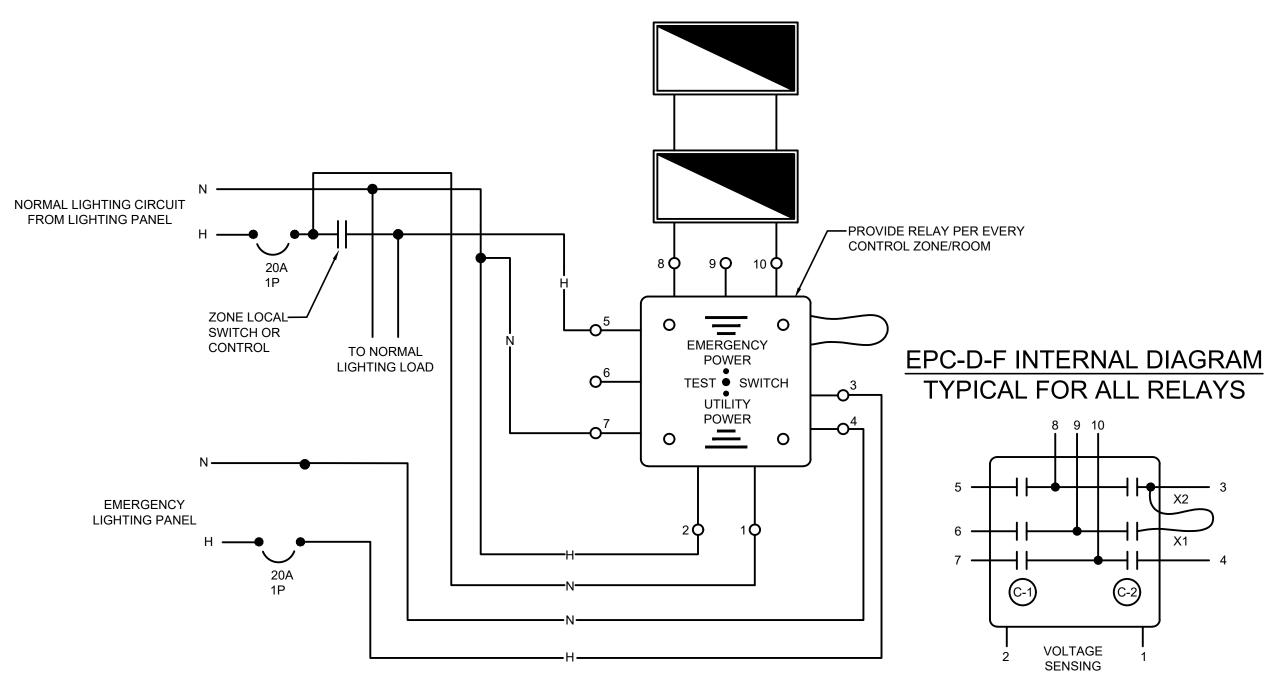


RPP20 (DS) 24V MULTIPLE SENSOR CONTROL SCHEMATIC NOT TO SCALE

CONFIRM ALL WIRING INSTALLATION DETAILS WITH THE SYSTEM VENDOR PRIOR TO ROUGH-IN. TYPICAL OF EVERY CONTROLLED CIRCUIT.

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LIGHTING CONTROL SCHEDULE						
SYMBOL DESCRIPTION MANUFACTURER MODEL MO		MOUNTING	G NOTES			
S sw1	PRESET WALL CONTROLLER WITH RAISE LOWER DIMMING WITHOUT WIRES.	N-LIGHT AIR	RPODBA DX XX G2	WALL	GENERATION 2	
\$\mathbf{S}_{SW2}\$ PRESET WALL CONTROLLER WITH RAISE LOWER DIMMING WITHOUT WIRES. N-LIGHT AIR RPODBA DX XX G2 WALL		WALL	LOCAL CONTROL ONLY. SENSORS SHALL BE DISABLED, NO AUTOMATIC LIGHTING CONTROLS WIRELESS COMMUNICATIONS ONLY.			
 <u>GENERAL NOTES:</u> REFER TO ELECTRICAL SPECIFICATIONS AND ADDITIONAL REQUIREMENTS WHICH MAY NOT NECESSARILY BE REFLECTED IN CATALOG NUMBER AND/OR DESCRIPTION IN THE SCHEDULE. SYMBOLS ARE INDICATED FOR GENERAL REFERENCE ONLY. THE PRESENCE OF A SYMBOL DOES NOT INDICATE ITS USE ON THIS PROJECT. REFER TO PLAN DRAWINGS FOR SPECIFIC SYMBOLS USED. CONTRACTOR SHALL PROVIDE THE APPROPRIATE NUMBER OF ROOM CONTROLLERS FOR THE PROJECT. COORDINATE WITH THE MANUFACTURER FOR THE CORRECT QUANTITY. CONTRACTOR SHALL PROVIDE 4"X4" JUNCTION BOX AS REQUIRED. SEE LIGHTING CONTROL DETAILS. WALL SWITCH COLORS SHALL BE AS SELECTED BY THE ARCHITECT. LIGHTING CONTROLS SPECIFIED IN THE ABOVE SCHEDULE ARE "BASIS OF DESIGN". EQUIVALENT MANUFACTURER'S SHALL BE "AS ACCEPTED BY THE ENGINEER". 						



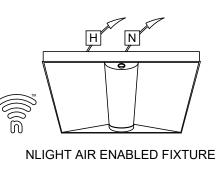
nLIGHT AIR Wireless Controls Diagram

NLIGHT AIR WIRELESS BATTERY POWERED WALL SWITCH PAIRED WITH ACUITY BRANDS LED LIGHTING FIXTURES EMBEDDED WITH SMART WIRELESS SENSOR.

1. LED FIXTURE EMBEDDED WITH NLIGHT AIR SMART SENSOR SHALL BE SUPPLIED WITH AN ELDOLED DRIVER, ONLY. 2. INSTALL LED FIXTURE AS PER NEC REQUIREMENTS.

3. INSTALL BATTERY POWERED WIRELESS WALL SWITCH INTO A SINGLE GANG BACKBOX AND SCREW DOWN WALL PLATE. 4. WITH THE CLAIRITY APP BY ACUITY BRANDS, PAIR THE WALL SWITCH(ES) TO THE LED LIGHT FIXTURE(S) VIA BLUETOOTH TECHNOLOGY. PROGRAM SENSOR AND SWITCH SETTINGS

ACCORDING TO ROOM FUNCTION, AS SPECIFIED. CLAIRITY APP IS FOR PROGRAMMING PURPOSES ONLY. 5. LIGHTING CONTROL COMMUNICATES OVER STANDARDS-BASED 900MHZ TECHNOLOGY VIA THE ASSOCIATED SWITCHES AND



NLIGHT AIR ENABLED DOWNLIGHT



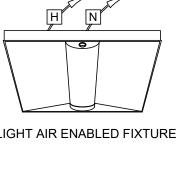
NOT TO SCALE

CONFIRM ALL WIRING INSTALLATION DETAILS WITH THE SYSTEM VENDOR PRIOR TO ROUGH-IN. TYPICAL OF EVERY CONTROLLED CIRCUIT.

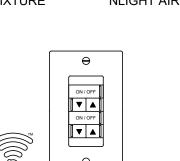
WIRE LEGEND
——(A)—— CAT 5–E (CLASS 2)
B LINE VOLTAGE
C 0-10 VDC
DLOW VOLTAGE (1A @ 40 VDC/VAC)
E) 15-24 VDC POWER
— (F)— ETHERNET LAN (CLASS 2)

LIGHTING
INTERIOF ON DURIN OVERRID LIGHTS C
EXTERIO PHOTO S





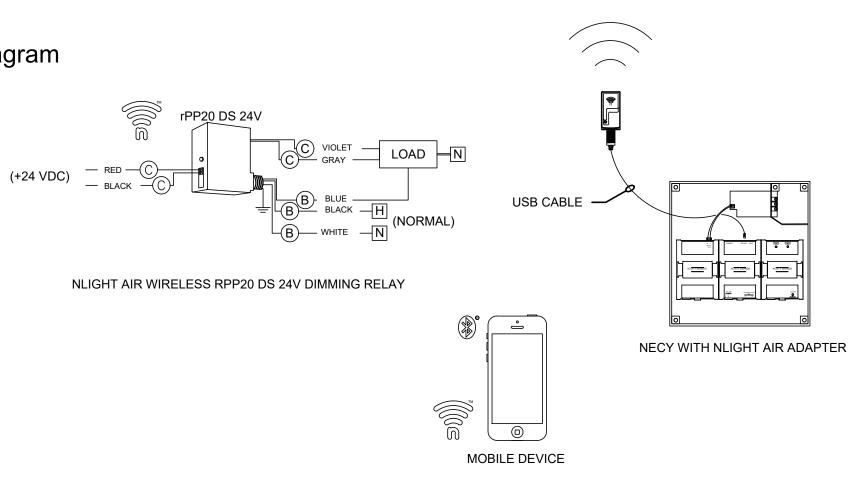








TYPICAL NORMAL AND EMERGENCY LIGHT FIXTURE WIRING DIAGRAM



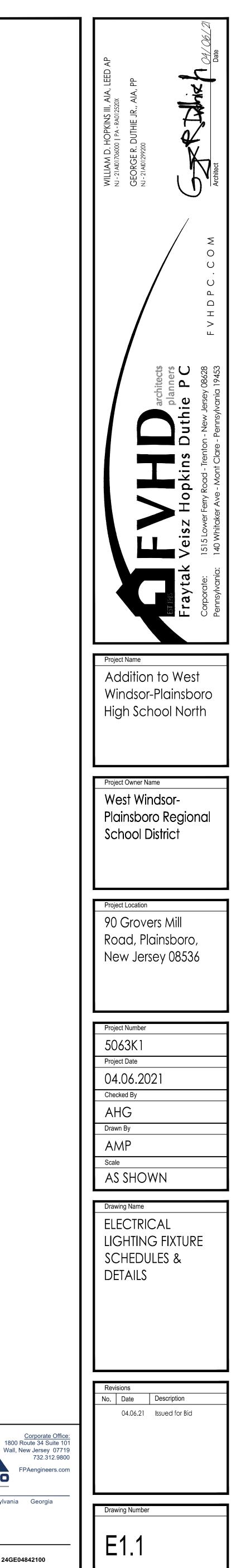
TYPICAL NETWORKED - WIRELESS CONTROL SCHEMATIC

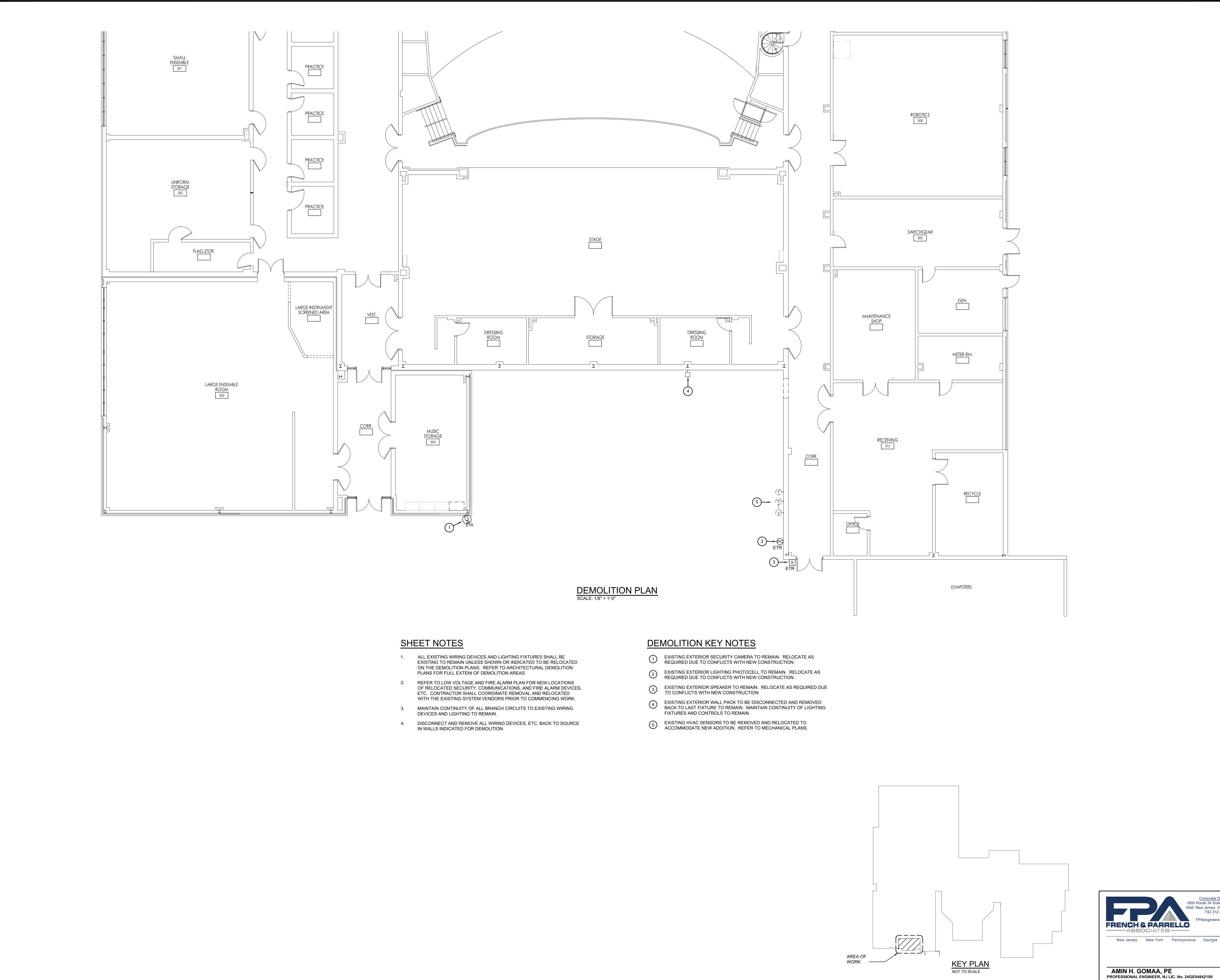
IG CONTROL SCHEDULE:

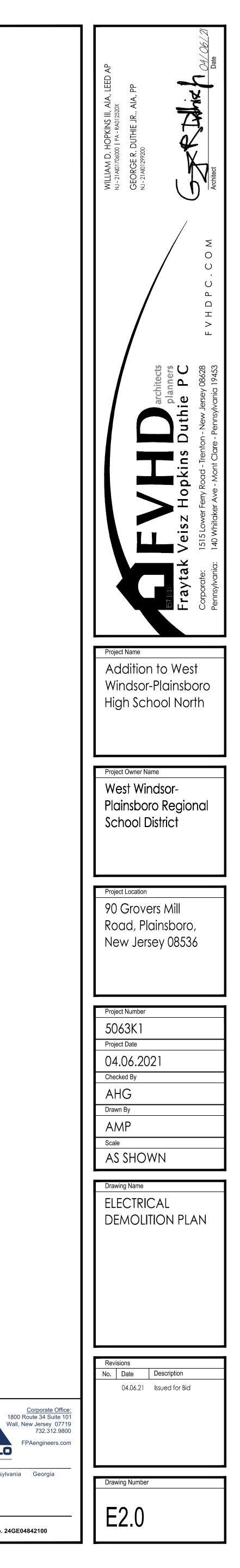
OR LIGHTING: RING SCHOOL HOURS/ OFF AFTER SCHOOL HOURS. IDE SWITCH AND OCCUPANCY SENSORS TO TURN ON AFTER HOURS.

