

Addition to

West Windsor - Plainsboro High School North

90 Grovers Mill Road, Plainsboro, New Jersey 08536

West Windsor Plainsboro Regional School District

321 Village Road East, West Windsor, New Jersey 08550



Van Cleef Engineering Associates, LLC
CONSULTING ENGINEERS | HAMILTON, NEW JERSEY

Harrison-Hamnett, P.C.
CONSULTING ENGINEERS | PENNINGTON, NEW JERSEY

French & Parrello Associates, P.A.
CONSULTING ENGINEERS | WALL, NEW JERSEY

NJ DOE Number: 5715-025-18-2000

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WILLIAM D. HOPKINS III, AIA, LEED AP
No. 514070001 PA - 64723326
GEORGE E. DUTHIE JR., AIA, FP
No. 244070001
Date: 04/06/21
FVHD

FVHD architects planners
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Company: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whitaker Ave - Mont Clear - Pennsylvania 17403
F V H D P C - C O M

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

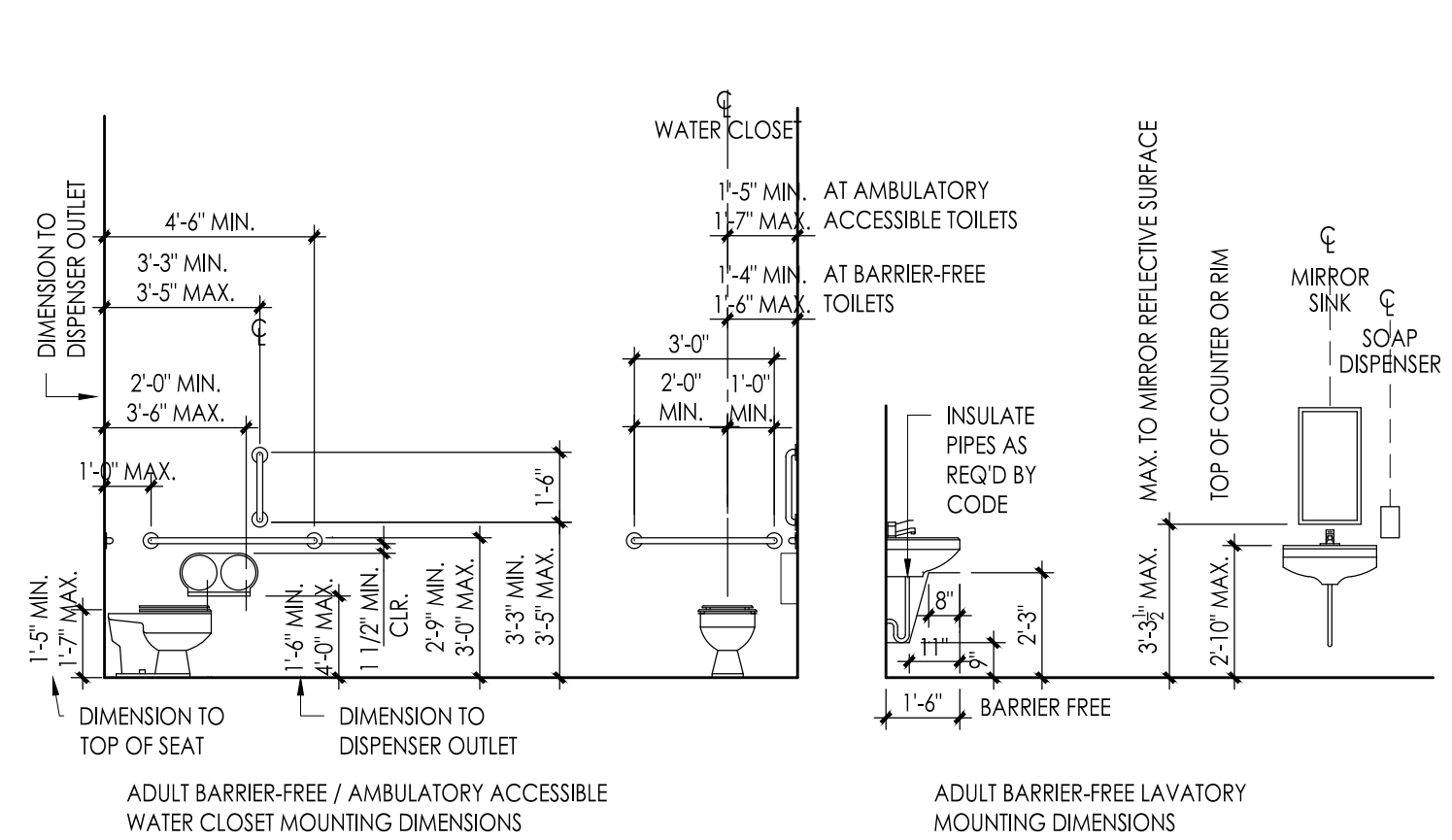
Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1
Project Date
04.06.2021
Checked By
GRD
Drawn By
IB
Scale
As Noted

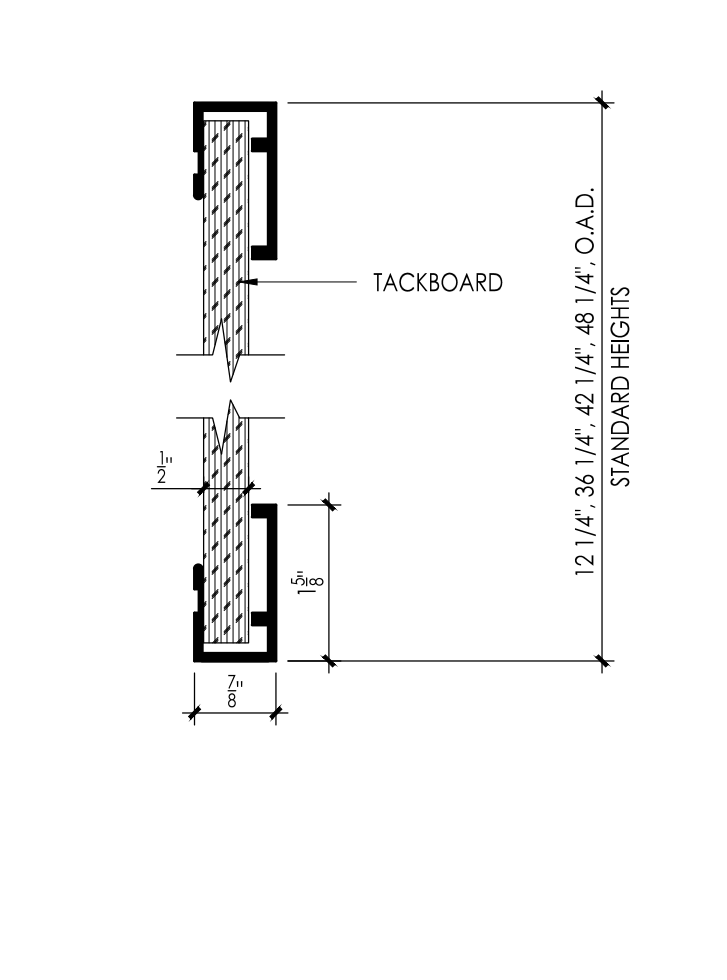
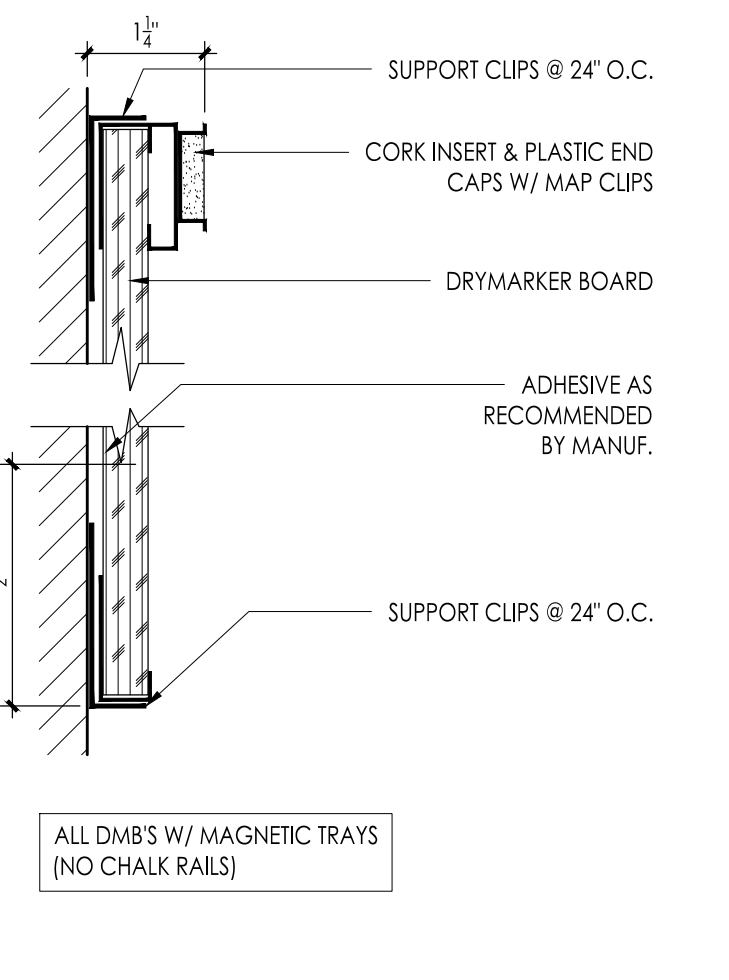
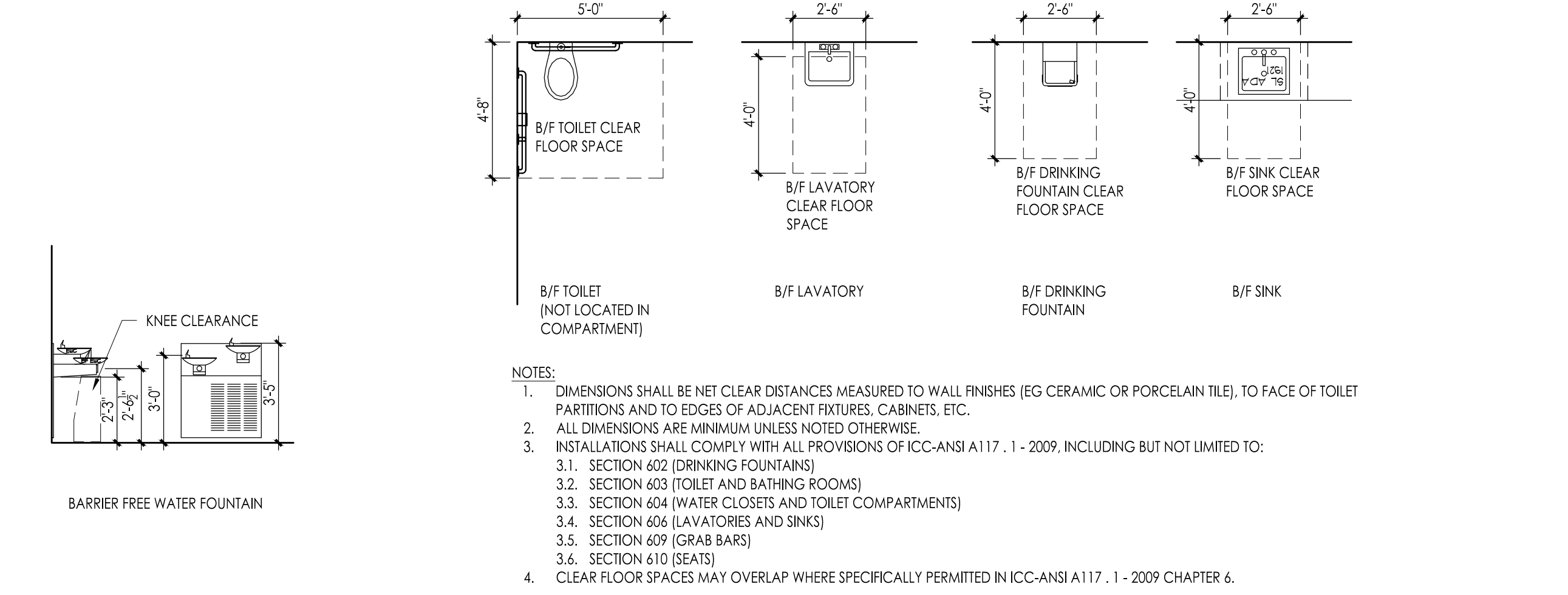
Drawing Name
Title Sheet and Drawing Index

Revisions		
No.	Date	Description

Drawing Number
G001



TOILET FIXTURE MOUNTING HEIGHT SCHEDULE. Table with columns: ROOM NAME / NUMBER, MOUNTING HEIGHT IDENTIFICATION, and dimensions.



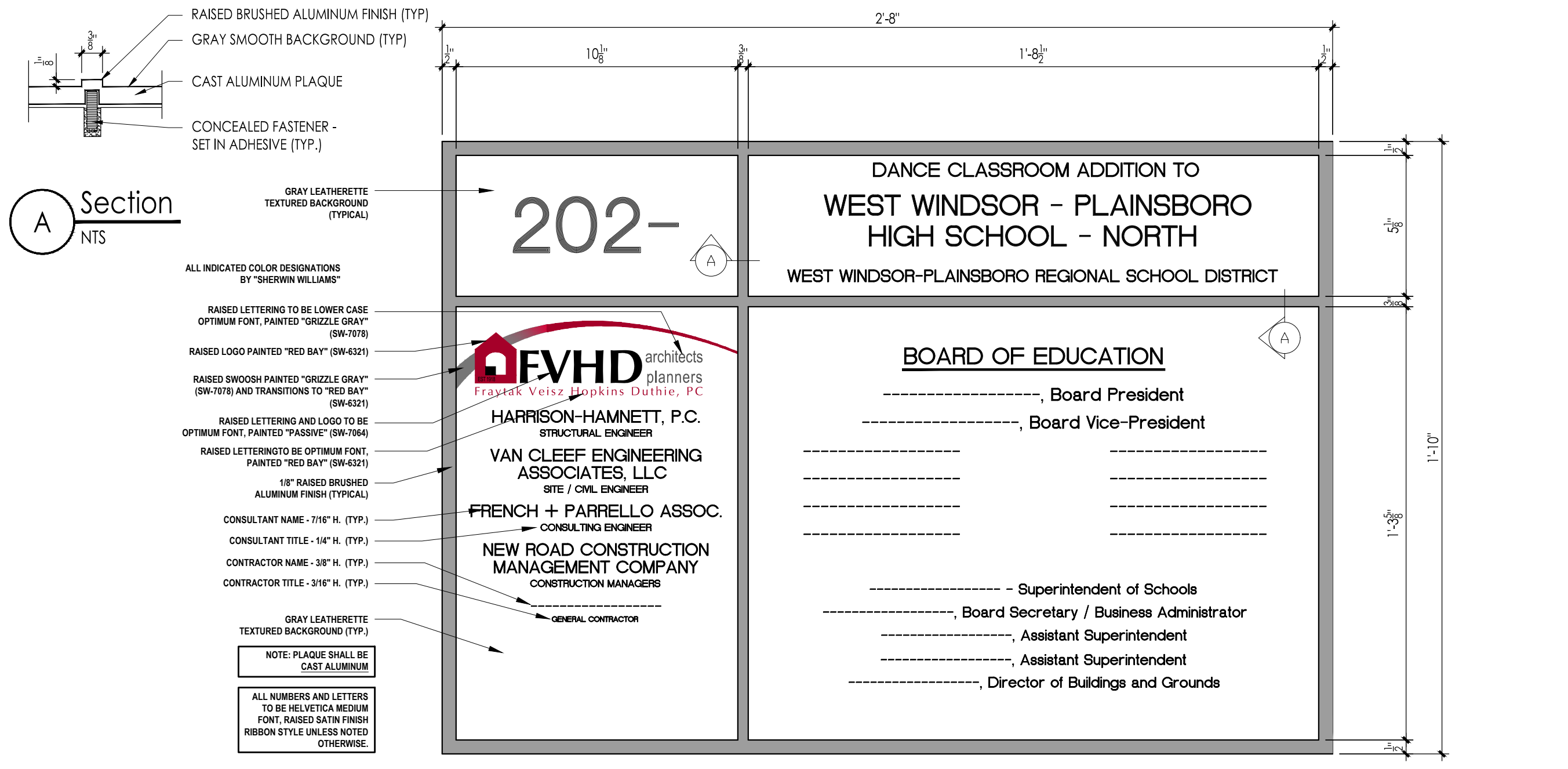
1 ADULT BARRIER-FREE MOUNTING DIMENSIONS

2 TYPICAL TOILET ROOM FIXTURE / ACCESSORY MOUNTING HEIGHTS AND CLEARANCES

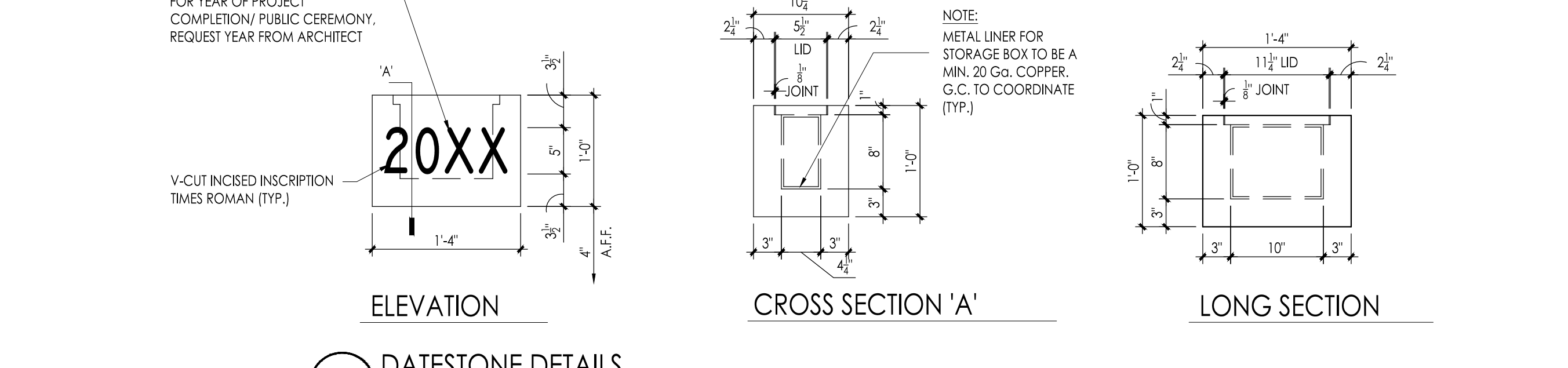
3 TYPICAL TOILET ROOM FIXTURE CLEAR SPACE REQUIREMENTS

4 DRYMARKER BOARD

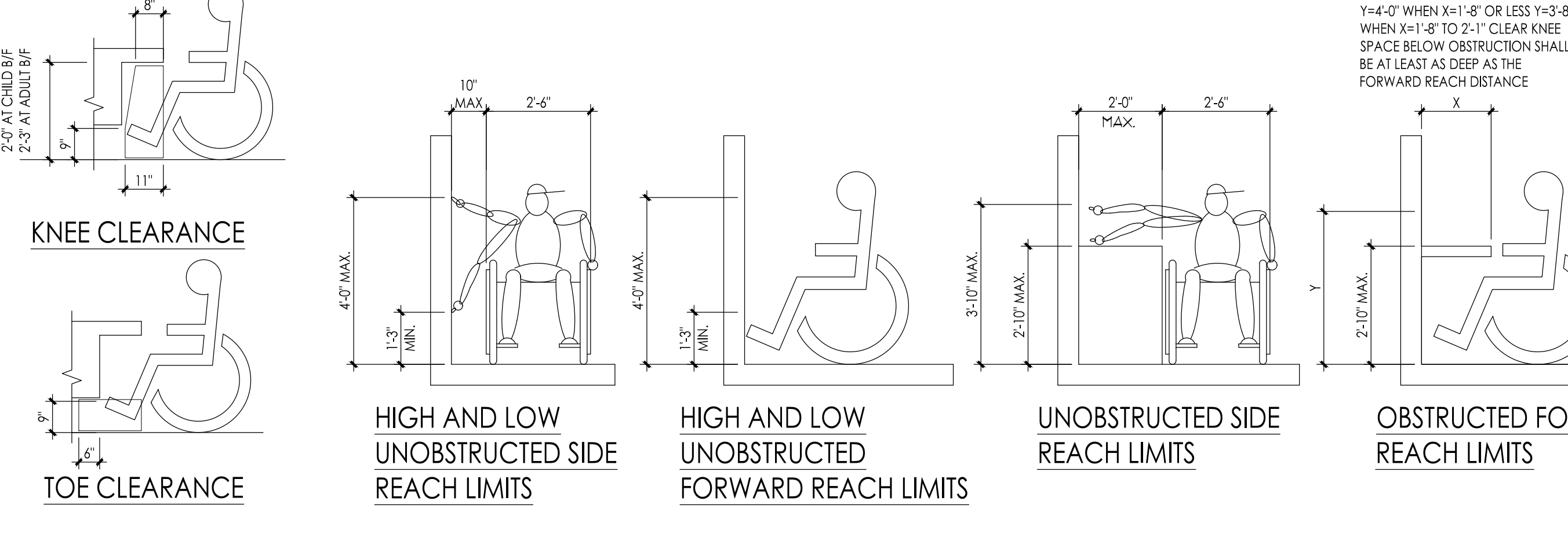
5 EXHIBITION BOARD



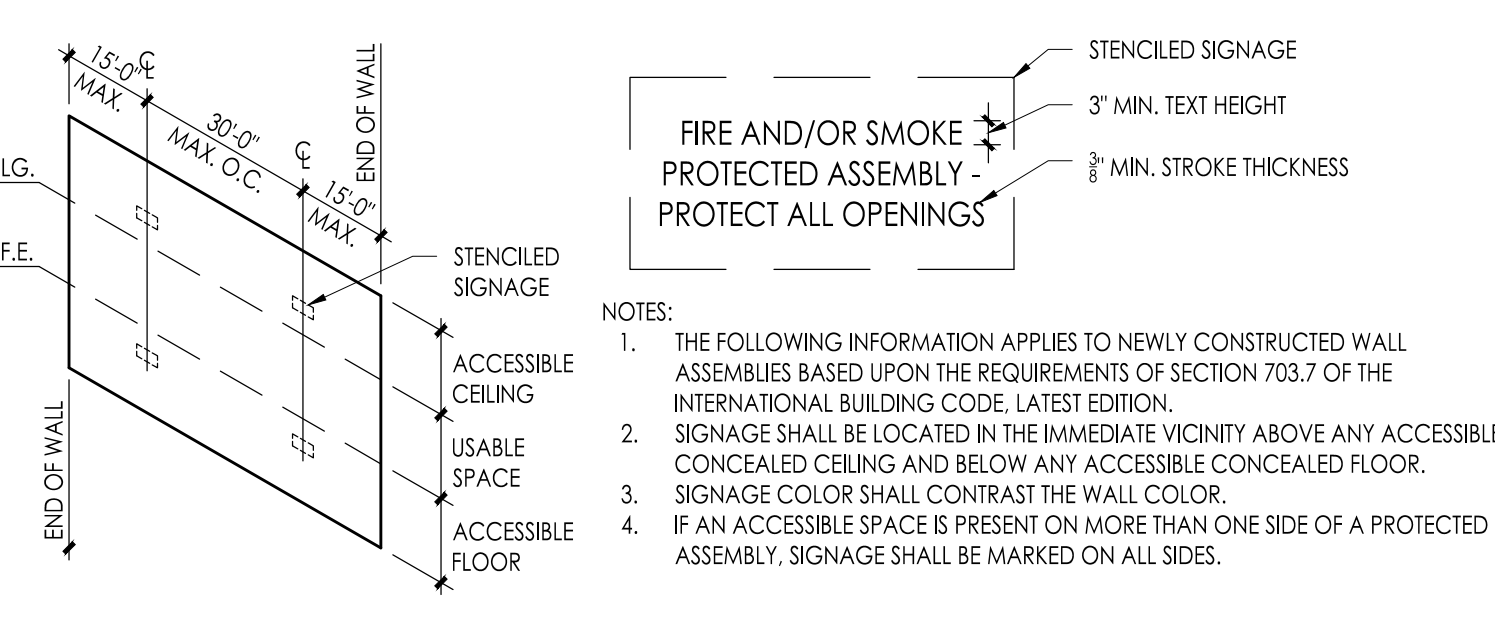
6 COMMEMORATIVE PLAQUE DETAIL



7 DATESTONE DETAILS



8 ACCESSIBILITY DIMENSIONS



9 FIRE AND/OR SMOKE PROTECTED ASSEMBLY MARKING DETAIL

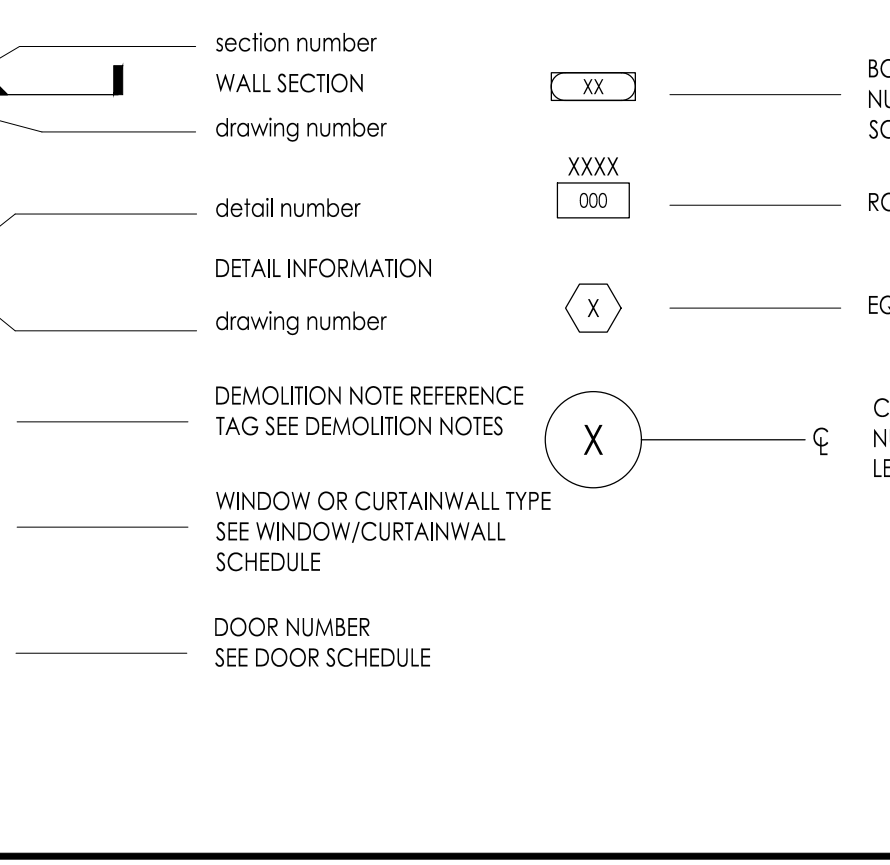
GENERAL NOTES

- 1. ALL CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING A BID. DISCREPANCIES OR OMISSIONS MUST BE REPORTED TO THE ARCHITECT IN WRITING (10) DAYS PRIOR TO BID OPENING.

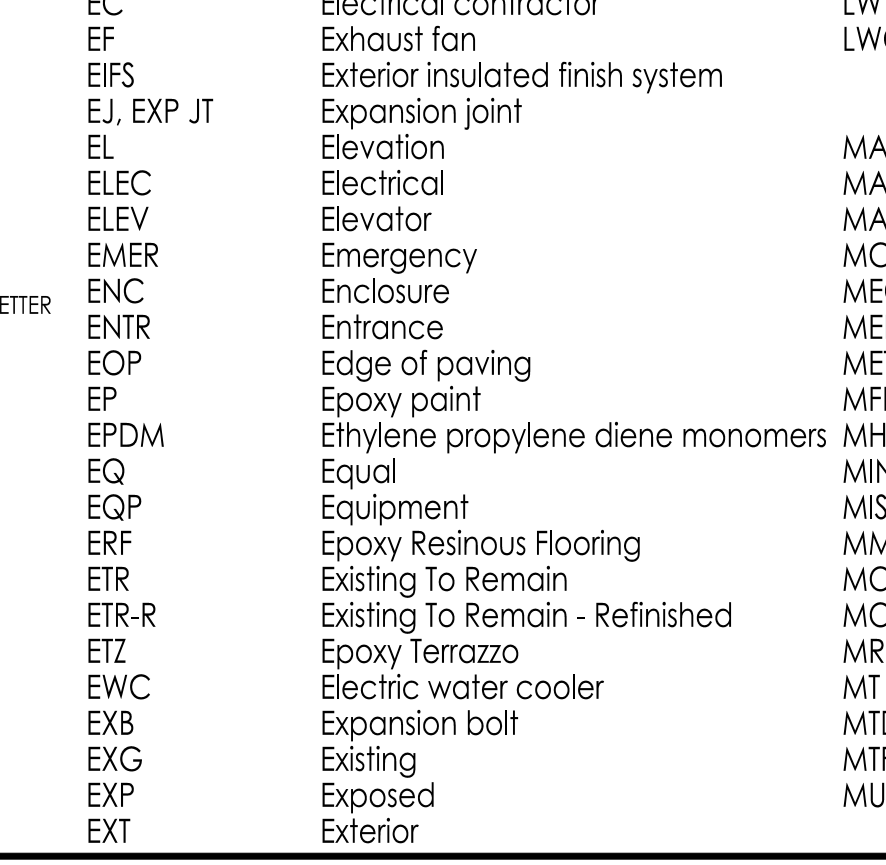
ABBREVIATIONS

Table listing abbreviations and their corresponding full names for materials and construction elements.

MATERIAL LEGEND



SYMBOL LIST



FVHD architects logo and contact information for William D. Hopkins III, AIA, LEED AP and George B. Duthie Jr., AIA, F.P.

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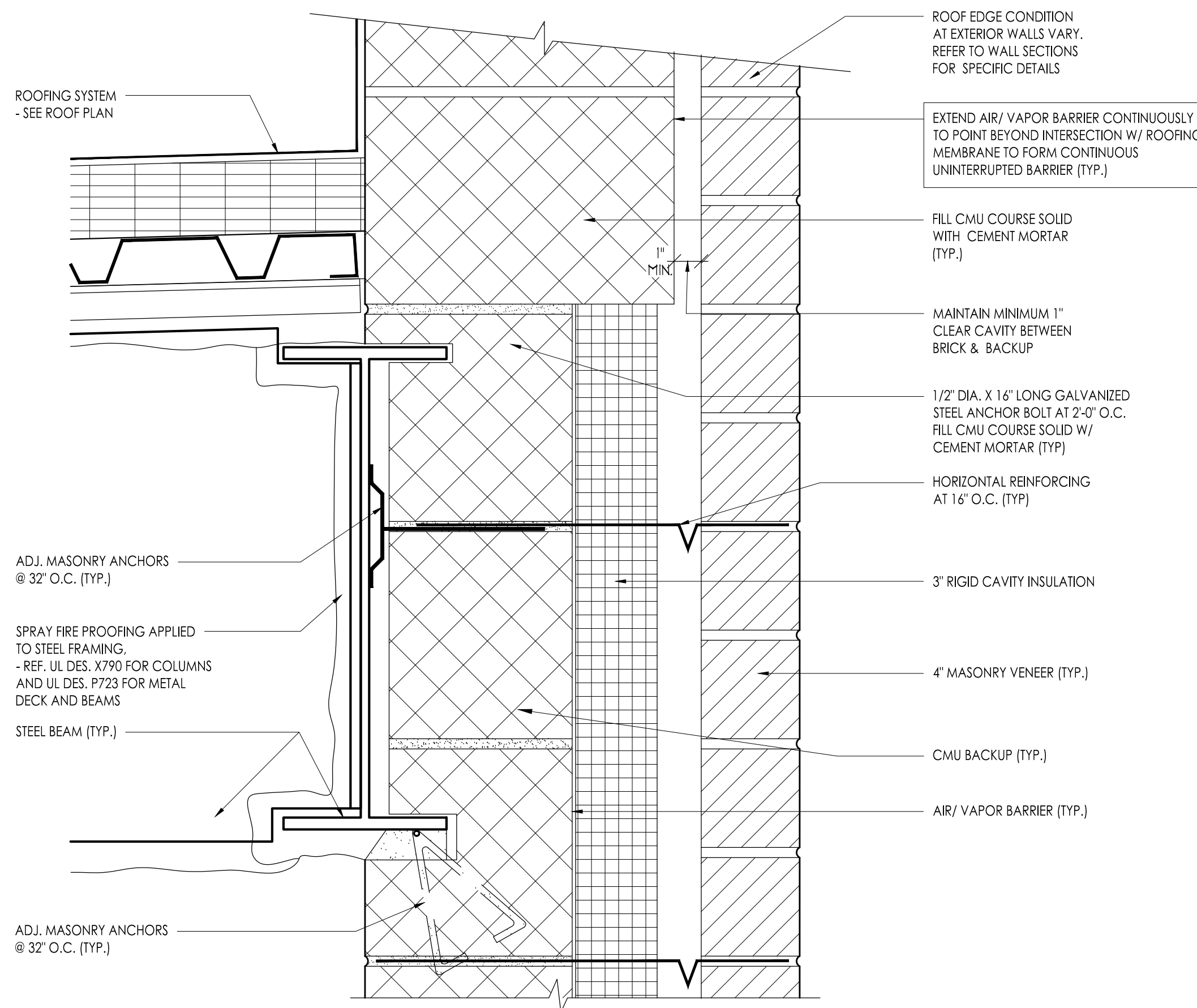
Project Location: 90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number: 5063K1. Project Date: 04.06.2021. Checked By: GRD. Drawn By: IB. Scale: As Noted.

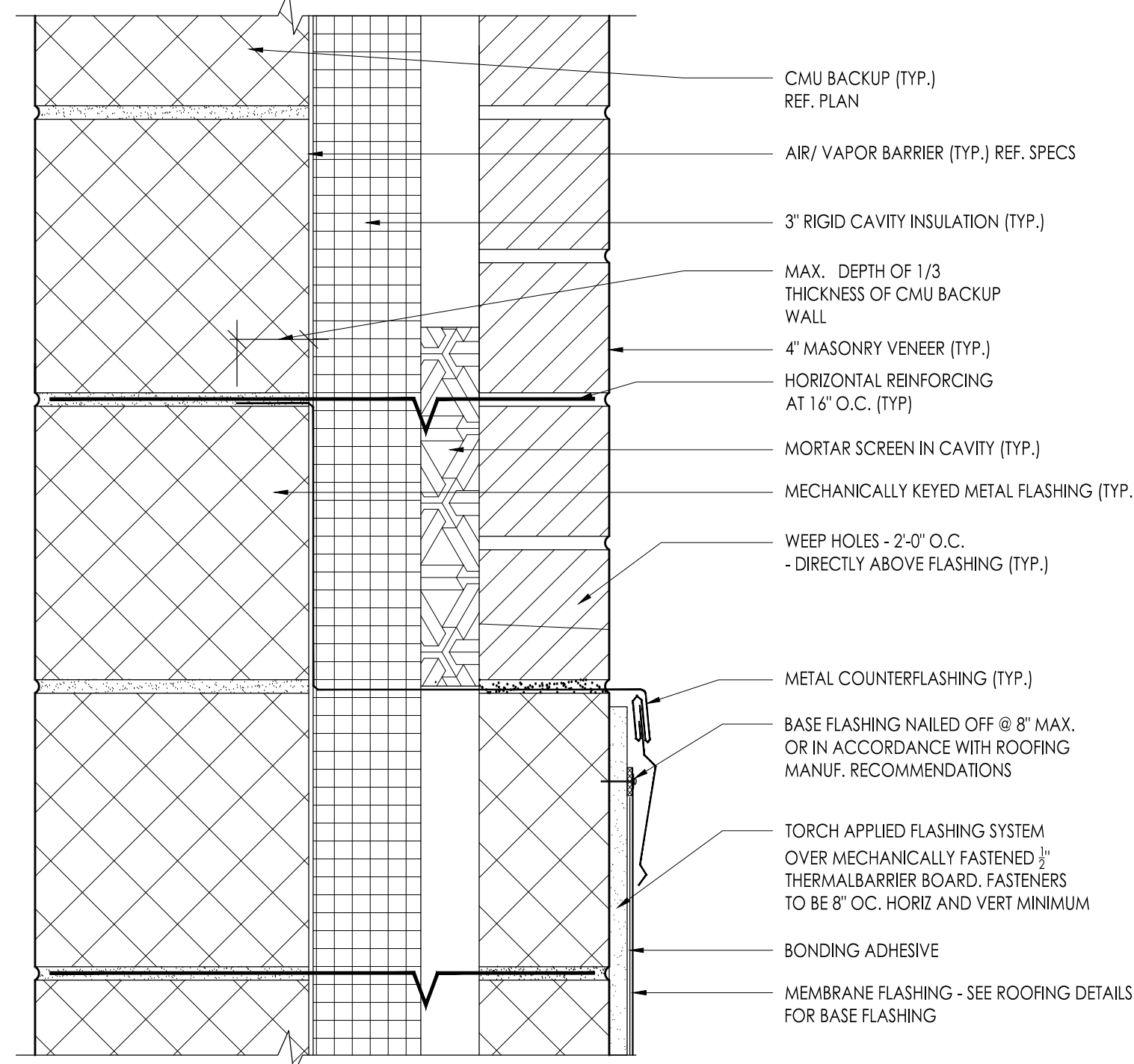
Drawing Name: General Notes, Typical Details, Legends and Abbreviations

Revisions table with columns for No., Date, and Description.

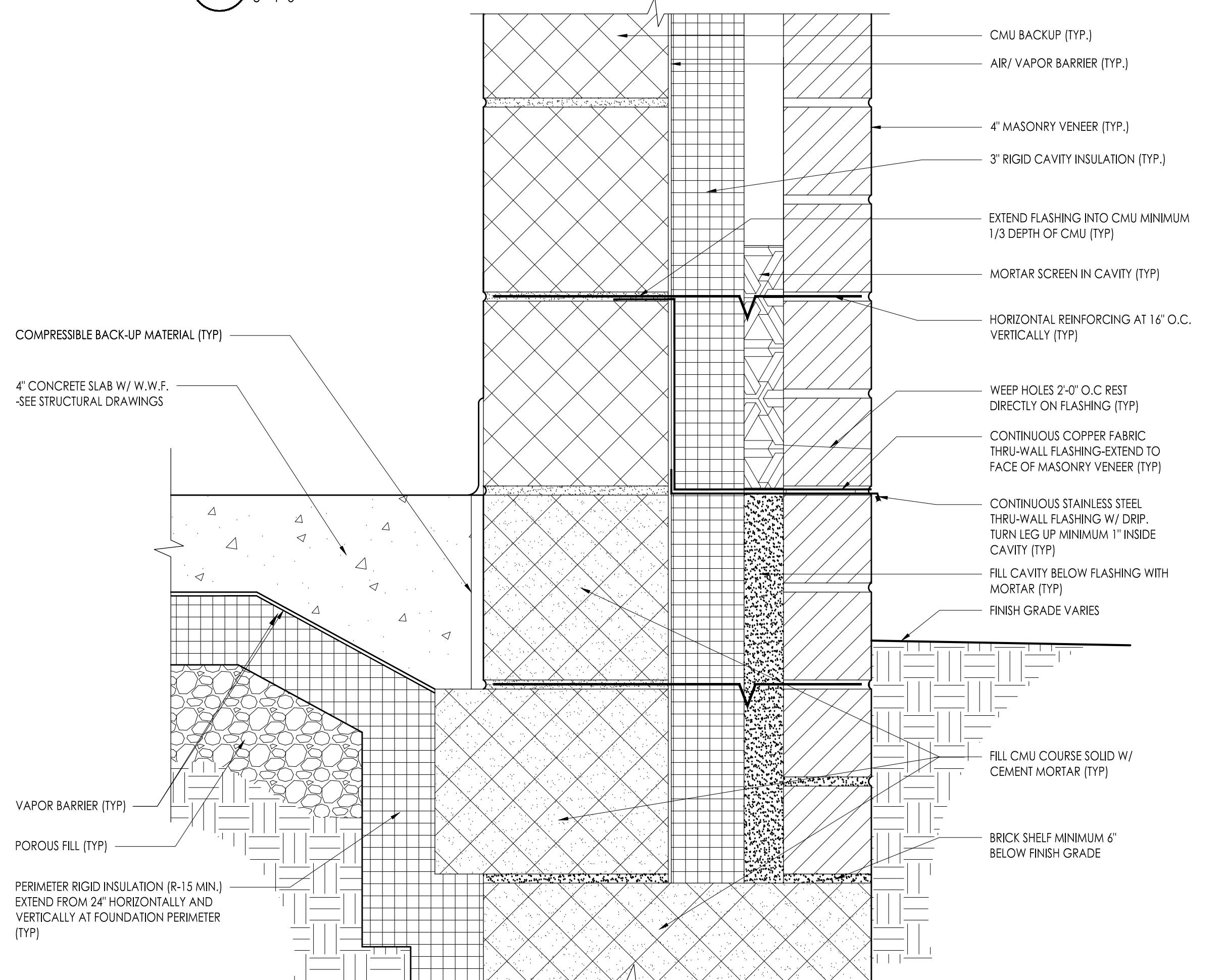
Drawing Number: G002



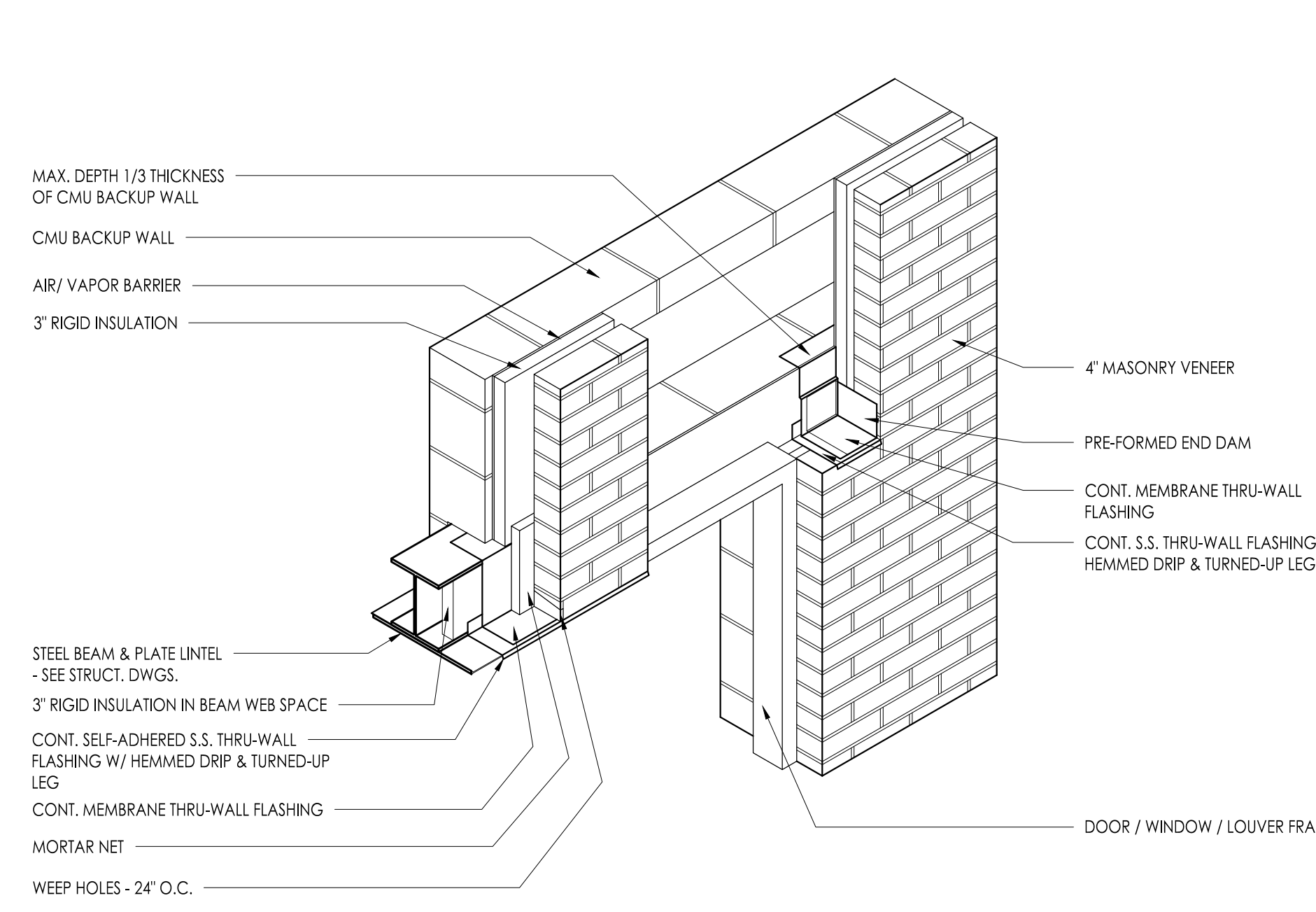
1 TYPICAL TOP OF CAVITY WALL DETAIL
3/4"=1'-0"



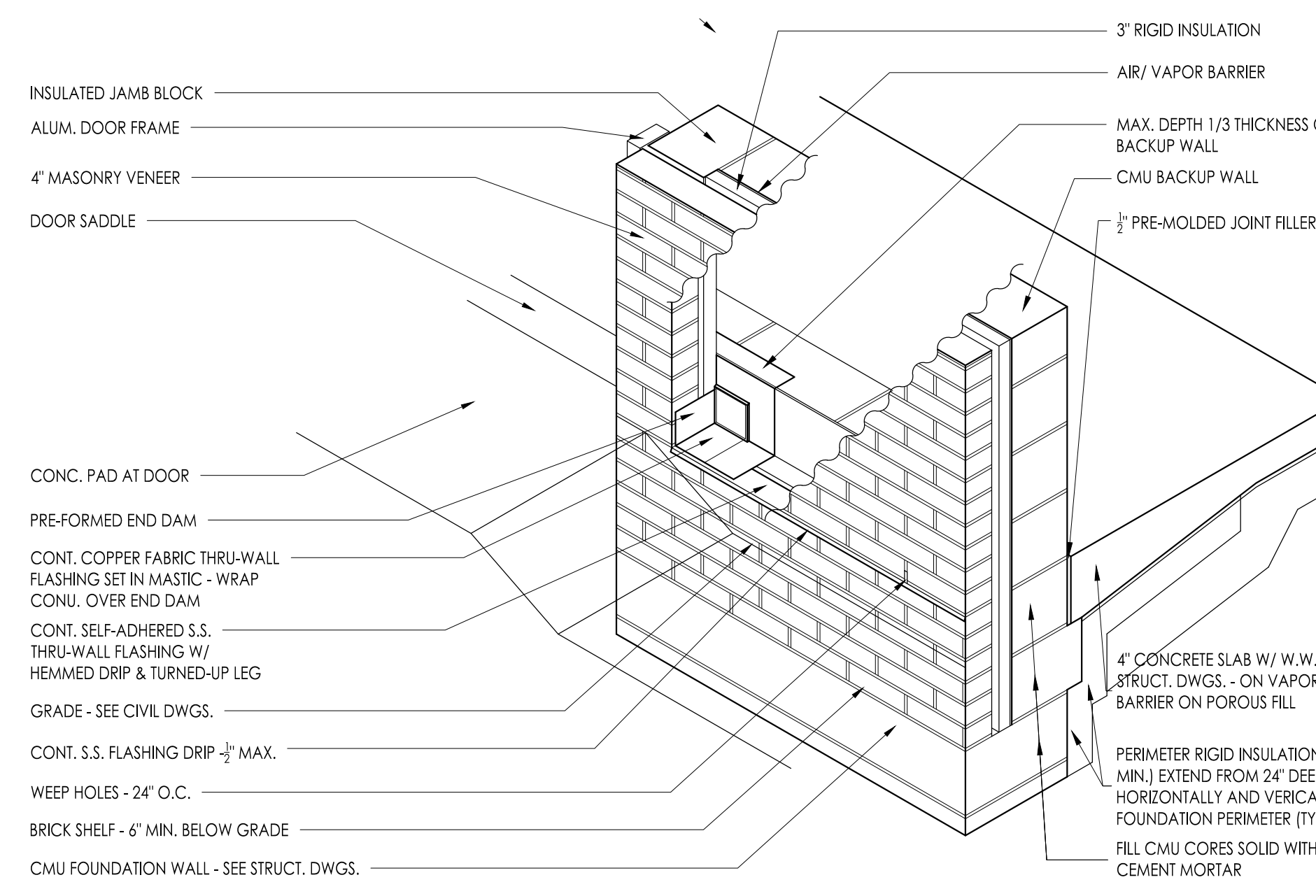
2 TYPICAL THRU-WALL & CAP FLASHING DETAIL AT RISING WALL
3/4"=1'-0"



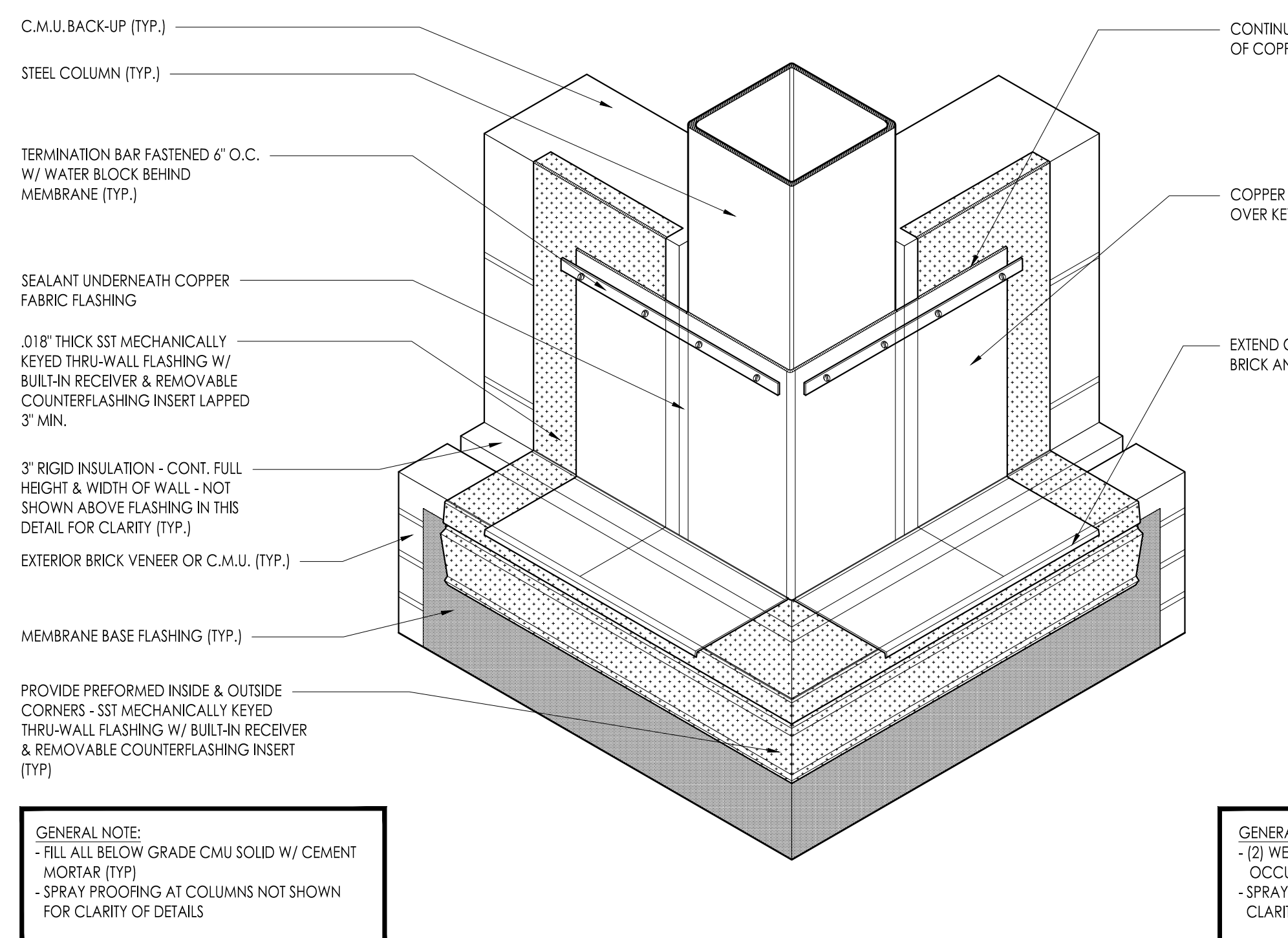
3 TYPICAL THRU-WALL FLASHING DETAIL AT GRADE
3/4"=1'-0"



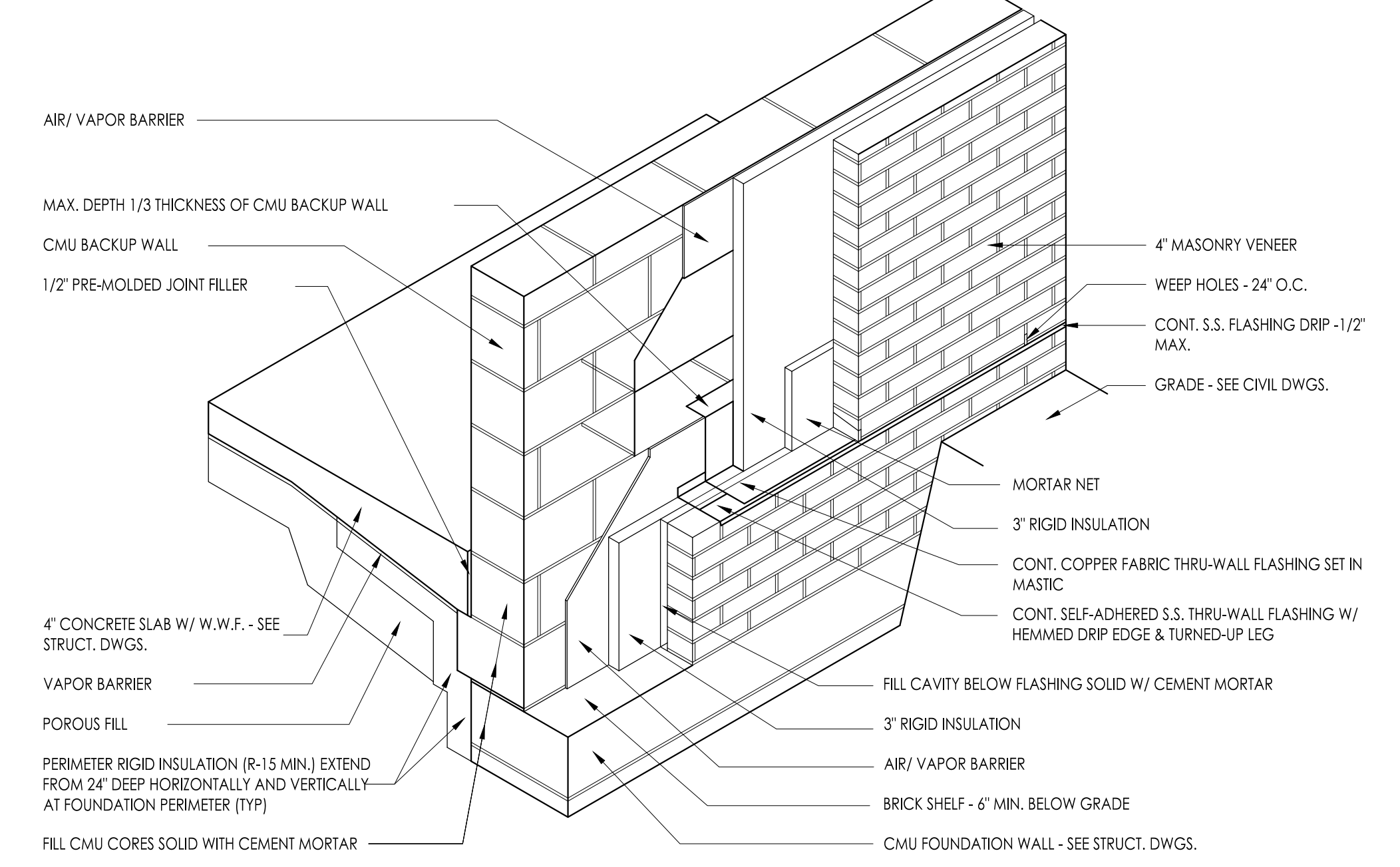
4 TYPICAL THRU-WALL FLASHING DETAIL AT STEEL BEAM & LINTEL
3/4"=1'-0"



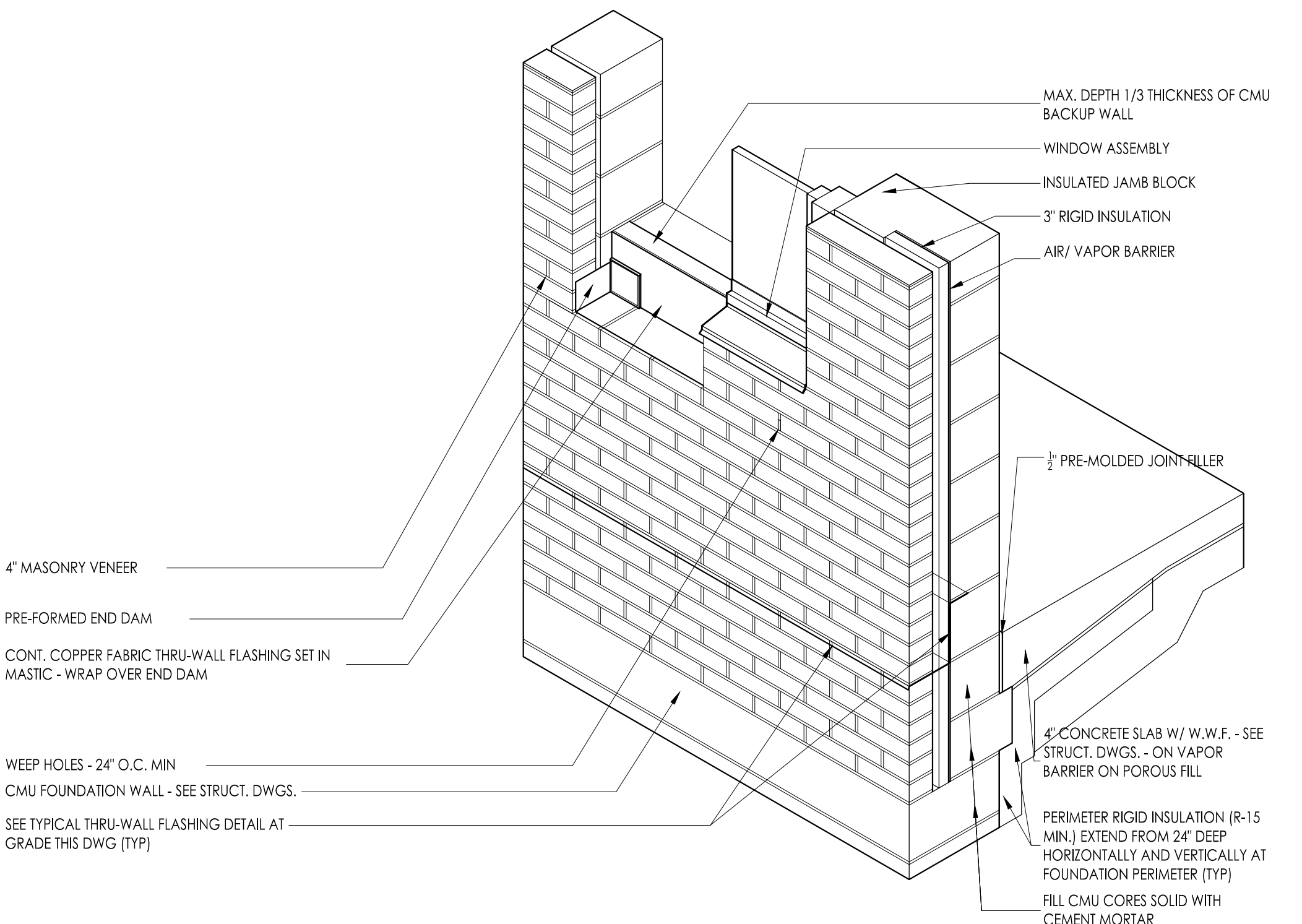
6 TYPICAL WALL BASE FLASHING END DAM DETAIL AT EXTERIOR DOOR OPENING
3/4"=1'-0"



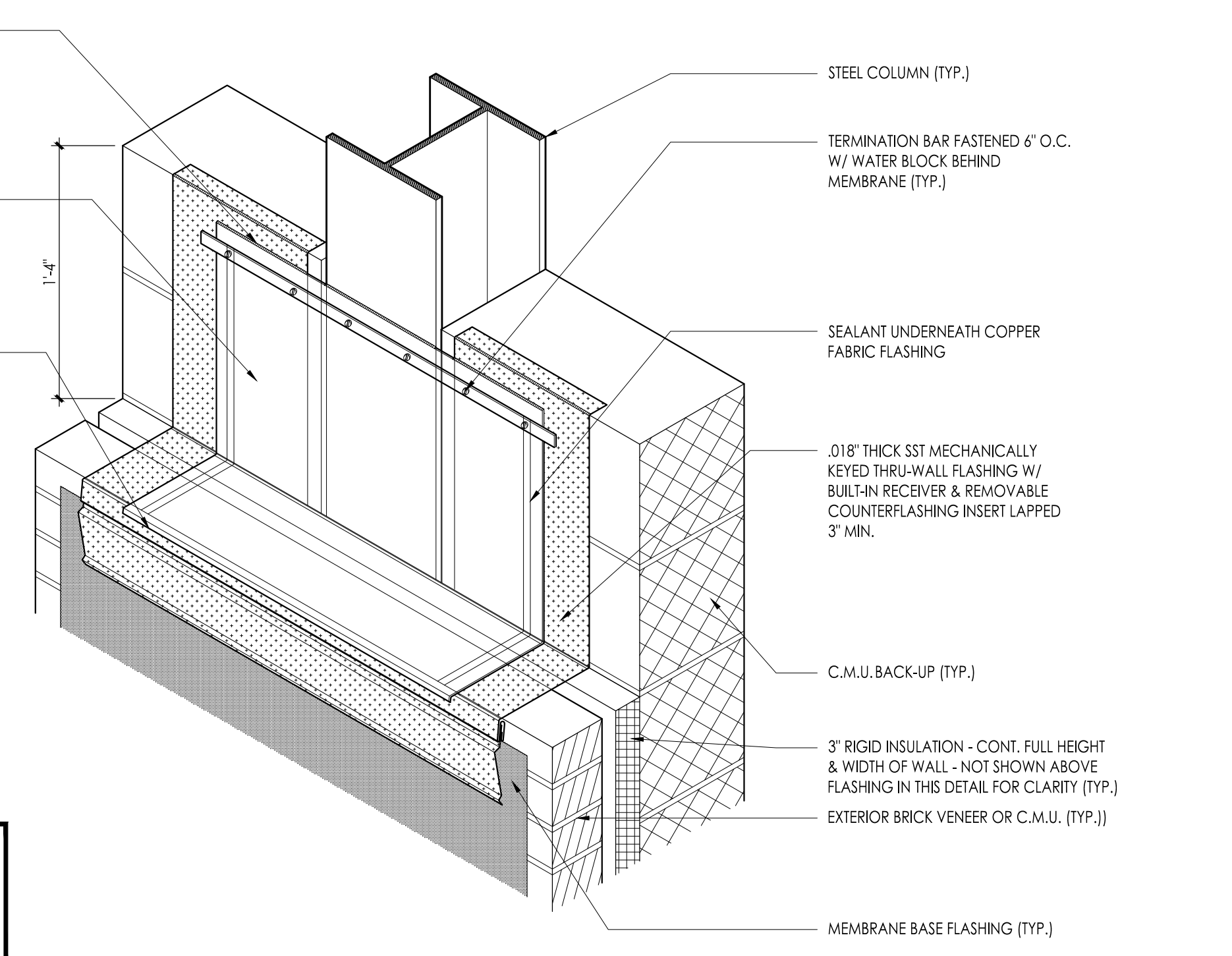
8 Isometric Cut Away At Corner Column (Rising Wall Condition)
1-1/2"=1'-0"



5 TYPICAL THRU-WALL FLASHING AT GRADE
3/4"=1'-0"



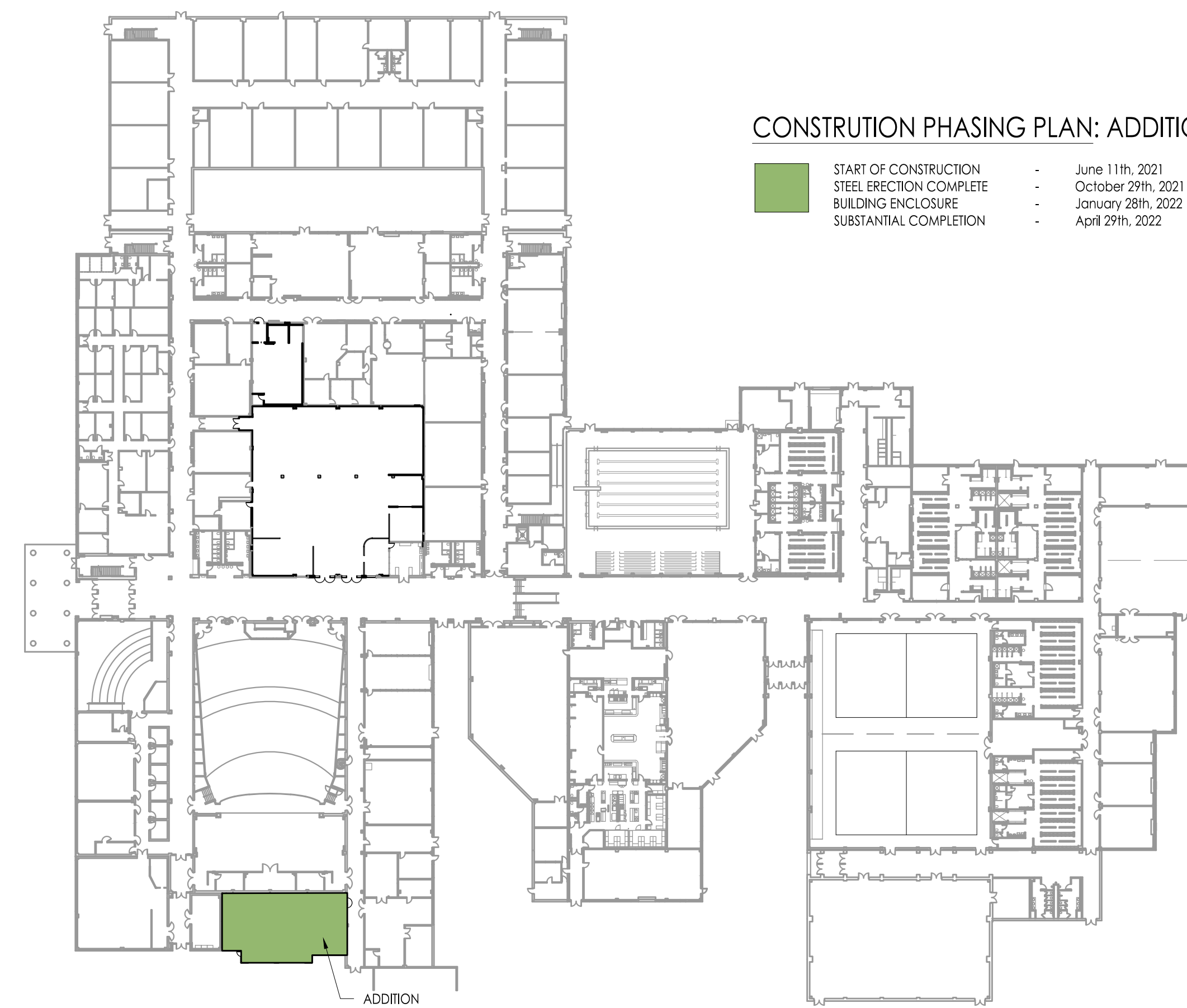
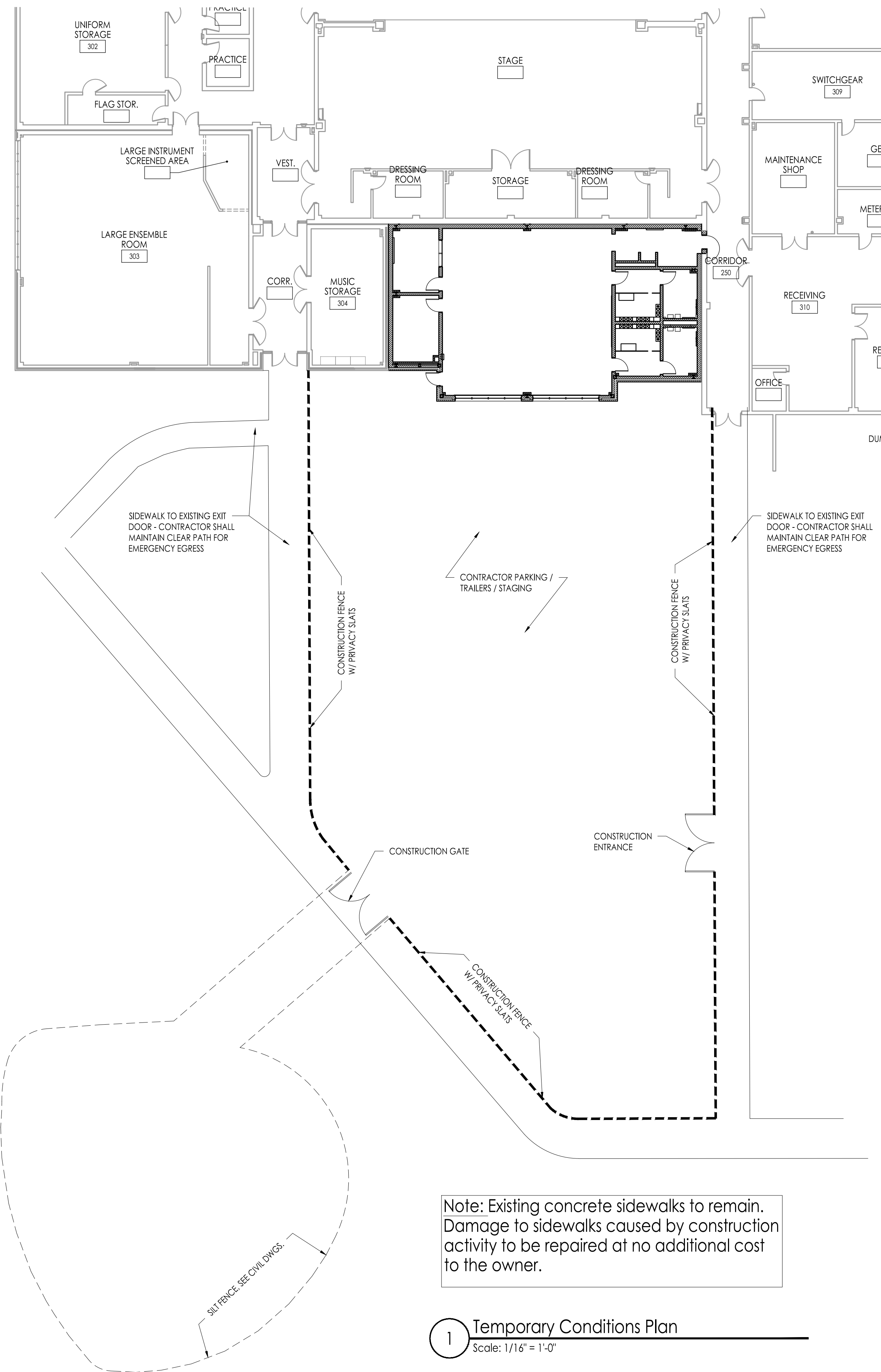
7 TYPICAL WALL BASE FLASHING/ END DAM DETAIL AT WINDOW
3/4"=1'-0"



9 Isometric Cut Away At Column (Rising Wall Condition)
1-1/2"=1'-0"

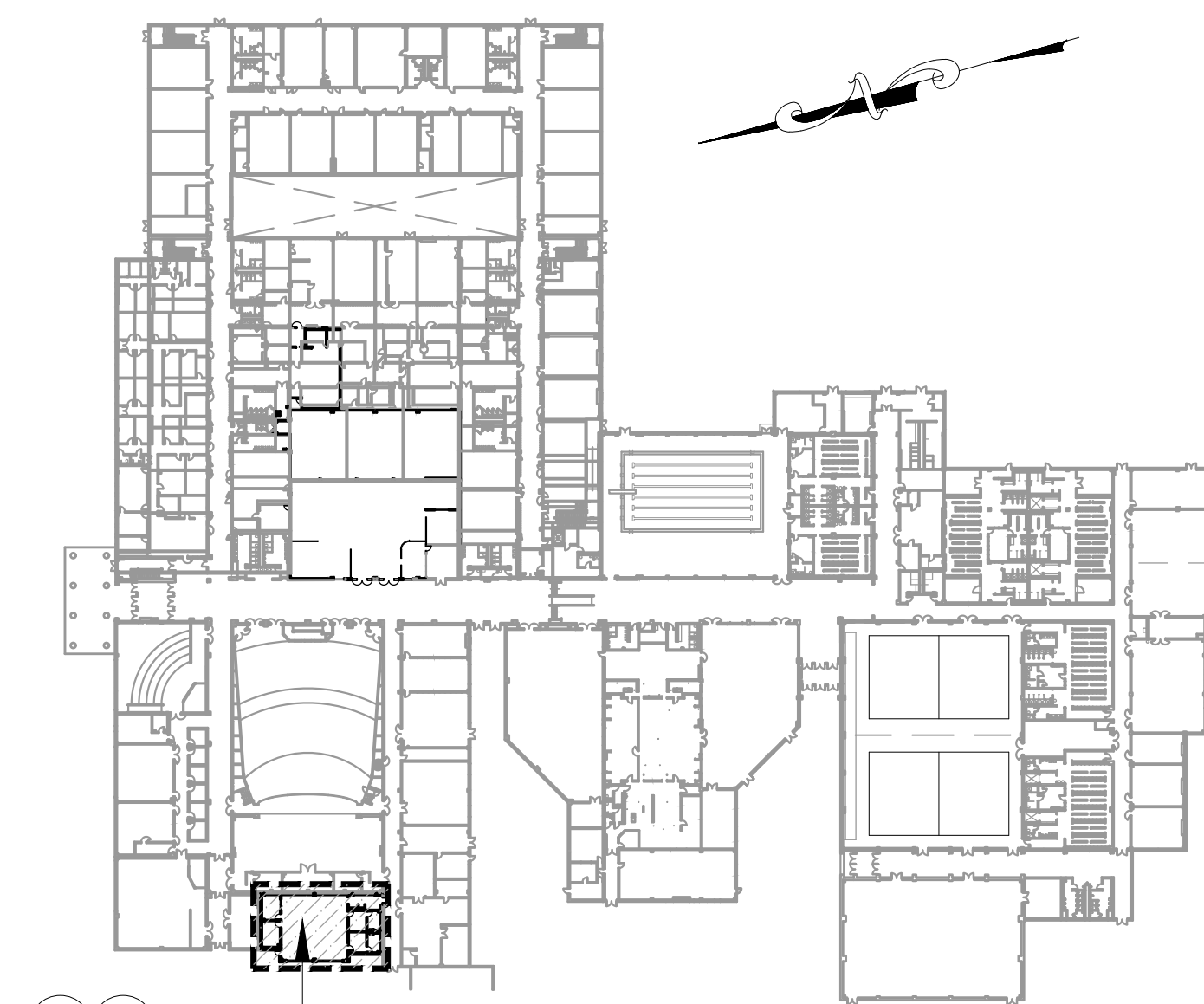
GENERAL NOTE:
- FILL ALL BELOW GRADE CMU SOLID W/ CEMENT MORTAR (TYP.)
- SPRAY PROOFING AT COLUMNS NOT SHOWN FOR CLARITY OF DETAILS

GENERAL NOTE:
- (2) WEEP HOLES TO BE BUILT INTO BRICK AT ALL COLUMN OCCURANCES (TYP.)
- SPRAY PROOFING AT COLUMNS NOT SHOWN FOR CLARITY OF DETAILS



2 Construction Phasing Plan
Scale: 1/64" = 1'-0"

Note: Contractor shall provide temporary signage for restricted access to construction areas as directed by the Owner, Architect, and Construction Manager in the field.



WILLIAM D. HOPKINS III, AIA, LEED AP
No. 214070600 (PA) - 04/23/2021
GEORGE E. DUTHIE JR., AIA, FP
No. 214070600

G. E. Duthie Jr.
Date: 04/06/2021

FVHD architects
planners
Fraytak Veisz Hopkins Duthie P.C.
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F V H D P C - C O M

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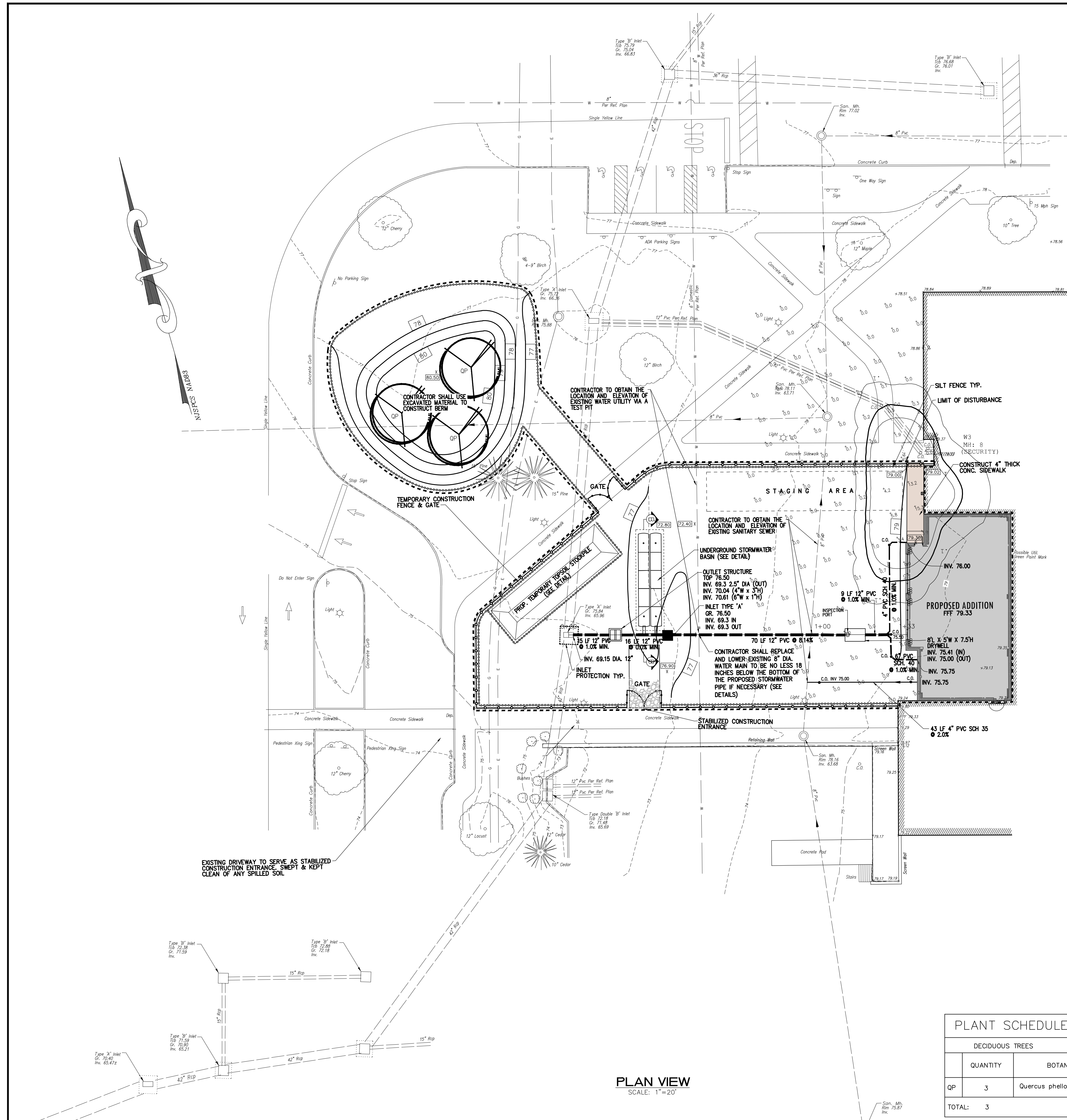
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IB

Scale
As Noted

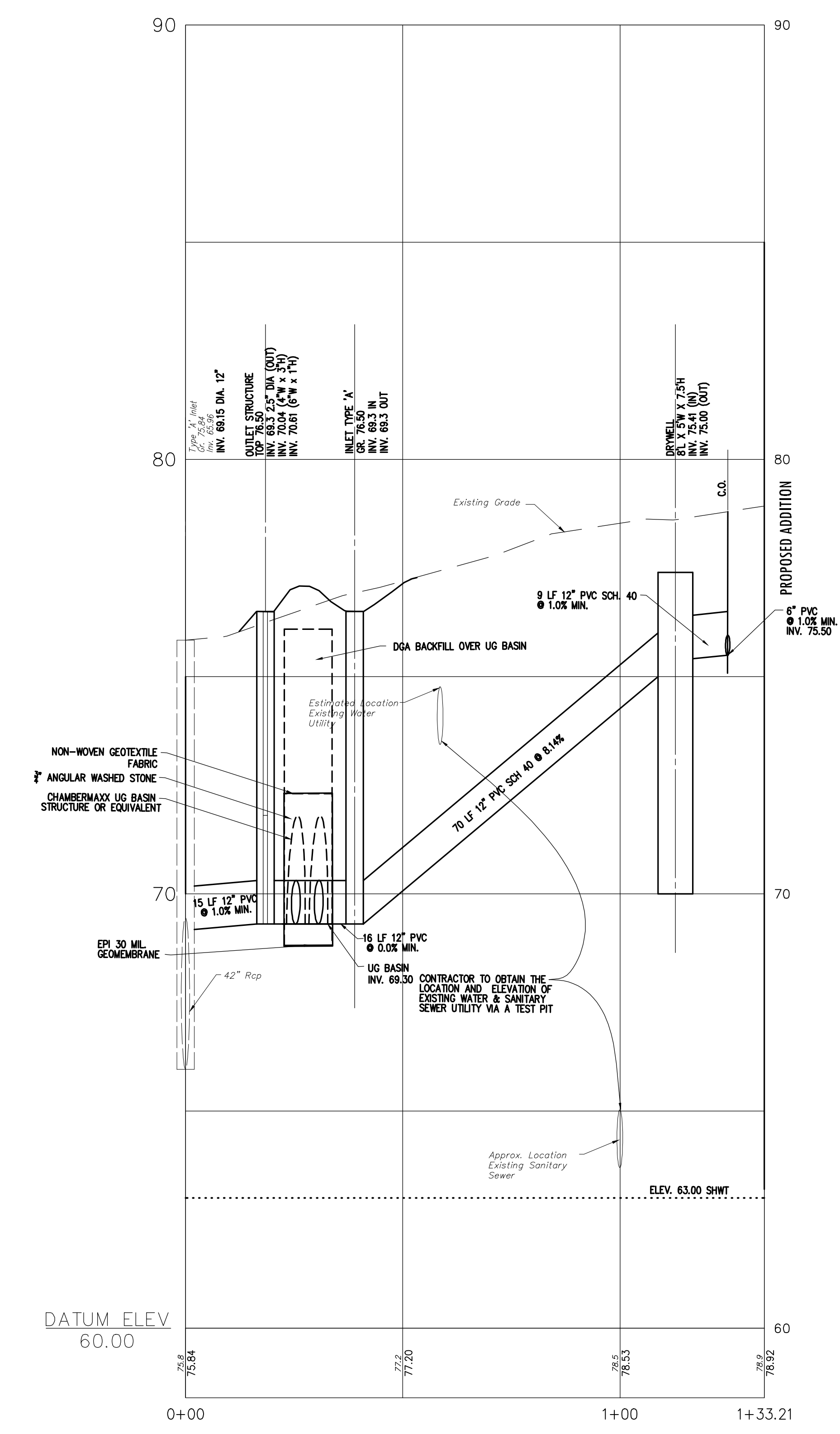
Drawing Name
- Temporary Conditions Plan
- Construction Phasing Plan

Revisions		
No.	Date	Description

Drawing Number
G005

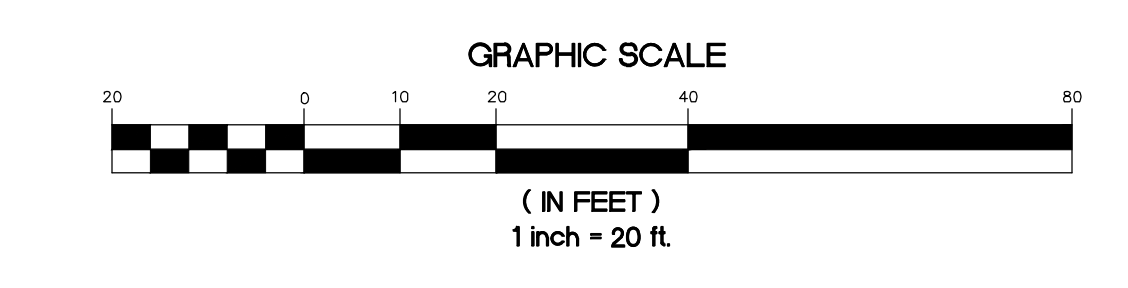


BLOCK 1902 , LOT 23
 WEST WINDSOR PLAINSBORO NORTH HIGH SCHOOL
 ONE AND TWO STORY MASONRY BUILDING
 #90 GROVERS MILL ROAD



STORM PROFILE
 EXISTING INLET TO PROPOSED ADDITION
 SCALE: HORIZ: 1" = 20'
 VERT: 1" = 2'

PLANT SCHEDULE						
DECIDUOUS TREES						
QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	B&B/ CONTAINER	NOTES
03	Quercus phellos*	Willow Oak	2.5 DIA.	REFER TO PLAN	B&B	*FALL PLANTING HAZARD
TOTAL:	3					



2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND
 BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED
 SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

**Van Cleeef
ENGINEERING ASSOCIATES**

SOUTHWEST NEW JERSEY OFFICE
 4 AAA DRIVE, SUITE 103, HAMILTON, NJ 08619
 EMAIL: CONTACT@VANCLEEFENGINEERING.COM
 WEB: WWW.VANCLEEFENGINEERING.COM
 PHONE: (609) 689-1100, FAX: (609) 689-1120

By:

DATE: 8/18/20

N.J. PROFESSIONAL ENGINEER NO. 2460478700

- CONSTRUCTION NOTES:**
- CONTRACTOR TO MAINTAIN SAFE PEDESTRIAN ACCESS FOR SCHOOL STAFF DURING CONSTRUCTION.
 - CONTRACTOR TO PROVIDE EMERGENCY ACCESS TO SCHOOL AT ALL TIMES.
 - ANY SEDIMENT DROPPED, SPILLED OR TRACKED ON PAVED SURFACES TO BE REMOVED IMMEDIATELY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL/ANY SOIL IMPORT OR EXPORT PERMITS) REQUIRED, INCLUDING FEES.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL ON-SITE SAFETY AND SECURITY. ALL SAFETY PRECAUTIONS MUST BE UNDERTAKEN AND MAINTAINED AS REQUIRED BY LOCAL, STATE AND FEDERAL CODES. NO SEPARATE PAYMENT SHALL BE MADE FOR ON-SITE SAFETY & SECURITY. THE COSTS OF ON-SITE SAFETY AND SECURITY SHALL BE INCLUDED IN COST OF THE WORK.
 - ALL DISTURBED AREAS TO BE STABILIZED WITH 5 INCHES OF TOP SOIL, SEED, FERTILIZER, LIME, MULCH AND TACK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING INFRASTRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY AND ALL OF THE EXISTING INFRASTRUCTURE THE CONTRACTOR DAMAGED DURING THE PROJECT.
 - ALL SANITARY AND STORM SEWER PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
 - ALL CONCRETE SIDEWALK TO BE ADA COMPLIANT WITH A MAX. CROSS SLOPE OF 2.0% AND A MAX. RUNNING SLOPE OF 5.0%. SIDEWALK WITH A RUNNING SLOPE GREATER THAN 5% REQUIRES AN ADA COMPLIANT HANDRAIL. NO SIDEWALK SHALL HAVE A RUNNING SLOPE GREATER THAN 8%.
 - CONTRACTOR TO USE CARE WHILE DRIVING CONSTRUCTION VEHICLES OVER EXISTING CURBS AND SIDEWALKS. ANY DAMAGE TO CURBS, SIDEWALK OR LAWN AREAS SHALL BE RESTORED IN-KIND BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 - ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON PHYSICAL EVIDENCE FOUND. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF THE EXISTING UTILITY TO WHICH THE CONNECTION IS BEING MADE BEFORE LAYING OR CONSTRUCTING THE UTILITY. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. IN CASES WHERE THE CONSTRUCTION OF ITEMS MEET OR CROSS EXISTING STRUCTURES SUCH AS CURBS, PAVEMENT, SIDEWALK, UTILITIES, ETC., THE CONTRACTOR OR SUBCONTRACTOR SHALL VERIFY THE ELEVATION AND LOCATION OF THE EXISTING FEATURE PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. TEST PITS TO BE PERFORMED AS REQUIRED AT NO ADDITIONAL COST.
 - ALL LOAD-BEARING FILL SHOULD BE CONTROLLED FILL. CONTROLLED FILL SHOULD BE PLACED IN LOOSE HORIZONTAL LIFTS WITH A MAXIMUM THICKNESS OF 15 INCHES. IT IS RECOMMENDED THAT CONTROLLED FILL BE WHEN THE CONSTRUCTION AREA BE COMPACTED WITH A HEAVY DUTY 10-TON ROLLER TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOISTURE PROCTOR TEST (ASTM D 1557). IN ADDITION, ALL FILL SHALL BE STABLE WITHOUT SIGNIFICANT MOVEMENT UNDER CONSTRUCTION TRAFFIC, AS JUDGED BY THE ENGINEER. QUALITY CONTROL TESTING OF IN-PLACE FILL DENSITIES SHOULD BE CONDUCTED THROUGHOUT THE ENTIRE EARTHWORK OPERATION.
 - COMPACTION WITHIN 5 FEET FROM THE EXISTING FACILITIES SHOULD BE CONDUCTED USING A LIGHT COMPACTOR SUCH AS A JUMPING JACK IN ORDER NOT TO CAUSE ANY DAMAGE. THE SOIL SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOISTURE PROCTOR TEST (ASTM D 1557).
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEY WORK REQUIRED TO STAKE OUT SITE FEATURES DURING CONSTRUCTION.