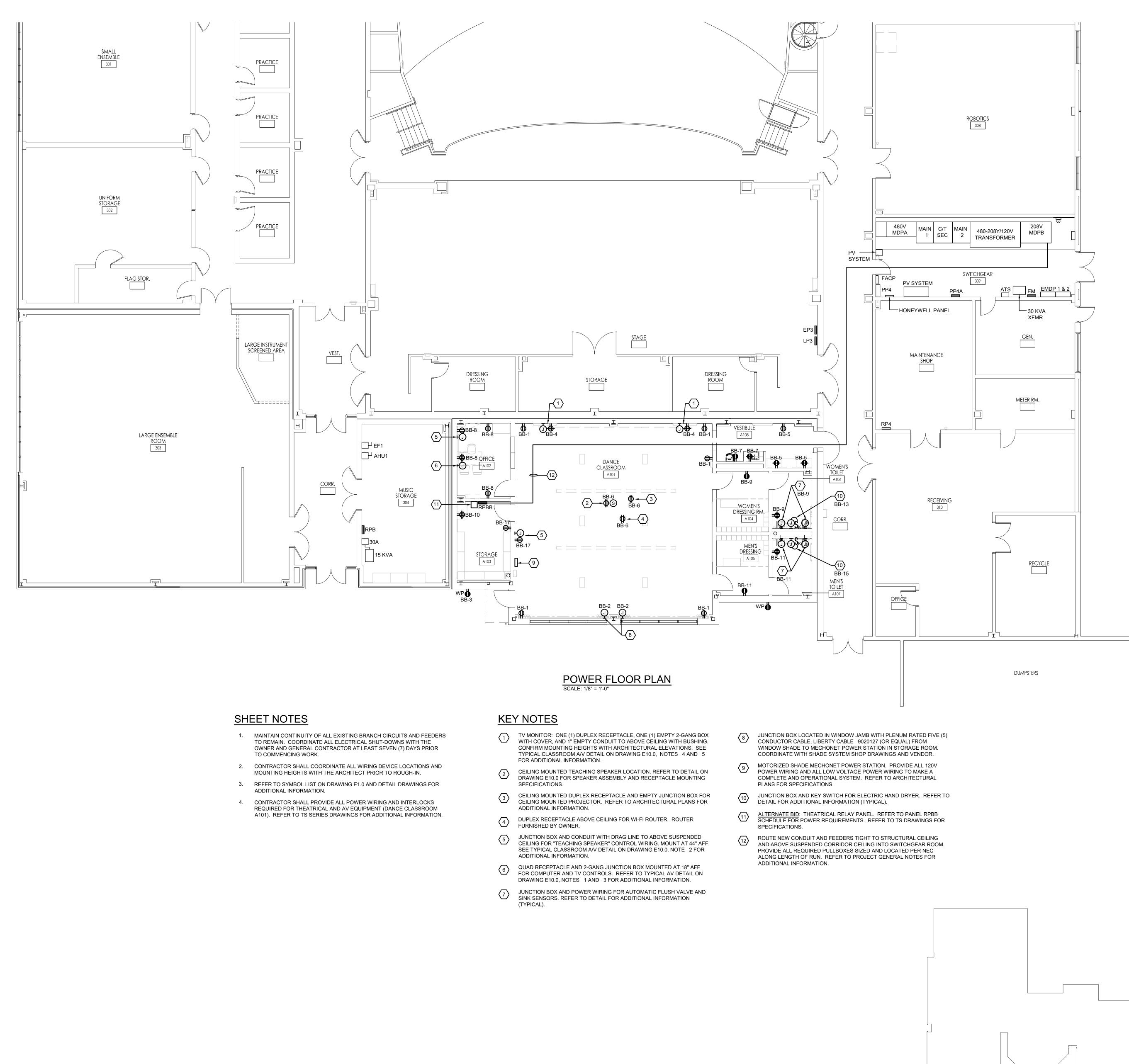
IOR LIGHTING: SENSOR ON/ TIMECLOCK OFF











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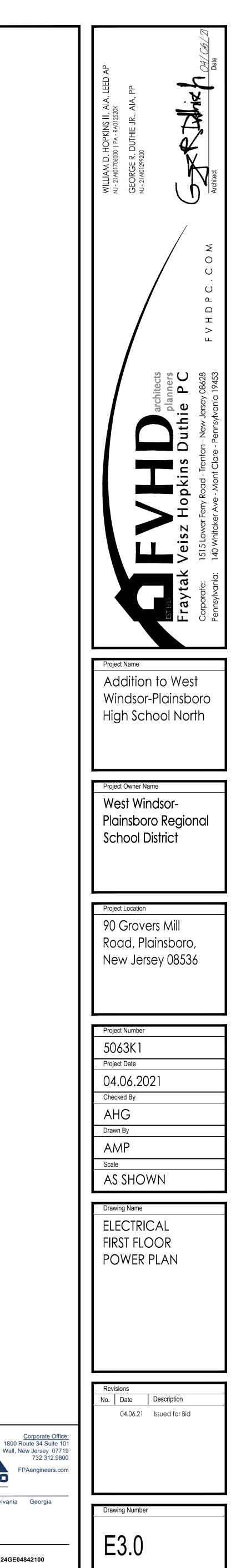
1	TV MONITOR: ONE (1) DUPLEX RECEPTACLE, ONE (1) EMPTY 2-GANG BOX WITH COVER, AND 1" EMPTY CONDUIT TO ABOVE CEILING WITH BUSHING. CONFIRM MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS. SEE TYPICAL CLASSROOM A/V DETAIL ON DRAWING E10.0, NOTES 4 AND 5 FOR ADDITIONAL INFORMATION.	8	JUNCTION BOX LOG CONDUCTOR CABL WINDOW SHADE TO COORDINATE WITH
2	CEILING MOUNTED TEACHING SPEAKER LOCATION. REFER TO DETAIL ON DRAWING E10.0 FOR SPEAKER ASSEMBLY AND RECEPTACLE MOUNTING SPECIFICATIONS.	(9)	MOTORIZED SHADI POWER WIRING AN COMPLETE AND OF PLANS FOR SPECIF
3	CEILING MOUNTED DUPLEX RECEPTACLE AND EMPTY JUNCTION BOX FOR CEILING MOUNTED PROJECTOR. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.	$\langle 10 \rangle$	JUNCTION BOX AN DETAIL FOR ADDIT
$\langle 4 \rangle$	DUPLEX RECEPTACLE ABOVE CEILING FOR WI-FI ROUTER. ROUTER	$\langle 11 \rangle$	ALTERNATE BID: T SCHEDULE FOR PC

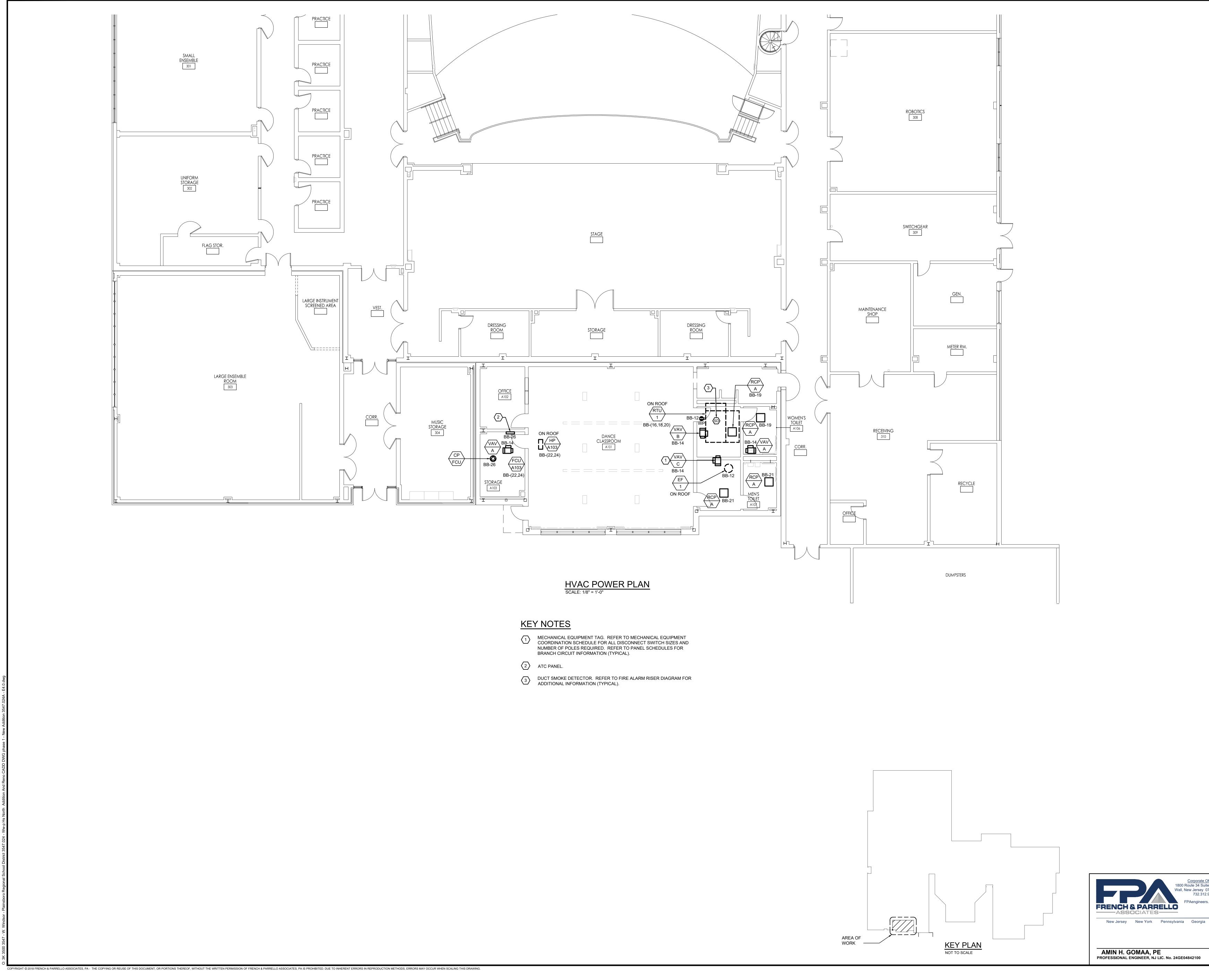


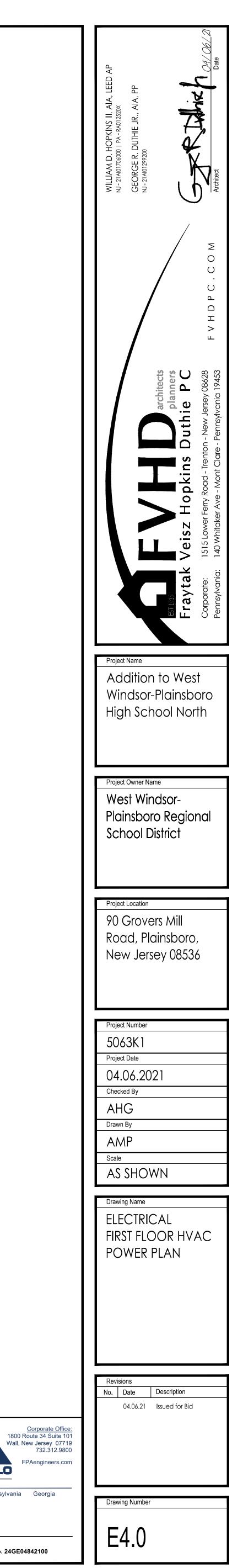
AREA OF WORK

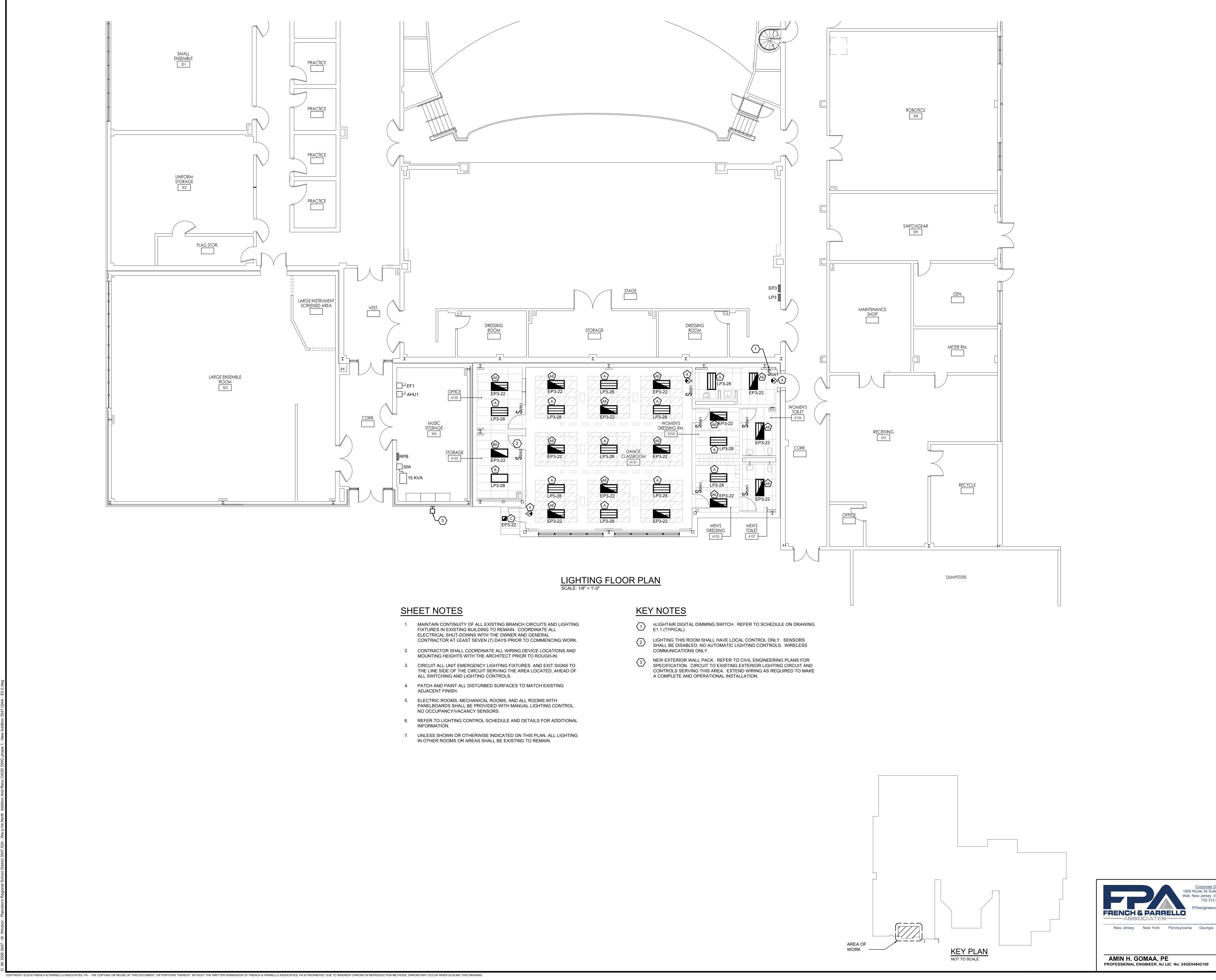
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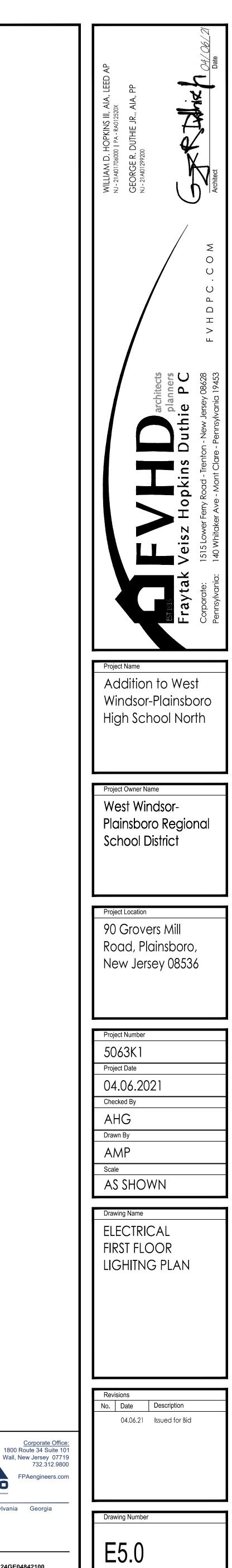
KEY PLAN