- STORMWATER MAINTENANCE AGREEMENT**
- A STORMWATER MAINTENANCE AGREEMENT WILL BE FILED WHICH SETS FORTH DOCUMENTATION THAT ANY PROPOSED DRAINAGE SYSTEM AND ANY ALL STORMWATER (DRAINAGE, SHALES/OBTENTION/PREVENTION/RECHARGE FACILITIES) WILL BE ADEQUATELY MAINTAINED IN ACCORDANCE WITH THE STANDARDS OF MIDDLESEX COUNTY AND PLAINSBORO TOWNSHIP. REFER TO THE PARAGRAPH IN THE STORMWATER MAINTENANCE AGREEMENT ENTITLED "RIGHT OF COUNTY OF MIDDLESEX AND THE TOWNSHIP OF PLAINSBORO" TO MAINTAIN DRAINAGE BASINS. CONDITIONS THAT AFFECT NON-COUNTY FACILITIES SHOULD BE REVIEWED AND APPROVED BY THE APPROPRIATE JURISDICTIONAL AGENCY.
- REFERENCE PLAN:**
- SOIL EROSION AND SEDIMENT CONTROL PLAN FOR WEST WINDSOR - PLAINSBORO HIGH SCHOOL, MILLSTONE RIVER CAMPUS, MIDDLESEX COUNTY, NEW JERSEY AS PREPARED BY A&E ENGINEERING DATED 3/21/97 DRAWING NO. C-9
 - SITE GRADING, DRAINAGE & UTILITY PLAN OF WEST WINDSOR - PLAINSBORO HIGH SCHOOL FOR WEST WINDSOR - PLAINSBORO BOARD OF EDUCATION, PLAINSBORO TOWNSHIP, MIDDLESEX COUNTY, NJ AS PREPARED BY BERGMAN ENGINEERING ASSOCIATES DATED 7/15/94 DRAWING NO. C-3.
- REFERENCE DATUM:**
1. DATUM USED BASED ON NAVD88 AND NEW JERSEY STATE PLANE COORDINATE SYSTEM, NAD83
- GENERAL NOTES:**
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH. THEREFORE THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, RIGHT OF WAYS, COVENANTS, ETC. AS MAY BE DISCLOSED IN A CURRENT COMPREHENSIVE TITLE SEARCH.
 - THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE SURVEY.
 - THIS MAP REFLECTS EXISTING SITE CONDITIONS AS THE RESULT OF A FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES ON 4/1/19.
 - THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - LOCATION OF ABOVE GROUND UTILITIES AS SHOWN.
 - NO CERTIFICATION IS MADE BY VOEA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-272-1000 TO ORDER UTILITY MARKINGS.

LEGEND

	EXISTING	SANITARY SEWER		PROPOSED
	EXISTING	STORM SEWER		PROPOSED
	EXISTING	FLARED END SECTION		PROPOSED
	EXISTING	DRAINAGE INLET		PROPOSED
	EXISTING	DRAINAGE MANHOLE		PROPOSED
	EXISTING	HEADWALL		PROPOSED
	EXISTING	SANITARY SEWER MANHOLE		PROPOSED
	EXISTING	FIRE HYDRANT		PROPOSED
	EXISTING	SIGN		PROPOSED
	EXISTING	UTILITY POLE		PROPOSED
	EXISTING	VALVE		PROPOSED
	EXISTING	WATER MAIN		PROPOSED
	EXISTING	GAS MAIN		PROPOSED
	EXISTING	ELECTRIC LINE		PROPOSED
	EXISTING	TELEPHONE LINE		PROPOSED
	EXISTING	CONTOUR ELEVATION		PROPOSED
	EXISTING	SPOT ELEVATION AT CURB		PROPOSED
	EXISTING	SPOT ELEVATION ON GROUND OR PAVEMENT		PROPOSED
	EXISTING	CONCRETE CURB		PROPOSED

WILLIAM D. HOPKINS III, AIA, LEED AP
 No. 140000001 (PA-06012000)
 GEORGE R. DUTHIE, JR., AIA, PP
 No. 1400797000

GFVHD architects
 planners
 Fraytak Veisz Hopkins Duthie P C

Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
 Pennsylvania: 140 Whittaker Ave - Mont Clare - Pennsylvania 17453

F V H D P C . C O M

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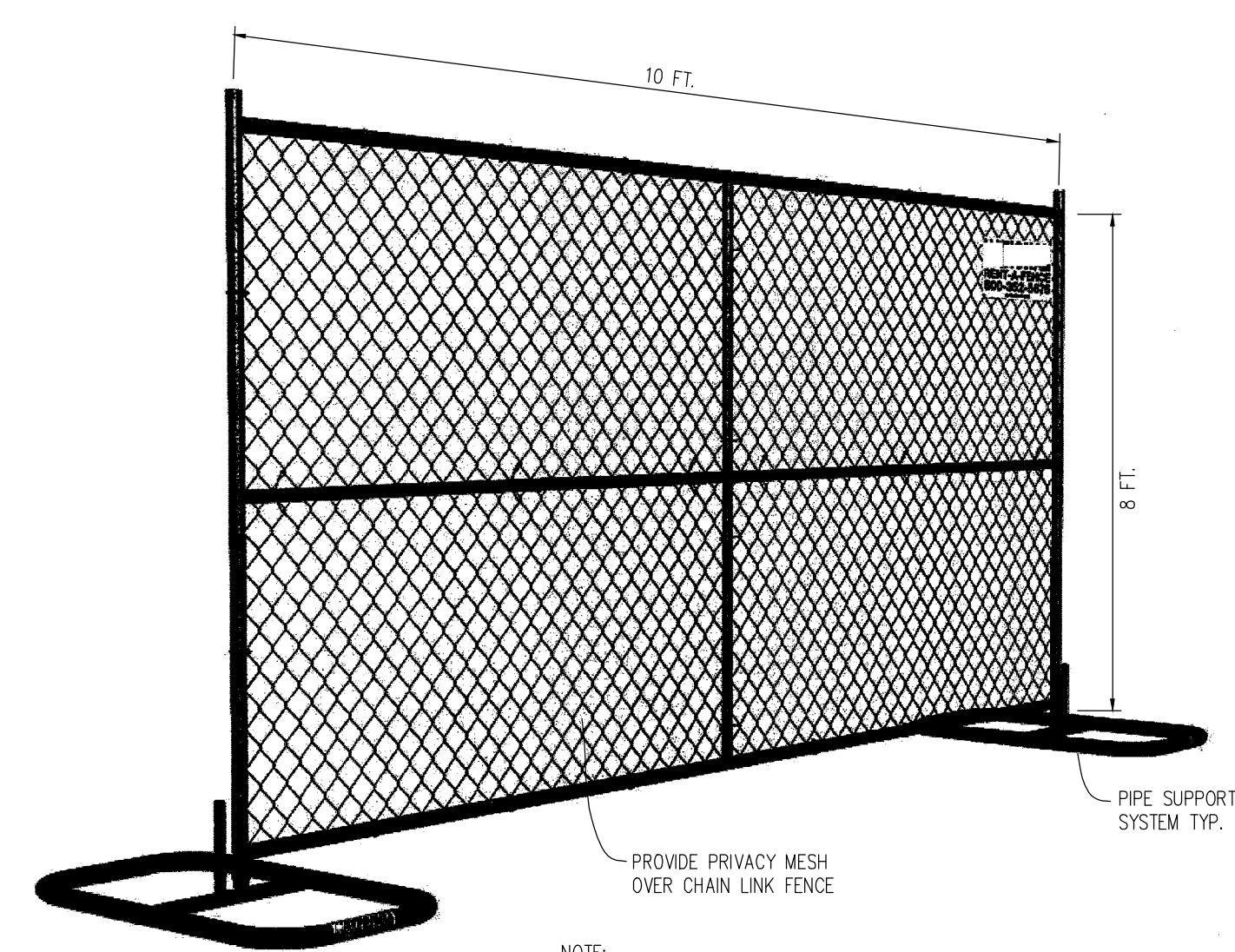
Scale
 1"=20'

Drawing Name
 SITE, GRADING, UTILITY, SESC PLAN

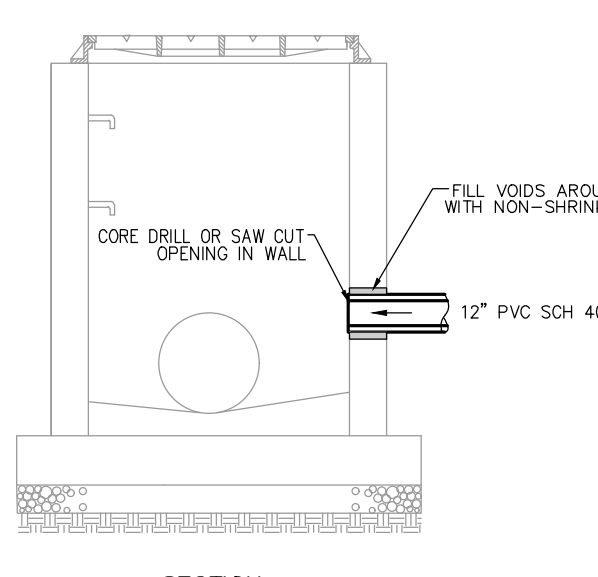
Revisions

No.	Date	Description

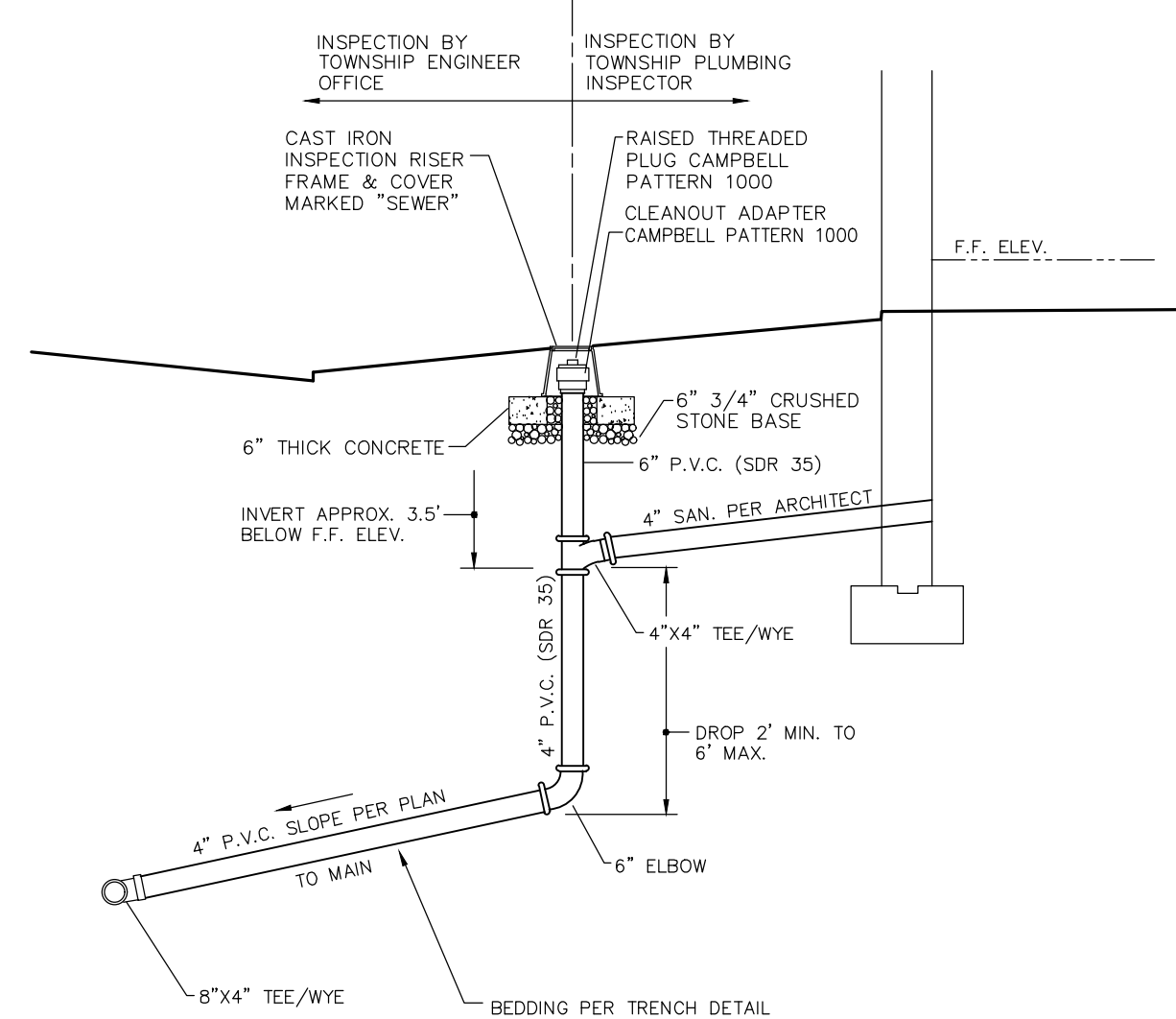
Drawing Number
C100



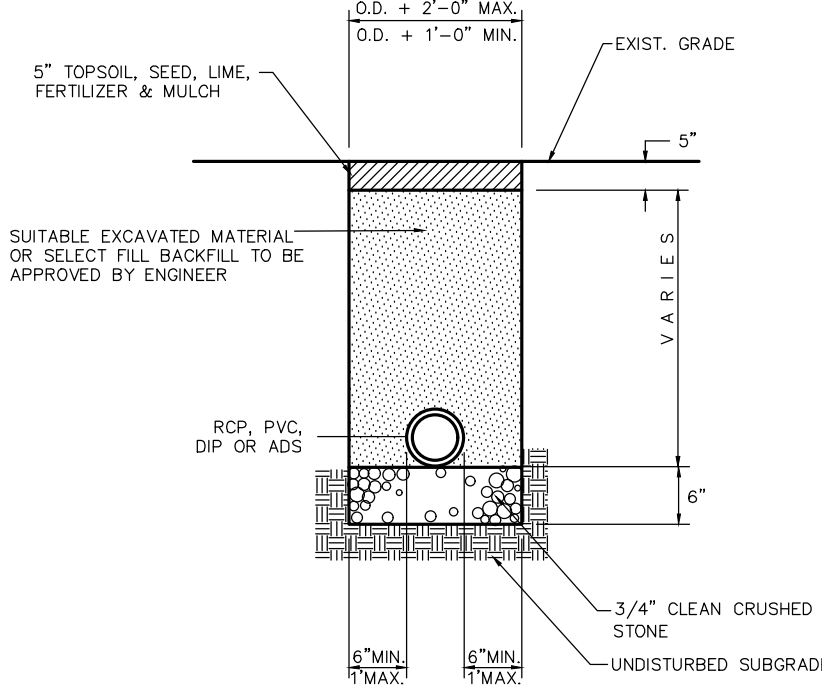
TEMPORARY CONSTRUCTION FENCING
(NOT TO SCALE)



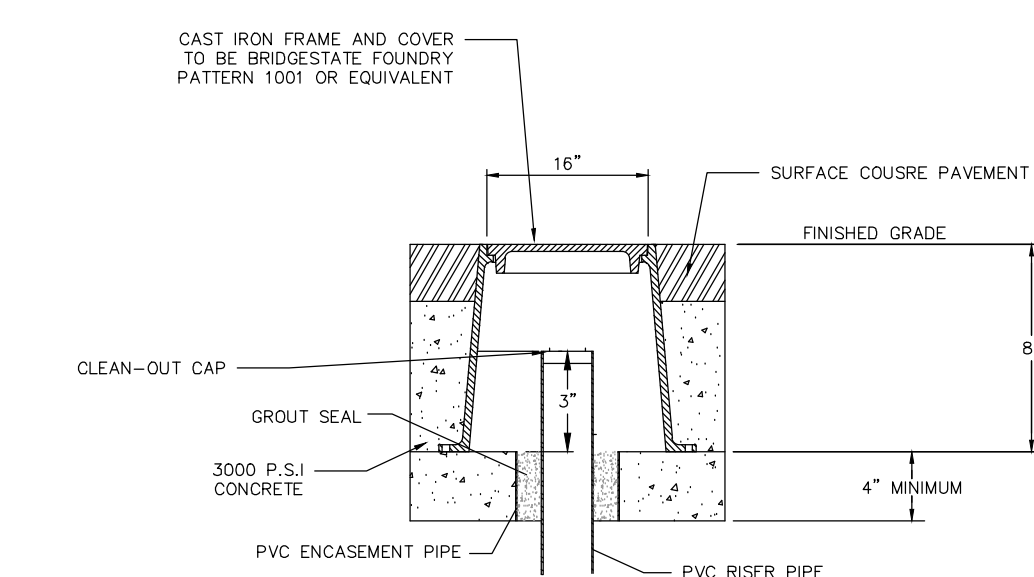
DRAIN CONNECTION TO EXISTING INLET
(NOT TO SCALE)



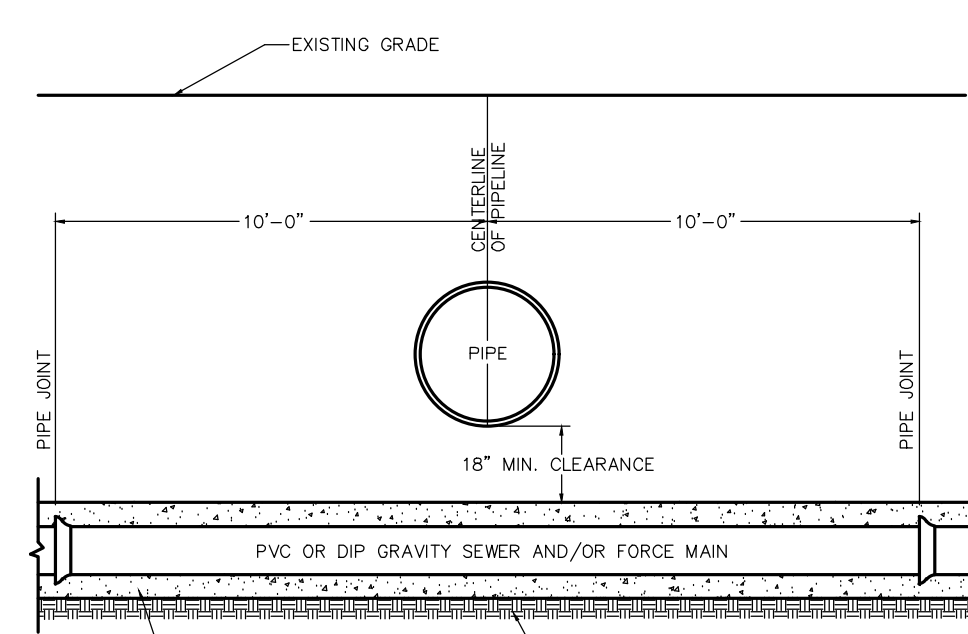
SERVICE LATERAL DROP CONNECTION
N.T.S.



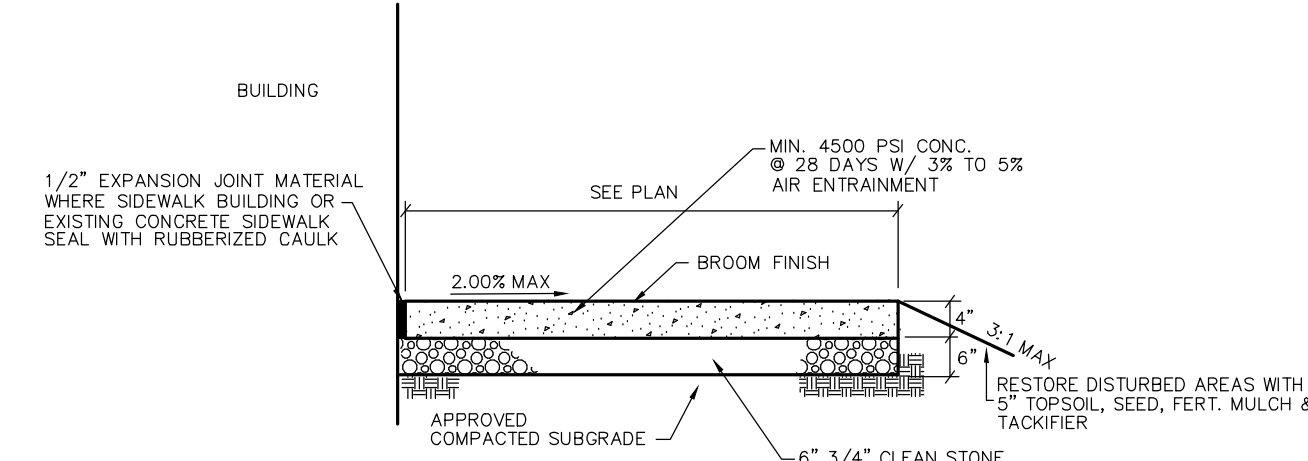
STORM SEWER TRENCH OFF-ROAD
(NOT TO SCALE)



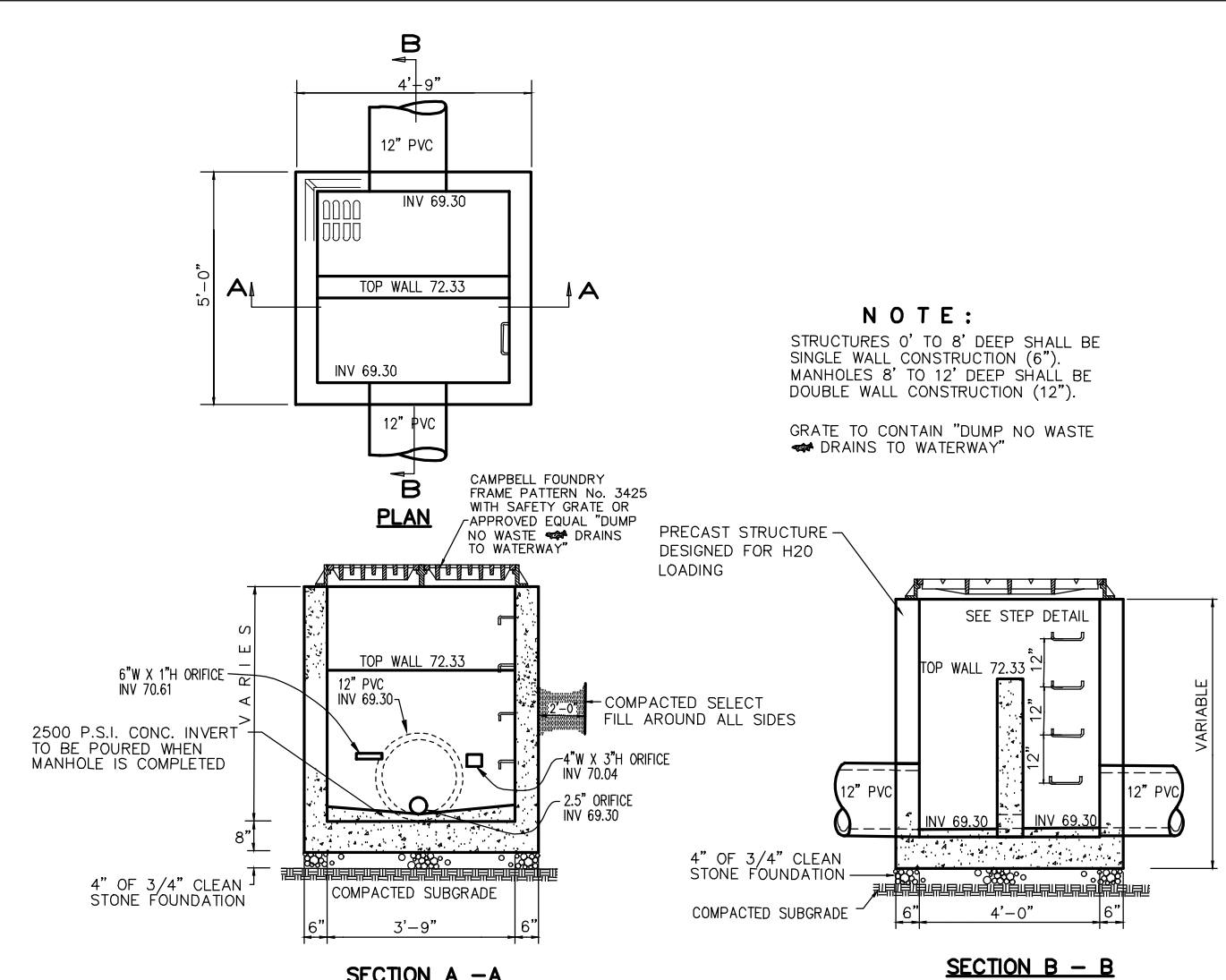
CLEANOUT/ INSPECTION PORT FOR DRY WELLS
NOT TO SCALE



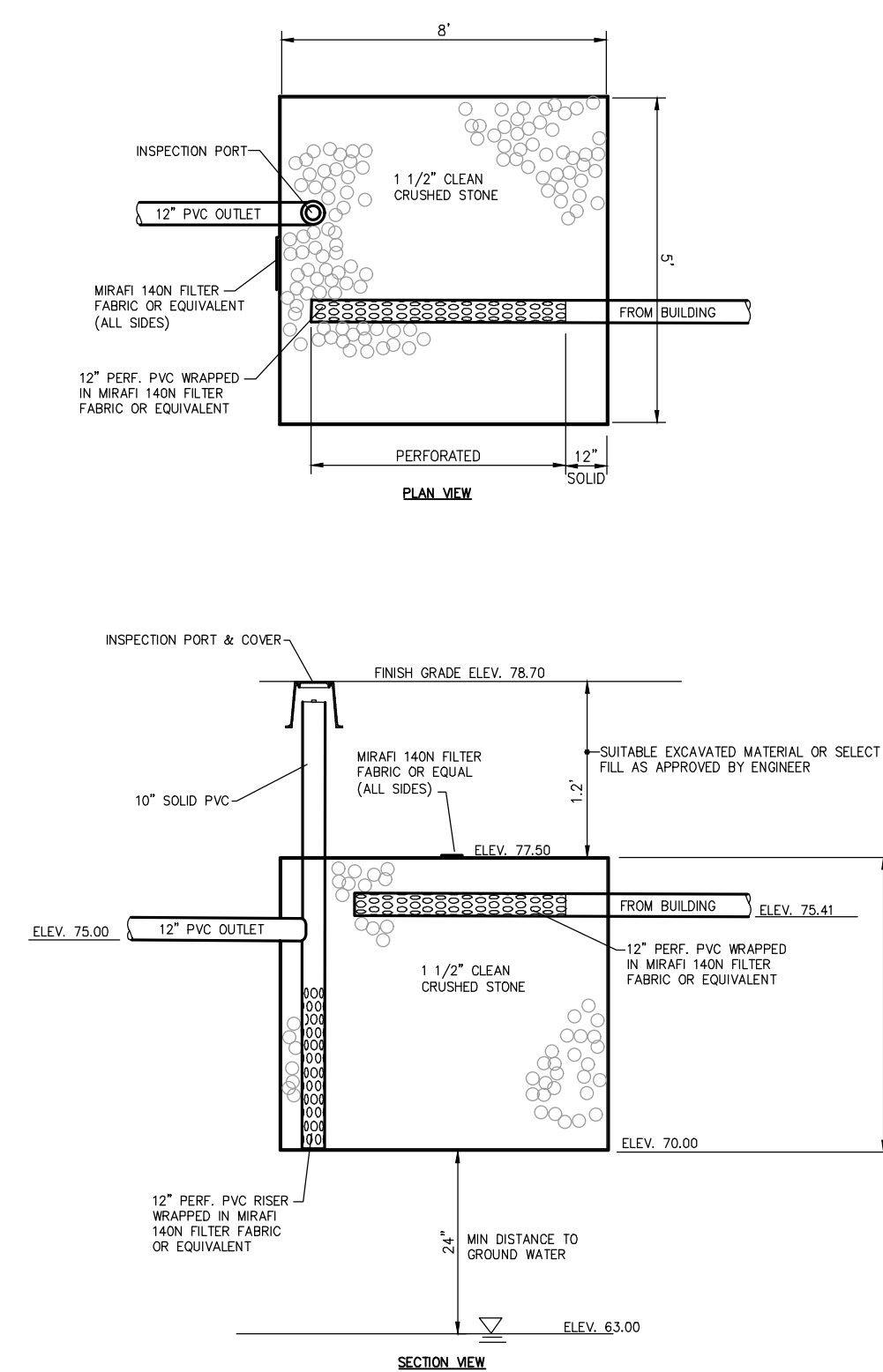
ENCASED PIPE CROSSING
NOT TO SCALE



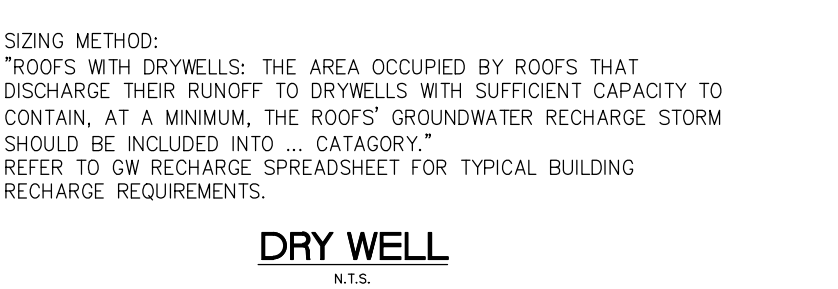
CONCRETE SIDEWALK ADJACENT TO BUILDING DETAIL
NO SCALE



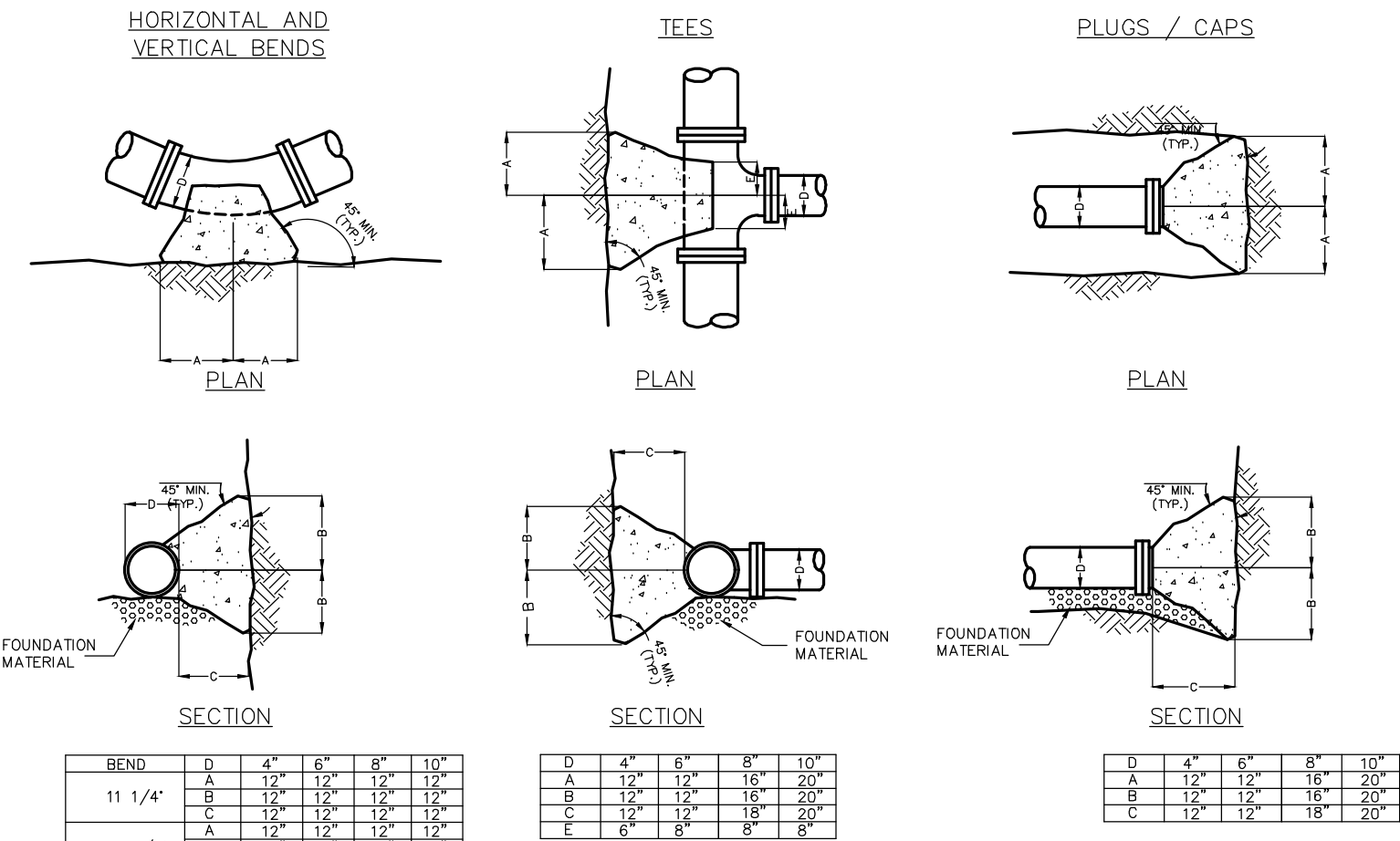
OUTLET STRUCTURE
N.T.S.



DRY WELL
N.T.S.

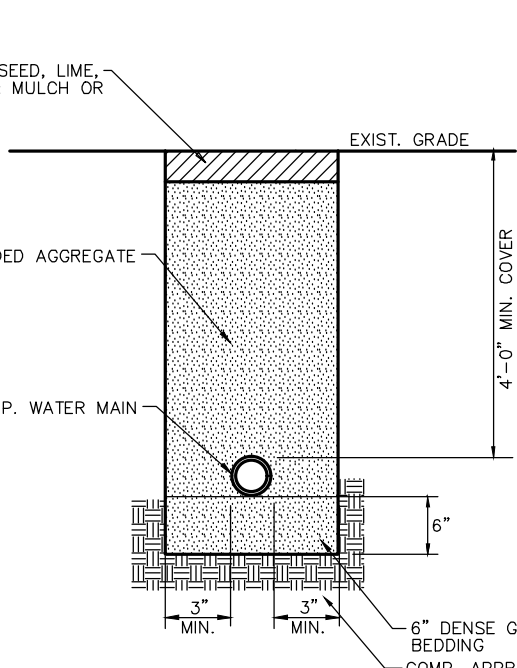


WATER SERVICE TRENCH
NOT TO SCALE

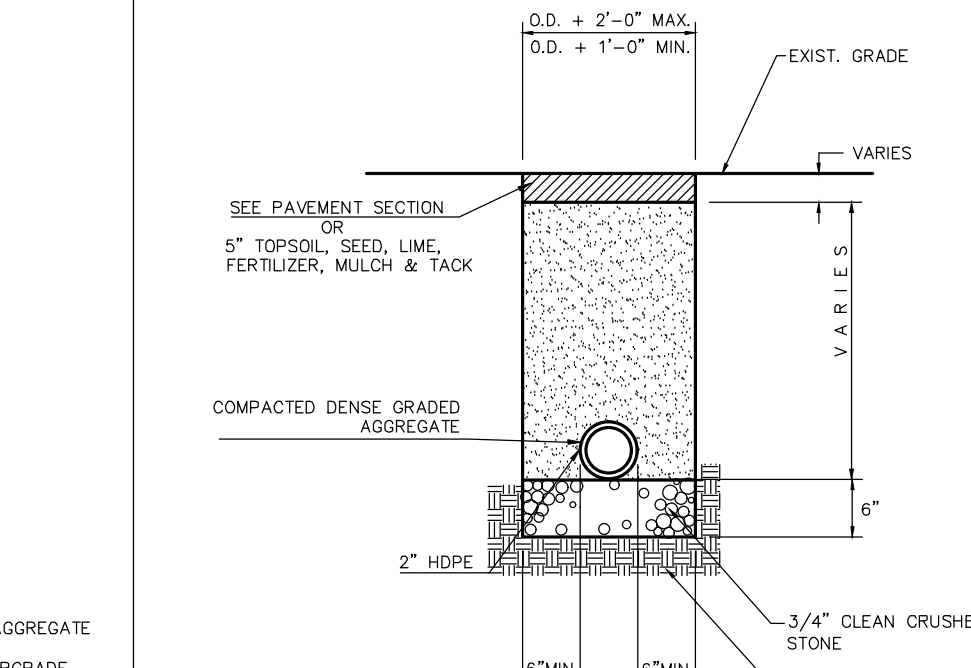


THRUST BLOCK DETAILS
N.T.S.

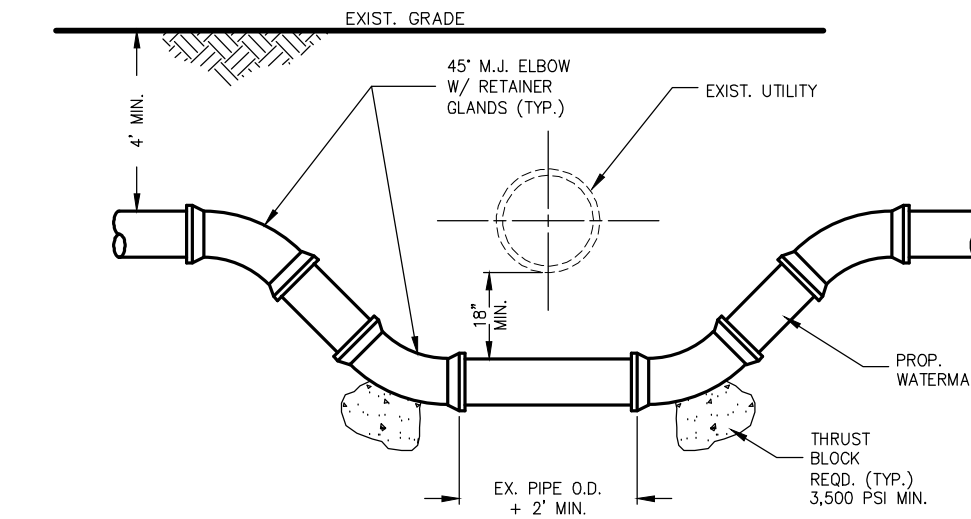
- NOTES:
1. ALL THRUST BLOCKS ARE TO BE POURED IN FULL CONTACT WITH UNDISTURBED MATERIAL.
 2. THRUST BLOCKS ARE TO BE PLACED AT ALL BENDS OR AS DIRECTED BY THE ENGINEER.
 3. ALL THRUST BLOCK CONCRETE SHALL BE 3,500 PSI (MIN).
 4. ALL BELLS AND CONNECTIONS TO BE COVERED WITH BURLAP OR PLASTIC BEFORE POURING CONCRETE.
 5. THE RODS, CLAMPS AND RETAINER GLANDS REQUIRED BUT NOT SHOWN.



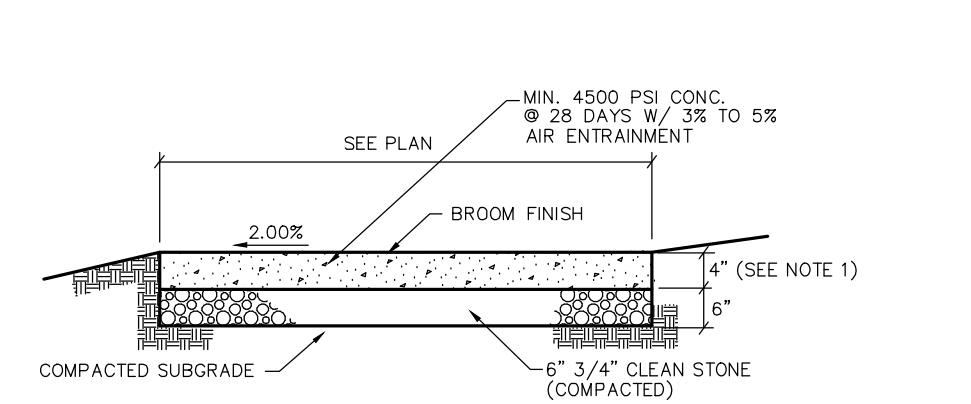
WATER MAIN UTILITY CROSSING
NOT TO SCALE



FORCE MAIN TRENCH DETAIL
NOT TO SCALE



WATER MAIN UTILITY CROSSING
NOT TO SCALE



CONCRETE SIDEWALK
NO SCALE

- NOTES:
1. AT DRIVEWAY CROSSINGS, SIDEWALK SHALL BE 6" THICK AND SHALL CONTAIN NO. 10 @ 6" WIRE MESH 2" UP FROM THE BOTTOM OF THE SIDEWALK.
 2. THE TOWNSHIP ENGINEER SHALL APPROVE ALL SUBGRADES PRIOR TO THE POURING OF ANY CONCRETE.
 3. EXPANSION JOINTS SHALL BE PROVIDED AT 20' (MAX.) INTERVALS JOINTS SHALL BE FILLED WITH 1/2" BIT. EXPANSION JOINT FILLER.
 4. ALL SIDEWALK THAT IS BROKEN, CRACKED OR OUT OF ALIGNMENT SHALL BE REPLACED PRIOR TO ACCEPTANCE.
 5. PROVIDE HALF DEPTH CONTRACTION JOINTS EVERY 4 FEET.
 6. ALL EXPOSED CONC. SURFACES TO BE TREATED WITH LIMESEAL PLUS CURE AND SEAL COMPOUND OR EQUIVALENT PER MANUFACTURER'S INSTRUCTIONS.

GARDCO by @ignify

Job Name: **Wall Mount**

Catalog Number: **W3**

Submitted on: **Jan 30, 2020**

OR EQUIVALENT

Index Page

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

Van Cleaf ENGINEERING ASSOCIATES

Consulting Civil Engineering
Bridge Design
Highway Design
Construction Inspection
Water / Wastewater
Geotechnical Engineering
Land Surveying
Professional Planning
Landscape Architecture

With Offices In:
New Jersey, Pennsylvania & Delaware

Southcentral New Jersey Office
4,400 DRIVE, SUITE 100, HANESBORO, NJ 08841
EMAIL: VANCLEAF@VANCLEAFENGINEERING.COM
WWW.VANCLEAFENGINEERING.COM
PHONE: (609) 669-1100 FAX: (609) 669-1103

NJ LIC. CERT. NO. 24G04813200

BY: **Herbert J. Seeburger, Jr.** DATE: **8/19/20**

HERBERT J. SEEBURGER, JR. N.J. PROFESSIONAL ENGINEER NO. 24GE04748700

GFVHD architects planners

Fraytak Veisz Hopkins Dutlie P C

Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 19383

F.V.H.D.P.C. C.O.M.

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1

Project Date
04.06.2021

Checked By
H.J.S.

Drawn By
R.R.F.

Scale
N.T.S.

Drawing Name
CONSTRUCTION DETAILS

Revisions	No.	Date	Description

Drawing Number
C101

TYPICAL SECTION DETAIL
NOT TO SCALE

KEY:
1. FLEXIBLE PAVEMENT.
2. GRANULAR ROAD BASE.
3. SOA.
4. THE BACKFILL MATERIAL SHALL BE FREE-DRAINING ANGULAR WASHED STONE 3/4" - 2" PARTICLE SIZE. MATERIAL SHALL BE PLACED IN 8"-12" MAXIMUM LIFTS. MATERIAL SHALL BE WORKED INTO THE CHAMBER SPACING BY MEANS OF SHOVEL, SLICING, ROCKING, AND TAMPING. VIBRATORY ROLL OR OTHER EFFECTIVE METHOD. COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR OR UNDER FOOT, AND THE PROJECT ENGINEER OR THEIR REPRESENTATIVE IS SATISFIED WITH THE LEVEL OF COMPACTION. INADEQUATE COMPACTION CAN LEAD TO EXCESSIVE DEFLECTIONS WITHIN THE SYSTEM AND SETTLEMENT OF THE SOILS OVER THE SYSTEM. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT DIFFERENTIAL BETWEEN THE SIDES OF ANY CHAMBER IN THE SYSTEM AT ALL TIMES DURING THE BACKFILL PROCESS. BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON ANY PIPES IN THE SYSTEM.

EQUIPMENT USED TO PLACE AND COMPACT THE BACKFILL SHALL BE OF A SIZE AND TYPE SO AS NOT TO DISTORT, DAMAGE, OR DISPLACE THE CHAMBERS. ATTENTION MUST BE GIVEN TO PROVIDING ADEQUATE MINIMUM COVER FOR SUCH EQUIPMENT, AND MAINTAIN BALANCED LOADING ON ALL CHAMBERS IN THE SYSTEM DURING ALL SUCH OPERATIONS. OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. CONTACT YOUR LOCAL CONTECH REPRESENTATIVE FOR DETAILS.

TYPICAL ELEVATION VIEW
NOT TO SCALE

CHAMBERMAXX DESIGN DETAILS			
FEATURE	START CHAMBER	MIDDLE CHAMBER	END CHAMBER
OVERALL CHAMBER HEIGHT - mm [IN]	770 (30.3)	770 (30.3)	770 (30.3)
OVERALL CHAMBER WIDTH - mm [IN]	1306 (51.4)	1306 (51.4)	1306 (51.4)
ACTUAL LENGTH - mm [IN]	2500 (98.4)	2311 (91.0)	2337 (92.0)
INSTALLED LAY LENGTHS - mm [IN]	2443 (96.2)	2169 (85.4)	2248 (88.5)
CHAMBER STORAGE VOLUME - m ³ [CF]	1.421 (50.2)	1.336 (47.2)	1.307 (46.2)
CHAMBER STORAGE PER LINEAR FOOT - m ³ /m [CF/L]	0.582 (8.3)	0.616 (8.6)	0.562 (8.3)
MIN. INSTALLED CHAMBER VOLUME - m ³ [CF]	2.211 (78.1)	2.127 (75.1)	2.098 (74.1)
MIN. INSTALLED CHAMBER VOLUME PER LINEAR FOOT - m ³ /m [CF/L]	0.905 (9.7)	0.981 (10.6)	0.934 (10.0)
CHAMBER WEIGHT - kg [LB]	37.65 (83)	33.11 (73)	34.47 (76)

*152 mm [6"] OF STONE ABOVE AND BELOW CHAMBER, 142 mm [5.6"] CHAMBER SPACING AND 40% POROSITY

OR EQUIVALENT

CONTECH ENGINEERED SOLUTIONS LLC
CHAMBERmaxx
CHAMBERMAXX - 649369-10
WICOFF ES
PLAINSBORO, NJ
SITE DESIGNATION: BASIN L

PROJECT NO. 649369
SHEET NO. 10
DATE 5/26/20

TYPICAL MANIFOLD DETAILS
OR EQUIVALENT

STANDARD MANIFOLD COMPONENTS TO SCALE

AVAILABLE DIAMETERS - INCHES				
TEE	12	15	18	24
ELBOW	12	15	18	24
DM A	42	42	48	48

GENERAL NOTES:
1. FITTING MATERIAL TO BE MANUFACTURED FROM CORRUGATED HIGH DENSITY POLYETHYLENE ASHITO MESH PIPE.
2. FITTINGS TO BE FABRICATED IN ACCORDANCE WITH THE REQUIREMENT TO SCALE OF ASHITO MESH.
3. FITTINGS DESIGNED TO PROTRUDE 6" INTO THE END OF THE INLET CHAMBERS.
4. MANIFOLD TEE AND ELBOW JOINT TO SCALE TO BE CONNECTED UTILIZING HDPE COUPLERS.

CONTECH ENGINEERED SOLUTIONS LLC
CHAMBERmaxx
CHAMBERMAXX - 649369-10
WICOFF ES
PLAINSBORO, NJ
SITE DESIGNATION: BASIN L

PROJECT NO. 649369
SHEET NO. 10
DATE 5/26/20

ASSEMBLY
SCALE: 1'-6"
STONE VOID STORAGE = 476 CF
TOTAL STORAGE = 281 CF
SYSTEM INVERT = 69.30'

NOTE:
- MINIMUM COVER IS 18 INCHES TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT
- 12 INCH STONE PERIMETER TYPICAL
- ENTIRE STORAGE ENVELOPE TO BE WRAPPED IMPERMEABLE LINER (NOT PROVIDED BY CONTECH)

GENERAL NOTES:
1. ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS SHALL BE VERIFIED BY THE ENGINEER OF RECORD.
2. PRIOR TO INSTALLATION OF THE CHAMBERMAXX SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE SYSTEM, THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND THE ENGINEER.
3. CHAMBERMAXX CHAMBERS ARE MANUFACTURED FROM POLYPROPYLENE PLASTIC.
4. CHAMBERMAXX SYSTEM TO MEET ASHITO MESH SIDE LIVE LOADINGS. PER ASHITO LSPD SECTION 12.
5. ACCESS COVERS TO MEET ASHITO MESH SIDE LIVE LOADINGS.
6. MINIMUM COVER IS 18 INCHES TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR COVER HEIGHTS GREATER THAN 36 INCHES CONTACT YOUR LOCAL REPRESENTATIVE.
7. ALL PARTS PROVIDED BY CONTECH UNLESS OTHERWISE NOTED.
8. FOR INFORMATION ON PRE-TREATMENT SYSTEMS, REFERENCE CONTECH PRE-TREATMENT SYSTEM STANDARD DETAILS OR CONTACT YOUR LOCAL REPRESENTATIVE.
9. CHAMBERMAXX BY CONTECH ENGINEERED SOLUTIONS (800) 925-5240

OR EQUIVALENT

CONTECH ENGINEERED SOLUTIONS LLC
CHAMBERmaxx
CHAMBERMAXX - 649369-10
HIGH SCHOOL NORTH
PLAINSBORO, NJ
SITE DESIGNATION: BASIN

PROJECT NO. 649369
SHEET NO. 10
DATE 5/26/20

811
Call before you dig
1-800-272-1000
TO LOCATE UNDERGROUND UTILITIES
IF YOU'RE GOING TO DIG, BLAST OR DRILL
THREE IS WORKING DATA NOTICE
IT'S THE LAW!
Dig Safely

LLAME ANTES DE EXCAVAR
811
1-800-272-1000
NEVER LOCALIZE UNO DE LOS UTILIDADES SUBTERRANEAS
SI USTED VA A EXCAVAR, BASTAR O DRILLAR
O BASTAR O DRILLAR
EXCAVE CON SEGURIDAD
Dig Safely

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

Van Cleef ENGINEERING ASSOCIATES
SOUTHERN NEW JERSEY OFFICE
4 AAA DRIVE, SUITE 101, HAMILTON, NJ 08620
EMAIL: CONTACT@VANCLEEFENGINEERING.COM
WEB: WWW.VANCLEEFENGINEERING.COM
PHONE: (609) 655-1100, FAX: (609) 655-1100

Consulting Civil Engineering
Bridge Design
Highway Design
Construction Inspection
Geotechnical Engineering
Water / Wastewater
Municipal Planning
Land Surveying
Professional Planning
Landscape Architecture
NJ LLC CERT. NO. 24G2813230

BY: *Herbert J. Seeburgen, Jr.* DATE: 8/18/20
HERBERT J. SEEBURGEN, JR., N.J. PROFESSIONAL ENGINEER NO. 24GE04748700

WILLIAM D. HOPKINS III, AIA, LEED AP
N.J. #140700001 / PA #0025208
GEORGE R. DUTHIE, JR., AIA, PP
N.J. #140179000

GFVHHD architects
planners
Frattak Veisz Hopkins Duthie P C
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whitlaker Ave - Mont Clare - Pennsylvania 19453

F.V.H.D.P.C.C.O.M.

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Checked By
H.J.S.

Drawn By
R.R.F.

Scale
N.T.S.

Drawing Name
CONSTRUCTION DETAILS

Revisions
No. | Date | Description

Drawing Number
C102

MANAGEMENT OF HIGH ACID PRODUCING SOILS

Where Applicable
This practice is applicable to any high acid-producing soil materials. Such materials have been found in the Coastal Plain areas of Cumberland, Gloucester, Mercer, Middlesex, Monmouth, Ocean, Salem and Somerset Counties.

- Methods and Materials
1. Limit the excavation area and exposure time when high acid-producing soils are encountered.
2. Topsoil stripped from the site shall be stored separately from temporary stockpiles.

- B. Wood-fiber or paper-fiber mulch - shall be made from wood, pulp fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre...
C. Topsoil stripping from the site shall be stored separately from temporary stockpiles.

TABLE 4-3 FOOTNOTES:

- 1. See Appendix B for descriptions of turf grass mixtures and cultivars. The actual amount of warm-season grass mixture used in Table 3 (see mix 1-7) shall be adjusted to reflect the amount of PLS as determined by germination testing results.
2. Seeding mixtures and/or rates not listed above may be used if recommended by the local Rutgers Cooperative Extension office.

STANDARD FOR STABILIZATION WITH MULCH ONLY

Where Applicable
This practice is applicable to areas subject to erosion where the season and other conditions may not be suitable for growing an erosion-resistant cover or where stabilization is needed for a short period until more suitable protection can be applied.

- Methods and Materials
1. Site Preparation
a. Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and much anchoring.

PLANTING MIXTURES BY SOIL DRAINAGE CLASS/1

Table with columns for Application (Excessively Drained, Well to Moderately Well Drained, Somewhat Poorly to Fairly Drained) and rows for Residential/commercial lots, Pasture and channel banks, etc.

Permanent Stabilization Mixtures for Various Uses

Table with columns for Application (Residential/commercial lots, Pasture and channel banks, etc.) and rows for Seed Selections (Perennial ryegrass, Spring oats, etc.)

STANDARD FOR PERMANENT STABILIZATION WITH SOIL

Where Applicable
On exposed soils that have a potential for causing off-site environmental damage there an immediate, permanent, vegetative cover is desired.

PERMANENT VEGETATIVE MIXTURES, PLANTING RATES AND PLANTING DATES

Table with columns for SEED MIXTURE, PLANTING RATES, PLANTING DATES, and REMARKS. Includes sections for WARM SEASON SEED MIXTURES and COOL SEASON SEED MIXTURES.

STANDARD FOR TREE PROTECTION DURING CONSTRUCTION

Where Applicable
This practice is applicable to areas where trees are present and need to be protected during construction activities.

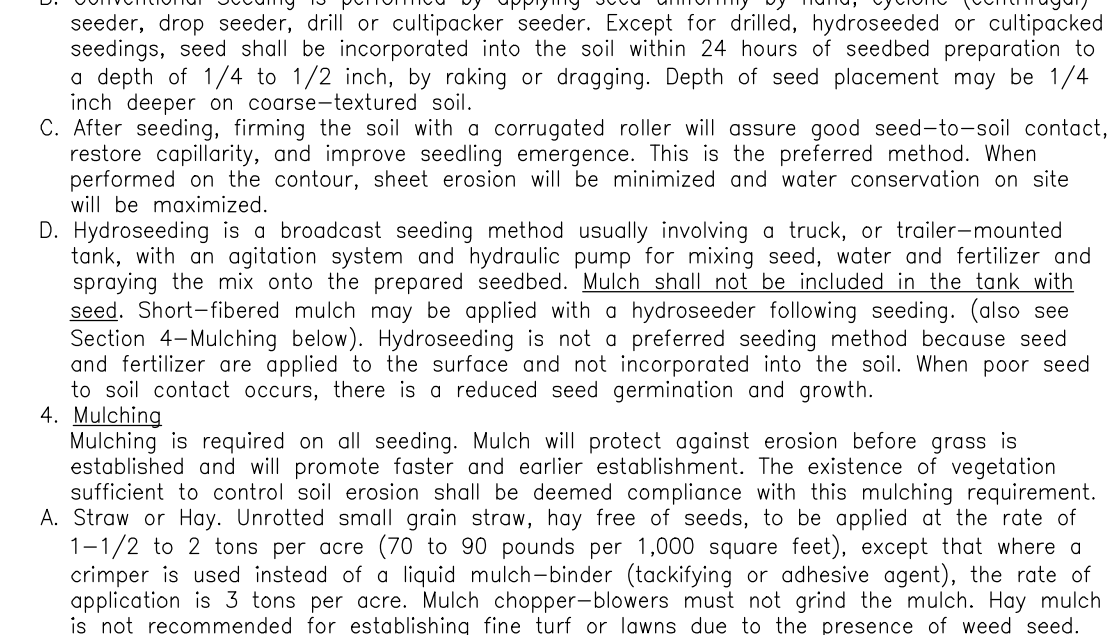
PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

- Methods and Materials
1. Site Preparation
a. Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and much anchoring.

SEQUENCE OF CONSTRUCTION

- 1. INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON PLANS.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCES (SEALS) AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLANS AND DETAILS.

USDA Plant Hardiness Zones



TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

Where Applicable
On exposed soils that have the potential for causing off-site environmental damage.

Methods and Materials

- 1. Site Preparation
a. Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and much anchoring.

SEED SELECTIONS

Table with columns for SEED SELECTIONS (Perennial ryegrass, Spring oats, etc.) and rows for COOL SEASON SEED MIXTURES and WARM SEASON SEED MIXTURES.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

Where Applicable
On exposed soils that have the potential for causing off-site environmental damage.

Methods and Materials

- 1. Site Preparation
a. Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and much anchoring.

STANDARD FOR TOPSOILING

Where Applicable
Topsoil shall be used where soils are to be disturbed and will be revegetated.

- 1. Materials
a. Topsoil should be friable, loamy, free of debris, objectionable weeds and stones, and contain no toxic substances or adverse chemical or physical condition that may be harmful to plants.

TEMPORARY VEGETATIVE STABILIZATION GRASSES, SEEDING RATES, DATES AND DEPTH.

Table with columns for SEEDING RATE (lb./1000 Sq. Ft.), OPTIMUM SEEDING DATE (Zone), and OPTIMUM SEED DEPTH (inches).

STANDARD FOR PERMANENT STABILIZATION WITH SOIL

Where Applicable
This practice is applicable to areas subject to erosion where the season and other conditions may not be suitable for growing an erosion-resistant cover.

- Methods and Materials
1. Site Preparation
a. Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and much anchoring.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

Where Applicable
This practice is applicable to areas subject to erosion where the season and other conditions may not be suitable for growing an erosion-resistant cover.

- Methods and Materials
1. Site Preparation
a. Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and much anchoring.

TEMPORARY VEGETATIVE STABILIZATION GRASSES, SEEDING RATES, DATES AND DEPTH.

Table with columns for SEEDING RATE (lb./1000 Sq. Ft.), OPTIMUM SEEDING DATE (Zone), and OPTIMUM SEED DEPTH (inches).

STANDARD FOR PERMANENT STABILIZATION WITH SOIL

Where Applicable
This practice is applicable to areas subject to erosion where the season and other conditions may not be suitable for growing an erosion-resistant cover.

- Methods and Materials
1. Site Preparation
a. Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and much anchoring.

STANDARD FOR DUST CONTROL

Definition
The control of dust on construction sites and roads.

- Methods and Materials
1. Dust Control
a. To prevent blowing and movement of dust from exposed soil surfaces, reduced on-site and off-site damage and health hazards and improve traffic safety.

Table 16-1 Dust Control Materials

Table with columns for MATERIAL, WATER, TYPE OF NOZZLE, APPLY GALLONS / ACRE, and COMMENTS.

STANDARD FOR TREE PROTECTION DURING CONSTRUCTION

Where Applicable
This practice is applicable to areas where trees are present and need to be protected during construction activities.

- 1. Reconnaissance should be performed before land clearing begins to identify dead and weak trees.
2. All Soil Erosion and Sediment Control practices are to be installed prior to soil disturbance.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

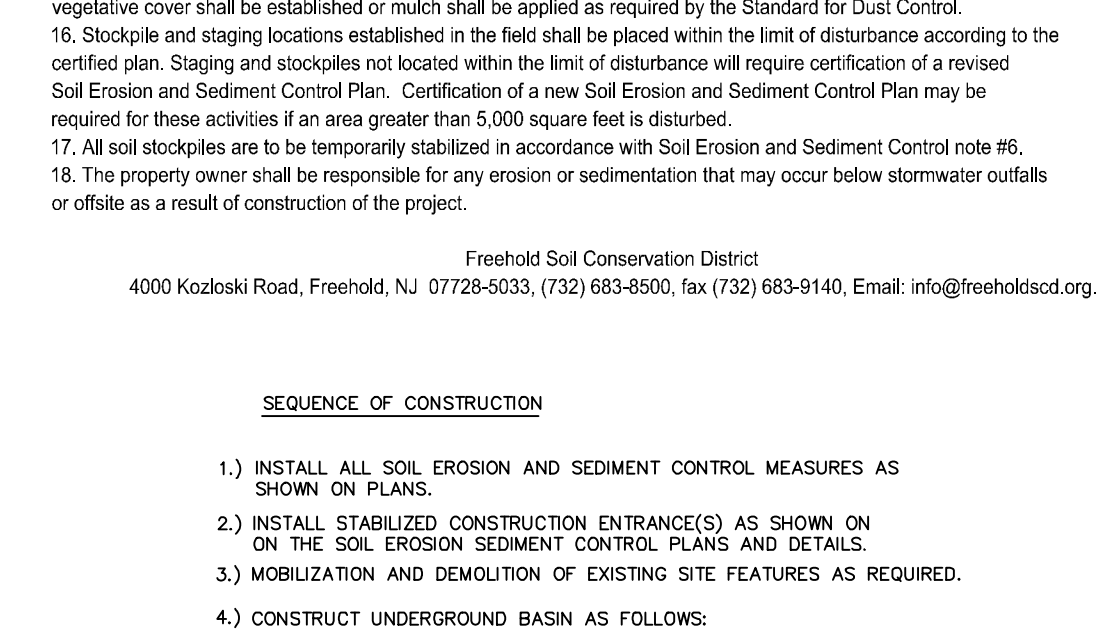
Where Applicable
This practice is applicable to areas subject to erosion where the season and other conditions may not be suitable for growing an erosion-resistant cover.

- Methods and Materials
1. Site Preparation
a. Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and much anchoring.

SEQUENCE OF CONSTRUCTION

- 1. INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON PLANS.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCES (SEALS) AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLANS AND DETAILS.

USDA Plant Hardiness Zones



TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

Where Applicable
On exposed soils that have the potential for causing off-site environmental damage.

Methods and Materials

- 1. Site Preparation
a. Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and much anchoring.

STANDARD FOR TREE PROTECTION DURING CONSTRUCTION

Where Applicable
This practice is applicable to areas where trees are present and need to be protected during construction activities.

Advertisement for Van Cref Engineering Associates, including contact information and services offered.

Advertisement for F.V.D. architects and planners, featuring contact information and a list of services.

Advertisement for Addition to West Windsor-Plainsboro High School North, including project name and location.

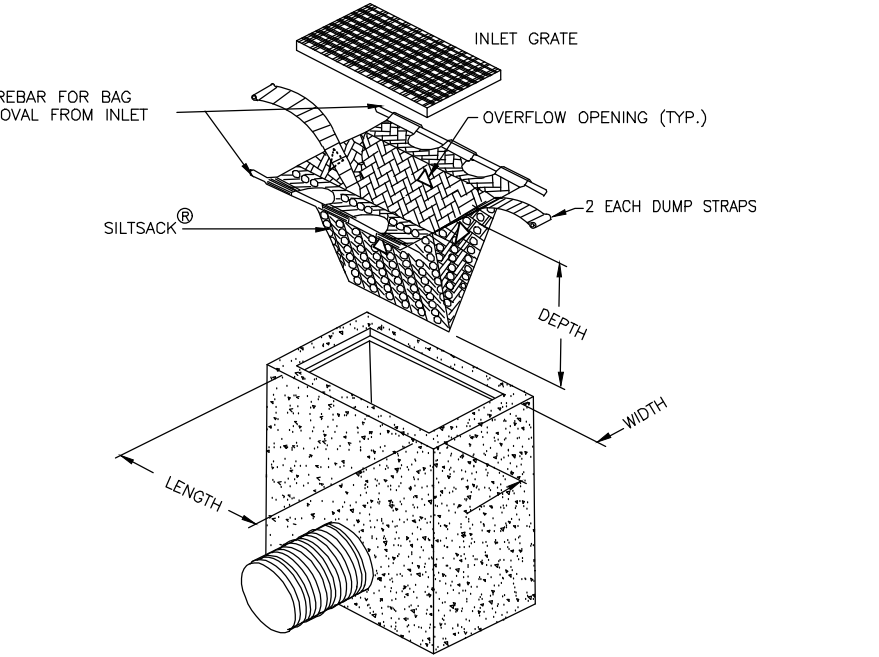
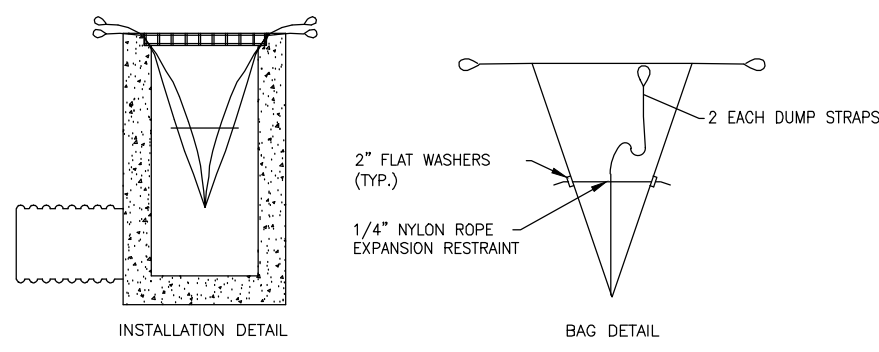
Advertisement for West Windsor - Plainsboro Regional School District, including project owner name and location.

Advertisement for 90 Grovers Mill Road, Plainsboro, New Jersey 08536, including project location and owner name.

Advertisement for 2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, including project title and general notes.

Advertisement for Van Cref Engineering Associates, including project name, drawing number, and contact information.

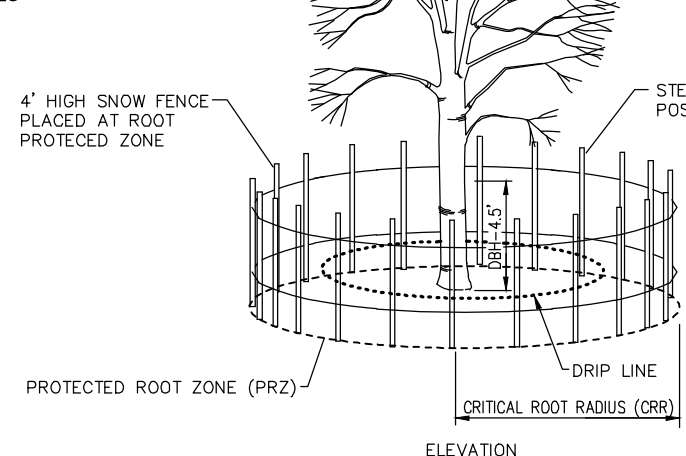
Drawing Number C103



- NOTES:
1. INLET FILTER BAGS SHOULD BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT.
 2. FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN THE BAG IS 1/2 FULL.
 3. DAMAGED FILTER BAGS SHOULD BE REPLACED.
 4. EXCESS DEBRIS SHOULD BE REMOVED IMMEDIATELY AFTER THE INSPECTION.

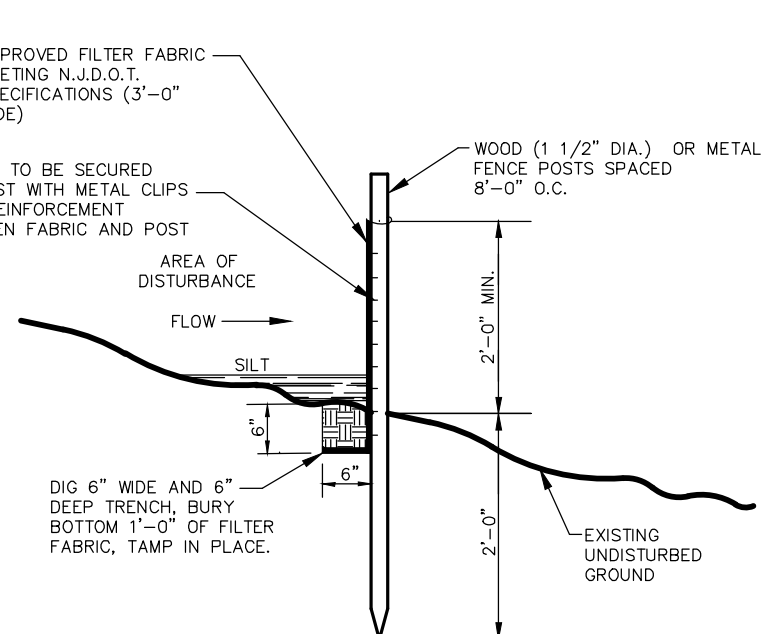
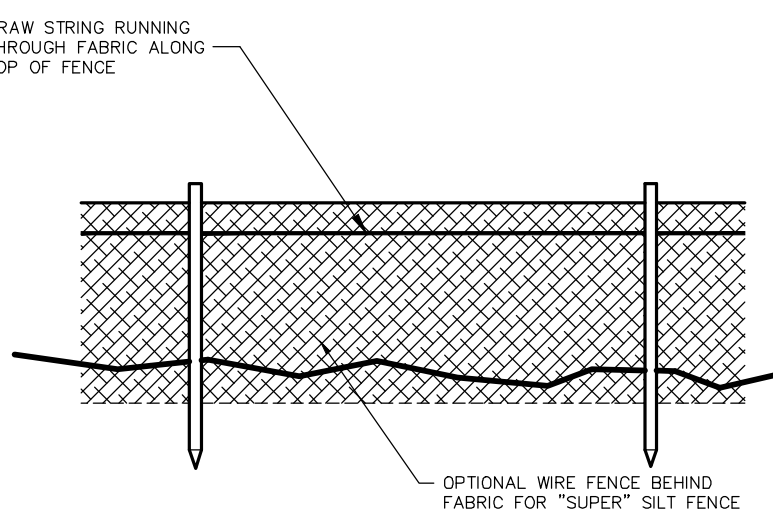
FILTER BAG INLET PROTECTION
N.T.S.

- TO ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR):
1. MEASURE THE DBH OF TREE 4.5' ABOVE GROUND ON UPWIND SIDE OF TREE IN FEET.
 2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0 TO EXPRESS THE RESULT IN FEET.
 3. DBH X 1.5 = CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY OR SENSITIVE SPECIES.
 4. DBH X 1.0 = CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.



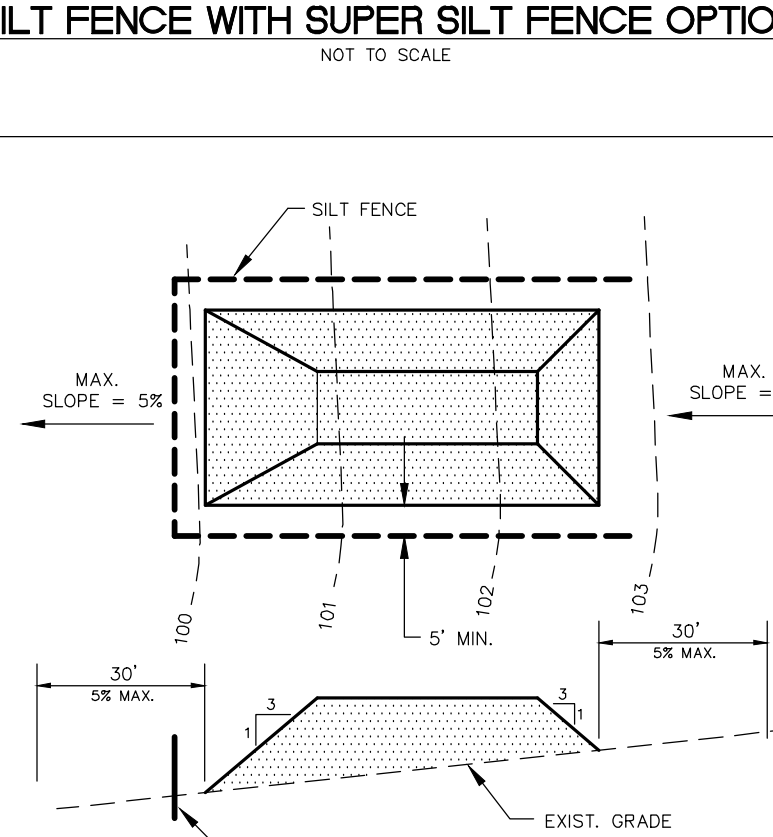
- NOTES:
1. TREE PROTECTION SHALL BE PROVIDED FOR ANY AND ALL TREES TO BE PRESERVED DURING AND AFTER CONSTRUCTION.
 2. IF HIGH SNOW FENCE SHALL BE PLACED AT THE DRIP LINE OF THE TREE AND ENCLOSE THE ENTIRE TREE.
 3. SNOW FENCE SHALL NOT BE NEEDED TO TREES DURING CONSTRUCTION.
 4. ROOTS SHALL NOT BE CUT IN AN AREA INSIDE THE DRIP LINE OF THE TREE.
 5. BRANCHING OF LIMBS IF NECESSARY SHALL BE IN ACCORDANCE WITH TREE PRUNING DETAIL AND UNDER THE SUPERVISION OF A LICENSED NURSEMAN.

TREE PROTECTION DURING CONSTRUCTION
NO SCALE



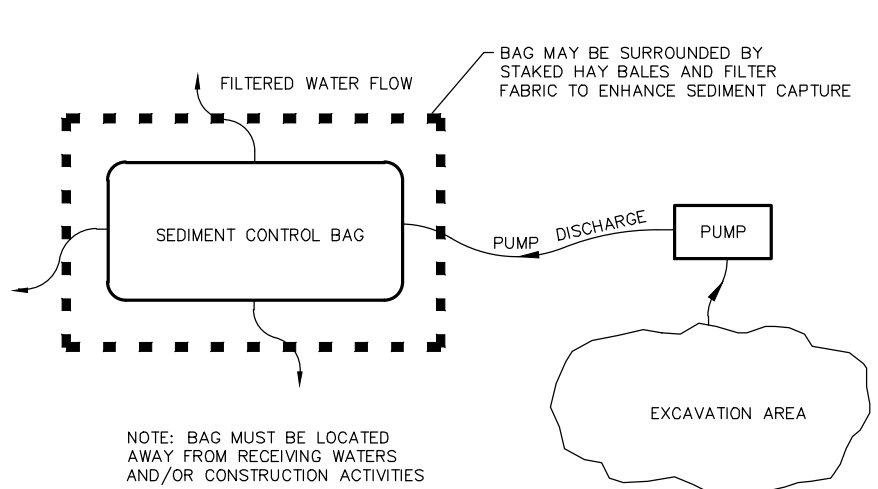
- NOTES:
1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 2. THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5%. IF SLOPE EXCEEDS 5% SILT FENCE SHALL BE BACKED UP WITH SNOW FENCE.
 3. SILT FENCE SHALL BE INSTALLED TO WATER CANNOT BYPASS THE FENCE AROUND ITS ENDS.
 4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
 5. SILT FENCE SHALL BE REMOVED WHEN CONTRIBUTORY DRAINAGE AREA HAS BEEN STABILIZED IN AN APPROVED FASHION.

SILT FENCE WITH SUPER SILT FENCE OPTION
NOT TO SCALE



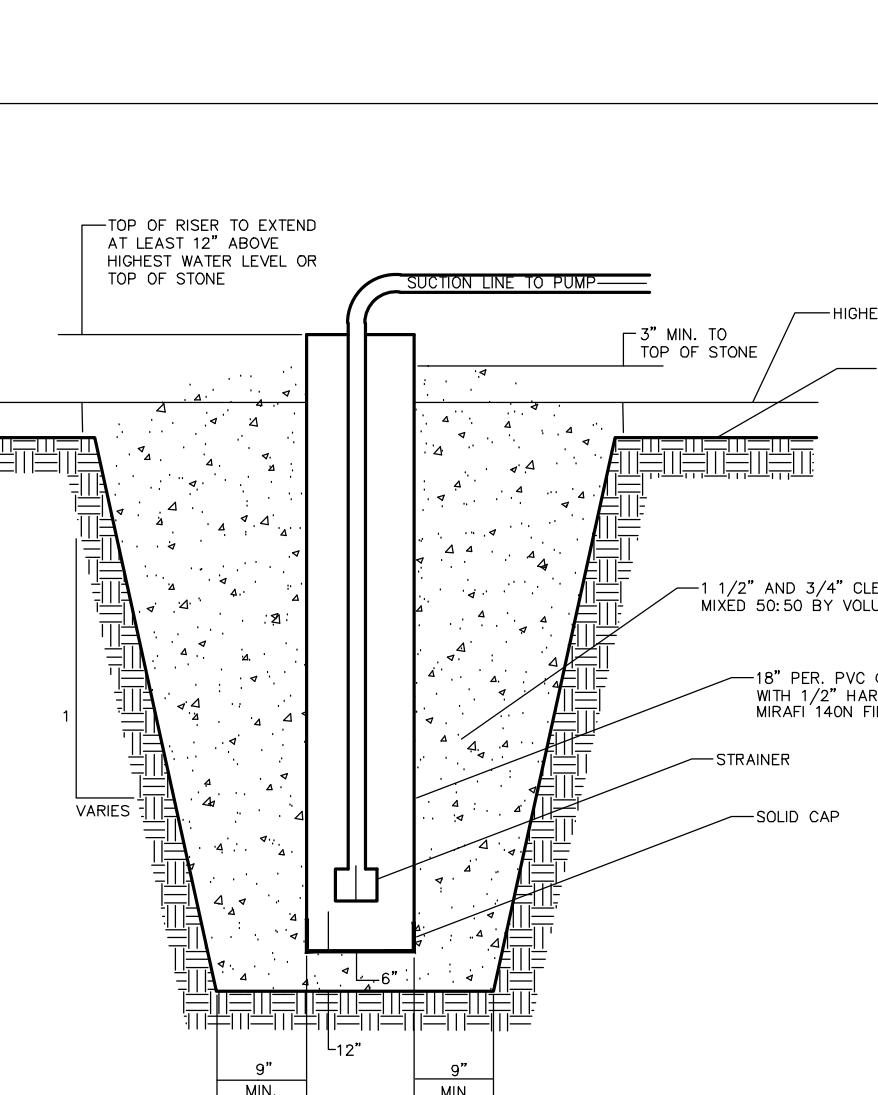
- NOTES:
1. PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 2. ALL SIDE SLOPES SHALL BE 3 TO 1 OR FLATTER.
 3. STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH STABILIZATION REQUIREMENTS.
 4. SILT FENCE SHALL BE INSTALLED AS DETAILED HEREIN.

TOPSOIL STOCKPILE
NOT TO SCALE



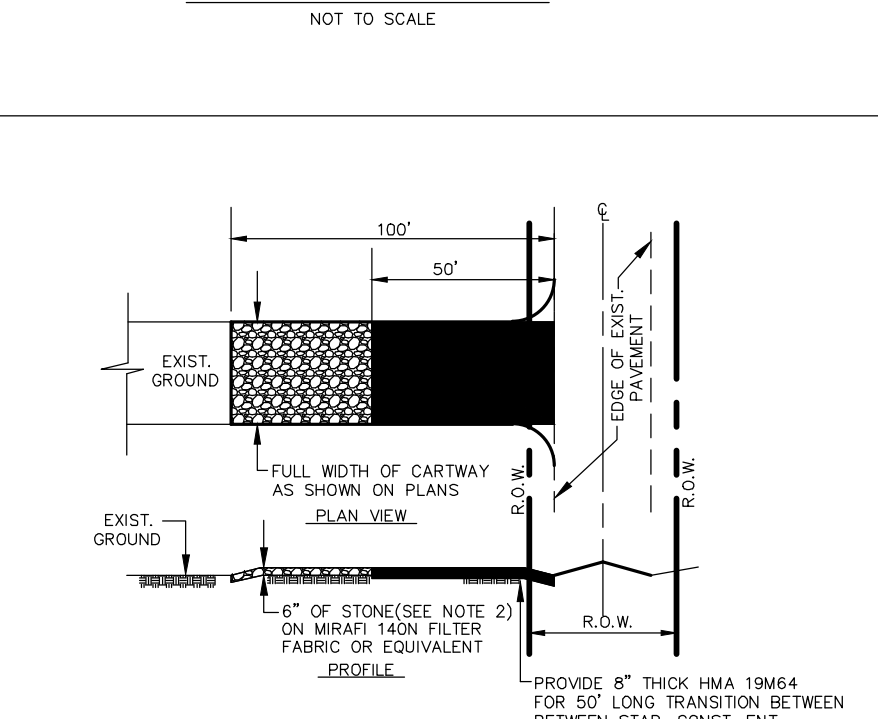
NOTE: BAG MUST BE LOCATED AWAY FROM RECEIVING WATER AND/OR CONSTRUCTION ACTIVITIES.