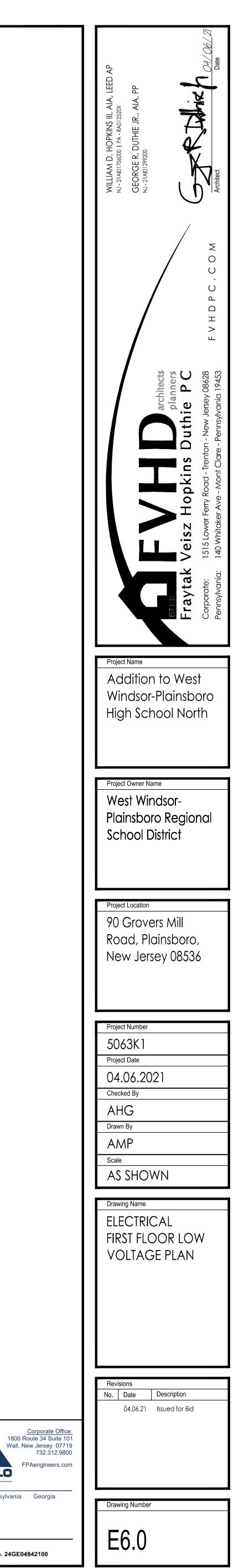


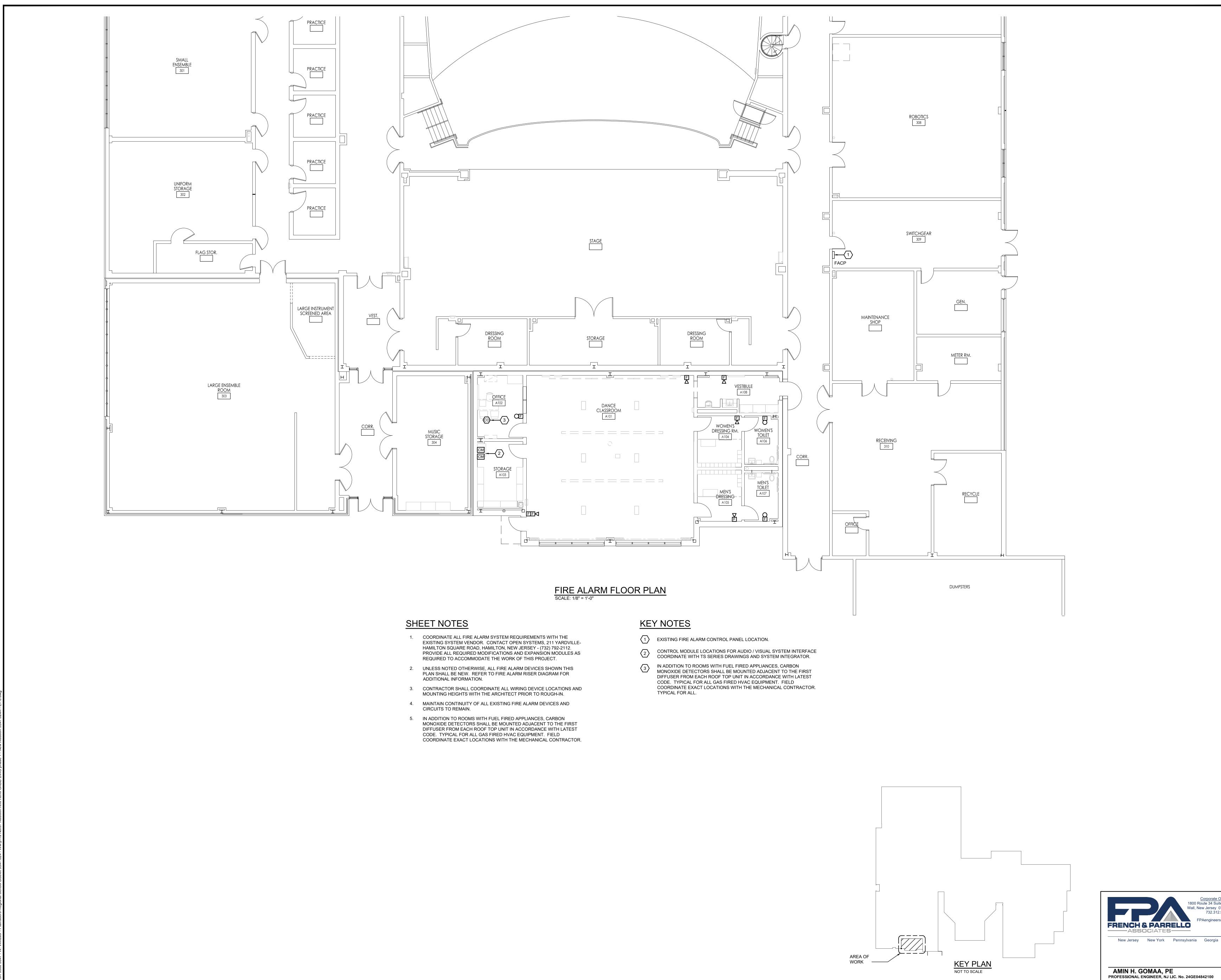


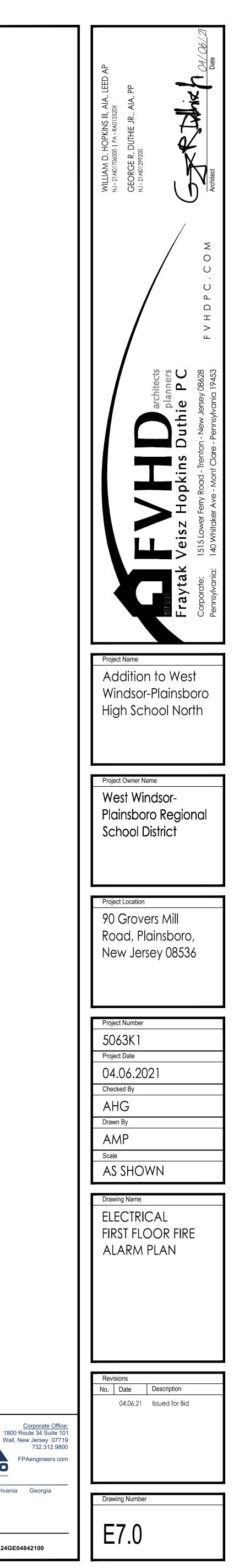


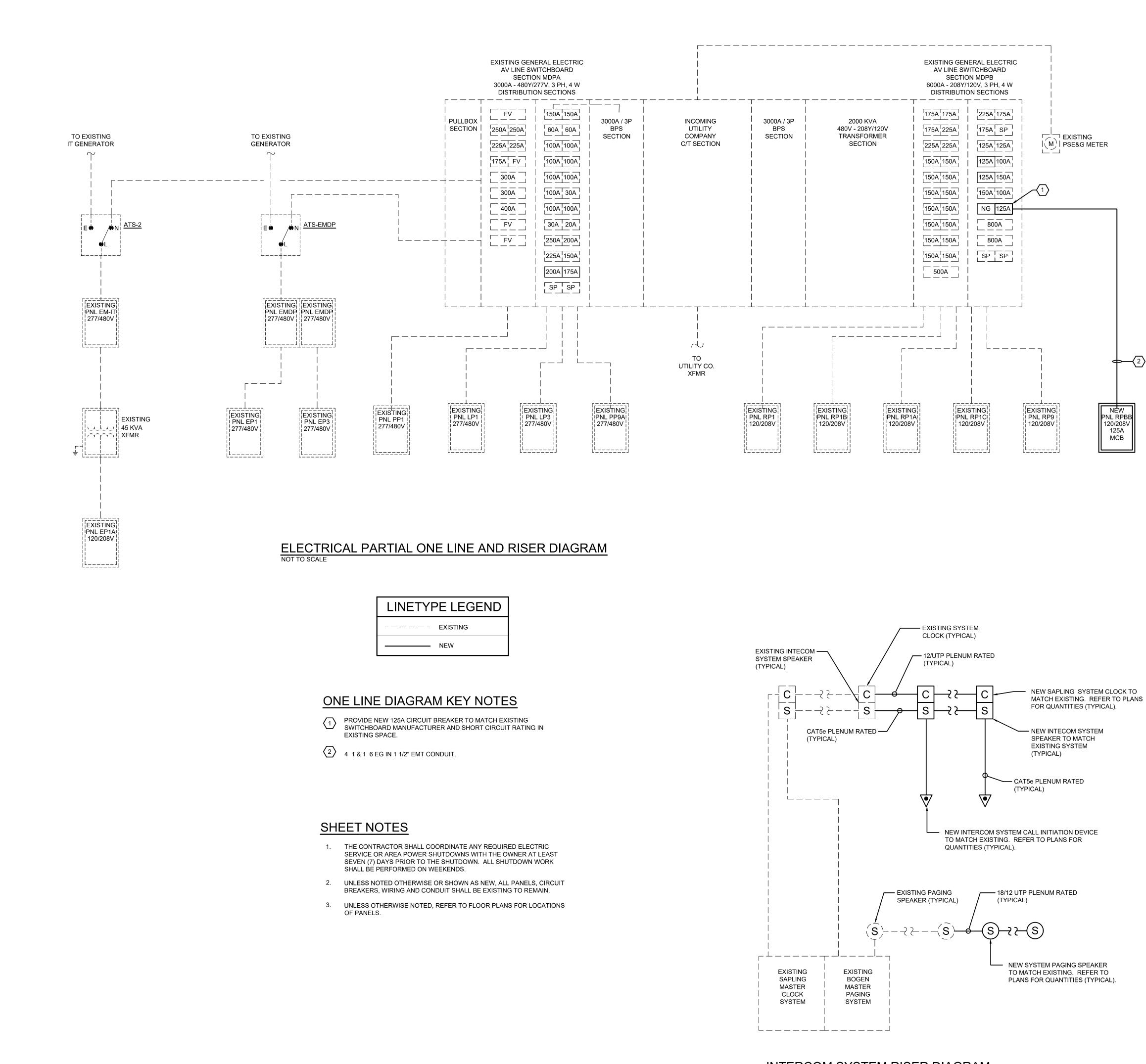


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INTERCOM SYSTEM RISER DIAGRAM NOT TO SCALE

INTERCOM SYSTEM RISER NOTES

- 1. REFER TO FLOOR PLANS FOR QUANTITIES OF DEVICES.
- IN GENERAL, ALL REQUIRED CLOCK / SPEAKER SYSTEM WIRING IS NOT Ζ. SHOWN ON THE PLAN DRAWINGS. INSTALLATION AND ROUTING OF THESE CIRCUITS AND WIRING SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH EXISTING FIELD CONDITIONS AND CODES.
- ALL CLOCK / SPEAKER SYSTEM WIRING SHALL CONSIST OF PLENUM 3 RATED CABLE, MINIMUM SIZE AS RECOMMENDED BY SYSTEM MANUFACTURER.
- 4. COORDINATE ALL INTERCOM, CLOCK AND CLOCK/SPEAKER SYSTEM REQUIREMENTS WITH THE EXISTING SYSTEM VENDOR. CONTACT OPEN SYSTEMS, 211 YARDVILLE-HAMILTON SQUARE ROAD, HAMILTON, NEW JERSEY - (732) 792-2112. PROVIDE ALL REQUIRED MODIFICATIONS AND EXPANSION MODULES AS REQUIRED TO ACCOMMODATE THE WORK OF THIS PROJECT.

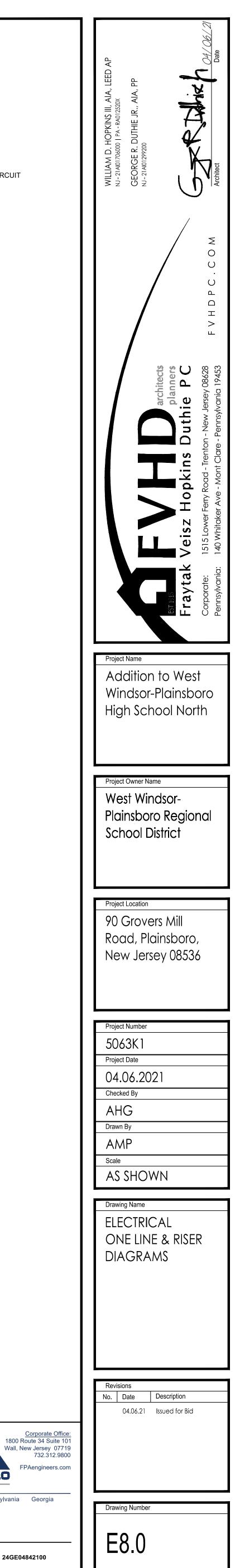
- TYPICAL AIR HANDLING SYSTEM SMOKE DETECTOR AND FAN SHUT DOWN SYSTEM. ONE ADDRESS PER AIR HANDLING UNIT DETECTOR WITHIN 5'-0" OF DAMPER TO LOCAL DDC X—⊗⊃ Ø → PANEL OR MOTOR STARTER FOR FAN RIL RIL SHUTDOWN <u>~</u>CO<u></u>_SC<u></u>_S__H_ NOTE 4 - NOTE 6 NEW FIRE ALARM EXPANDER PANEL FAEP (IF REQUIRED) . ـ _ _ _ _ _ EXISTING CM-22-CM NOTE 9 EST-3 FIRE ALARM CONTROL PANEL (SWITCH GEAR ROOM) \vdash — — — \rightarrow EXISTING DEVICES TO REMAIN | BATTERIES \mid - - - - - EXISTING DEDICATED 120V POWER _____ EXISTING EST-3 FIRE ALARM CONTROL PANEL (MAIN OFFICE) \vdash — — — \rightarrow EXISTING DEVICES TO REMAIN | BATTERIES $\vdash - - - \rightarrow$ EXISTING DEDICATED 120V POWER

FIRE ALARM RISER DIAGRAM NOT TO SCALE

FIRE ALARM RISER NOTES

- REFER TO FLOOR PLANS FOR QUANTITIES OF DEVICES. IN GENERAL, ALL REQUIRED FIRE ALARM SYSTEM WIRING IS NOT SHOWN
- ON THE PLAN DRAWINGS. INSTALLATION AND ROUTING OF THESE CIRCUITS AND WIRING SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH EXISTING FIELD CONDITIONS, FIRE ALARM DIAGRAMS, SPECIFICATIONS AND CODES.
- PROVIDE NEW PULL STATIONS. AUDIBLE/VISUAL SIGNALS. STROBES AND 3. DETECTORS AS SHOWN TO MATCH THE EXISTING FIRE ALARM SYSTEM MANUFACTURER. ALL NEW DEVICES SHALL BE UL LISTED FOR USE WITH THE EXISTING FIRE ALARM CONTROL PANEL. COORDINATE WITH EXISTING FIRE ALARM SYSTEM VENDOR OR MAINTENANCE COMPANY.
- PROVIDE DUCT SMOKE DETECTOR WITH KEY OPERATED REMOTE TEST 4 SWITCH AND INDICATOR LIGHT. FIELD VERIFY EXACT LOCATIONS.
- ALL FIRE ALARM SYSTEM WIRING SHALL CONSIST OF PLENUM RATED 5. FIRE PROTECTIVE CABLE, MINIMUM SIZE AS RECOMMENDED BY ALARM SYSTEM MANUFACTURER.
- WATERFLOW AND TAMPER SWITCHES. COORDINATE EXACT QUANTITY 6. AND LOCATIONS WITH THE FIRE PROTECTION CONTRACTOR.
- COORDINATE ALL FIRE ALARM SYSTEM REQUIREMENTS WITH THE 7. EXISTING SYSTEM VENDOR. CONTACT OPEN SYSTEMS, 211 YARDVILLE-HAMILTON SQUARE ROAD, HAMILTON, NEW JERSEY - (732) 792-2112. PROVIDE ALL REQUIRED MODIFICATIONS AND EXPANSION MODULES AS REQUIRED TO ACCOMMODATE THE WORK OF THIS PROJECT.
- THE EXPANDED/MODIFIED FIRE ALARM SYSTEM SHALL PASS A 100% 8. RE-ACCEPTANCE TEST BY THE LOCAL FIRE MARSHAL.
- CONTROL MODULES FOR AUDIO / VISUAL SYSTEM INTERFACE. 9. COORDINATE WITH THE SYSTEM INTEGRATOR.





				MECHA	NICAL E	QUIPME	NT COC	ORDINATION SCH	HEDULE					
	IDENTIFICATION			E	ELECTRICAL CH	IARACTERISTIC	6 (1)				LOCAL	POWER DISCO	NNECT 3	4
PLAN ID	DESCRIPTION	VOLTAGE & Ø	MOTOR HP	UNIT KW	FLA	MCA	MOCP	WIRING	AMPS	POLES	FUSE AMPS	NEMA TYPE	SERVICE RECEPTACLE	REMARKS
RTU-1	ROOFTOP UNIT	208V/3Ø			-	42.7	50	SEE PANEL SCHEDULES	60A	3	50A	NEMA 3R	YES	5 6
FCU-A103	HEAT PUMP (INDOOR UNIT)	208V/1Ø			50 WATTS	63 WATTS	15	SEE PANEL SCHEDULES	8					
HP-A103	HEAT PUMP (OUTDOOR UNIT)	208V/1Ø				9.0	15	SEE PANEL SCHEDULES	30A	2	15A	NEMA 3R	NO	
RCP-A	RADIANT CEILING PANEL	120V/1Ø		375 WATTS	3.1	3.9	15	SEE PANEL SCHEDULES	30A	1	15A	NEMA 1	NO	SEE PLANS FOR QUANTITIES
EF-1	EXHAUST FAN	120V/1Ø	1/4		5.8	7.3	15	SEE PANEL SCHEDULES	30A	1	15A	NEMA 3R	NO	
VAV-X	TYPICAL VAV BOX	120V/1Ø						SEE PANEL SCHEDULES	7					SEE PLANS FOR QUANTITIES
CU-FCU	CONDENSATE PUMP	120V/1Ø	1/8		3.8	4.8	15	SEE PANEL SCHEDULES	30A	1	15A	NEMA 1	NO	HARDWIRED CONNECTION

EQUIPMENT SCHEDULE KEY NOTES

- DATA FROM SPECIFIED MANUFACTURER. REFER TO MECHANICAL DRAWINGS. CONFIRM EXACT REQUIREMENTS WITH SHOP DRAWINGS PRIOR TO ROUGH-IN.
- 2 QUANTITY AND SIZE OF POWER CONDUCTORS BASED ON DATA FROM SPECIFIED MANUFACTURER. PROVIDE GROUND WIRE IN ACCORDANCE WITH THE PROJECT GENERAL NOTES THIS SHEET.
- (3) WHERE A FUSE SIZE IS NOT ENTERED IN COLUMN TITLED "FUSE AMPS", THE DISCONNECT MAY BE UNFUSED.
- EQUIPMENT FURNISHED AND INSTALLED UNDER OTHER SPECIFICATION DIVISIONS, WIRED AND CONNECTED UNDER DIVISION 26, UNLESS NOTED OTHERWISE. DISCONNECT SWITCHES FURNISHED UNDER DIVISION 23.
- $\left< 5 \right>$ PROVIDE PHASE LOSS PROTECTION IN EACH STARTER.
- 6 PROVIDE DUCT SMOKE DETECTORS.
- The image is a straight of the i
- 8 INDOOR UNIT FED VIA OUTDOOR CONDENSING UNIT. PROVIDE ALL WIRING AS REQUIRED TO MAKE A COMPLETE AND OPERATIONAL INSTALLATION.