SEDIMENT CONTROL BAG
NOT TO SCALE



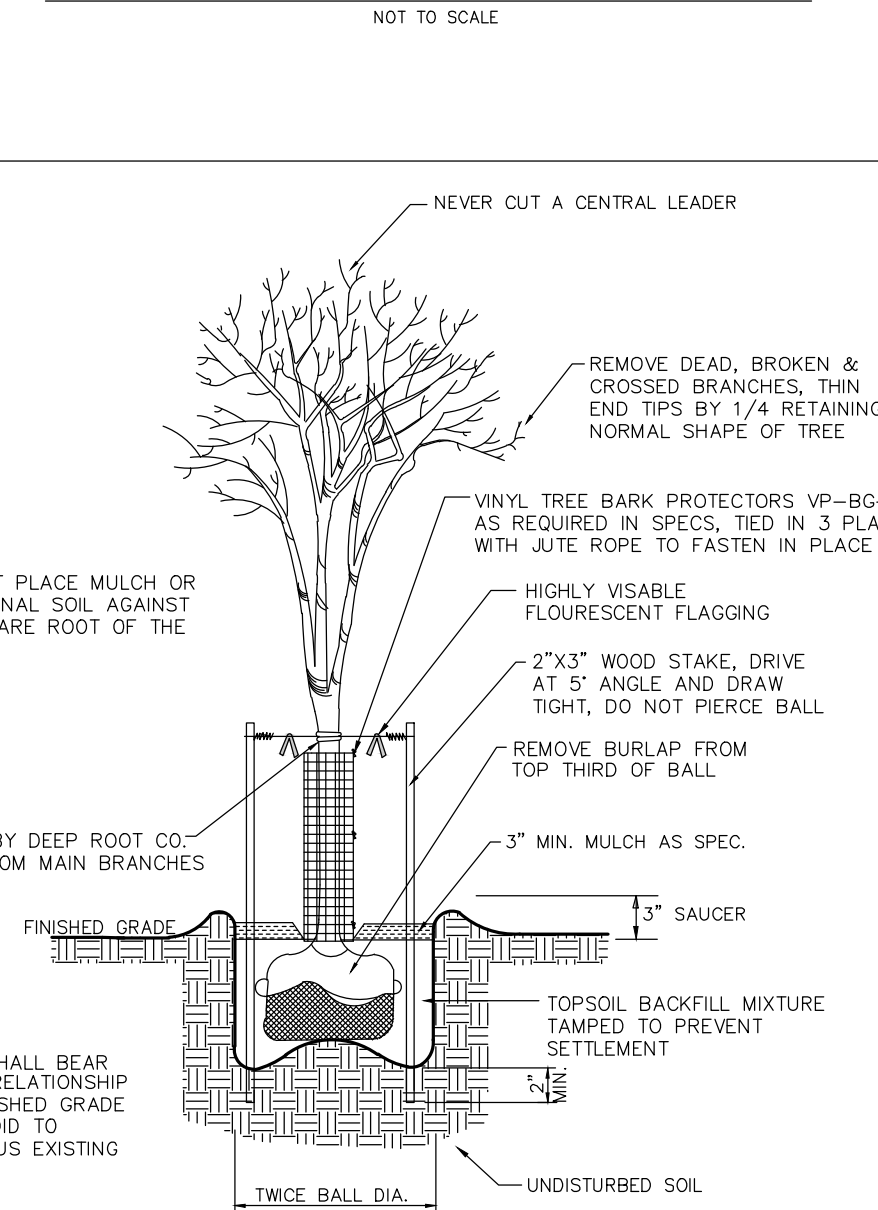
- NOTES:
1. PIT DIMENSIONS ARE VARIABLE, WITH THE MINIMUM DIAMETER BEING 2 TIMES THE STANDPIPE DIAMETER.
 2. THE STANDPIPE SHALL BE CONSTRUCTED BY PRESERVING A 1/2\"/>

DEWATERING SUMP
NOT TO SCALE

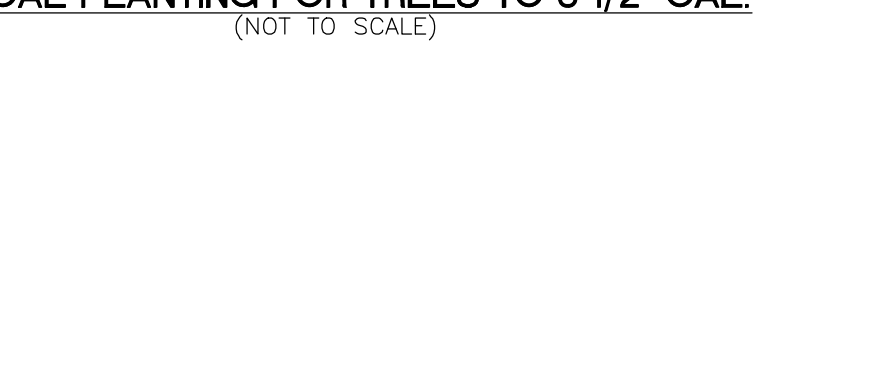


- NOTES:
1. PLACE STABILIZED CONSTRUCTION ENTRANCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 2. STONE SIZE SHALL BE 1 1/2\"/>

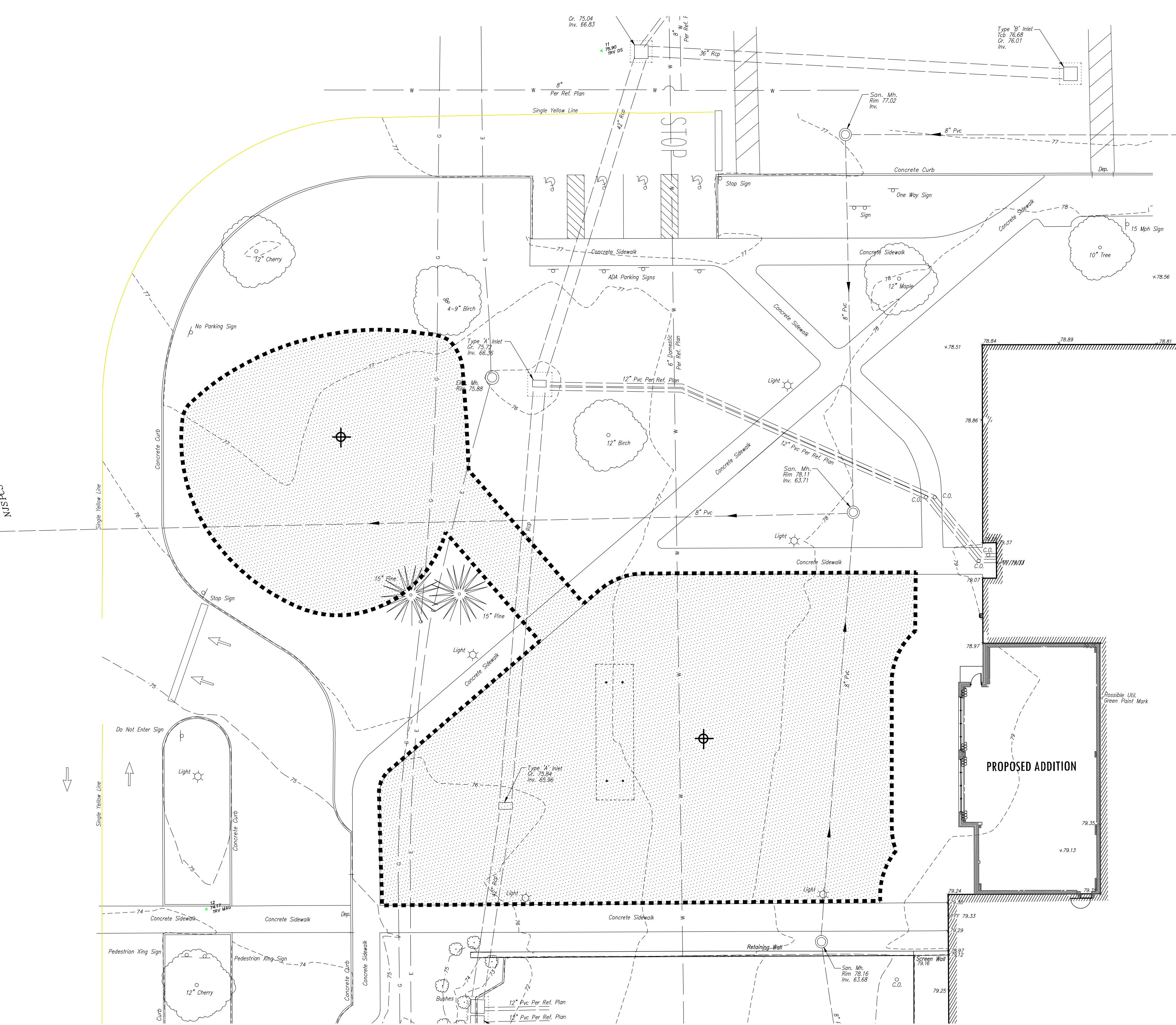
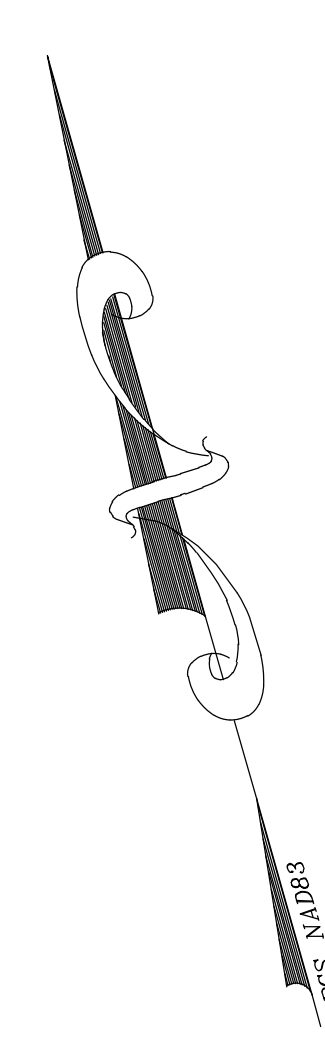
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



TYPICAL GUYING DETAIL
(NOT TO SCALE)

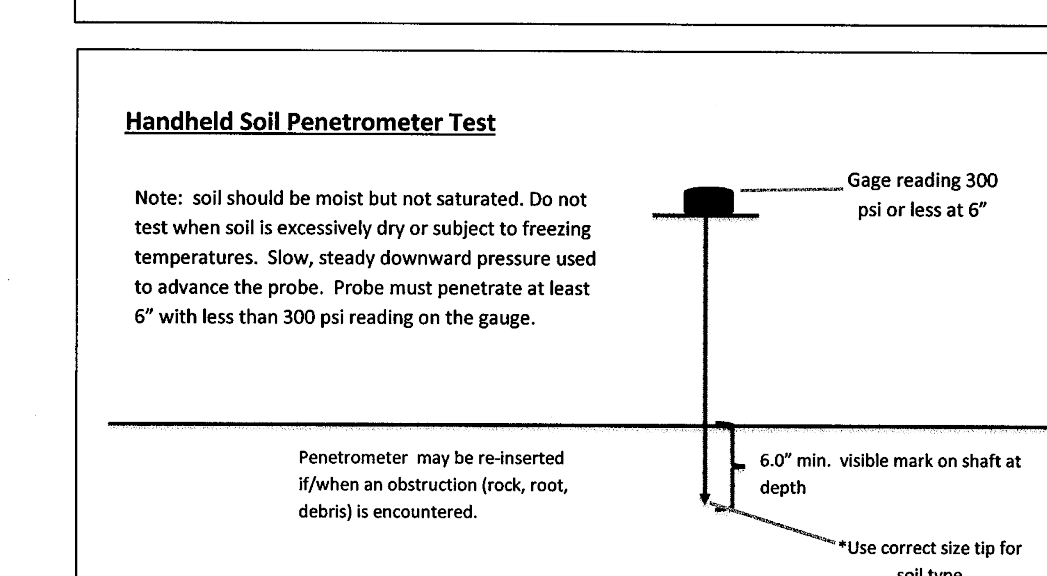
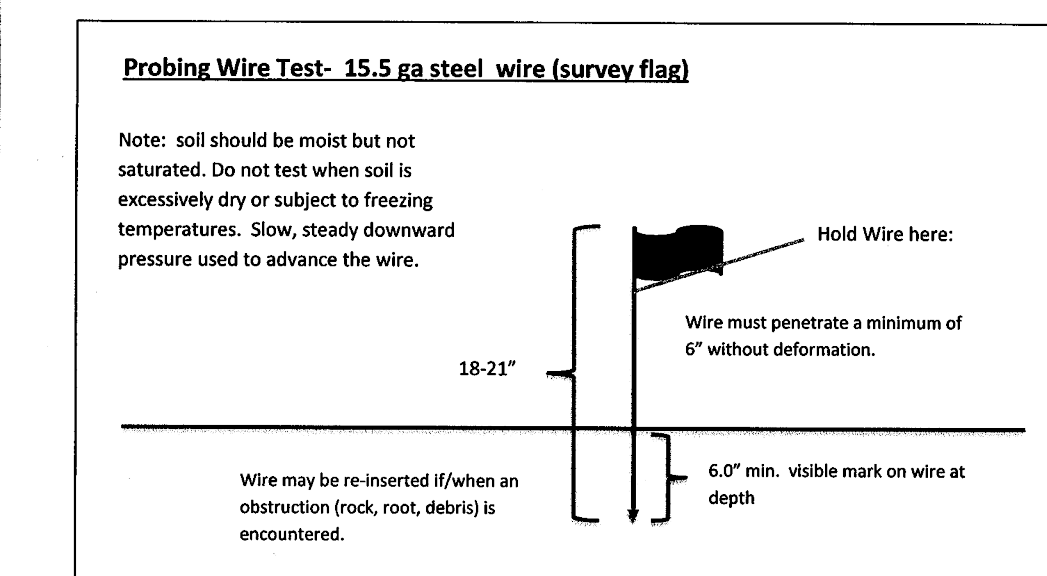


TYPICAL PLANTING FOR TREES TO 3 1/2\"/>



SOIL MANAGEMENT & PREPARATION PLAN
SCALE: 1"=20'

Simplified Testing Methods



Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

1. Subgrade soils prior to the application of topsoil (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
2. Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.
3. Compaction testing locations are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction mitigation verification form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
4. In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (including exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

- A. Probing Wire Test (see detail)
- B. Hand-held Penetrometer Test (see detail)
- C. Tube Bulk Density Test (licensed professional engineer required)
- D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required when subsoil compaction remediation (scarification/village (6\"/>

Procedures for Soil Compaction Mitigation

Procedures shall be used to mitigate excessive soil compaction prior to placement of topsoil and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/village (6\"/>

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

REFERENCE :

"STANDARD FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY" ADOPTED FEBRUARY 2014 BY THE NEW JERSEY STATE SOIL CONSERVATION COMMITTEE.

GENERAL NOTES:

1. THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).

Van Cleef ENGINEERING ASSOCIATES

Consulting Civil Engineering
Bridge Design
Highway Design
Construction Inspection
Geotechnical Engineering
Water / Wastewater
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture
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BY: *Herbert J. Seeburger, Jr.* DATE: 8/18/20
HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER NO. 246E04748700

WILLIAM D. HOPKINS III, AIA, LEED AP
No. 146780000 (PA-06022002)
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G.R. Duthie, Jr.
Architect

GFVHD architects
planners
Fraklay Veisz Hopkins Duthie P C

Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whittaker Ave - North Clear - Pennsylvania 17433

F V H D P C C O M

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1

Project Date
04.06.2021

Checked By
H.J.S.

Drawn By
R.R.F.

Scale
N.T.S.

Drawing Name
SOIL EROSION SEDIMENT CONTROL DETAILS & SOIL MANAGEMENT & PREPARATION PLAN

Revisions	
No.	Description

Drawing Number
C104

APPLICABLE CODES:

THIS PROJECT WAS DESIGNED UNDER THE FOLLOWING CODES:

CONSTRUCTION CODE - NEW JERSEY REHABILITATION SUBCODE 5:23-6	INTERNATIONAL BUILDING CODE 2018 - NEW JERSEY EDITION
BARRIER-FREE SUBCODE - N.J.A.C. 5:23-7 AND ICC-ANSI A117.1-2009	
PLUMBING SUBCODE - NATIONAL STANDARD PLUMBING SUBCODE 2018	
MECHANICAL SUBCODE - INTERNATIONAL MECHANICAL CODE 2018	
ELECTRICAL SUBCODE - NATIONAL ELECTRICAL CODE 2017	
FUEL GAS SUBCODE - INTERNATIONAL FUEL GAS CODE 2018	
ENERGY CONSERVATION SUBCODE - ASHRAE 90.1 2016	

BUILDING ANALYSIS (ADDITION) - BUILDING 'III':

(FROM INTERNATIONAL BUILDING CODE 2018 NEW JERSEY EDITION)

BUILDING 'III' (NEW EDUCATIONAL)
(PROTECTED AND FULLY SPRINKLERED)

USE GROUP	E (EDUCATIONAL)
CONSTRUCTION TYPE	1B
TABULAR ALLOWABLE AREA	UNLIMITED
AREA INCREASE - SPRINKLER	N/A
ADJUSTED ALLOWABLE AREA	N/A

ACTUAL AREA (NEW ADDITION)	2,866 S.F.
BUILDING 'III'	
ALLOWABLE HEIGHT	4 STORES / 180'-0" (TABLE 504.3 & 504.4)
ACTUAL HEIGHT	1 STORY / 22'-0"

OCCUPANCY CATEGORY NOTE:

THE BUILDING IS CLASSIFIED AS RISK CATEGORY 'III' AS DEFINED IN TABLE 1604.5 OF IBC-2018 NJ EDITION - BUILDING CONTAINING GROUP 'E' OCCUPANCIES WITH OCCUPANT LOAD GREATER THAN 250.
THE BUILDING WILL NOT BE DESIGNATED AS OR USED AS AN EMERGENCY SHELTER FOR HURRICANE, EARTHQUAKE OR OTHER EMERGENCIES AND IS NOT CLASSIFIED AS OCCUPANCY CATEGORY 'IV'.

RADON NOTE:

(FROM 5:23-10, APPENDIX 10-A OF THE UNIFORM CONSTRUCTION CODE, LATEST EDITION)
RADON VENTING AND ANY ASSOCIATED CONSTRUCTION TECHNIQUES ARE NOT REQUIRED FOR THIS PROJECT.
THIS PROJECT IS LOCATED IN MIDDLESEX COUNTY, NEW JERSEY IN THE MUNICIPALITY OF PLAINSBORO. IT IS NOT LOCATED IN A TIER ONE OR RECOGNIZED RADON PRONE AREA.

FIRE EXTINGUISHER SCHEDULE (NEW ADDITION):

(FROM NATIONAL FIRE PROTECTION ASSOCIATION CODES)

FIRE EXTINGUISHER TYPES

- MULTI-PURPOSE DRY CHEMICAL TYPE UL RATED 2A:10B:C 5lb FOR TYPE A,B,C FIRES
- PROVIDE A MINIMUM 2-A RATING FOR EACH 4000 S.F. AREA AND A TRAVEL DISTANCE OF NOT MORE THAN 75' IN EACH DIRECTION.
- ALL EXISTING FIRE EXTINGUISHERS SHALL EITHER REMAIN IN PLACE OR SHALL BE REPLACED WITH NEW FIRE EXTINGUISHERS DURING THE PERIOD OF BUILDING RENOVATION.

BUILDING	AREA	NO. OF FEES REQUIRED	NO. OF FEES PROVIDED
BUILDING 'III' (ADDITION ONLY)			
FIRST FLOOR	2866	1	1

TABULATION OF PLUMBING FIXTURES (NEW ADDITION):

(FROM 2018 NATIONAL STANDARD PLUMBING CODE)

USE GROUP 'E' (EDUCATIONAL) - HIGH SCHOOL - ADDED FUNCTIONAL CAPACITY = 24 STUDENTS

24 X 50% = 12 MALES
24 X 50% = 12 FEMALES

FIXTURES REQUIRED (MALES)	FIXTURES PROVIDED (MALES)
WATER CLOSETS 1	WATER CLOSETS 1
LAVATORIES 1	LAVATORIES 1

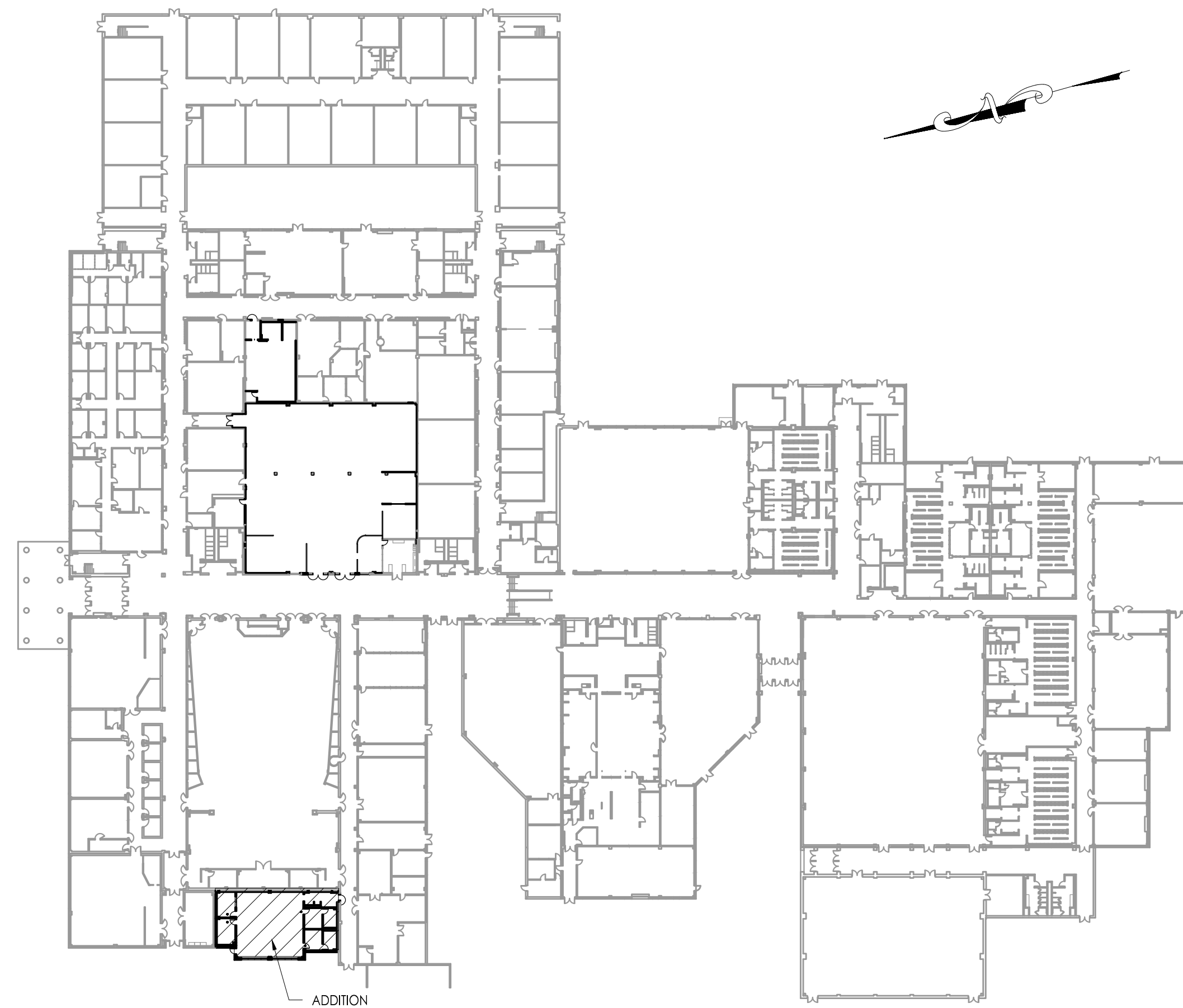
FIXTURES REQUIRED (FEMALES)	FIXTURES PROVIDED (FEMALES)
WATER CLOSETS 1	WATER CLOSETS 1
LAVATORIES 1	LAVATORIES 1

SPECIAL INSPECTION NOTES:

THE FOLLOWING "SPECIAL INSPECTIONS" SHALL APPLY TO THIS PROJECT, AS DEFINED IN IBC-2018 NJ EDITION, CHAPTER 17, SECTION 1705. SEE SPECIFICATION SECTION 01400.

- 1705. 2 - STEEL CONSTRUCTION - SEE SPECIFICATION SECTIONS 05120, 05210 & 05300
- 1705. 3 - CONCRETE CONSTRUCTION - SEE SPECIFICATION SECTION 03300
- 1705. 6 - SOIL CONDITIONS, FILL PLACEMENT AND LOAD-BEARING REQUIREMENTS - SEE SPECIFICATION SECTION 02200
- 1705. 10 - FABRICATIONS - SEE SPECIFICATION SECTIONS 05120, 05210 & 05300
- 1705. 14 - SPRAYED FIRE-RESISTANT MATERIALS - SEE SPECIFICATION SECTION 07250
- 1705. 17 - FIRE-RESISTANCE PENETRATIONS AND JOINTS - SEE SPECIFICATION SECTIONS 07840 AND 07900.

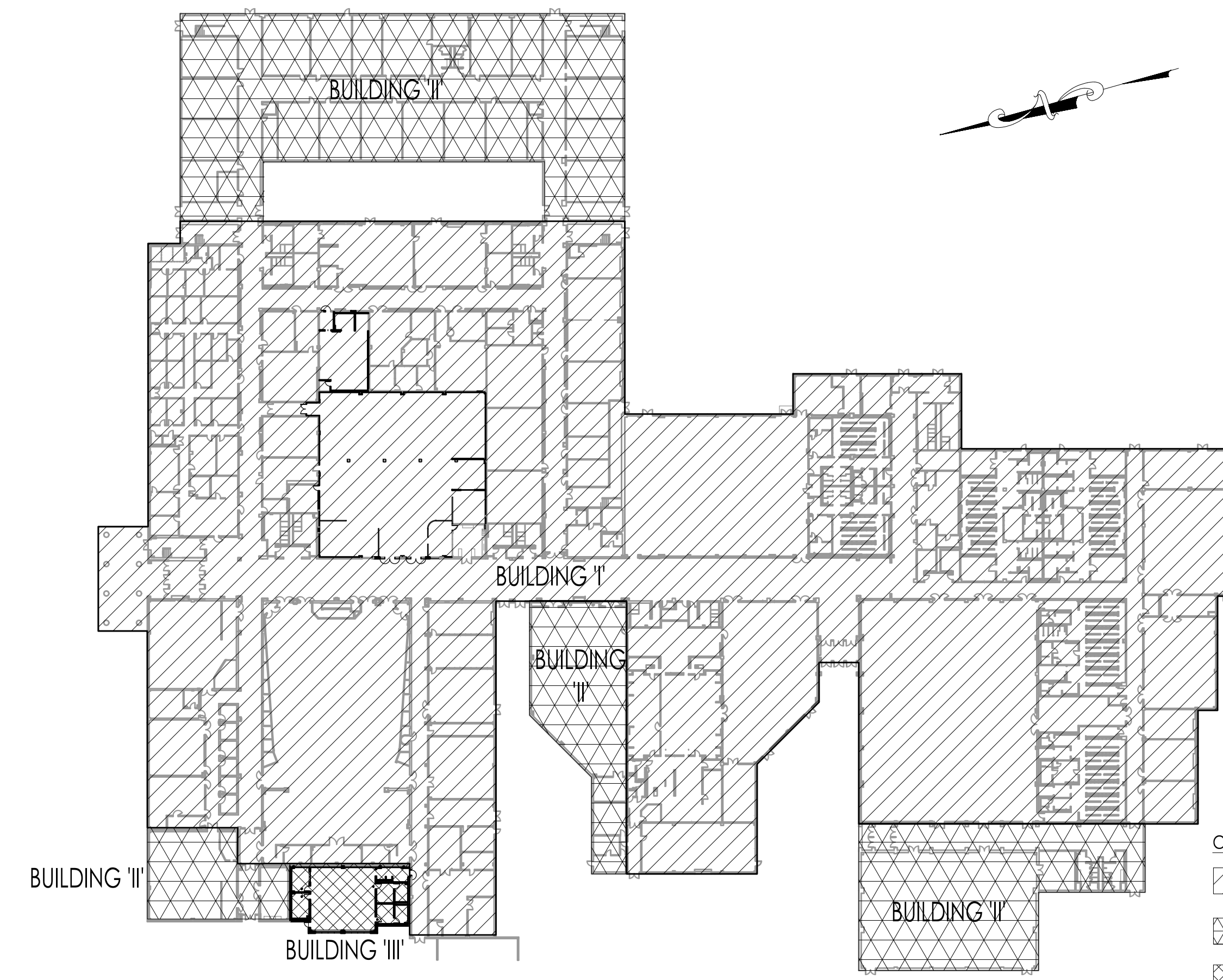
THE INSPECTION FIRM(S) SHALL SUBMIT CERTIFICATIONS TO NJ DCA PRIOR TO PERMIT RELEASE.



1 Rehabilitation Key Plan
SCALE: 1/64" = 1'-0"

REHABILITATION KEY LEGEND

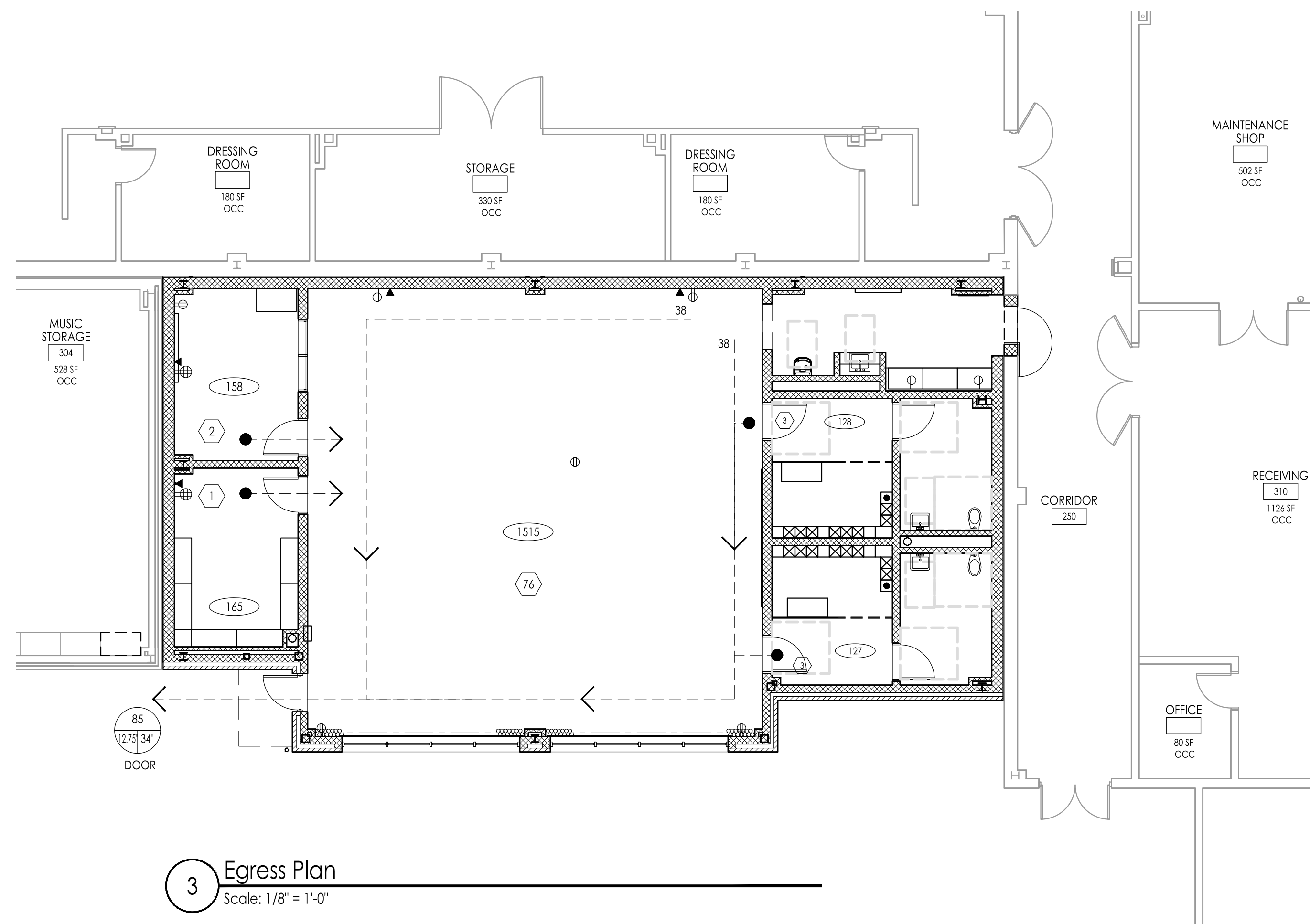
- NEW CONSTRUCTION
- NEW CONSTRUCTION IS DESIGNED UNDER THE INTERNATIONAL BUILDING CODE 2018 - NEW JERSEY EDITION.
- ADDITION IS DESIGNED UNDER THE NEW JERSEY REHABILITATION SUB-CODE.



2 Code Analysis Key Plan
SCALE: 1/64" = 1'-0"

CODE ANALYSIS LEGEND

- BUILDING I - 1994 CONSTRUCTION (EXISTING TO REMAIN)
 - BUILDING II - 1997 CONSTRUCTION (EXISTING TO REMAIN)
 - BUILDING III - NEW CONSTRUCTION (EXISTING TO REMAIN)
- NOTE - DATES OF CONSTRUCTION ARE APPROXIMATE



3 Egress Plan
Scale: 1/8" = 1'-0"

EGRESS PLAN LEGEND

- PATH OF EGRESS TRAVEL
- BARRIER-FREE BUILDING ENTRANCE / EXIT
- TRAVEL DISTANCE
- NET SQUARE FOOTAGE - NEW CONSTRUCTION
- OCCUPANT LOAD - NEW CONSTRUCTION - SEE ROOM CAPACITY NOTES
- FE-1 NEW FIRE EXTINGUISHER IN SEMI-RECESSED CABINET (CMU WALL), SEE DWG. G003

BUILDING EXIT CAPACITY

- XX OCCUPANT LOAD - IBC 2018 NJ CHPT. 10
- X X NET CLEAR EGRESS WIDTH PROVIDED (IN INCHES)
- NET CLEAR EGRESS WIDTH REQUIRED (IN INCHES)

ROOM CAPACITY NOTES:

SEE THE CODE ANALYSIS KEY PLAN ON THIS SHEET.
OCCUPANT LOADS - OCCUPANT LOAD IN THE ADDITION TO BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH IBC 2018 - NJ EDITION.

WILLIAM D. HOPKINS III, AIA, LEED AP
N.J. REG. ARCHITECT 17A-462233X
GEORGE E. DUTHIE JR., AIA, FP
N.J. REG. ARCHITECT 17A-462233X
Date: 04/06/21

F V H D P C . C O M

FVHD architects
planners
Fraytak Veisz Hopkins Duthie P.C.
Company: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 17433

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

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90 Grovers Mill Road, Plainsboro, New Jersey 08536

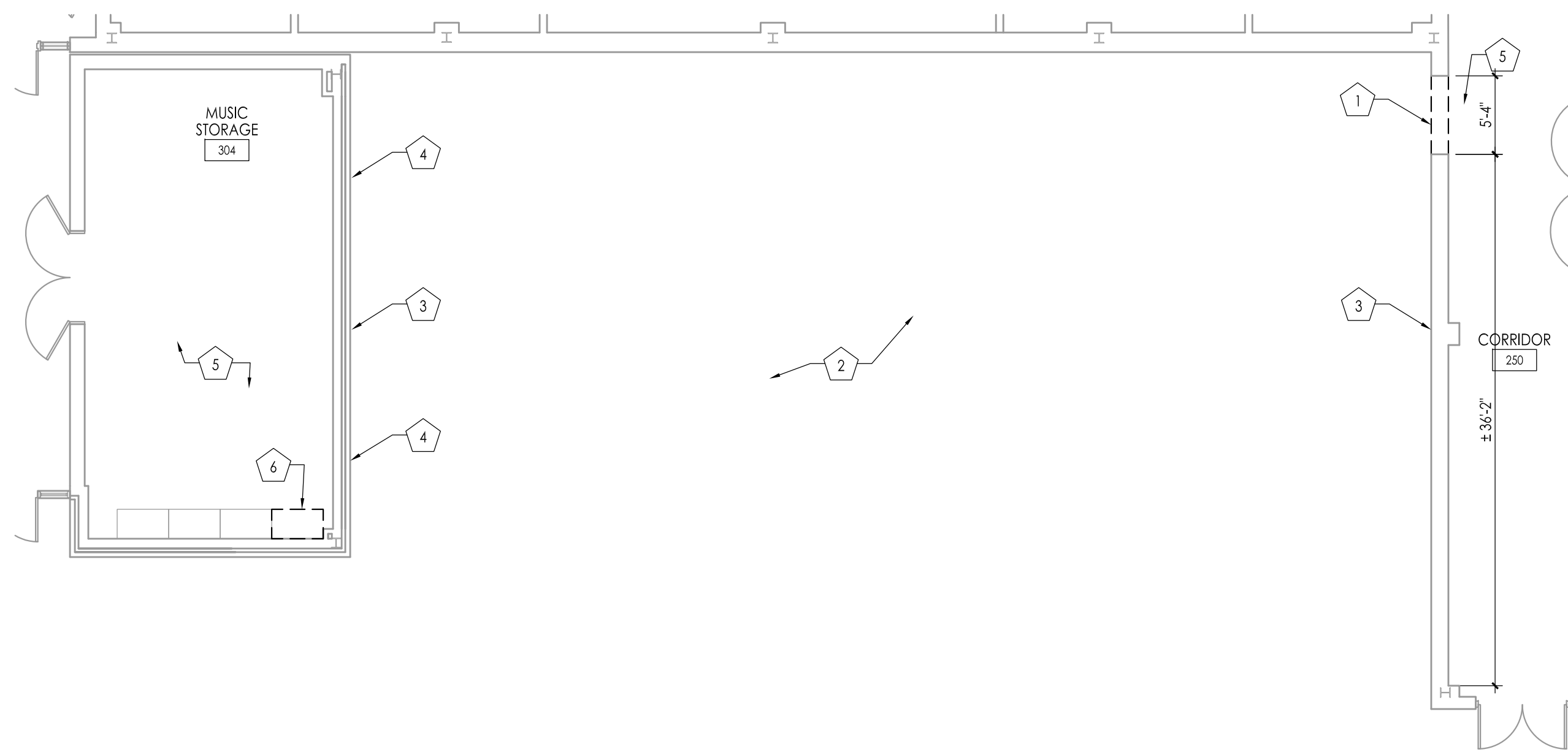
Project Number
5063K1

Project Date
04.06.2021
Checked By
GRD
Drawn By
IB
Scale
As Noted

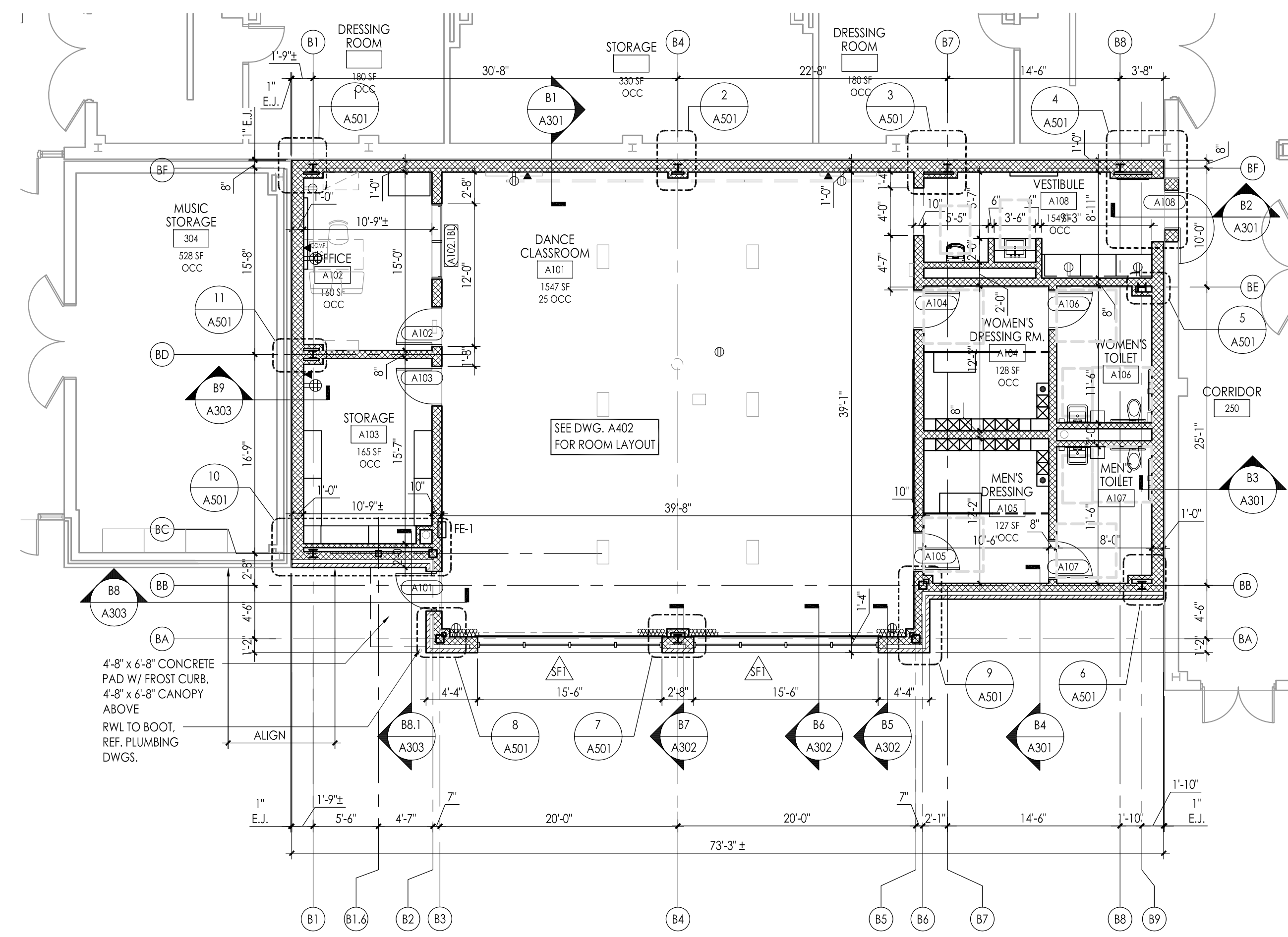
Drawing Name
- Rehabilitation & Code Analysis Key Plans
- Code Information
- Egress Plan

Revisions		
No.	Date	Description

Drawing Number
A100



1 Demolition Plan
Scale: 1/8" = 1'-0"



2 Enlarged Floor Plan
Scale: 1/8" = 1'-0"

DEMOLITION / RENOVATION NOTES:

SEE GENERAL NOTES ON DEMOLITION ON THIS SHEET.
GENERAL NOTE: THE OWNER HAS THE RIGHT OF FIRST REFUSAL FOR ALL EQUIPMENT AND FIXTURES (CABINETS, SHELVING, PLUMBING FIXTURES, ETC.) REMOVED UNDER CONTRACT. IF THE OWNER DOES NOT EXERCISE THIS RIGHT FOR AN INDIVIDUAL PIECE OF EQUIPMENT, THE CONTRACTOR SHALL REMOVE SAID EQUIPMENT FROM THE SITE.

EXTERIOR / BUILDING

- AT EXISTING EXTERIOR WALL CONSTRUCTION, BRACE AND SHORE UP EXISTING CONSTRUCTION TO REMAIN. SAWCUT AND REMOVE EXISTING WALL CONSTRUCTION TO WIDTH INDICATED ON DEMOLITION PLAN AND TO MIN. 8" ABOVE NEW OPENING HEIGHT. INSTALL NEW LINTEL ABOVE OPENING OF THICKNESS TO MATCH EXISTING ADJACENT WALL AND WIDTH TO ACCOMMODATE NEW OPENING SIZE. SEE FLOOR PLAN AND WALL SECTION. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO ENSURE BUILDING SECURITY AND WEATHER TIGHTNESS. FINISH ALL NEWLY EXPOSED SURFACES AND PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY RENOVATION TO MATCH EXISTING ADJACENT FINISH, INCLUDING TILE, PLASTER, ETC.
- SEE REFERENCE EARTHWORK SPECIFICATION AND GEOTECHNICAL ENGINEERING REPORT.
- AT INDICATED LOCATIONS, DEMOLISH AND REMOVE EXISTING METAL EDGE AND FLASHING, IF REQUIRED, BACK TO THE VERTICAL PLANE OF THE EXISTING EXTERIOR WALL. SEE FLOOR PLAN AND WALL SECTIONS FOR ADDITIONAL WORK REQUIRED. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO ENSURE BUILDING SECURITY AND WEATHER TIGHTNESS. PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY REMOVAL TO MATCH EXISTING ADJACENT FINISHES, ETC.
- REMOVE MECHANICAL STORM WALL LOUVERS AND RELOCATE. COORDINATE WITH MECHANICAL DRAWINGS. ALL HVAC WORK INCLUDING DEMOLITION, PATCHING AND REPAIR WILL BE PERFORMED BY HVAC TRADE CONTRACTOR.

CEILING

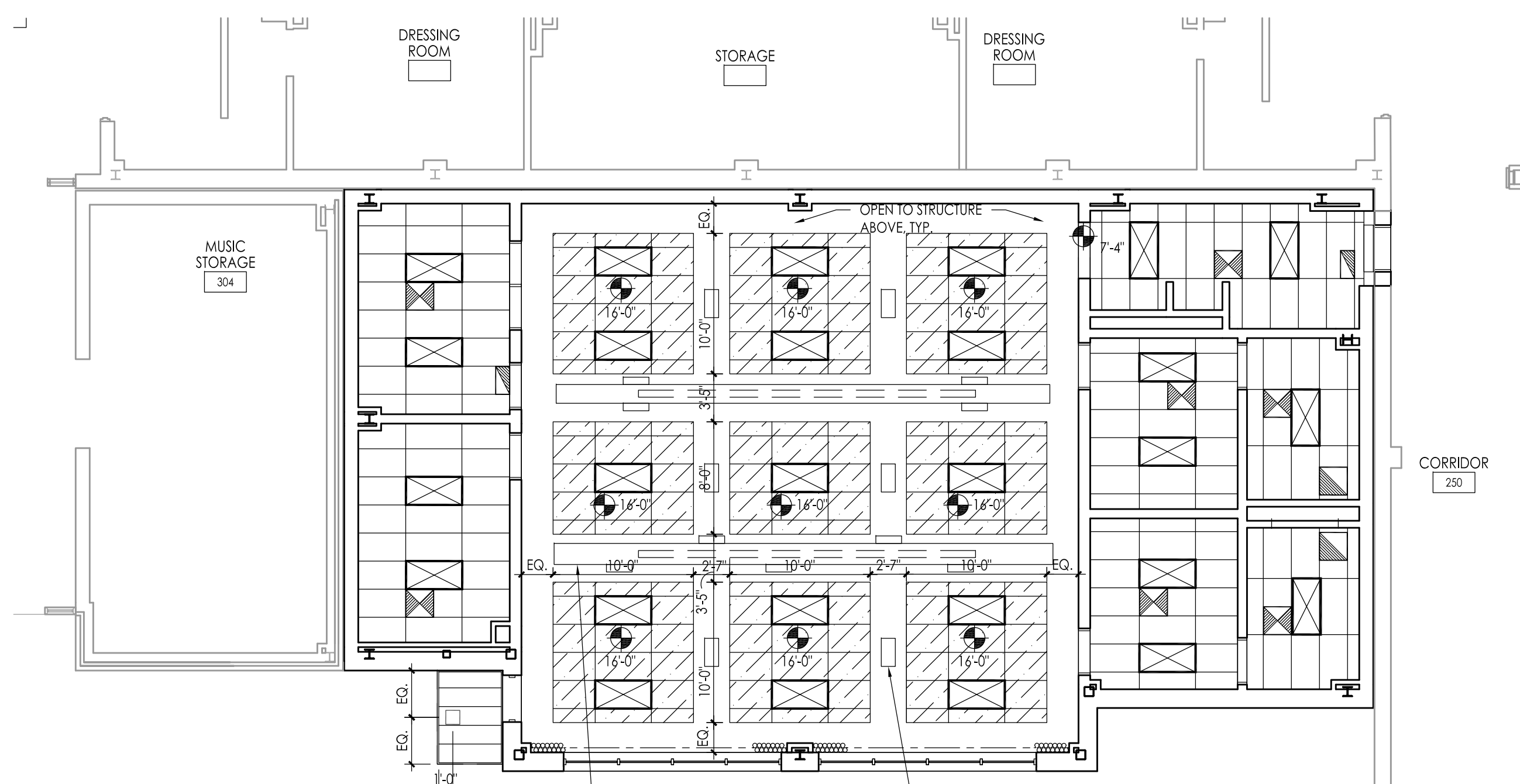
- DEMANTLE, REMOVE AND STORE EXISTING CEILING PANELS, SUSPENSION GRID AND APPLIANCES (ON Y AS REQUIRED) TO ACCOMMODATE RENOVATION. AFTER RENOVATION IS COMPLETE, VERIFY EXISTING SUSPENSION GRID TO FIT NEW LENGTHS. RE-INSTALL (WITH NEW HANGERS WIRE TO EXISTING STRUCTURE). ALL PANELS, GRID AND APPLIANCES IN PREVIOUS LOCATIONS UNLESS SUPERSEDED BY REFLECTED CEILING PLAN OR PLUMBING/HVAC/ELECTRICAL DRAWINGS. REPLACE ALL DAMAGED OR DEGRADED CEILING PANELS AND SUSPENSION GRID WITH NEW TO MATCH EXISTING. SEE PLUMBING/HVAC/ELECTRICAL DRAWINGS FOR ADDITIONAL WORK REQUIRED. ALL PLUMBING/HVAC/ELECTRICAL WORK INCLUDING REMOVAL AND RE-INSTALLATION OF CEILING SYSTEM, DEMOLITION, PATCHING AND REPAIR AND TEMPORARY SUPPORT OF EXISTING DEVICES TO REMAIN, BY RESPECTIVE TRADE PRIME SUB-CONTRACTOR (SINGLE OVERALL CONTRACT).

EQUIPMENT

- REMOVE AND STORE INDICATED EXISTING CABINET TO ALLOW RE-ROUTING OF EXISTING SPRINKLER DRAIN. REFER FIRE PROTECTION DRAWINGS. AFTER RENOVATION COMPLETE, RE-INSTALL CABINET IN EXISTING LOCATION. INSTALL NEW FINISHED FILLERS AND END PANELS AS REQUIRED. MATCH EXISTING CABINETS.

GENERAL NOTES ON DEMOLITION:

- ALL CONTRACTORS ARE ADVISED TO VISIT THE SITE AND VERIFY ALL AREAS AND CONDITIONS PRIOR TO SUBMITTING THEIR BIDS. THE CONTRACTOR MUST NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND/OR OMISSIONS IN WRITING AT LEAST SEVEN DAYS PRIOR TO THE RECEIPT OF BIDS. FAILURE TO DO SO NOTIFY THE ARCHITECT INDICATES THAT ANY ADDITIONAL COSTS ASSOCIATED WITH THE DISCREPANCIES AND/OR OMISSIONS ARE INCLUDED IN THE CONTRACTOR'S BID AND THAT NO CHANGE TO THE CONTRACT AMOUNT WILL BE MADE AFTER THE RECEIPT OF BIDS OR THE AWARD OF CONTRACT.
- ALL PLUMBING, MECHANICAL OR ELECTRICAL DISCONNECTS SHALL BE MADE BY THE RESPECTIVE TRADE SUBCONTRACTOR. ALL EQUIPMENT, DEVICES, FIXTURES, ETC., SHALL BE REMOVED FROM THE SITE BY THE RESPECTIVE SUBCONTRACTOR. NOTE: THE EXISTING FIRE ALARM SYSTEM SHALL NOT BE DIMINISHED NOR SHALL EXISTING FIRE ALARM DEVICES BE REMOVED UNTIL NEW DEVICES ARE READY FOR SWITCHOVER.
- UNLESS NOTED OTHERWISE ALL DEMOLITION MATERIAL SHALL BE REMOVED OFF SITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THERE ARE SOME SPECIFIC ITEMS DESIGNATED BY THE ARCHITECT FOR SALVAGE. THESE ITEMS ARE INTENDED FOR REUSE IN THE NEW CONSTRUCTION. THE CONTRACTOR MUST TAKE CARE IN THE REMOVAL AND STORAGE OF THESE ITEMS UNTIL THEY ARE NEEDED IN THE NEW CONSTRUCTION.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT PORTIONS OF THE EXISTING CONSTRUCTION WHICH ARE ADJACENT TO AREAS TO BE DEMOLISHED. MAKE ALL CUTS AS NEATLY AS POSSIBLE. REFER TO FLOOR PLAN DRAWINGS FOR FINISHING OF THESE AREAS.
- IF NOT OTHERWISE NOTED OR DETAILED, ALL SURFACES LEFT ROUGH OR UNFINISHED BY DEMOLITION AND WHICH ARE EXPOSED TO VIEW, SHALL BE PATCHED TO MATCH ADJACENT SURFACES AND FINISHED TO PROVIDE A UNIFORM APPEARANCE WITH REGARD TO SIZE, SHAPE, COLOR, TEXTURE AND MATERIAL.
- THE CONTRACTOR SHALL PROVIDE A PHYSICAL BARRIER TO CONTAIN DUST AND DIRT AROUND THE DEMOLITION AREA AND SHALL MAKE EVERY EFFORT TO KEEP THE DEMOLITION SITE AND SURROUNDING AREAS AS CLEAN AS POSSIBLE. ALL TEMPORARY PARTITIONS SHALL BE 1 HOUR RATED CONSTRUCTION AND INCLUDE A DOOR.
- NO DEMOLITION SHALL BEGIN UNTIL PROPER PROTECTION IS IN PLACE AND APPROVED BY ARCHITECT, OWNER AND CONSTRUCTION MANAGER TO ENSURE THE SAFETY OF THE PUBLIC, THE BUILDING OCCUPANTS, CONSTRUCTION WORKERS AND TO CONTAIN DUST AND DIRT WITHIN THE AREA OF DEMOLITION.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS REGARDING THE REMOVAL AND DISPOSAL OF ALL MATERIALS & EQUIPMENT.
- THE CONTRACTOR SHALL PROVIDE PROTECTION AGAINST INCLEMENT WEATHER FOR THE EXISTING BUILDING DURING THE INTERIM PERIOD BETWEEN DEMOLITION AND THE COMPLETION OF NEW CONSTRUCTION.
- THE CONTRACTORS SHALL TAKE INTO ACCOUNT THEIR METHODS OF CONSTRUCTION FOR THE NEW WORK AND INCLUDE IN THEIR BID THE COST OF ADDITIONAL DEMOLITION WORK NECESSARY TO FACILITATE THE CONSTRUCTION. THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE PARTIAL DEMOLITION OF WALLS AT THE POINTS WHERE NEW STEEL CONNECTS TO EXISTING BEAMS OR COLUMNS. THE AREA AROUND JOINTS BETWEEN NEW AND EXISTING CONSTRUCTION IN WALLS, FLOORS AND CEILINGS, AREAS OF SIDEWALK AND PAVING, ETC. MUCH OF THIS WORK IS INDICATED IN SECTIONS AND DETAILS RELATING TO THE NEW CONSTRUCTION.
- THE DEMOLITION WORK SHOWN ON THE PLANS IS INTENDED TO BE A GENERAL OVERVIEW OF MAJOR DEMOLITION WORK REQUIRED. IT IS NOT A COMPLETE AND EXCLUSIVE REPRESENTATION OF ALL DEMOLITION WORK NEEDED FOR EXECUTION OF THE PROJECT. WHEN PREPARING THEIR BIDS, CONTRACTORS MUST REFER TO THE FULL SET OF CONSTRUCTION DOCUMENTS FOR VARIOUS MISCELLANEOUS ITEMS WHICH MUST BE REMOVED AND/OR RELOCATED AS PART OF THE WORK.
- IF DURING THE DEMOLITION, RENOVATION AND ALTERATION WORK IN THE EXISTING BUILDING, STRUCTURAL ELEMENTS ARE UNCOVERED AND ARE FOUND TO BE UNSOUND OR OTHERWISE STRUCTURALLY DEFICIENT, THE GENERAL CONTRACTOR SHALL IMMEDIATELY ABOVE THE ARCHITECT AND THE STRUCTURAL ENGINEER OF RECORD OF THE CONDITION SO THAT APPROPRIATE MEASURES TO REINFORCE, SUPPORT OR REPLACE THE UNSOUND ELEMENTS CAN BE DESIGNED AND IMPLEMENTED.
- IF DURING THE DEMOLITION, RENOVATION AND ALTERATION WORK IN THE EXISTING BUILDING, EXISTING SPRAYED FIRE PROOFING IS REMOVED OR DAMAGED, THE GENERAL CONTRACTOR SHALL IMMEDIATELY REPAIR AND REPLACE THE SPRAYED ON FIRE PROOFING TO MATCH THE ORIGINAL FIRE RATING. SEE NOTE ON SHEET G003.



3 Reflected Ceiling Plan
Scale: 1/8" = 1'-0"

PLAN LEGEND

- BRICK
- NEW CMU PARTITION
- FE-1 NEW FIRE EXTINGUISHER IN SEMI-RECESSED CABINET (CMU WALL) - SEE DETAIL 5 / G003
- EJ EXPANSION JOINT - SEE DETAIL 3 / G003
- CJ INTERIOR CONTROL JOINT - SEE DETAIL 1 / G003
- DMB DRYMARKER BOARD - SEE SPECIFICATIONS AND DETAIL 4 / G002
- EB EXHIBITION BOARD - SEE SPECIFICATIONS AND DETAIL 5 / G002

PLAN NOTES

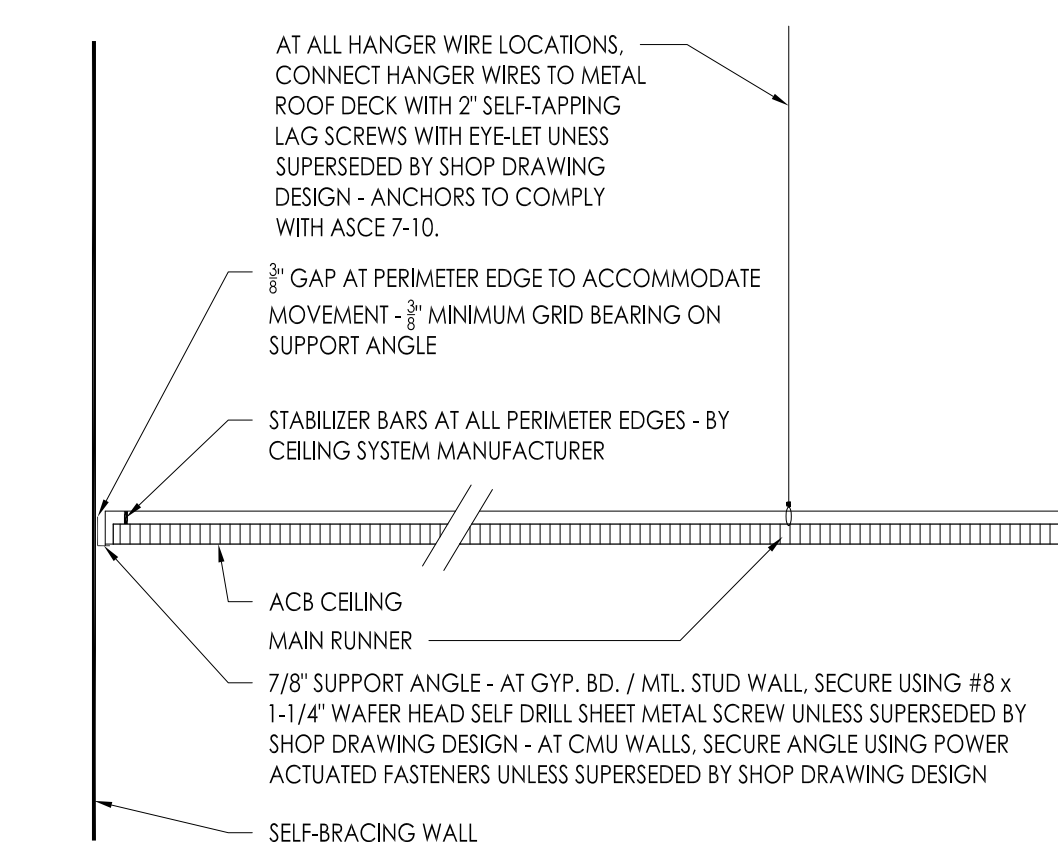
- ALL NEW WALLS SHALL EXTEND TO UNDERSIDE OF STEEL DECK UNLESS NOTED OTHERWISE.
- REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF EXTERIOR CONTROL JOINTS - SEE ALSO DTL. 3 / G003.
- SEE STRUCTURAL DRAWINGS FOR SEISMIC REINFORCEMENT DETAILS AND REQUIREMENTS FOR ALL INTERIOR AND EXTERIOR MASONRY WALLS.
- ALL EXPOSED EXTERIOR STEEL LINTELS SHALL BE PAINTED GALVANIZED STEEL.
- ALL BIDDERS MUST VISIT THE SITE AND VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO SUBMITTING A BID. IF ANY DISCREPANCIES OR OMISSIONS ARE FOUND, THE BIDDER(S) MUST NOTIFY THE ARCHITECT OF THESE, IN WRITING, AT LEAST TEN (10) WORKING DAYS PRIOR TO RECEIPT OF BIDS. IF THEY DO NOT DO SO, ANY MODIFICATION OR CORRECTION SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

REFLECTED CEILING PLAN LEGEND

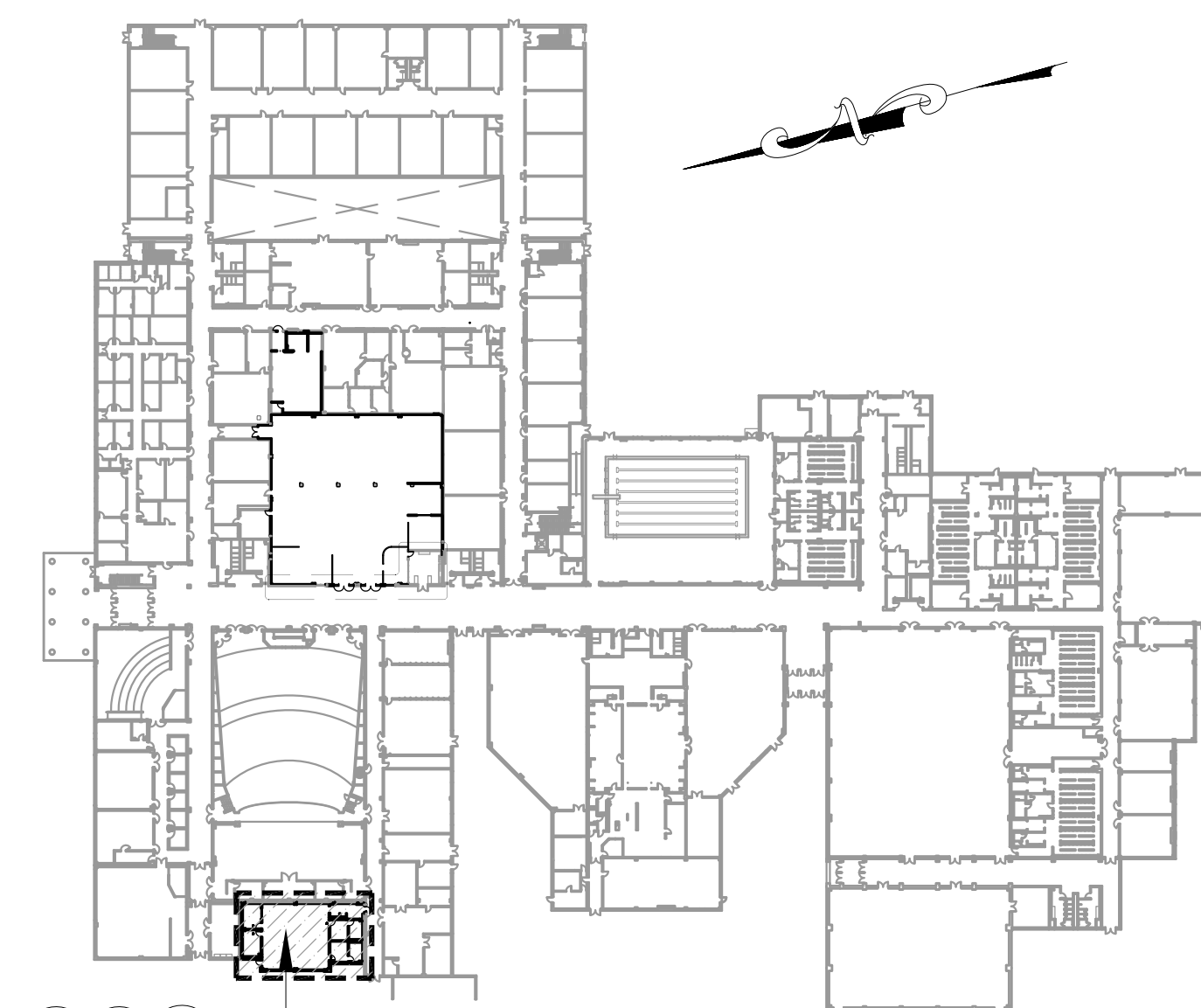
- ACB-1 - 2' X 4' ACOUSTICAL CEILING BOARD - SEE FINISH SCHEDULE FOR LOCATION & TYPE
- AACB-2 - 2' X 4' ACRYLIC ACOUSTICAL CEILING BOARD - SEE FINISH SCHEDULE FOR LOCATION
- DCS-1 - 2' X 4' ACOUSTICAL ACCENT CLOUD - SEE FINISH SCHEDULE FOR LOCATION & TYPE
- SUPPLY / RETURN / EXHAUST DIFFUSER (SEE HVAC DRAWINGS)
- LIGHTS (SEE ELECTRICAL DRAWINGS)

REFLECTED CEILING NOTES:

- SEE HVAC, PLUMBING AND ELECTRICAL DRAWINGS FOR TYPES, SIZES AND ADDITIONAL INFORMATION ON CEILING-MOUNTED DEVICES.
- ALL SPRINKLER HEADS, DIFFUSERS AND LIGHTS TO BE CENTERED IN THE GWB OR ACB CEILING UNLESS NOTED OTHERWISE.
- GENERAL HVAC, PLUMBING AND ELECTRICAL CONTRACTORS TO COORDINATE LOCATION OF SPRINKLER HEADS, DIFFUSERS AND LIGHTS.
- SEE ROOM FINISH SCHEDULE FOR CEILING HEIGHTS NOT SHOWN ON REFLECTED CEILING PLAN.
- A.F.F. = ABOVE FINISH FLOOR (MAIN DATUM ELEVATION)
- SEE DETAIL 4 / A101 FOR TYPICAL SEISMIC BRACING AT SUSPENDED CEILINGS.



4 ACB Seismic Bracing Detail
Scale: 1" = 1'-0"



Overall Building Key Plan: First Floor
Scale: 1:100

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DATE: 04/06/21

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Company: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 17433

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1

Project Date
04.06.2021

Checked By
GRD

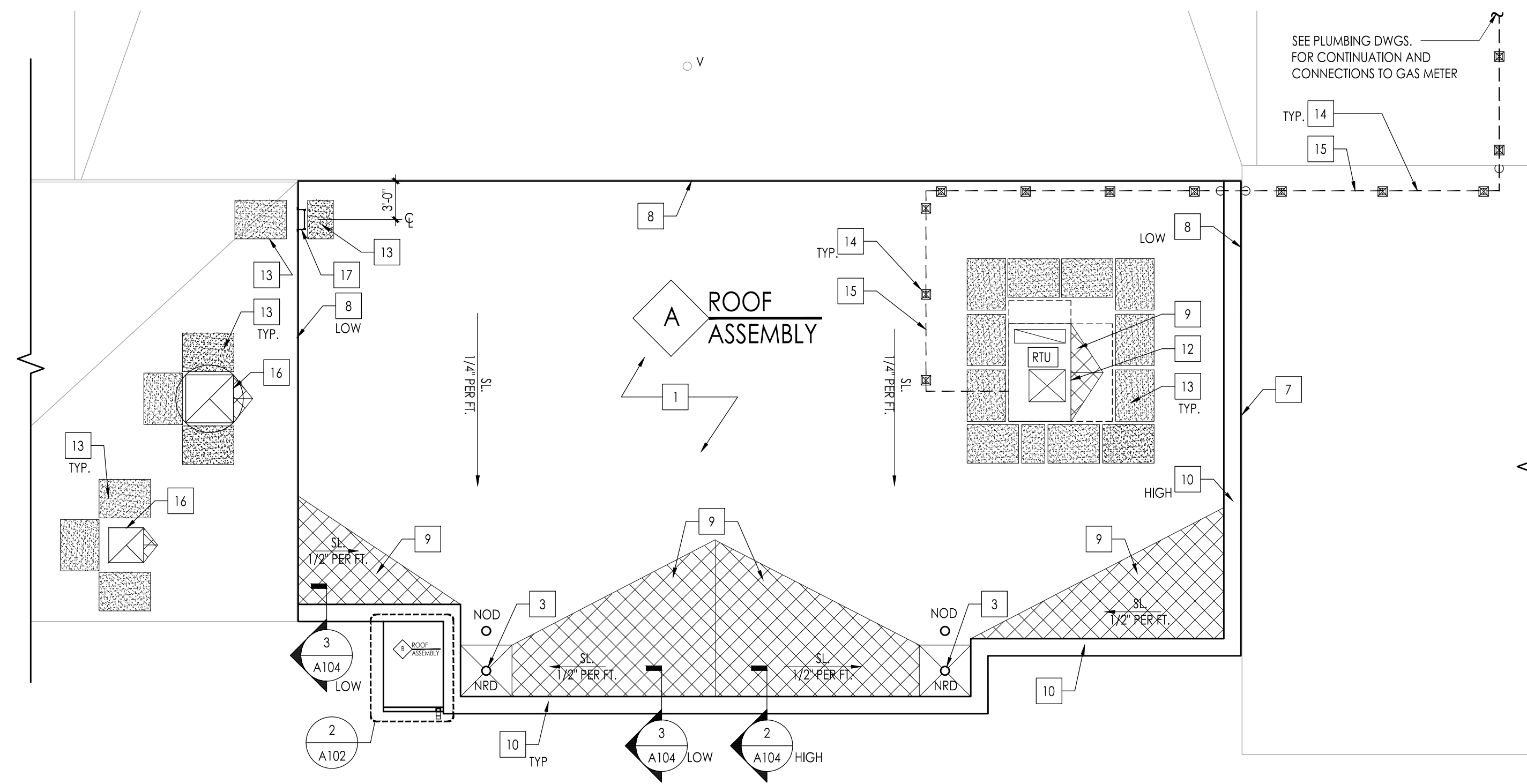
Drawn By
IB

Scale
1/8" = 1'-0"

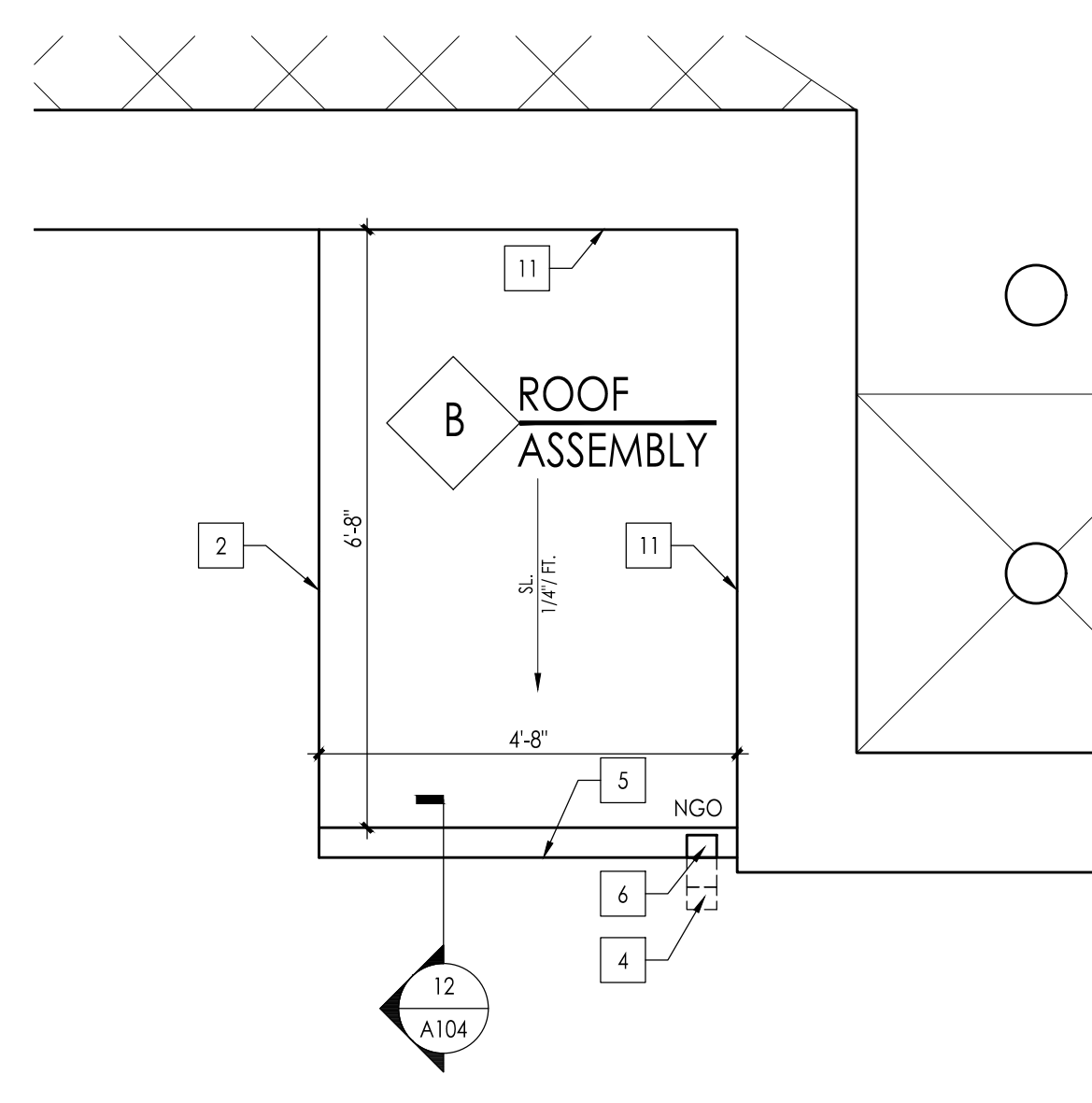
Drawing Name
- Demolition Plan
- Enlarged Floor Plan
- Reflected Ceiling Plan
- Notes

No.	Date	Description
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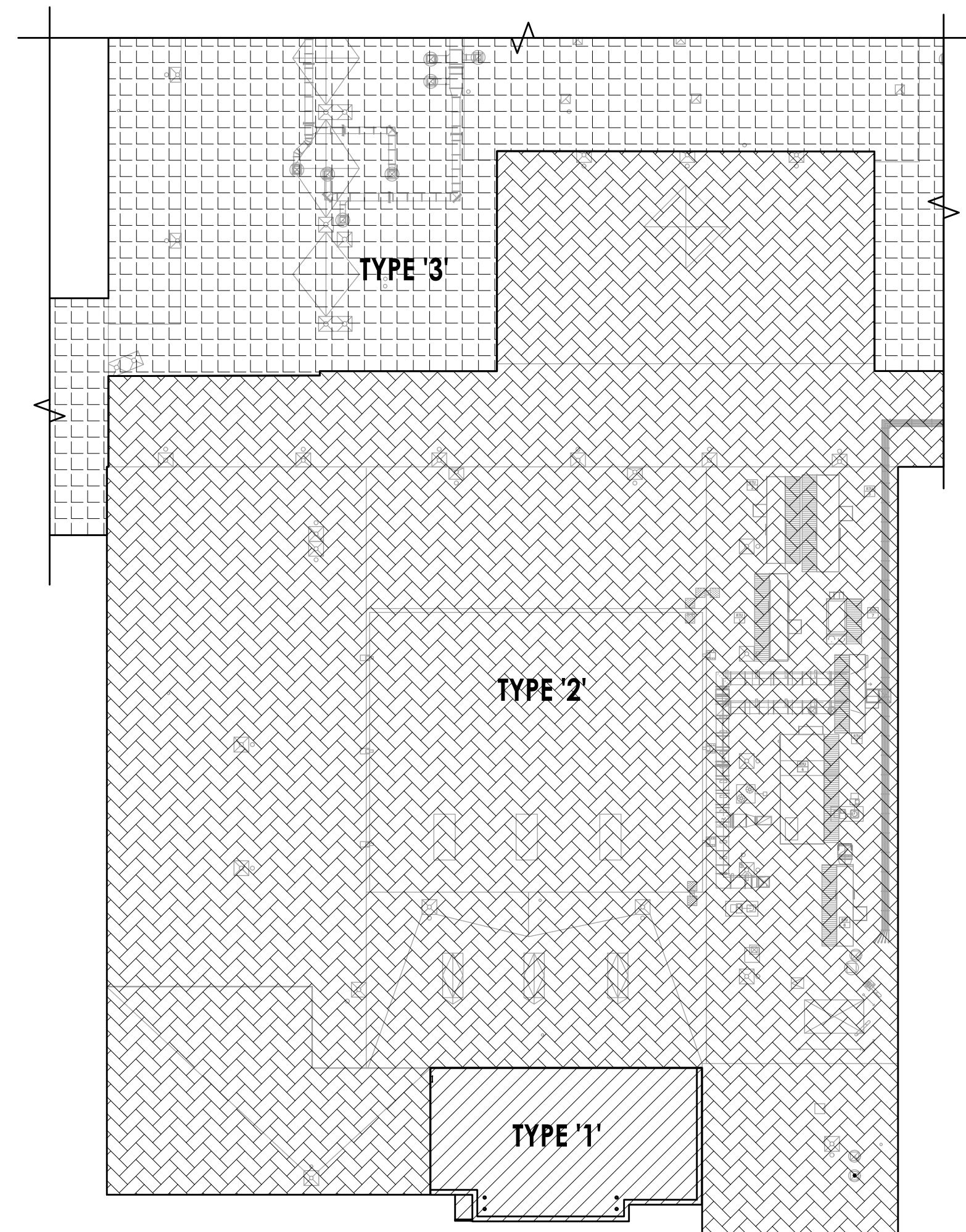
Drawing Number
A101



1 Roof Plan
Scale: 1/8" = 1'-0"



2 Enlarged Canopy Plan
Scale: 1/2" = 1'-0"



3 Existing Roof Warranty Information
Scale: 1/16" = 1'-0"

LEGEND	SYMBOLS
ROOF DRAIN "NRD" OVERFLOW ROOF DRAIN "NGO" TAPERED INSULATION	FLASHING DETAIL AND DRAWING NUMBER
NEW GUTTER OUTLET AND RAIN WATER LEADER	CONSTRUCTION NOTE FOR EPDM
EXHAUST FAN UNIT	DIRECTION OF ROOF SLOPE
ROOF TOP UNIT	PER FOOT SLOPED TAPERED INSULATION CRICKETS
WALKWAY PADS	ROOF ASSEMBLY TYPE
PIPE SUPPORT	
MOUNTED LIGHT SYSTEM	
EXISTING VENT PIPE	

ROOF KEY PLAN LEGEND	
	ROOF TYPE '1' - NEW EPDM ROOF SYSTEM INSTALLED UNDER THIS PROJECT - SEE ROOF PLAN AND DETAILS.
	ROOF TYPE '2' WARRANTY INFORMATION - EXISTING EPDM (CARLISLE W SOPREMA COATING) ROOF INSTALLED IN 1997 & COATING IN 2016 - WARRANTY NO. 102-00401, EXPIRATION IN 2031
	ROOF TYPE '3' WARRANTY INFORMATION - EXISTING EPDM (CARLISLE W GARLAND RESTORATION COATING) ROOF INSTALLED IN 2020 - WARRANTY NO. 20-0743-US, EXPIRATION IN 2035
NOTES FOR ROOF TYPES '1', '2' AND '3'	
A. ALL NEW ROOFING AND FLASHING WORK ON EXISTING ROOFS SHALL BE PERFORMED BY A ROOFING SUB-CONTRACTOR WHO MUST BE AN APPROVED INSTALLER OF THE EXISTING EPDM (CARLISLE W/ SOPREMA COATING) AND/OR (CARLISLE W/ GARLAND RESTORATION COATING) SYSTEM.	

GENERAL SHEET NOTES

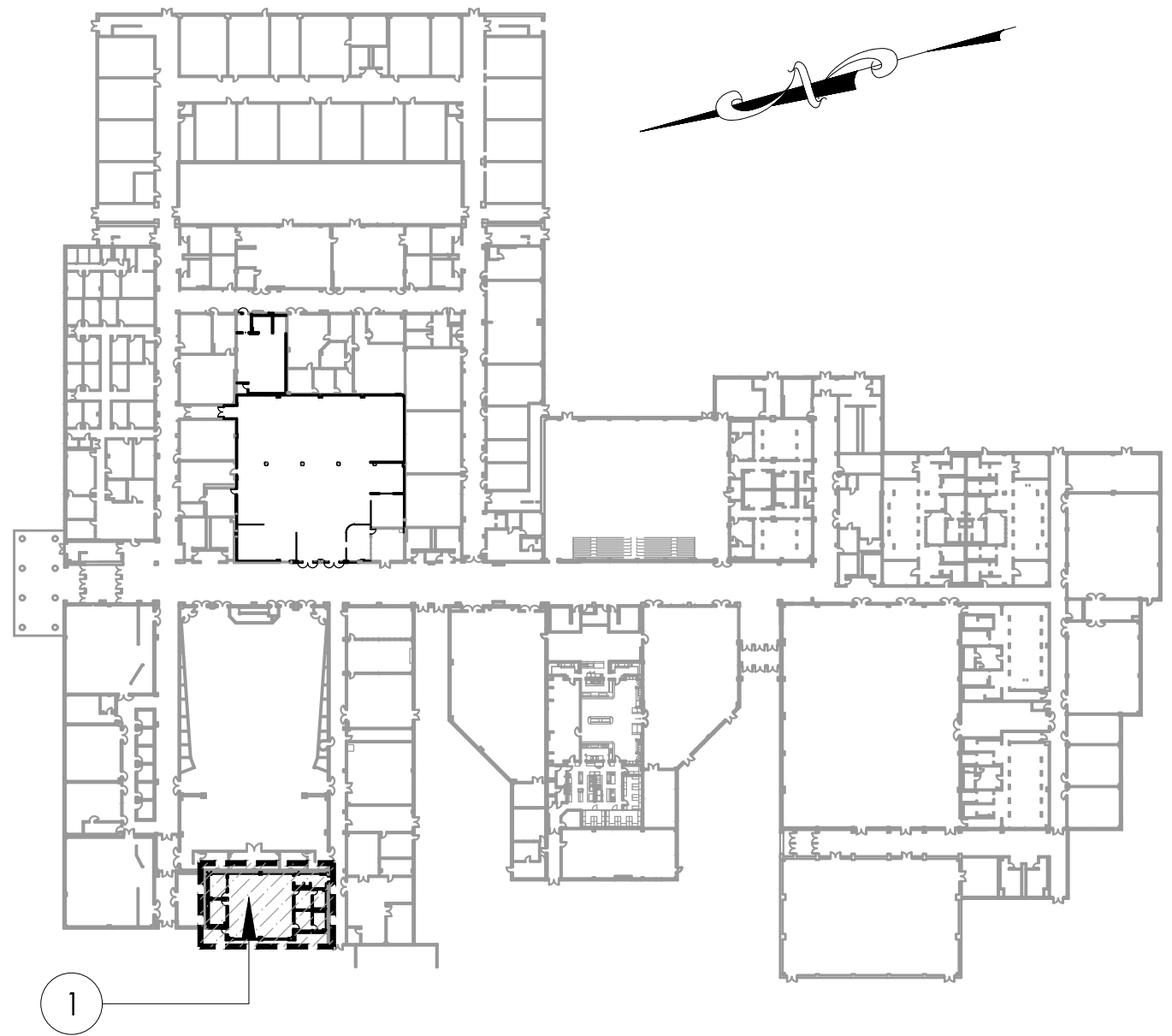
- REF. SHEET A103 FOR GENERAL CONSTRUCTION NOTES.
- COORDINATE ALL ROOF TOP UNITS AND ROOF PENETRATIONS WITH ALL APPLICABLE DISCIPLINES.
- REF. SHEET A103 FOR ROOF TYPE ASSEMBLIES.

RESPONSIBILITY CHART		
MATERIAL	FURNISHED BY	INSTALLED BY
EQUIPMENT CURBS	HVAC CONTRACTOR	HVAC CONTRACTOR
EQUIPMENT FLASHING	GENERAL CONTRACTOR	GENERAL CONTRACTOR
COUNTER FLASHING	HVAC CONTRACTOR	GENERAL CONTRACTOR

NOTE: THIS CHART SHALL ONLY APPLY AT CONDITIONS OF NEW ROOF CONSTRUCTION WHERE THERE IS A GENERAL PRIME CONTRACTOR AND AN HVAC PRIME CONTRACTOR CONTRACTED FOR THE PROJECT.

CONSTRUCTION NOTES - EPDM

- INSTALL ROOF PER ASSEMBLY NOTED ON PLAN AND SPECIFICATIONS. ROOF SYSTEM MUST HAVE A MINIMUM "R"-VALUE OF 30.0. INSTALL WATER DIVERTING SADDLES/CRICKETS WHERE SHOWN ON PLANS WITH TAPERED INSULATION MINIMUM 1/2" PER FOOT SLOPE. SLOPE IS PERPENDICULAR TO SADDLE/CRICKET VALLEY LINE. DO NOT WALK OR RUN EQUIPMENT UPON NEWLY APPLIED ROOFING PILES UNTIL THE ADHESIVE HAS SET UP TO ELIMINATE THE POTENTIAL FOR VOIDS.
- INSTALL METAL EDGE SYSTEM. COLOR SELECTED BY ARCHITECT. INSTALL PRE-WOOD BLOCKING TO MATCH HEIGHT OF THE INSULATION AND CRICKET. EXTEND SMOOTH BASE PLY OF ROOF SYSTEM DOWN THE FACE OF WOOD AND OVER TOP OF FASCIA BOARD METAL. INSTALL WATER CANT DAM AND STRIP WITH SMOOTH BASE PLY. INSTALL BASE FLASHING SYSTEM FROM THE ROOF UP AND OVER WATER CANT DAM. INSTALL METAL FASCIA AND EXTENDER SO THAT THE OUTSIDE VERTICAL LEG OF THE PERIMETER METAL FLASHINGS EXTEND DOWN PAST THE TOP EDGE OF THE TOP OF MASONRY, PLANK SIDING OR COMPOSITE ALUMINUM FASCIA BY 1". METAL EDGE SYSTEM MUST BE INCLUDED IN MANUFACTURER'S WARRANTY. REF. 11 & 12/A104 FOR CANOPY ROOF EDGE DETAIL.
- AT ROOF DRAIN LOCATIONS, INSTALL NEW CAST IRON ROOF DRAIN AND ASTM SCHEDULE 40 PVC ROOF DRAIN CONDUCTOR EXTENSION AS SPECIFIED. PROMOTE DRAINAGE BY INSTALLING TAPERED ROOF DECK INSULATION SUMP. RUN BASE PLY OF ROOF SYSTEM DOWN INTO DRAIN BELL. INSULATE DRAIN BELL AND PIPING. SET 3/4" SQUARE 4x8 LEAD FLASHING IN ROOF CEMENT IN DRAIN SUMP. CUT A HOLE IN THE LEAD SO THAT AT LEAST 1 INCH OF LEAD EXTENDS PAST THE CLAMPING RING ATTACHMENT POINTS. THE HOLE IN THE LEAD MUST BE LARGER THAN THE PIPING DIA. APPLY STRIPPING TO LEAD FLASHING. APPLY TOP PLY OF ROOFING SYSTEM. INSTALL NEW PIPE AS CLOSE TO EXISTING STRUCTURE ABOVE AS POSSIBLE. SLOPE PIPE AT 1/8" PER FOOT (REF. PLUMBING). SUPPORT PIPE WITH METAL PIPE HANGERS AS INDICATED. BRACKETS AND SHIELDS AT 4'-0" ON CENTER HUNG FROM STRUCTURE ABOVE. PROVIDE CLEAN-OUTS AT EACH DIRECTION CHANGE. INSULATE ALL NEW PIPE WITH PLASTIC COATED SEMI-RIGID PIPE INSULATION. USE FIRE RATED SEALANT IN ALL FIRE RATED ASSEMBLIES. OVERFLOW DRAINS ARE NOT TO HAVE A SUMPED DRAIN AREA. REF. 13/A103 AT MAIN DRAINS AND 12/A104 FOR ADDITIONAL INFORMATION AT CANOPY GUTTER & DOWNSPOUT.
- RAIN WATER CONDUCTOR BOOT: INSTALL NEW RAIN WATER CONDUCTOR BOOT. SEE DETAIL 13/A104. PROVIDE ALL FITTINGS AND ASSOCIATED APPURTENANCES TO CONNECT TO UNDERGROUND STORM SYSTEM REFER TO CIVIL DRAWINGS. TYPICAL OF ALL LOCATIONS.
- GUTTER EDGE: INSTALL PRE-FINISHED .050" ALUMINUM GUTTER AND LEADER. RUN ROOF MEMBRANE DOWN ONTO FACE OF NEW WOOD BLOCKING. WHERE SEAMLESS GUTTER CANNOT BE PROVIDED, INSTALL GUTTER IN 10' SECTIONS JOINED WITH BASE PLATES AND EXPANSION JOINTS NO MORE THAN 50' APART. PROVIDE EPDM SELF ADHERING MEMBRANE AT THE GUTTER INTERIOR JOINTS. PROVIDE DOWNSPOUT FABRICATED FROM .050" ALUMINUM. SIZE OF LEADER TO BE 4"x4" AND DESIGNED AS PER SMACNA REQ. INSTALL NEW METAL EDGE ON ROOF SURFACE EXTENDING DOWN INTO GUTTER. FASTEN 4" O.C. AND STRIP WITH MEMBRANE FLASHING. APPLY SEALANT AT EDGES OF STRIPPING. METAL DRIP EDGE SYSTEM MUST BE INCLUDED UNDER THE ROOFING MANUFACTURER'S WARRANTY AND MEET FM 1-90 FOR WIND UPLIFT. COLOR SELECTED BY ARCHITECT. (REF. 12/A104)
- DOWNSPOUT LOCATION. REF. CONSTRUCTION NOTE '5'
- REMOVE EXISTING METAL EDGE. INSTALL BASE FLASHING LEAVING A 1" EXPANSION JOINT BETWEEN THE EXISTING ROOF AND NEW RISING WALL. INSTALL INSULATION AND MEMBRANE SUPPORT IN THE 1" GAP.
- BASE FLASHING AT EXPANSION JOINT. REF. DETAIL 7/A104
- PER FOOT SLOPED TAPERED INSULATION CRICKETS
- AT ALL COPING COVERS, INSTALL PRE-ENGINEERED METAL COPING COVER SYSTEM. SYSTEM MUST HAVE SPRING CLIPS AND NO EXPOSED FASTENERS. SYSTEM MUST MEET FM 1-90 AND SYSTEM MUST BE INCLUDED IN MANUFACTURER'S WARRANTY. ENDS AT WALLS MUST BE TURNED UP AND COVERED WITH COUNTERFLASHING. INSTALL EXTENDER ON OUTSIDE FACE IF COPING FACE DOES NOT COVER TOP OF WALL PANEL, CMU OR BRICK. INSTALL TWO-PIECE COUNTERFLASHING ON INSIDE LEG. COLOR CHOSEN BY ARCHITECT. REFER TO DETAIL 2/A104
- CANOPY BASE FLASHING. REF. 9/A104
- AT ALL ROOFTOP EQUIPMENT ON FULLY ENCLOSED CURBS, INSTALL WOOD BLOCKING WHICH HAS BEEN FASTENED TO THE ROOF DECK TO MAINTAIN 8" MINIMUM FLASHING HEIGHT FROM THE SURFACE OF THE ROOF. INSTALL INSULATION AND CANT STRIP. RUN ROOF MEMBRANE UP CURBS 2" ABOVE THE CANT STRIP. INSTALL EPDM BASE FLASHING. FASTEN TOP EDGE AND INSTALL A REMOVABLE COUNTER FLASHING. SEE DETAIL 8/A103 AND FOLLOW MFR'S LATEST INSTALLATION REQUIREMENTS. CURBS MUST ALSO BE SET LEVEL WHERE REQUIRED FOR PROPER FUNCTIONING OF THE ROOF TOP UNIT. ALL COLORS ARE SELECTED BY ARCH. REF. NOTE 'R' ON SHEET A103 FOR CURBS AT EXISTING ROOF.
- WALKWAY PADS - INSTALL AROUND ALL ROOFTOP UNITS AND ROOFTOP EQUIPMENT. MODIFY WALKWAY PADS AS REQUIRED SO THAT THE PAD MUST NOT IMPEDE THE FREE FLOW OF WATER TO THE DRAINAGE POINTS. SEE DETAIL 3/A103.
- ROOF TOP PIPE SUPPORT. REF. 8/A103. REF. MECHANICAL AND PLUMBING FOR ADDITIONAL INFORMATION.
- NEW ROOF TOP GAS PIPE. REF. MECHANICAL AND PLUMBING FOR CONTINUATION AND ADDITIONAL INFORMATION.
- ROOF TOP EXHAUST FAN MOUNTED ON ROOF CURB. REF. 9/A103 FOR SIM. CONDITION AND REF. MECHANICAL FOR ADDITIONAL CURBS INFORMATION. NOTE: REF. GENERAL CONSTRUCTION NOTE 'R' ON SHEET A103. FOR ALL CURBS TO BE INSTALLED AT EXISTING ROOF.
- PROVIDE AND INSTALL ROOF ACCESS LADDER - SEE DETAIL 14/A104.



OVERALL BUILDING KEY PLAN
Scale: 1:100

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04/06/21
Date

F V H D P C . C O M

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1

Project Date
04.06.2021

Checked By
GRD

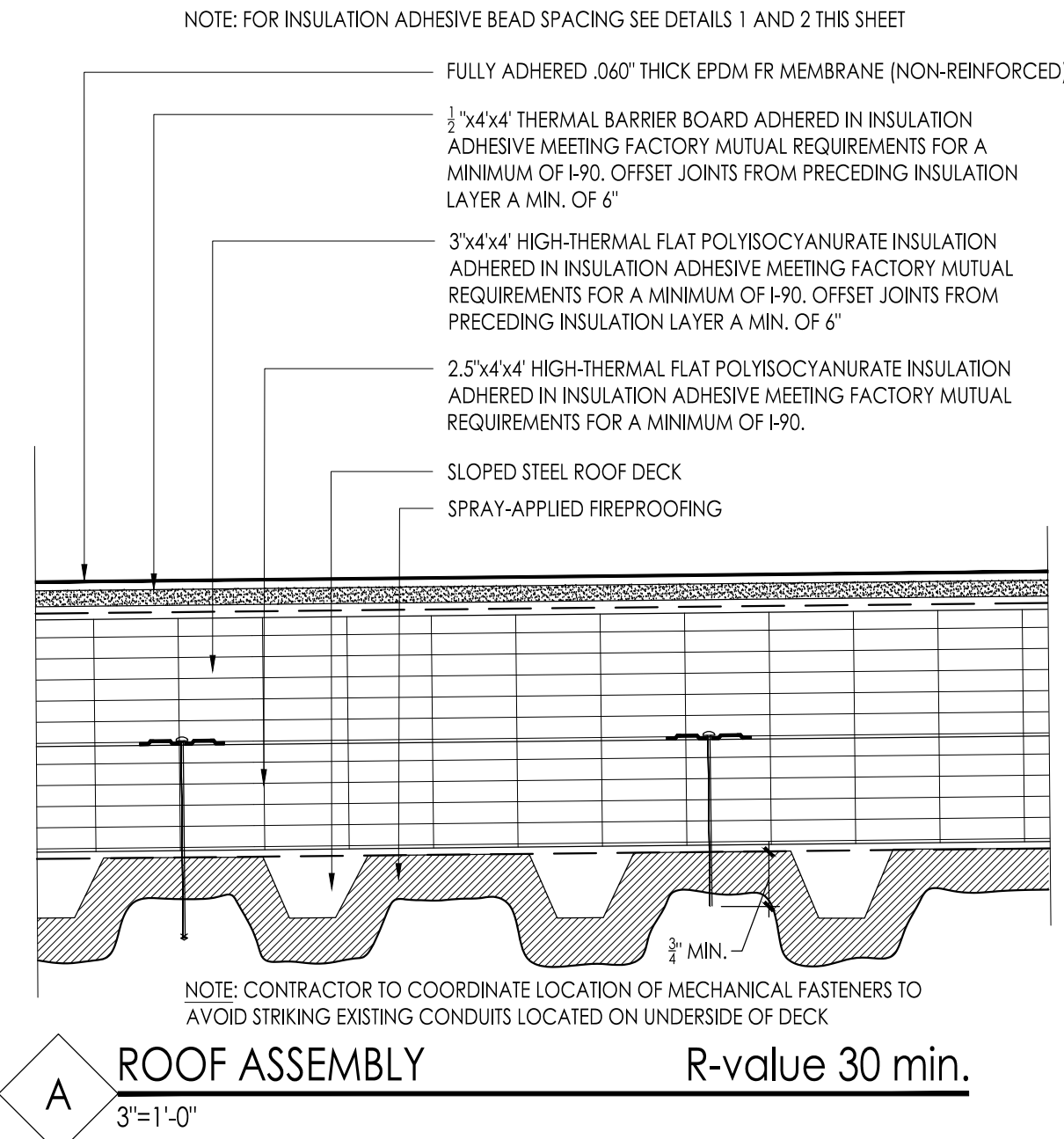
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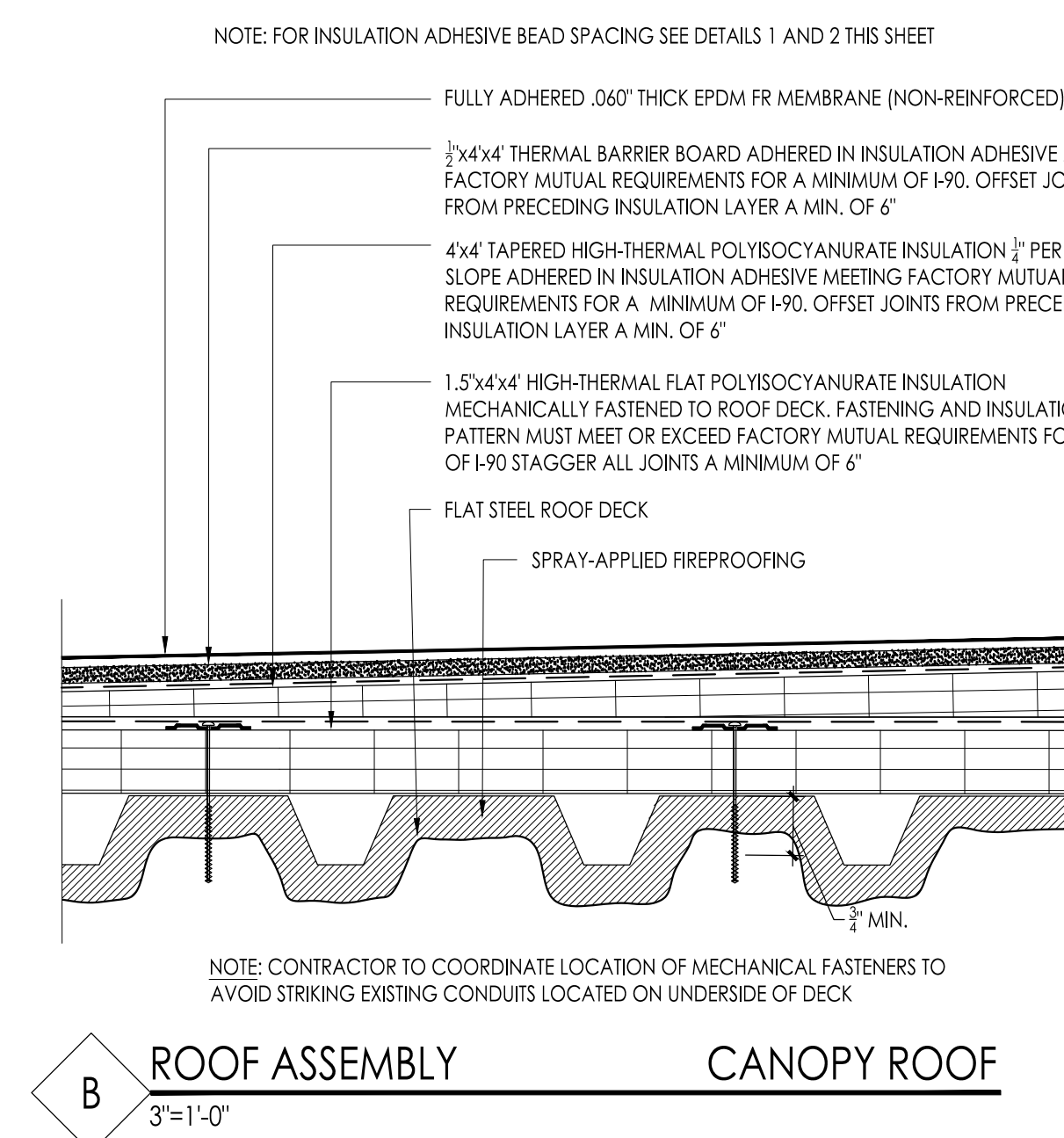
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**- Roof Plan
- Warranty Info.**

Revisions		
No.	Date	Description

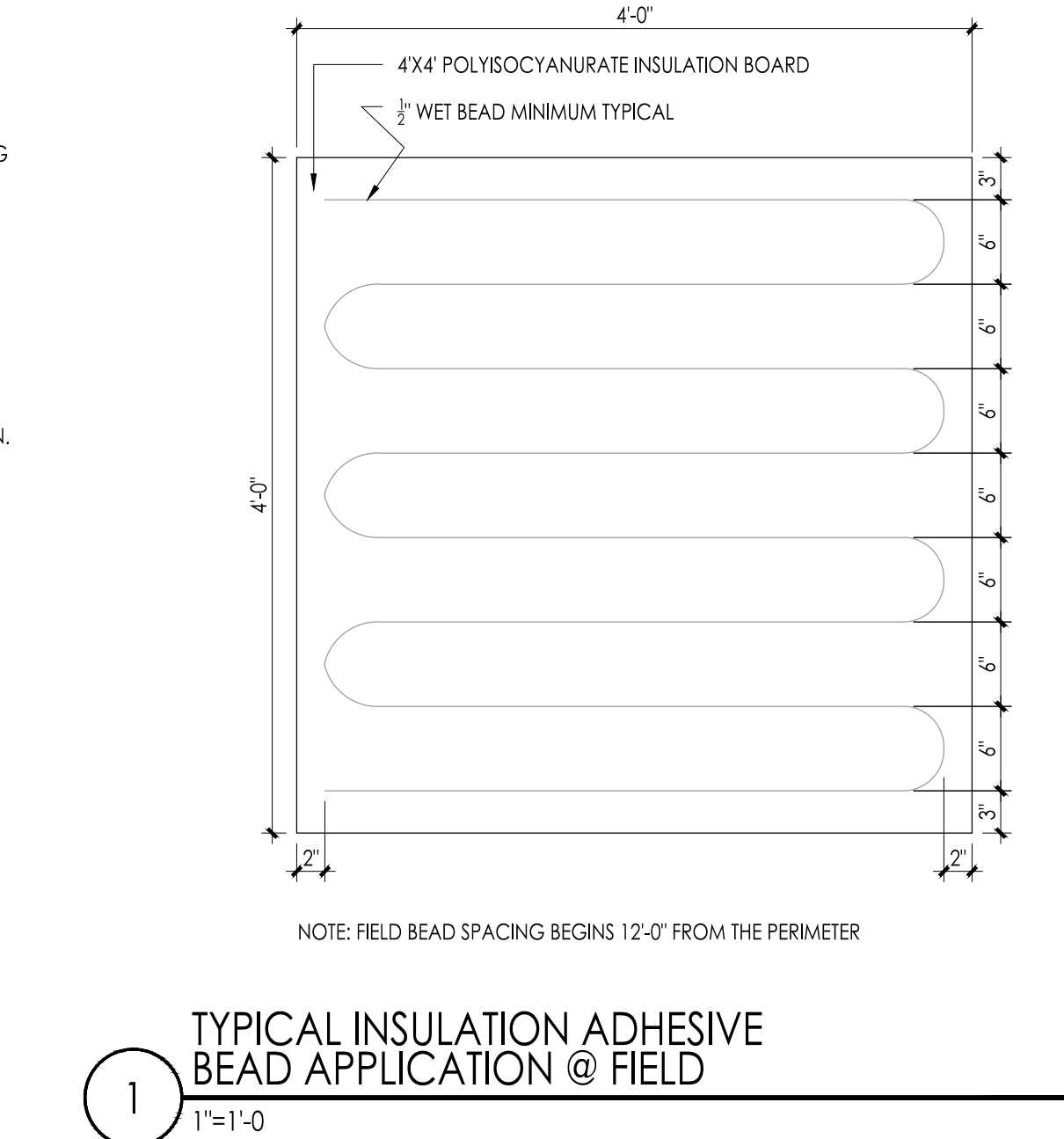
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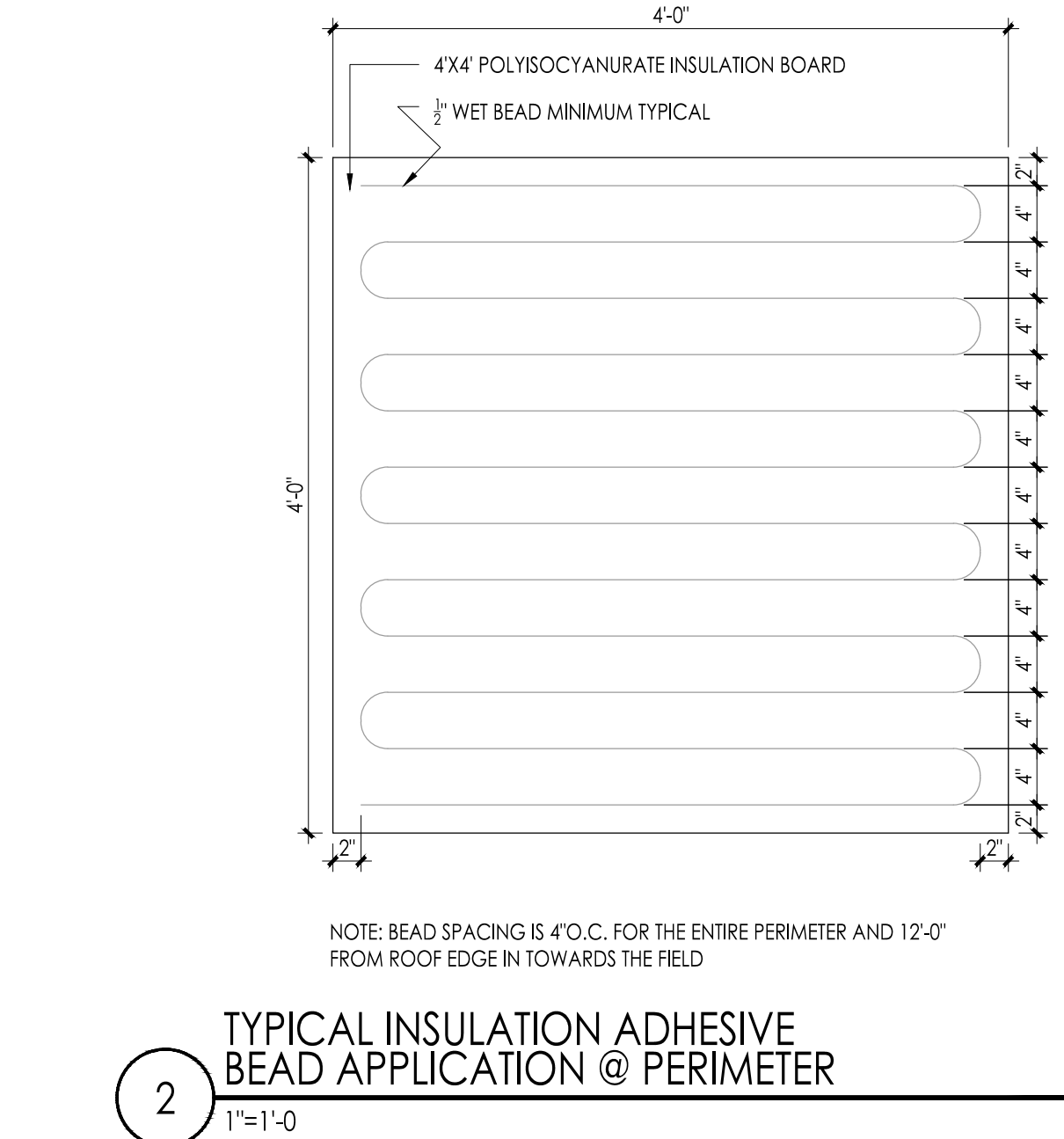
A ROOF ASSEMBLY
R-value 30 min.
3/8"=1'-0"



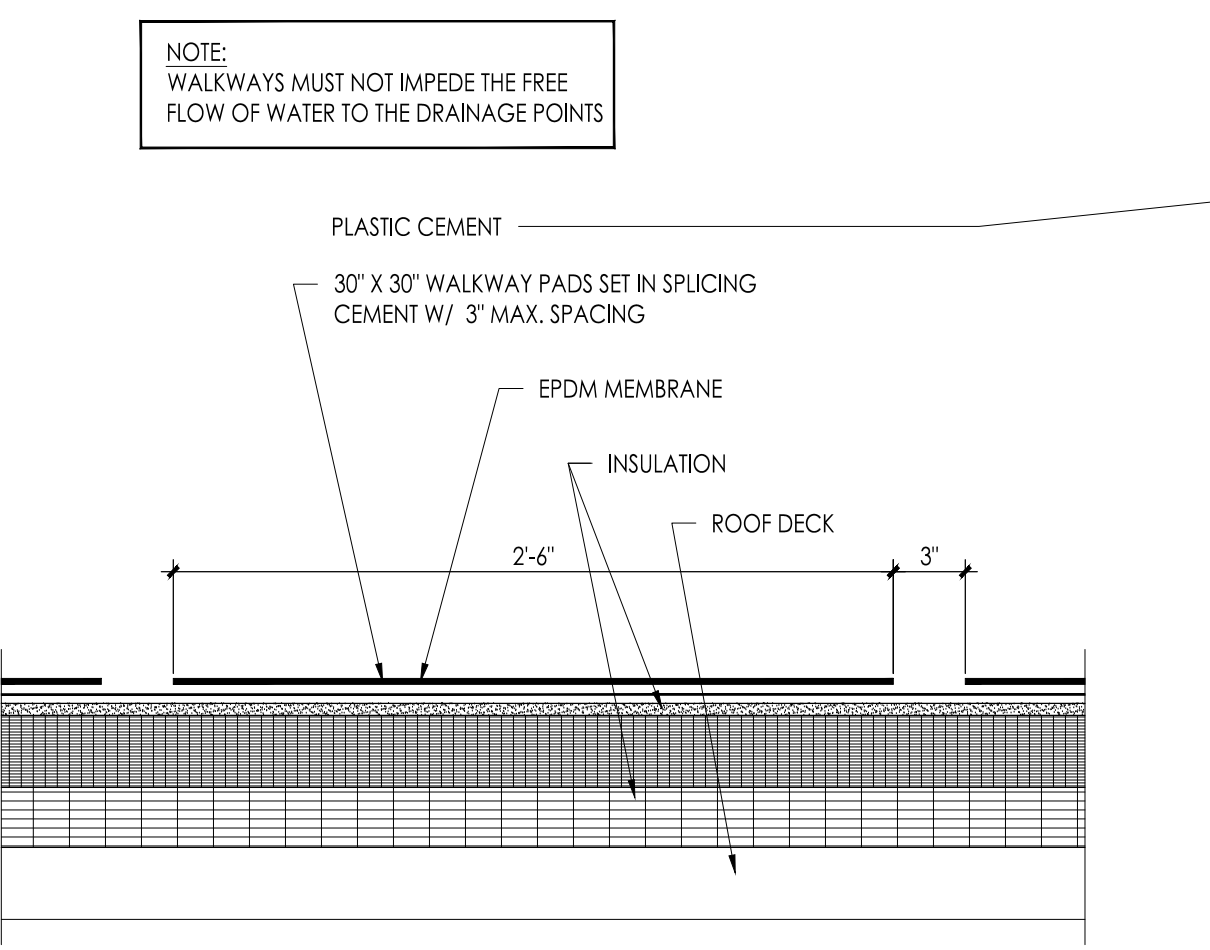
B ROOF ASSEMBLY
CANOPY ROOF
3/8"=1'-0"



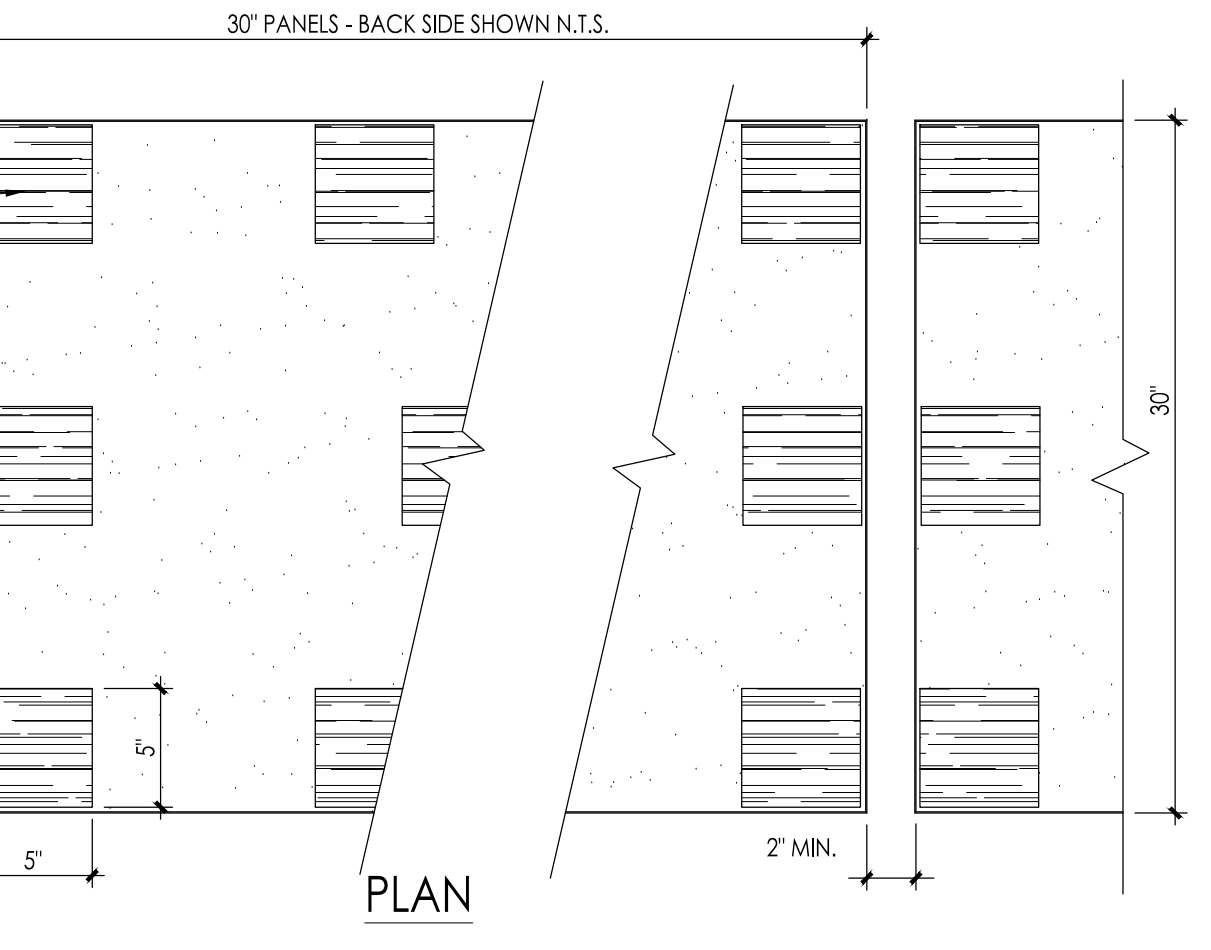
1 TYPICAL INSULATION ADHESIVE BEAD APPLICATION @ FIELD
1"=1'-0"



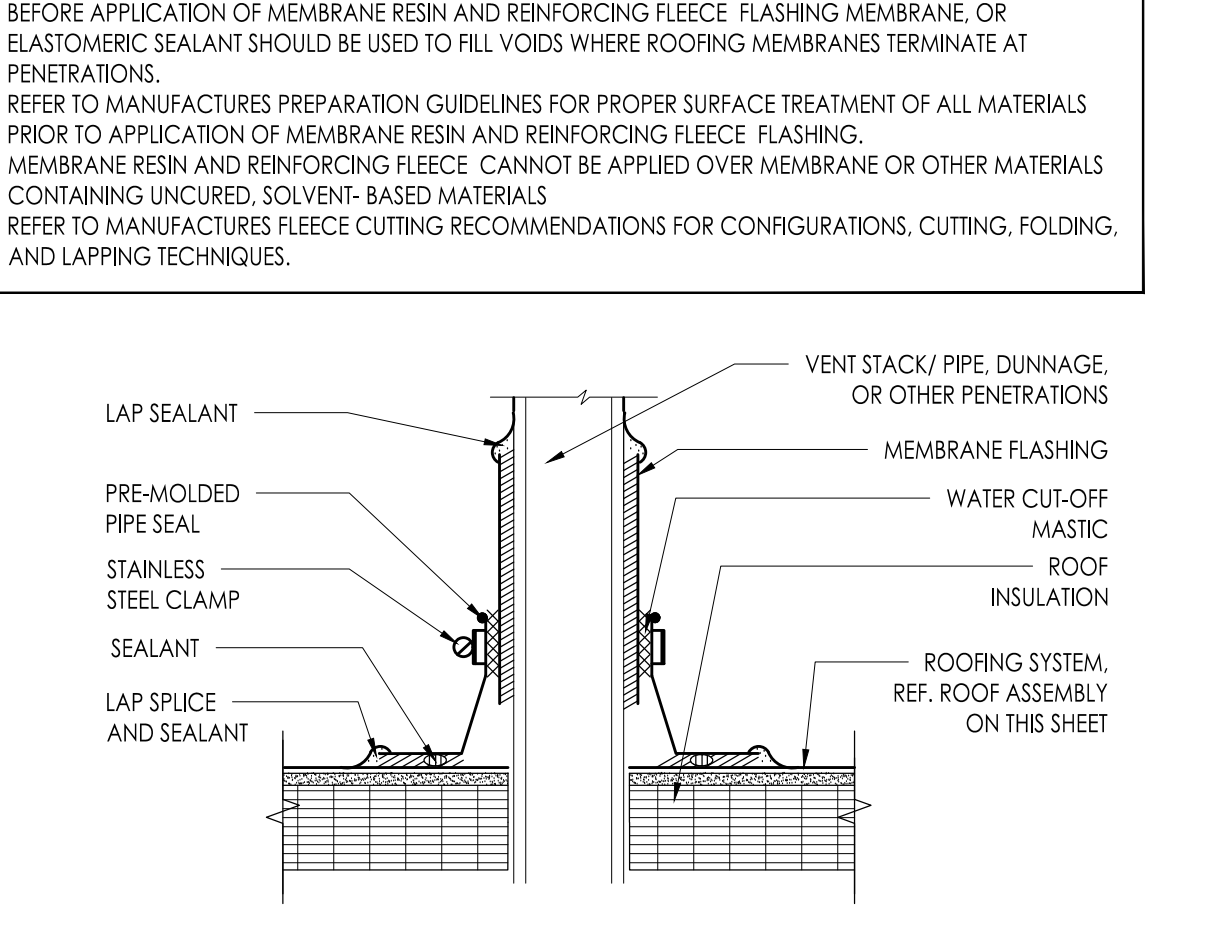
2 TYPICAL INSULATION ADHESIVE BEAD APPLICATION @ PERIMETER
1"=1'-0"



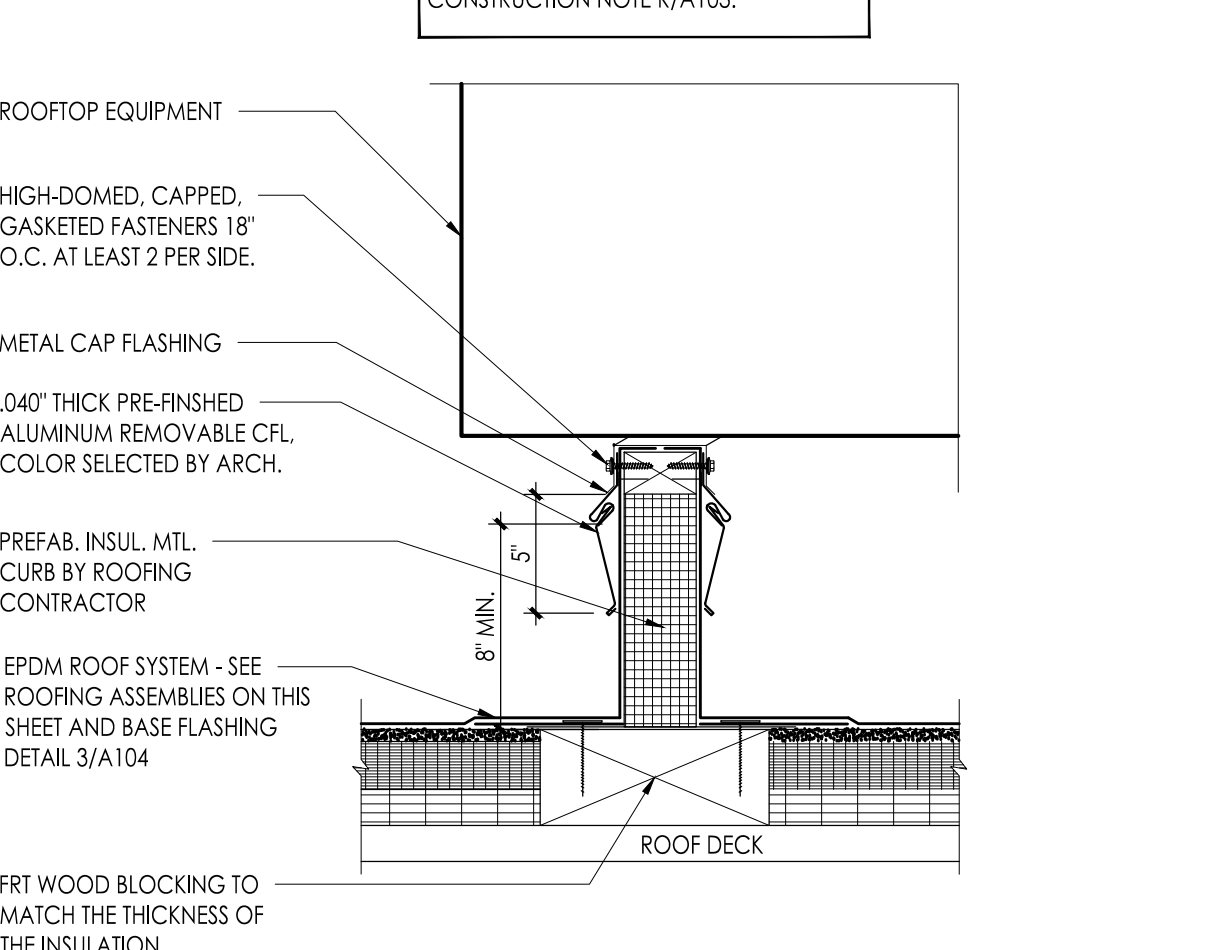
3 TYPICAL WALKWAY PAD
Scale: 1-1/2" = 1'-0"



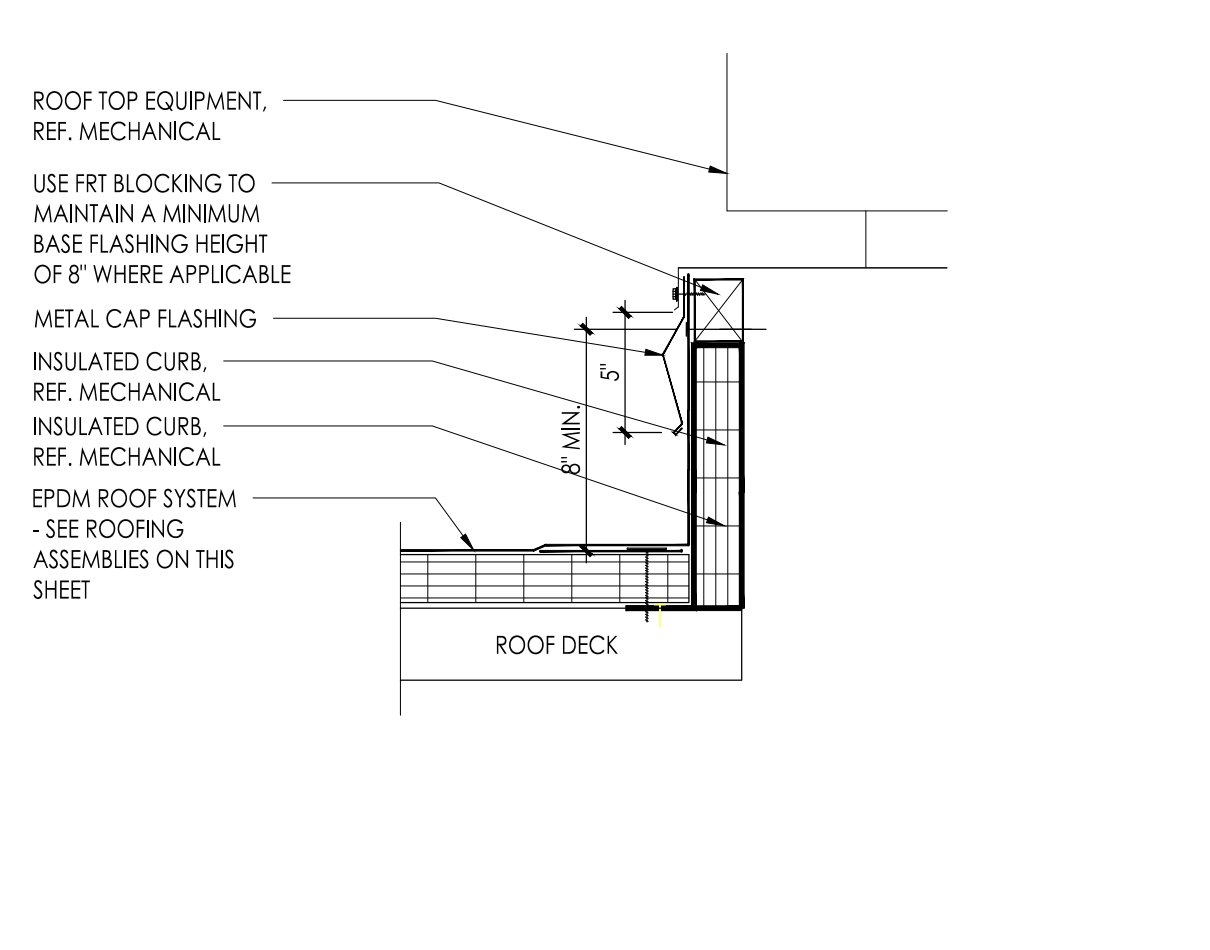
PLAN
Scale: 1-1/2" = 1'-0"



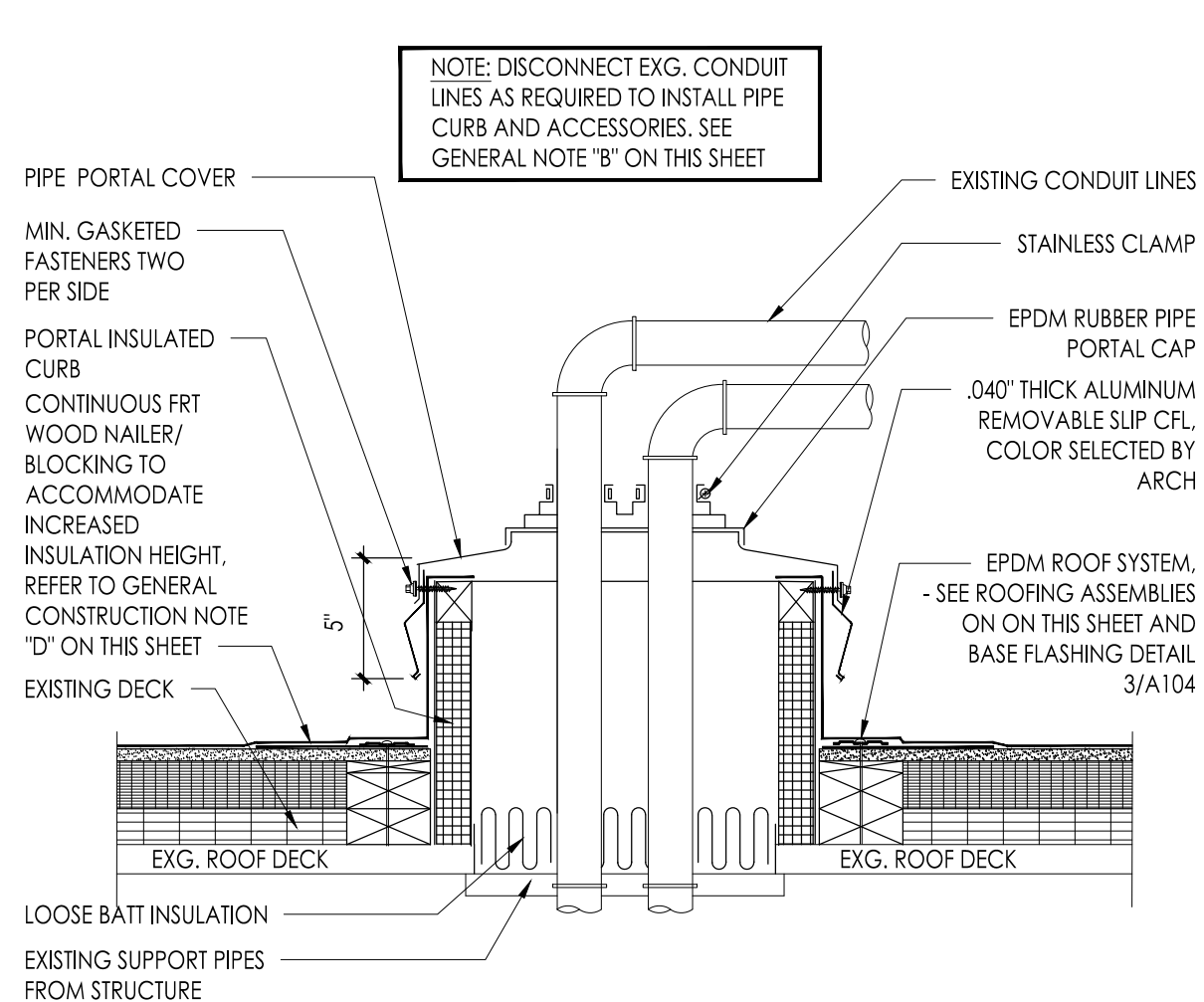
4 TYPICAL PVC PIPE/DUNNAGE DETAIL
Scale: 1-1/2" = 1'-0"



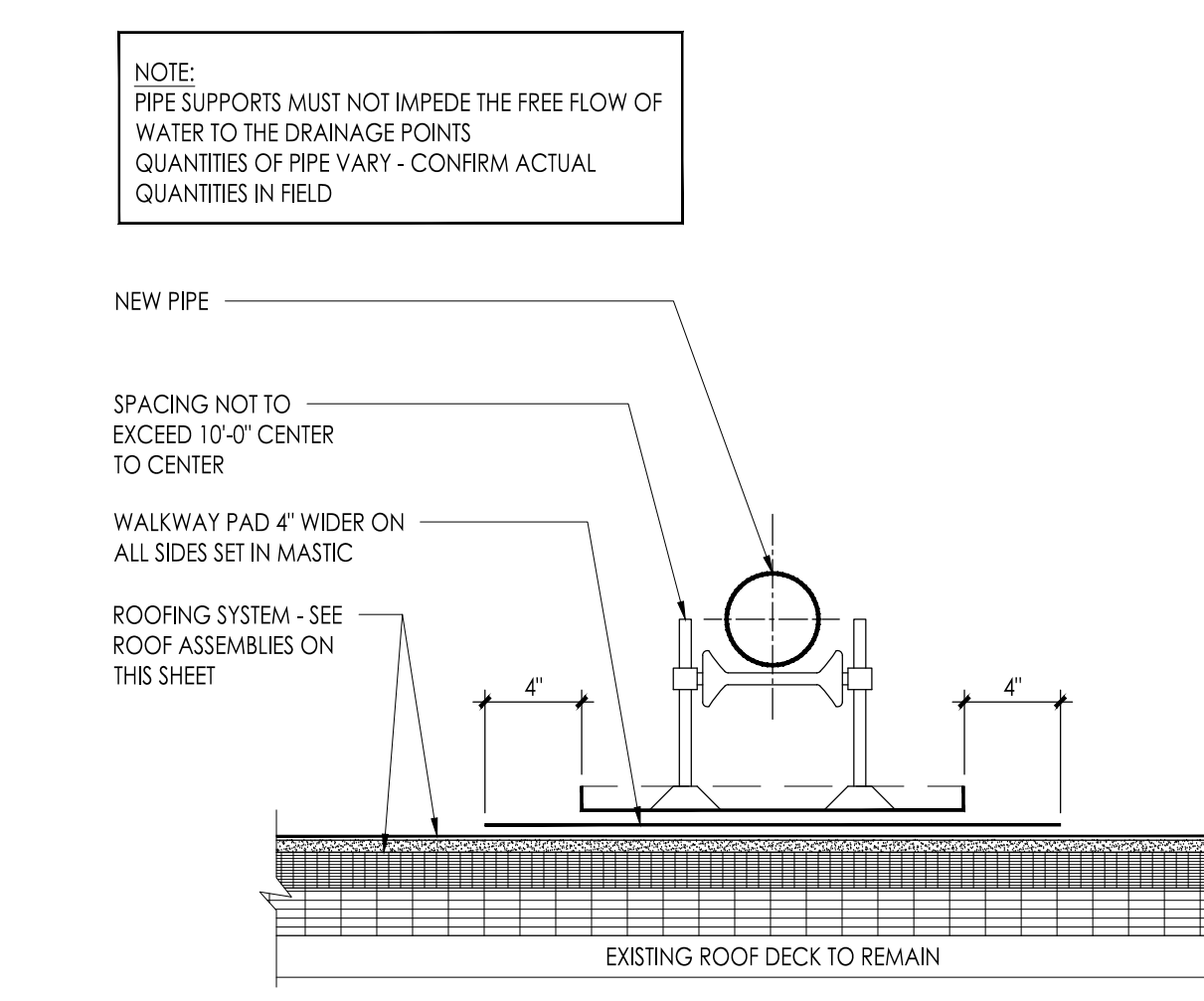
5 TYPICAL NEW ROOFTOP EQUIPMENT SUPPORT RAIL
Scale: 1-1/2" = 1'-0"



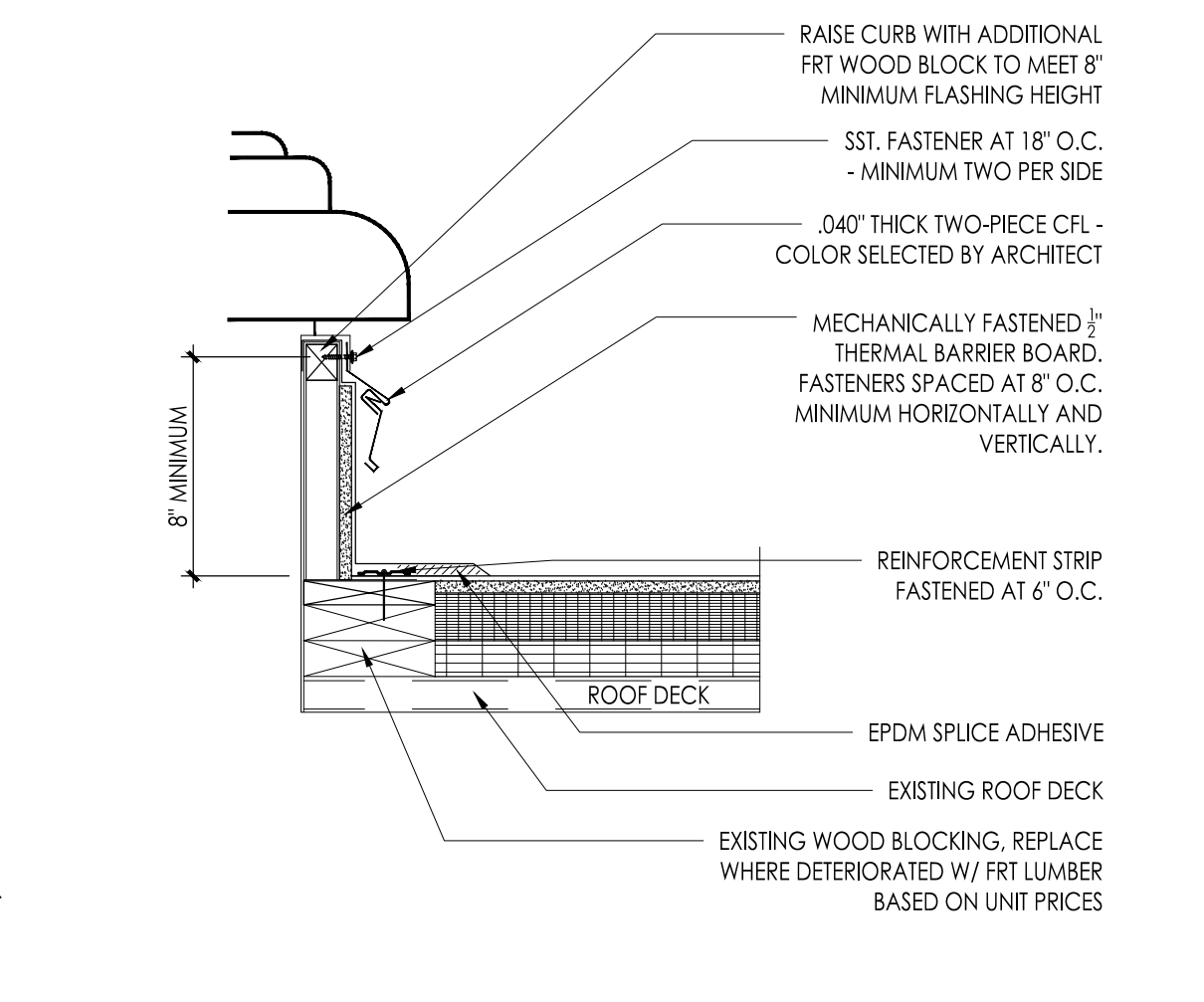
6 TYPICAL ROOFTOP UNIT AND GRAVITY VENT FLASHING DETAIL
Scale: 1-1/2" = 1'-0"



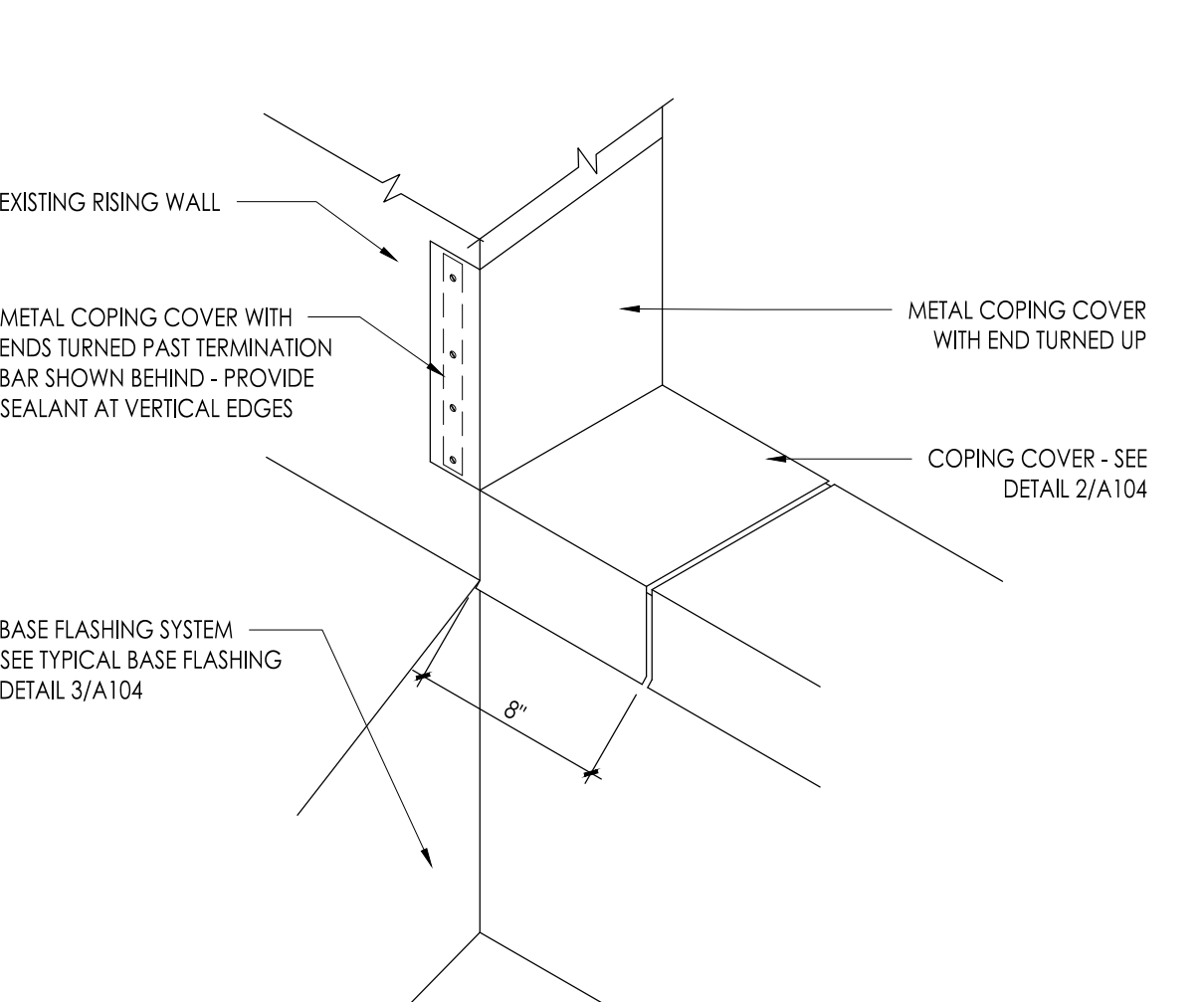
7 TYPICAL DETAIL AT PIPE CURB
Scale: 1-1/2" = 1'-0"



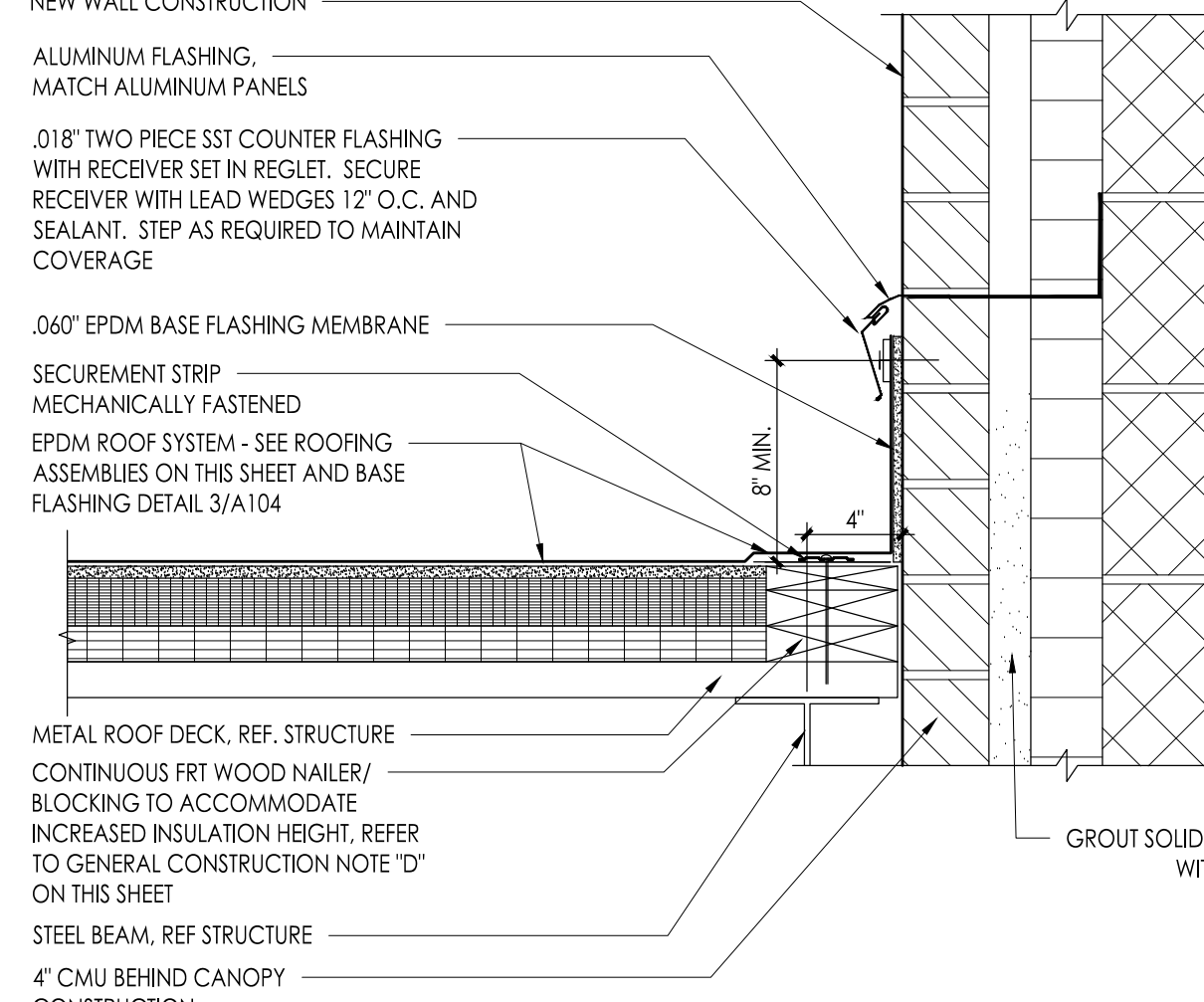
8 TYPICAL PIPE SUPPORT DETAIL
Scale: 1-1/2" = 1'-0"



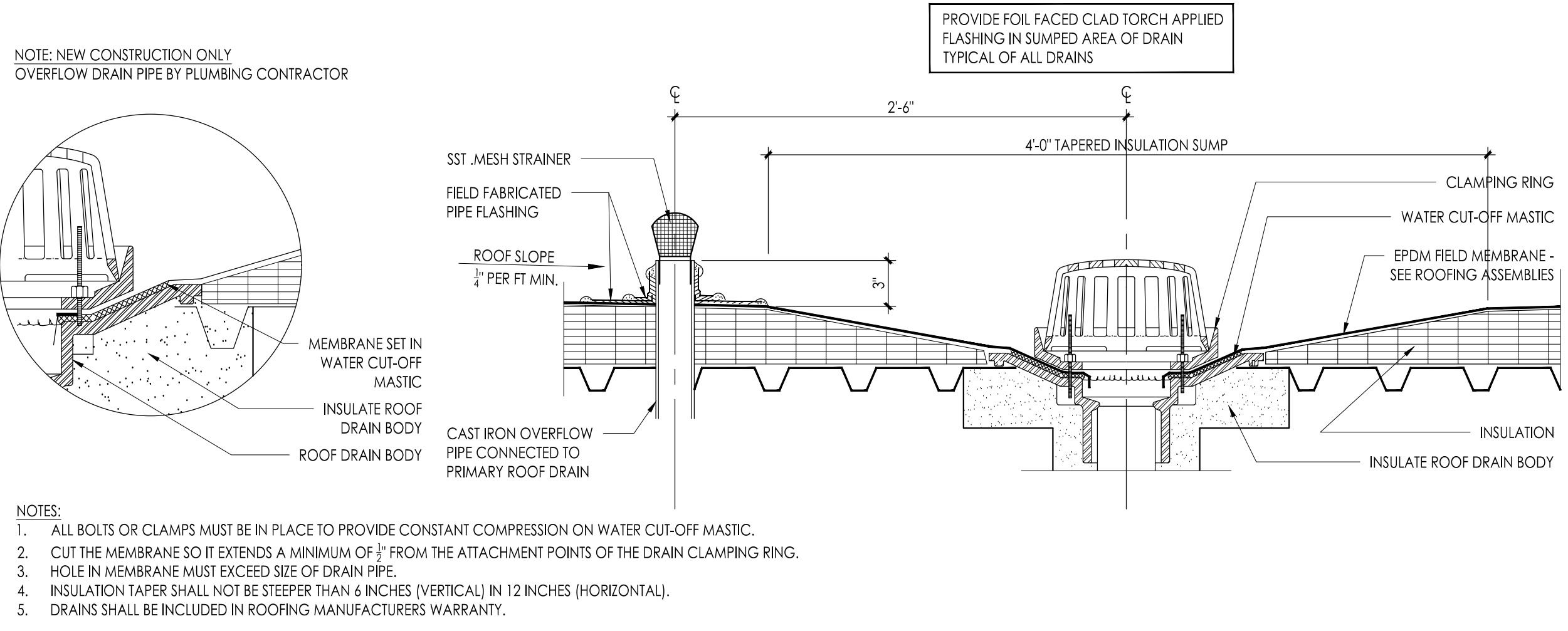
9 TYPICAL EQUIPMENT CURB DETAIL
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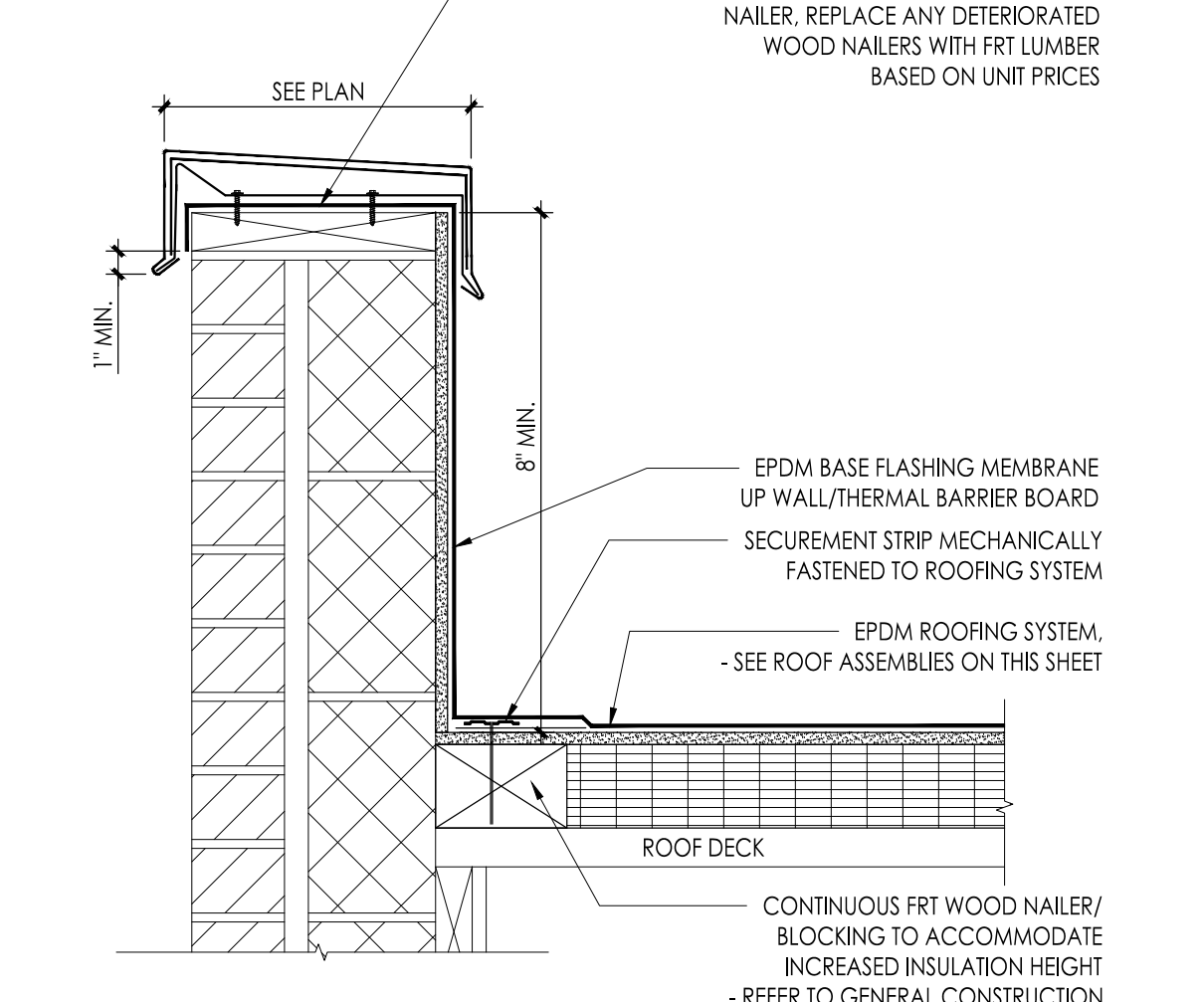
11 METAL COPING COVER TERMINATION
N.T.S.



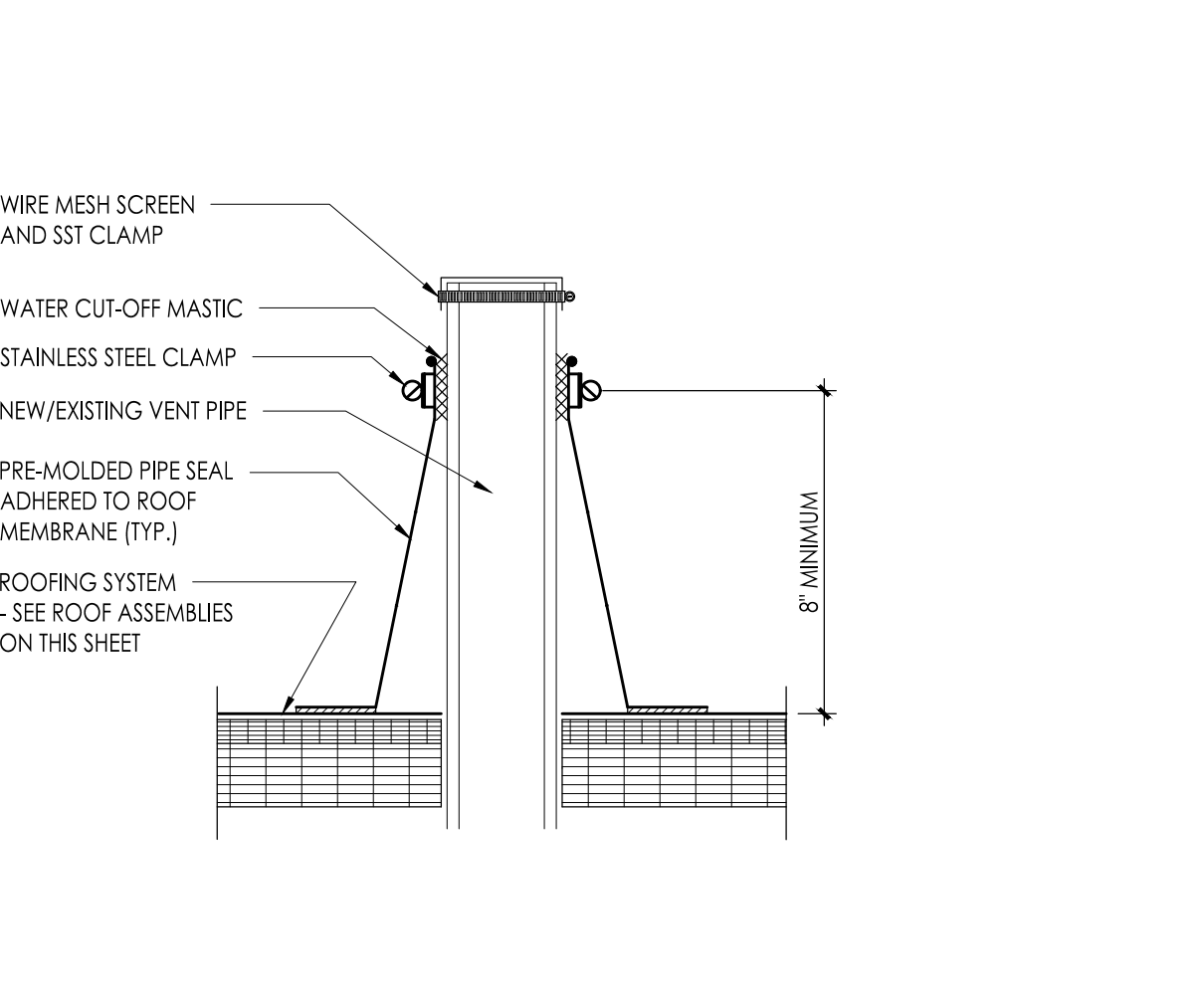
12 BASE FLASHING AT CANOPY
Scale: 1-1/2" = 1'-0"



13 TYPICAL NEW ROOF DRAIN & OVERFLOW DRAIN DETAIL
Scale: 1-1/2" = 1'-0"



14 PARAPET WALL WITH METAL COPING
Scale: 1-1/2" = 1'-0"



15 TYPICAL VENT PIPE DETAIL
Scale: 1-1/2" = 1'-0"

- NOTES:
1. ALL BOLTS OR CLAMPS MUST BE IN PLACE TO PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
 2. CUT THE MEMBRANE SO IT EXTENDS A MINIMUM OF 1/2" FROM THE ATTACHMENT POINTS OF THE DRAIN CLAMPING RING.
 3. HOLE IN MEMBRANE MUST EXCEED SIZE OF DRAIN PIPE.
 4. INSULATION TAPER SHALL NOT BE STEEPER THAN 6 INCHES (VERTICAL) IN 12 INCHES (HORIZONTAL).
 5. DRAINS SHALL BE INCLUDED IN ROOFING MANUFACTURERS WARRANTY.

GENERAL CONSTRUCTION NOTES

- A. PROVIDE ROOFING MATERIALS THAT COMPLY WITH A CLASS 'A' SYSTEM.
- B. ALL WORK PERTAINING TO THESE DRAWINGS SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND WITH ALL AGENCIES HAVING JURISDICTION.
- C. INSTALL WATER DIVERTING CRICKETS ON HIGH SIDE OF ROOF AT ROOFTOP UNITS, CURBS AS SHOWN ON PLAN.
- D. FRT WOOD BLOCKING SHOWN ON DRAWINGS IS DIAGRAMMATIC. PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING CONSTRUCTION IN THICKNESS AND HEIGHT TO MATCH THICKNESS OF INSULATION AND/OR TAPERED INSTALLATION AS RECOMMENDED BY ROOFING MANUFACTURER AND TO MAINTAIN A CONTINUOUS ROOF EDGE ELEVATION THROUGHOUT THE ENTIRE PROJECT.
- E. ALL CONDITIONS MEETING THE ROOF SURFACE PERPENDICULAR MUST HAVE A MINIMUM 8' FLASHING HEIGHT.
- F. DO NOT SCALE THE DRAWINGS.
- G. ALL LOW SLOPED ROOF AREAS ARE 1/2" PER FOOT IN THE FIELD AND 1/4" PER FOOT AT THE CRICKETS. SLOPE OF CRICKET IS PERPENDICULAR TO CRICKET VALLEY LINE.
- H. THE ROOFING CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL GOOD ROOFING PRACTICES INCLUDING THOSE SET FORTH BY THE ROOFING MATERIALS MANUFACTURER, THE SMACNA SHEET METAL MANUAL, FACTORY MUTUAL UNDERWRITERS LABORATORIES, AND THE NRCAS ROOFING AND WATERPROOFING MANUAL.
- I. THE ROOFING CONTRACTOR IS RESPONSIBLE FOR FLASHING ALL ROOF TOP PENETRATIONS, UNITS, AND CURBS ON THE ROOFS TO A WATERTIGHT CONDITION TO BE INCLUDED IN THE MANUFACTURERS WARRANTY. REVIEW ALL DRAWINGS INCLUDED IN THIS SET FOR ROOFTOP PENETRATIONS.
- J. ALL CRICKETS/ GUSSETS/ SADDLES SHALL HAVE A 3:5 RATIO. WHERE THIS CONDITION CANNOT BE ACHIEVED DUE TO VALLEY LINE OF CRICKET INTERSECTING MECHANICAL EQUIPMENT, PENETRATION AND A HIGH POINT GREATER THAN THE THRU-WALL COUNTERFLASHING, PROVIDE MAXIMUM CRICKET WIDTH TO PROMOTE POSITIVE DRAINAGE TO ALL ROOF DRAINS AND SCUPPERS.
- K. HIGH POINTS INDICATED ON DRAWINGS ARE SHOWN FOR GUIDANCE ONLY. THE ROOFING CONTRACTOR IS RESPONSIBLE FOR FINAL TAPERED INSULATION DESIGN. ANY REQUIRED ADJUSTMENTS MADE BY THE ROOFING CONTRACTOR TO THE INDICATED DESIGN ARE AT NO ADDITIONAL COST TO THE OWNER.
- L. 1. INSTALL ENVELOPE EDGES TO ELIMINATE THE POTENTIAL FOR EPDM AND ADHESIVE DRIPPAGE INTO THE BUILDING
2. ALL WOOD BLOCKING TO BE FRT. (FIRE RETARDANT LUMBER).
- M. CONTRACTOR SHALL AT ALL TIMES HAVE A FULL SET OF DRAWINGS AND SPECIFICATIONS ON ROOF TOP WHILE WORK IS IN PROGRESS.
- N. CONTRACTOR RESPONSIBLE TO RECTIFY ANY PONDING WATER ON FINISHED ROOF SURFACE THAT REMAINS AFTER 48 HOURS AT NO ADDITIONAL COST.
- O. DETAILS NOTED TYPICAL 'TYP' IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.
- P. THE ROOFING CONTRACTOR SHALL VERIFY THE EXACT LOCATION, DIMENSION, AND QUANTITY OF ALL ROOFTOP EQUIPMENT AND APPURTENANCES WHICH INCLUDES, BUT ARE NOT LIMITED TO: EXHAUST FANS, VENT PIPES, DRAINS, HATCHES, FLUE PIPES, HOT STACKS, HVAC EQUIPMENT, CURBS, BASE FLASHING AND OTHER PENETRATIONS AND WORK ASSOCIATED WITH THIS ROOF PROJECT INCORPORATE SAME IN THE ROOF INSULATION SHOP DRAWING SUBMITTAL.
- Q. THE ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM HIS DEMOLITION CAREFULLY CAUSING NO DAMAGE TO EXISTING MATERIALS. ANY EXISTING FINISHES OR CONSTRUCTION DAMAGED BY THE ROOFING CONTRACTOR WILL BE HIS RESPONSIBILITY TO REPAIR TO THE SATISFACTION OF THE ARCHITECT AT NO ADDITIONAL COST TO OWNER. PRIOR TO THE COMMENCEMENT OF WORK, ARCHITECT & ROOFING CONTRACTOR WILL INSPECT PROJECT AND NOTE EXISTING DAMAGES TO FINISHES OR CONSTRUCTION.
- R. CONTRACTOR SHALL MAKE NECESSARY TRENCHES AND ALTERATIONS TO EXISTING ROOF IN ACCORDANCE WITH ORIGINAL ROOF MANUFACTURERS REQUIREMENTS, SO AS TO MAINTAIN ORIGINAL WARRANTY ON EXISTING ROOF.
- S. THE ROOFING CONTRACTOR SHALL COORDINATE ALL DUMPSTER STAGING AND TRUCK ROUTES WITH THE GC. THE ROOFING CONTRACTOR SHALL PROTECT ALL EXISTING PAVED AND PLANTED AREAS. THE GC SHALL REPAIR ANY PAVED OR PLANTED AREAS TO THE SATISFACTION OF THE OWNER. THE REPAIRS ARE TO INCLUDE, BUT ARE NOT LIMITED TO: REPAIRING OF ASPHALT DRIVEWAYS AND PARKING LOTS, REGRADING AND SEEDING OF LAWN AND PLAYGROUND AREAS AND REPLACING DAMAGED PLANTS, SHRUBS, ETC. ALL REPAIRS AND RESTORATIONS SHALL BE DONE AT NO ADDITIONAL COST IN THE CONTRACT PRICE.
- T. ALL TAGGED DETAILS ARE TYPICAL FOR THE ITEM OR SYSTEM INDICATED. THE SCOPE OF WORK INDICATED AS PART OF THE TAG OR DETAIL MARK SHALL APPLY TO ALL OTHER SIMILAR SYMBOLS OR ITEMS.
- U. THE EXG BUILDING IS OCCUPIED. THE ROOFING CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND FOR THE SAFETY OF ALL PERSONS AT THE PROJECT SITE.
- V. FOR PURPOSES OF THIS PROJECT, REMOVE SHALL MEAN REMOVE AND DISPOSE OF SAME OFF SITE IN AN APPROVED AND LEGAL MANNER.
- W. THE TERM TYP FOLLOWING A NOTE, OR DETAIL FLAG INDICATED THAT ALL LIKE, SIMILAR, OR INDICATED ITEMS SHALL BE PROVIDED WITH THE SPECIFIED DETAIL, NOTE, OR SPECIFICATION, TO MAINTAIN ORIGINAL WARRANTY ON EXISTING ROOF.
- X. REFERENCE DETAILS 1/A/104 AND 2/A/104 FOR TYPICAL ADHESIVE BEAD DETAILS FOR THE FIELD AND EDGE OF ROOF.
- Y. GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ALL ENGINEERING AND SHOP DRAWING FOR THIS PROJECT THAT ARE REQUIRED BY THE METAL ROOFING PANEL MANUFACTURER.
- Z. UNDER NO CIRCUMSTANCES SHALL TORCH BASE FLASHING BE DIRECTLY APPLIED TO A COMBUSTIBLE SURFACE. PROVIDE A THERMAL BARRIER BOARD, OR SBS BASE PLY AS A BASE FOR ALL TORCH APPLICATIONS TYPICAL.

WILLIAM D. HOPKINS III, AIA, LEED AP
N.Y. 140700001174 - 04/23/2024
Date

GEORGE B. DUTHIE JR., AIA, PP
N.Y. 140700001174
Project No.

FVHD architects planners
Frattak Veisz Hopkins Duthie P.C.
Company: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Perth Amboy, NJ
140 Whipplaker Ave - Mont Clere - Pennsylvania 17435

F V H D P C . C O M

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1

Project Date
04.06.2021

Checked By
GRD

Drawn By
IB

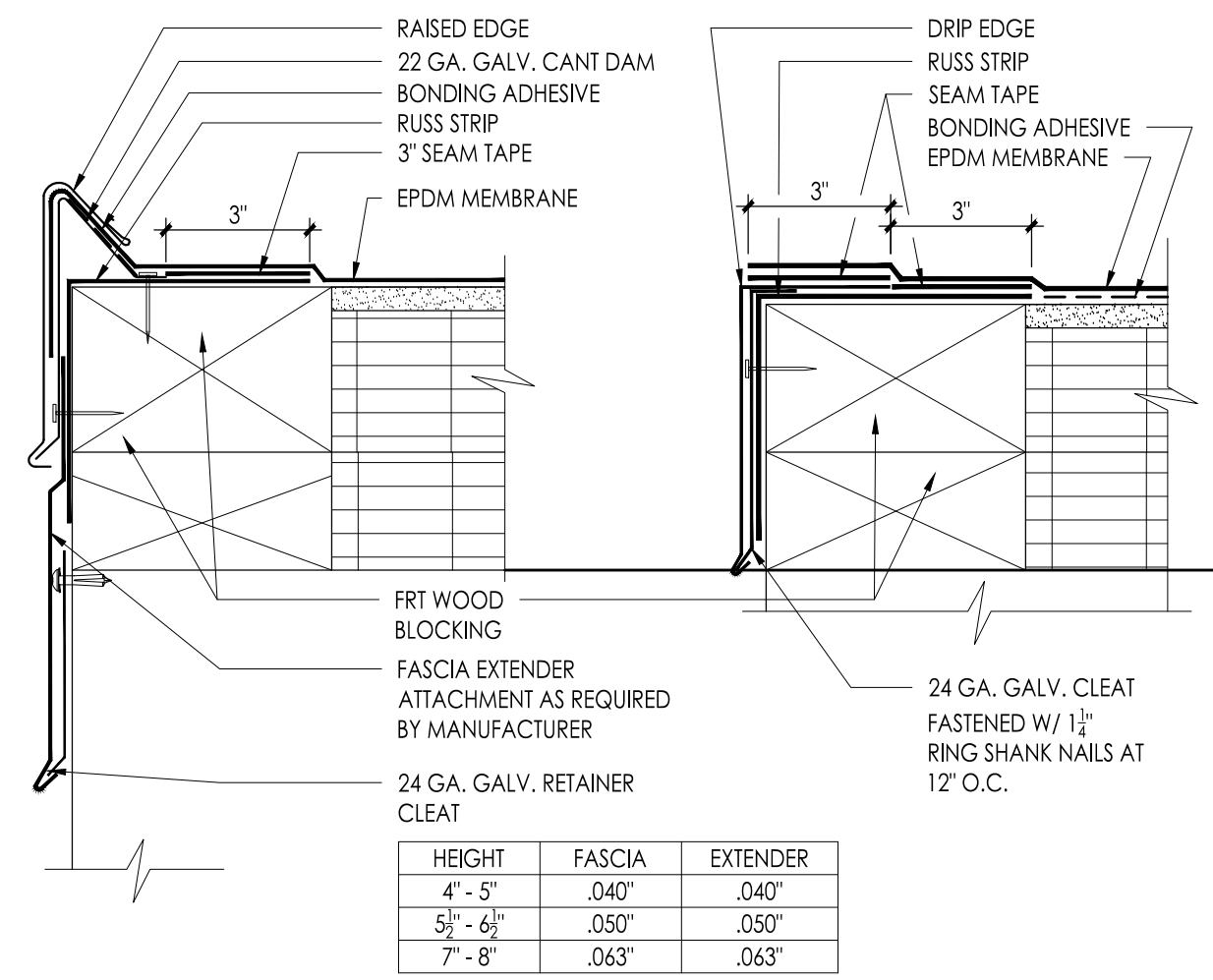
Scale
As Noted

Drawing Name
Roof Details

No.	Date	Description

Drawing Number
A103

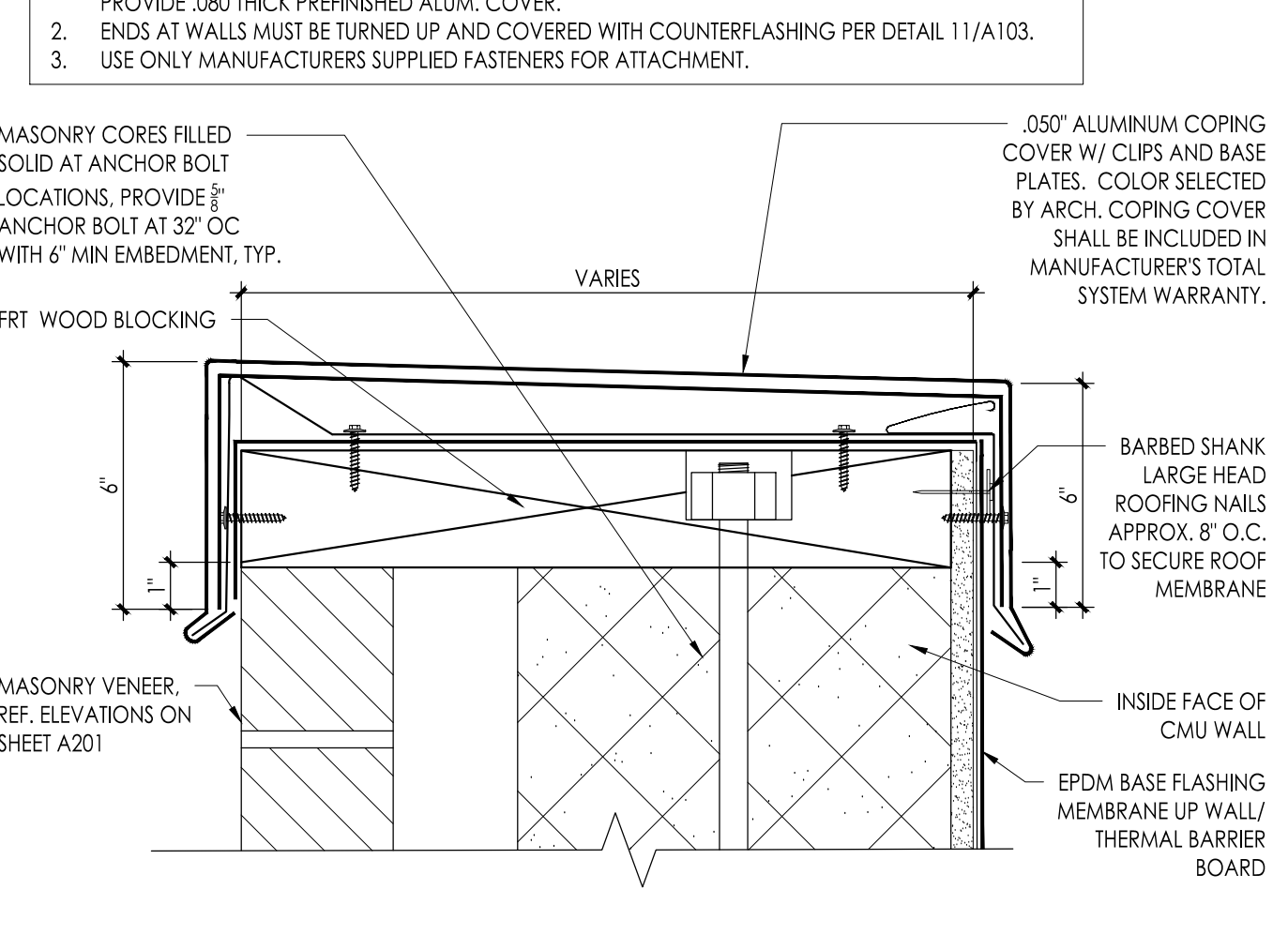
NOTE:
 1. PRE-ENGINEERED METAL EDGING AND EXTENDER SHALL BE INCLUDED IN MANUFACTURER'S WARRANTY.
 2. MAINTAIN A CONSTANT ROOF EDGE ELEVATION IN A HORIZONTAL PLANE UNLESS NOTED OTHERWISE.



1 TYPICAL METAL EDGE ASSEMBLIES
 3" = 1'-0"

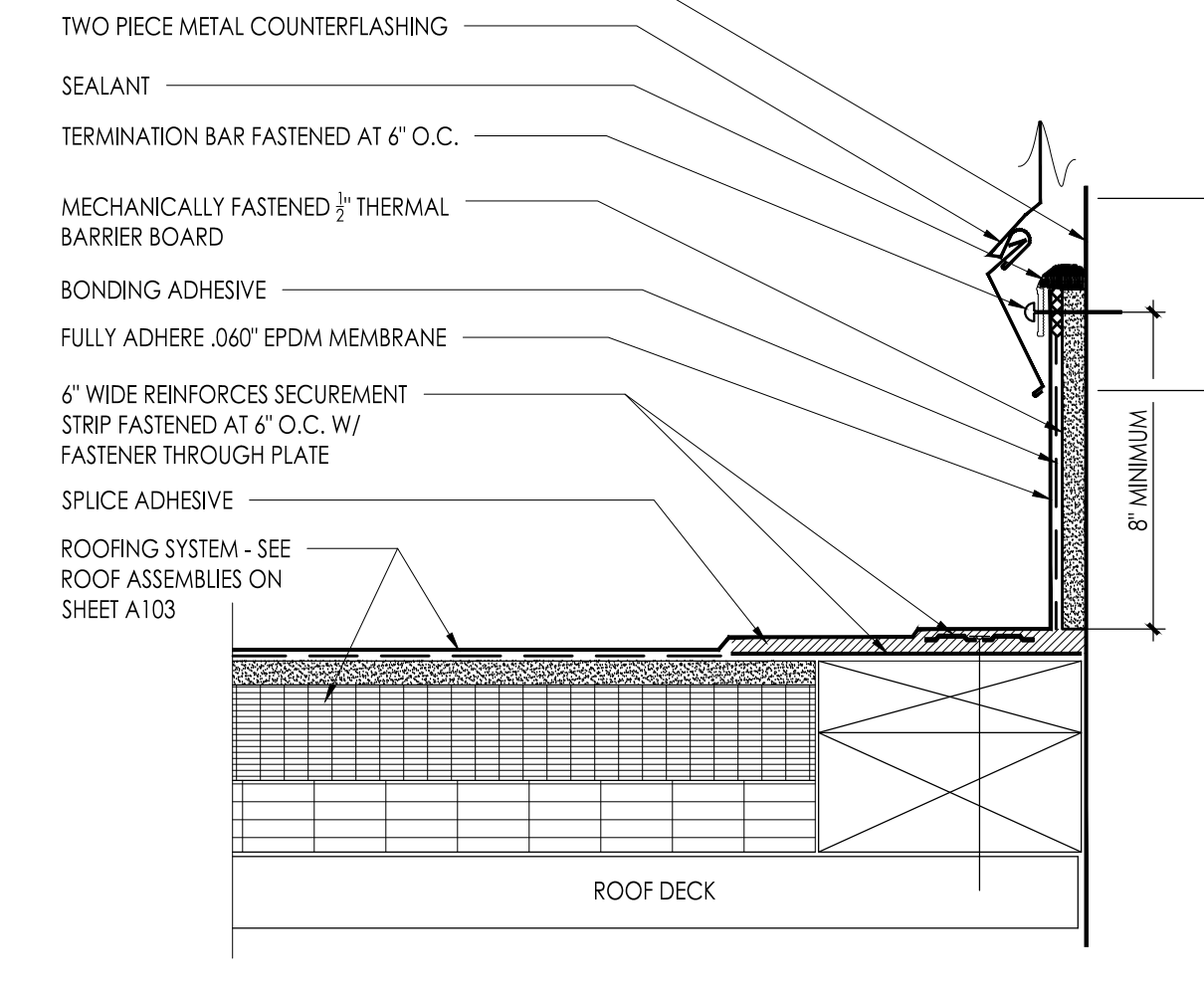
HEIGHT	FASCIA	EXTENDER
4'-5"	.040"	.040"
5'-6"	.050"	.050"
7'-8"	.083"	.083"

NOTE:
 1. PRE-ENGINEERED METAL SHALL BE SUPPLIED BY ROOFING MANUFACTURER AND INCLUDED IN MANUFACTURER'S WARRANTY. FOR COPING COVER WITH A WIDTH GREATER THAN 16" PROVIDE .063 THICK PRE-FINISHED ALUM. COVER. FOR COPING COVER WITH A WIDTH GREATER THAN 24" TO 36" PROVIDE .080 THICK PRE-FINISHED ALUM. COVER.
 2. ENDS AT WALLS MUST BE TURNED UP AND COVERED WITH COUNTERFLASHING PER DETAIL 11/A103.
 3. USE ONLY MANUFACTURER'S SUPPLIED FASTENERS FOR ATTACHMENT.