C/B TRIP			0V, 3P, 108V, 31		2	480V, 277/480\	2P, 2W /, 2P, 3	W			277V,	1P, 2W		
15	DISTANCE IN FEET MINIMUM WIRE SIZE	408 12	630 10	990 8	353 12	545 10	857 8	1333 6	204 12	315 10	495 8	769 6	1154 4	144 3
20	DISTANCE IN FEET MINIMUM WIRE SIZE	306 12	472 10	742 8	265 12	409 10	643 8	1000 6	153 12	236 10	371 8	577 6	866 4	108 3
30	DISTANCE IN FEET MINIMUM WIRE SIZE	315 10	495 8	770 6	273 10	429 8	667 6	1000 4	157 10	247 8	385 6	577 4	721 3	866 2
40	DISTANCE IN FEET MINIMUM WIRE SIZE	371 8	577 6	866 4	321 8	500 6	750 4	938 3	185 8	289 6	433 4	541 3	649 2	812 1
50	DISTANCE IN FEET MINIMUM WIRE SIZE	297 8	462 6	693 4	257 8	400 6	600 4	750 3	148 8	231 6	346 4	433 3	519 2	649 1
60	DISTANCE IN FEET MINIMUM WIRE SIZE	385 6	577 4	722 3	333 6	500 4	625 3	750 2	192 6	289 4	361 3	433 2	541 1	
70	DISTANCE IN FEET MINIMUM WIRE SIZE	495 4	619 3	742 2	429 4	536 3	643 2	804 1	247 4	309 3	371 2	464 1		
80	DISTANCE IN FEET MINIMUM WIRE SIZE	433 4	541 3	650 2	375 4	469 3	563 2	703 1	216 4	271 3	325 2	406 1		
90	DISTANCE IN FEET MINIMUM WIRE SIZE	481 3	577 2	722 1	417 3	500 2	625 1		240 3	289 2	361 1			
100	DISTANCE IN FEET MINIMUM WIRE SIZE	433 3	450 2	650 1	375 3	450 2	563 1		216 3	260 2	325 1			

NOTES:

 READ ACROSS TO THE RIGHT FROM C/B TRIP TO DESIRED VOLTAGE CHARACTERISTICS AND NEXT GREATER DISTANCE THAN CIRCUIT IN QUESTION.

READ DOWN TO MINIMUM WIRE SIZE.
 DISTANCES ARE TO THE CENTER OF CONCENTRATED LOAD SUCH AS CLASSROOM LIGHTING OR THE

MIDPOINT OF DISTRIBUTED LOAD SUCH AS CORRIDOR LIGHTING.
 EQUIPMENT GROUNDING CONDUCTORS SHALL BE INCREASED IN SIZE PROPORTIONATELY PER N.E.C.

EQUIPMENT SCHEDULE GENERAL NOTES

1. REFER TO MECHANICAL AND PLUMBING PLANS FOR EXACT LOCATIONS OF EQUIPMENT.

- 2. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL 120V CONTROL POWER WIRING FEEDERS AND CIRCUIT BREAKERS REQUIRED FOR THE INSTALLATION OF MECHANICAL EQUIPMENT. STARTERS AND POWER DISCONNECT SWITCHES SHALL BE BY THE MECHANICAL CONTRACTOR. REFER TO MECHANICAL SPECIFICATION SECTIONS AND COORDINATE WITH THE MECHANICAL CONTRACTOR FOR EXTENT OF WORK REQUIRED.
- 3. DUCT SMOKE DETECTORS SHALL BE PROVIDED AT ALL UNITS OVER 2000 CFM AND MOUNTED ON THE SUPPLY AND RETURN DUCT. DETECTORS SHALL BE FURNISHED BY THE ELECTRICAL CONTRACTOR, INSTALLED BY THE MECHANICAL CONTRACTOR AND WIRED BY THE ELECTRICAL CONTRACTOR. COORDINATE EXACT QUANTITY AND LOCATIONS WITH THE MECHANICAL CONTRACTOR AND MECHANICAL DRAWINGS.

		208	V -	3% \	VOL	TAC	GE I	DRC	P					
C/B TRIP			3V, 3P, 208V, 3F		1		2P, 2W /, 2P, 3\	N			120V,	1P, 2W		
15	DISTANCE IN FEET MINIMUM WIRE SIZE	177 12	273 10	429 8	153 12	236 10	371 8	578 6	88 12	136 10	214 8	333 6	500 4	625 3
20	DISTANCE IN FEET MINIMUM WIRE SIZE	132 12	205 10	322 8	115 12	177 10	279 8	433 6	66 12	102 10	161 8	250 6	375 4	469 3
30	DISTANCE IN FEET MINIMUM WIRE SIZE	136 10	214 8	334 6	118 10	186 8	289 6	433 4	68 10	107 8	167 6	250 4	313 3	375 2
40	DISTANCE IN FEET MINIMUM WIRE SIZE	161 8	250 6	375 4	139 8	217 6	325 4	406 3	80 8	125 6	188 4	234 3	281 2	352 1
50	DISTANCE IN FEET MINIMUM WIRE SIZE	129 8	200 6	300 4	111 8	173 6	260 4	325 3	64 8	100 6	150 4	188 3	225 2	281 1
60	DISTANCE IN FEET MINIMUM WIRE SIZE	167 6	250 4	313 3	144 6	217 4	271 3	325 2	83 6	125 4	156 3	188 2	234 1	
70	DISTANCE IN FEET MINIMUM WIRE SIZE	214 4	268 3	322 2	186 4	232 3	279 2	348 1	107 4	134 3	161 2	201 1		
80	DISTANCE IN FEET MINIMUM WIRE SIZE	188 4	235 3	281 2	163 4	203 3	244 2	305 1	94 4	117 3	141 2	176 1		
90	DISTANCE IN FEET MINIMUM WIRE SIZE	208 3	250 2	313 1	181 3	217 2	271 1		104 3	125 2	156 1			
100	DISTANCE IN FEET MINIMUM WIRE SIZE	188 3	225 2	281 1	163 3	195 2	244 1		94 3	113 2	141 1			

 READ ACROSS TO THE RIGHT FROM C/B TRIP TO DESIRED VOLTAGE CHARACTERISTICS AND NEXT GREATER DISTANCE THAN CIRCUIT IN QUESTION.

READ DOWN TO MINIMUM WIRE SIZE.
 DISTANCES ARE TO THE CENTER OF CONCENTRATED LOAD SUCH AS CLASSROOM LIGHTING OR THE

MIDPOINT OF DISTRIBUTED LOAD SUCH AS CORRIDOR LIGHTING. 4. EQUIPMENT GROUNDING CONDUCTORS SHALL BE INCREASED IN SIZE PROPORTIONATELY PER N.E.C.

JOB NAI	ME: WWP HS NORTH				EXI	STIN	G PA	NEL I	LP3				JOB: NO.: 3547.024		
RATING:	: 480/277V, 3 PH, 4W, 100A					(1	EXISTING	G)					LOCATION: BACK STAGE		
CKT.	CIRCUIT	POLE	LOAD	BKR.	BRANCH	A	В	C	BRANCH	BKR.	LOAD	POLE	CIRCUIT	CKT	
NO.	DESCRIPTION		KVA		CIRCUIT				CIRCUIT		KVA		DESCRIPTION	NO.	
1	EXISTING LOAD	1		20	EXISTING	0.0			EXISTING	20		1	EXISTING LOAD	2	
3	EXISTING LOAD	1		20	EXISTING		0.0		EXISTING	20		1	EXISTING LOAD	4	
5	EXISTING LOAD	1		20	EXISTING			0.0	EXISTING	20		1	EXISTING LOAD	6	
7	EXISTING LOAD	1		20	EXISTING	0.0			EXISTING	20		1	EXISTING LOAD	8	
9	EXISTING LOAD	1		20	EXISTING		0.0		EXISTING	20		1	EXISTING LOAD	10	
11	EXISTING LOAD	1		20	EXISTING			0.0	EXISTING	20		1	EXISTING LOAD	12	
13	EXISTING LOAD	1		20	EXISTING	0.0			EXISTING	20		1	EXISTING LOAD	14	
15	EXISTING LOAD	1		20	EXISTING		0.0		EXISTING	20		1	EXISTING LOAD	16	
17	EXISTING LOAD	1		20	EXISTING			0.0	EXISTING	20		1	EXISTING LOAD	18	
19	SPARE	1		20		0.0			EXISTING	20		1	EXISTING LOAD	20	
21	SPARE	1		20			0.0							22	
23	SPARE	1		20				0.0	EXISTING	20		3	EXISTING EF-1	24	
25						0.0]		26	
27	EXISTING AHU-1	3		20	EXISTING		1.1		2#12 & 1#12EG IN 3/4"C	20	1.1	1	NEW DANCE AREA LIGHTING	28	
29								0.0		20		1	SPARE	30	
PANËL "	TYPE: NEMA 1				TOTAL (PHASE):	0.0	1.1	0.0							

MOUNTING: SURFACE MAIN LUGS ONLY

INTERRUPTING RATING: EXISTING KA SYM. FED FROM: EXISTING MDPA

FED FROM. EASTING MDFA

 1. EXISTING PANELBOARD.
 FIELD VERIFY EXACT CIRCUIT ARRANGEMENT.

 2. ALL NEW CIRCUIT BREAKERS SHALL MATCH THE EXISTING PANEL MANUFACTURER AND SHORT CIRCUIT RATING.

 3. CONTRACTOR IS RESPONSIBLE TO COORDINATE THE SHORT CIRCUIT RATING PRIOR TO PURCHASING ANY EQUIPMENT.

4. ALL WIRE SIZES ARE BASED ON 75 DEGREE WIRE.

JOB	NAME: WWP HS NORTH				NE	EW P	ANEI	_ RPE	BB				JOB: NO.: 3547.024	
RATI	NG: 208/120V, 3 PH, 4W, 225A						(NEW)						LOCATION: DANCE STORAGE A	103
CKT.	CIRCUIT	POLE	LOAD	BKR.	BRANCH	Α	B	C	BRANCH	BKR.	LOAD	POLE	CIRCUIT	CK.
NO.	DESCRIPTION		KVA		CIRCUIT				CIRCUIT		KVA		DESCRIPTION	NC
1	RECEPTACLES	1	0.9	20	2#12 & 1#12EG IN 3/4"C	1.9			2#12 & 1#12EG IN 3/4"C	20	1.0	1	MOTORIZED SHADES	2
3	EXTERIOR RECEPTACLES	1	0.4	20	2#12 & 1#12EG IN 3/4"C		1.1		2#12 & 1#12EG IN 3/4"C	20	0.7	1	TV RECEPTACLES	4
5	RECEPTACLES	1	0.5	20	2#12 & 1#12EG IN 3/4"C			1.1	2#12 & 1#12EG IN 3/4"C	20	0.5	1	CEILING RECEPTACLES	6
7	EWC & RECEPTACLES	1	0.8	20	2#12 & 1#12EG IN 3/4"C	1.7			2#12 & 1#12EG IN 3/4"C	20	0.9	1	OFFICE RECEPTACLES	8
9	SENSORS & RECEPTACLES	1	0.5	20	2#12 & 1#12EG IN 3/4"C		0.7		2#12 & 1#12EG IN 3/4"C	20	0.3	1	AV RECEPTACLE	10
11	SENSORS & RECEPTACLES	1	0.5	20	2#12 & 1#12EG IN 3/4"C	-		1.4	2#12 & 1#12EG IN 3/4"C	20	0.9	1	EF-1 & RTU RECEPTACLE	12
13	ELEC HAND DRYERS	1	1.2	20	2#12 & 1#12EG IN 3/4"C	1.3			2#12 & 1#12EG IN 3/4"C	20	0.1	1	VAV BOXES & MOD'S	14
15	ELEC HAND DRYERS	1	1.2	20	2#12 & 1#12EG IN 3/4"C		5.3				4.1			16
17	RECEPTACLES	1	0.4	20	2#12 & 1#12EG IN 3/4"C			4.5	4#8 & 1#10EG IN 1"C	50	4.1	3	RTU-1 (HACR RATED)	18
19	CEILING HEATERS RCP-A	1	0.8	20	2#12 & 1#12EG IN 3/4"C	4.9					4.1			20
21	CEILING HEATERS RCP-A	1	0.8	20	2#12 & 1#12EG IN 3/4"C		1.7		3#12 & 1#12EG IN 3/4"C	15	0.9	2	FCU-A103 & HP-A103	22
23	THEATRE RELAY PANEL CKT	1	1.2	20	2#12 & 1#12EG IN 3/4"C			2.1	3#12 & 1#12EG IN 3/4 C	15	0.9	2	1 CO-A103 & HF-A103	24
25	THEATRE RELAY PANEL CKT	1	1.2	20	2#12 & 1#12EG IN 3/4"C	1.4			2#12 & 1#12EG IN 3/4"C	20	0.2	1	ATC PANEL & CP-FCU	26
27	THEATRE RELAY PANEL CKT	1	1.2	20	2#12 & 1#12EG IN 3/4"C		1.2			20		1	SPARE	28
29	THEATRE RELAY PANEL CKT	1	1.2	20	2#12 & 1#12EG IN 3/4"C			1.2		20		1	SPARE	30
31	THEATRE RELAY PANEL CKT	1	0.5	20	2#12 & 1#12EG IN 3/4"C	0.5				20		1	SPARE	32
33	THEATRE RELAY PANEL CKT	1	0.5	20	2#12 & 1#12EG IN 3/4"C		0.5			20		1	SPARE	34
35	THEATRE RELAY PANEL CKT	1	0.5	20	2#12 & 1#12EG IN 3/4"C			0.5		20		1	SPARE	36
37	THEATRE RELAY PANEL CKT	1	0.5	20	2#12 & 1#12EG IN 3/4"C	0.5				20		1	SPARE	38
39	SPARE	1		20			0.0			20		1	SPARE	40
41	SPARE	1		20				0.0		20		1	SPARE	42
PAN	EL TYPE: NEMA 1		•		TOTAL (PHASE):	12.1	10.5	10.7						
MOU	NTING: SURFACE													
MAIN	I CIRCUIT BREAKER: 125A				TOTAL CONNECTED	LOAD.:	33.3	KVA						
ÍNTE	RRUPTING RATING: 65KA SYM.						92.5	AMPS						
FFD	FROM: EXISTING MDPB													

ALL BUSING TO BE COPPER WITH BOLT ON BREAKERS ONLY.
 PROVIDE INTEGRAL TVSS DEVICE.

3. CONTRACTOR IS RESPONSIBLE TO COORDINATE THE SHORT CIRCUIT RATING PRIOR TO PURCHASING ANY EQUIPMENT. 4. ALL WIRE SIZES ARE BASED ON 75 DEGREE WIRE.

5. SHORT CIRCUIT RATING: PANEL SHALL BE FULLY RATED TO INTERRUPT SYMMETRICAL SHORT CIRCUIT CURRENT AVAILABLE AT TERMINALS.

JOB NA	ME: WWP HS NORTH				E	XISTIN	G PA	NEL E	EP3				JOB: NO.: 3547.024	
RATING	6: 208/120V, 3 PH, 4W, 100A					(EXISTING	3)					LOCATION: BACK STAGE	
CKT.	CIRCUIT	POLE	LOAD	BKR.	BRANCH	A	В	С	BRANCH	BKR.	LOAD	POLE	CIRCUIT	CKT
NO.	DESCRIPTION		KVA		CIRCUIT				CIRCUIT		KVA		DESCRIPTION	NO
1	EXISTING LOAD	1		20	EXISTING	0.0			EXISTING	20		1	EXISTING LOAD	2
3	EXISTING LOAD	1		20	EXISTING		0.0		EXISTING	20		1	EXISTING LOAD	4
5	EXISTING LOAD	1		20	EXISTING			0.0	EXISTING	20		1	EXISTING LOAD	6
7	EXISTING LOAD	1		20	EXISTING	0.0			EXISTING	20		1	EXISTING LOAD	8
9	EXISTING LOAD	1		20	EXISTING		0.0		EXISTING	20		1	EXISTING LOAD	10
11	EXISTING LOAD	1		20	EXISTING			0.0	EXISTING	20		1	EXISTING LOAD	12
13	SPARE	1		20		0.0			EXISTING	20		1	EXISTING LOAD	14
15	SPARE	1		20			0.0		EXISTING	20		1	EXISTING LOAD	16
17	SPARE	1		20				0.0	EXISTING	20		1	EXISTING LOAD	18
19	SPARE	1		20		0.0			EXISTING	20		1	EXISTING LOAD	20
21	SPARE	1		20			0.6		2#12 & 1#12EG IN 3/4"C	20	0.6	1	NEW DANCE AREA EM LTG	22
23	SPARE	1		20				0.0		20		1	SPARE	24
25	SPARE	1		20		0.0				20		1	SPARE	26
27	SPARE	1		20			0.0			20		1	SPARE	28
29	SPARE	1		20				0.0		20		1	SPARE	30
PANËL	TYPE: NEMA 1				TOTAL (PHAS	SE): 0.0	0.6	0.0						

MOUNTING: SURFACE MAIN LUGS ONLY

INTERRUPTING RATING: EXISTING KA SYM. FED FROM: EMERGENCY DISTRIBUTION PANEL EMDP

NOTES

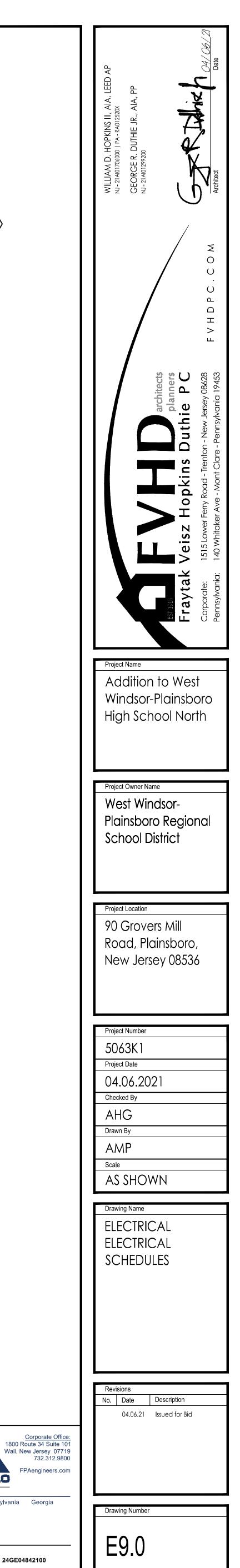
1. EXISTING PANELBOARD. FIELD VERIFY EXACT CIRCUIT ARRANGEMENT. 2. ALL NEW CIRCUIT BREAKERS SHALL MATCH THE EXISTING PANEL MANUFACTURER AND SHORT CIRCUIT RATING.