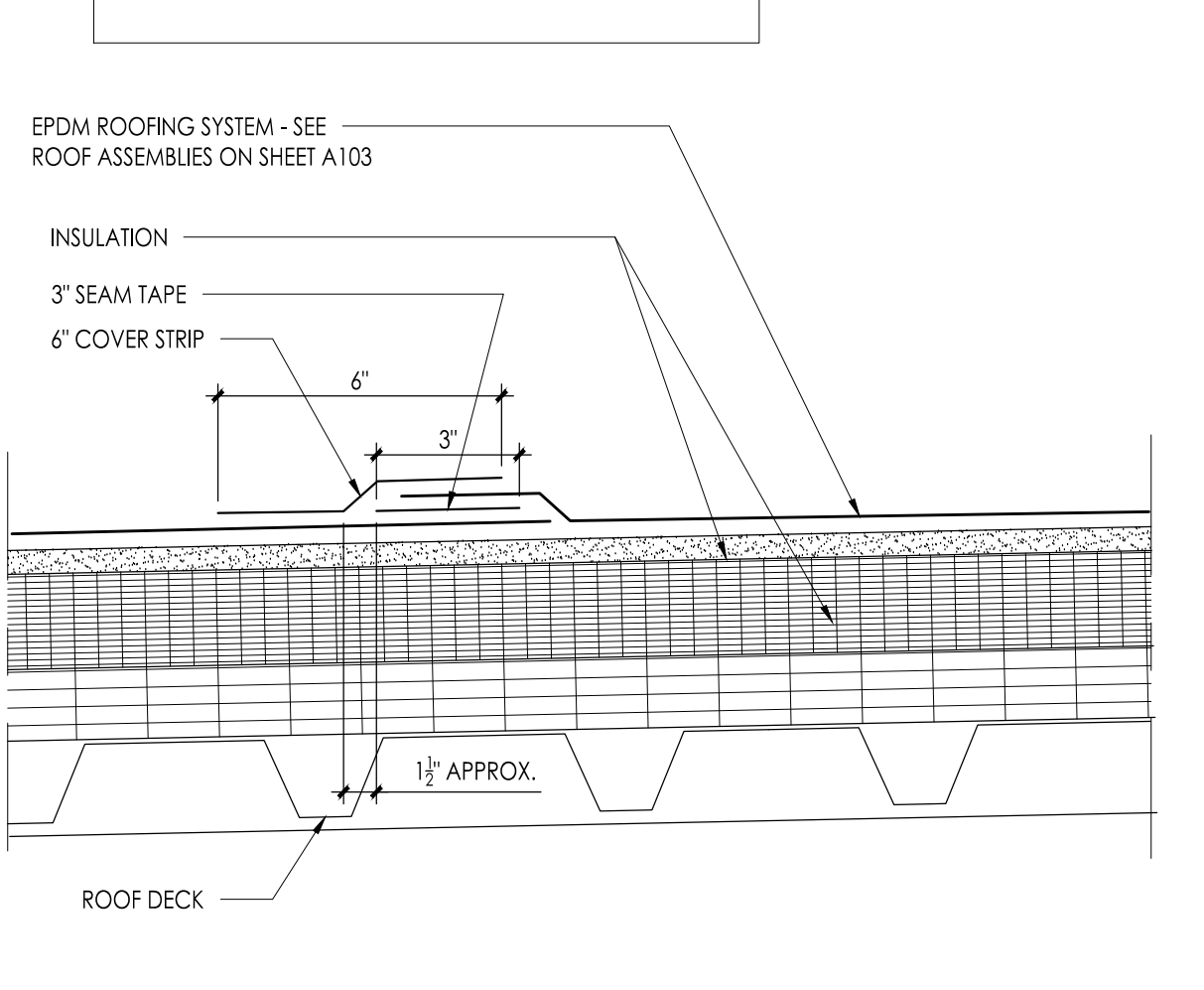
2 TYPICAL COPING AT PARAPET - CAVITY WALL
 Scale: 3" = 1'-0"

FLASHING SUBSTRATE - WALL OR CURB
 TWO PIECE METAL COUNTERFLASHING
 SEALANT
 TERMINATION BAR FASTENED AT 6" O.C.
 MECHANICALLY FASTENED 1/2" THERMAL BARRIER BOARD
 BONDING ADHESIVE
 FULLY ADHERE .060" EPDM MEMBRANE
 6" WIDE REINFORCES SECUREMENT STRIP FASTENED AT 6" O.C. W/ FASTENER THROUGH PLATE
 SPURGE ADHESIVE
 ROOFING SYSTEM - SEE ROOF ASSEMBLIES ON SHEET A103



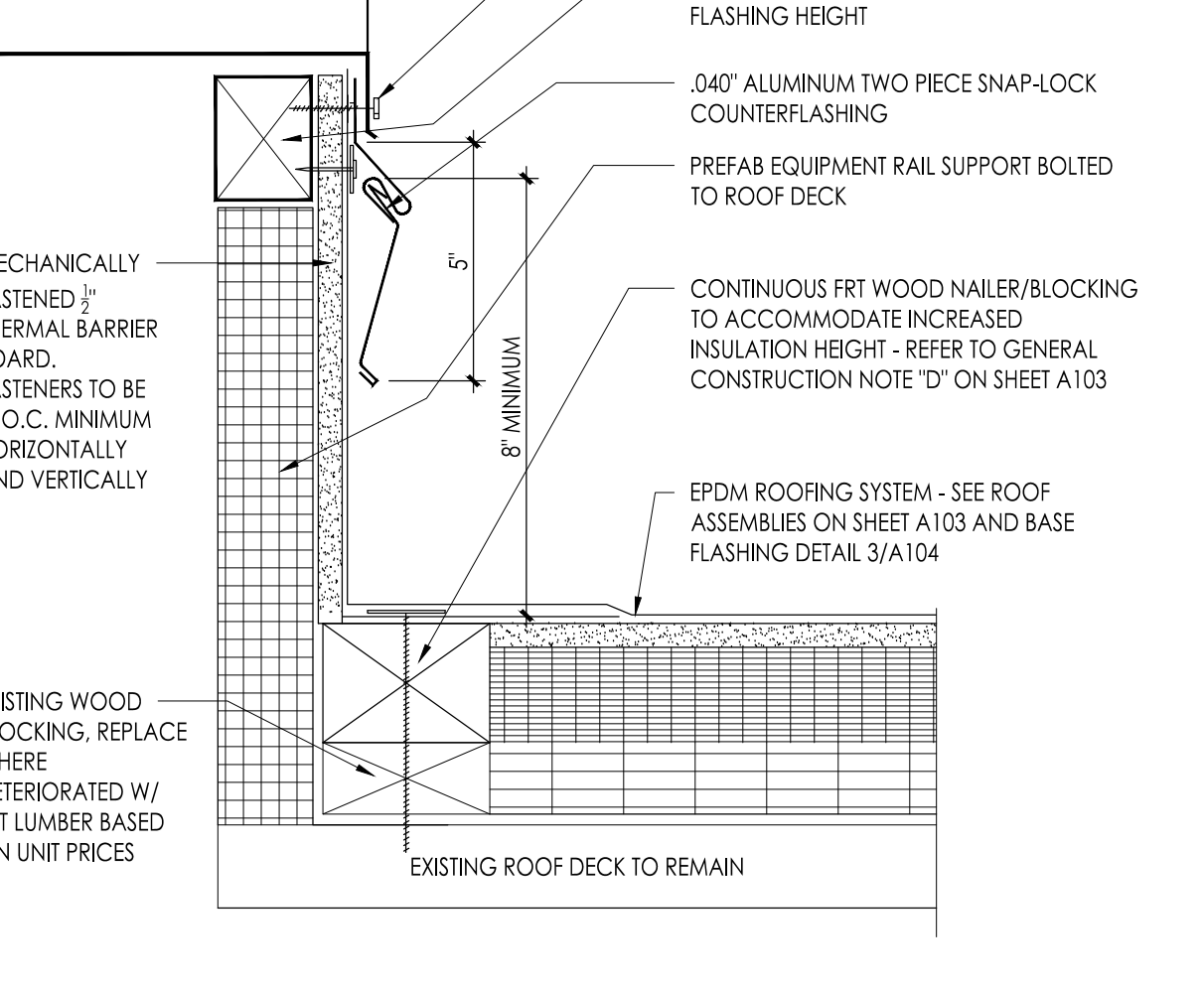
3 TYPICAL BASE FLASHING DETAIL
 3" = 1'-0"

NOTES:
 1. PRIOR TO SEAM TAPE INSTALLATION PRIME SPURGE AREAS
 2. OVERLAP ENDS OF CUT PIECES A MINIMUM OF 1"
 3. LAP SEALANT IS TO COVER THE EDGE OF SEAM TAPE

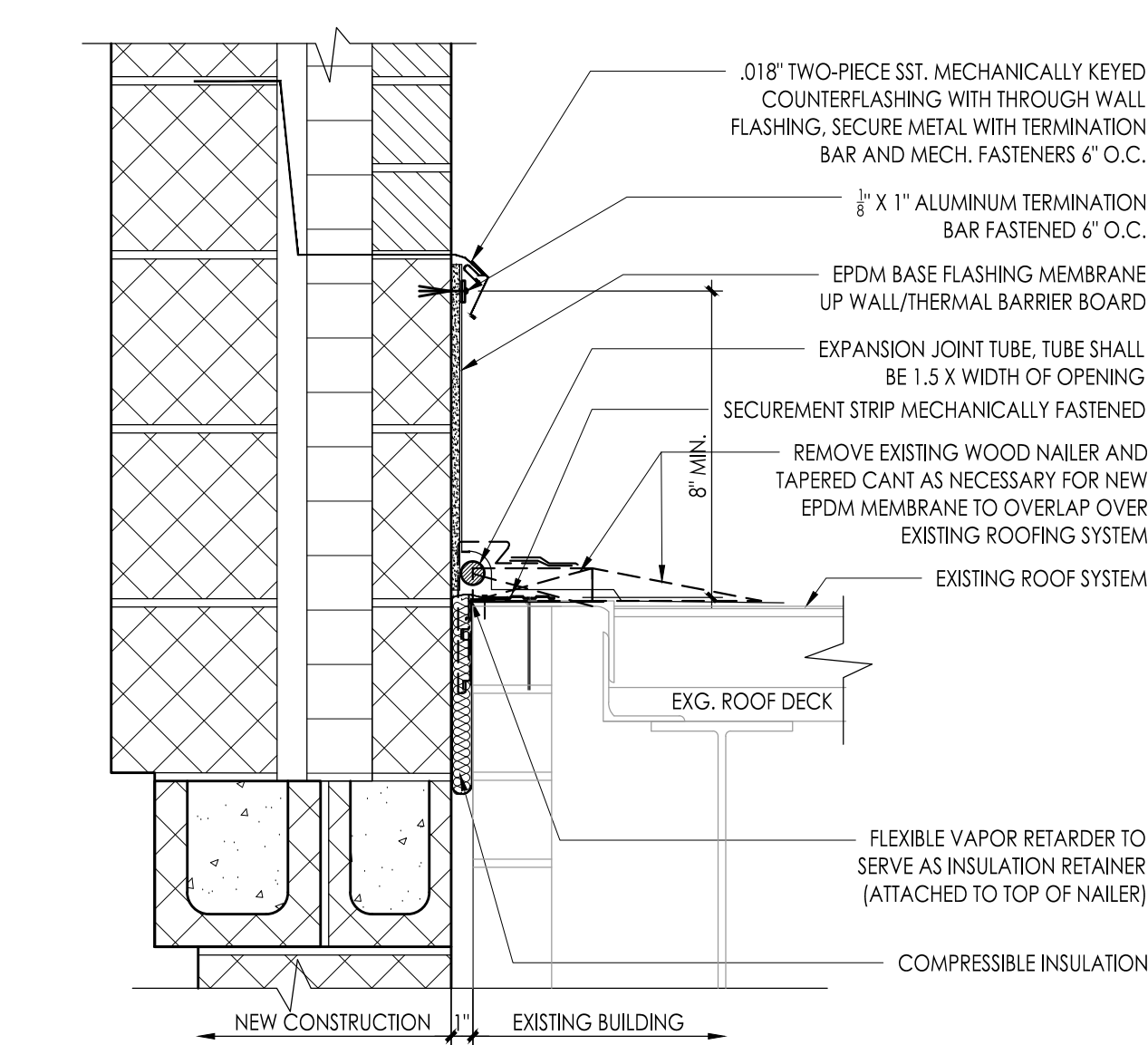


4 TYPICAL LAP SPICE DETAIL
 3" = 1'-0"

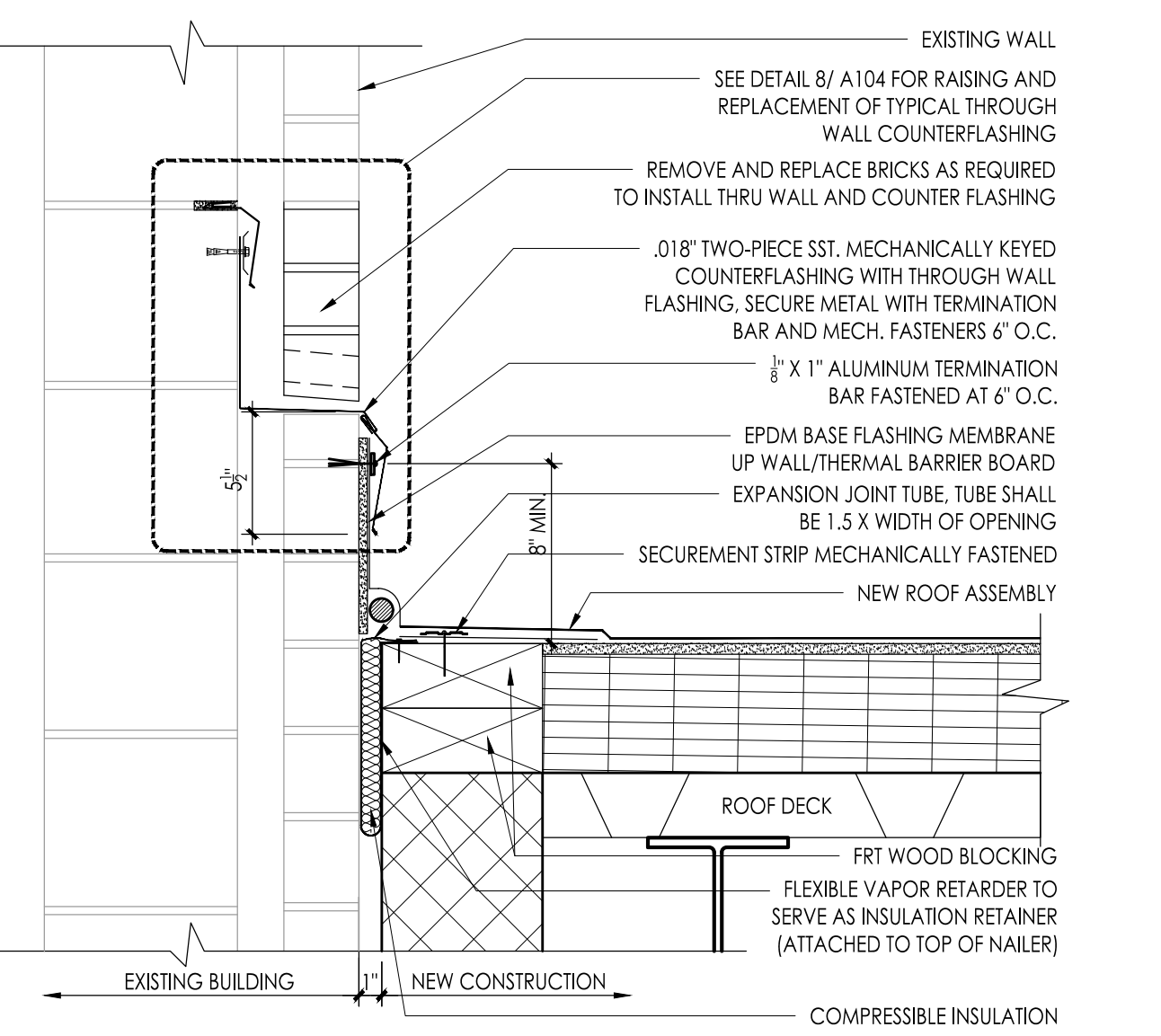
EXISTING ROOFTOP UNIT
 GASKETED SSS FASTENER AT 18" O.C. MINIMUM, TWO PER SIDE
 FRT WOOD BLOCKING TO MEET 8" MINIMUM FLASHING HEIGHT
 .040" ALUMINUM TWO PIECE SNAP-LOCK COUNTERFLASHING
 PREFAB EQUIPMENT RAIL SUPPORT BOLTED TO ROOF DECK
 CONTINUOUS FRT WOOD NAILER/BLOCKING TO ACCOMMODATE INCREASED INSULATION HEIGHT - REFER TO GENERAL CONSTRUCTION NOTE 'D' ON SHEET A103
 EPDM ROOFING SYSTEM - SEE ROOF ASSEMBLIES ON SHEET A103 AND BASE FLASHING DETAIL 3/A104



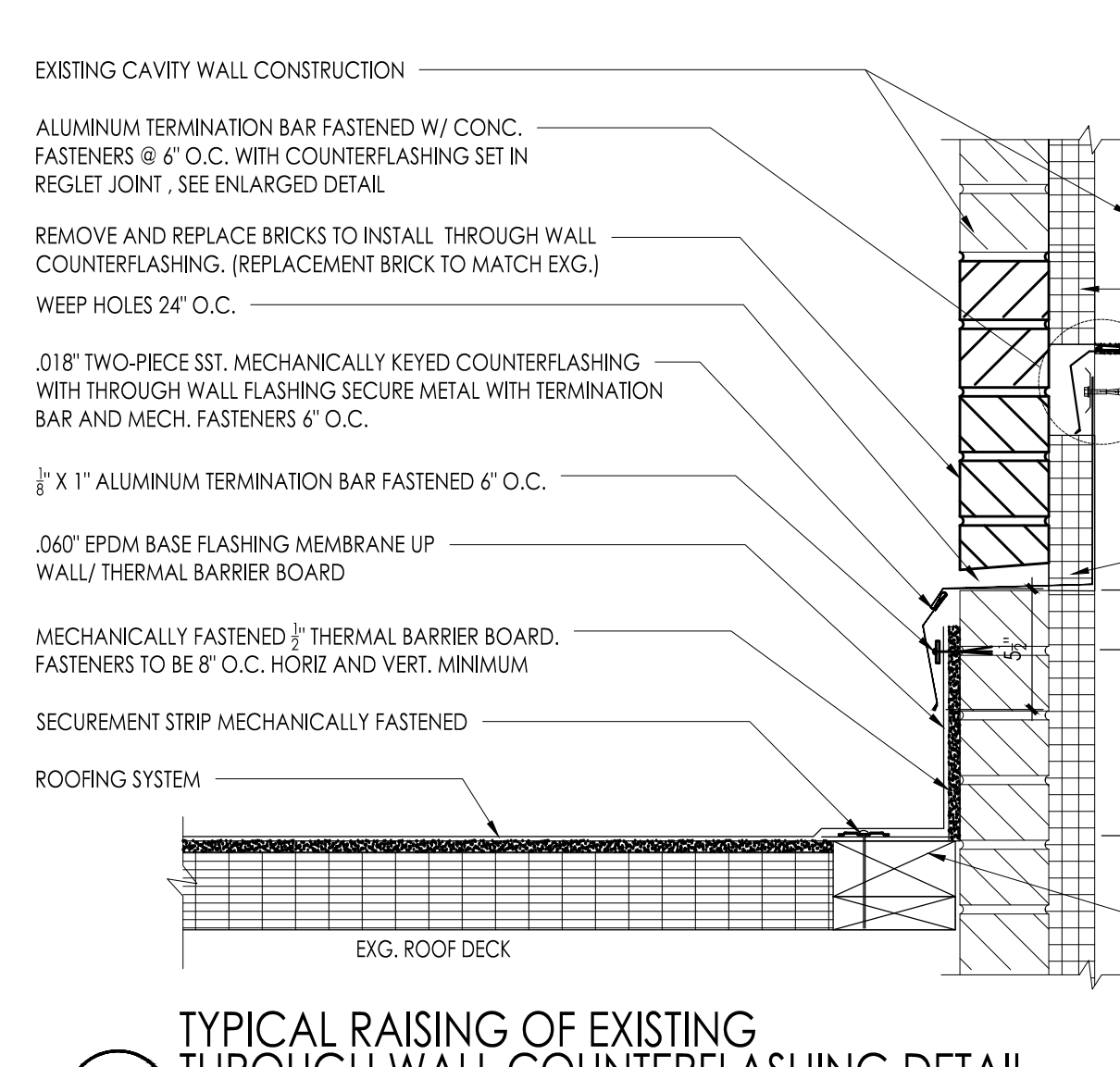
5 TYPICAL NEW ROOFTOP UNIT CURB FLASHING
 3" = 1'-0"



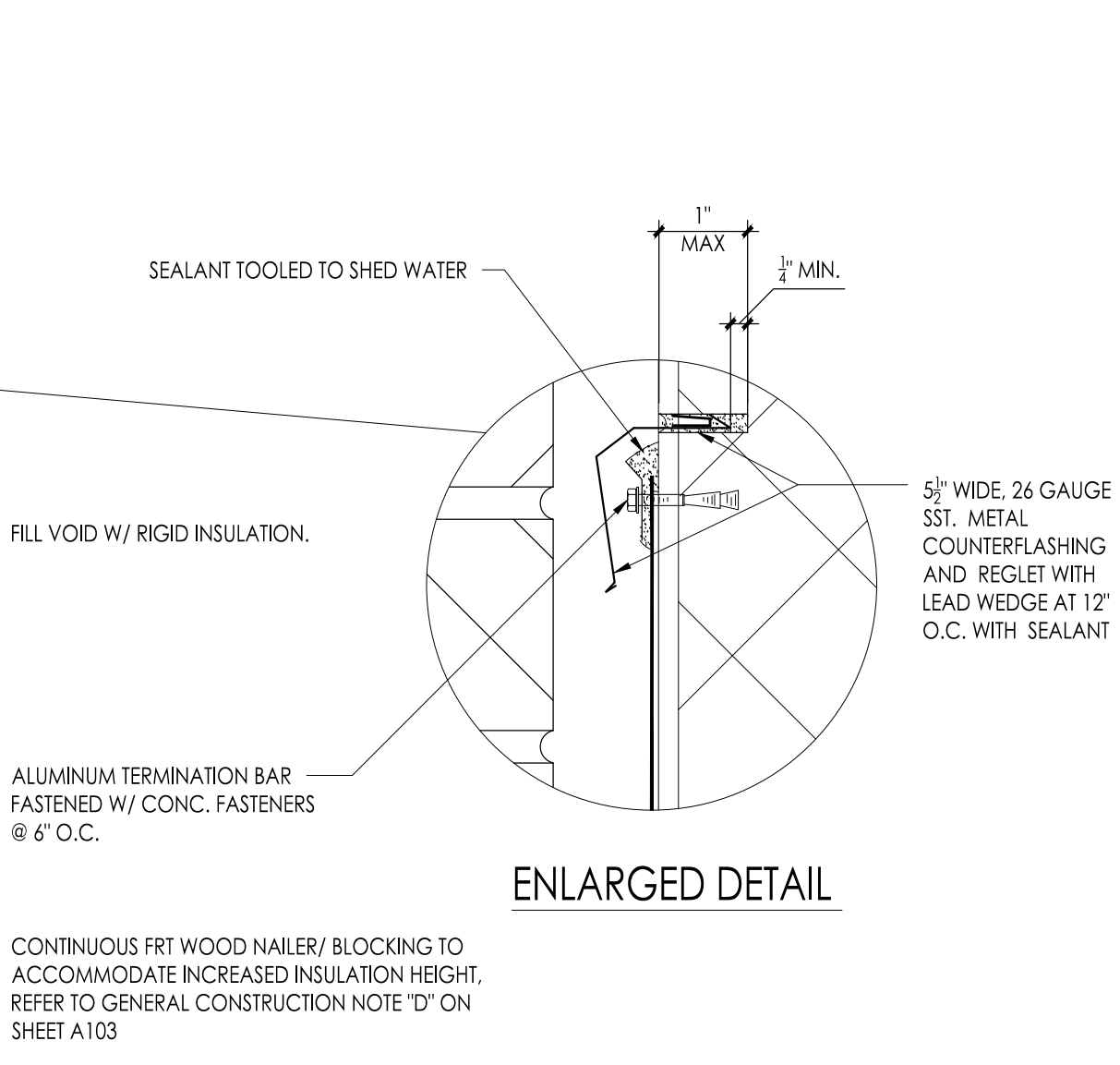
6 EXPANSION JOINT @ NEW RISING CMU WALL
 1-1/2" = 1'-0"



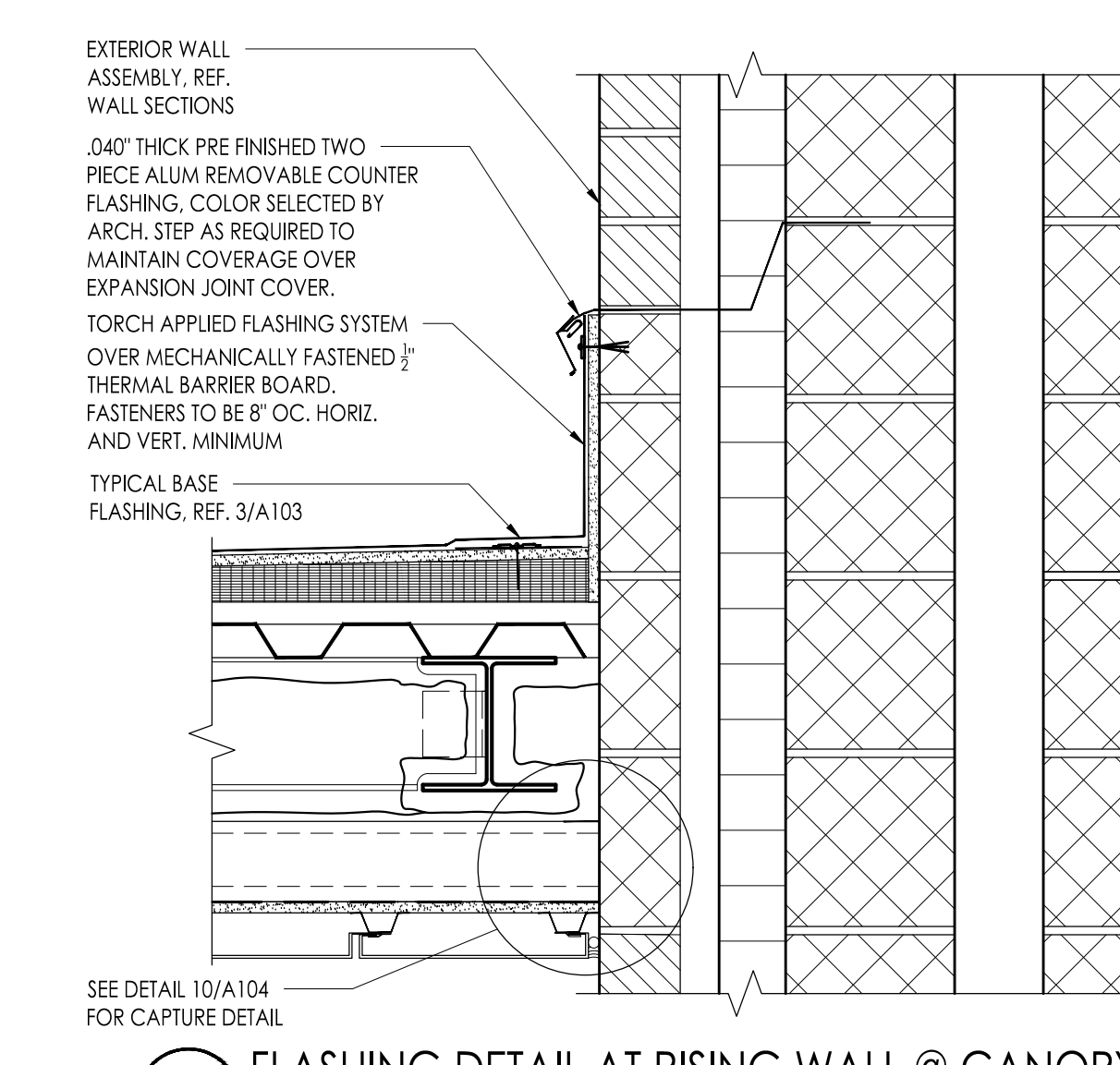
7 EXPANSION JOINT @ EXISTING RISING WALL
 1-1/2" = 1'-0"



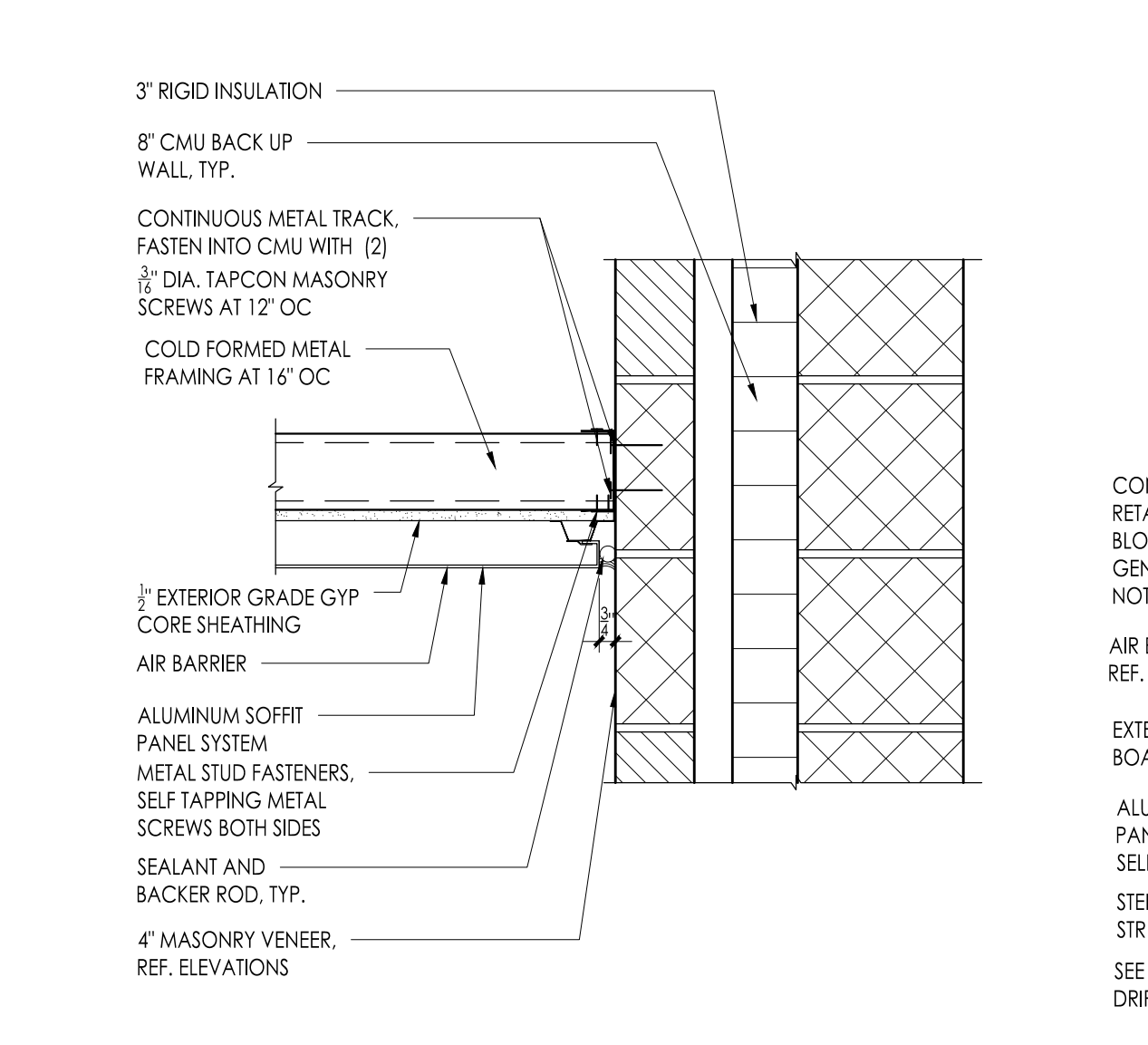
8 TYPICAL RAISING OF EXISTING THROUGH WALL COUNTERFLASHING DETAIL
 1-1/2" = 1'-0"



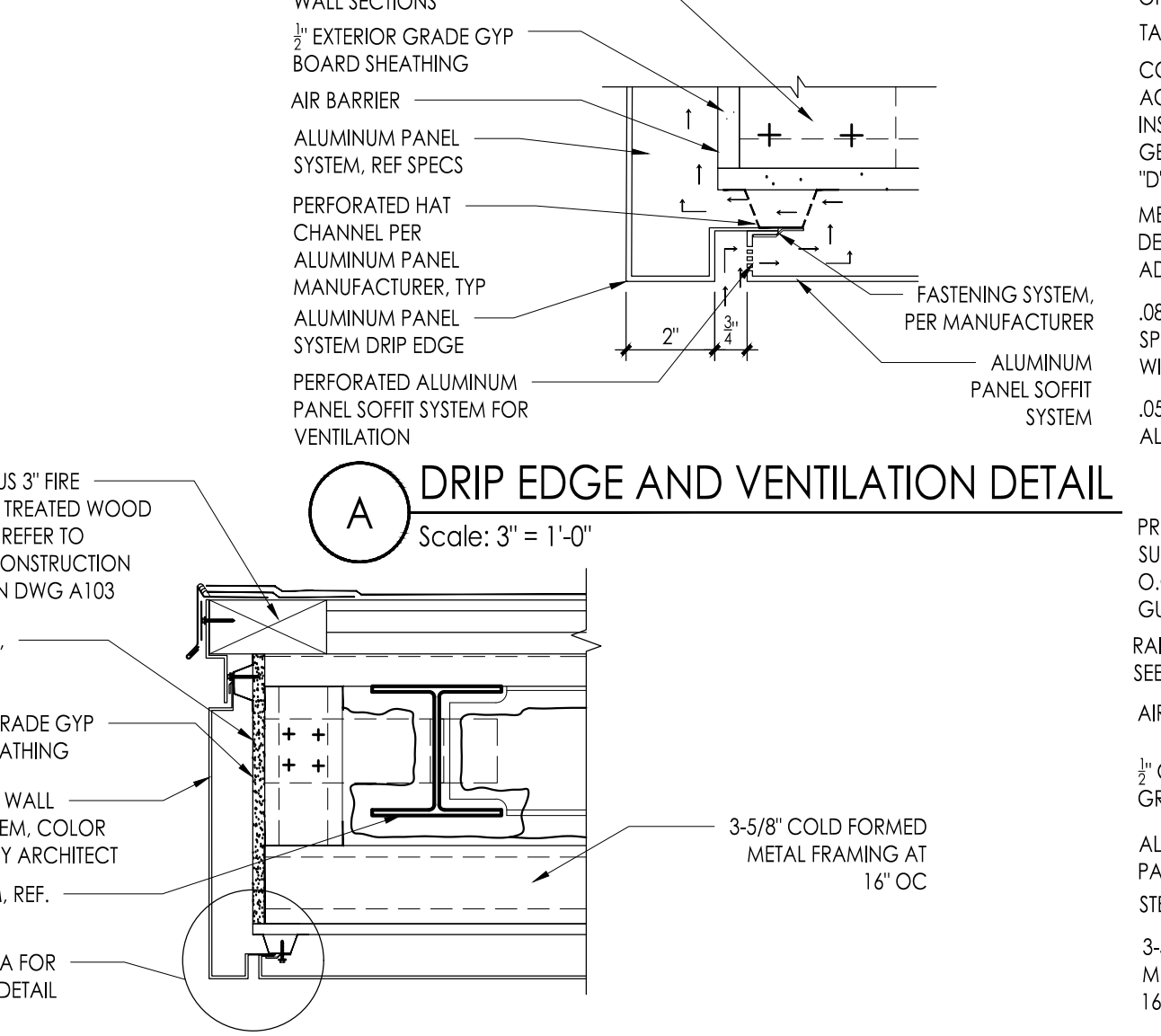
4 TYPICAL LAP SPICE DETAIL
 3" = 1'-0"



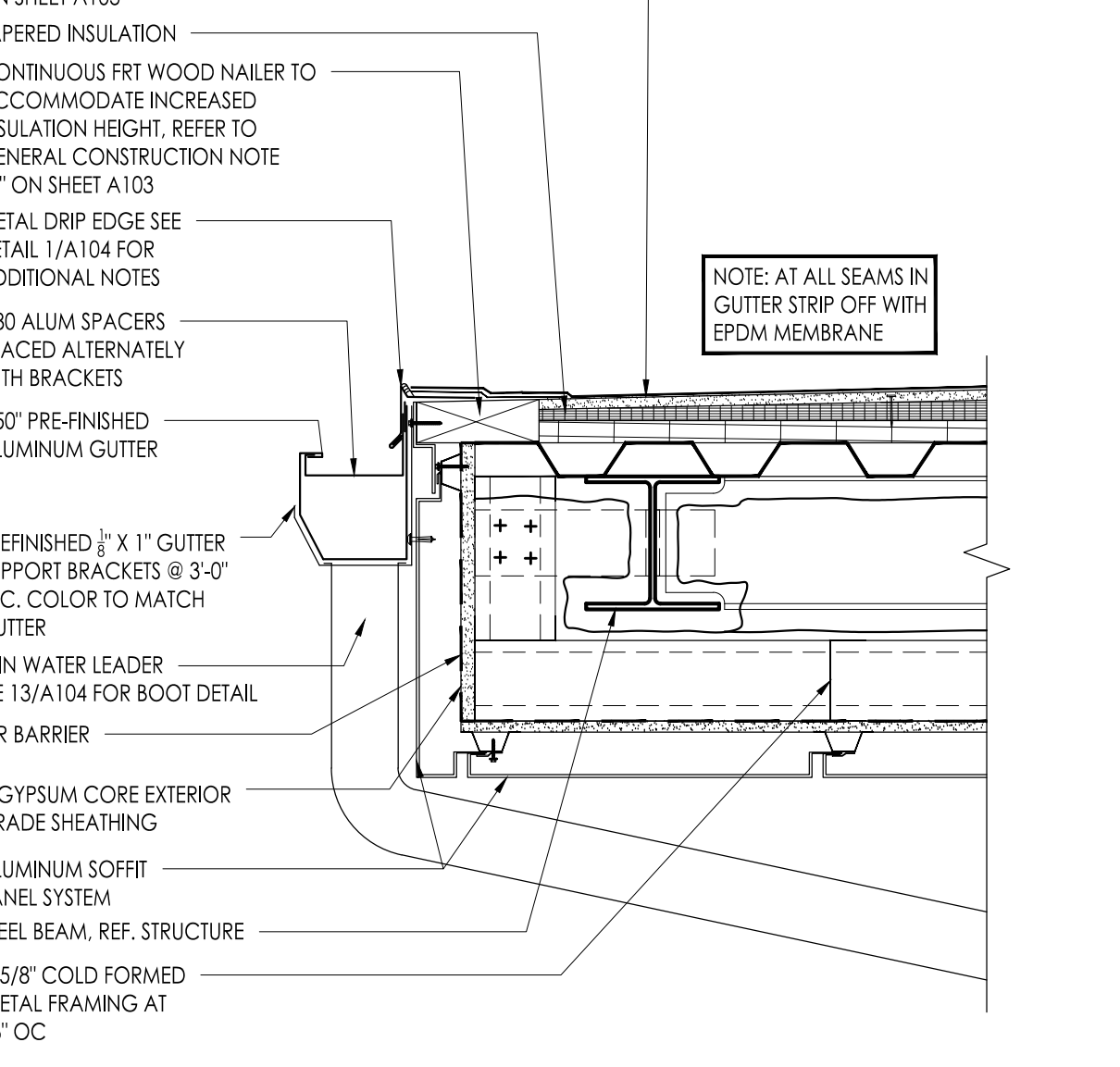
9 FLASHING DETAIL AT RISING WALL @ CANOPY
 1-1/2" = 1'-0"



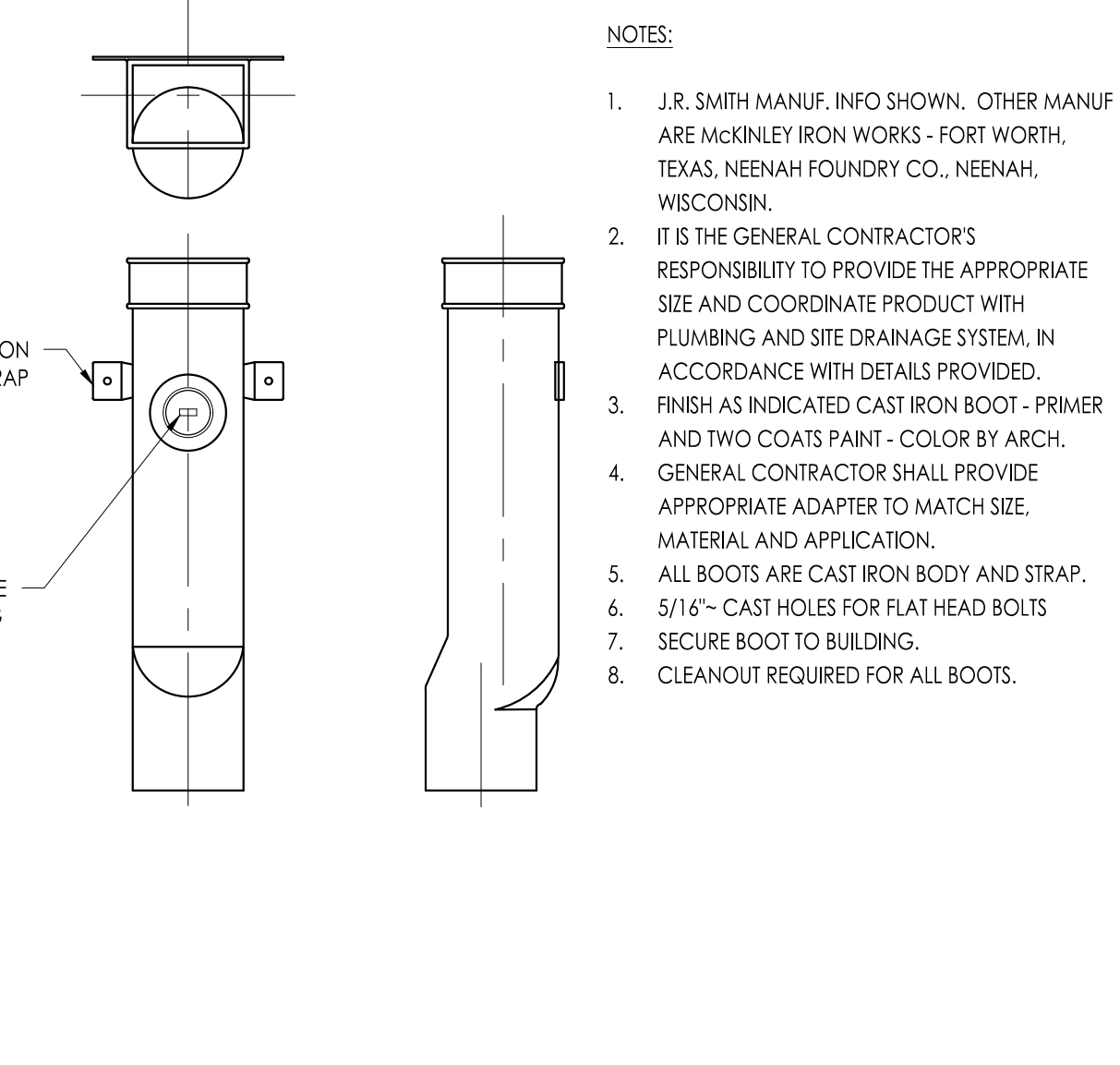
10 TYPICAL CAPTURE EXTERIOR METAL TRACK
 1-1/2" = 1'-0"



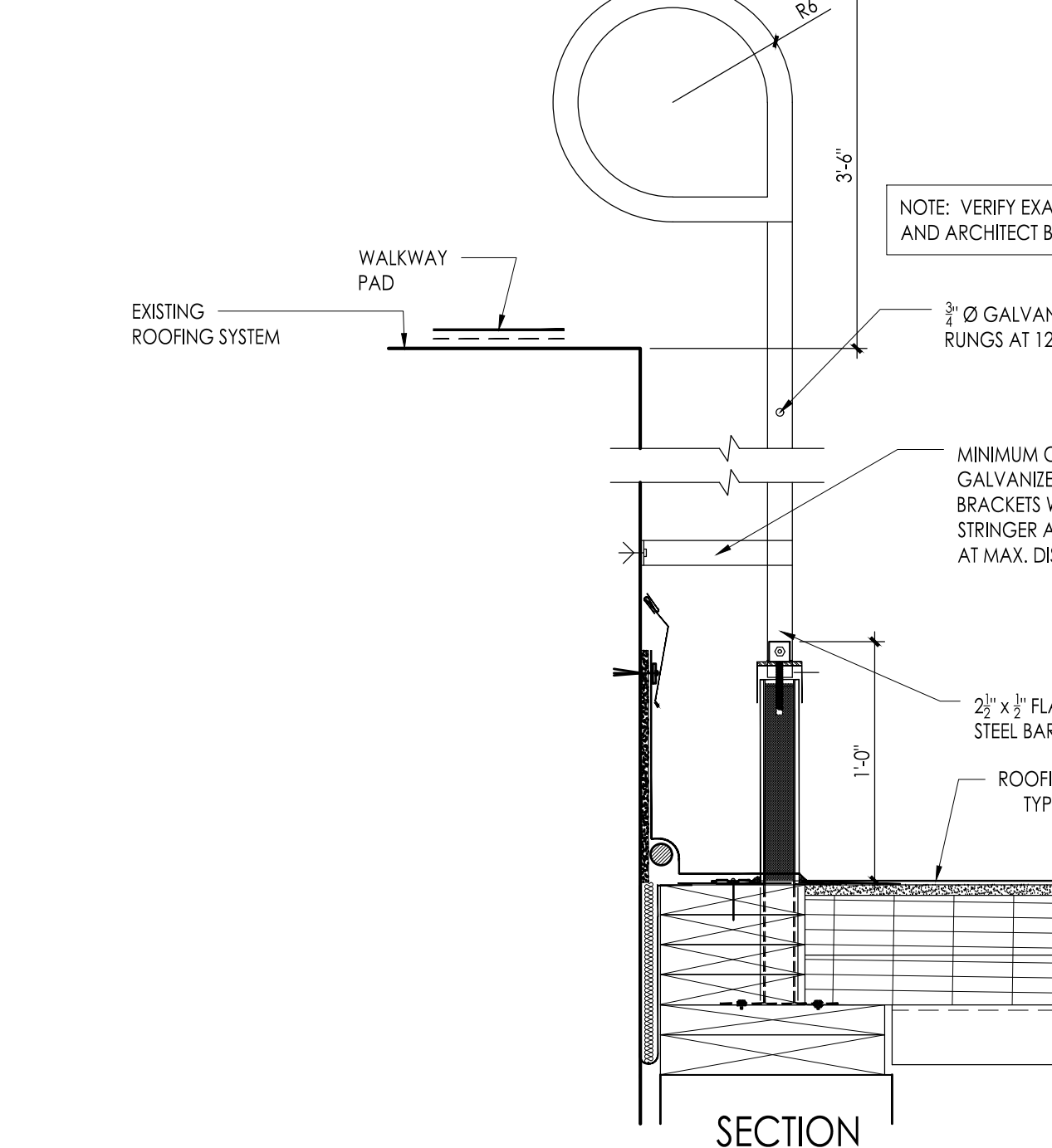
11 FASCIA DETAIL @ CANOPY
 1-1/2" = 1'-0"



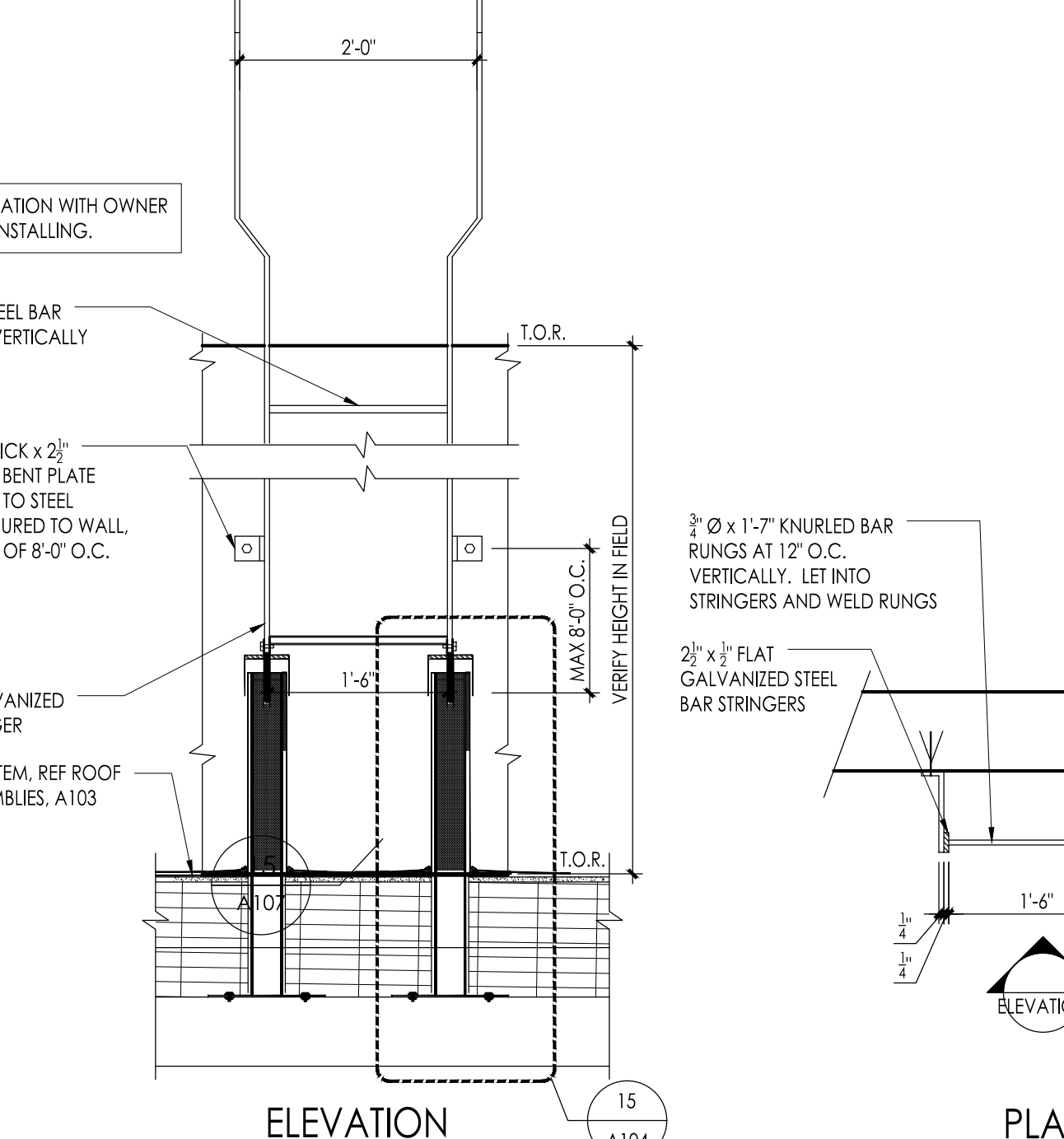
12 METAL EDGE W/ FASCIA & GUTTER
 1-1/2" = 1'-0"



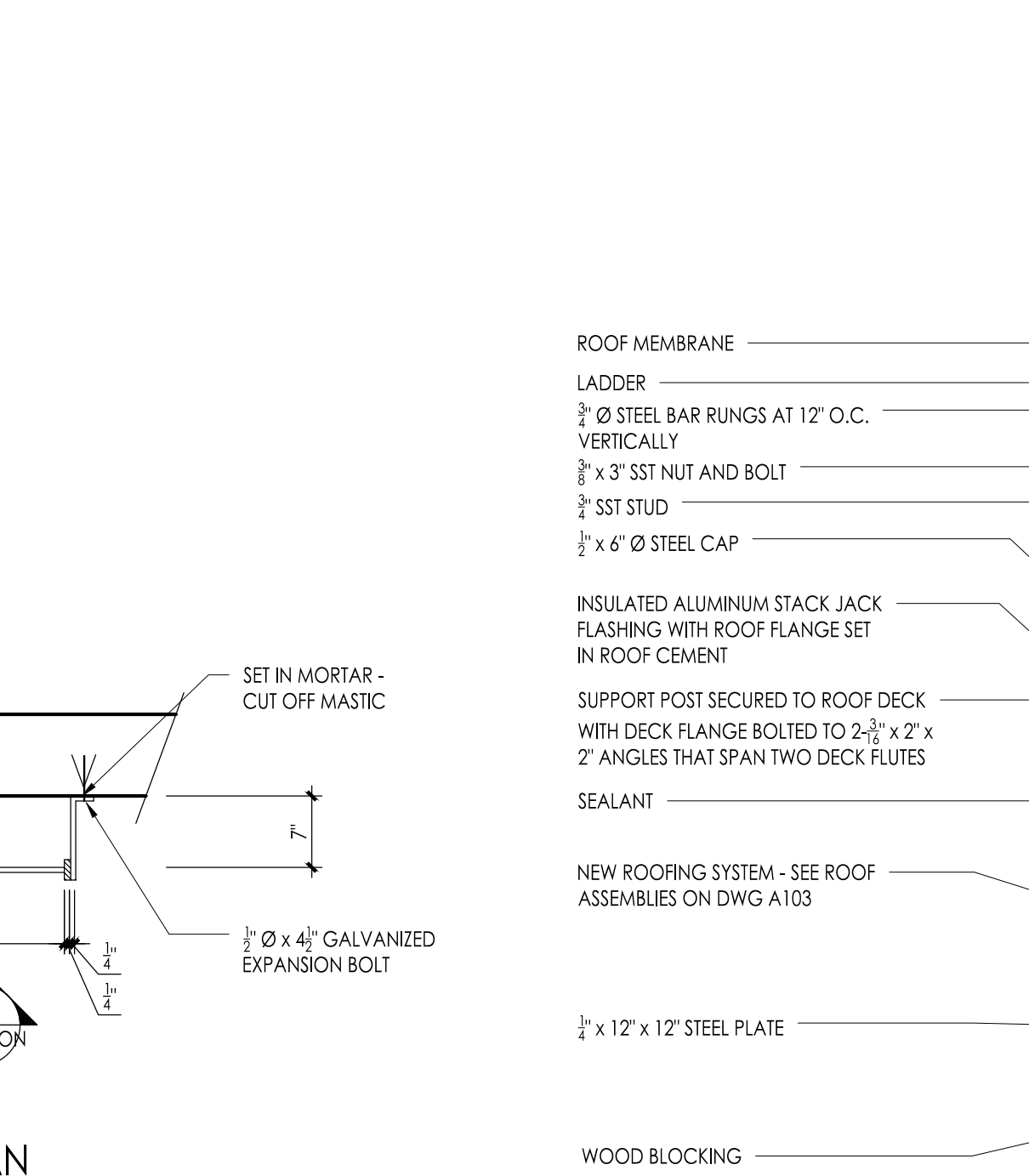
13 RAIN WATER CONDUCTOR BOOT DETAIL
 1 1/2" = 1'-0"



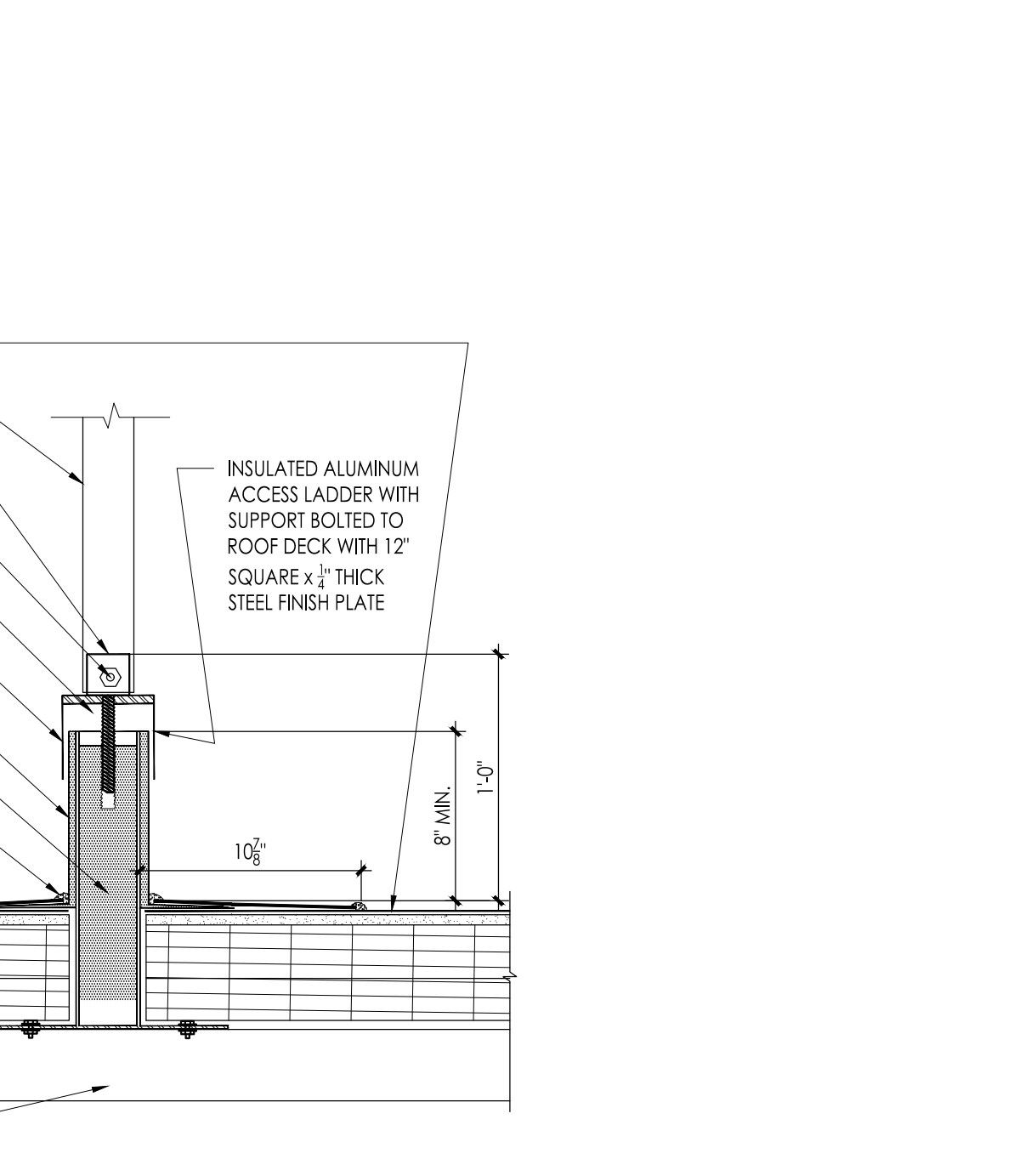
14 ROOF ACCESS LADDER DETAIL
 1-1/2" = 1'-0"



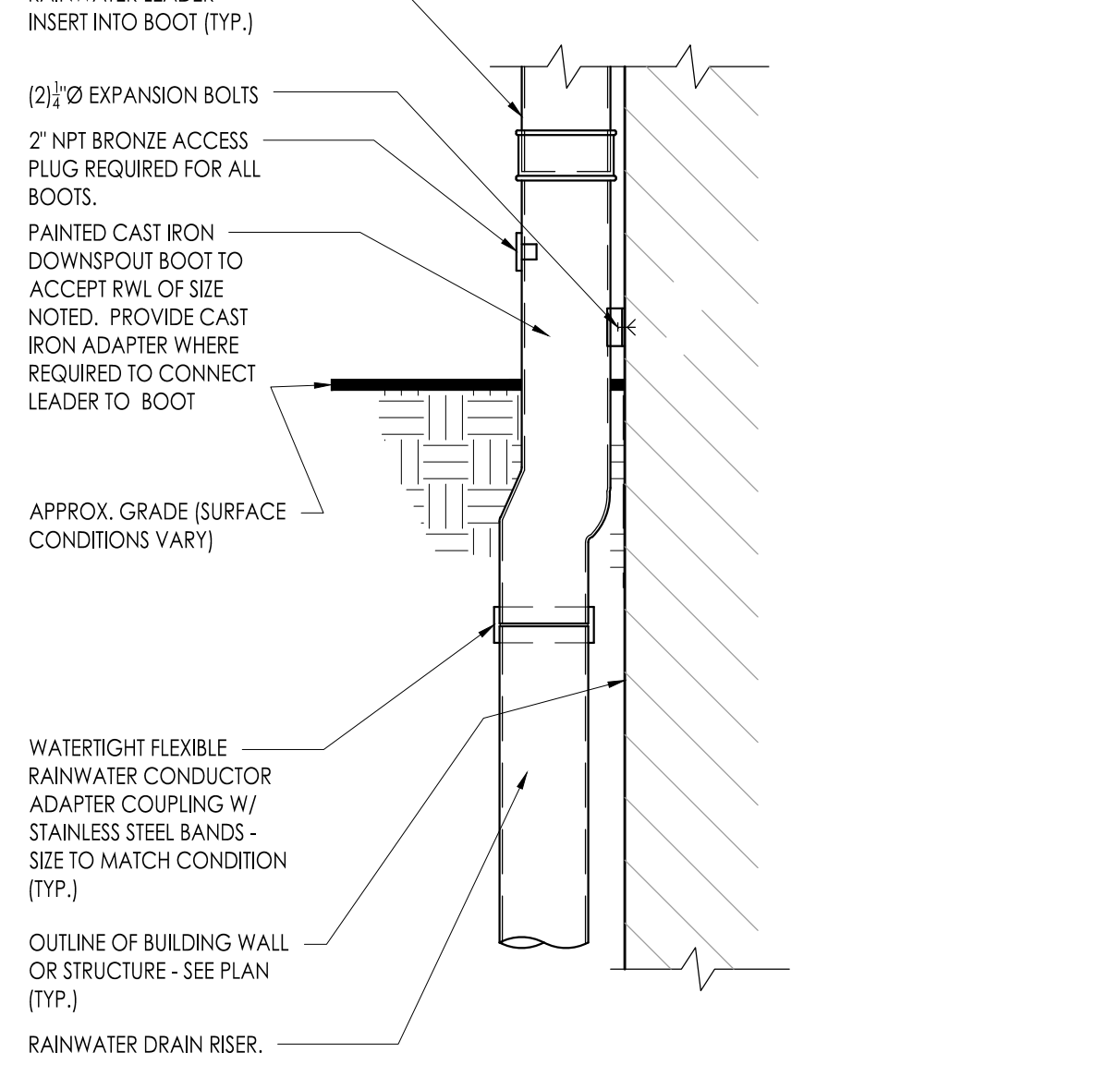
15 LADDER SUPPORT STANCHION
 1-1/2" = 1'-0"



15 LADDER SUPPORT STANCHION
 1-1/2" = 1'-0"



15 LADDER SUPPORT STANCHION
 1-1/2" = 1'-0"



13 RAIN WATER CONDUCTOR BOOT DETAIL
 1 1/2" = 1'-0"

NOTES:
 1. J.R. SMITH MANUF. INFO SHOWN. OTHER MANUF. ARE MCKINLEY IRON WORKS - FORT WORTH, TEXAS; NEENAH FOUNDRY CO. - NEENAH, WISCONSIN.
 2. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE APPROPRIATE SIZE AND COORDINATE PRODUCT WITH PLUMBING AND SITE DRAINAGE SYSTEM, IN ACCORDANCE WITH DETAILS PROVIDED.
 3. FINISH AS INDICATED CAST IRON BOOT - PRIMER AND TWO COATS PAINT - COLOR BY ARCH.
 4. GENERAL CONTRACTOR SHALL PROVIDE APPROPRIATE ADAPTER TO MATCH SIZE, MATERIAL AND APPLICATION.
 5. ALL BOOTS ARE CAST IRON BODY AND STRAP.
 6. 5/16" CAST HOLES FOR FLAT HEAD BOLTS
 7. SECURE BOOT TO BUILDING.
 8. CLEANOUT REQUIRED FOR ALL BOOTS.

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 N.Y. 140700001 (F.A. - 6472320X)
 GEORGE B. DUTHIE JR., AIA, FP
 N.Y. 140700000
 Date: 04/06/21
 F.V.H.D.P.C. - C.O.M.

FVHD architects
 planners
 Fraytak Veisz Hopkins Duthie P.C.
 Company: 1515 Lower Ferry Road - Trenton, New Jersey 08628
 Pennsylvania: 140 Whitaker Ave - Mont Clear - Pennsylvania 19435

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Regional School District

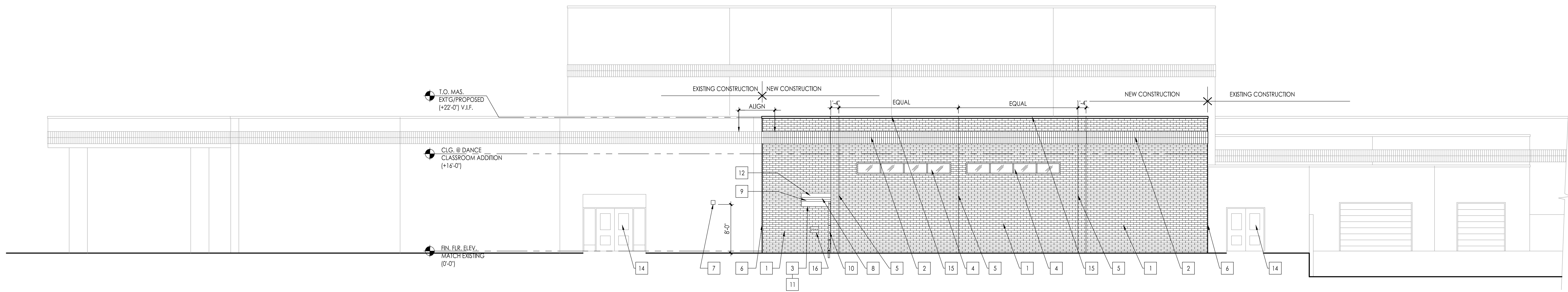
Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1
 Project Date
04.06.2021
 Checked By
GRD
 Drawn By
IB
 Scale
As Noted

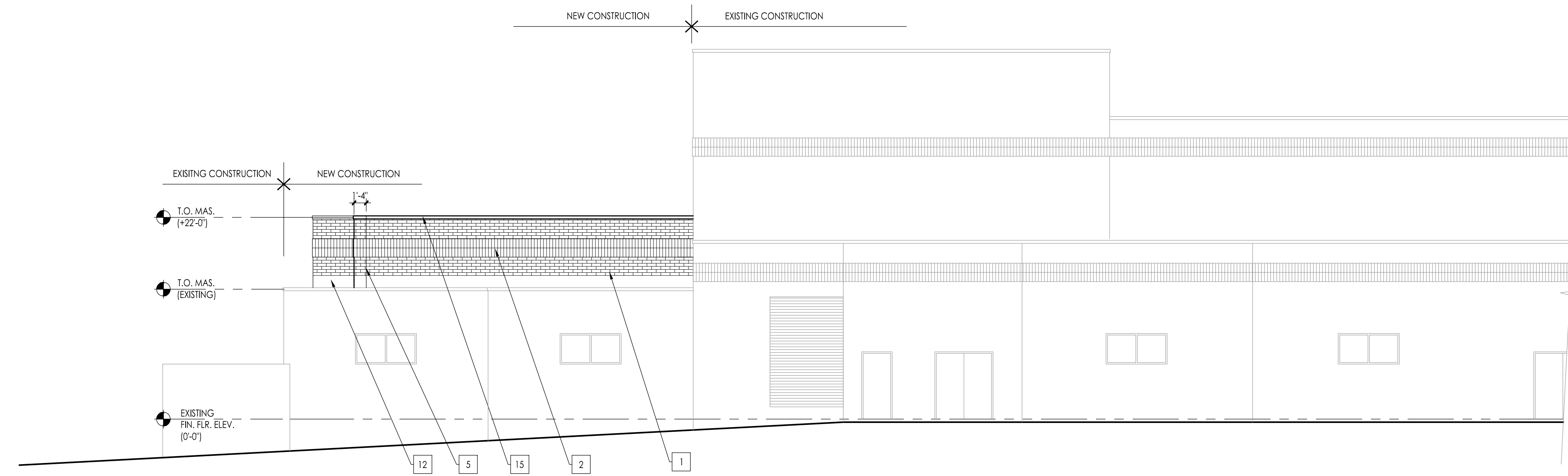
Drawing Name
Roof Details

Revisions	No.	Date	Description
	1	03.05.21	Addendum No. 02

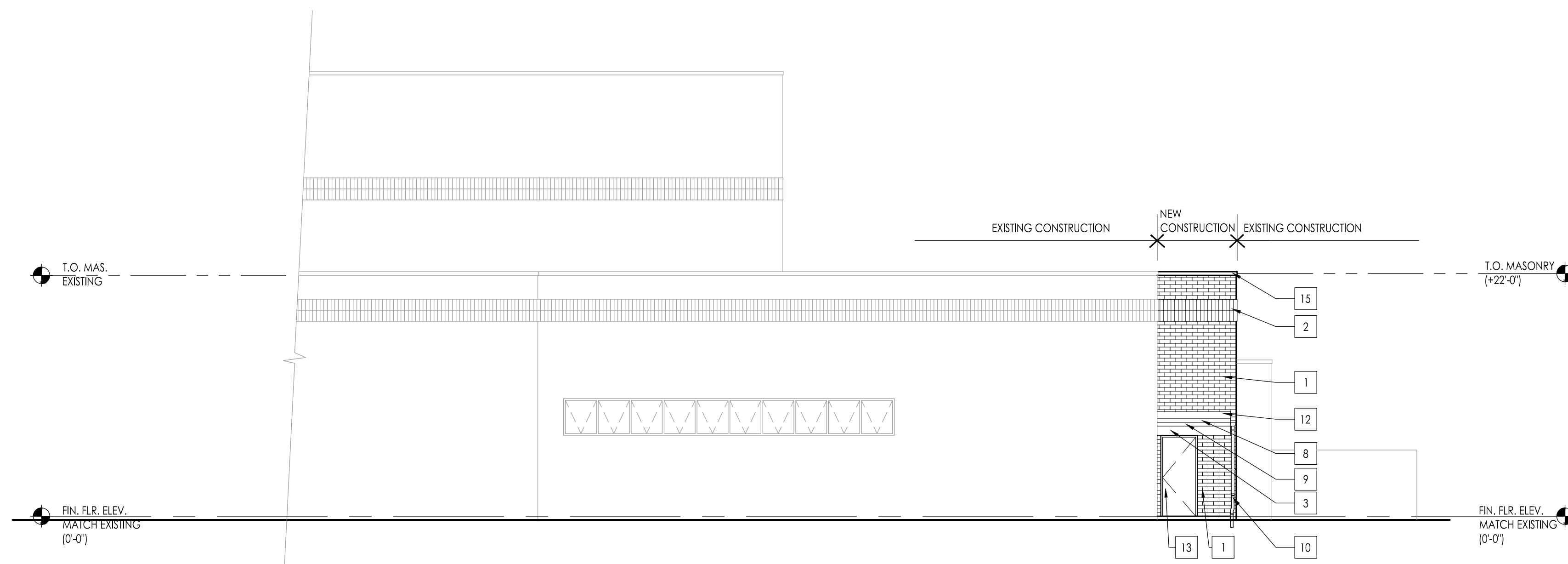
Drawing Number
A104



1 Partial West Elevation
Scale: 1/8" = 1'-0"



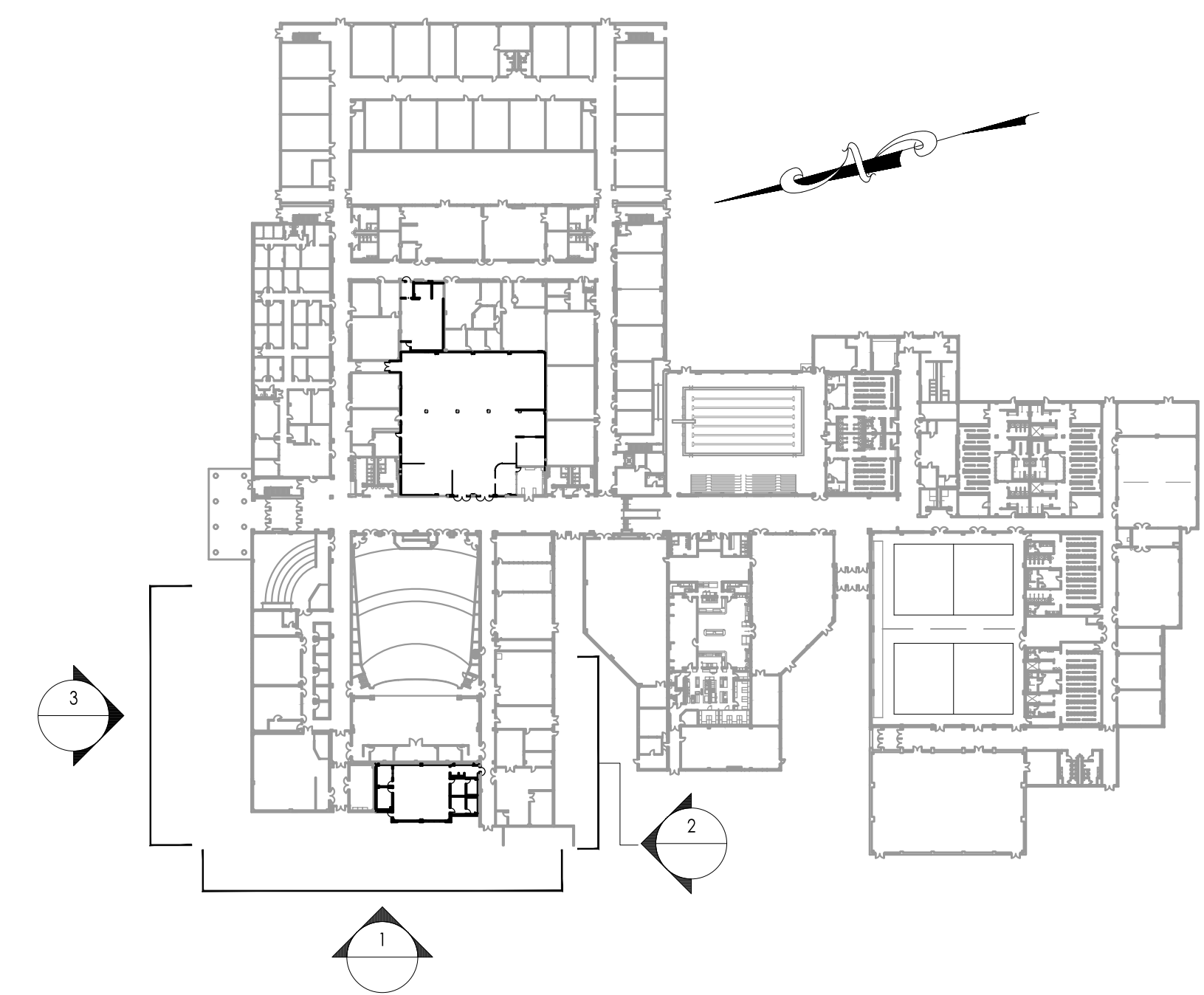
2 Partial South Elevation
Scale: 1/8" = 1'-0"



3 Partial North Elevation
Scale: 1/8" = 1'-0"

ELEVATION LEGEND

- FACE BRICK (UTILITY, 1/3 RUNNING BOND TO MATCH EXISTING)
- 1 FACE BRICK COLOR #1 (TO MATCH EXISTING), 1/3 RUNNING BOND, SUBMIT PHYSICAL COLOR SAMPLE TO ARCHITECT FOR APPROVAL
- 2 FACE BRICK COLOR #1 (TO MATCH EXISTING) SOLDIER COURSE, SUBMIT PHYSICAL COLOR SAMPLE TO ARCHITECT FOR APPROVAL
- 3 PRE-FINISHED ALUMINUM FASCIA PANEL
- 4 ALUMINUM STOREFRONT SYSTEM - SEE SHEET A601 FOR DETAILS
- 5 CONTROL JOINT - SEE DETAIL 2 / G003
- 6 EXPANSION JOINT - SEE DETAIL 3/ G003
- 7 EXTERIOR LIGHT FIXTURE - SEE CIVIL AND ELECTRICAL DWGS.
- 8 PREFINISHED ALUMINUM ROOF EDGE - SEE ROOF DETAILS
- 9 PREFINISHED ALUMINUM GUTTER
- 10 ALUMINUM DOWNSPOUT TO CAST IRON RAINWATER BOOT REF. PLUMBING DWGS.
- 11 CANOPY - SEE WALL SECTIONS
- 12 BASE FLASHING - SEE ROOF DETAILS
- 13 NEW FRP DOOR - SEE DOOR SCHEDULE
- 14 EXISTING EGRESS DOOR
- 15 PREFINISHED ALUMINUM ROOF COPING - SEE ROOF DETAILS
- 16 DATESTONE - SEE DETAIL 7 / G002



OVERALL BUILDING KEY PLAN
Scale: 1:100

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NY - 2140706001 PA - 84223326
GEORGE B. DUTHIE JR., AIA, FP
NY - 2140706001

F V H D P C - C O M

FVHD architects
planners
Fraytak Veisz Hopkins Duthie P C
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whittaker Ave - Mont Clare - Pennsylvania 17433

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

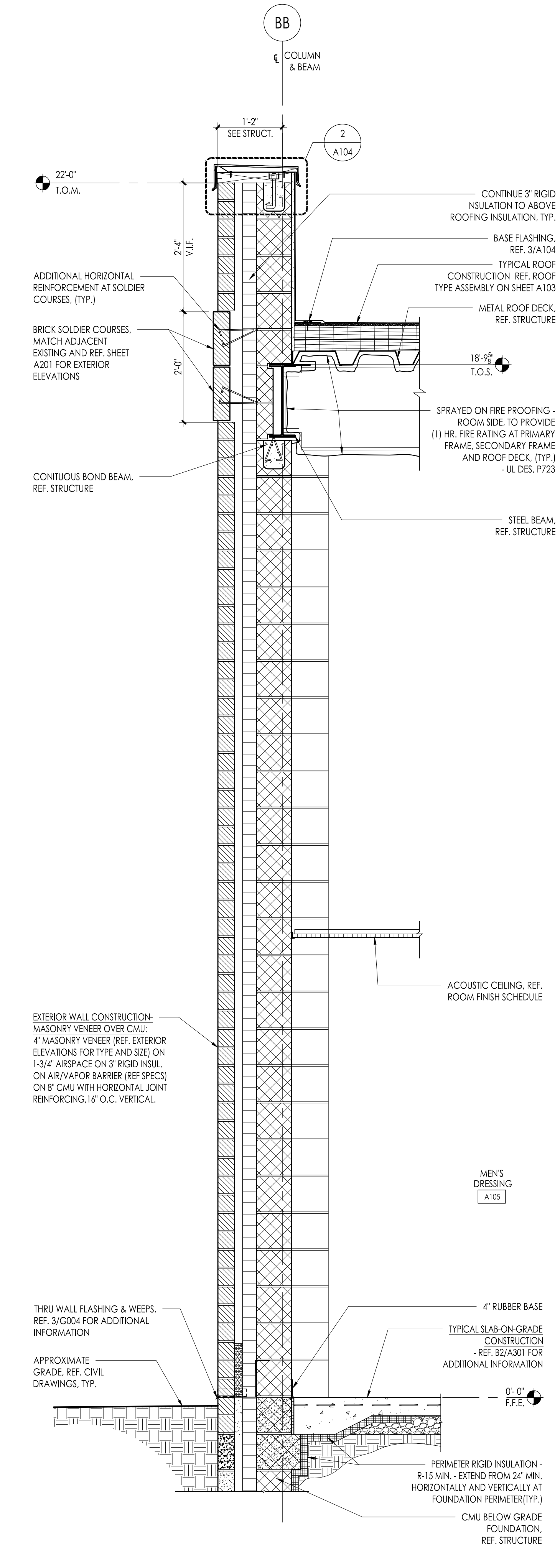
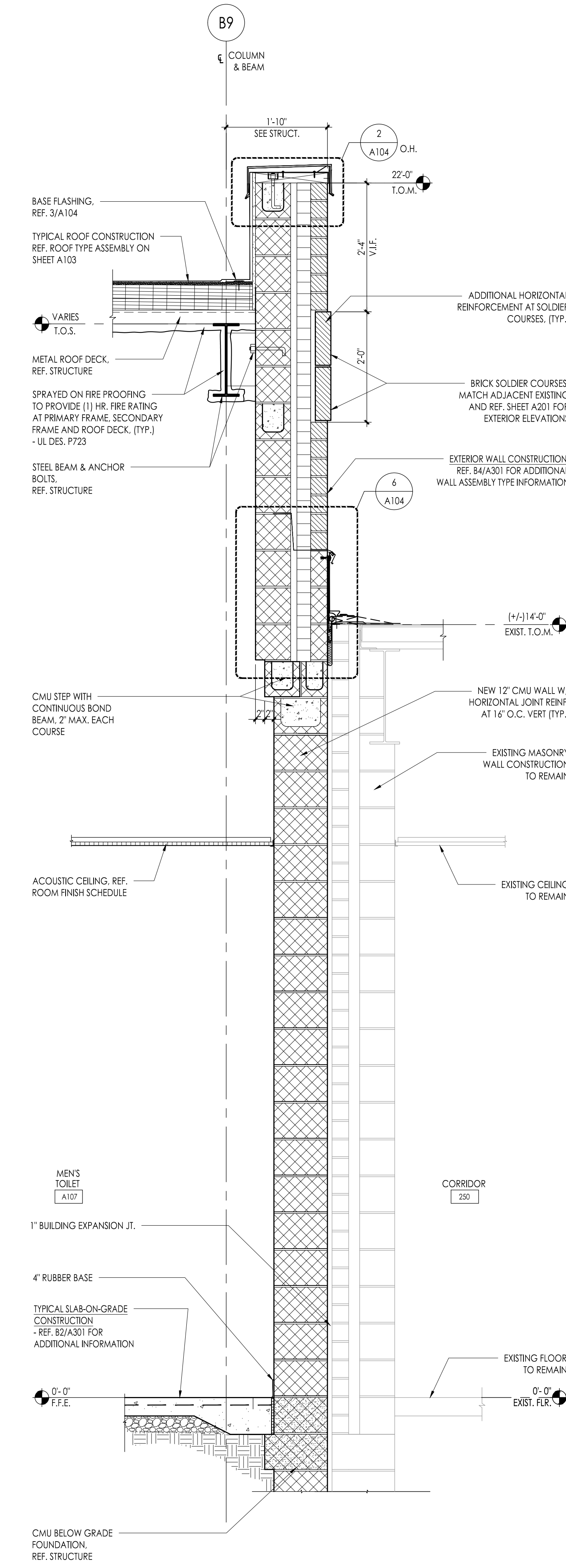
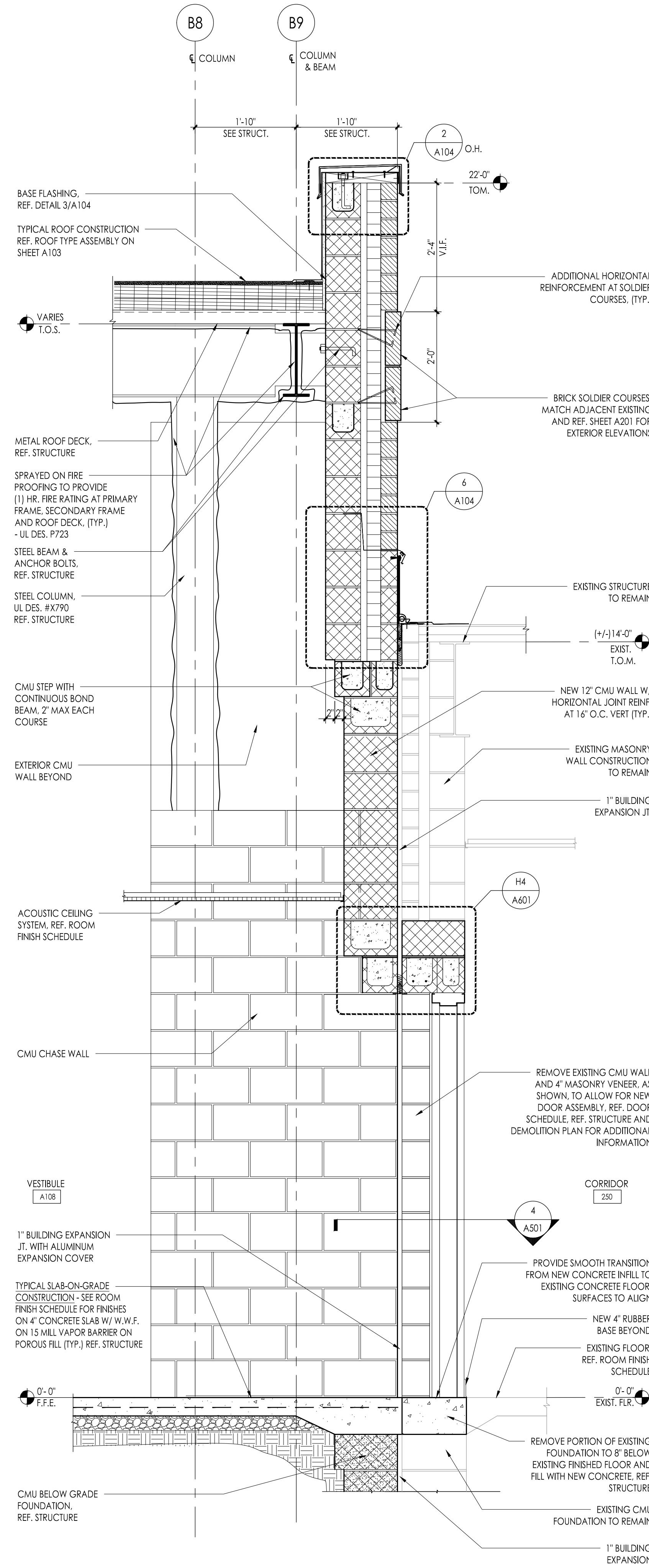
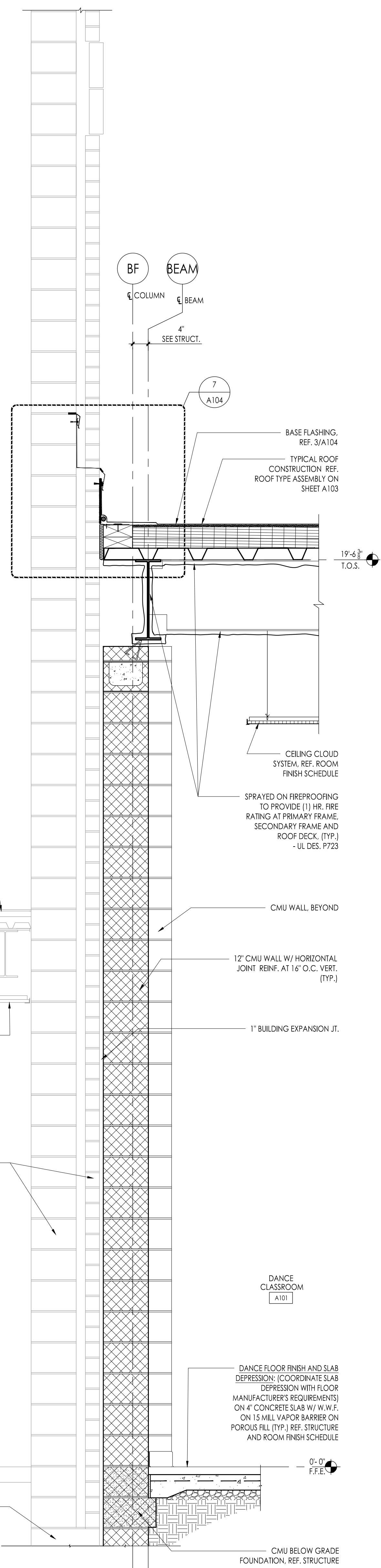
Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1
Project Date
04.06.2021
Checked By
GRD
Drawn By
SWS/IB
Scale
As Noted

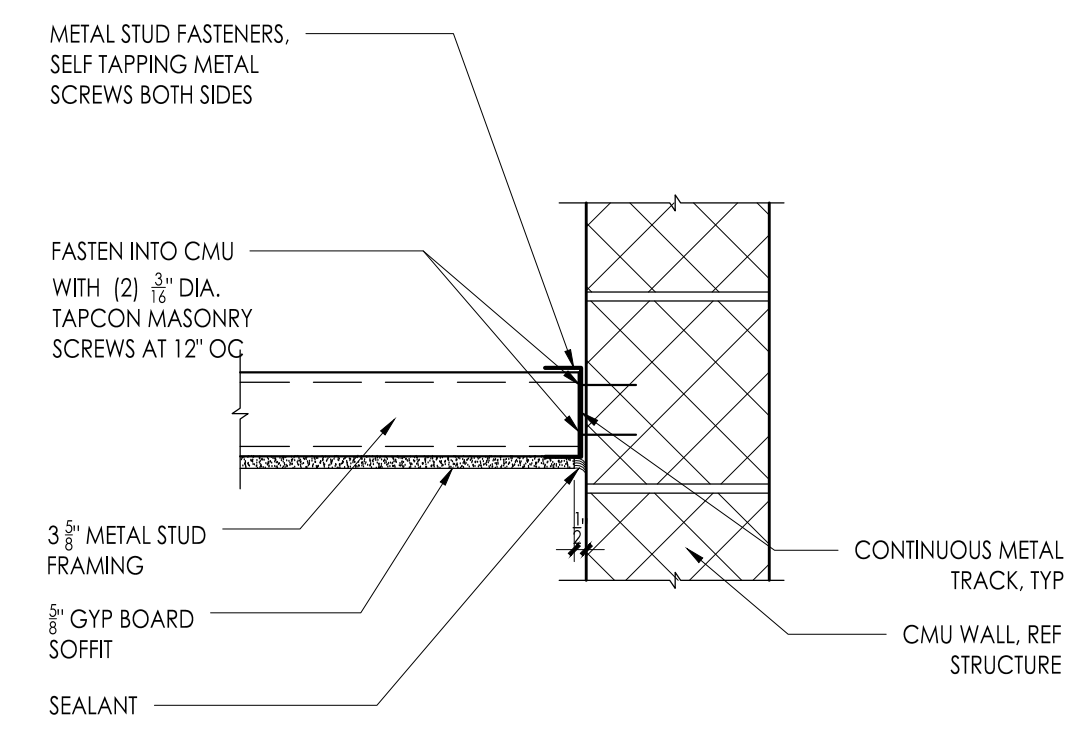
Drawing Name
- Proposed Exterior Elevations

Revisions		
No.	Date	Description

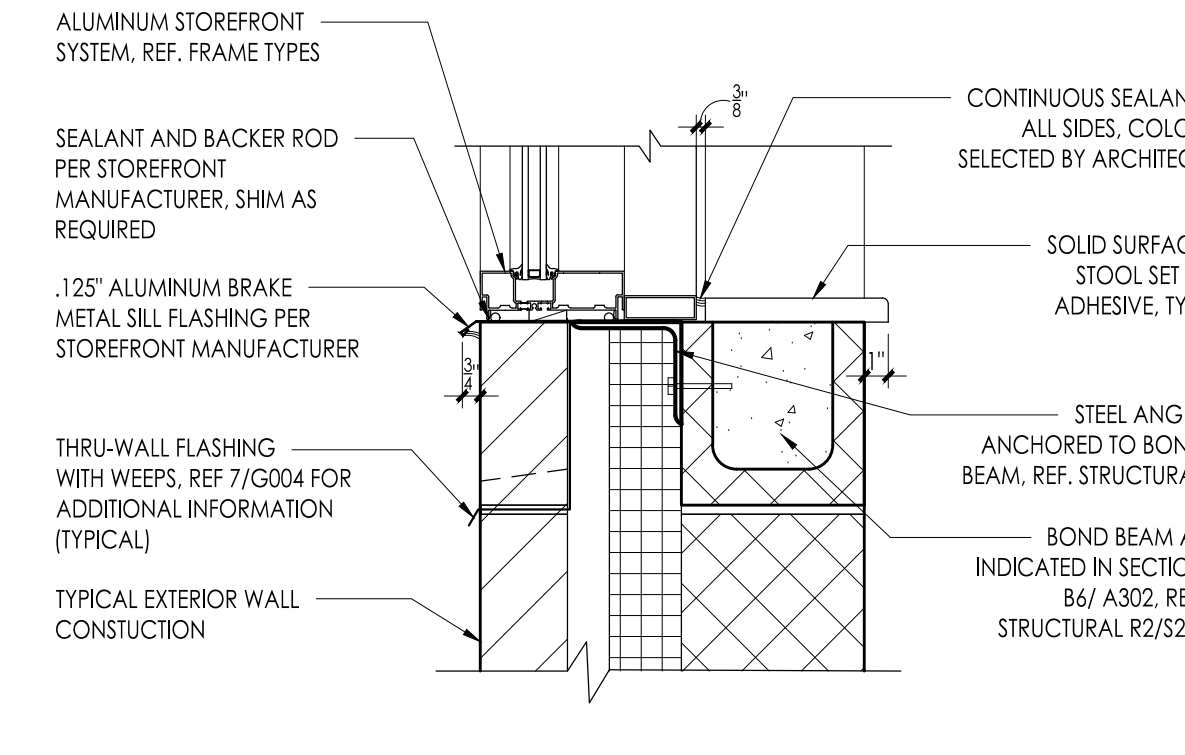
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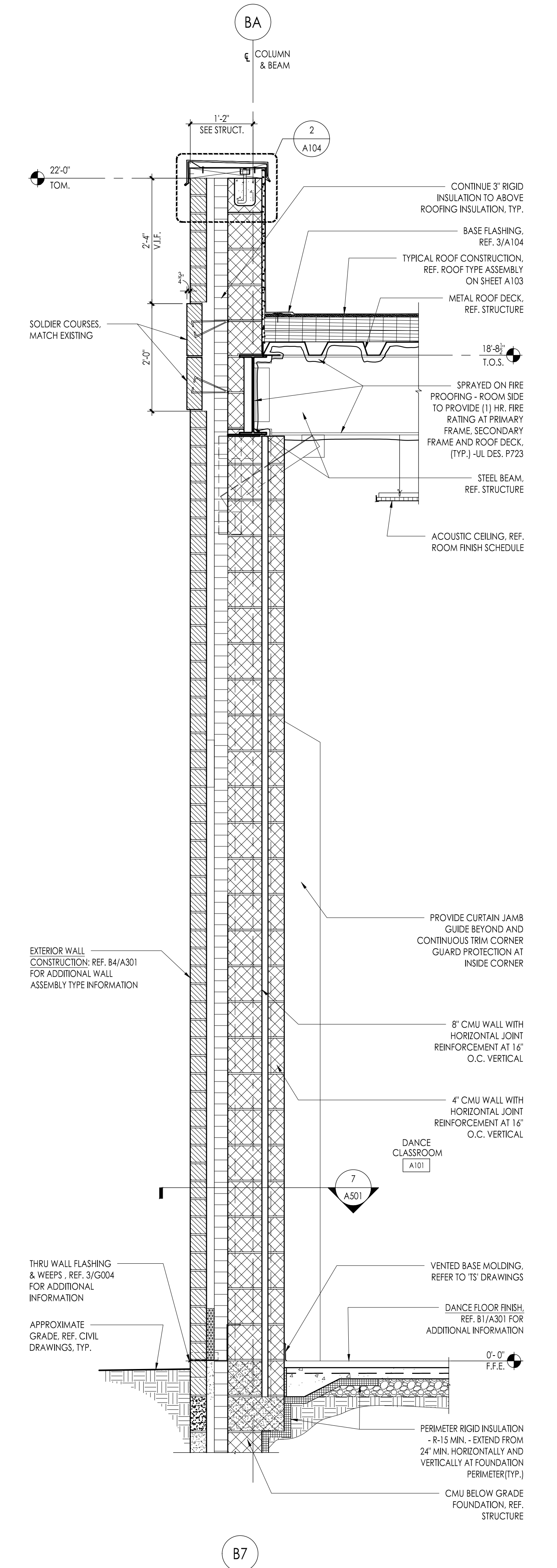
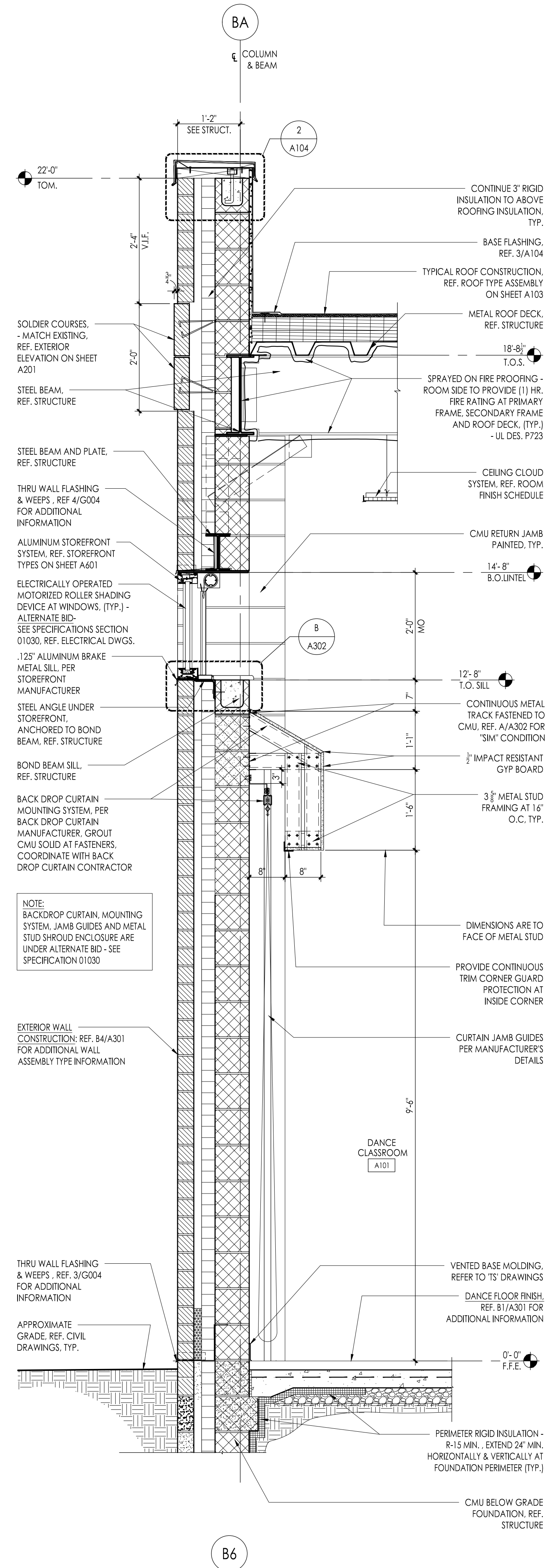
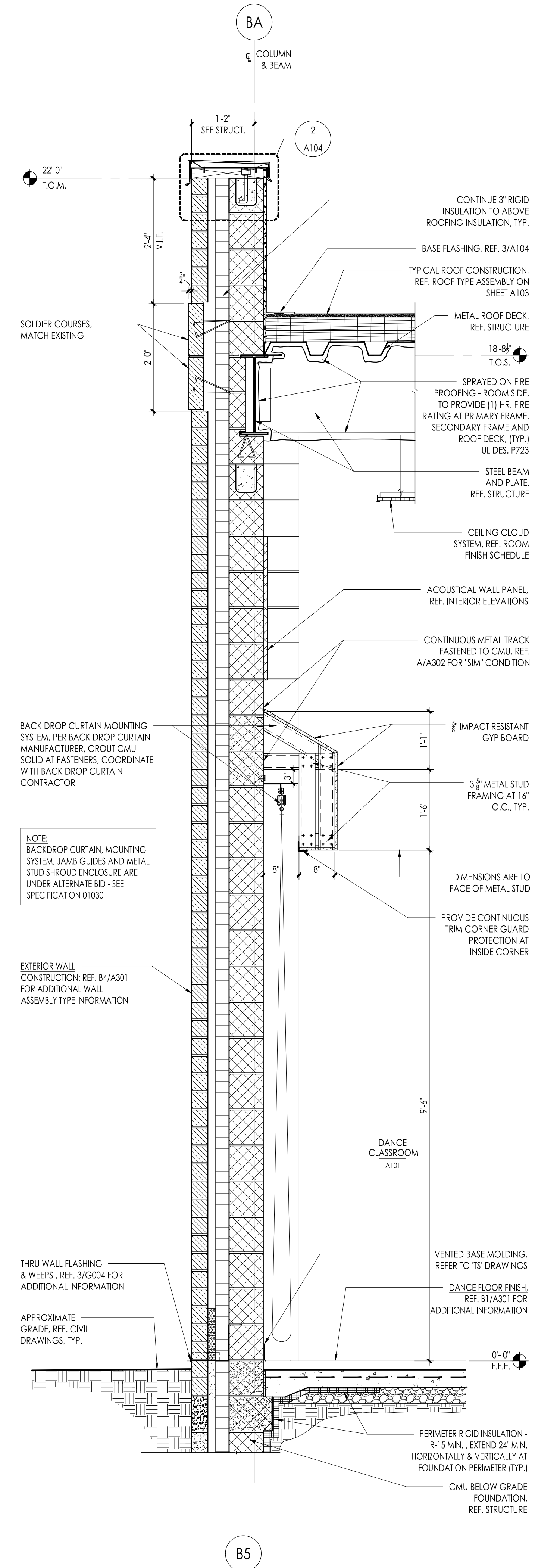
No.	Date	Description



A TYPICAL CAPTURE TRACK AT CMU WALL
1-1/2" = 1'-0"



B SILL DETAIL AT STOREFRONT
Scale: 1 1/2" = 1'-0"



WILLIAM D. HOPKINS III, AIA, LEED AP
N.Y. 140700001 (PA) - 60233304
GEORGE E. DUTHIE JR., AIA, FP
N.Y. 140700001

04/06/2021
Date

F V H D P C - C O M

FVHD architects
planners
Frattak Veisz Hopkins Duthie P C
Company: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whitaker Ave - Mont Clear - Pennsylvania 17403

Project Name
**Addition to West
Windsor-Plainsboro
High School North**

Project Owner Name
**West Windsor -
Plainsboro Regional
School District**

Project Location
**90 Grovers Mill Road,
Plainsboro,
New Jersey 08536**

Project Number
5063K1

Project Date
04.06.2021

Checked By
GRD

Drawn By
IB

Scale
3/4" = 1'-0"

Drawing Name
Wall Sections

No.	Date	Description

Drawing Number
A302

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

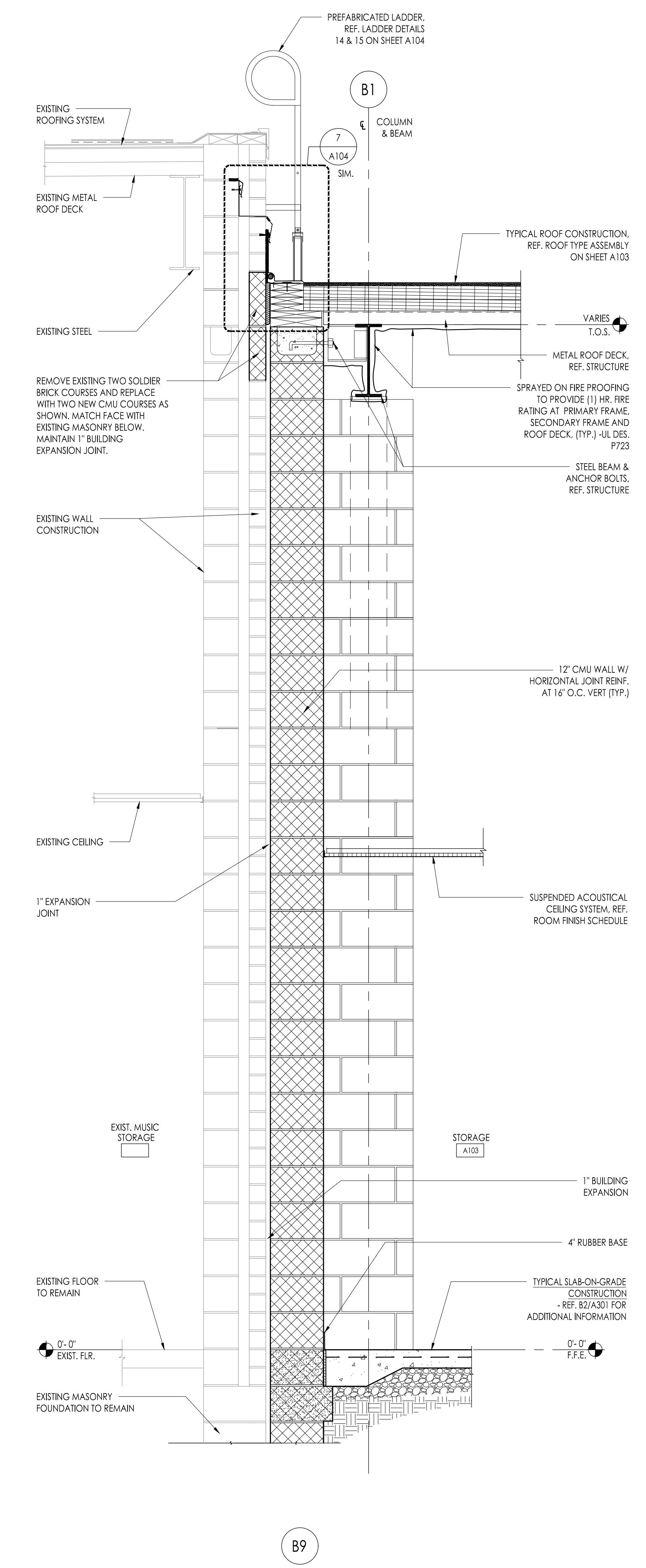
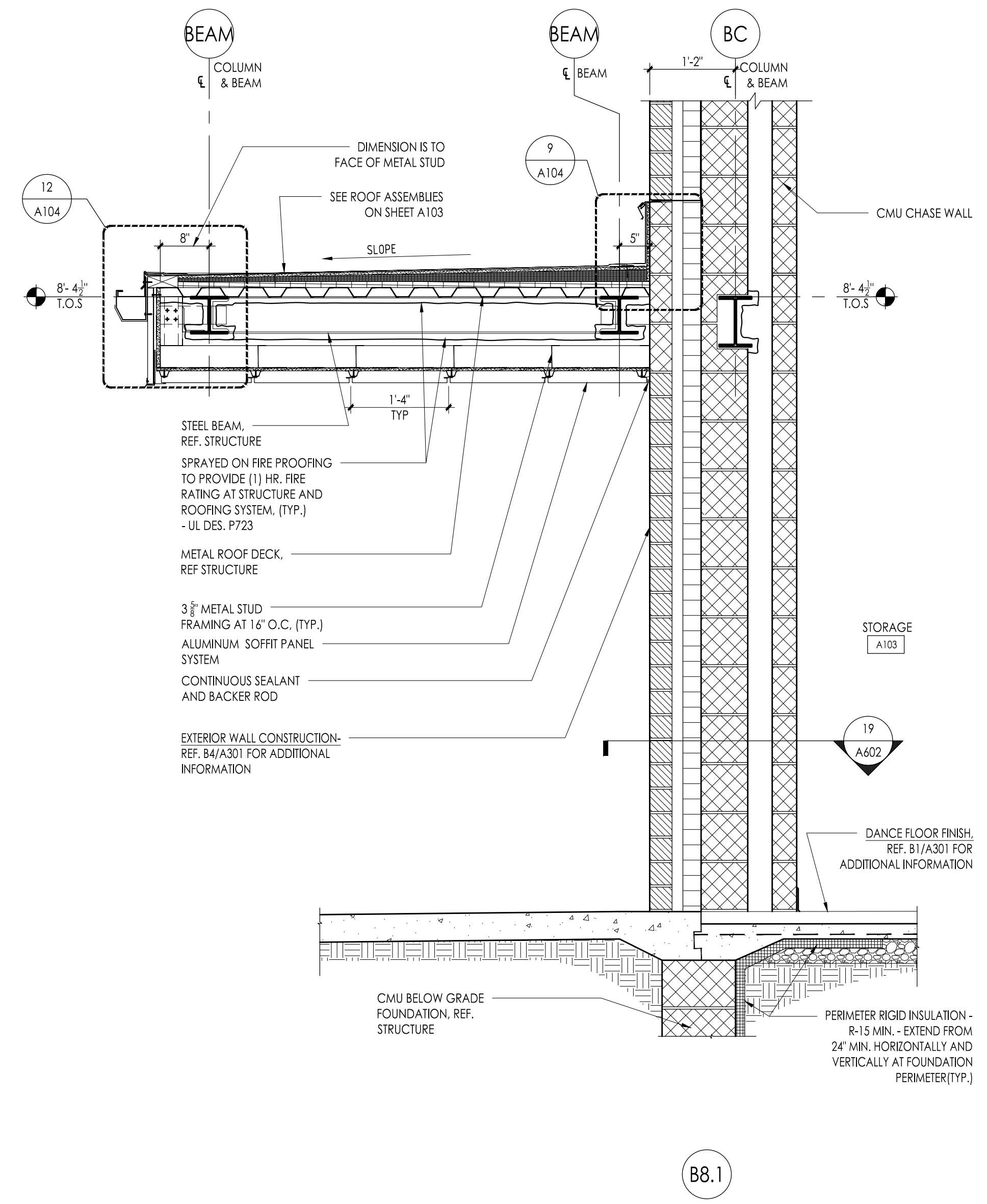
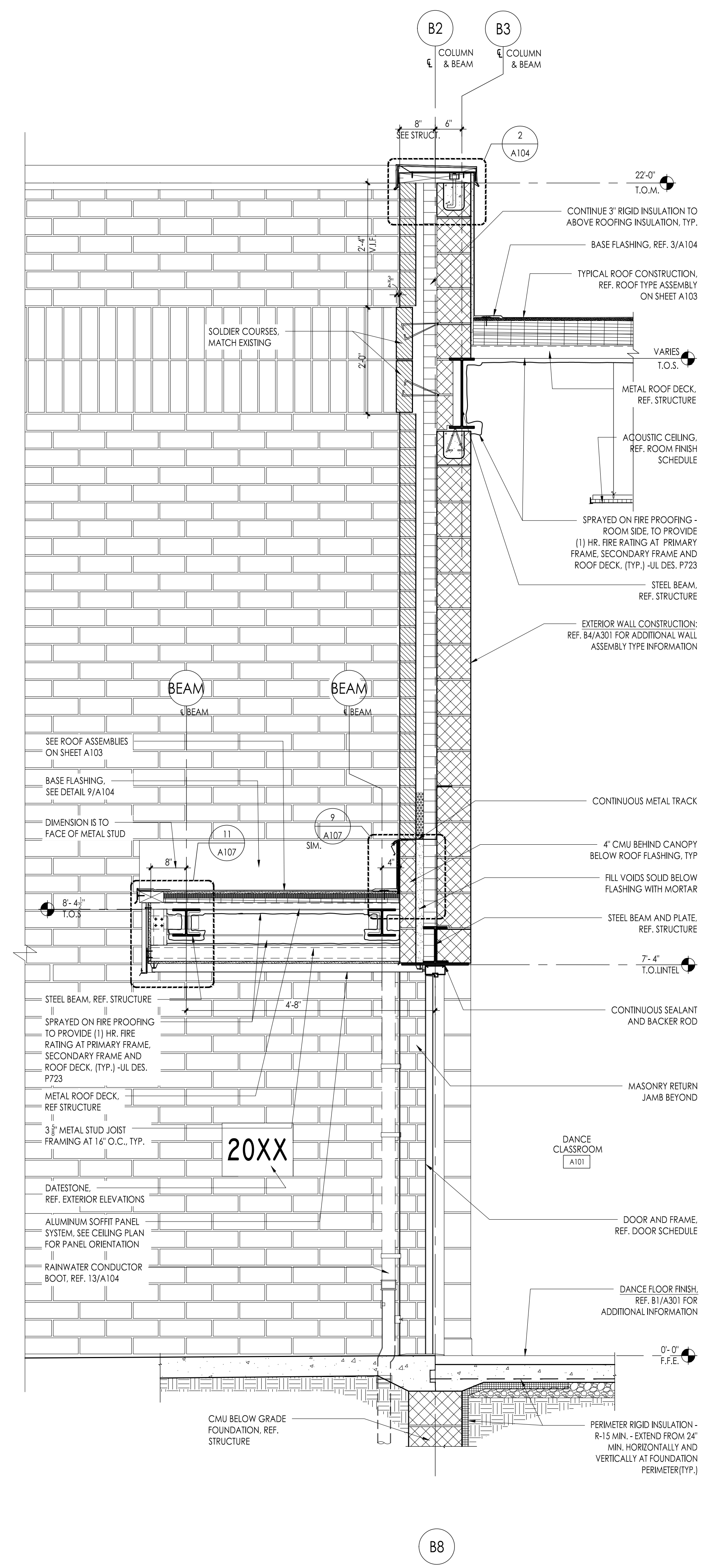
Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

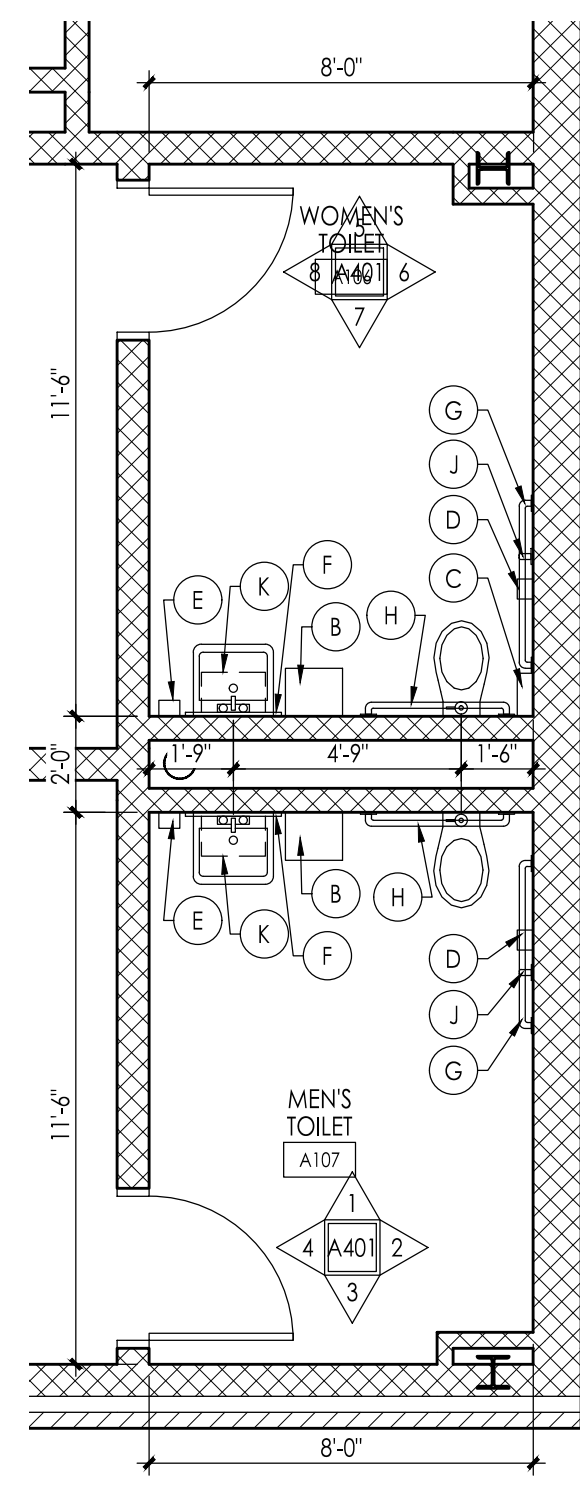
Project Number
5063K1
 Project Date
04.06.2021
 Checked By
GRD
 Drawn By
IB
 Scale
3/4" = 1'-0"

Drawing Name
Wall Sections

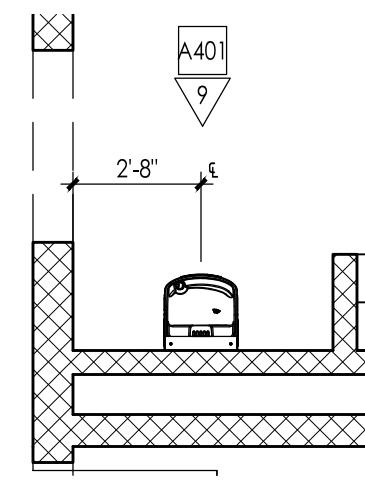
No.	Date	Description
1	03.05.21	Addendum No. 02

Drawing Number
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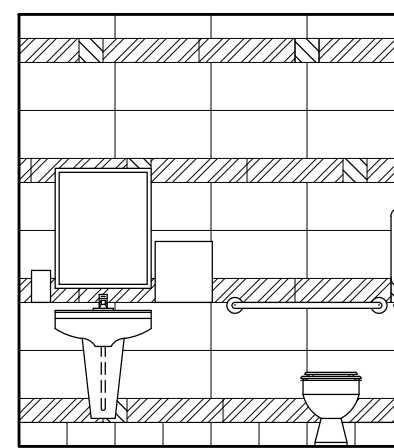




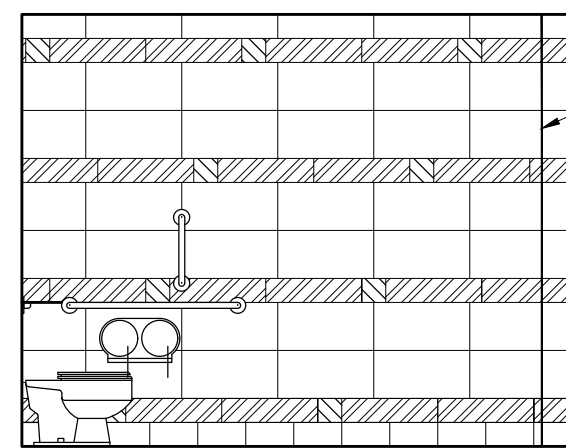
A Toilet Layouts
Scale: 1/4" = 1'-0"



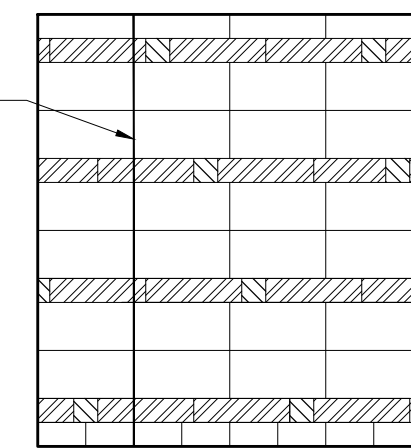
B Drinking Fountain
Scale: 1/4" = 1'-0"



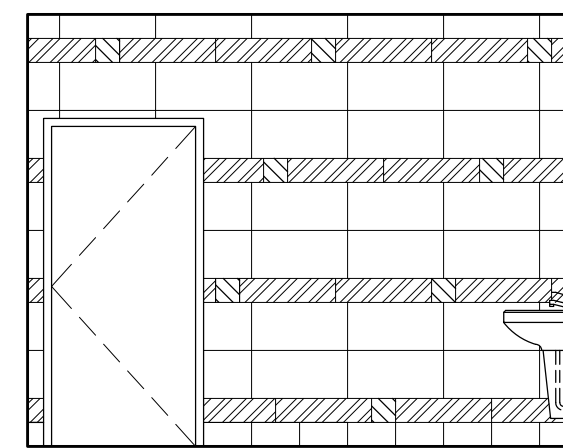
1 Men's Toilet
Scale: 1/4" = 1'-0"



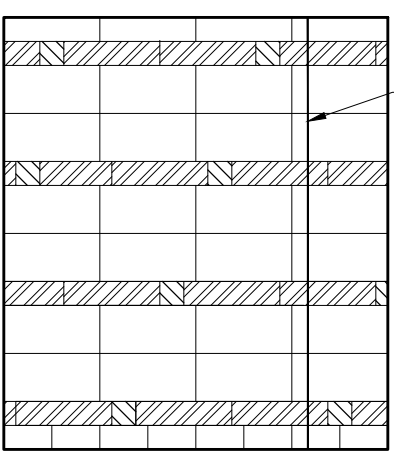
2 Men's Toilet
Scale: 1/4" = 1'-0"



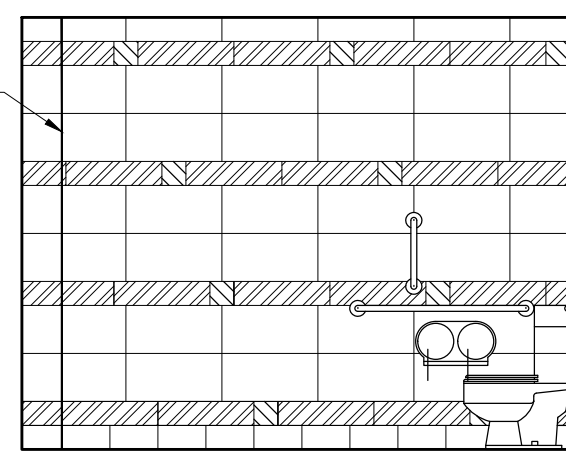
3 Men's Toilet
Scale: 1/4" = 1'-0"



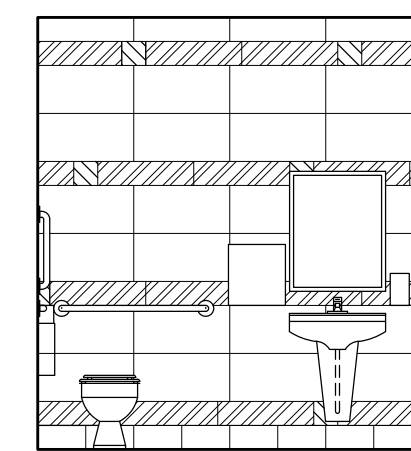
4 Men's Toilet
Scale: 1/4" = 1'-0"



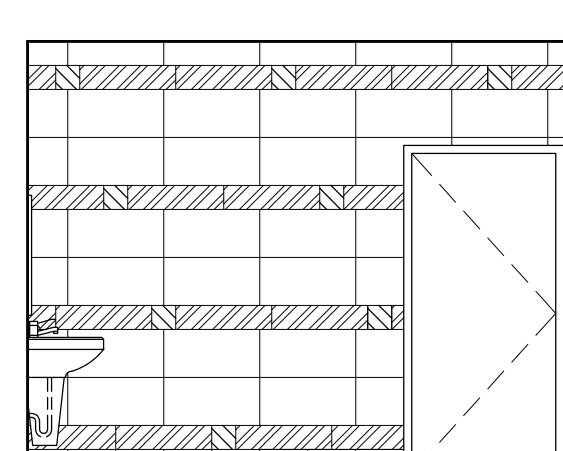
5 Women's Toilet
Scale: 1/4" = 1'-0"



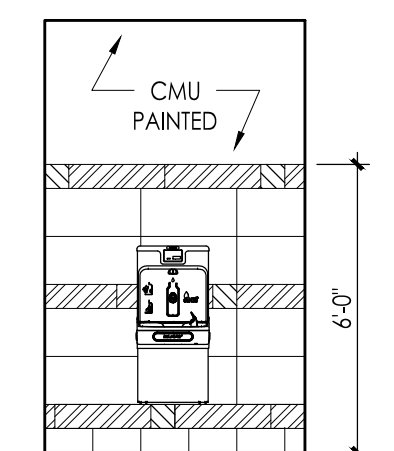
6 Women's Toilet
Scale: 1/4" = 1'-0"



7 Women's Toilet
Scale: 1/4" = 1'-0"



8 Women's Toilet
Scale: 1/4" = 1'-0"



9 Drinking Fountain
Scale: 1/4" = 1'-0"

PORCELAIN TILE LEGEND

- PT (WALL) COLOR #1
- PT (WALL) COLOR #2
- PT (WALL) COLOR #3

NOTES:
1. SEE DRAWING G202 FOR TYPICAL TOILET ROOM FIXTURE / ACCESSORY MOUNTING HEIGHTS AND CLEARANCES.

EQUIPMENT SCHEDULE

ITEM NO.	MANUFACTURER	CAT. NO.	DESCRIPTION	WIDTH	DEPTH	HEIGHT	REMARKS
1	CAMPBELL RHEA (OR APPROVED EQUAL)	4672	WALL CASE - DOUBLE DOORS	41-1/4"	12"	16-3/16"	ONE ADJUSTABLE SHELF
2	CAMPBELL RHEA (OR APPROVED EQUAL)	8760-42	ADA CLOSURE PANEL ASSEMBLY - 42" WIDE	42"	22-1/2"	33"	
3	JUST (OR APPROVED EQUAL)	SL-ADA-1921-A-GR	STAINLESS STEEL DROP-IN SINK	21"			
4	ICI SCIENTIFIC-JAMESTOWN METAL (OR APPROVED EQUAL)	P101-36	OPEN FRONT BASE CABINET - METAL	36"	22"	35-1/4"	ONE ADJUSTABLE SHELF
5	CAMPBELL RHEA (OR APPROVED EQUAL)	5872	TEACHER'S WARDROBE	41-1/4"	22-1/2"	84"	4 ADJUSTABLE SHELVES, 1 CENTER FIXED SHELF

NOTES:

- ALL CATALOG NUMBERS REFER TO BRADLEY WASHROOM ACCESSORIES UNLESS OTHERWISE NOTED. ALL SCHEDULED EQUIPMENT MANUFACTURERS ARE "BASIS OF DESIGN", OR APPROVED EQUAL.
- INDICATED ACCESSORIES SUPPLIED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR.
- LAVATORY SHIELD MANUFACTURED BY "TRUEBRO - IFS CORPORATION" OR APPROVED EQUAL - SEE PLUMBING DRAWINGS AND SPECIFICATION.
- SEE DRAWING G202 FOR MOUNTING HEIGHTS AND CLEARANCES AT ALL FIXTURES AND ACCESSORIES.

SINK NOTE 'A': (ITEM #3)
SL-ADA-1921-A-GR STAINLESS STEEL SINK, JUST MANUFACTURING OR APPROVED EQUAL. THE SINK IS ADA COMPLIANT. TYPE 304 WHEELCHAIR ACCESSIBLE SINK, SINGLE COMPARTMENT, SELF-RIM, 18 GAUGE STAINLESS STEEL, 19" x 21" x 8" DEEP, DRAIN CENTER. SINK UNDERCOATED W/ SOUND DEADENING MATERIAL. FURNISH COMPLETE WITH JUST FAUCET (J-J-1174-KS) CONCEALED HOT & COLD WATER MIXING FAUCET WITH SWIVEL GOOSENECK SPOUT, AERATOR AND WRIST BLADE HANDLES. INCLUDE ONE JUST OFFSET DRAIN ASSEMBLY (J-J-ADA-35-FS) W/ DRAIN INSULATING KIT (J-J-ADA-150) W/ STAINLESS STEEL FLAT STRAINER & 4" LONG STAINLESS STEEL TAILPIECE (J-J-35-SF).

SINK, FAUCET, STRAINER AND TAILPIECE TO BE SUPPLIED BY EQUIPMENT CONTRACTOR. THE PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL ALL TRAPS, VALVES, WASTE LINES, ETC. AS REQUIRED TO MAKE THE SYSTEM FULLY FUNCTIONAL. THE PLUMBING CONTRACTOR SHALL MAKE THE FINAL PLUMBING CONNECTIONS REQUIRED TO MAKE THE SYSTEM FULLY FUNCTIONAL. SEE GENERAL CASEWORK NOTES # 6 & 7.

GENERAL CASEWORK NOTES:

- CATALOG NUMBERS REFER TO MOST CURRENT CAMPBELL RHEA CASEWORK CATALOG UNLESS OTHERWISE NOTED. FOR REFERENCE ONLY.
- ALL CASEWORK DOORS AND DRAWERS TO HAVE LOCKS KEYS ALIKE PER ROOM AND MASTER KEYS.
- ALL TOPS SHALL BE PLYWOOD, 1" TOTAL THK. WITH PLASTIC LAMINATE COVERING ON ALL EXPOSED SURFACES (UNLESS NOTED OTHERWISE).
- ALL BACKSPLASHES SHALL BE 3/4" PLYWOOD WITH PLASTIC LAMINATE COVERING ON ALL EXPOSED SURFACES (UNLESS NOTED OTHERWISE).
- ALL FURNITURE AND EQUIPMENT SHOWN DOTTED AND/OR INDICATED AS (N.I.C.) IS NOT IN CONTRACT.
- THE CASEWORK & EQUIPMENT SUB-CONTRACTOR(S) SHALL TURN OVER TO THE PLUMBING AND ELECTRICAL SUB-CONTRACTOR(S) IN A PACKAGE, ALL SINKS, FIXTURES, FAUCETS, TAILPIECES, STRAINERS, GAS COCKS, ETC., AND ELECTRICAL DEVICES, NIPPLES AND LOCKNUTS, ETC., FOR INSTALLATION AND FINAL CONNECTION.
- THE CASEWORK AND EQUIPMENT SUB-CONTRACTOR SHALL PROVIDE AN ITEMIZED LIST AND A DESIGNATED SITE LOCATION FOR THE TRANSFER OF THE MATERIALS REFERENCED IN NOTE 6 TO THE PLUMBING AND ELECTRICAL SUB-CONTRACTORS. THE LIST SHALL HAVE A DESCRIPTION OF THE ITEMS AND QUANTITY ALONG WITH A SIGN-OFF LINE FOR THE PLUMBING AND ELECTRICAL SUB-CONTRACTORS. A COPY OF THE SIGNED LIST IS TO BE SUBMITTED TO THE ARCHITECT / OWNER PRIOR TO BILLING FOR THIS EQUIPMENT.
- EQUIPMENT SUB-CONTRACTOR SHALL MAKE SINK CUT-OUTS.
- ALL DUPLEX OUTLETS SHALL BE G.F.C.I. UNLESS NOTED OTHERWISE.
- SINK CABINETS SHALL BE INSTALLED BEFORE THE INSTALLATION OF ADJACENT CABINETS.
- ALL CONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITTEN FORM OF ANY DISCREPANCIES.
- PROVIDE ALL FILLERS AS REQUIRED. FILLERS AT BASE CABINETS SHALL BE AT FRONT OF CABINET AND COUNTERTOP SHALL BE CONTINUOUS OVER FILLER PANEL. FILLERS AT TALL CABINETS SHALL BE AT FRONT AND TOP OF CABINET. FILLERS AT WALL CASES SHALL BE AT FRONT, TOP AND BOTTOM OF CABINET. FINISH TO MATCH CASEWORK.
- ALL PRINTERS AND COMPUTERS ARE N.I.C. (TYPICAL)
- RUBBER BASE ON ALL CASEWORK BY G.C. (TYPICAL)
- ALL SCHEDULED EQUIPMENT MANUFACTURERS ARE "BASIS OF DESIGN", OR APPROVED EQUAL.

NOTE:
ALL FURNITURE AND EQUIPMENT WITHOUT THE SYMBOL OR MARKED (N.I.C.) IS NOT IN CONTRACT UNLESS NOTED OTHERWISE. SEE EQUIPMENT SCHEDULE FOR EQUIPMENT MARKED WITH THE SYMBOL.

NOTE:
SEE 1/8" PLAN FOR LOCATION & ROOM NUMBERS.
SEE 1/8" PLAN TO DETERMINE WHICH ROOMS ARE OPPOSITE HAND AND/OR SIMILAR TO ROOM SHOWN.

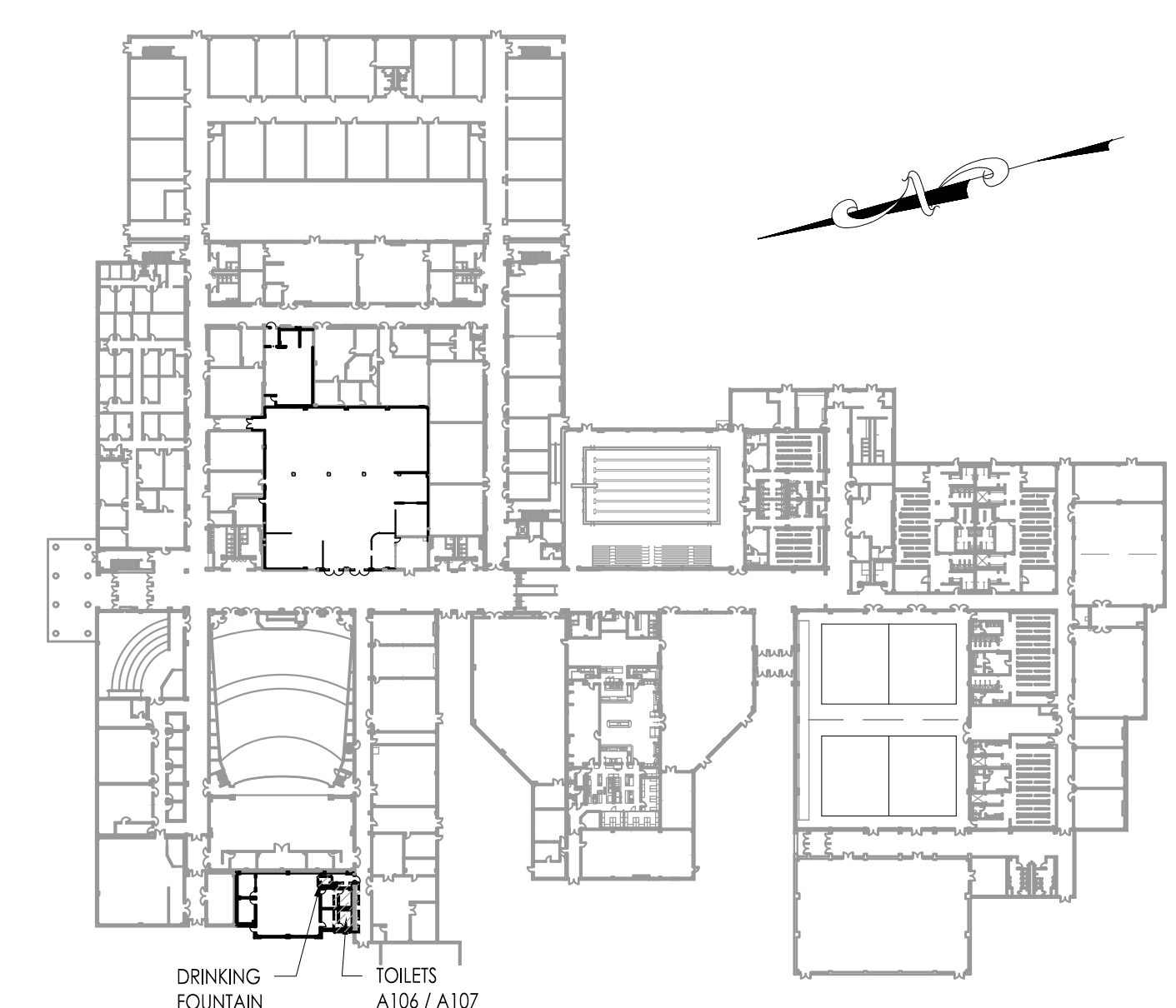
NOTE:
PROVIDE A MINIMUM 18" BARRIER-FREE MANEUVERING CLEARANCE AT THE FULL SIDE OF ALL DOORS ADJACENT TO CABINETS, SHELVING, CORRIDOR LOCKERS, ETC.

NOTE:
ALL COMPUTER WORKSTATIONS ARE NOT IN CONTRACT (N.I.C.) UNLESS NOTED OTHERWISE (TYPICAL)

EQUIPMENT CONTRACT NOTE:
THE EQUIPMENT SUB-CONTRACTOR(S) SHALL BE (A) SUB-CONTRACTOR(S) OF THE GENERAL CONSTRUCTION WORK CONTRACTOR.

TOILET ROOM ACCESSORIES

NO.	CAT. NO.	DESCRIPTION	SIZE			REMARKS
			H.	D.	W.	
A	--	NOT USED	--	--	--	
B	--	PAPER TOWEL DISPENSER	--	--	--	SEE NOTE 2
C	#4722-15	SANITARY NAPKIN DISPOSAL	15 1/8"	4"	10 3/4"	SURFACE MOUNTED
D	--	TOILET TISSUE DISPENSER	--	--	--	SEE NOTE 2
E	--	SOAP DISPENSER	--	--	--	SEE NOTE 2
F	#781-2430	MIRROR	30"	--	24"	TEMPERED GLASS
G	#812-2	GRAB BAR	--	1 1/2" D.	42"	SAFETY GRIP FINISH
H	#812-2	GRAB BAR	--	1 1/2" D.	36"	SAFETY GRIP FINISH
J	#812-2	GRAB BAR	18"	1 1/2" D.	--	SAFETY GRIP FINISH, MOUNT VERTICAL
K	#2018	LAVATORY PIPING SHIELD	16"	20"	10"	SEE NOTE 3



OVERALL BUILDING KEY PLAN
Scale: 1:100

WILLIAM D. HOPKINS III, AIA, LEED AP
N.J. 1401700001 P.A. - 04/23/2008
GEORGE E. DUTHIE JR., AIA, FP
N.J. 1401700001

FVHD architects planners
Fraytak Veisz Hopkins Duthie P.C.
Company: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whitaker Ave - North Chesham - Pennsylvania 19383

F V H D P C . C O M

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1

Project Date
04.06.2021

Checked By
GRD

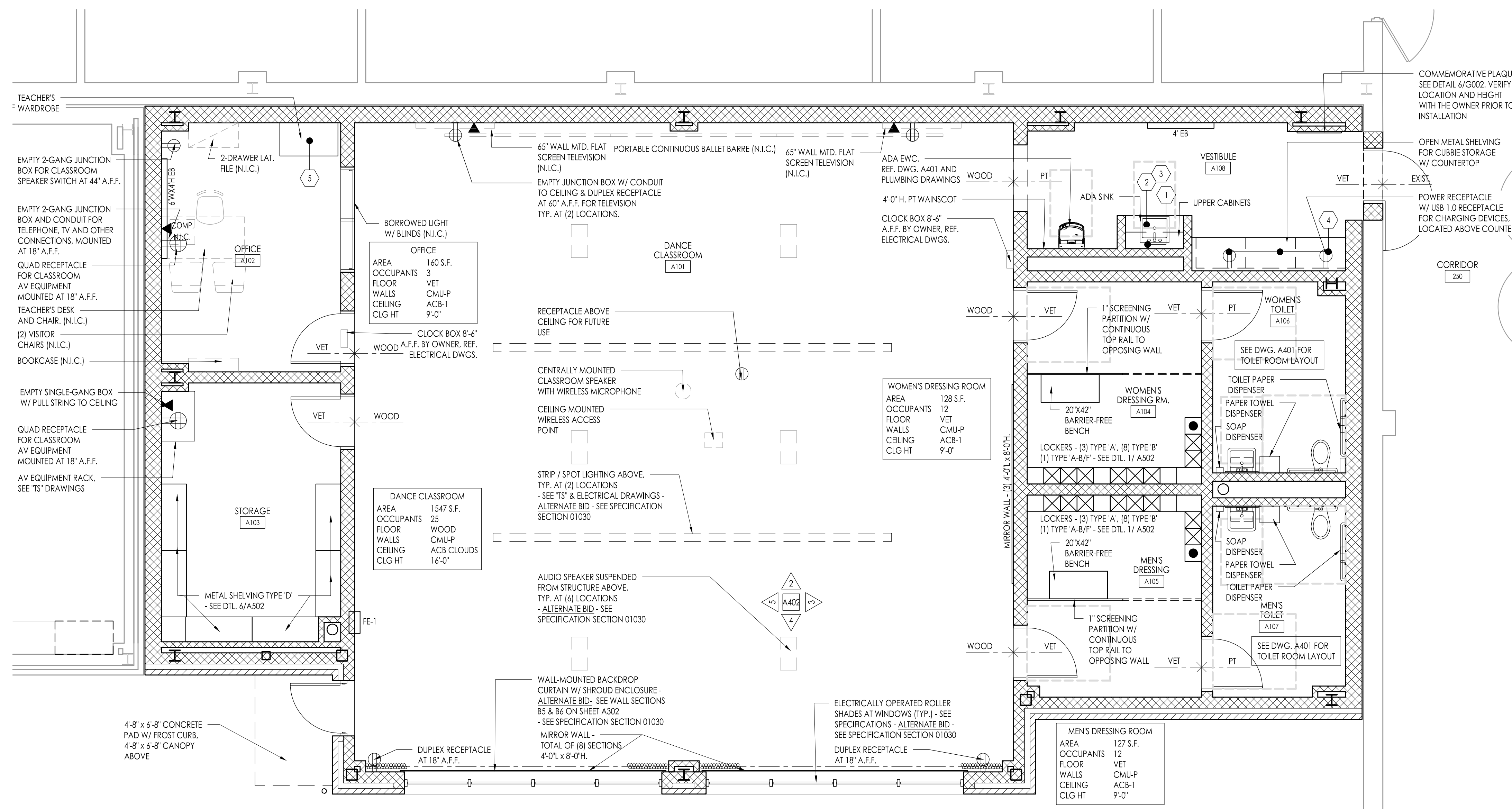
Drawn By
IB

Scale
As Noted

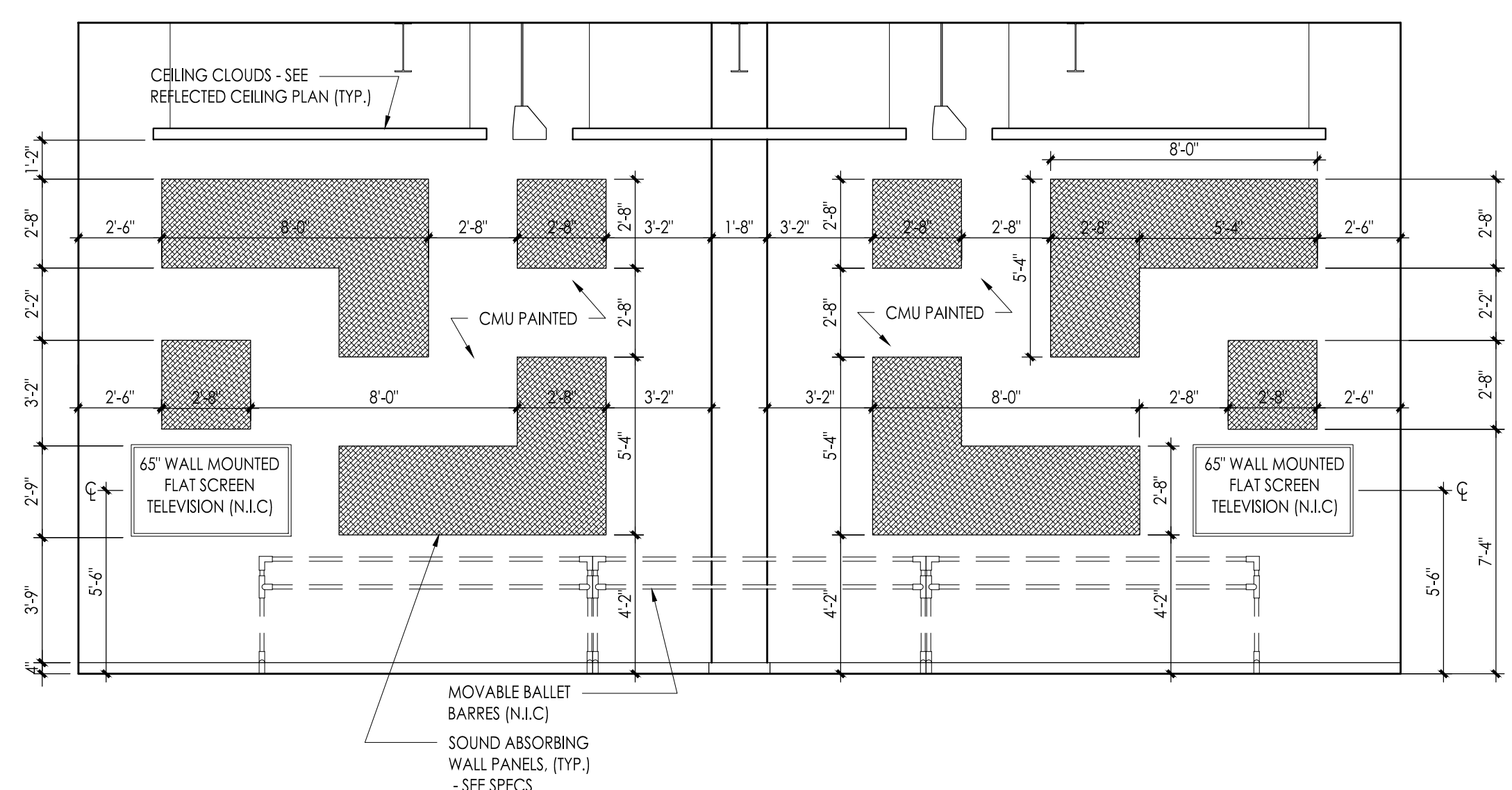
Drawing Name
**- Equipment Schedule
- Notes
- Toilet Room Details**

Revisions		
No.	Date	Description

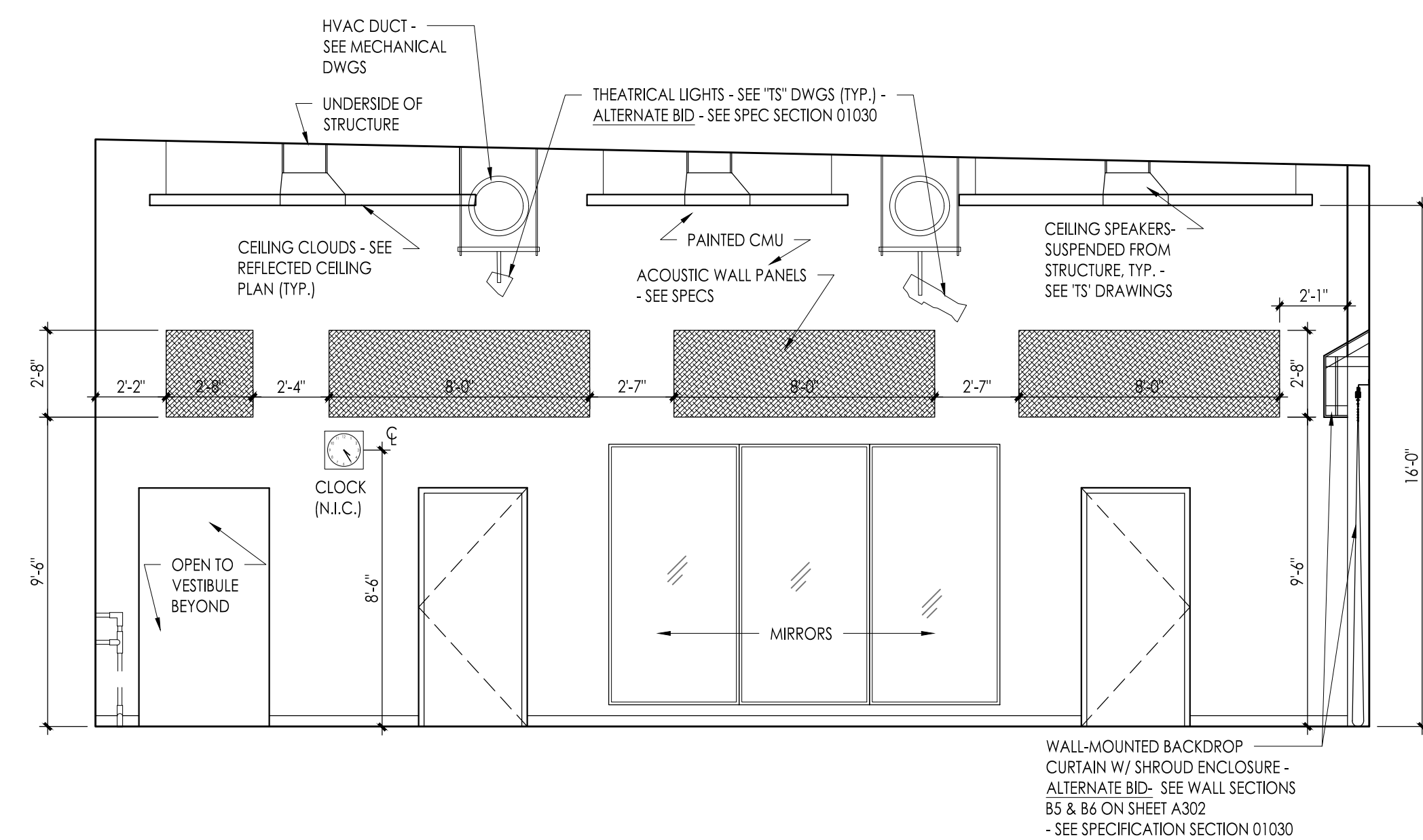
Drawing Number
A401



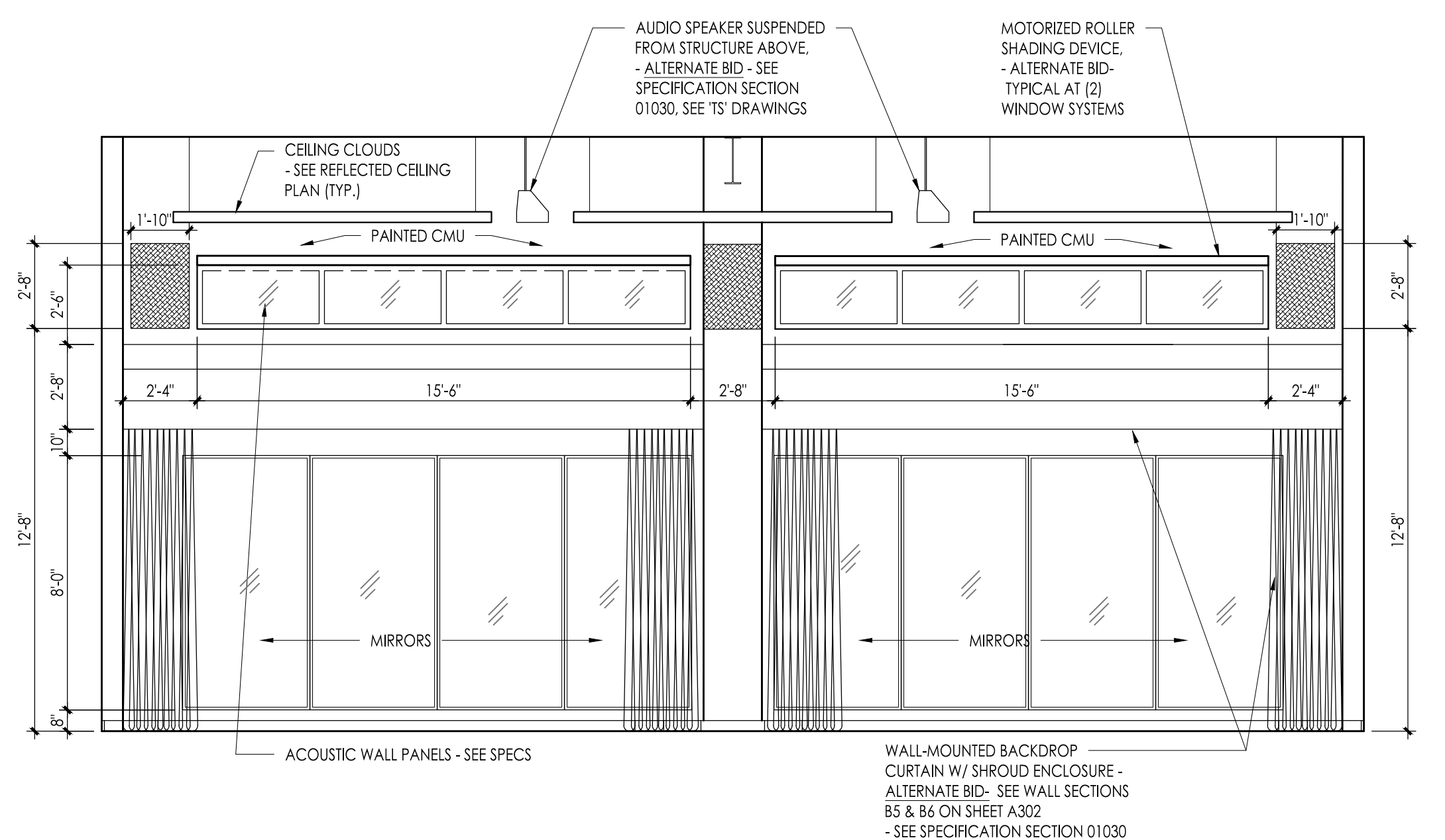
1 Room Layout - Dance Classroom
Scale: 1/4" = 1'-0"



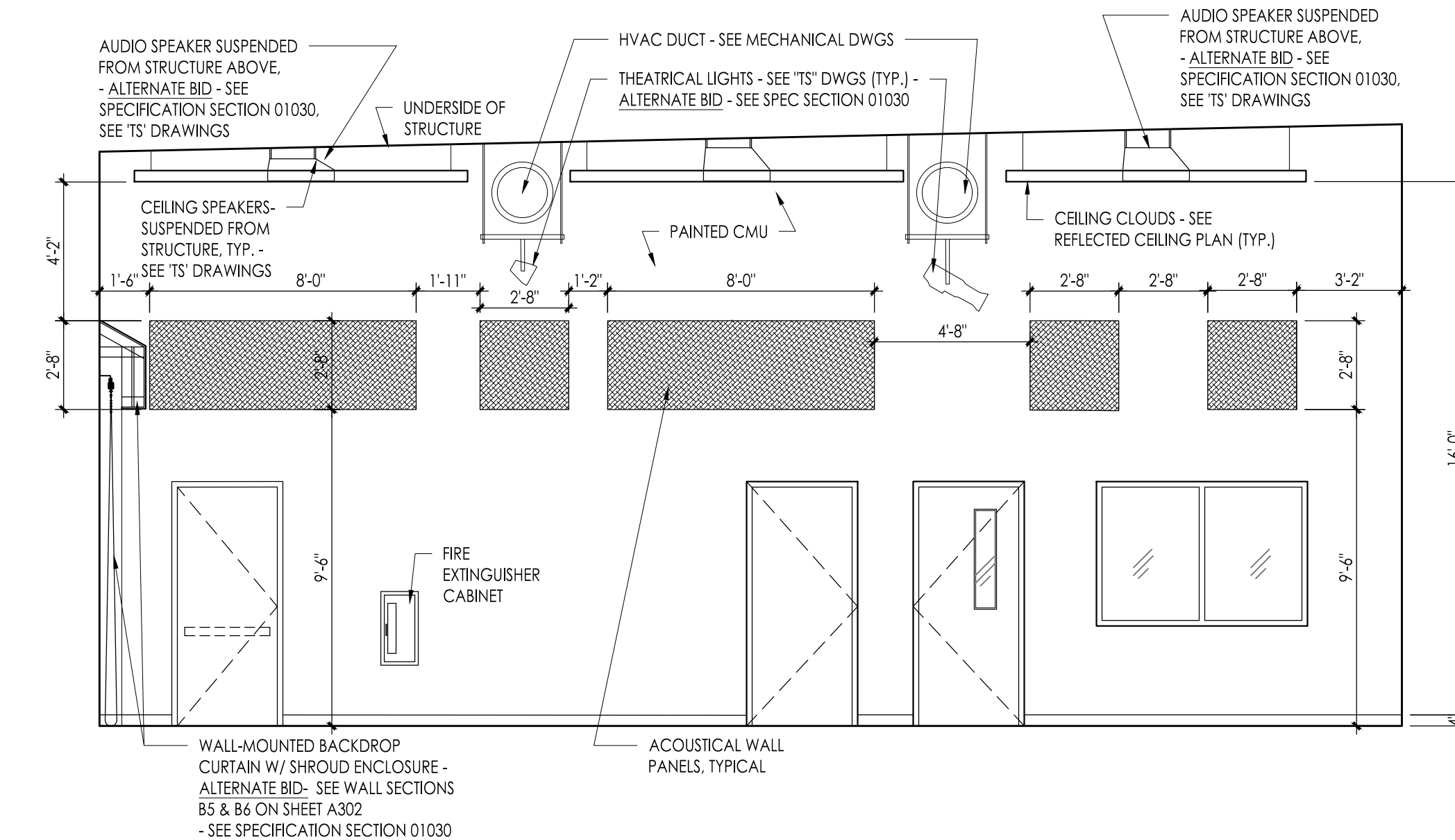
2 Interior Elevation - Dance Classroom
Scale: 1/4" = 1'-0"



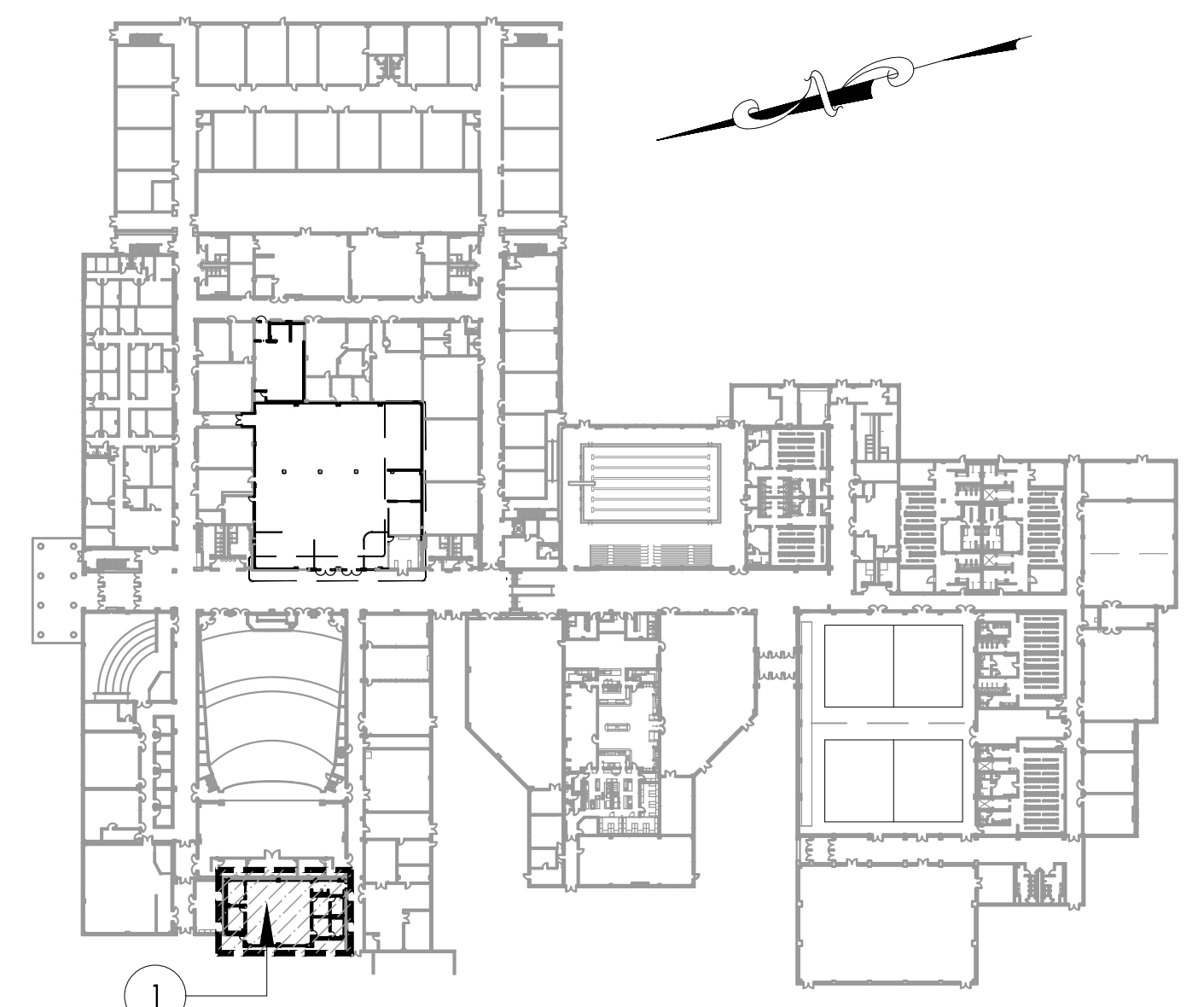
3 Interior Elevation - Dance Classroom
Scale: 1/4" = 1'-0"



4 Interior Elevation - Dance Classroom
Scale: 1/4" = 1'-0"



5 Interior Elevation - Dance Classroom
Scale: 1/4" = 1'-0"



OVERALL BUILDING KEY PLAN
Scale: 1:100

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Project Name: Addition to West Windsor-Plainsboro High School North
 Project Owner Name: West Windsor - Plainsboro Regional School District
 Project Location: 90 Grovers Mill Road, Plainsboro, New Jersey 08536
 Project Number: 5063K1
 Project Date: 04.06.2021
 Checked By: GRD
 Drawn By: IB
 Scale: As Noted
 Drawing Name: - Room Layout - Interior Elevations
 Revisions: No. Date Description
 Drawing Number: A402