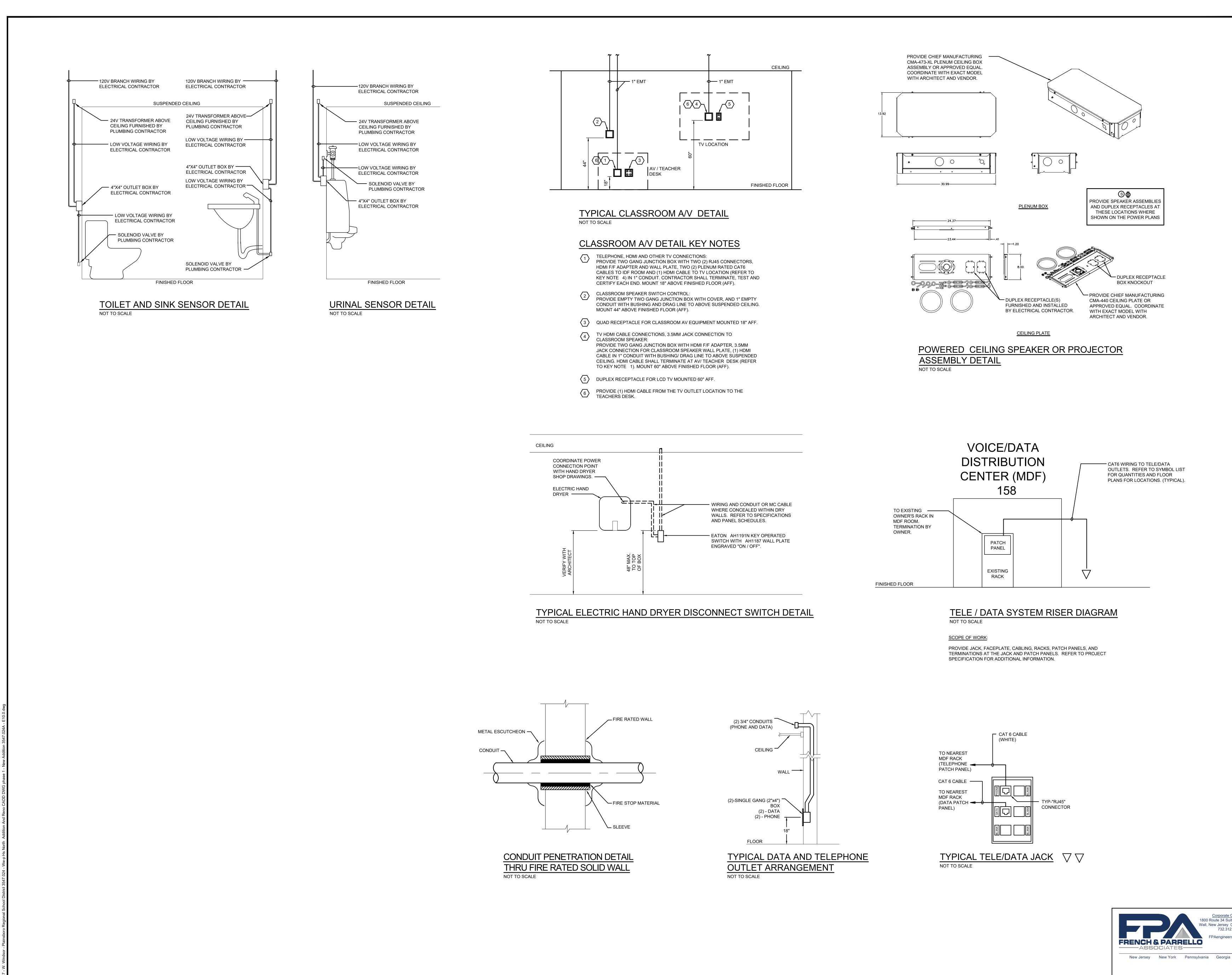
3. CONTRACTOR IS RESPONSIBLE TO COORDINATE THE SHORT CIRCUIT RATING PRIOR TO PURCHASING ANY EQUIPMENT. 4. ALL WIRE SIZES ARE BASED ON 75 DEGREE WIRE.

KEY NOTES

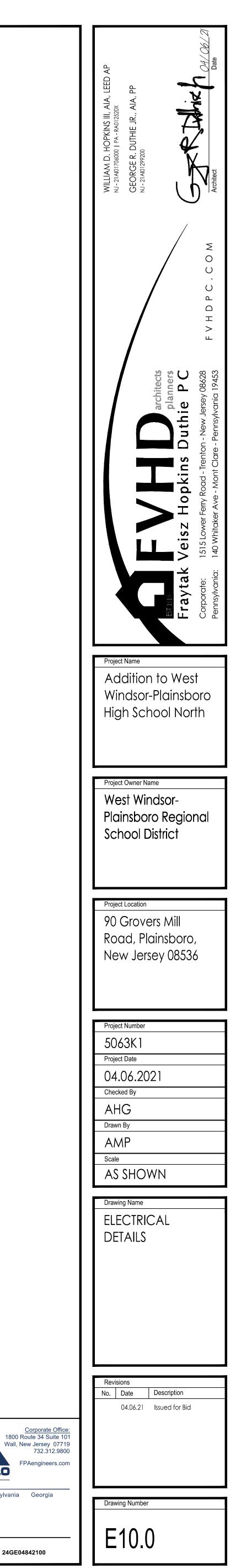
PROVIDE NEW CIRCUIT BREAKER IN EXISTING LABELED SPARE(S) TO MATCH EXISTING PANEL MANUFACTURER AND SHORT CIRCUIT RATING. REMOVE EXISTING BREAKERS AND PROVIDE NEW CIRCUIT BREAKER AND WIRING AS SPECIFIED.

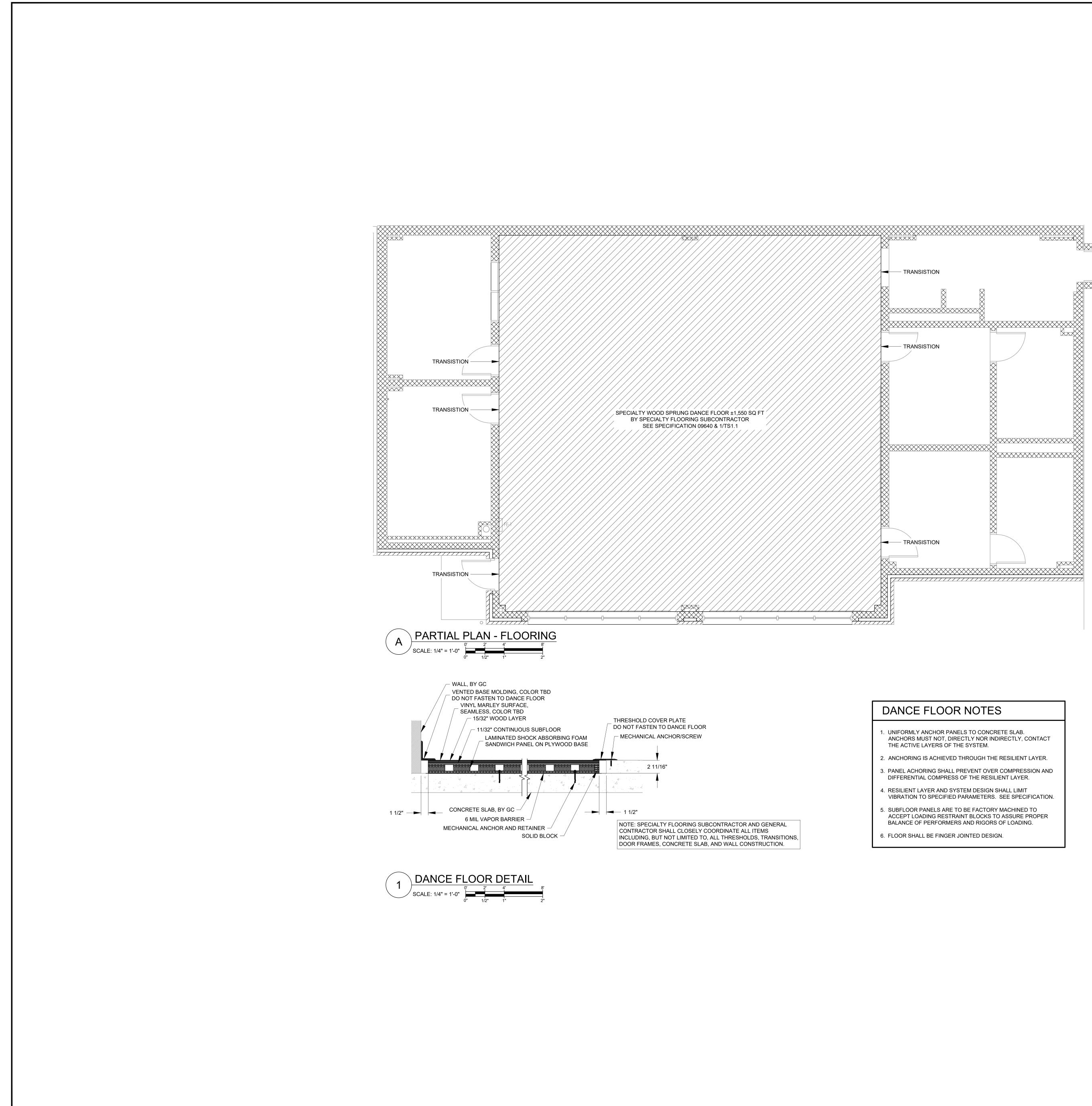




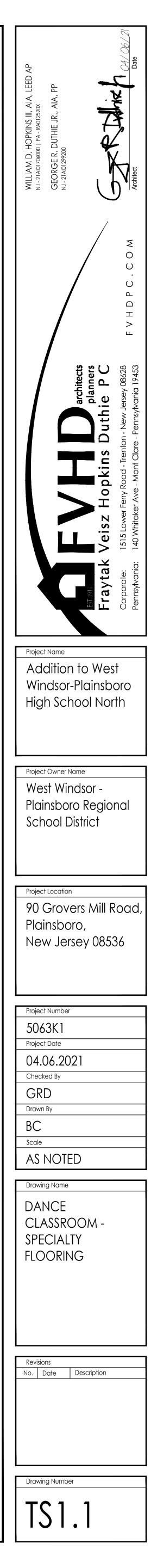


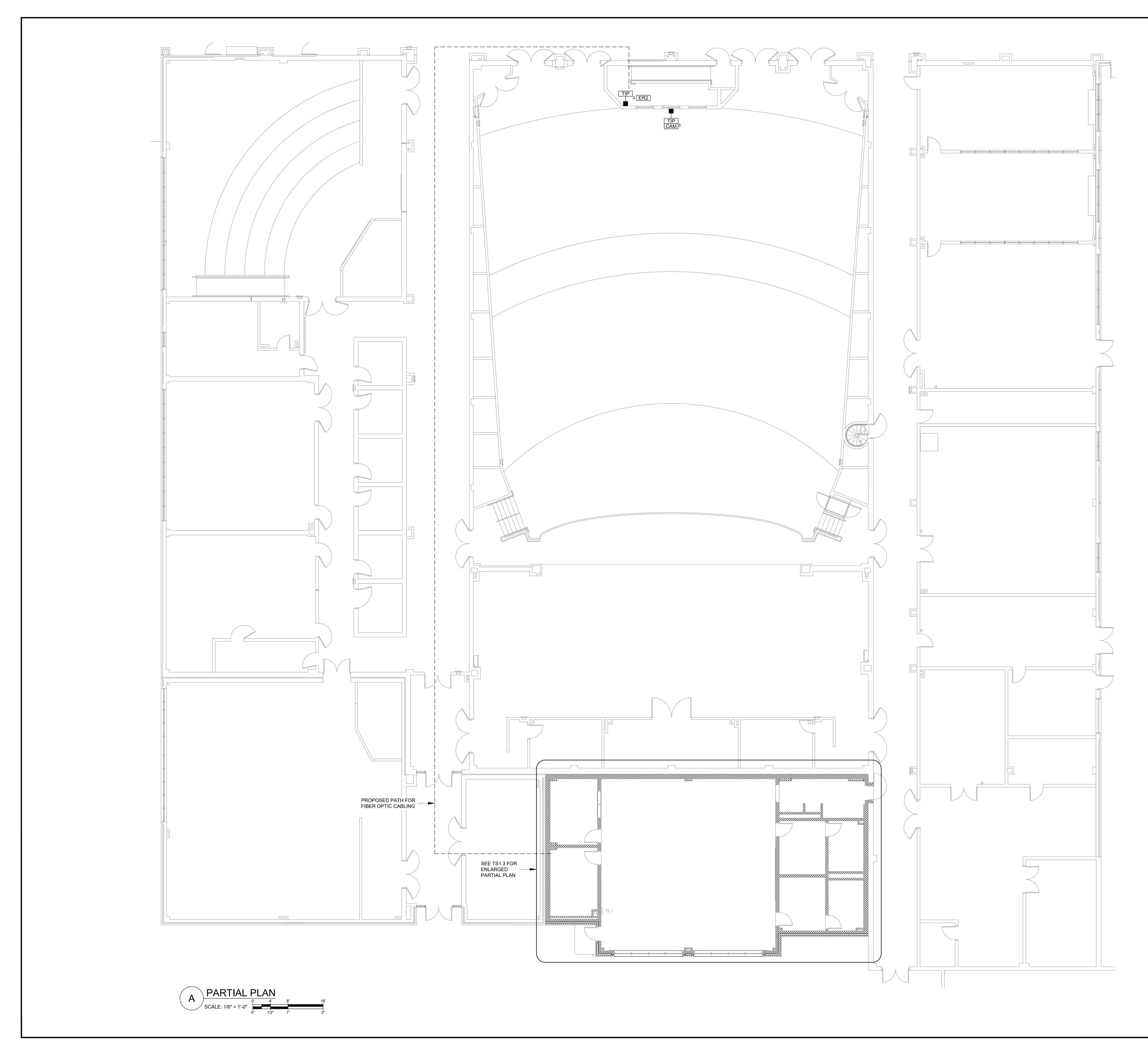
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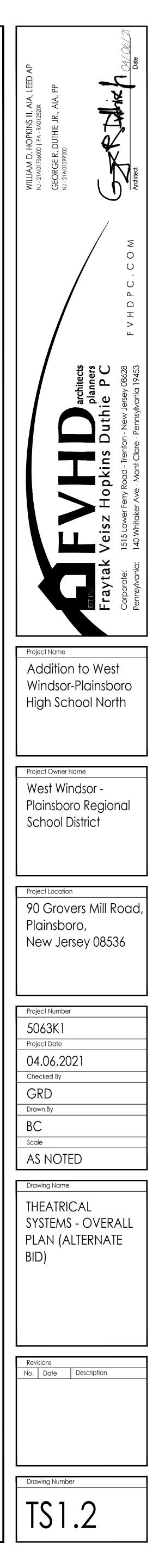