Project Name: Addition to West Windsor-Plainsboro High School North

Project Owner Name: West Windsor - Plainsboro Regional School District

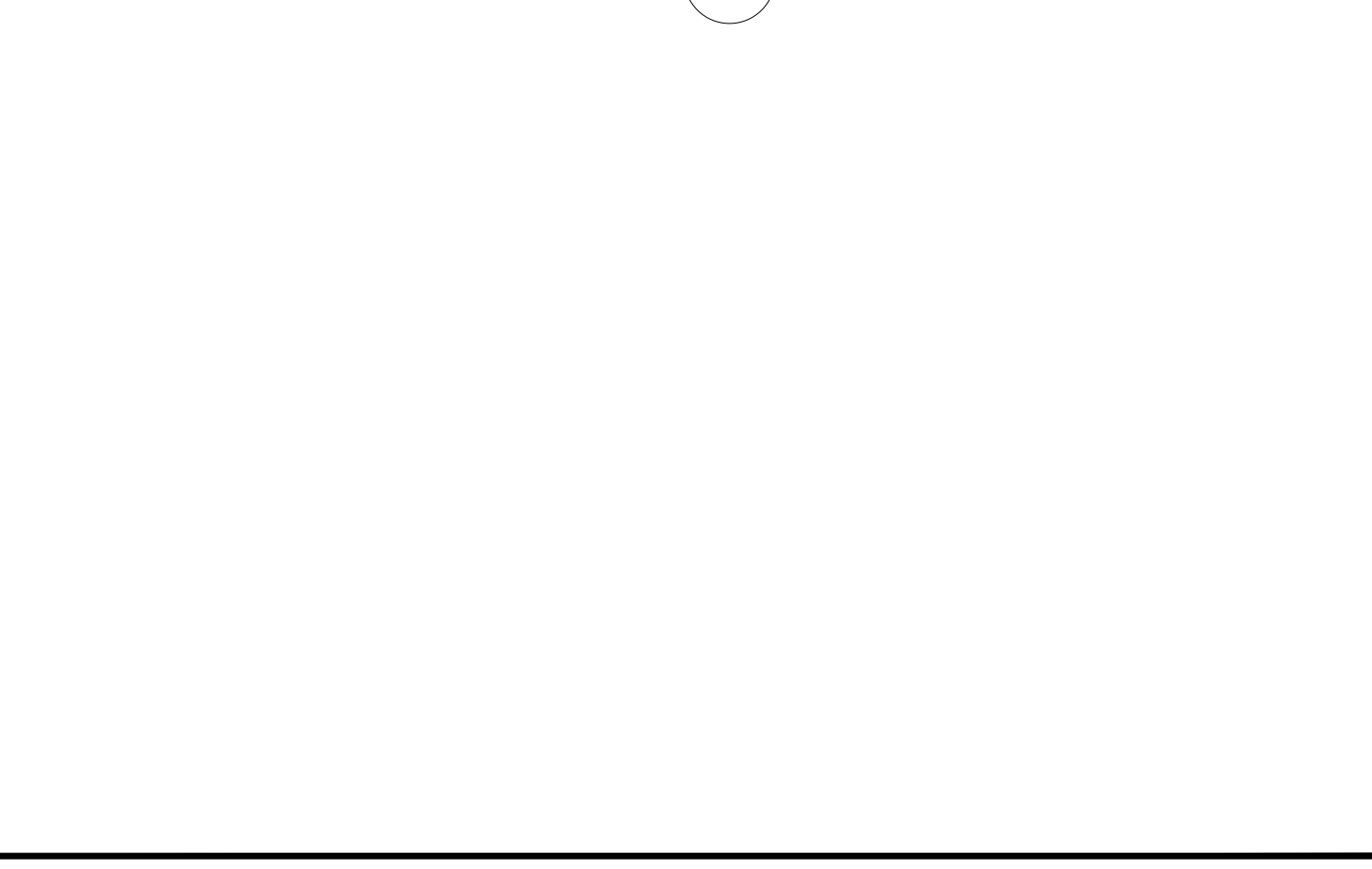
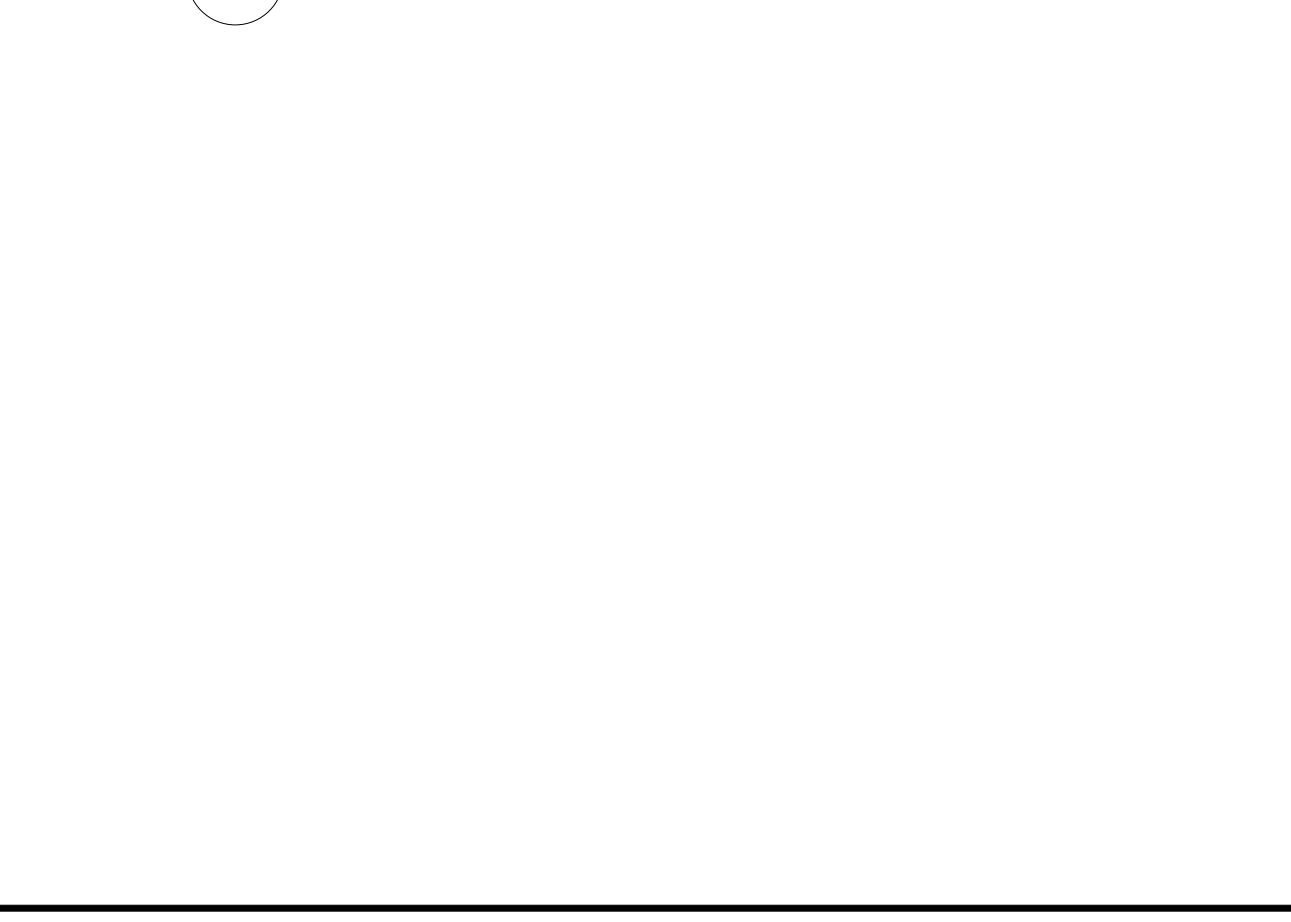
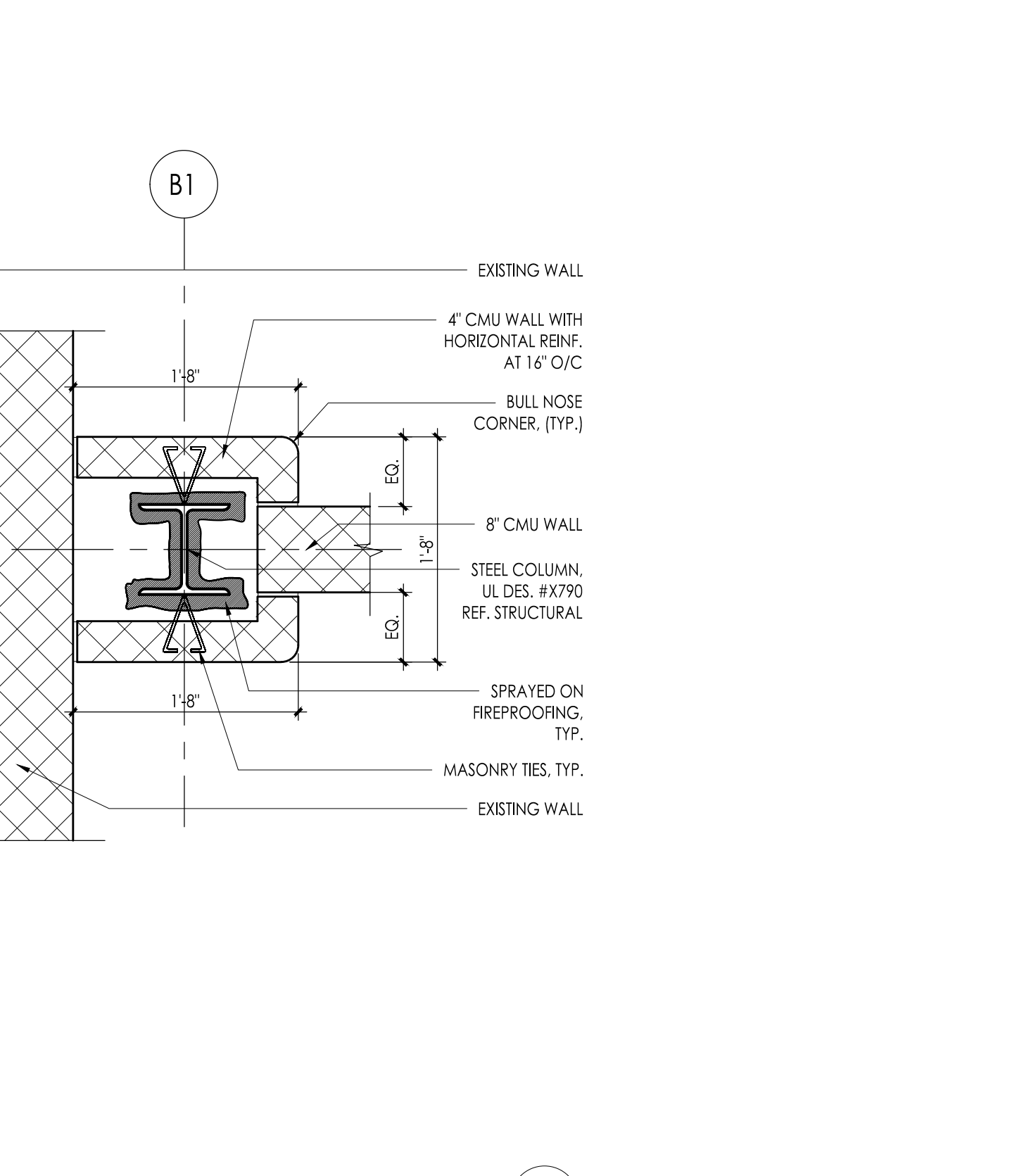
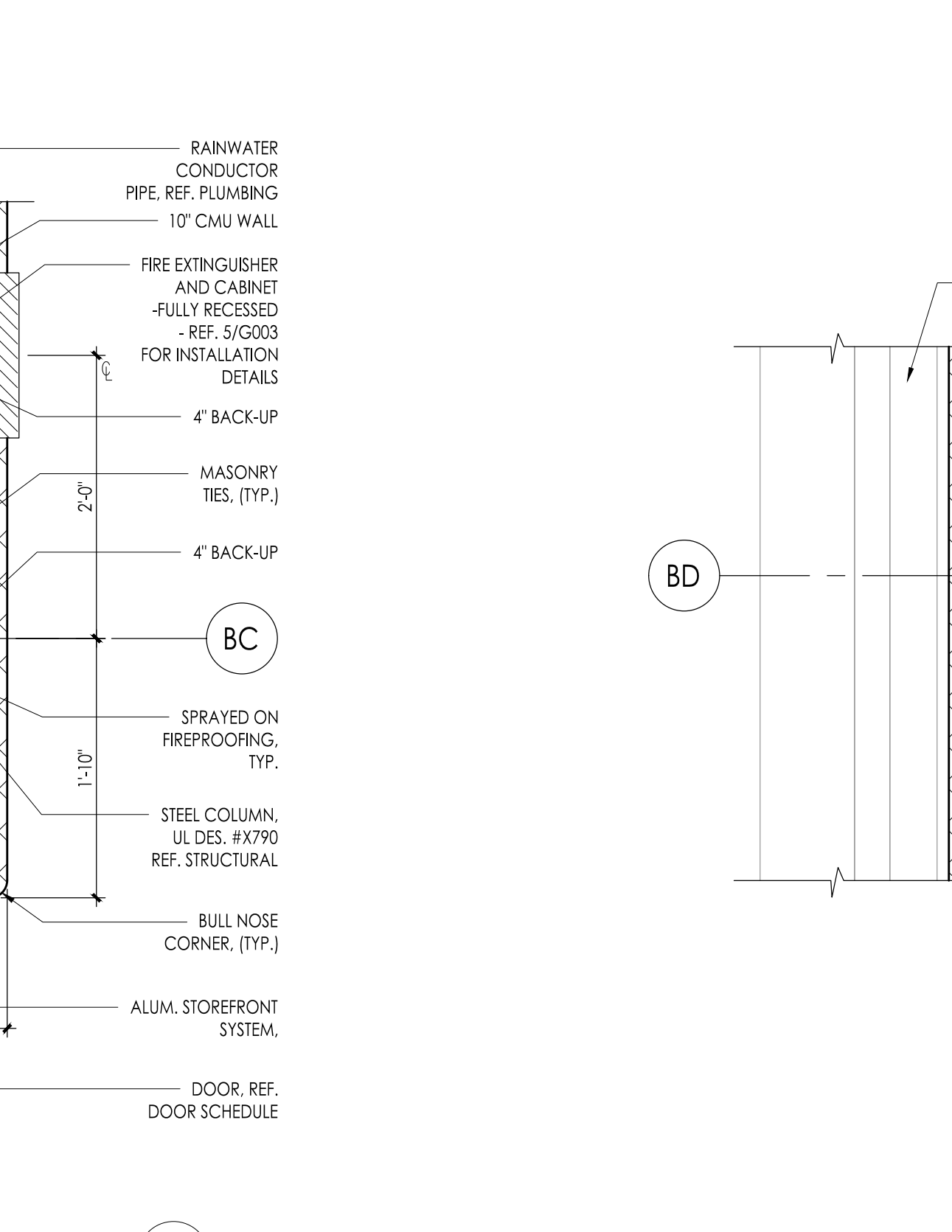
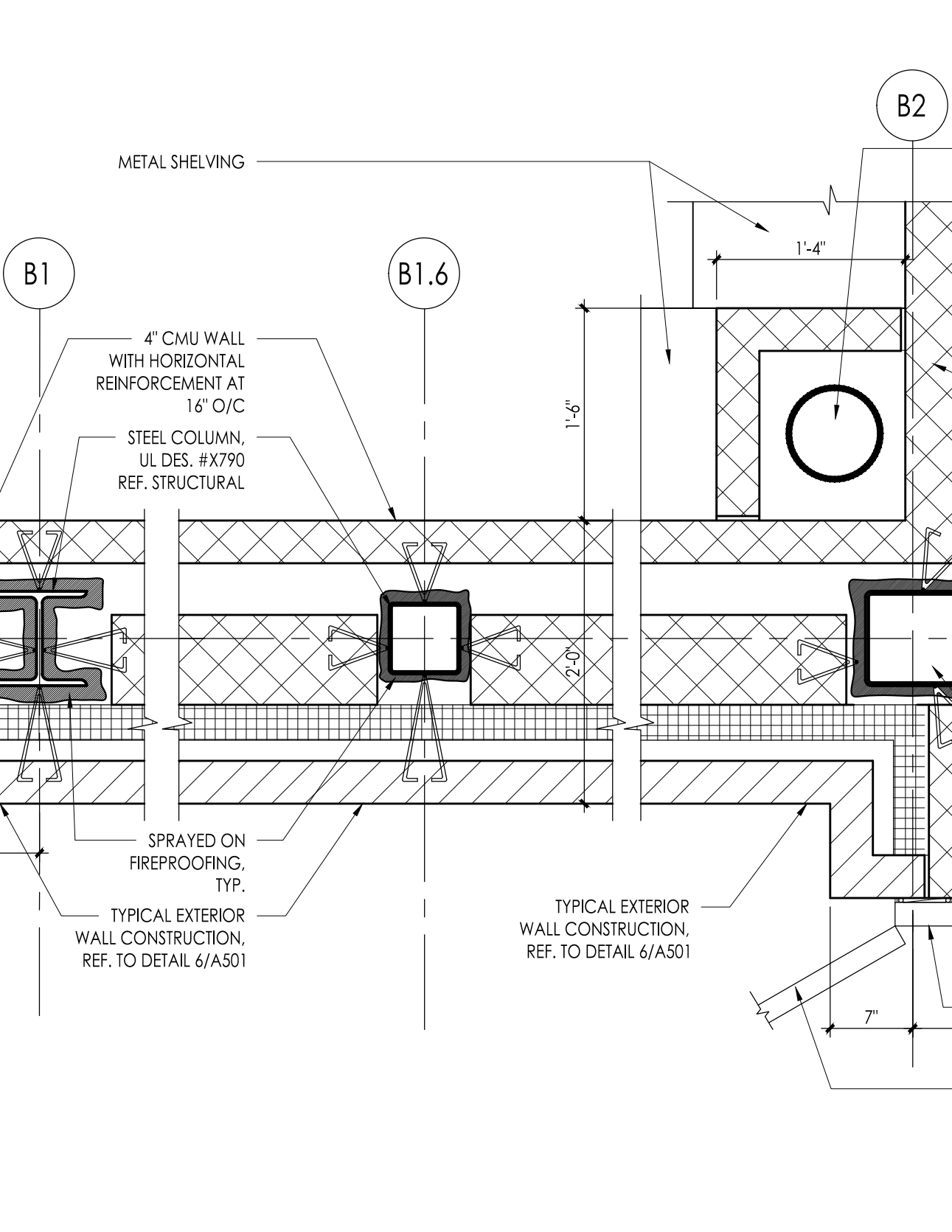
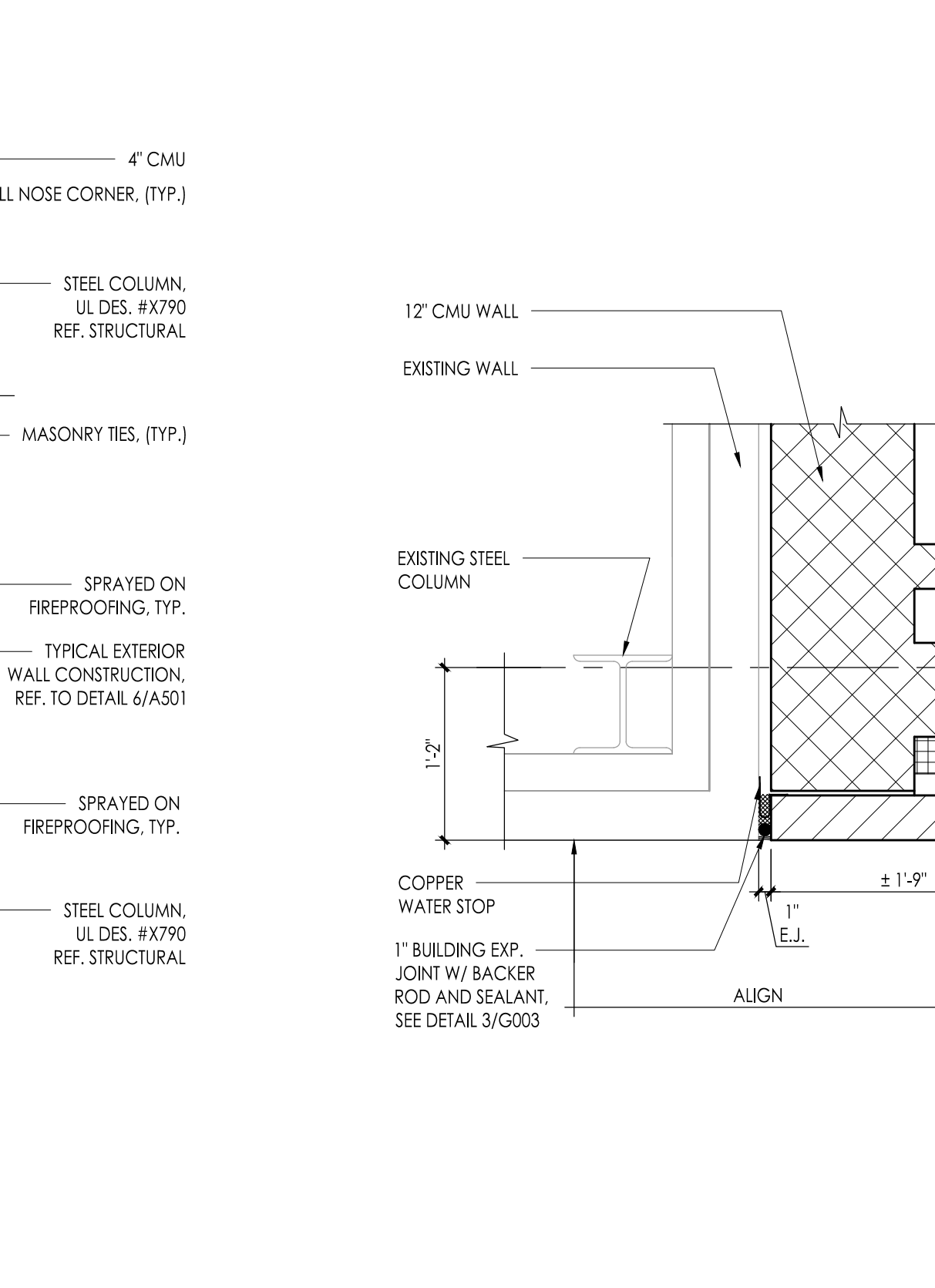
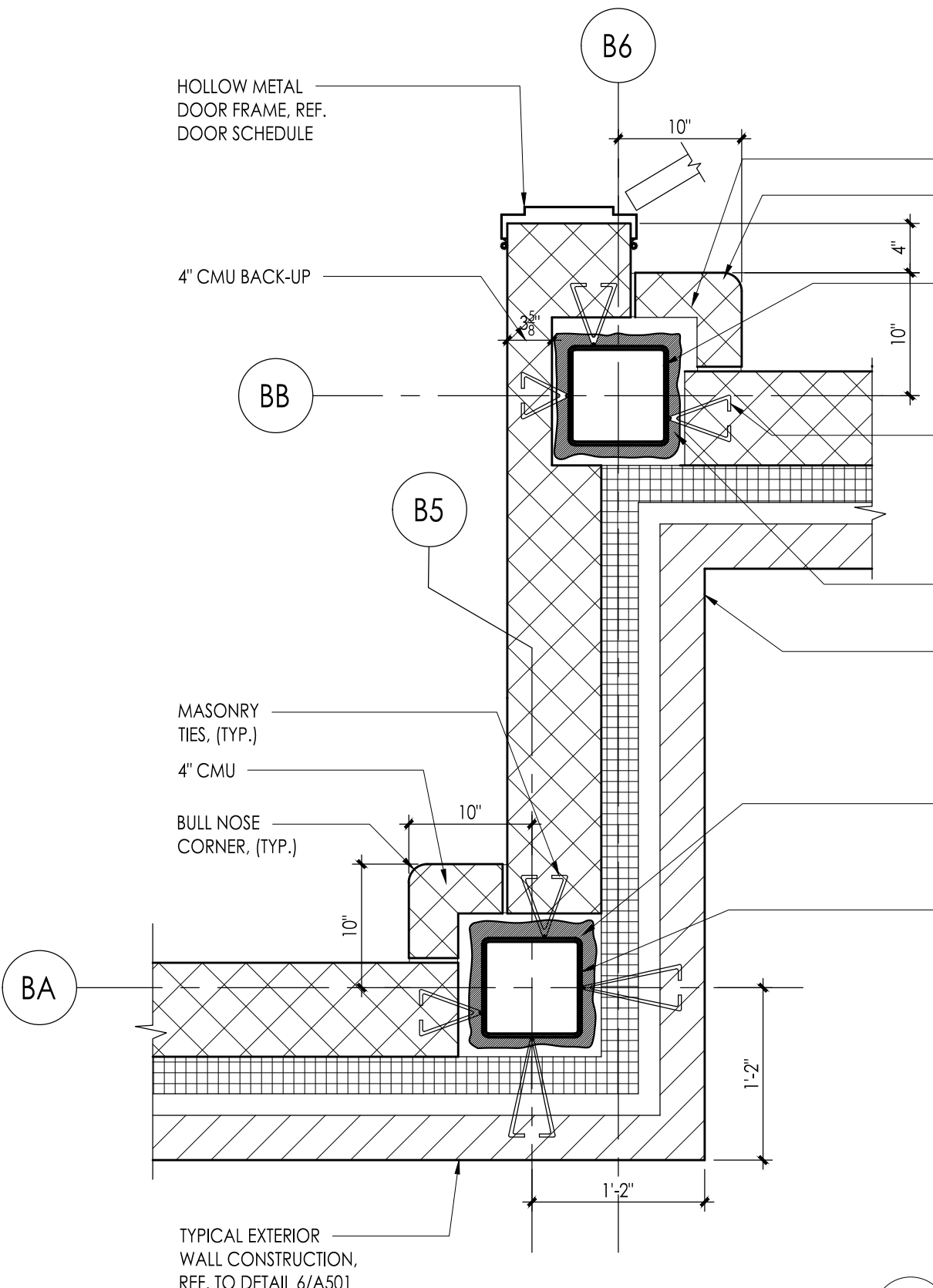
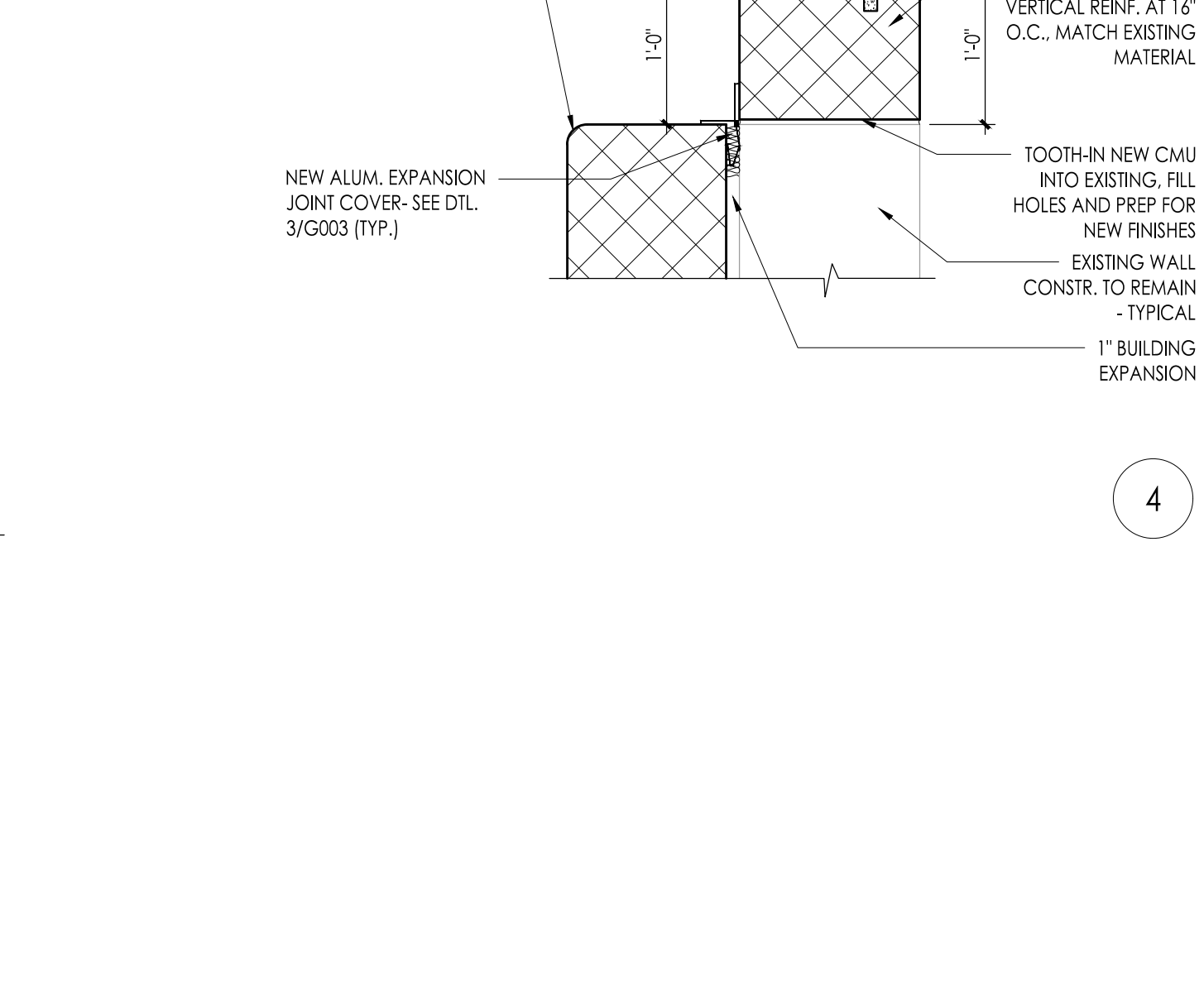
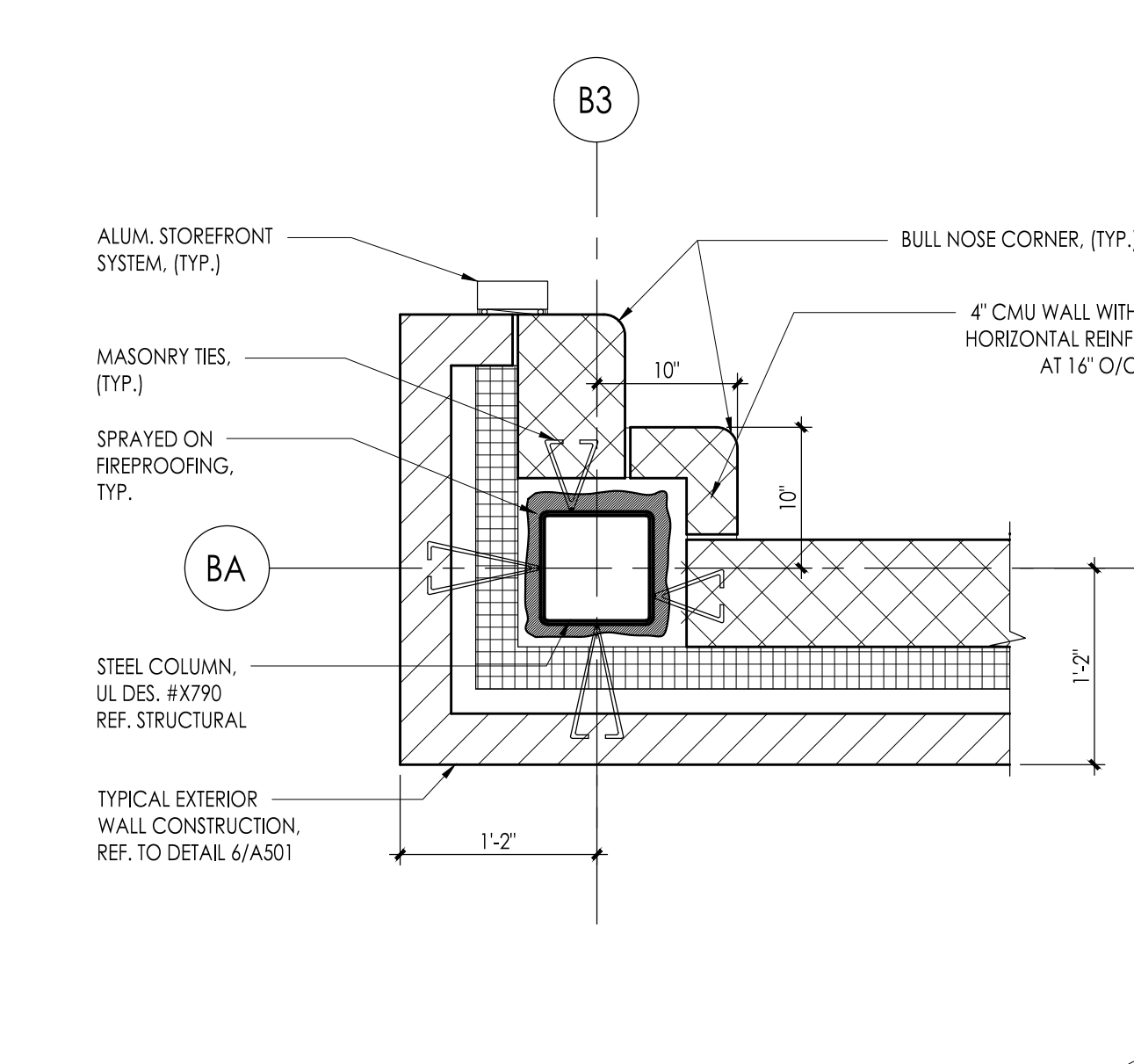
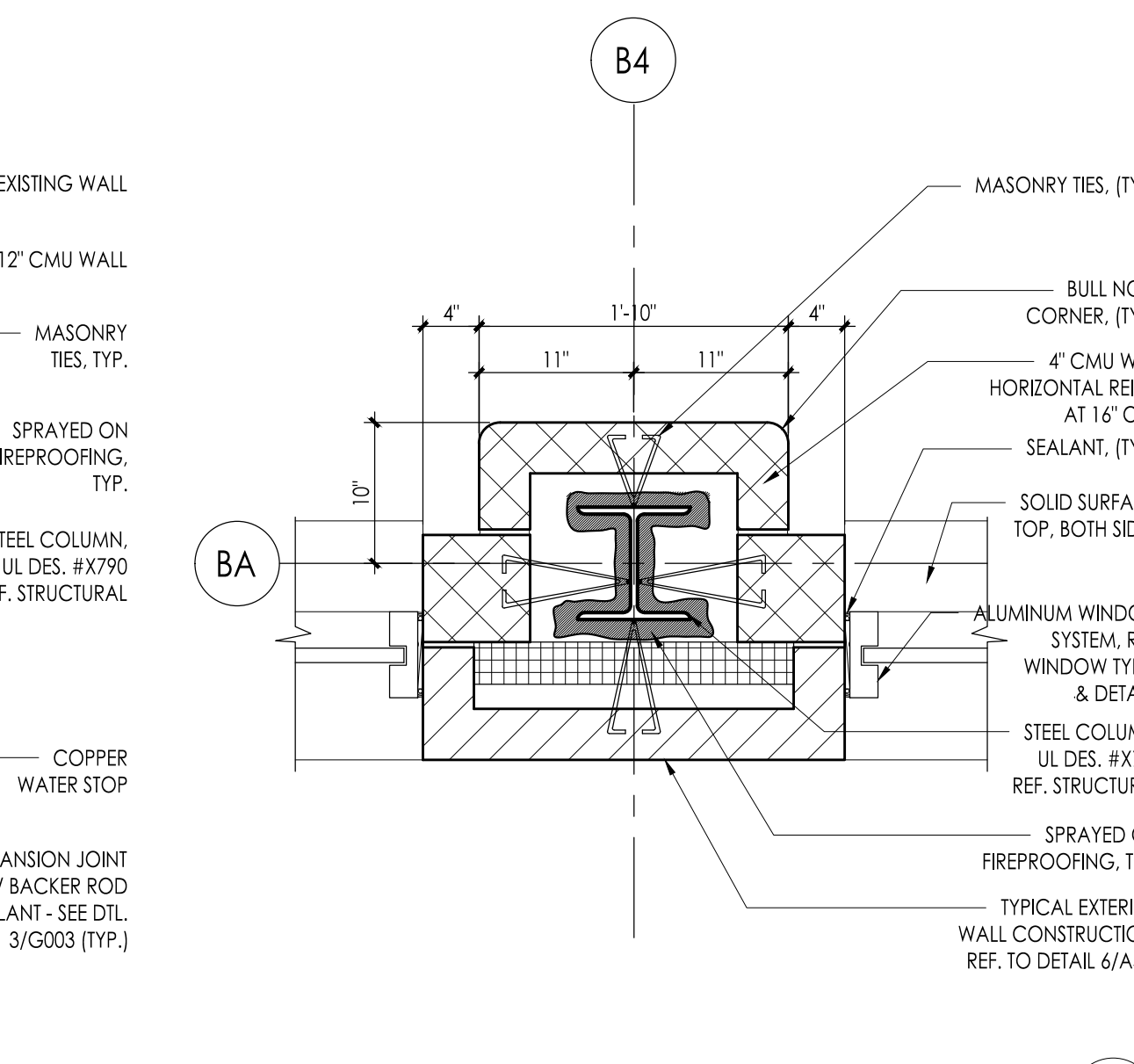
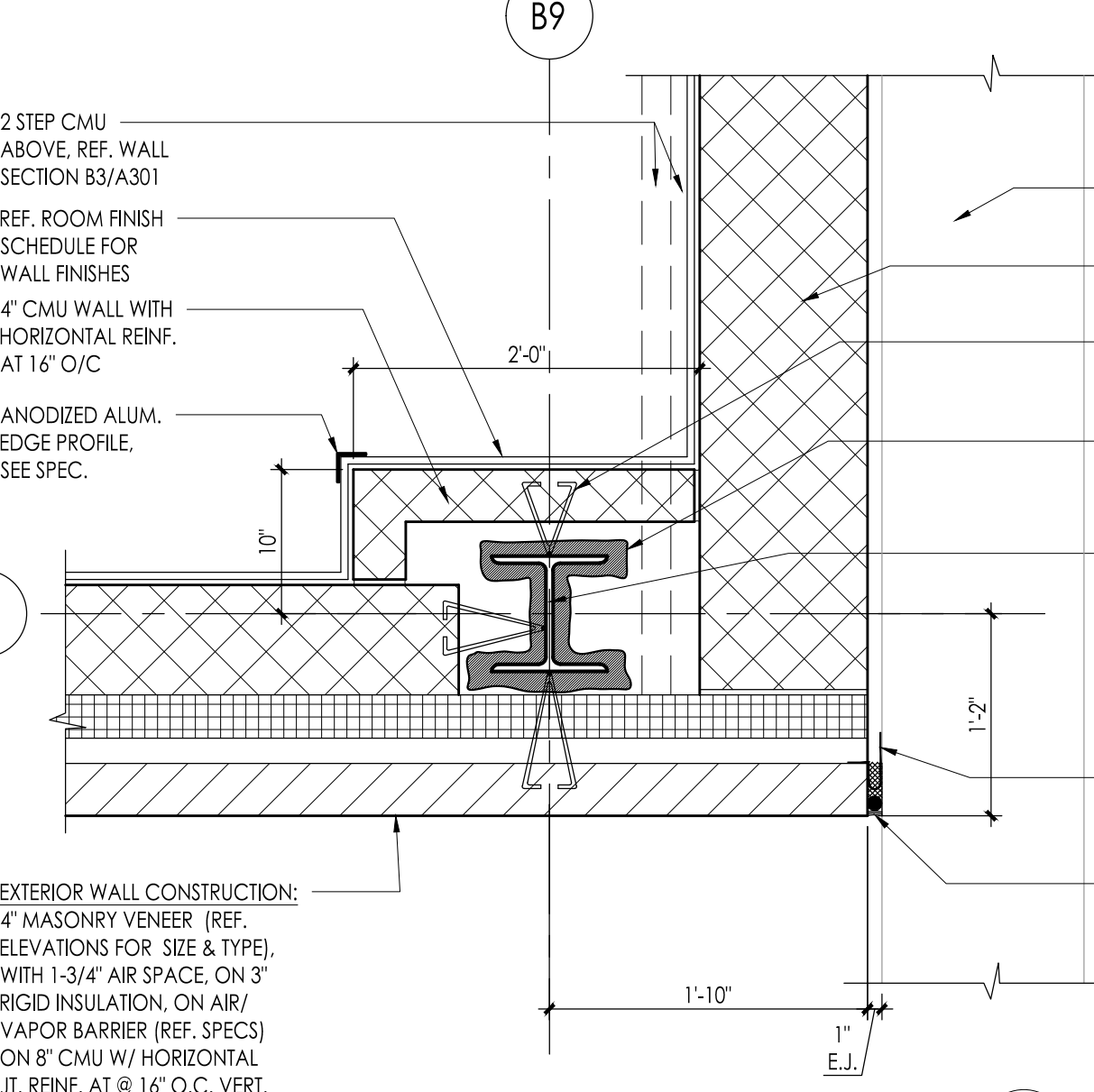
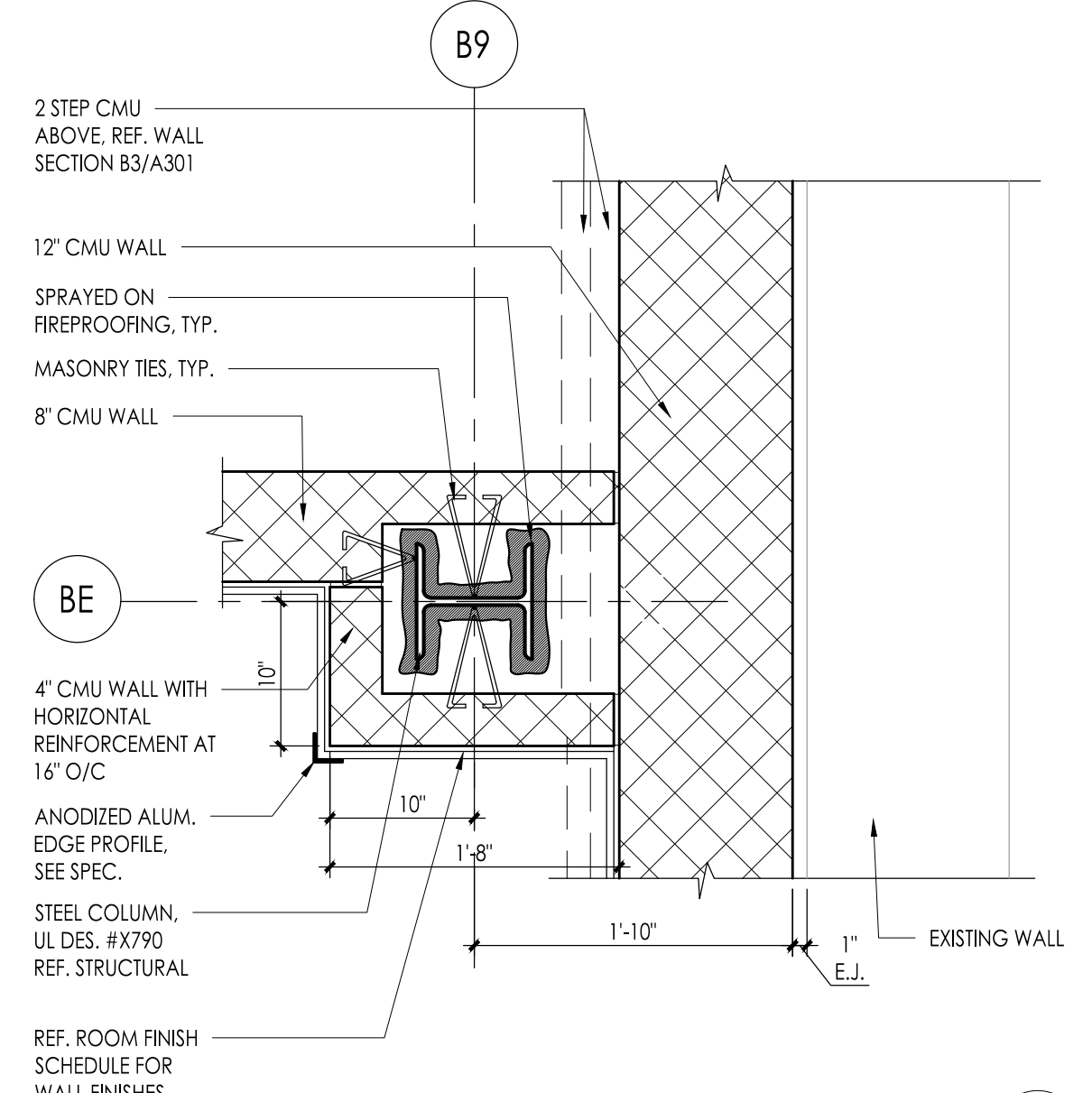
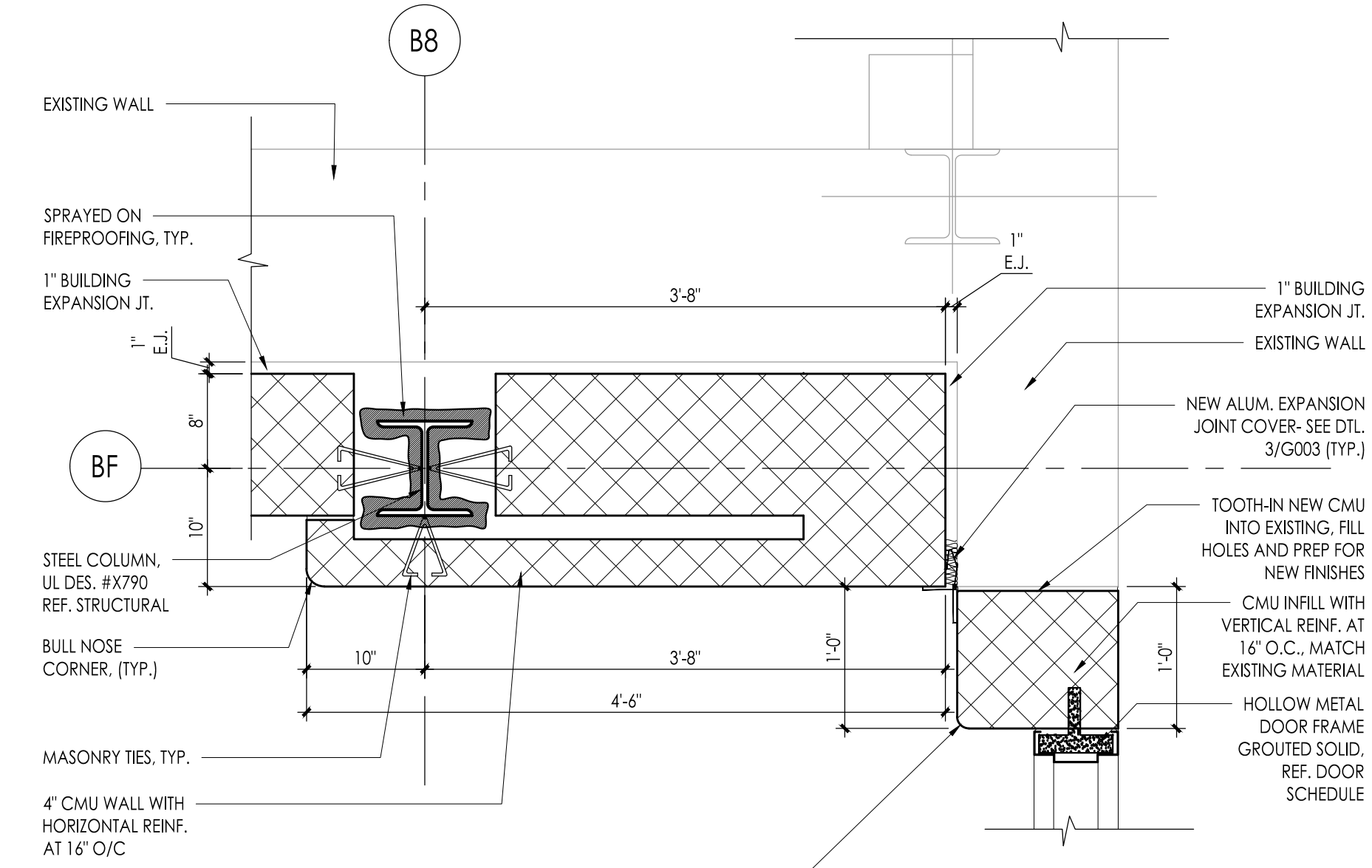
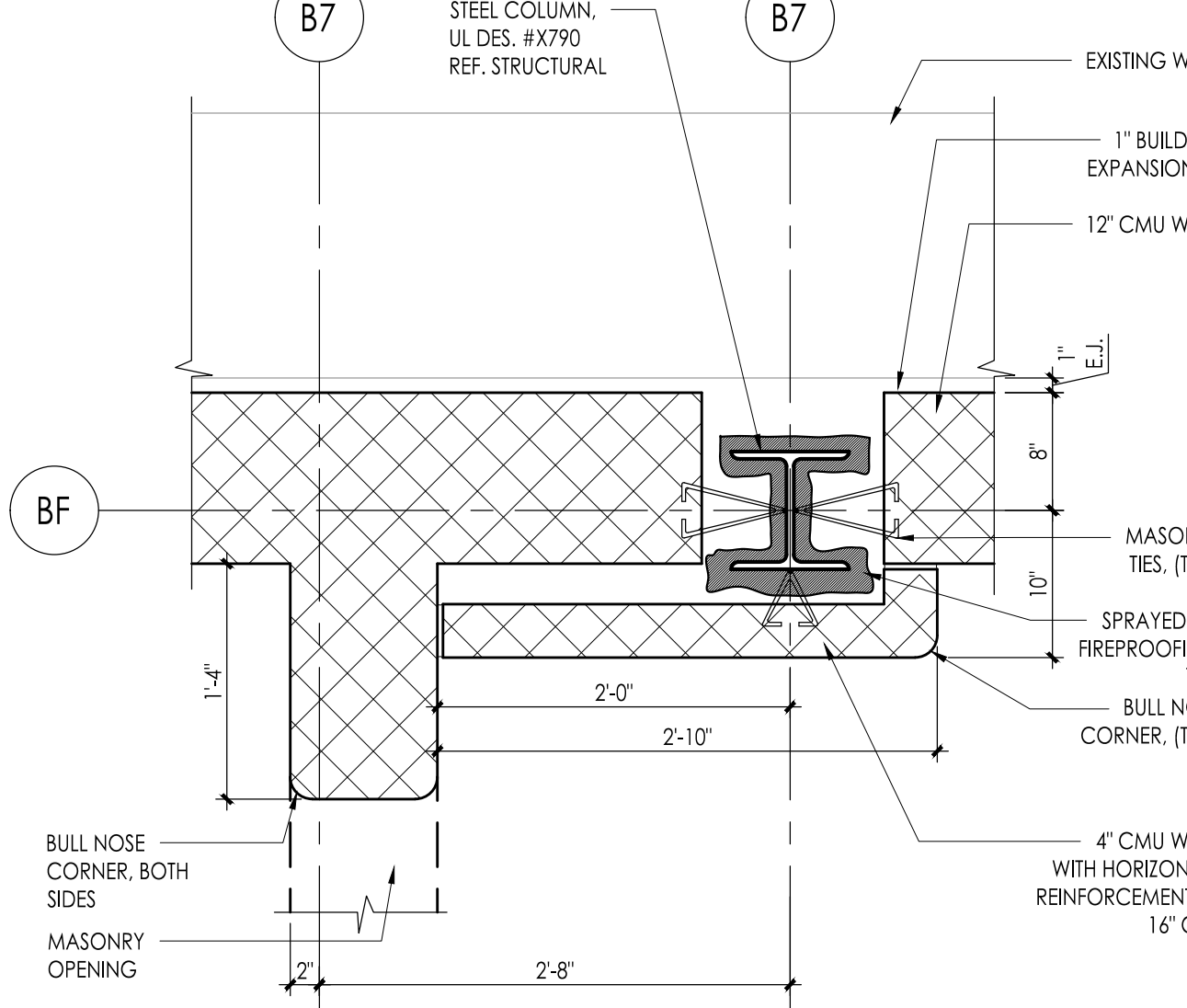
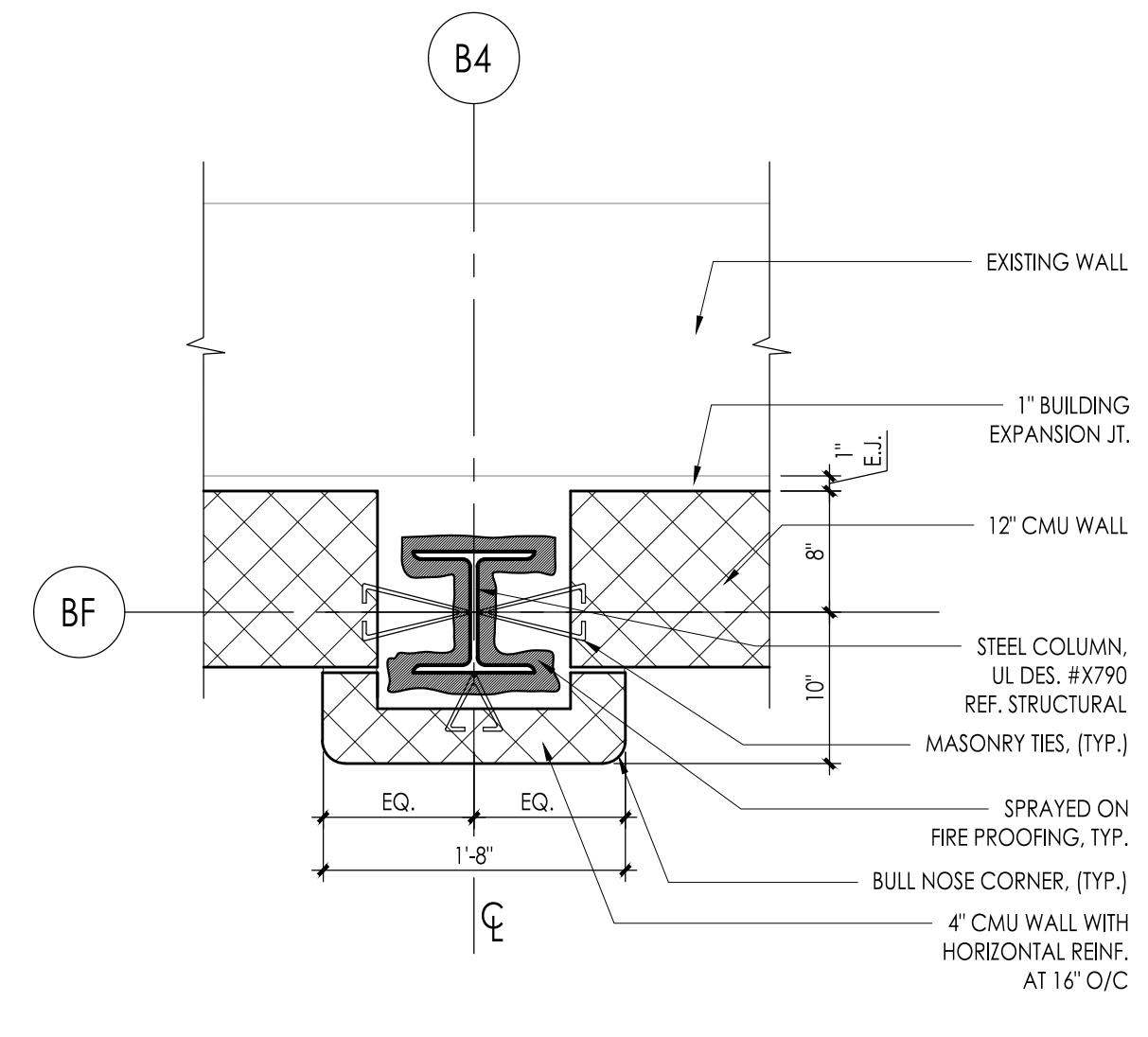
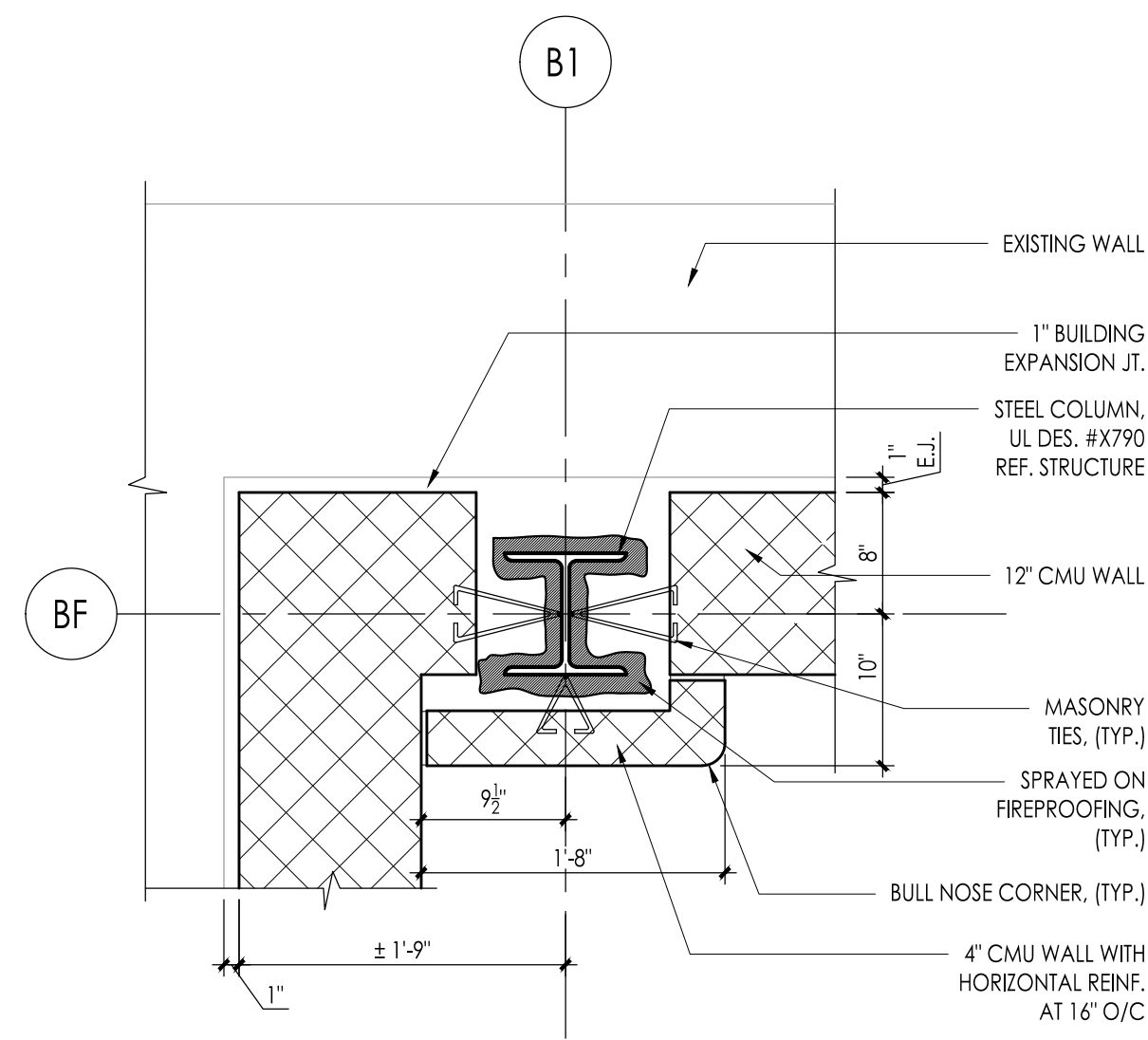
Project Location: 90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number: 5063K1
 Project Date: 04.06.2021
 Checked By: GRD
 Drawn By: IB
 Scale: As Noted

Drawing Name: - Room Layout - Interior Elevations

Revisions: No. Date Description

Drawing Number: A402



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04/06/21
 Date

F V H D P C . C O M

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

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GRD

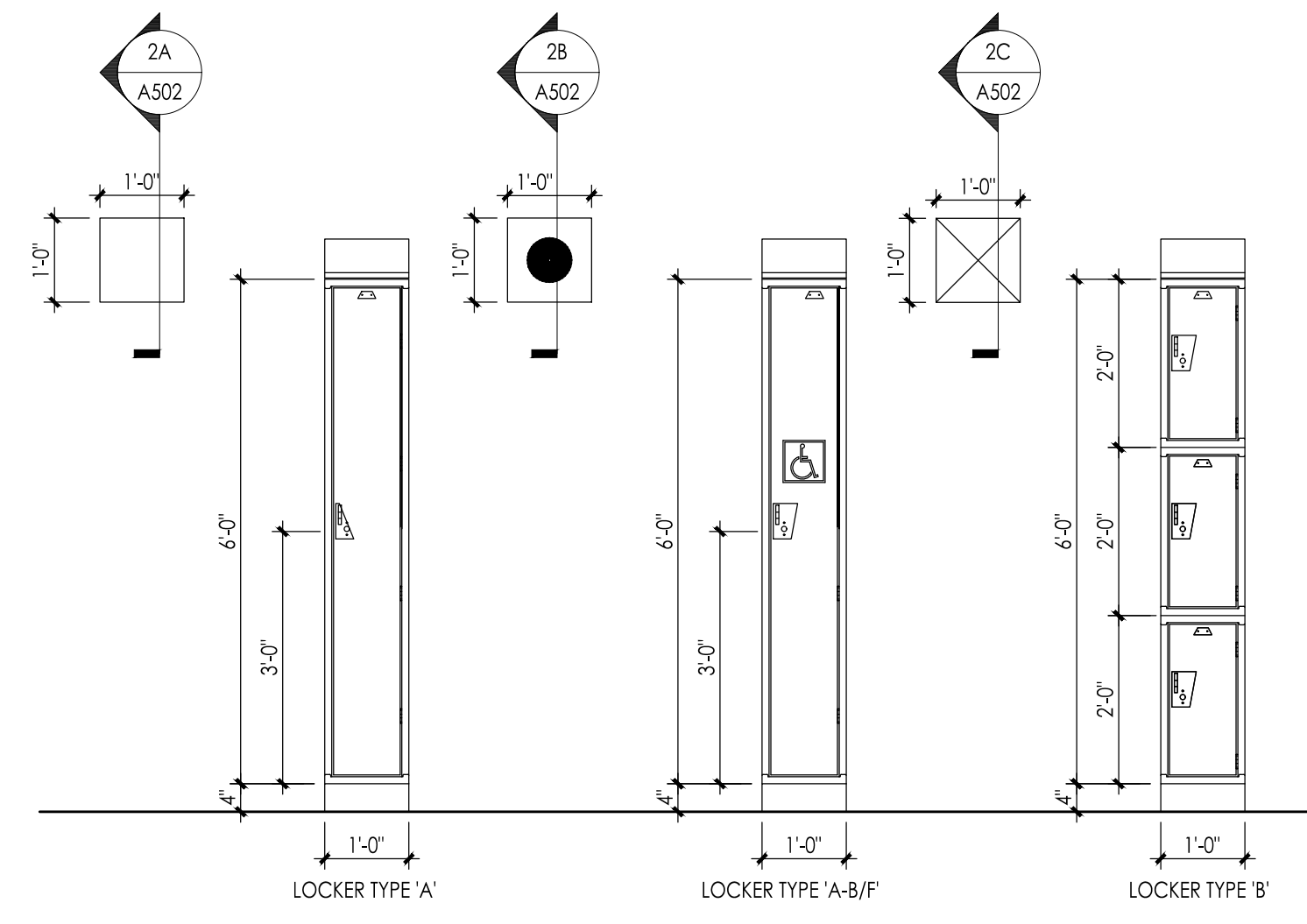
Drawn By
IB

Scale
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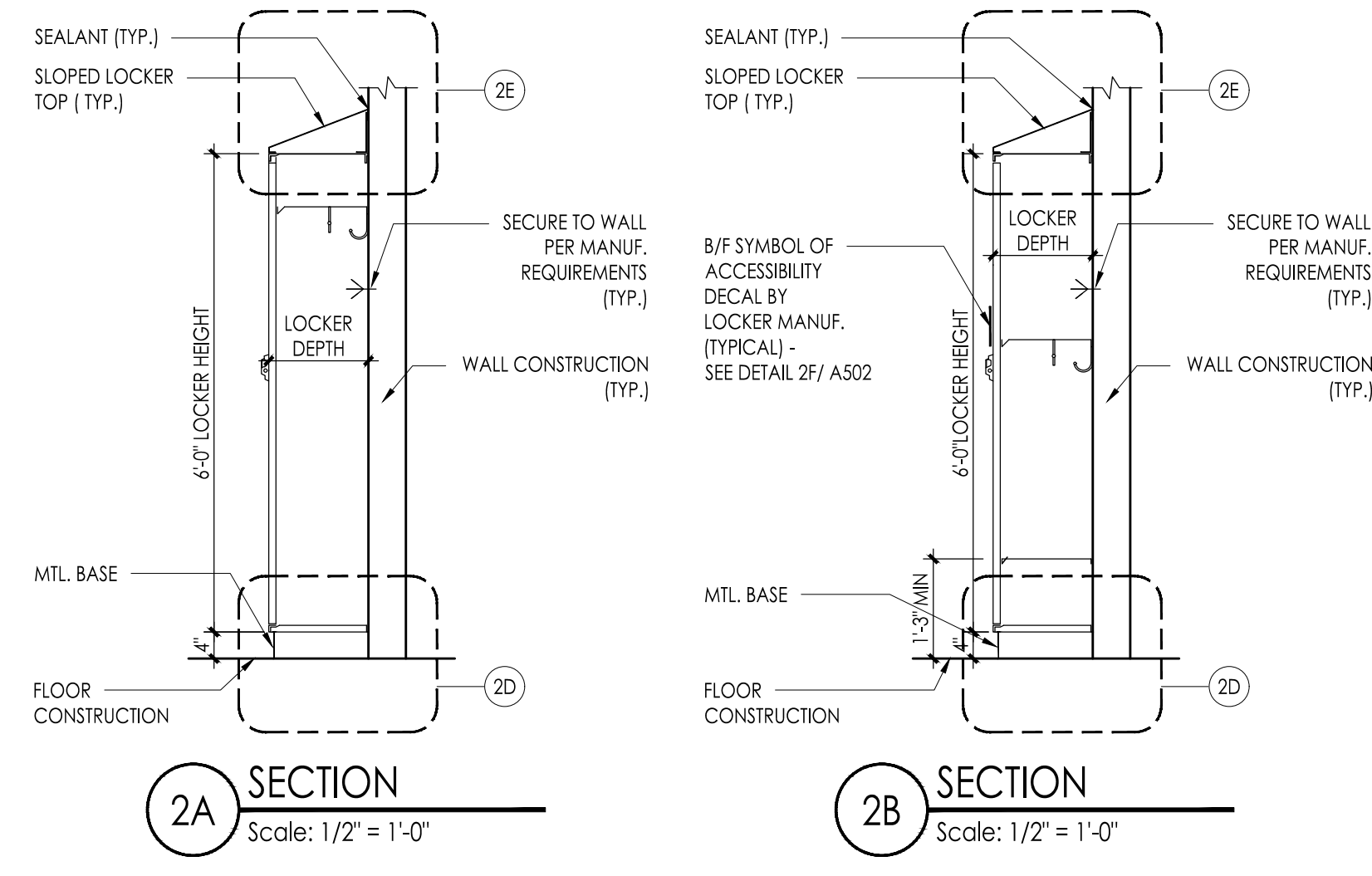
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Plan Details

Revisions		
No.	Date	Description

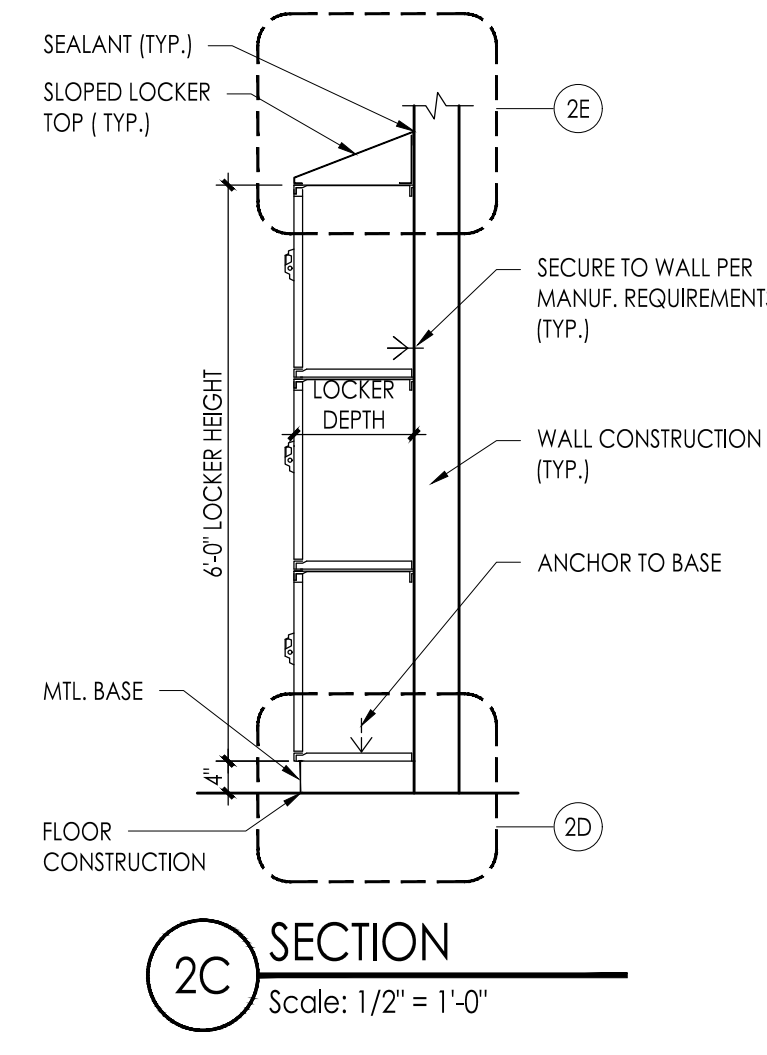
Drawing Number
A501



1 LOCKER TYPES / ELEVATIONS
Scale: 1/2" = 1'-0"



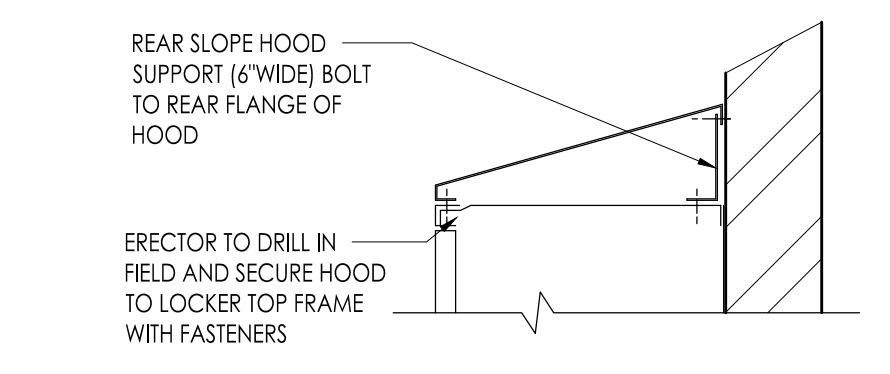
2 LOCKER DETAILS
Scale: AS NOTED



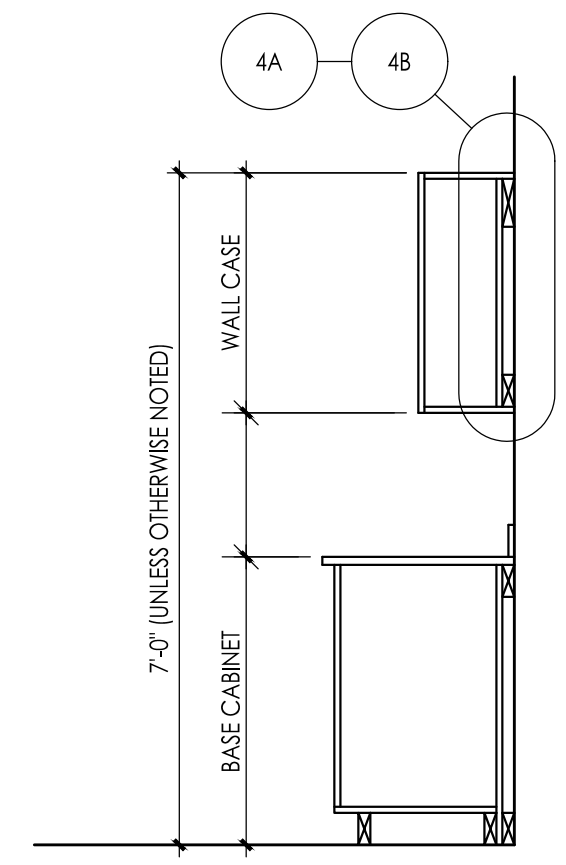
2D LOCKER BASE DETAIL
Scale: 1" = 1'-0"



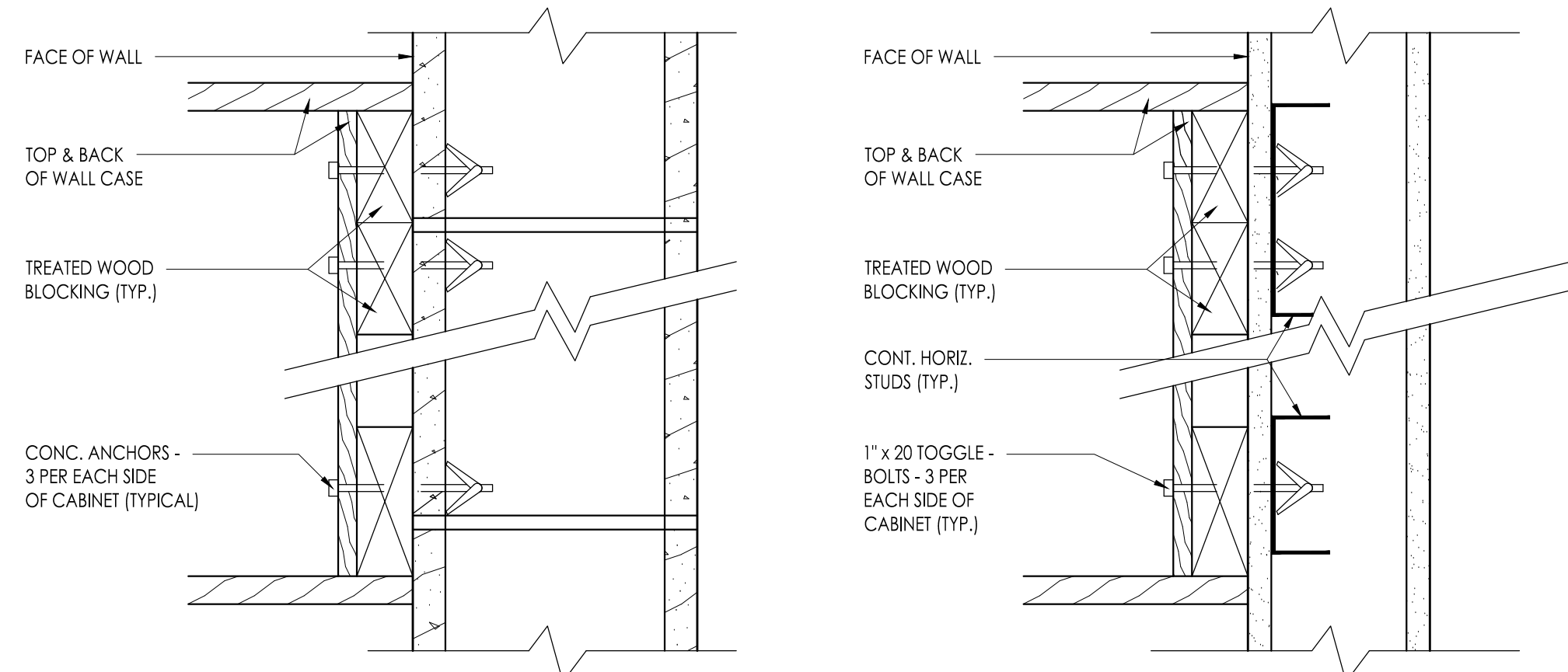
2F B/F SIGN DETAIL
Scale: 1" = 1'-0"



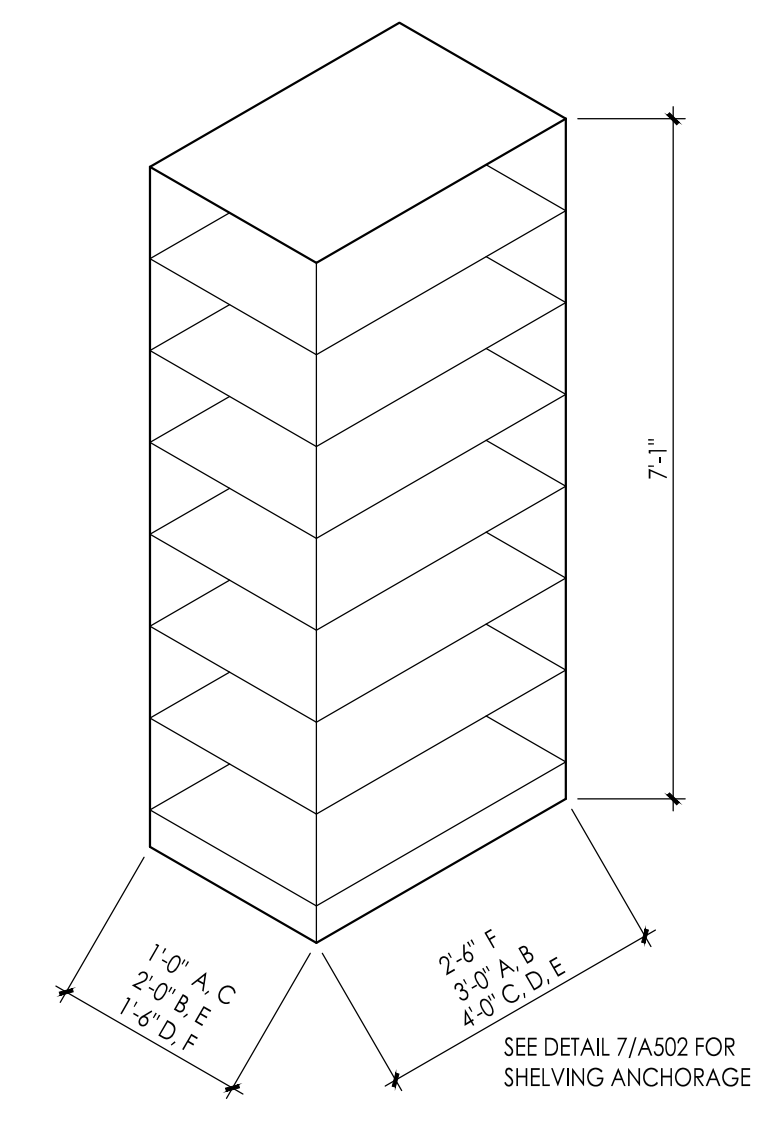
2E SLOPED LOCKER TOP DETAIL
Scale: 1" = 1'-0"



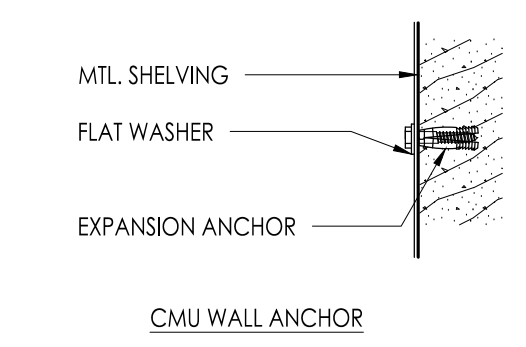
3 CASEWORK DETAIL
Scale: 1/2" = 1'-0"



4 WALL CABINET MOUNTING DETAILS
Scale: 1/2" = 1'-0"



6 METAL SHELVING SCHEDULE
Scale: 1/2" = 1'-0"



7 CMU WALL ANCHOR DETAIL
Scale: 1 1/2" = 1'-0"

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

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GRD

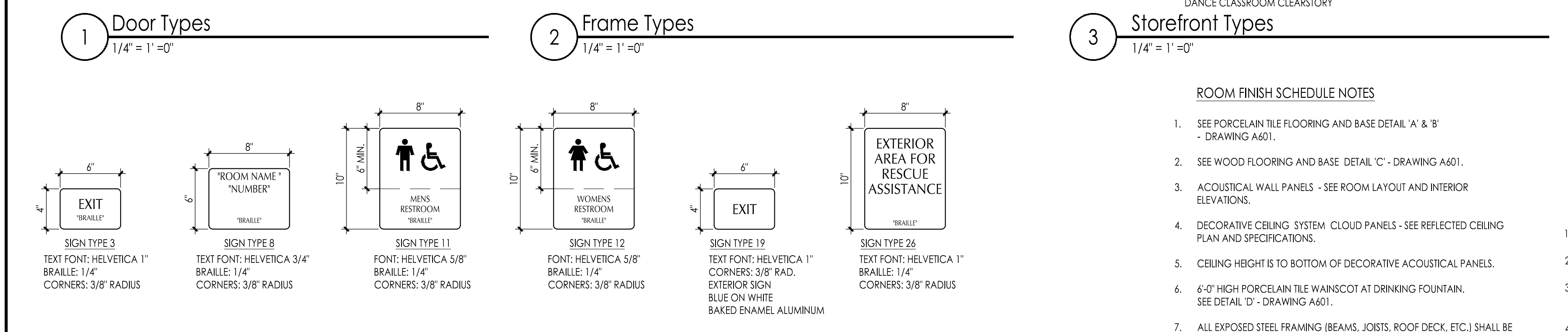
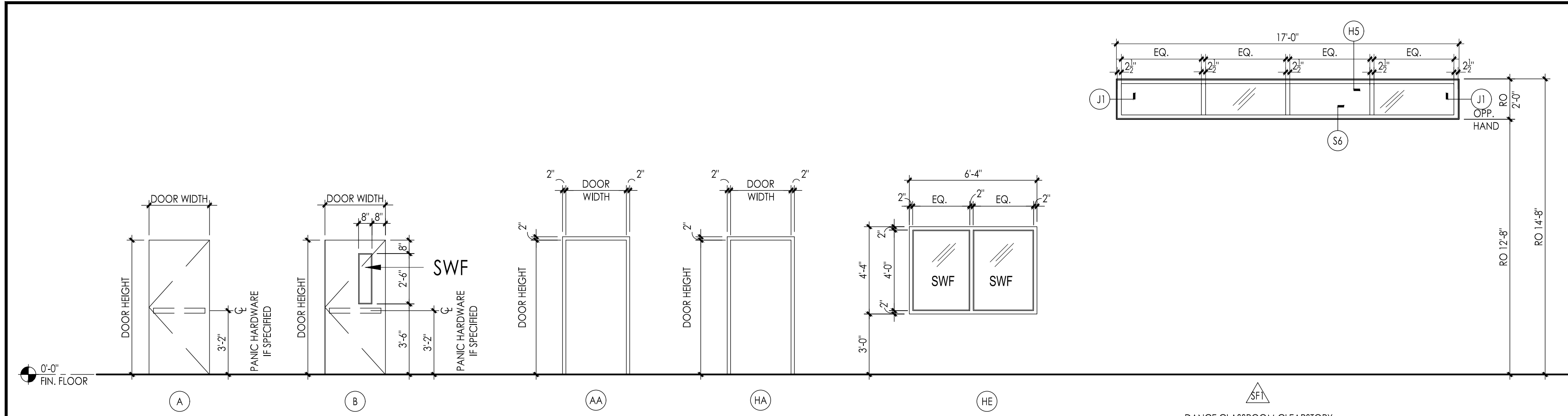
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IB

Scale
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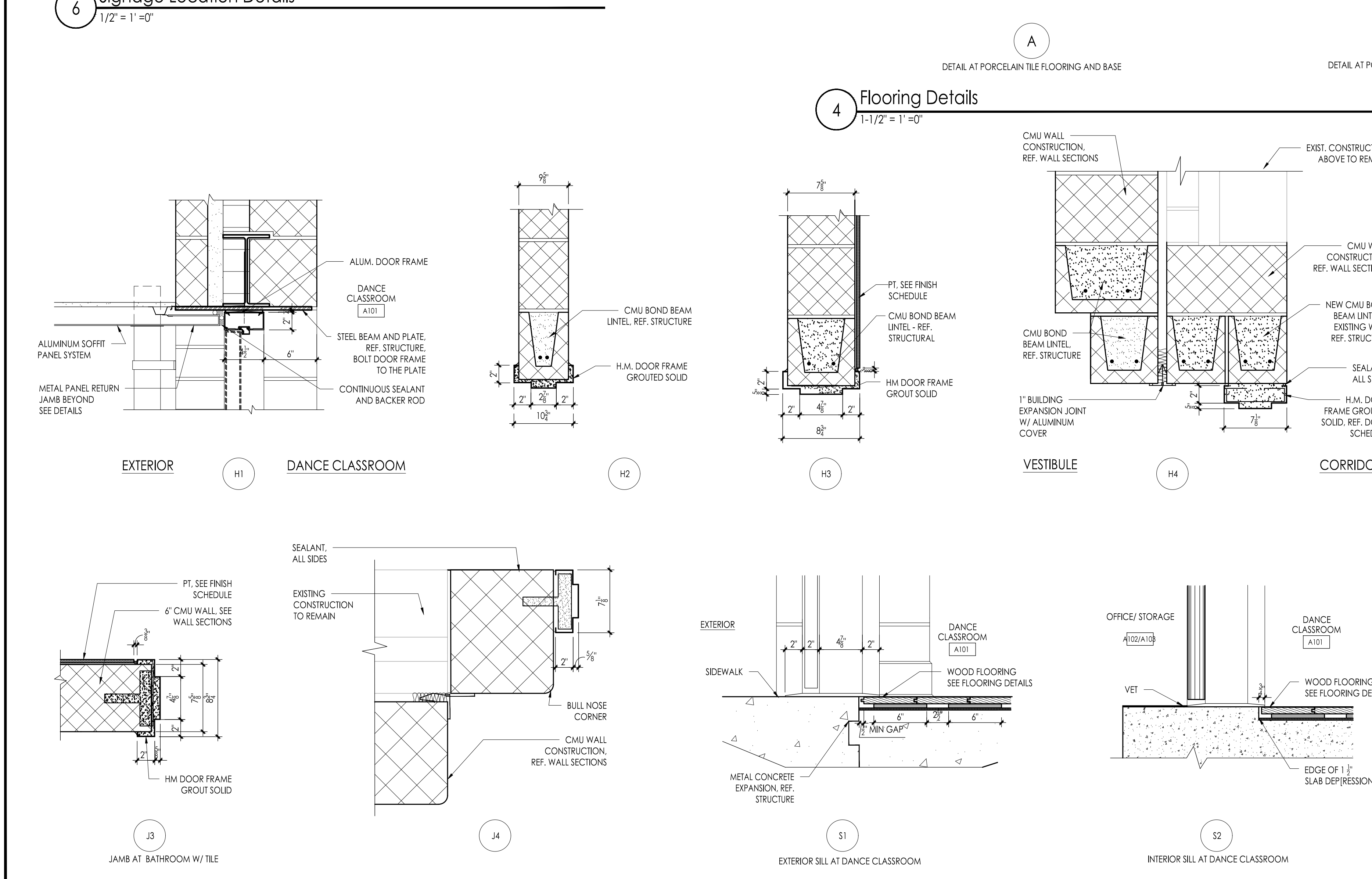
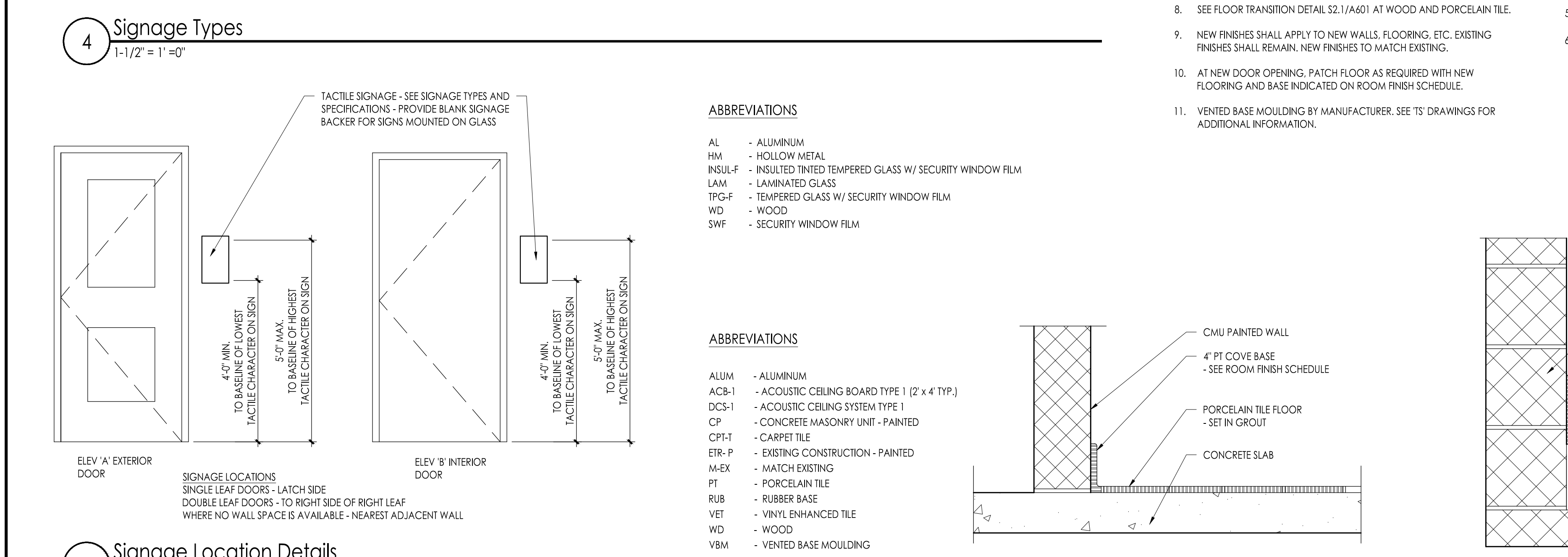
Drawing Name
Miscellaneous Details

Revisions		
No.	Date	Description

Drawing Number
A502



NOTE: ALL LETTERS, NUMBERS, SYMBOLS AND PICTOGRAPHS SHALL BE RAISED MINIMUM 1/32" FROM SIGN FACE AND SHALL MEET ALL REQUIREMENTS FOR COLOR CONTRAST RATIO.



ROOM FINISH SCHEDULE

NUMBER	ROOM NAME	FLOOR	BASE		WALL FINISH	CEILING		NOTES
			MAT.	HT.		MAT.	HT.	
250	CORRIDOR	ETR	ETR	4"	ETR	ETR	ETR	SEE ROOM FINISH SCHEDULE NOTE # 9 & 10
A101	DANCE CLASSROOM	WOOD	VBM	4"	CMU-P	DCS-1	16'-0"	SEE ROOM FINISH SCHEDULE NOTE #2, 3, 4, 5, 7, 8 & 11
A102	OFFICE	RET	RUB	4"	CMU-P	ACB-1	9'-0"	
A103	STORAGE	RET	RUB	4"	CMU-P	ACB-1	9'-0"	
A104	WOMEN'S DRESSING RM.	RET	RUB	4"	CEP	AACB	9'-0"	
A105	MEN'S DRESSING	RET	RUB	4"	CEP	AACB	9'-0"	
A106	WOMEN'S TOILET	PT	PT	6"	PT	AACB	9'-0"	SEE ROOM FINISH SCHEDULE NOTE # 1
A107	MEN'S TOILET	PT	PT	6"	PT	AACB	9'-0"	SEE ROOM FINISH SCHEDULE NOTE # 1
A108	VESTIBULE	PT	PT	6"	CMU-P	ACB-1	9'-0"	SEE ROOM FINISH SCHEDULE NOTE # 6 & 10

DOOR AND FRAME SCHEDULE

DR NO	DOOR LOCATION	DOOR				FRAME			HARDWARE	RATING	SIGN TYPE	NOTES
		SIZE	TYPE	MATL	GLAZING	DETAIL						
						TYPE	MATL	HEAD				
A101	DANCE CLASSROOM A101	3'-0" x 7'-2"	A	FRP	-	AA	AL	H1	J1	S1	1.0	-
A102	OFFICE A102	3'-0" x 6'-8"	B	WD	TPG-F	HA	HM	H2	J2	S2	7.0	-
A102.1BL	OFFICE A102	6'-0" x 4'-0"	-	-	TPG-F	HE	HM	H2	J2	S2	-	SEE DOOR SCHEDULE NOTE #3 & 6
A103	STORAGE A103	3'-0" x 6'-8"	A	WD	-	HA	HM	H2	J2	S2	6.0	-
A104	WOMEN'S DRESSING RM. A104	3'-0" x 6'-8"	A	WD	-	HA	HM	H2	J2	S2	9.0	-
A105	MEN'S DRESSING A105	3'-0" x 6'-8"	A	WD	-	HA	HM	H2	J2	S2	9.0	-
A106	WOMEN'S TOILET A106	3'-0" x 6'-8"	A	WD	-	HA	HM	H3	J3	S3	10.0	-
A107	MEN'S TOILET A107	3'-0" x 6'-8"	A	WD	-	HA	HM	H3	J3	S3	10.0	-
A108	VESTIBULE A108	3'-0" x 7'-2"	B	WD	TPG-F	HA	HM	H4	J4	-	4.0	SEE DOOR SCHEDULE NOTE #3 & 6

DOOR SCHEDULE NOTES

- INSTALL SIGN TYPE 12 ON TOILET DOOR.
- INSTALL SIGN TYPE 11 ON TOILET DOOR.
- PROVIDE SECURITY WINDOW FILM W/ IPA ON GLASS - SEE SPECIFICATION
- SEE STOREFRONT ELEVATION FOR DETAILS AT HEAD AND JAMB CONDITIONS.
- BORROWED LIGHT
- PROVIDE SECURITY GLAZING IN LIEU OF LAMINATED GLASS WITH SECURITY WINDOW FILM UNDER ALTERNATE BID - SEE SPECIFICATION SECTION 01050.

GENERAL FINISH NOTES:

- SEE SPECIFICATION FOR ADDITIONAL INFORMATION ON MATERIALS / MANUFACTURER / PERFORMANCE AND WARRANTY INFORMATION.
- MATERIALS LISTED ON THE FINISH SCHEDULE REFER TO THE MAJORITY OF WALLS, FLOOR AND CEILING OF ROOMS SCHEDULED. REFER TO PLANS, DETAILS, INTERIOR ELEVATION, CEILING PLANS AND NOTES FOR THOSE MATERIALS NOT INDICATED ON THE SCHEDULE BUT ARE STILL REQUIRED IN THE ROOM.

GENERAL DOOR NOTES:

- ALL DOORS ARE 1 3/4" THICK UNLESS OTHERWISE NOTED.
- SEE DOOR TYPES ON THIS DRAWING.
- SEE HOLLOW METAL AND ALUMINUM FRAME TYPES ON THIS DRAWING.
- SEE SIGNAGE TYPES AND DETAILS ON THIS DRAWING.
- SEE HEAD, JAMB, SADDLE AND SILL DETAILS ON THIS DRAWING.
- SEE STOREFRONT TYPES ON THIS DRAWING.
- COORDINATE ALL ACCESS CONTROL, PREP AND WIRING WITH ELECTRICAL CONTRACTOR AND OWNER'S VENDOR (TYP.)
- SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MATERIALS / MANUFACTURER / PERFORMANCE AND WARRANTY INFORMATION.
- ALL OCCUPIED ROOMS TO HAVE A PB INTRUDER CYLINDRICAL LOCKSET.
- SINGLE / FAMILY-USE TOILET ROOMS IN PUBLIC AREAS SHALL HAVE A OCCUPANCY INDICATOR FEATURE.

WILLIAM D. HOPKINS III, AIA, LEED AP
 NY 140700001 PA - 0472333X
 GEORGE E. DUTHIE JR., AIA, FFP
 NY 140700001
 Date: 04/06/2021
 FVHD P.C. - C.O.M.

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 Fraytak Veisz Hopkins Duthie P.C.
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 Pennsylvania: 140 Whitaker Ave - Mont Clear - Pennsylvania 17433

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1

Project Date
04.06.2021

Checked By
GRD

Drawn By
IB

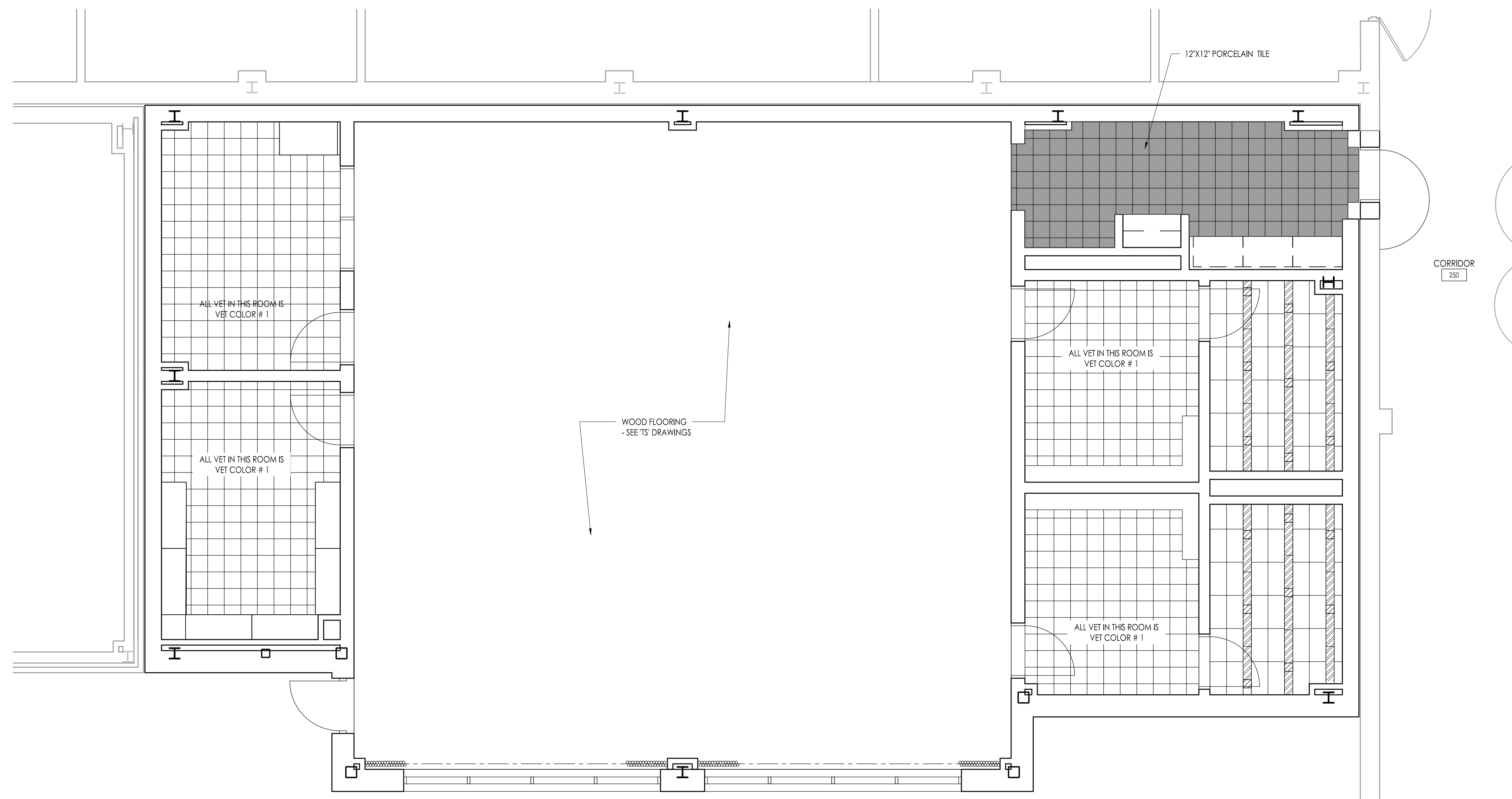
Scale
As Noted

Drawing Name
- Door & Window Elevations, Schedules & Notes - Head, Jamb & Sill Details - Flooring Details

Revisions

No.	Date	Description

Drawing Number
A601



1 Floor Pattern
Scale: 1/4" = 1'-0"

VINYL ENHANCED TILE LEGEND

VET / COLOR #1

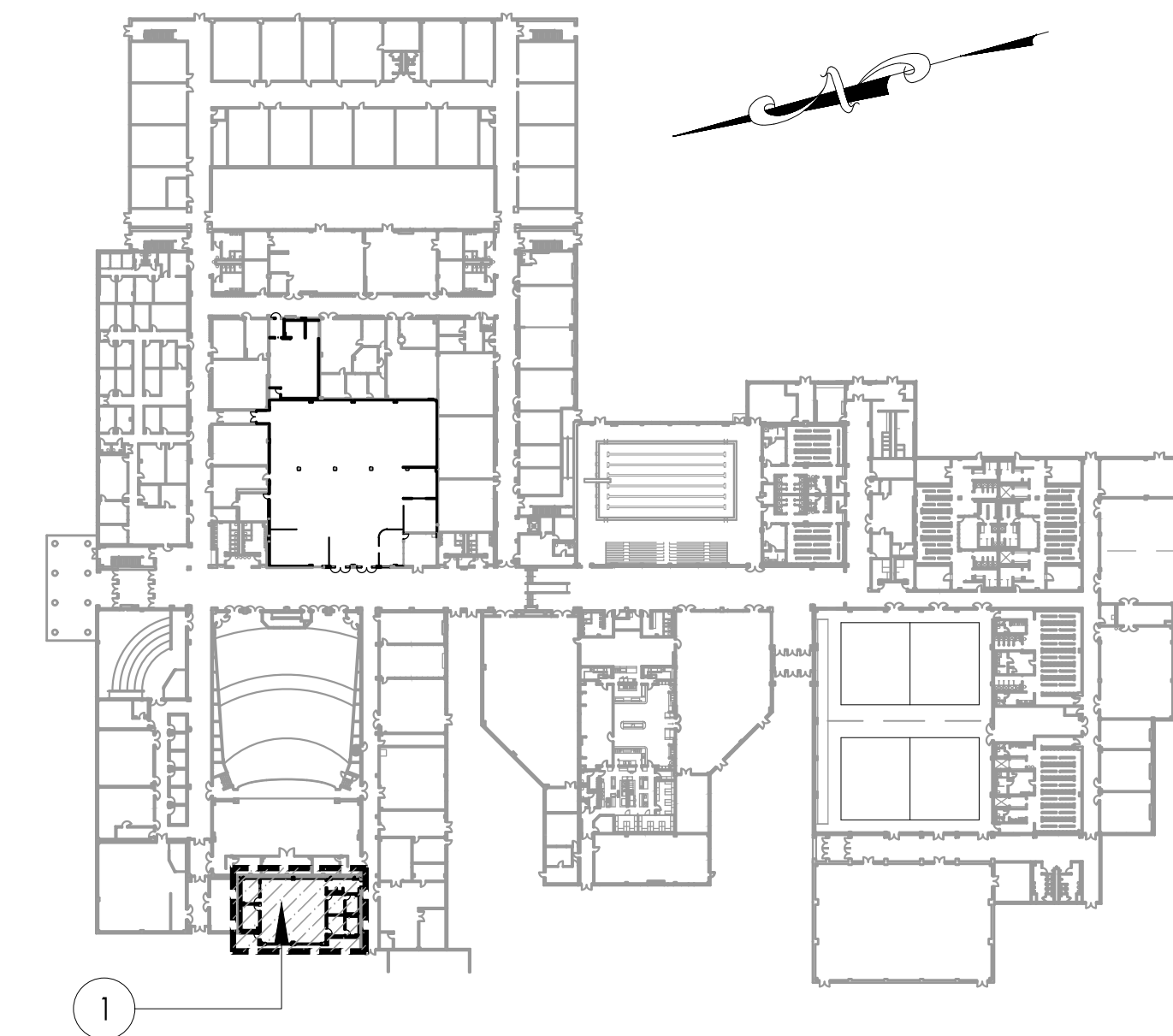
PORCELAIN TILE LEGEND

PT (FLOOR) COLOR #1

PT (FLOOR) COLOR #2

PT (FLOOR) COLOR #3

PT (FLOOR) COLOR #4



OVERALL BUILDING KEY PLAN
Scale: 1:100

WILLIAM D. HOPKINS III, AIA, LEED AP
N.J. #140706001 PA - #4723324
GEORGE E. DUTHIE JR., AIA, PP
N.J. #140379000
Date: 04/06/21
Author: GED

FVHD architects planners
Fraytak Veisz Hopkins Duthie P C
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whittaker Ave - Mont Clare - Pennsylvania 17433
F V H D P C - C O M

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor - Plainsboro Regional School District

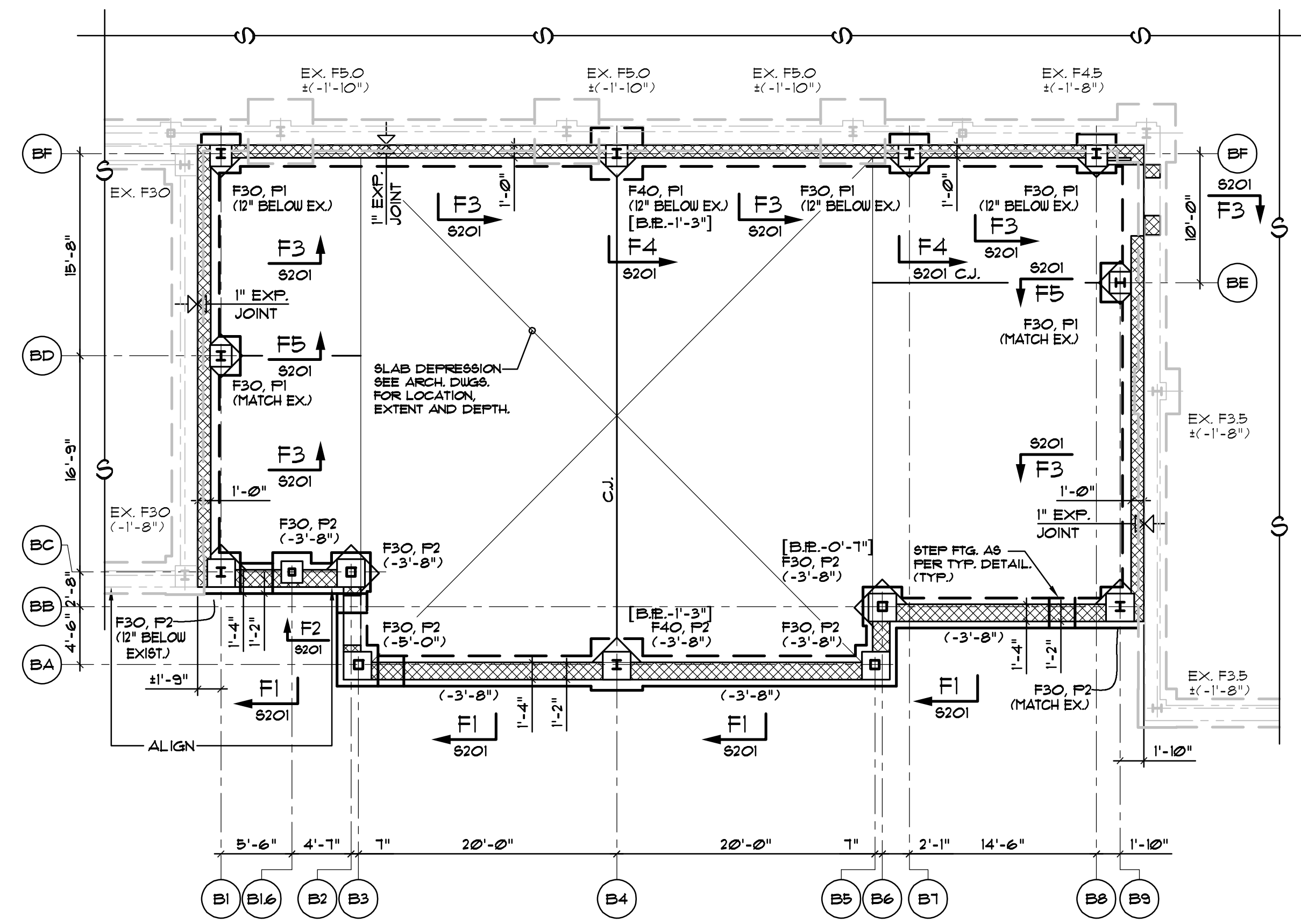
Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1
Project Date
04.06.2021
Checked By
GRD
Drawn By
IB
Scale
As Noted

Drawing Name
Floor Pattern

No.	Date	Description

Drawing Number
A701



FOUNDATION PLAN

1/8" = 1'-0"
 ELEVATION TOP OF FINISHED FLOOR SLAB: + 19.83 REFERRED TO AS DATUM
 EL. 0'-0" UNLESS OTHERWISE NOTED THIS < > ON PLAN.
 FLOOR SLAB: 4" CONC. SLAB + 6x6-W4x14 WUF. ON A VAPOR BARRIER
 OVER 6" MIN. DRAINAGE FILL UNLESS OTHERWISE NOTED.
 ELEVATION BOTTOM OF FOOTINGS NOTED THIS < > ON PLAN BELOW
 FINISHED FLOOR DATUM EL. 0'-0".
 C.J. - INDICATES SLAB CONSTRUCTION OR CONTROL JOINT.
 SLAB DEPRESSIONS NOTED THIS [] ON PLAN FROM TOP OF FLOOR
 SLAB - SEE ARCH. DUGS FOR LOCATION + EXTENT.
 ANY PENETRATIONS IN SLAB FROM ALL TRADES TO BE FILLED
 WITH POLYURETHANE CAULK.
 [B.E. -] - INDICATES BOTTOM OF BASE PLATE ABOVE OR BELOW DATUM.
 SEE DUG. 5 FOR FOOTING AND PIER SCHEDULE.

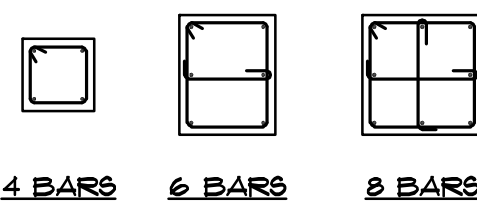
FOOTING SCHEDULE

MARK	SIZE	REINFORCEMENT
F30	3'-0" x 3'-0" x 12"	(3) - #4 EW. BOTT.
F40	4'-0" x 4'-0" x 12"	(4) - #5 EW. BOTT.