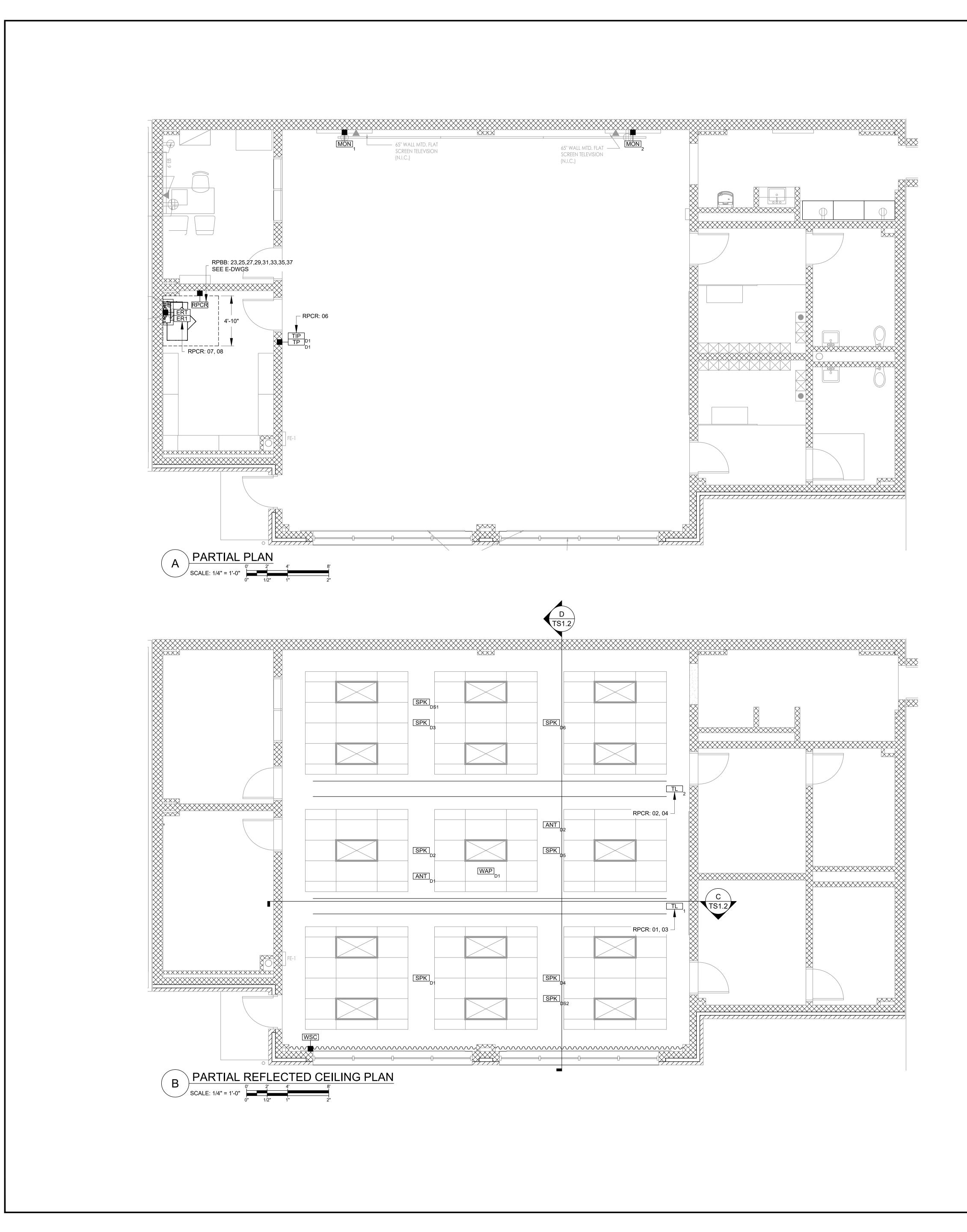


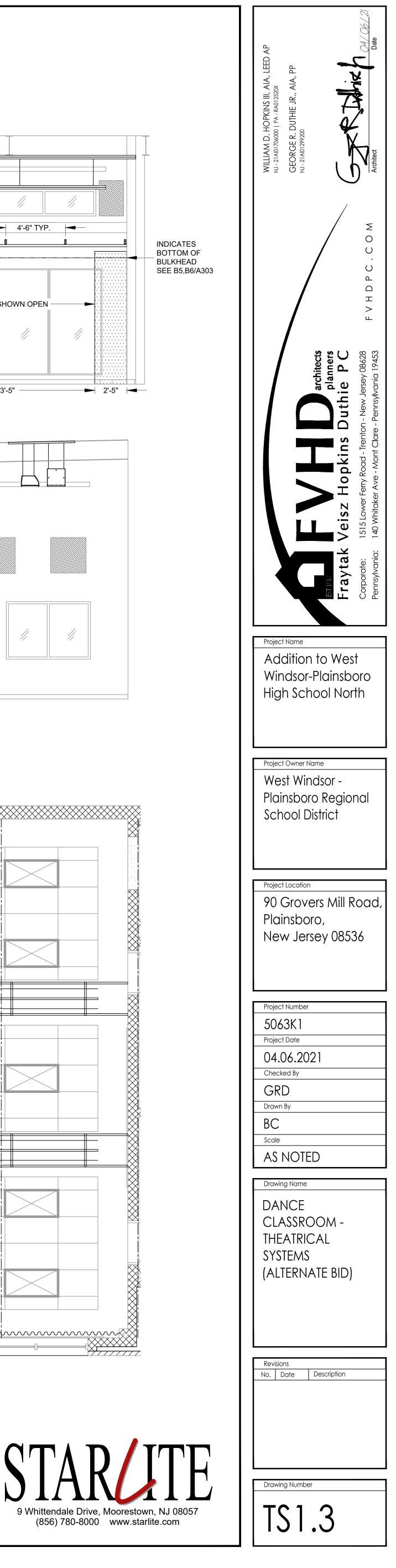


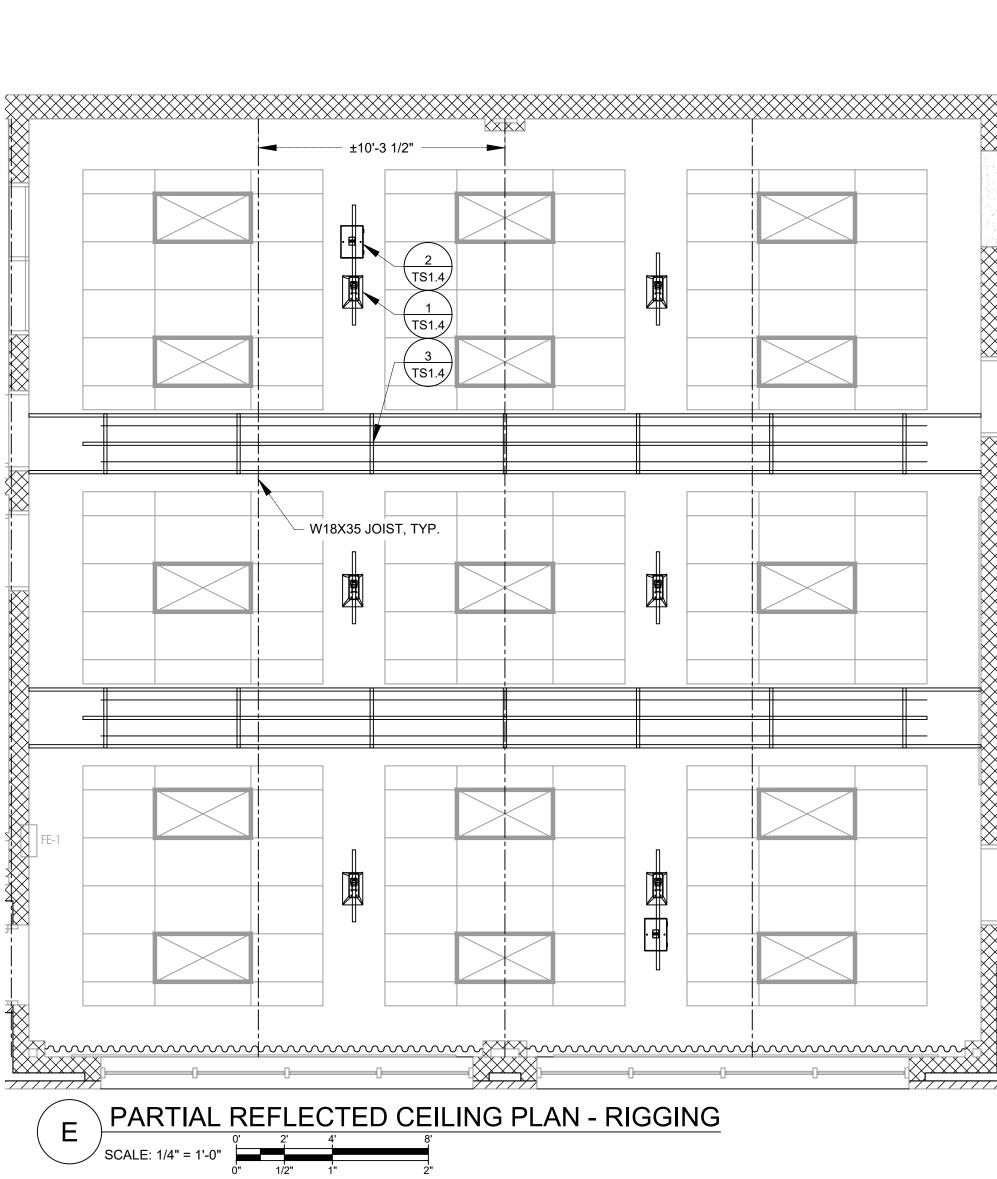


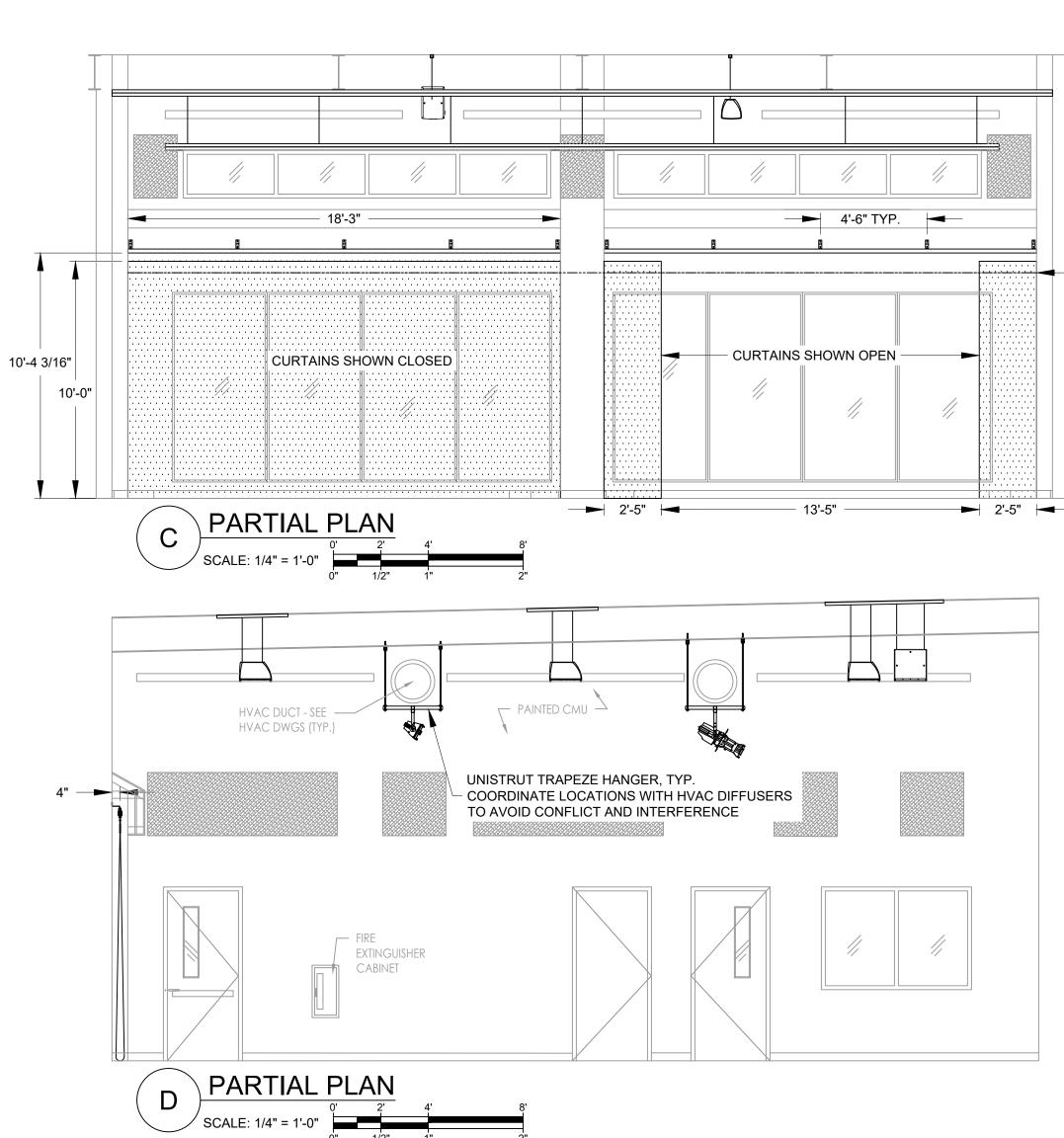


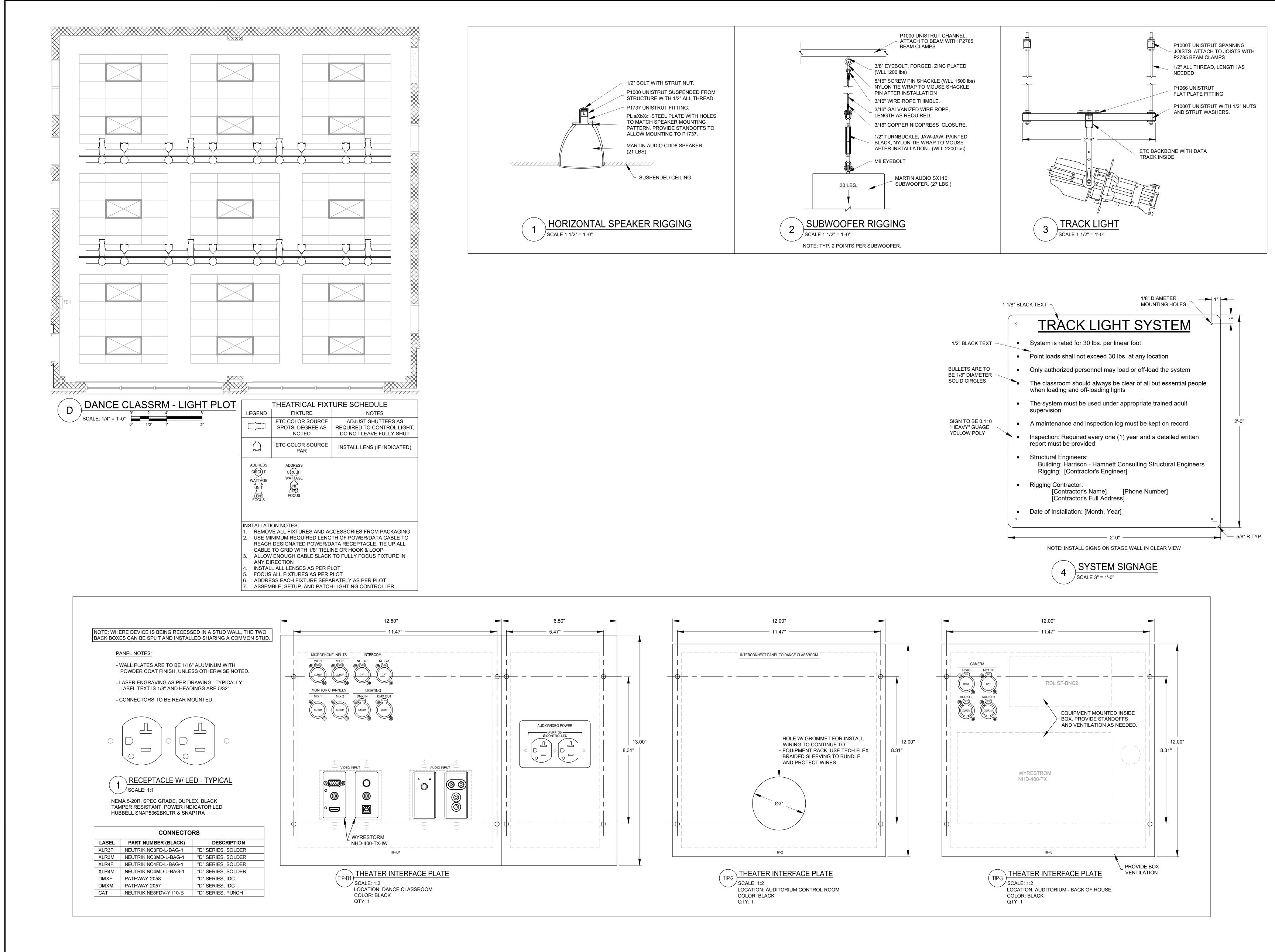




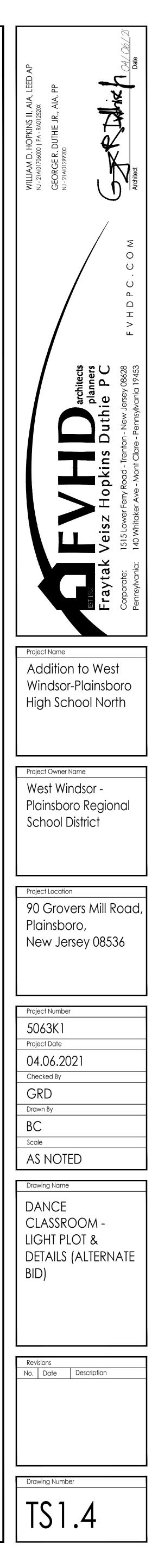


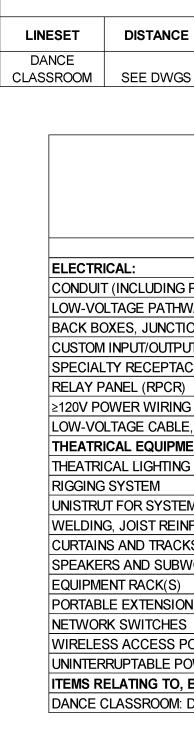


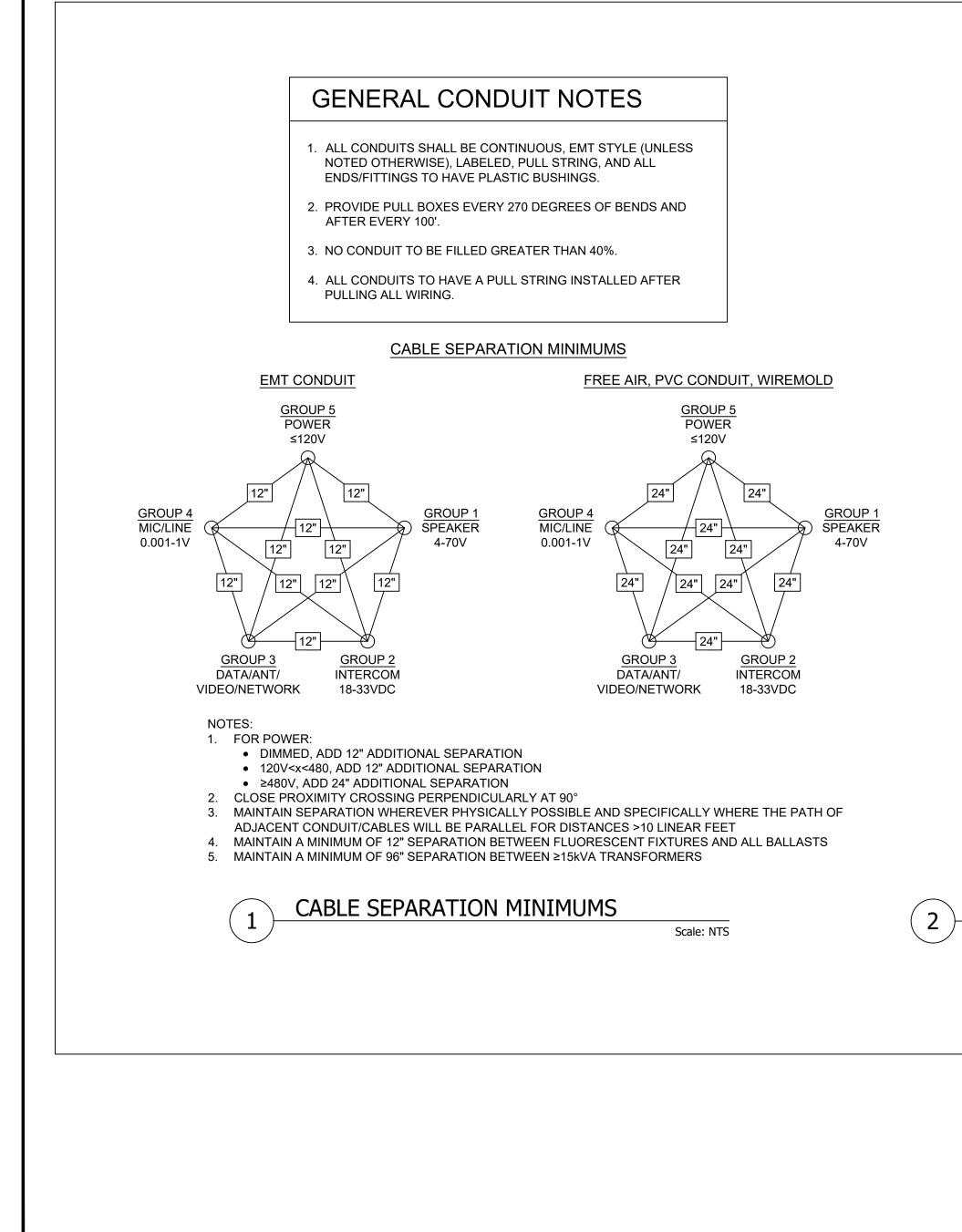


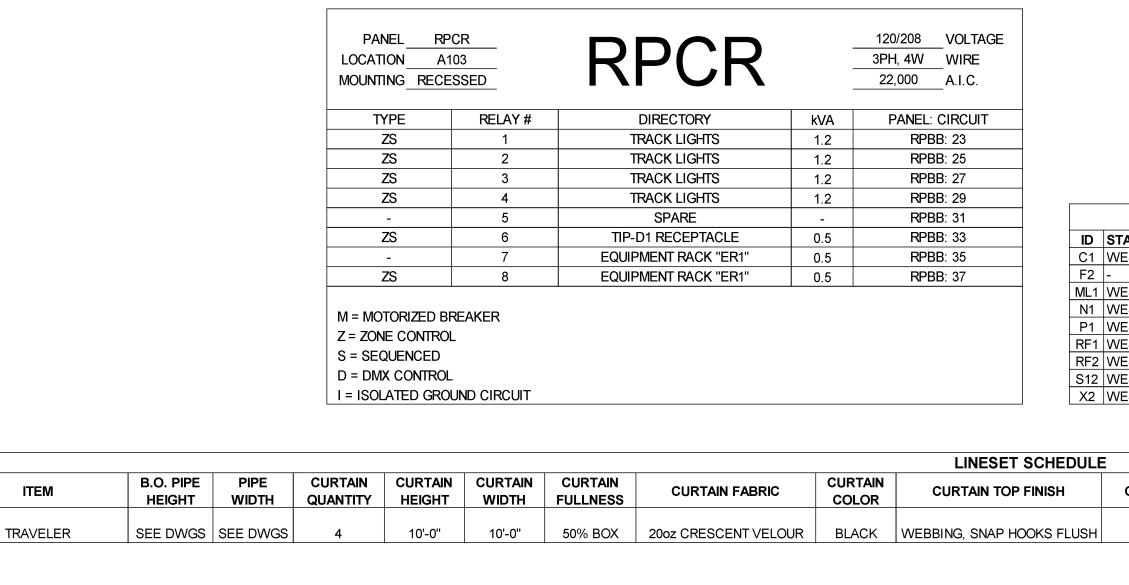


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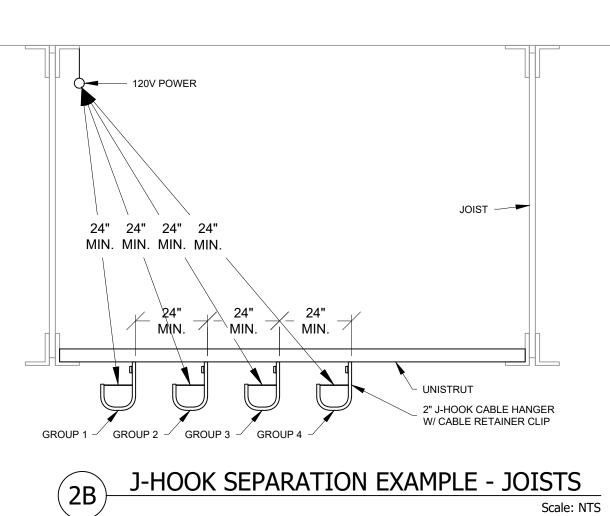


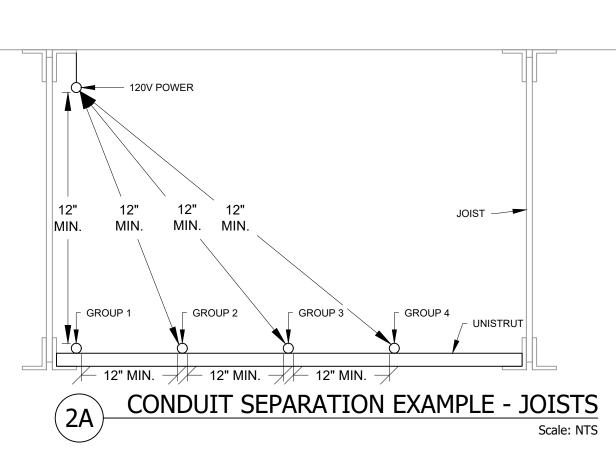


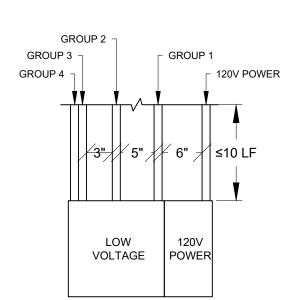


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X X	X X X X X	Х	X	
X	X X X	Х	X	
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X	X	Х	X	
X	X			
X	-	X		
X	X			
		X	X	
		X	X	
		X	X	
		Х	X	
X				
		Х	X	
		Χ	Х	
		Х	X	
		X	X	
		Х	X	
		Х	Х	
		Х	X	
	,			
			X X X	X X X X X X X X X X

RIC	CURTAIN COLOR	CURTAIN TOP FINISH	CURTAIN SI	DE FINISH	CURTAIN BOTTOM FINISH	QUA	CATION & NTITY			OPERATION METHOD	NOTES
ELOUR	BLACK	WEBBING, SNAP HOOKS FL	USH 4" HE	M	5" HEM, CHAIN LINED		E BOTTOM, PANEL		TEEL (STRAIGHT) TRACK 8'-3", CARRIERS 6" O.C.	WALK-ALONG	PROVIDE WALL MOUNT BRACKETS
						DEVIC					
DEVICE		DESCRIPTION	MANUFACTURER	MODEL	BACKBOX (WxHxD)	MOUNTING HEIGHT	MOUNTING TYPE	FINISH	LOW VOLTAGE CON	DUIT REQUIREMENTS	NOTES
A/TS1.2											
CAM	PTZ CAME	ERA	SEE SPEC	SEE SPEC	-	14'-0" AFF	SURFACE	BLACK	-		-
ER2	EQUIPME	NT RACK	SEE SPEC	SEE SPEC	INTEGRAL	FLOOR	SURFACE	BLACK	-		-
TIP-2	THEATRIC	CAL I/O PANEL	RAPCO	CUSTOM	12"x12"x4"	18" AFF	SURFACE	BLACK	(1) 3/4" [G3] STUB TO HALL ON CENTER TO ERT (SEE E		SEE DWG TS1.4
TIP-3	THEATRIC	CAL I/O PANEL	RAPCO	CUSTOM	12"x12"x4"	15'-0" AFF	SURFACE	BLACK	(1) 3/4" [G3] TO TIP-2		SEE DWG TS1.4
A/TS1.3											
ER1	EQUIPME	NT RACK	SEE SPEC	SEE SPEC	INTEGRAL	FLOOR	SURFACE	BLACK	-		SEE DWG TS6.1 FOR SPECIFIC MOUNT
ERT	EQUIPME	NT RACK TROUGH	SEE SPEC	SEE SPEC	INTEGRAL	SEE DWG TS6.1	SURFACE	BLACK	SEE DEVICES THAT REF. E (1) 3/4" [G3] STUB TO HALL (1) 3/4" [G3] TO FIRE ALARI	WAY CEILING	-
MON-1	TV BACK	BOX	-	-	CHIEF PAC525FCW	CENTER OF TV	RECESSED	WHITE	(1) 3/4" [G3] TO ERT (1) 3/4" STUB TO CEILING	· · · ·	TV (N.I.C.)
MON-2	TV BACK	BOX	-	-	CHIEF PAC525FCW	CENTER OF TV	RECESSED	WHITE	(1) 3/4" [G3] TO ERT (1) 3/4" STUB TO CEILING		TV (N.I.C.)
TIP-D1	THEATRIC	CAL I/O PANEL	RAPCO	CUSTOM	12"x12"x4" & 12"x6"x4"	-	RECESSED	BLACK	(1) 3/4" [G3] TO ERT		SEE DWG TS1.4
TP-D1	TOUCH P/	ANEL	SEE SPEC	SEE SPEC	3-GANG	42" AFF	RECESSED	BLACK	(1) 3/4" [G3] TO TIP-D1		-
RPCR	RELAY PA	ANEL	SEE SPEC	SEE SPEC	INTEGRAL	48" AFF	RECESSED	GRAY	(1) 3/4" [G3] TO ERT		-
3/TS1.3			-						-		
ANT-D1	WIRELES	S MICROPHONE ANTENNA	SEE SPEC	SEE SPEC	-	16'-0" AFF	SUSPENDED	BLACK	(1) 3/4" [G3] TO ERT		STUB CONDUIT AT DEVICE
ANT-D2	WIRELES	S MICROPHONE ANTENNA	SEE SPEC	SEE SPEC	-	16'-0" AFF	SUSPENDED	BLACK	(1) 3/4" [G3] TO ERT		STUB CONDUIT AT DEVICE
SPK-D1	SPEAKEF	र	SEE SPEC	SEE SPEC	-	16'-0" AFF	SUSPENDED	BLACK	(1) 3/4" [G1] TO ERT		STUB CONDUIT AT DEVICE
SPK-D2	SPEAKEF	?	SEE SPEC	SEE SPEC	-	16'-0" AFF	SUSPENDED	BLACK	(1) 3/4" [G1] TO ERT		STUB CONDUIT AT DEVICE
SPK-D3	SPEAKEF	र	SEE SPEC	SEE SPEC	-	16'-0" AFF	SUSPENDED	BLACK	(1) 3/4" [G1] TO ERT		STUB CONDUIT AT DEVICE
SPK-D4	SPEAKEF	र	SEE SPEC	SEE SPEC	-	16'-0" AFF	SUSPENDED	BLACK	-		-
SPK-D5	SPEAKEF	8	SEE SPEC	SEE SPEC	-	16'-0" AFF	SUSPENDED	BLACK	-		-
SPK-D6	SPEAKEF	?	SEE SPEC	SEE SPEC	-	16'-0" AFF	SUSPENDED	BLACK	-		-
SPK-DS1	SPEAKEF	R-SUBWOOFER	SEE SPEC	SEE SPEC	-	16'-0" AFF	SUSPENDED	BLACK	(1) 3/4" [G1] TO ERT		STUB CONDUIT AT DEVICE
SPK-DS2	SPEAKEF	R - SUBWOOFER	SEE SPEC	SEE SPEC	-	16'-0" AFF	SUSPENDED	BLACK	-		-
TL-1	TRACK LI	GHT	SEE SPEC	SEE SPEC	INTEGRAL	14'-8" AFF	SUSPENDED	BLACK	(1) 3/4" [G3] TO TL-2		-
TL-2	TRACK LI	GHT	SEE SPEC	SEE SPEC	INTEGRAL	14'-8" AFF	SUSPENDED	BLACK	(1) 3/4" [G3] TO ERT		-
WAP-D1	WIRELES	S ACCESS POINT	SEE SPEC	SEE SPEC	-	CEILING	SURFACE	WHITE	(1) 3/4" [G3] TO ERT		STUB CONDUIT AT DEVICE
WSC	WINDOW	SHADE CONTROLLER	-	-	-	-	-	-	(1) 3/4" [G3] TO ERT		WSC IS BY OTHERS, WIRING/CONTROL/INTEGRATION IS BY

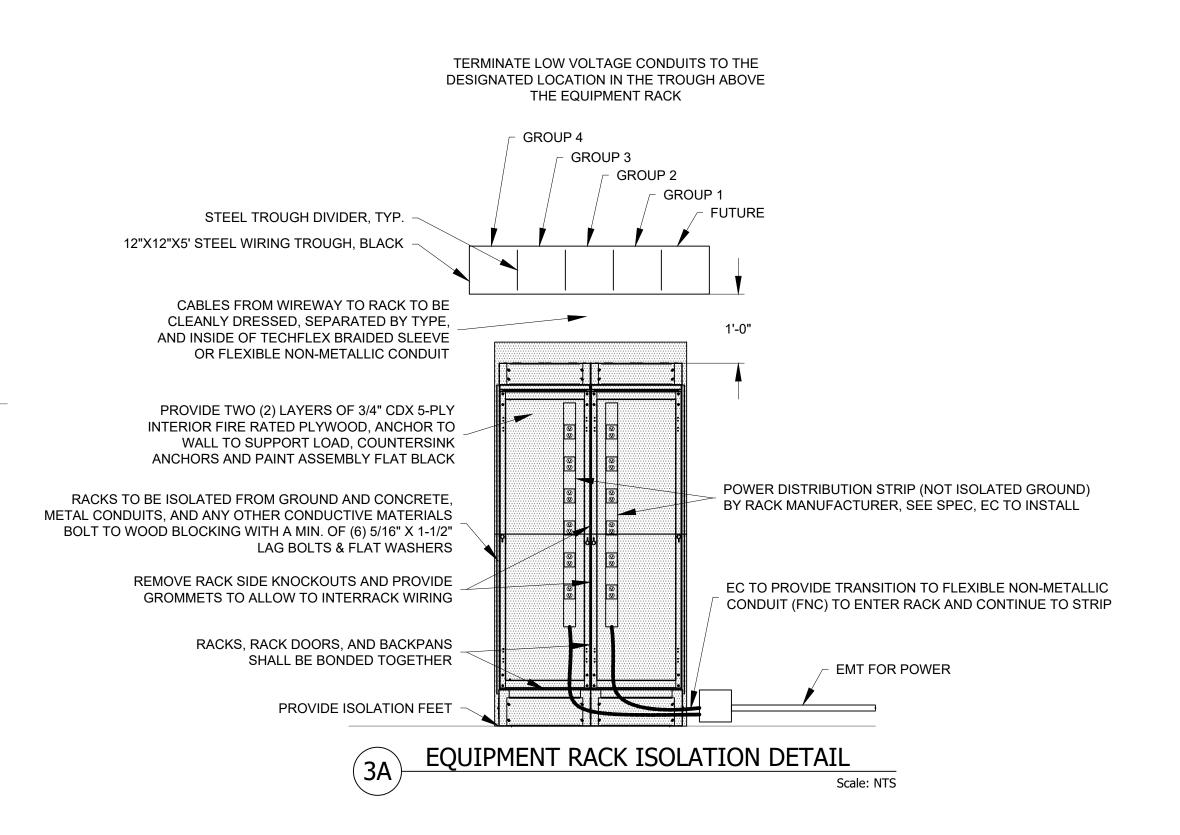




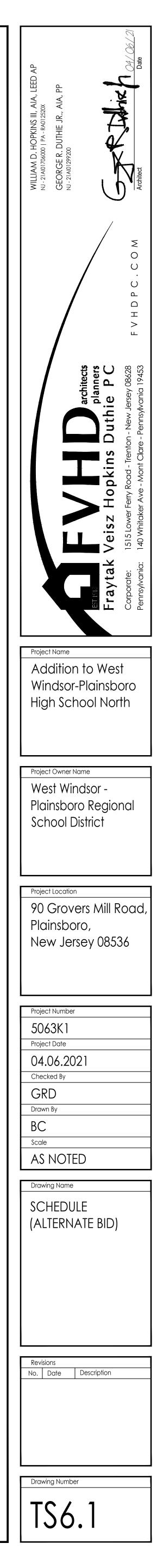


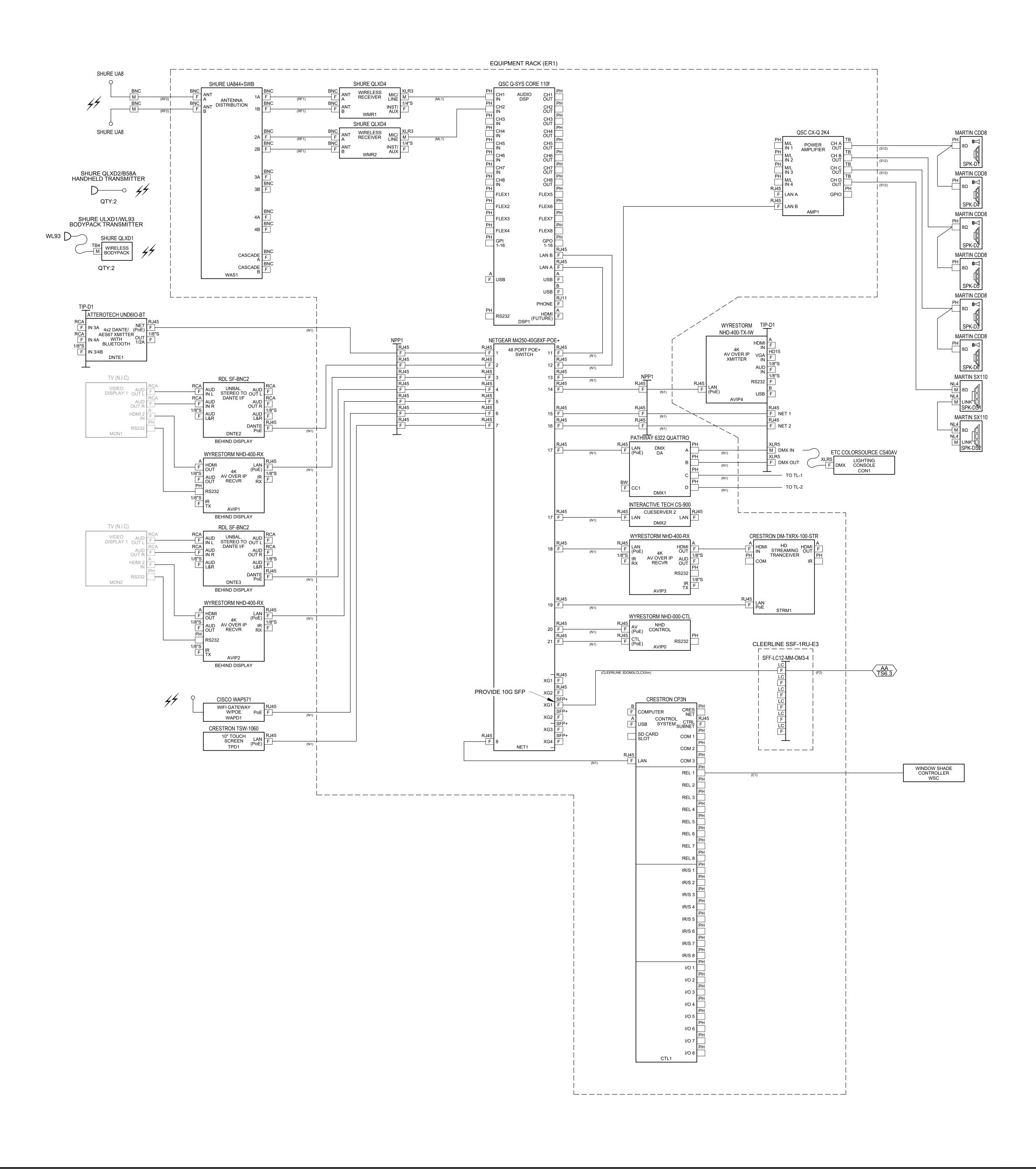
2 CONDUIT SEPARATION EXAMPLE - AT BOX Scale: NTS

CABLE LEGEND											
TANDARD	PLENUM	TYPE	DESCRIPTION								
VEST PENN WIRE 454	WEST PENN WIRE D25454	CONTROL	1 PAIR, 22 AWG, SHIELDED, STRANDED, TINNED, PVC								
	CLEERLINE 6IAD50125MOM3P	NETWORK/DATA	OM3 6-STRAND, ARMORED								
VEST PENN WIRE 454	WEST PENN WIRE D25454	MIC/LINE	1 PAIR, 22 AWG, SHIELDED, STRANDED, TINNED, PVC								
VEST PENN WIRE 4246	WEST PENN WIRE 254246	NETWORK/DATA	CAT6, UTP, 4 PAIR, 23 AWG								
VEST PENN WIRE 224	WEST PENN WIRE 25224B	POWER	1 PAIR, 18 AWG, STRANDED								
VEST PENN WIRE 813	WEST PENN WIRE 25812	RF ANTENNA COAXIAL	RG/58, 50 OHM, 20 AWG, SOLID, TINNED								
VEST PENN WIRE 810	WEST PENN WIRE 25810	RF ANTENNA COAXIAL	RG213/U, 50 OHM, 12 AWG, STRANDED								
VEST PENN WIRE 227	WEST PENN WIRE 25227B	SPEAKER	1 PAIR, 12 AWG. STRANDED								
VEST PENN 4246	WEST PENN WIRE 254246	DMX	CAT6, UTP, 4 PAIR, 23 AWG								

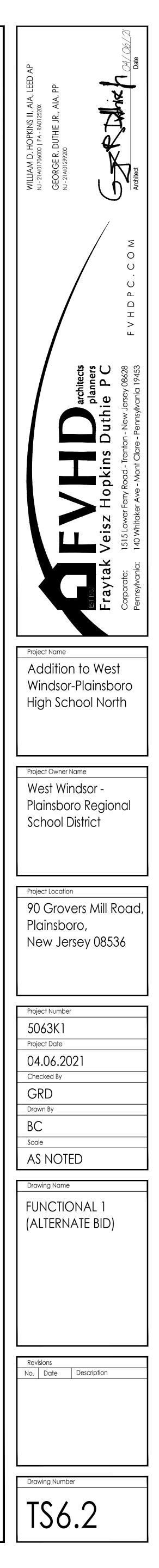


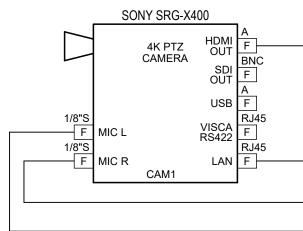


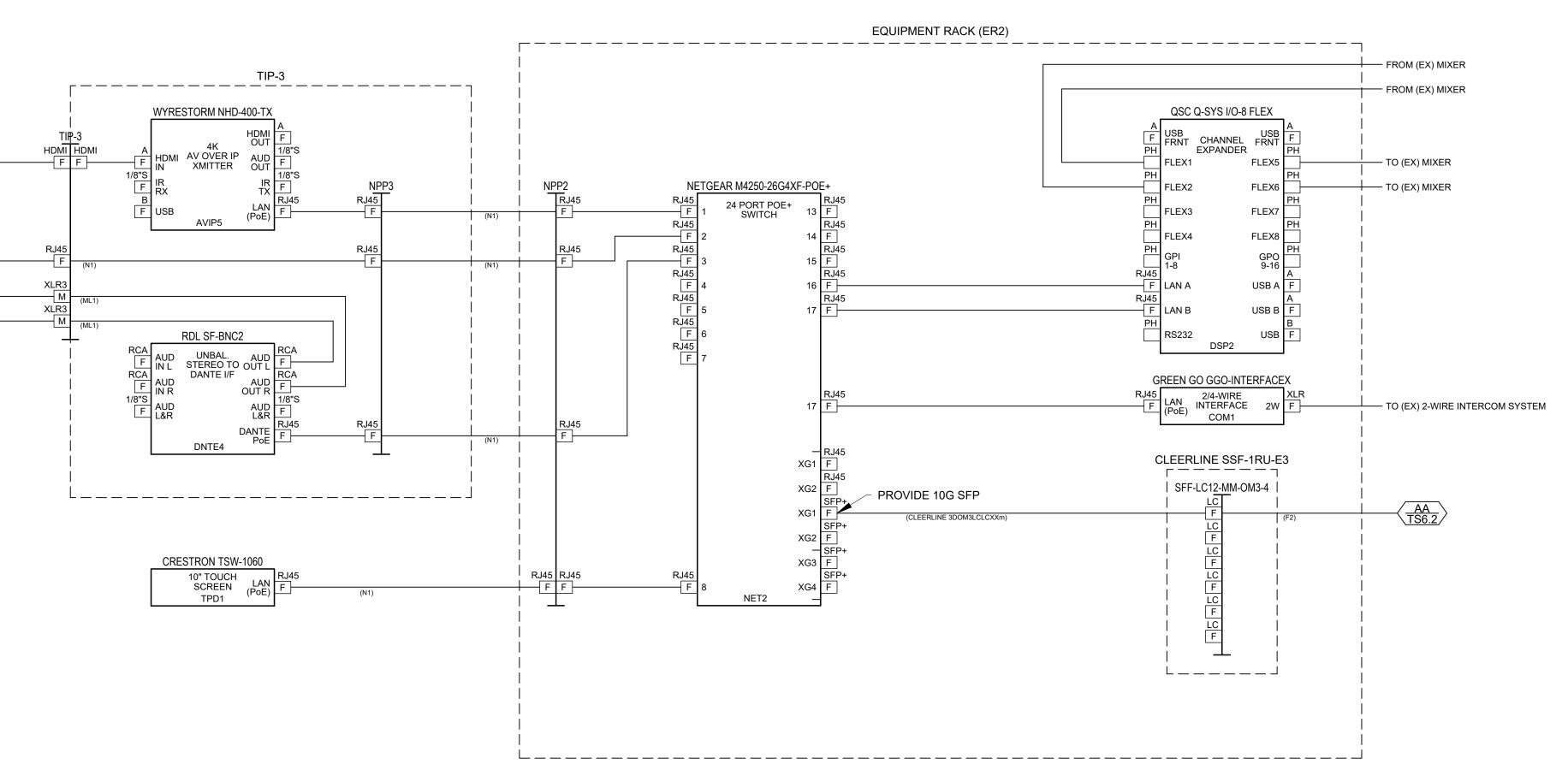


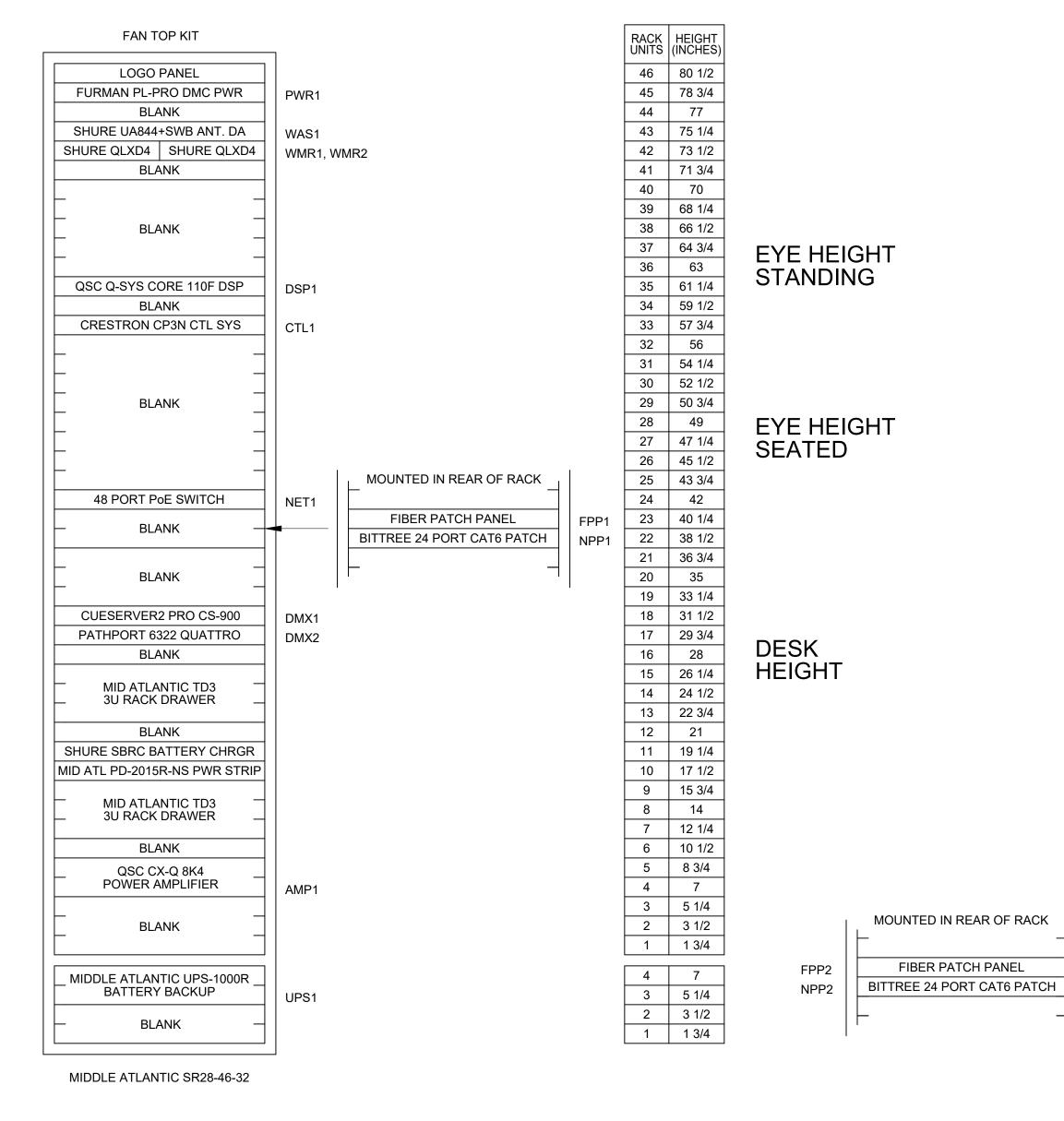




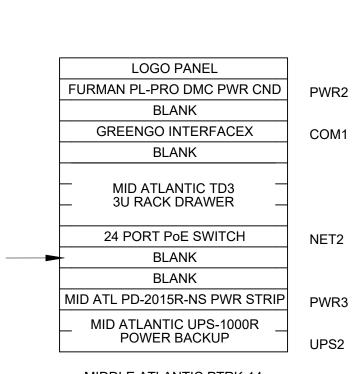








ER1 DANCE CLASSROOM RACK ELEVATION SCALE: NTS



1 1 3/4

DESK HEIGHT

MIDDLE ATLANTIC PTRK-14 CONFIRM RACK FITS UNDER (EX) DESK

ER2 CONTROL ROOM RACK ELEVATION SCALE: NTS