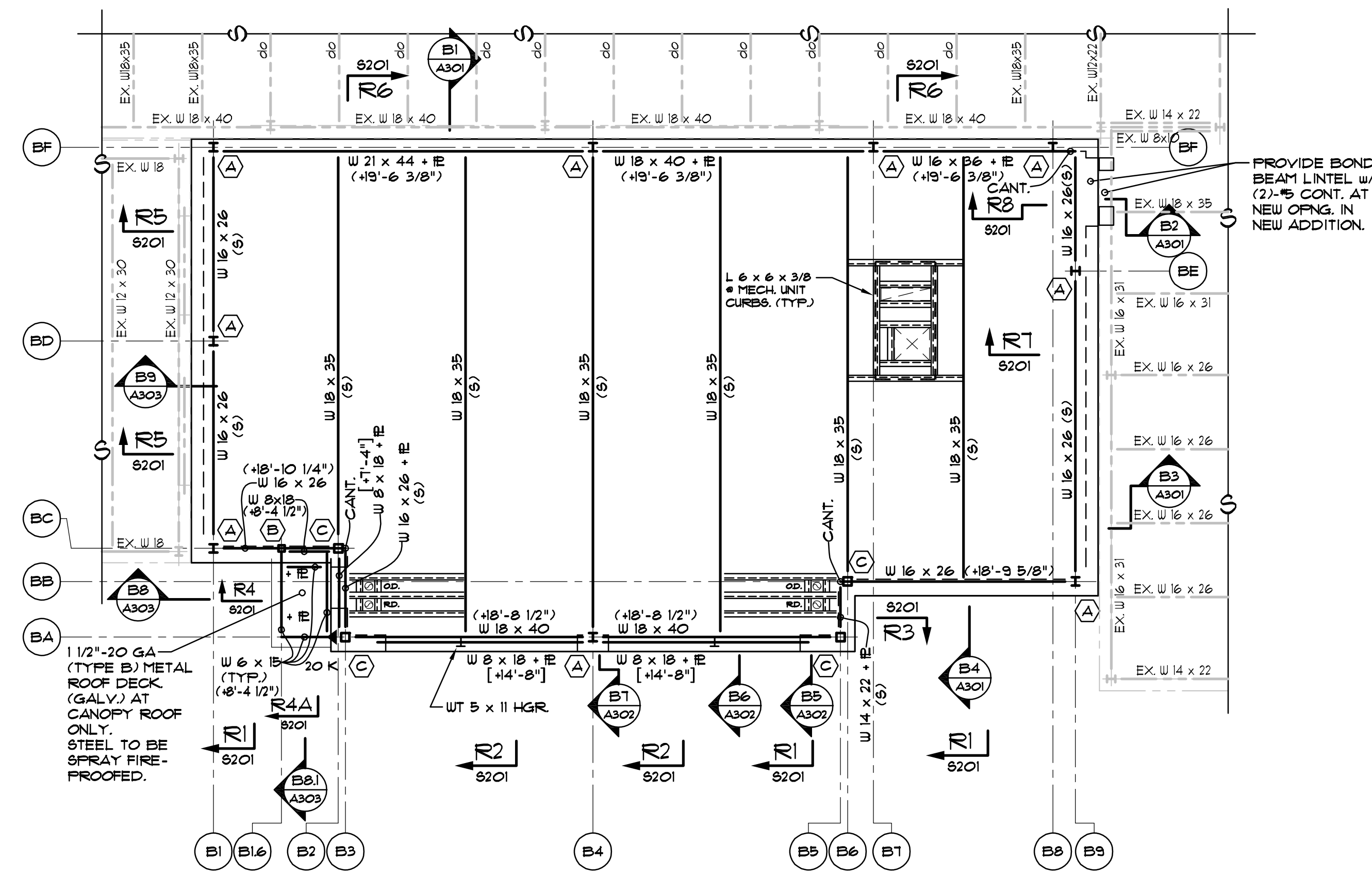
PIER SCHEDULE

MARK	SIZE	REINFORCEMENT	REMARKS
P1	20" x 20"	(6) - #6 VERT.	
P2	26" x 26"	(8) - #6 VERT.	

NOTE:
 ALL PIERS TO HAVE 3 TIES @ 12" O.C. (TYPICAL).
 ALL PIER TIES TO HAVE INSIDE HOOKS. (TYP.)
 PROVIDE BRICKSHELF IN PIERS AS REQUIRED. SEE TYPICAL
 BRICKSHELF DETAIL ON DRAWING 8401.



TIE ARRANGEMENTS



ROOF FRAMING PLAN

1/8" = 1'-0"
 ELEVATION TOP OF STEEL BEAMS NOTED THIS (+) ON PLAN
 ABOVE DATUM UNLESS OTHERWISE NOTED.
 ROOF DECK: 3"-20 GA METAL ROOF DECK (GALV.).
 PROVIDE FRAME AROUND ALL ROOF DRAINS + AT ALL OTHER ROOF OPENINGS
 LARGER THAN 8" AS PER TYPICAL DETAIL.
 COORDINATE SIZE + LOCATION OF ALL ROOF OPNGS. W/ ARCH. + MECH. DUGS.
 SPACE ALL STEEL MEMBERS EQUALLY UNLESS OTHERWISE NOTED ON PLAN.
 [] - INDICATES ELEVATION BOTTOM OF IE AT BEAM + IE LINTEL AND
 BOTTOM OF ANGLE AT BEAM + IE LINTEL. SEE ARCH. DUGS.
 (S) - INDICATES SLOPING MEMBER.
 [] - INDICATES MOMENT CONNECTION IN UNITS OF KIP-FT.

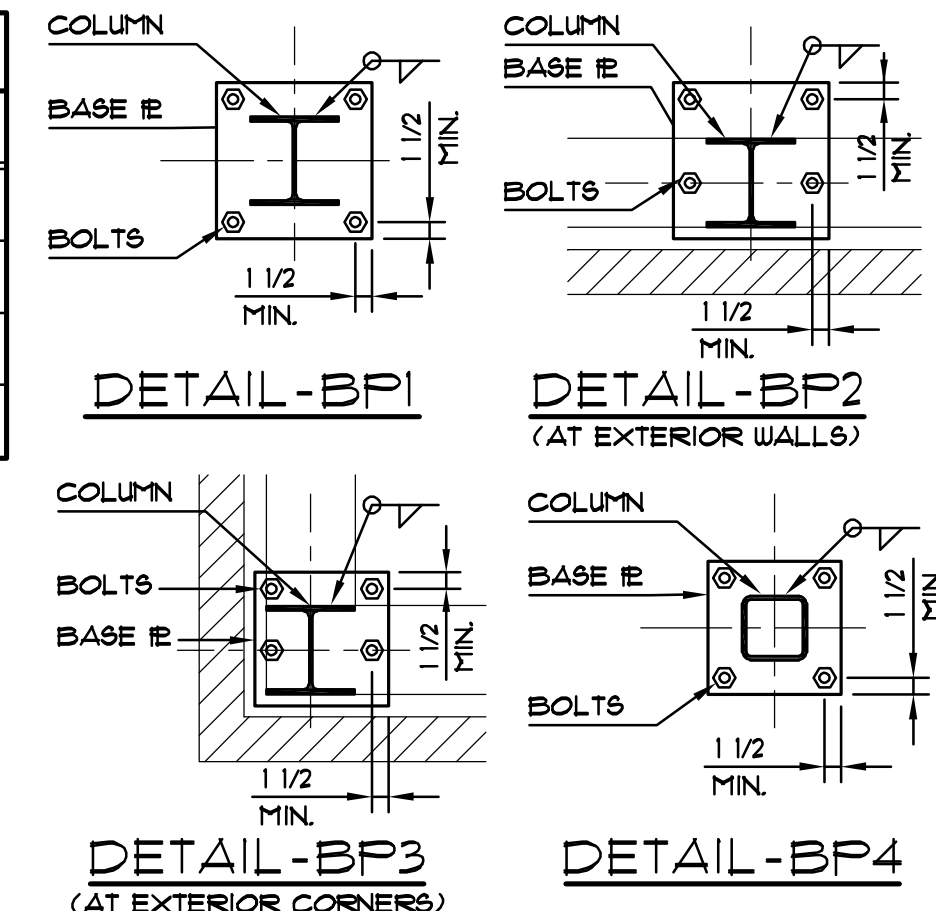
NOTE:
 ALL STEEL COLUMNS, BEAMS AND METAL ROOF DECK TO BE
 SPRAY FIRE-PROOFED. SEE ARCHITECTURAL DRAWINGS FOR UL
 LISTINGS AND REQUIREMENTS.

NOTE:
 PROVIDE ROOF FRAMING AROUND ALL NEW OPENINGS
 IN THE EXISTING ROOF AS PER TYPICAL DETAIL
 AS SHOWN ON DUG. 5301. SEE ARCH. + MECH. DUGS.
 FOR LOCATIONS. (TYP.)

COLUMN SCHEDULE

MARK	SIZE	BASE PLATE	ANCHOR BOLTS	DETAIL
(A)	W 8 x 31	3/4" x 14" x 1'-2"	(4) - 3/4" #	
(B)	HSS 6 x 6 x 1/4	3/4" x 12" x 1'-0"	(4) - 3/4" #	
(C)	HSS 8 x 8 x 1/4	3/4" x 14" x 1'-2"	(4) - 3/4" #	

- NOTES:
- BOTTOM OF BASE PLATES TO BE -1" BELOW DATUM ELEVATION UNLESS OTHERWISE NOTED THIS [B.E.] ON PLAN FROM DATUM.
 - ALL COLUMNS TO HAVE (4) - 3/4" # ANCHOR BOLTS WITH 9" MIN. EMBEDMENT + 3" HOOK UNLESS OTHERWISE NOTED. ALL ANCHOR BOLTS SHALL BE AS PER FIG. 54.
 - ALL 1" # ANCHOR BOLTS TO HAVE MINIMUM 12" EMBEDMENT AND HEAVY HEX NUTS AT THEIR EMBEDDED ENDS AS PER "AISC" UNLESS OTHERWISE NOTED.
 - ALL HSS COLUMNS TO BE F_y = 46 K.S.I.
 - ALL HSS COLUMNS TO HAVE 3/4" THICK CAP IE. # BEAM BEARING 1/2" THICK CAP IE. # JOIST BEARING.
 - ALL STEEL COLUMNS SUPPORTING CANTILEVER MEMBERS TO HAVE 3/4" TOP PLATES W/ (4) - 3/4" # A325 BOLTS U.O.N.
 - SEE TYPICAL THRU-B DETAIL FOR BEAM TO TUBE COLUMN CONNECTIONS.
 - [] - INDICATES THE POINT AT WHICH A STEEL COLUMN TERMINATES. COORDINATE THE HEIGHT OF STEEL WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 - WHERE ANY FACE OF COLUMN ABUTS MASONRY WALLS, PROVIDE ADJUSTABLE MASONRY ANCHORS # 24" O.C. VERTICALLY.
 - OMIT MASONRY ANCHORS AT FIRE WALLS.



Drawing name: D:\Jobs\18959A - W/HSN Addition - FV\18959A - Plans.dwg
 Date: Mar 27, 2021 11:06am

Harrison-Hamnett, P.C.
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Donald M. Hamnett
 DONALD M. HAMNETT, N.J.P.E. 917976 DATE: 04/06/21

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Project Name
**Addition to West
 Windsor-Plainsboro
 High School North**

Project Owner Name
**West Windsor -
 Plainsboro Regional
 School District**

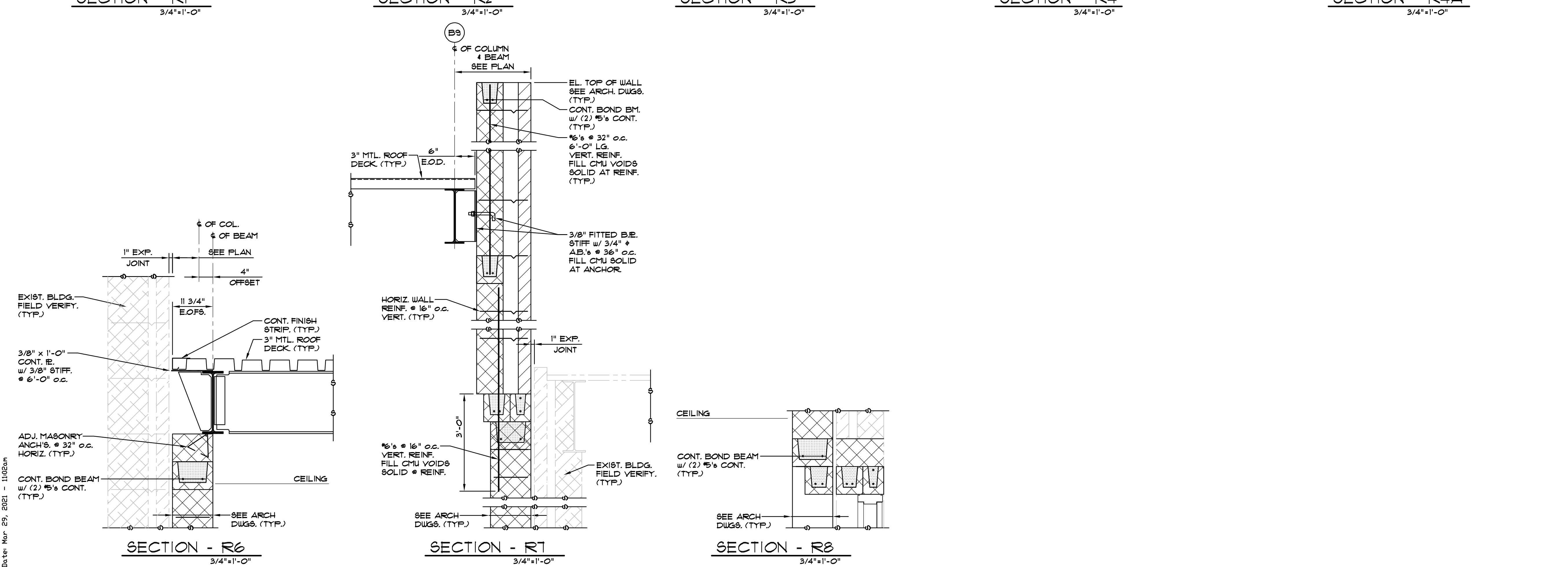
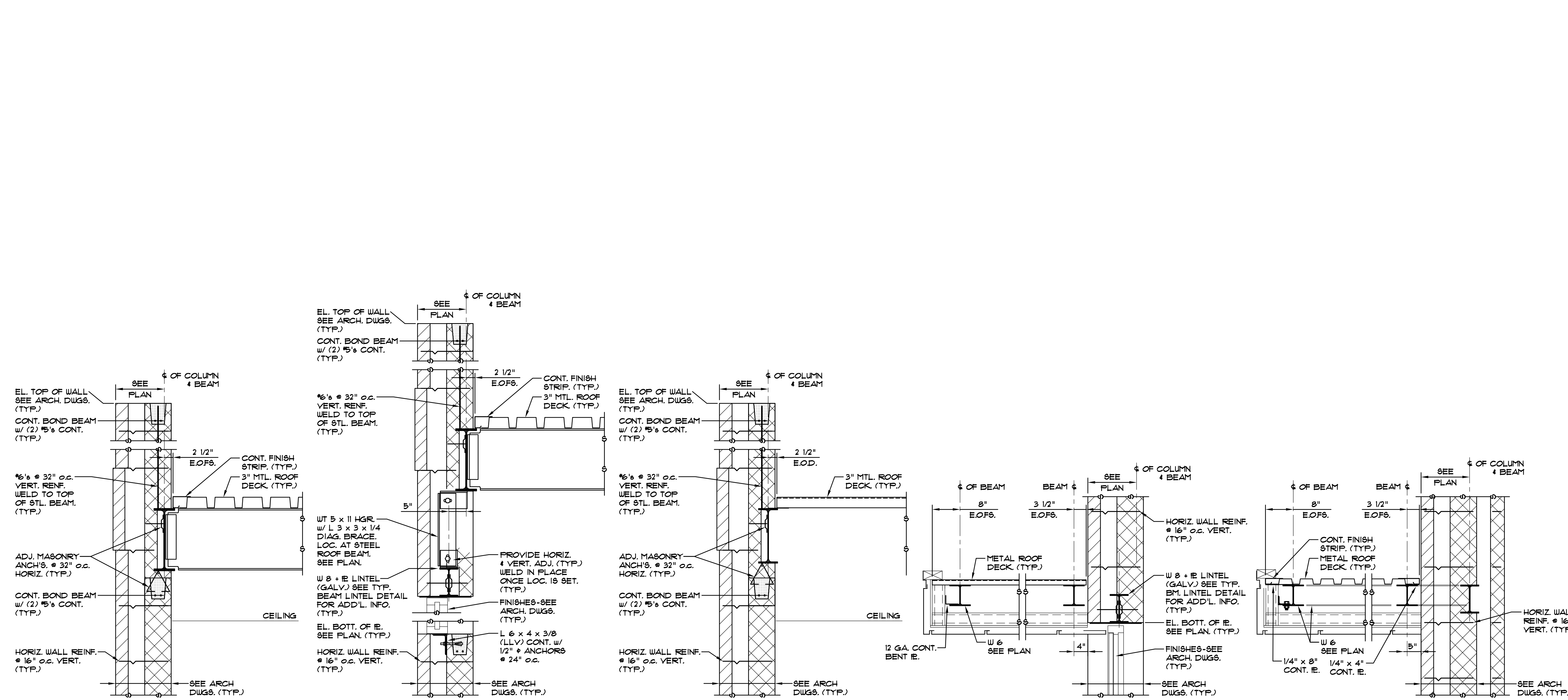
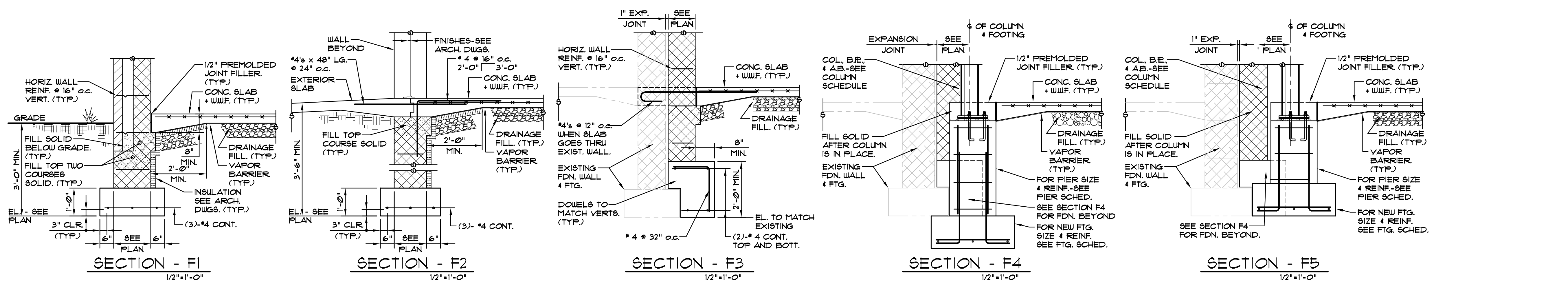
Project Location
**90 Grovers Mill Road,
 Plainsboro, New
 Jersey 08536**

Project Number
5063K1
 Project Date
04.06.2021
 Checked By
DH
 Drawn By
RC
 Scale
As Noted

Drawing Name
**FOUNDATION PLAN/
 ROOF FRAMING PLAN**

Revisions		
No.	Date	Description

Drawing Number
S101



Drawing name: D:\Jobs\18595A - VISION Addition - FV\18595A - Sections.dwg
 Date: Mar 25, 2021 - 11:05am

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Project Name: Addition to West Windsor-Plainsboro High School North
 Project Owner Name: West Windsor - Plainsboro Regional School District
 Project Location: 90 Grovers Mill Road, Plainsboro, New Jersey 08536
 Project Number: 5063K1
 Project Date: 04.06.2021
 Checked By: DH
 Drawn By: RC
 Scale: As Noted
 Drawing Name: SECTIONS
 Drawing Number: S201

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 Donald M. Hamnett, N.J.P.E. 917996
 DATE: 2/29/21

FIRE PROTECTION GENERAL NOTES

- DO NOT SCALE FROM THESE DRAWINGS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE AND ADOPTED REGULATIONS INCLUDING BUT NOT LIMITED TO NFPA REQUIREMENTS, NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL FIRE PROTECTION MATERIALS, INSTALLATION PROCEDURES AND SYSTEM LAYOUTS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION. THE FIRE PROTECTION CONTRACTOR SHALL OBTAIN FIRE SPRINKLER PERMITS FROM THE SHOP DRAWINGS AND HYDRAULIC CALCULATIONS WITH THE LOCAL AUTHORITY HAVING JURISDICTION AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THIS INSTALLATION.
- THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON FPA CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF FPA AND ARE INVALID.
- REPRODUCTION OF ANY PORTION OF THE CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
- SHOP DRAWINGS BEARING THE APPROVAL OF THE INSURANCE UNDERWRITER SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE BEFORE ANY WORK IS STARTED.
- IF THERE ARE ANY QUESTIONS CONCERNING WHAT THE INSURANCE UNDERWRITER WILL REQUIRE IN ORDER TO APPROVE THE COMPLETED INSTALLATION (PIPING SIZING, LOCATION OF RISERS, TEST STATIONS, HYDRANTS, ALARMS, ETC.) THE BIDDER SHALL CONSULT WITH THE INSURANCE UNDERWRITER BEFORE SUBMITTING HIS BID. FAILURE TO CONSULT WITH THE INSURANCE UNDERWRITER DOES NOT RELIEVE THIS CONTRACTOR FROM HIS RESPONSIBILITY BY THE COMPLETION OF ANY AND ALL WORK REQUIRED WITH NO EXTRA CHARGES TO THE OWNER.
- FURNISH AND LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE FIRE SUPPRESSION SYSTEM WHERE SHOWN ON DRAWINGS AND REQUIRED BY NFPA 13 AND LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL RUN A CERTIFIED FLOW TEST AS REQUIRED BY NFPA 13, APPENDIX B TO DETERMINE THE ADEQUACY OF THE WATER PRESSURE. PRIOR TO BID, COORDINATE WITH ARCHITECT/ENGINEER IF RESIDUAL WATER PRESSURE IS LOWER THAN THE DESIGN PRESSURE SPECIFIED ON DRAWINGS. PROVIDE ALTERNATE PRICE FOR A WATER PRESSURE BOOSTER SYSTEM IF REQUIRED.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL, DETAILED CONSTRUCTION DRAWINGS AND HYDRAULIC CALCULATIONS TO THE ENGINEER AND FIRE SUB-CODE OFFICIAL, PRIOR TO THE INSTALLATION OF ANY EQUIPMENT. OBTAIN CERTIFICATE OF INSPECTION AND APPROVAL FROM THE SAME AGENCY HAVING JURISDICTION AFTER INSTALLATION. FIRE SUPPRESSION CONSTRUCTION DRAWINGS SHALL BE SIGNED AND SEALED BY AN ENGINEER LICENSED IN THE AREA WHERE THE PROJECT IS LOCATED.
- CONTRACTOR MUST VISIT THE SITE TO DETERMINE THE FULL EXTENT OF THE EXISTING FIRE PROTECTION WORK AND EXISTING CONDITIONS. BECOME FAMILIAR WITH THE DISCONNECTIONS, REMOVAL, RELOCATIONS, AND/OR RECONNECTIONS OF EXISTING FIRE PROTECTION EQUIPMENT REQUIRED. NO EXTRA COMPENSATION SHALL BE PROVIDED FOR LACK OF SUCH DETERMINATION, FAMILIARIZATION, AND/OR ALLOWANCE.
- PRIOR TO DEMOLITION AND CONSTRUCTION, FIRE PROTECTION CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT/OWNER OF CONFLICTS OR CONDITIONS WHICH INTERFERE WITH REQUIREMENTS ON THESE DOCUMENTS.
- UNLESS INDICATED OTHERWISE, DISCONNECT AND REMOVE ALL EXISTING FIRE PROTECTION COMPONENTS NOT INTENDED TO BE REUSED.
- DISCONNECT, RELOCATE, AND RECONNECT EXISTING FIRE PROTECTION SYSTEMS AND EQUIPMENT WHERE REQUIRED.
- CONTRACTOR RESPONSIBLE TO RELOCATE EXISTING SPRINKLER PIPING WHERE CONFLICTS OCCUR WITH DUCTWORK. COORDINATE WITH MECHANICAL CONTRACTOR.
- SPRINKLER HEADS SHALL NOT INTERFERE WITH LIGHTING FIXTURES, SPEAKERS, AIR CONDITIONING DIFFUSERS AND GRILLES, ETC. COORDINATE WITH ARCHITECT'S REFLECTED CEILING PRIOR TO SUBMITTING SHOP DRAWING.
- THE FIRE PROTECTION DRAWINGS ARE INTENDED TO INDICATE, ONLY DIAGRAMMATICALLY, THE EXTENT AND THE GENERAL CHARACTER AND LOCATIONS OF THE WORK INCLUDED.
- COORDINATE ALL FIRE SPRINKLER WORK WITH ARCHITECTURAL REFLECTED CEILING PLANS AND OTHER TRADES. SPRINKLER SHALL BE LOCATED IN CENTER OF CEILING TILE OR IN QUARTER POINT OF 4' DIMENSION AND CENTER OF 2' DIMENSION.
- ALL NEW SPRINKLER PIPING SHALL BE SEISMICALLY BRACED AND PITCHED FOR DRAINAGE.
- FIRE SPRINKLER SYSTEMS NOT ASSOCIATED WITH THE DEMOLITION SHALL BE LEFT IN SERVICE.
- ALL CONNECTIONS TO EXISTING BUILDING SERVICES SHALL BE CAREFULLY COORDINATED WITH THE UTILITY COMPANY AND THE OWNER'S SCHEDULE. SERVICE WORK OF THIS NATURE TO OCCUR DURING UNOCCUPIED BUILDING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL EXISTING EQUIPMENT IS OPERATIONAL AFTER ANY SHUTDOWN OCCURS.
- CHANGES OR SUBSTITUTIONS OF EQUIPMENT WILL NOT BE ALLOWED WITHOUT SPECIFIC WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER. ALL COSTS RESULTING FROM THE SELECTION OF OTHER THAN SPECIFIED EQUIPMENT SHALL BE BORNE BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO WORK AFFECTING OTHER CONTRACTORS, THE OWNER, OR RE-DESIGN ISSUES.
- ALL INDICATED WORK SHALL BE PERFORMED BY THE FIRE PROTECTION CONTRACTOR UNLESS OTHERWISE NOTED.
- DO NOT USE ANY PART OF THE OWNER'S BUILDING AS A SHOP, EXCEPT PARTS DESIGNATED FOR SUCH PURPOSES BY THE OWNER.
- ALL CONTRACT WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE WRITTEN SPECIFICATIONS FOR THIS PROJECT WHICH ARE CONSIDERED TO BE AN INTEGRAL PART OF THE CONTRACT DOCUMENTS. ALL CONTRACTORS AND SUBCONTRACTORS SHALL MAINTAIN (AT THE JOB SITE) AND REFER TO COPIES OF THE WRITTEN SPECIFICATIONS AS PART OF THESE DRAWINGS. REFER TO THE WRITTEN SPECIFICATIONS IN CONJUNCTION WITH THE PLANS FOR FULL PROJECT SCOPE. IN ALL CASES OF DISCREPANCY BETWEEN PLANS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AND WHERE IT IS UNCLEAR, SUCH CASES SHALL BE REFERRED TO THE ENGINEER FOR ADJUDICATION.
- ANY DISCREPANCIES OR INADEQUACIES WITHIN THESE BID DOCUMENTS OR BETWEEN THESE BID DOCUMENTS AND RELATED HVAC, ELECTRICAL, FIRE PROTECTION, ARCHITECTURAL, INTERIOR DECOR AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER PRIOR TO BID SUBMISSION.
- THE FIRE PROTECTION CONTRACTOR SHALL REVIEW THESE PLANS AND SPECIFICATIONS, AS WELL AS THE RELATED HVAC, ELECTRICAL, ARCHITECTURAL, INTERIOR DECOR AND SITE ENGINEERING DRAWINGS TO BECOME FAMILIAR WITH THE FULL PROJECT SCOPE. DURING THE COURSE OF CONSTRUCTION COORDINATION AND ACTUAL CONSTRUCTION, THE FIRE PROTECTION CONTRACTOR SHALL COOPERATE WITH ALL OTHER CONTRACTORS AND TRADES ON THIS PROJECT TO ENSURE A SMOOTH RUNNING AND CAREFULLY COORDINATED INSTALLATION.
- CONTRACTOR SHALL COORDINATE HIS SCHEDULING WITH THE OWNER AND GENERAL CONTRACTOR TO COMPLY WITH THE OWNER'S USAGE OF THE BUILDING.
- IF ANY UNEXPECTED DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS IS MADE DURING THE COURSE OF WORK, THE CONTRACTOR SHALL REPORT THE DISCOVERY IMMEDIATELY TO THE OWNER. THE CONTRACTOR SHALL STOP ANY WORK THAT MAY DISTURB THE SUSPECTED HAZARDOUS MATERIAL. CONTRACTOR SHALL RESUME WORK AFTER ALL HAZARDOUS MATERIAL HAS BEEN REMEDIATED.
- CONTRACTOR RESPONSIBLE FOR THE PROPER CARE OF ALL OWNER'S EQUIPMENT AND/OR FURNISHINGS WHICH ARE REQUIRED TO BE TEMPORARILY REMOVED, STORED OR RELOCATED. CONTRACTOR SHALL REPLACE, REPAIR OR REIMBURSE OWNER FOR ALL DAMAGES TO SUCH PROPERTIES AT FULL REPLACEMENT VALUE AND EQUIVALENCY. CONTRACTOR SHALL ADVISE OWNER FOR DISPOSITION OR REMOVED EQUIPMENT AND/OR MATERIALS.

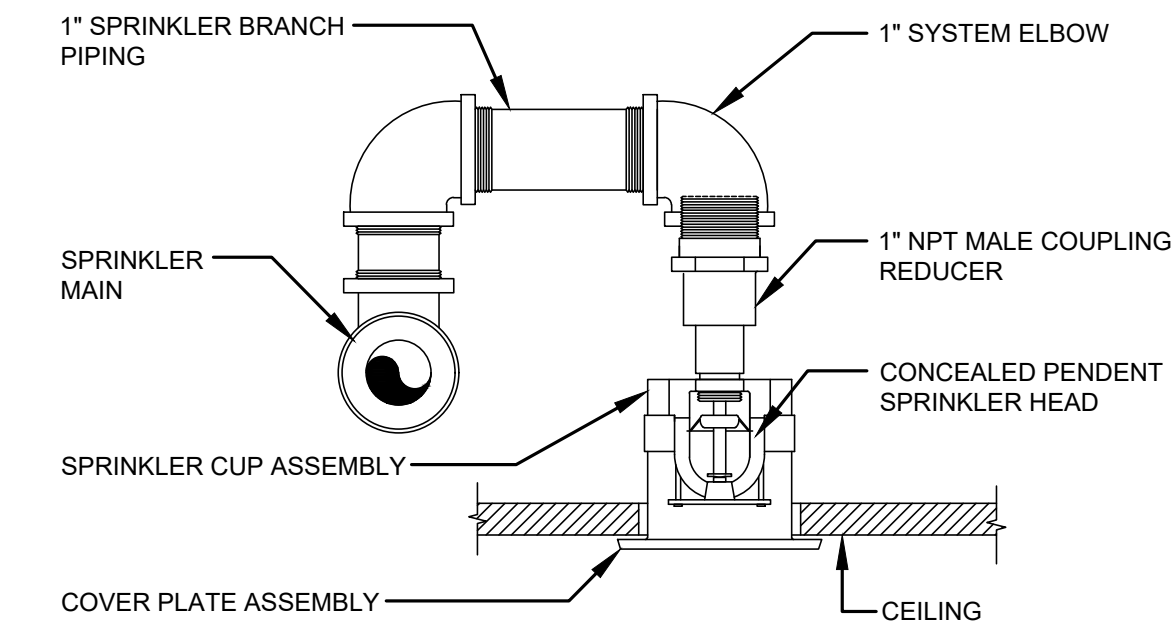
- CONTRACTOR'S WORK MAY BE REQUIRED OUTSIDE OF DESIGNATED SPACE. ALL SYSTEMS BEING DEMOLISHED AND REMOVED, MODIFIED, AND/OR TERMINATED SHALL BE FIELD VERIFIED TO INSURE NO WORK PERFORMED, INSIDE OR OUTSIDE OF THE DESIGNATED SPACE, SHALL DISRUPT ANY SERVICE OR SYSTEMS OF ANY OTHER AREAS. IF ANY CONDITIONS ARISE THAT ARE NOT IDENTIFIED ON DRAWINGS, IMMEDIATE NOTIFICATION SHALL BE PROVIDED TO THE ENGINEER OR OWNER. NO WORK SHALL PROCEED WITHOUT APPROVALS FROM ENGINEER OR OWNER.
- DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY HAVE TO BE ADAPTED TO COMPLY WITH EXISTING BUILDING CONDITIONS. CONTRACTOR SHALL SUBMIT FIRE PROTECTION SHOP DRAWINGS, INDICATING LOCATIONS, AND ROUTING OF DUCTS, PIPING, AND WIRING.
- PIPING SHOWN ON DRAWINGS SHOW THE GENERAL RUN AND CONNECTIONS AND MAY OR MAY NOT IN ALL PARTS BE SHOWN IN ITS EXACT POSITION. CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING THE PIPING SUITABLE IN EVERY RESPECT FOR THE WORK. PIPING SHALL BE INSTALLED SO THAT ACCESS, CLEARANCE, HEADROOM AND PITCH ARE MAINTAINED. CONTRACTORS OF THE VARIOUS TRADES SHALL COORDINATE THE INSTALLATION.
- ALL CONTRACTORS SHALL PROVIDE CUTTING AND PATCHING FOR THEIR RESPECTIVE TRADES.
- REMOVE AND REINSTALL CEILING SYSTEM AS REQUIRED FOR THE INSTALLATION OF FIRE PROTECTION WORK AND REPLACE IN KIND ANY COMPONENTS DAMAGED BY PERSONNEL OR EQUIPMENT DURING PERFORMANCE OF THE WORK. PATCH AND REPAIR ALL DAMAGE CAUSED BY REMOVAL, MATCH EXISTING ADJACENT SURFACES.
- ALL SPRINKLER PIPING TO RUN AS HIGH AS POSSIBLE. ALL MAINS SHALL BE RUN TIGHT TO STEEL. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR.
- ALL EXPOSED HORIZONTAL AND VERTICAL PIPING SHALL BE INSTALLED IN A NEAT ARRANGEMENT IN LOCATIONS WHICH ARE THE MOST INCONSPICUOUS. VERTICAL DROPS SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND THEIR FINAL LOCATIONS SHALL BE COORDINATED AND RUN WITHIN CHASES, WALLS, SCOFFITS WITH OTHER MECHANICAL/ELECTRICAL FEEDS. ALL SUCH LOCATIONS ARE TO BE REVIEWED WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION.
- ALL PIPING SYSTEM PENETRATIONS OF FIRE-RATED WALLS AND FLOOR SHALL BE SEALED WITH UL APPROVED FIRE RESISTANT JOINT SEALER. SPECIFIED TECHNOLOGIES "PENISIL 200" OR EQUAL, TWO-PART FOAMED-IN-PLACE SILICONE SEALANT. FIRE RESISTANT SEALER SHALL BE TESTED IN ACCORDANCE WITH ASTM 814. INSTALL SEALANT, INCLUDING FORMING, PACKING AND OTHER ACCESSORY MATERIALS TO FILL OPENINGS WHERE FIRE-RATED WALL PENETRATIONS OCCUR, COMPLY WITH INSTALLATION REQUIREMENTS ESTABLISHED BY TESTERS AND INSPECTION AGENCY.
- ALL CONTRACTORS REMOVING ANY EQUIPMENT, PIPES, DUCTS, CONDUITS, ETC. SHALL PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- REFER TO SPECIFICATIONS FOR SPRINKLER HEAD AND ESCUTCHEON FINISHES AND COLORS.
- THE FIRE PROTECTION CONTRACTOR SHALL PROVIDE A COMPLETE SET OF "AS-BUILT" DRAWINGS INDICATING THE PRECISE LOCATION OF ALL SYSTEMS, EQUIPMENT CONCEALED OR EMBEDDED PIPES, PIPE CONNECTIONS AND ACCESS DOORS. THESE PLANS SHALL ALSO INCLUDE ALL CHANGES AND DEVIATIONS FROM BID DOCUMENTS.
- GUARANTEE ALL WORK, MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE (1) YEAR FROM DATE OF CERTIFICATE OF OCCUPANCY.

APPLICABLE CODES:

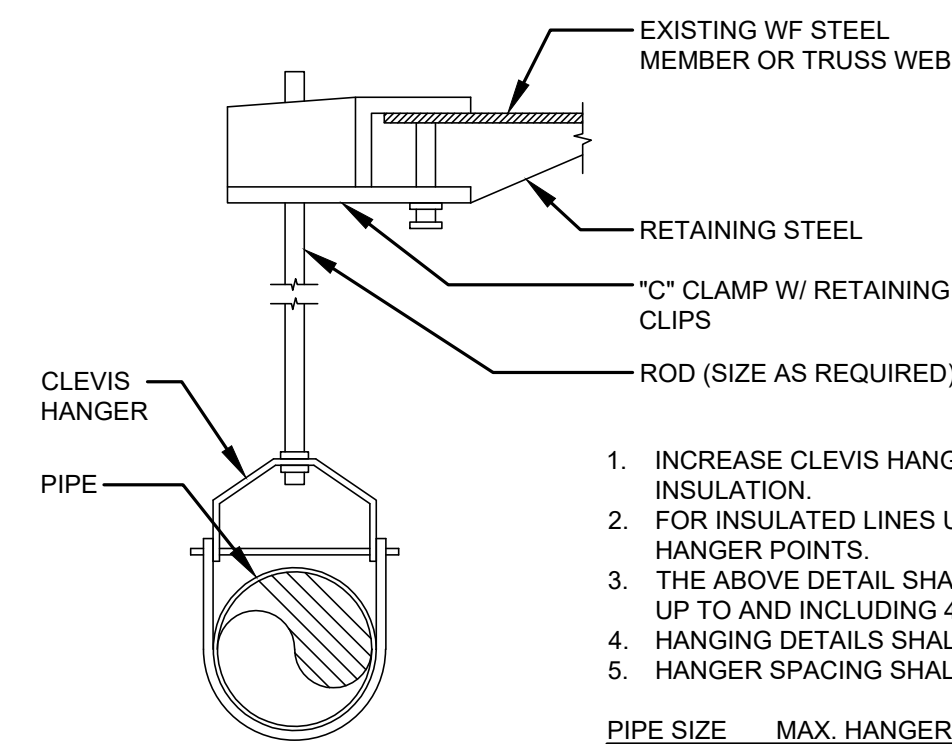
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST CODES AND SUBCODES AS ADOPTED BY THE STATE OF NEW JERSEY:
- NEW JERSEY UNIFORM CONSTRUCTION CODE (NUCC)
 - REHABILITATION SUBCODE 5-23-6
 - ADMINISTRATIVE CODE: TITLE 8
 - 2018 INTERNATIONAL BUILDING CODE - NJ EDITION
 - 2017 NATIONAL ELECTRICAL CODE
 - 2018 NATIONAL STANDARD PLUMBING CODE
 - 2018 INTERNATIONAL MECHANICAL CODE
 - 2018 INTERNATIONAL FUEL GAS CODE
 - 2016 ASHRAE 90.1 ENERGY CONSERVATION CODE
 - 2016 NFPA 13
 - REQUIREMENTS OF LOCAL AUTHORITY HAVING JURISDICTION

DESIGN CRITERIA:

- FIRE SPRINKLER SYSTEM SHALL BE HYDRAULICALLY CALCULATED BASED ON THE DESIGN CRITERIA INDICATED ON THE FLOOR PLANS.
- THE CONTRACTOR SHALL RUN A CERTIFIED FLOW TEST INDICATING THE FOLLOWING INFORMATION AS REQUIRED BY NFPA 13, APPENDIX B TO DETERMINE THE ADEQUACY OF THE WATER PRESSURE. COORDINATE WITH ARCHITECT/ENGINEER IF RESIDUAL WATER PRESSURE IS LOWER THAN THE DESIGN PRESSURE SPECIFIED ON DRAWING.
FLOW TEST: HYDRANT NO. TEST DATE:
STATIC PRESSURE: PSI
RESIDUAL PRESSURE: PSI
FLOW: GPM
FLOW HYDRANT
- SPRINKLER HEADS SHALL HAVE A 1/2" NOMINAL ORIFICE AND A TEMPERATURE RATING OF 165°F. TYPE AND MAKE SHALL MATCH EXISTING.
- ALL NEW DROP NIPPLES SHALL BE 1" UNLESS OTHERWISE NOTED.

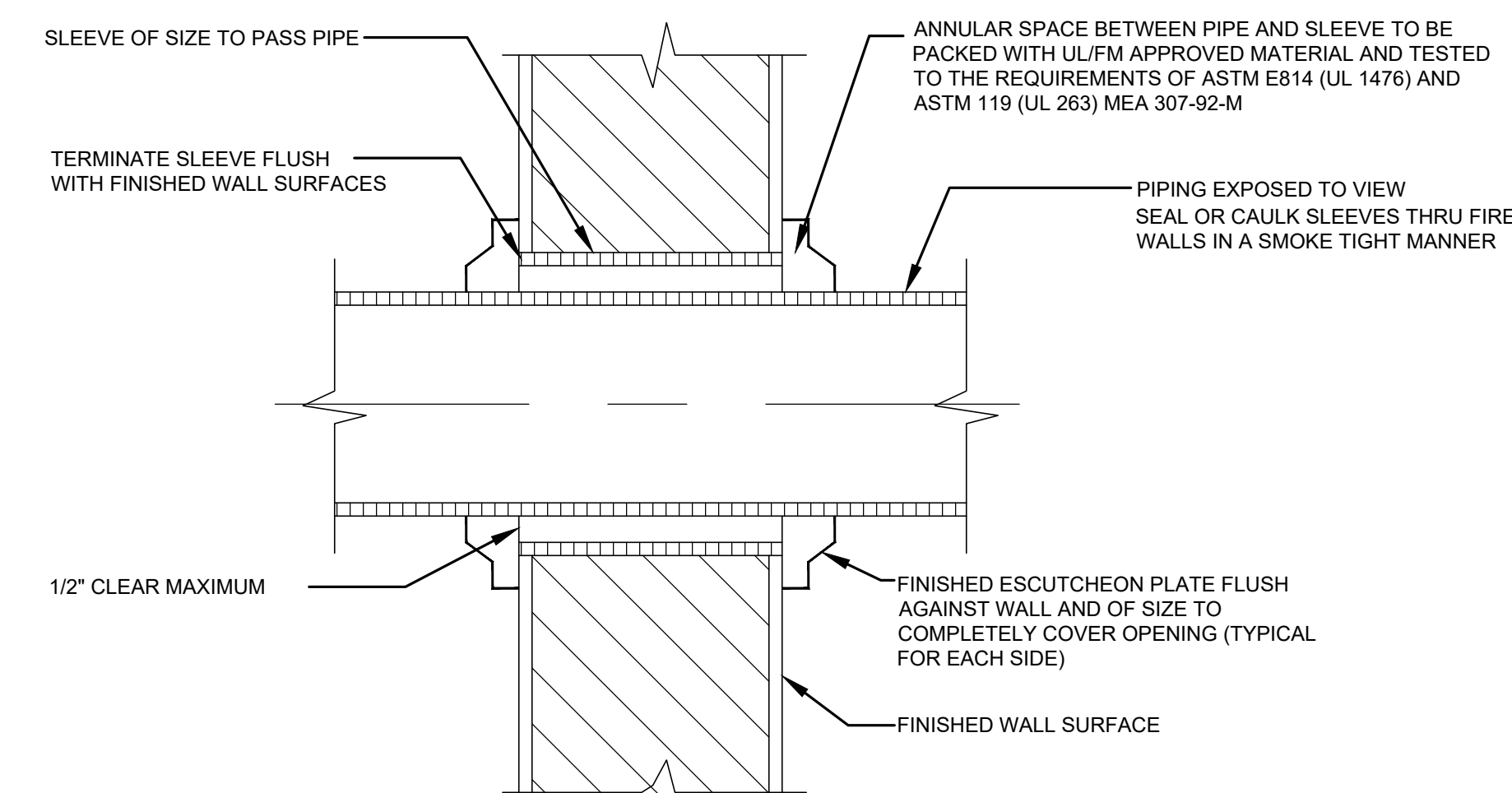


CONCEALED SPRINKLER HEAD
NOT TO SCALE



- INCREASE CLEVIS HANGER SIZE TO ALLOW FOR INSULATION.
 - FOR INSULATED LINES USE STEEL PIPE SHIELDS AT HANGER POINTS.
 - THE ABOVE DETAIL SHALL BE USED ONLY FOR LINES UP TO AND INCLUDING 4" IN SIZE.
 - HANGING DETAILS SHALL BE SUBMITTED FOR REVIEW.
 - HANGER SPACING SHALL BE AS FOLLOWS:
- | PIPE SIZE | MAX. HANGER SPACING | MIN. ROD SIZE |
|--------------|---------------------|---------------|
| 1/2" TO 1" | 7' O.C. | 3/8" |
| 1-1/4" TO 2" | 9' O.C. | 1/2" |
| 2-1/2" TO 4" | 10' O.C. | 1/2" |
- REPAIR OF FIRE PROOFING AT REMOVED AND NEW SUPPORT CONNECTIONS.

TYPICAL HANGER DETAIL
NOT TO SCALE



PIPE THRU RATED WALL
NOT TO SCALE

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F V H D P C . C O M

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor-Plainsboro Regional School District

Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1

Project Date
04.06.2021

Checked By
JDS

Drawn By
JD

Scale
AS SHOWN

Drawing Name
FIRE PROTECTION SYMBOLS, NOTES, DETAILS & ABBREVIATIONS

No.	Date	Description
04.06.21	Issued for Bid	

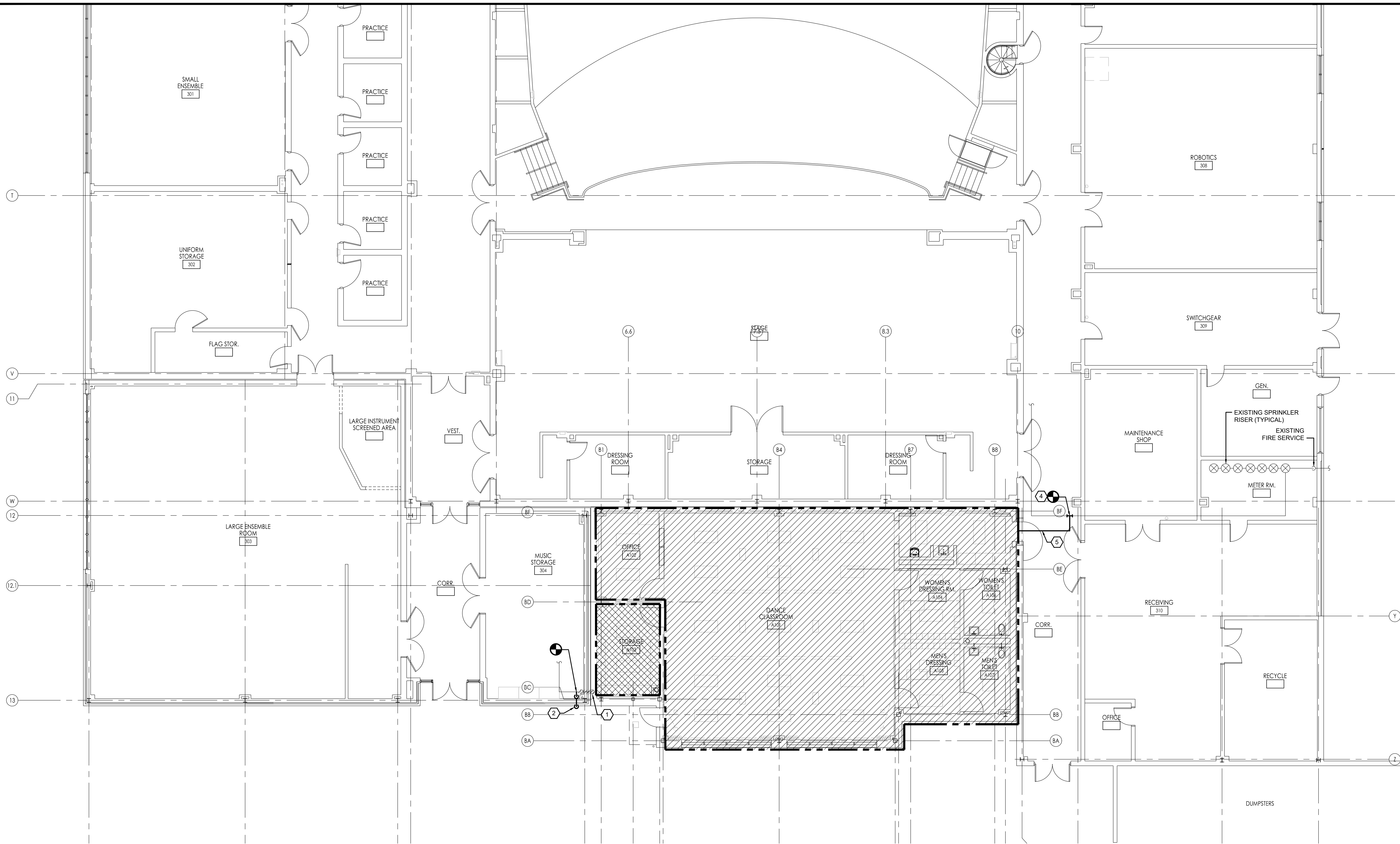
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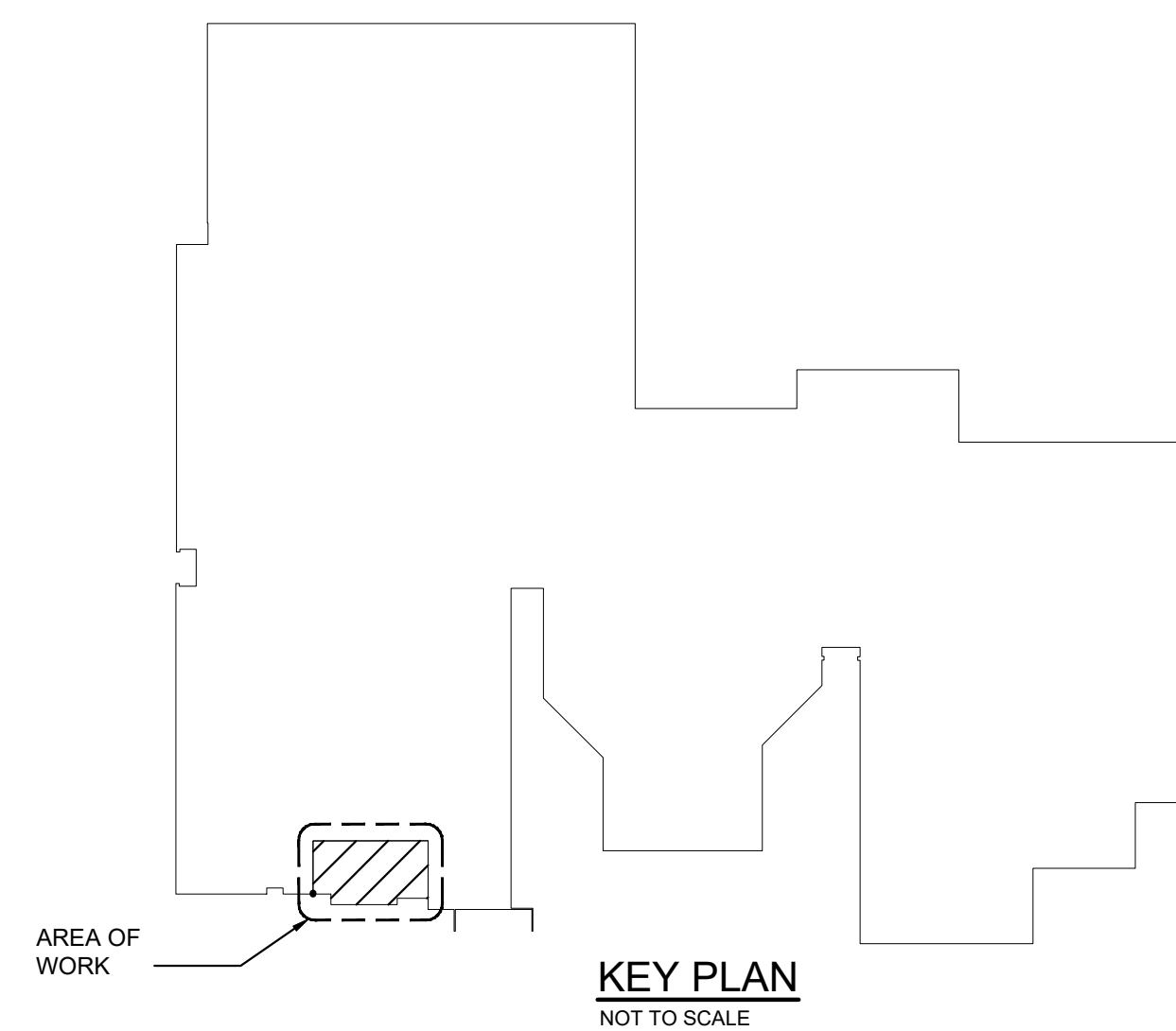


FIRE PROTECTION FLOOR PLAN
SCALE: 1/8" = 1'-0"

SYMBOL	SPRINKLER DESIGN CRITERIA
	HAZARD CLASSIFICATION : LIGHT SPACES : DANCE CLASSROOM, TOILET ROOMS, DRESSING ROOMS, OFFICE DENSITY : 0.10 GPM PER SQ FT DESIGN AREA : 1500 SQ FT MAX AREA PER SPRINKLER : 200 SQ FT INSIDE AND OUTSIDE HOSE STREAM ALLOWANCE : 100 GPM SPRINKLER TYPE : CONCEALED, QUICK RESPONSE
	HAZARD CLASSIFICATION : ORDINARY GROUP 1 SPACES : STORAGE ROOM DENSITY : 0.15 GPM PER SQ FT DESIGN AREA : 1500 SQ FT MAX AREA PER SPRINKLER : 130 SQ FT INSIDE AND OUTSIDE HOSE STREAM ALLOWANCE : 250 GPM SPRINKLER TYPE : CONCEALED, QUICK RESPONSE

KEY NOTES

- 1 REMOVE EXISTING SPRINKLER DRAIN PENETRATING EXTERIOR WALL AND ALL RELATED PIPING UP TO A POINT JUST BELOW THE EXISTING CEILING AND EXTEND PIPING TO NEW DRAIN AS INDICATED. MODIFY EXISTING PIPING AS REQUIRED TO MAKE EXTENSION. PATCH OPENING IN EXTERIOR WALL AND ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- 2 DROP NEW RELOCATED SPRINKLER DRAIN PIPING BEHIND EXISTING FURRED OUT WALL BEHIND EXISTING CABINET. PENETRATE EXTERIOR WALL APPROXIMATELY 24" ABOVE GRADE WITH TURN DOWN ELBOW. ALL EXTERIOR PIPING SHALL BE GALVANIZED STEEL. SEAL OPENING THROUGH EXTERIOR WALL WATER TIGHT. GC SHALL REMOVE AND REINSTALL EXISTING STORAGE CABINET ATTACHED TO WALL TO FACILITATE THE INSTALLATION OF THE SPRINKLER DRAIN PIPING. SPRINKLER CONTRACTOR SHALL REMOVE AND REINSTALL EXISTING FURRED OUT WALL AS REQUIRED FOR THE PIPING INSTALLATION AND SHALL REINSTALL WALL AND ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- 3 REMOVE EXISTING SPRINKLER HEADS AND EXTEND PIPING TO NEW SPRINKLER HEADS. MODIFY, OFFSET, ADJUST, RELOCATE AND EXTEND EXISTING PIPING AS REQUIRED TO ACCOMMODATE NEW DUCTWORK, CEILING LAYOUT, CEILING HEIGHT, SOFFITS, DIFFUSERS, LIGHTS, CEILING CLOUDS, AND EXIT SIGNS. PROVIDE A NEW SPRINKLER HEAD SYSTEM LAYOUT AS PER NFPA 13 REQUIREMENTS. REFER TO ALL ARCHITECTURAL CEILING LAYOUT AND DEMOLITION DRAWINGS AND MECHANICAL DRAWINGS FOR AN EXACT SCOPE OF WORK WITH-IN THE EXISTING BUILDING. SPRINKLER HEADS SHALL BE LOCATED IN CENTER OF TILE.
- 4 CONNECT TO EXISTING 4" BULK MAIN SERVING THIS ZONE. FIELD VERIFY EXACT LOCATION AND SIZE OF EXISTING BULK MAIN. EXTEND, OFFSET, AND ADJUST EXISTING PIPING AS REQUIRED TO MAKE CONNECTION.
- 5 INSTALL PIPING ABOVE EXISTING CEILING TILE. CAREFULLY REMOVE EXISTING TILE FOR INSTALLATION OF PIPING AND REINSTALL IN ORIGINAL CONDITION. CONTRACTOR RESPONSIBLE TO REPLACE ANY CEILING TILE DAMAGED AS PART OF THIS WORK WITH NEW TILE TO MATCH EXISTING.



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PLUMBING GENERAL NOTES

- 1. DO NOT SCALE FROM THESE DRAWINGS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE AND ADOPTED REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL PLUMBING MATERIALS, INSTALLATION PROCEDURES AND SYSTEM LAYOUTS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION. THE PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THIS INSTALLATION.
3. THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON FPA CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF FPA AND ARE INVALID.
4. REPRODUCTION OF ANY PORTION OF THE CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
5. UPON CONTRACT AWARD, CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANY TO SCHEDULE ANY UTILITY UPGRADES. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL UTILITY UPGRADES, SECURE ALL PERMITS AND INSPECTIONS.
6. ALL CONNECTIONS TO EXISTING BUILDING SERVICES SHALL BE CAREFULLY COORDINATED WITH THE UTILITY CO. AND THE OWNER'S SCHEDULE. SERVICE WORK OF THIS NATURE TO OCCUR DURING UNOCCUPIED BUILDING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL EXISTING EQUIPMENT IS OPERATIONAL AFTER ANY SHUTDOWN OCCURS.
7. CHANGES OR SUBSTITUTIONS OF EQUIPMENT WILL NOT BE ALLOWED WITHOUT SPECIFIC WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER. ALL COSTS RESULTING FROM THE SELECTION OF OTHER THAN SPECIFIED EQUIPMENT SHALL BE BORNE BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO WORK AFFECTING OTHER CONTRACTORS, THE OWNER, OR RE-DESIGN ISSUES.
8. ALL INDICATED WORK SHALL BE PERFORMED BY THE PLUMBING CONTRACTOR UNLESS OTHERWISE NOTED.
9. DO NOT USE ANY PART OF THE OWNER'S BUILDING AS A SHOP, EXCEPT PARTS DESIGNATED FOR SUCH PURPOSES BY THE OWNER.
10. ALL CONTRACT WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE WRITTEN SPECIFICATIONS FOR THIS PROJECT WHICH ARE CONSIDERED TO BE AN INTEGRAL PART OF THE CONTRACT DOCUMENTS. ALL CONTRACTORS AND SUBCONTRACTORS SHALL MAINTAIN (AT THE JOB SITE) AND REFER TO COPIES OF THE WRITTEN SPECIFICATIONS AS PART OF THESE DRAWINGS. REFER TO THE WRITTEN SPECIFICATIONS IN CONJUNCTION WITH THE PLANS FOR FULL PROJECT SCOPE. IN ALL CASES OF DISCREPANCY BETWEEN PLANS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AND WHERE IT IS UNCLEAR, SUCH CASES SHALL BE REFERRED TO THE ENGINEER FOR ADJUDICATION.
11. ANY DISCREPANCIES OR INADEQUACIES WITHIN THESE BID DOCUMENTS OR BETWEEN THESE BID DOCUMENTS AND RELATED HVAC, ELECTRICAL, FIRE PROTECTION, ARCHITECTURAL, INTERIOR DECOR AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER PRIOR TO BID SUBMISSION.
12. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS BID FOR THE PROPOSED WORK. HE SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS; ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMISSION OF BIDS IN WRITING.
13. THE PLUMBING CONTRACTOR SHALL REVIEW THESE PLANS AND SPECIFICATIONS, AS WELL AS THE RELATED HVAC, ELECTRICAL, ARCHITECTURAL, INTERIOR DECOR AND SITE ENGINEERING DRAWINGS TO BECOME FAMILIAR WITH THE FULL PROJECT SCOPE. DURING THE COURSE OF CONSTRUCTION COORDINATION AND ACTUAL CONSTRUCTION, THE PLUMBING CONTRACTOR SHALL COOPERATE WITH ALL OTHER CONTRACTORS AND TRADES ON THIS PROJECT TO ENSURE A SMOOTH RUNNING AND CAREFULLY COORDINATED INSTALLATION.
14. CONTRACTOR SHALL COORDINATE HIS SCHEDULING WITH THE OWNER AND GENERAL CONTRACTOR TO COMPLY WITH THE OWNER'S USAGE OF THE BUILDING.
15. IF ANY UNEXPECTED DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS IS MADE DURING THE COURSE OF WORK, THE CONTRACTOR SHALL REPORT THE DISCOVERY IMMEDIATELY TO THE OWNER. THE CONTRACTOR SHALL STOP ANY WORK THAT MAY DISTURB THE SUSPECTED HAZARDOUS MATERIAL. CONTRACTOR SHALL RESUME WORK AFTER ALL HAZARDOUS MATERIAL HAS BEEN REMEDIATED.
16. CONTRACTOR RESPONSIBLE FOR THE PROPER CARE OF ALL OWNER'S EQUIPMENT AND/OR FURNISHINGS WHICH ARE REQUIRED TO BE TEMPORARILY REMOVED, STORED OR RELOCATED. CONTRACTOR SHALL REPLACE, REPAIR OR REIMBURSE OWNER FOR ALL DAMAGES TO SUCH PROPERTIES AT FULL REPLACEMENT VALUE AND EQUIVALENCY. CONTRACTOR SHALL ADVISE OWNER FOR DISPOSITION OR REMOVED EQUIPMENT AND/OR MATERIALS.
17. CONTRACTOR'S WORK MAY BE REQUIRED OUTSIDE OF DESIGNATED SPACE. ALL SYSTEMS BEING DEMOLISHED AND REMOVED, MODIFIED, AND/OR TERMINATED SHALL BE FIELD VERIFIED TO INSURE NO WORK PERFORMED, INSIDE OR OUTSIDE OF THE DESIGNATED SPACE, SHALL DISRUPT ANY SERVICE OR SYSTEMS OF ANY OTHER AREAS. IF ANY CONDITIONS ARISE THAT ARE NOT IDENTIFIED ON DRAWINGS, IMMEDIATE NOTIFICATION SHALL BE PROVIDED TO THE ENGINEER OR OWNER. NO WORK SHALL PROCEED WITHOUT APPROVALS FROM ENGINEER OR OWNER.
18. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY HAVE TO BE ADAPTED TO COMPLY WITH EXISTING BUILDING CONDITIONS. CONTRACTOR SHALL SUBMIT PLUMBING SHOP DRAWINGS, INDICATING LOCATIONS, AND ROUTING OF DUCTS, PIPING, AND WIRING.
19. PIPING SHOWN ON DRAWINGS SHOW THE GENERAL RUN AND CONNECTIONS AND MAY OR MAY NOT IN ALL PARTS BE SHOWN IN ITS EXACT POSITION. CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING THE PIPING SUITABLE IN EVERY RESPECT FOR THE WORK. PIPING SHALL BE INSTALLED SO THAT ACCESS, CLEARANCE, HEADROOM AND PITCH ARE MAINTAINED. CONTRACTORS OF THE VARIOUS TRADES SHALL COORDINATE THE INSTALLATION.
20. ALL CONTRACTORS SHALL PROVIDE CUTTING AND PATCHING FOR THEIR RESPECTIVE TRADES.
21. REMOVE AND REINSTALL CEILING SYSTEM AS REQUIRED FOR THE INSTALLATION OF PLUMBING WORK AND REPLACE IN KIND ANY COMPONENTS DAMAGED BY PERSONNEL OR EQUIPMENT DURING PERFORMANCE OF THE WORK. PATCHING AND REPAIR ALL DAMAGE CAUSED BY REMOVAL. MATCH EXISTING ADJACENT SURFACES.
22. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTION OF DOMESTIC WATER, GAS, SANITARY AND VENT PIPING INCLUDING VALVES, TRIMS AND EQUIPMENT, TO PLUMBING FIXTURES AT LOCATIONS INDICATED ON THE PLANS.
23. RUN ALL DOMESTIC WATER AND SANITARY WASTE AT LOWEST LEVEL, AND SANITARY VENT AS HIGH AS POSSIBLE THROUGHOUT ENTIRE BUILDING. INSTALL LONG RUNS OF PIPING WITHIN STEEL (JOIST) SPACE AND OTHER PIPING TIGHT TO BOTTOM OF STEEL. COORDINATE AND VERIFY WITH OTHER CONTRACTORS SO AS NOT TO INTERFERE WITH DUCTWORK, LIGHTING SYSTEMS, ETC.
24. ALL EXPOSED HORIZONTAL AND VERTICAL PIPING SHALL BE INSTALLED IN A NEAT ARRANGEMENT IN LOCATIONS WHICH ARE THE MOST INCONSPICUOUS. VERTICAL DROPS SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND THEIR FINAL LOCATIONS SHALL BE COORDINATED AND RUN WITHIN CHASES, WALLS, SOFFITS WITH OTHER MECHANICAL/ELECTRICAL FEEDS. PLUMBING CONTRACTOR SHALL REVIEW ARCHITECTURAL DRAWINGS FOR CHASE LOCATIONS TO COORDINATE ALL VERTICAL PIPING ROUTING. ALL SUCH LOCATIONS ARE TO BE REVIEWED WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION.
25. ALL PLUMBING FIXTURES/APPLIANCES SHALL HAVE THEIR OWN INDEPENDENT SHUT-OFF VALVES, INSTALLED IN AN EASILY ACCESSIBLE AND CONVENIENT LOCATION. EACH DOMESTIC WATER BRANCH LINE SHALL HAVE ITS OWN SHUT-OFF VALVE.
26. DOMESTIC HOT WATER HEATER TEMPERATURE/PRESSURE RELIEF VALVES SHALL BE PIPED FULL SIZE TO THE NEAREST APPROVED STANDPIPE OR FLOOR DRAIN. THIS REQUIREMENT SHALL BE APPLICABLE TO ALL DOMESTIC WATER HEATERS EXCEPT INSTANTANEOUS WATER HEATERS.
27. THE PLUMBING CONTRACTOR SHALL RUN OUT ALL BUILDING DRAINAGE AND WASTE LINES TO WITHIN 5'-0" OF THE BUILDING FOUNDATION AND MAKE FINAL CONNECTIONS TO SITE SYSTEMS AS INDICATED ON PLANS. COORDINATE WITH SITE ENGINEER.
28. FURNISH AND INSTALL PIPE SLEEVES OR SLEEVE SEAL SYSTEMS AS REQUIRED. SEE SPECIFICATION FOR DETAILS.
29. ALL PIPING SYSTEM PENETRATIONS OF FIRE-RATED WALLS AND FLOORS SHALL BE SEALED WITH UL APPROVED FIRE RESISTANT JOINT SEALER TO MAINTAIN FIRE SMOKE AND DRAFT INTEGRITY OF STRUCTURE. SPECIFIED TECHNOLOGIES "PENSLI 200" OR EQUAL, TWO-PART FOAMED-IN-PLACE SILICONE SEALANT, FIRE RESISTANT SEALER SHALL BE TESTED IN ACCORDANCE WITH ASTM E14. INSTALL SEALANT, INCLUDING FOAMING, PACKING AND OTHER ACCESSORY MATERIALS TO FILL OPENINGS WHERE FIRE-RATED WALL PENETRATIONS OCCUR. COMPLY WITH INSTALLATION REQUIREMENTS ESTABLISHED BY TESTERS AND INSPECTION AGENCY.
30. ALL PENETRATIONS IN FOUNDATION WALLS AND FLOORS INCLUDING SLAB PENETRATIONS SHALL BE SUBSTANTIALLY SEALED BY UTILIZING A NON-CRACKING POLYURETHANE OR SIMILAR CAULK, OR EQUIVALENT IN ORDER TO CLOSE OFF THE SOIL GAS (RADON) ENTRY ROUTES AS REQUIRED BY CODE.
31. INSULATE ALL NEW HOT WATER AND COLD WATER PIPING SYSTEMS. INSULATION SHALL BE INSTALLED AS A COMPLETE SYSTEM INCLUDING VALVES, FITTINGS, ETC. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
32. INSULATE ROOF DRAIN & OVERFLOW DRAIN BODIES AND ALL INTERIOR STORM PIPING. INSULATION SHALL BE INSTALLED AS A COMPLETE SYSTEM INCLUDING FITTINGS, ETC. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
33. ALL CONTRACTORS REMOVING ANY EQUIPMENT, PIPES, DUCTS, CONDUITS, ETC SHALL PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
34. PROVIDE GAS PIPING SUPPORTS ON ROOF AT ALL DIRECTION CHANGES AND STRAIGHT RUNS WITH SPACING NOT EXCEEDING LENGTHS STATED IN TABLE 415.1 OF IFGC, 2015 FOR MATERIALS AND LISTED PIPE SIZES. SUPPORTS SHALL BE SADDLE BLOCK ROLLER TYPE WITH PIPE SECURED TO STAND WITH CLAMP OR METAL BAND. SUPPORT SHALL NOT BE SECURED TO ROOF SURFACE. BOTTOM OF PIPING SHALL BE MINIMUM 3 1/2" ABOVE ROOF SURFACE.
35. WHERE SLABS ARE CUT FOR UNDERSLAB PIPING OR BEING REPLACED, COORDINATE WITH ARCHITECTURAL DRAWINGS TO PITCH FLOOR TO FLOOR DRAIN.
36. ALL FLOOR DRAIN TRAPS SHALL BE PROVIDED WITH DEEP SEAL TRAPS AND BARRIER TYPE TRAP SEAL PROTECTION DEVICE COMPLYING WITH ASSE 1072.
37. THE PLUMBING CONTRACTOR SHALL PROVIDE A COMPLETE SET OF "AS-BUILT" DRAWINGS INDICATING THE PRECISE LOCATION OF ALL SYSTEMS, EQUIPMENT CONCEALED OR EMBEDDED PIPES, PIPE CONNECTIONS AND ACCESS DOORS. THESE PLANS SHALL ALSO INCLUDE ALL CHANGES AND DEVIATIONS FROM BID DOCUMENTS.

PLUMBING LEGEND table with columns SYMBOLS and DESCRIPTION. Includes symbols for SOIL OR WASTE PIPING, VENT PIPING, PIPING BURIED OR UNDER FLOOR, ACID WASTE PIPING, INDIRECT WASTE PIPING, EJECTOR DISCHARGE PIPING, DOMESTIC COLD WATER PIPING, DOMESTIC HOT WATER PIPING, DOMESTIC HOT WATER CIRCULATION PIPING, NATURAL GAS PIPING, EXISTING PIPING TO REMAIN, EXISTING PIPING TO BE BROUGHT, EXISTING PIPING TO BE ABANDONED, WATER HAMMER ARRESTER, HOSE BIBB, WALL HYDRANT, CLEAN-OUT/PLUG OUTLET, CLEAN-OUT DECK PLATE OR GRADE PLATE, P-TRAP, BOTTOM PIPE CONNECTION, TOP PIPE CONNECTION, ELBOW TURNED DOWN, ELBOW TURNED UP/CONNECTION TO VERTICAL LINE, VALVE IN VERTICAL, GATE OR BALL VALVE, BALL VALVE, CHECK VALVE, OS&Y (OUTSIDE SCREW & YOKE) VALVE, GAS COCK, RELIEF VALVE, UNION, FLOOR DRAIN, PUMP, METER, CIRCUIT SETTER ASSEMBLY, BACKFLOW PREVENTER ASSEMBLY, REGULATOR.

SYMBOL LIST NOTES

- 1. SYMBOLS ARE INDICATED FOR GENERAL REFERENCE ONLY. THE PRESENCE OF A SYMBOL DOES NOT INDICATE ITS USE ON THIS PROJECT. REFER TO PLAN DRAWINGS FOR SPECIFIC SYMBOLS USED.

DRAIN SCHEDULE

- RD ROOF DRAIN: JR SMITH FIGURE 1015 CAST IRON ROOF DRAIN WITH ADJUSTABLE EXTENSION. PROVIDE WITH UNDERDECK CLAMP, SUMP RECEIVER AND CAST IRON DOME.
OD OVERFLOW ROOF DRAIN: OVERFLOW ROOF DRAIN STANDPIPE. SEE DETAIL ON ARCHITECTURAL DRAWINGS. OVERFLOW ROOF DRAIN STANDPIPE SHALL BE SAME DIAMETER AS ROOF DRAIN.
CODP CLEAN OUT DECK PLATE: JR SMITH FIGURE 40235 5 3/4" DIA. MEDIUM-DUTY CAST IRON CLEANOUT WITH ROUND ADJUSTABLE SCORRIATED SECURED NICKEL BRONZE TOP, TAPER THREAD, BRONZE PLUG. SIZE PER PLAN.
COWP CLEAN OUT WALL PLATE: JR SMITH FIGURE 4422C, WALL CLEANOUT WITH ACCESS COVER, TAPER THREAD, BRONZE PLUG. SIZE PER PLAN.

PLUMBING EQUIPMENT SCHEDULE

- FPWH FROST PROOF WALL HYDRANT: JR SMITH 5509QT NON-FREEZE WITH INTEGRAL VACUUM BREAKER.
WHA WATER HAMMER ARRESTER: SIQUX CHIEF HYDRA-RESTER OR APPROVED EQUAL. SIZE PER MANUFACTURER'S REQUIREMENTS.

PLUMBING FIXTURE SCHEDULE

- P-1A ACCESSIBLE WATER CLOSET: KOHLER K-96057 "HIGHCLIFF" 1.28 GPF ELONGATED FLOOR MOUNTED TOILET, SLOAN ROYAL MODEL 111 ESS-1.28-TMO-HW HARD WIRED SENSOR FLUSH VALVE WITH TRUE MECHANICAL OVERRIDE AND CHURCH MODEL 9500SSC OPEN FRONT SEAT WITHOUT COVER. MOUNT FIXTURE TO MEET ADA REQUIREMENTS.
P-2A ACCESSIBLE LAVATORY, KOHLER K-2007 "KINGSTON" WALL-MOUNTED LAVATORY WITH SLOAN ETR-880-4-BOX-CP-P-3GPM-MLM-R-RT-CT HARD WIRED SENSOR 0.5 GPM FAUCET WITH 4" TRIM PLATE, ZURN MODEL ZW1070XL THERMOSTATIC MIXING VALVE, SUPPLIES, STOP VALVES, P-TRAP, GRID DRAIN AND JR SMITH CARRIER FIGURE 0710. PROVIDE INSULATION KIT BY TRUBRO LAV GUARD. MOUNT FIXTURE TO MEET ADA REQUIREMENTS.
P-3A ACCESSIBLE WATER COOLER: ELKAY LZ58WSLP ENHANCED BOTTLE FILLING STATION WITH SINGLE COOLER, WATER FILTER AND WALL CARRIER, 8 GPH OF 50°F DRINKING WATER 90°F ROOM TEMP. 370W, 120V/Ø. PROVIDE SUPPLY, STOP VALVE AND P-TRAP. MOUNT FIXTURE TO MEET ADA REQUIREMENTS.
P-4A ACCESSIBLE SINK: SINK & FAUCETS SHALL BE FURNISHED BY EQUIPMENT CONTRACTOR AND INSTALLED BY PLUMBING CONTRACTOR. SEE ARCHITECTURAL DRAWINGS. PLUMBING CONTRACTOR SHALL PROVIDE DRAIN, TRAP, TAILPIECE, SUPPLIES, STOPS, ETC AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM AND MAKE ALL FINAL CONNECTIONS. COORDINATE ALL WORK WITH THE EQUIPMENT CONTRACTOR. INSULATE TRAP, SUPPLIES AND ANGLE STOPS WITH INSULATION KIT BY TRUBRO LAV GUARD.

PLUMBING FIXTURE ROUGHING SCHEDULE table with columns PLAN NO, FIXTURE, WASTE, TRAP, VENT, CW, HW, NOTES. Includes rows for TOILET, LAVATORY, WATER COOLER W/BOTTLE FILLER, SINK.

- NOTES:
1. INSTALL FIXTURES IN ACCORDANCE WITH STATE AND LOCAL BARRIER FREE REQUIREMENTS. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT TYPE, COUNT, AND LOCATION OF HANDICAP FIXTURES.
2. LOCATE TRIP LEVER/HANDLE ON OPEN SIDE OF COMPARTMENT PER ADA REQUIREMENTS
3. INSULATE ALL EXPOSED PIPING BELOW HANDICAP SINKS WITH TRUBRO, LAV GUARD INSULATION KIT OR EQUAL.

PLUMBING ABBREVIATIONS table with columns AW, CO, CODP, COG, COWP, CW, DN, DRJ, ELDIS, EWC, FPWH, FD, FU, FT, G, GPM, GAL, HB, HW, HWR, IW and their corresponding descriptions.

- APPLICABLE CODES:
ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST CODES AND SUBCODES AS ADOPTED BY THE STATE OF NEW JERSEY.
NEW JERSEY UNIFORM CONSTRUCTION CODE (NJCUC)
REHABILITATION SUBCODE 5-23-6
ADMINISTRATIVE CODE, TITLE 6
2018 INTERNATIONAL BUILDING CODE - NJ EDITION
2017 NATIONAL ELECTRICAL CODE
2018 NATIONAL STANDARD PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2016 ASHRAE 90.1 ENERGY CONSERVATION CODE
2016 NFPA 13
REQUIREMENTS OF LOCAL AUTHORITY HAVING JURISDICTION

Professional stamps and logos for WILLIAM D. HOPKINS III, AIA, LEED AP and GEORGE E. DUTHIE JR., AIA, FP. Includes FVHD architects planners logo and contact information for Fraytak Veisz Hopkins Duthie P.C.

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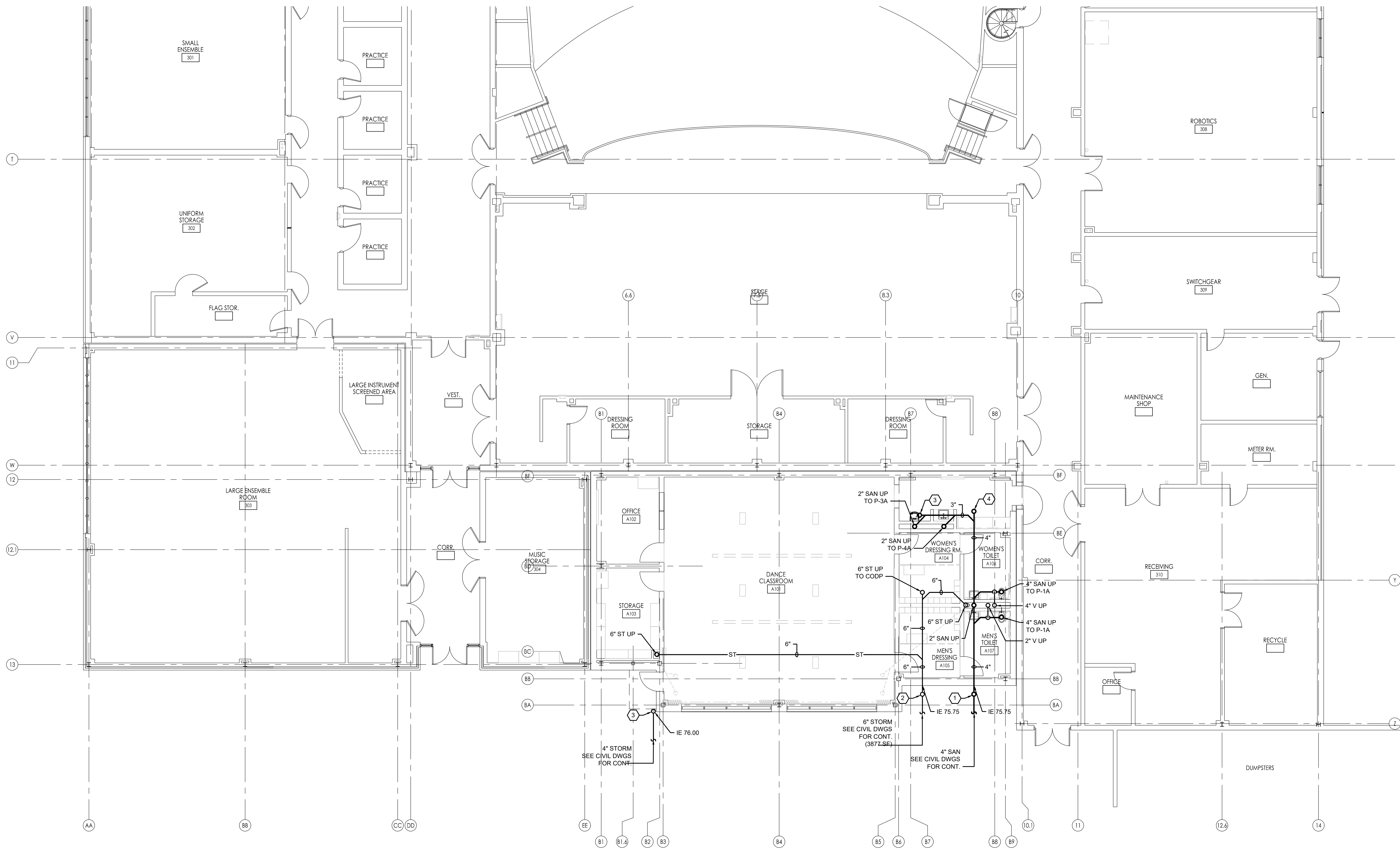
Revisions table with columns No., Date, Description. Row 1: 04.06.21 Issued for Bid

FPA FRENCH & PARRELLO ASSOCIATES logo and contact information.

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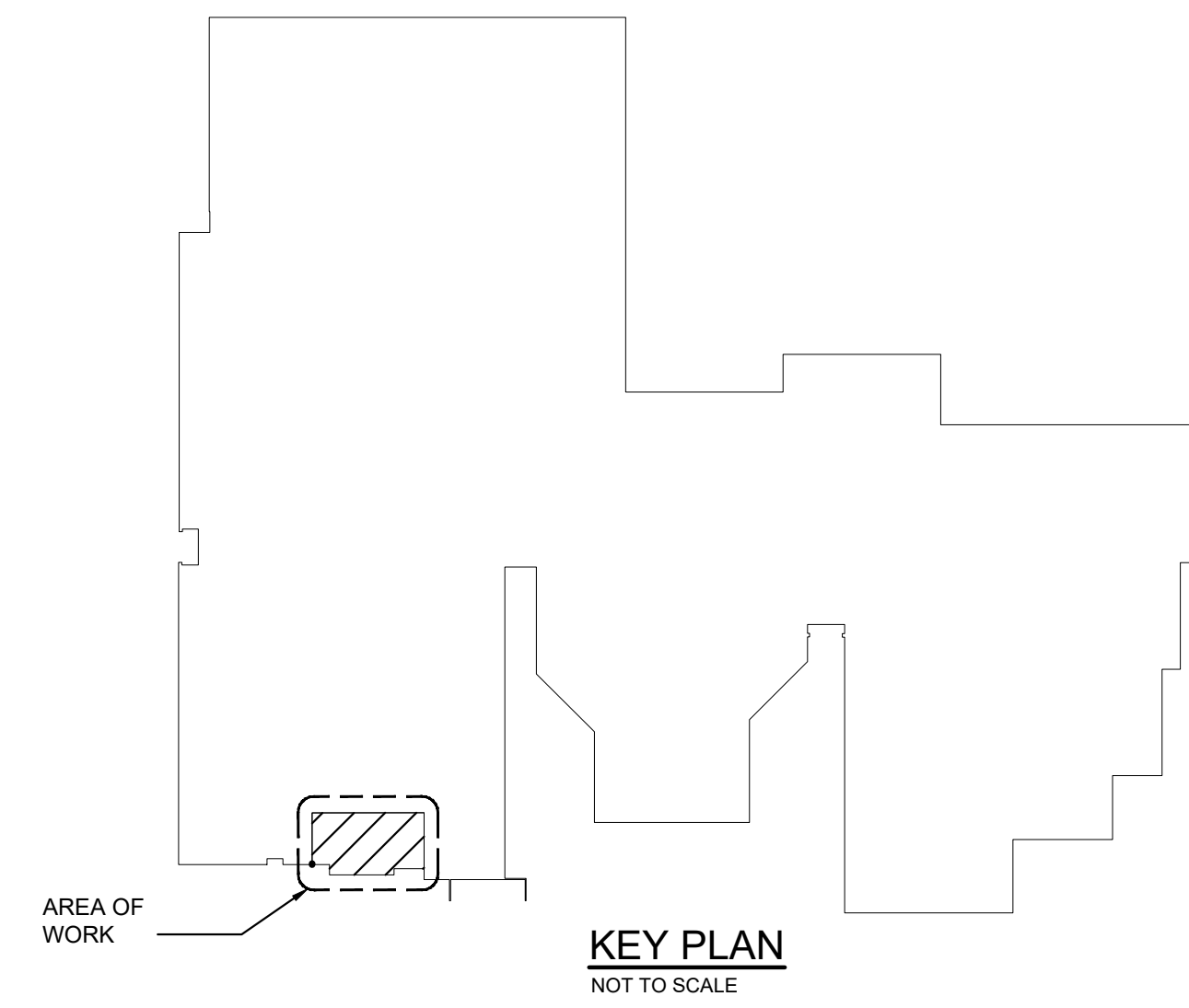
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UNDERSLAB PIPING FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES

- ① 4" SANITARY UP TO COG.
- ② 6" STORM UP TO COG.
- ③ 4" STORM UP TO DOWNSPOUT BOOT.
- ⑦ 3" SANITARY UP TO CODP.
- ⑧ 4" SANITARY UP TO CODP.



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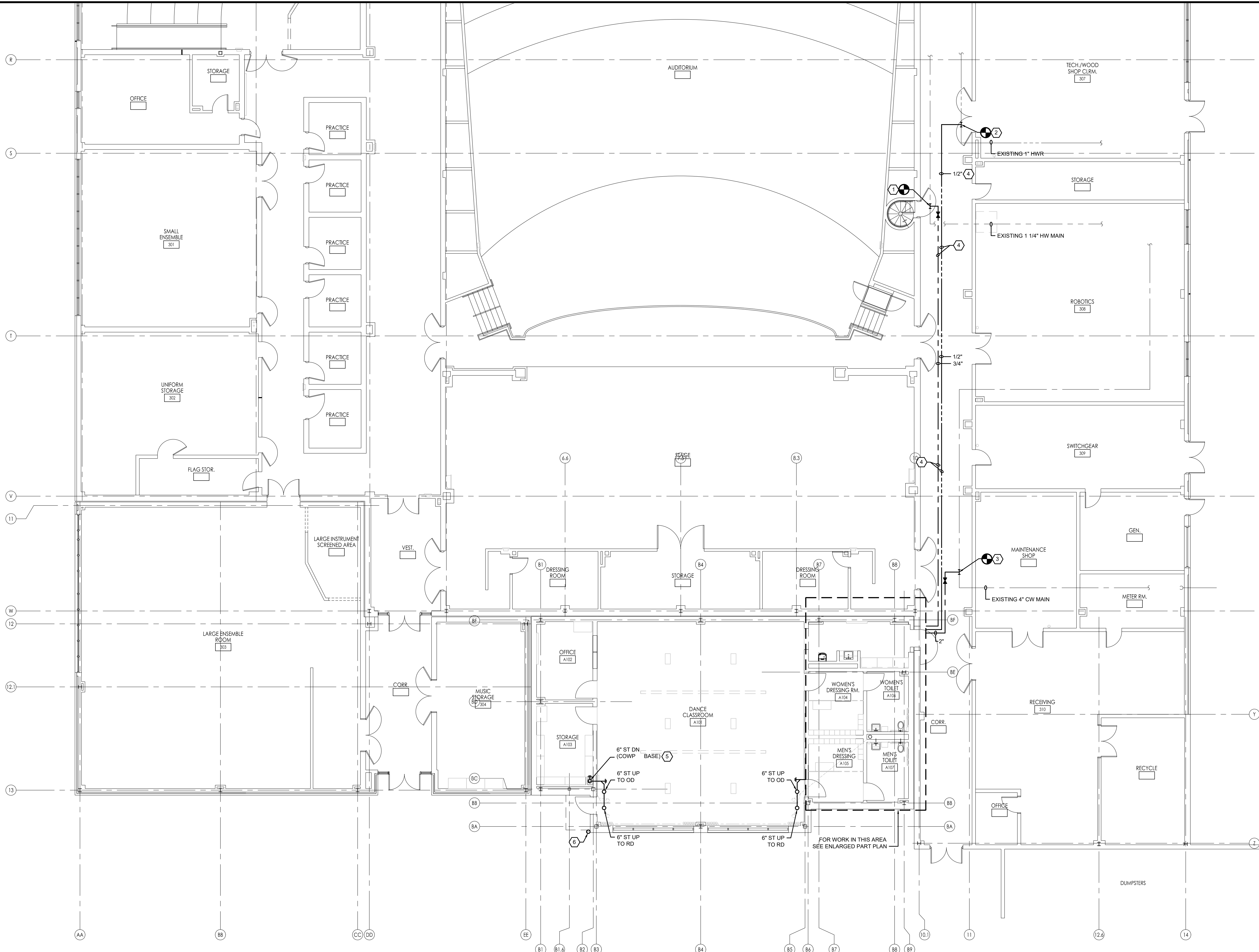
Scale
AS SHOWN

Drawing Name
PLUMBING UNDERSLAB PIPING PLAN

No.	Date	Description
04.06.21		Issued for Bid

Drawing Number
P2.0

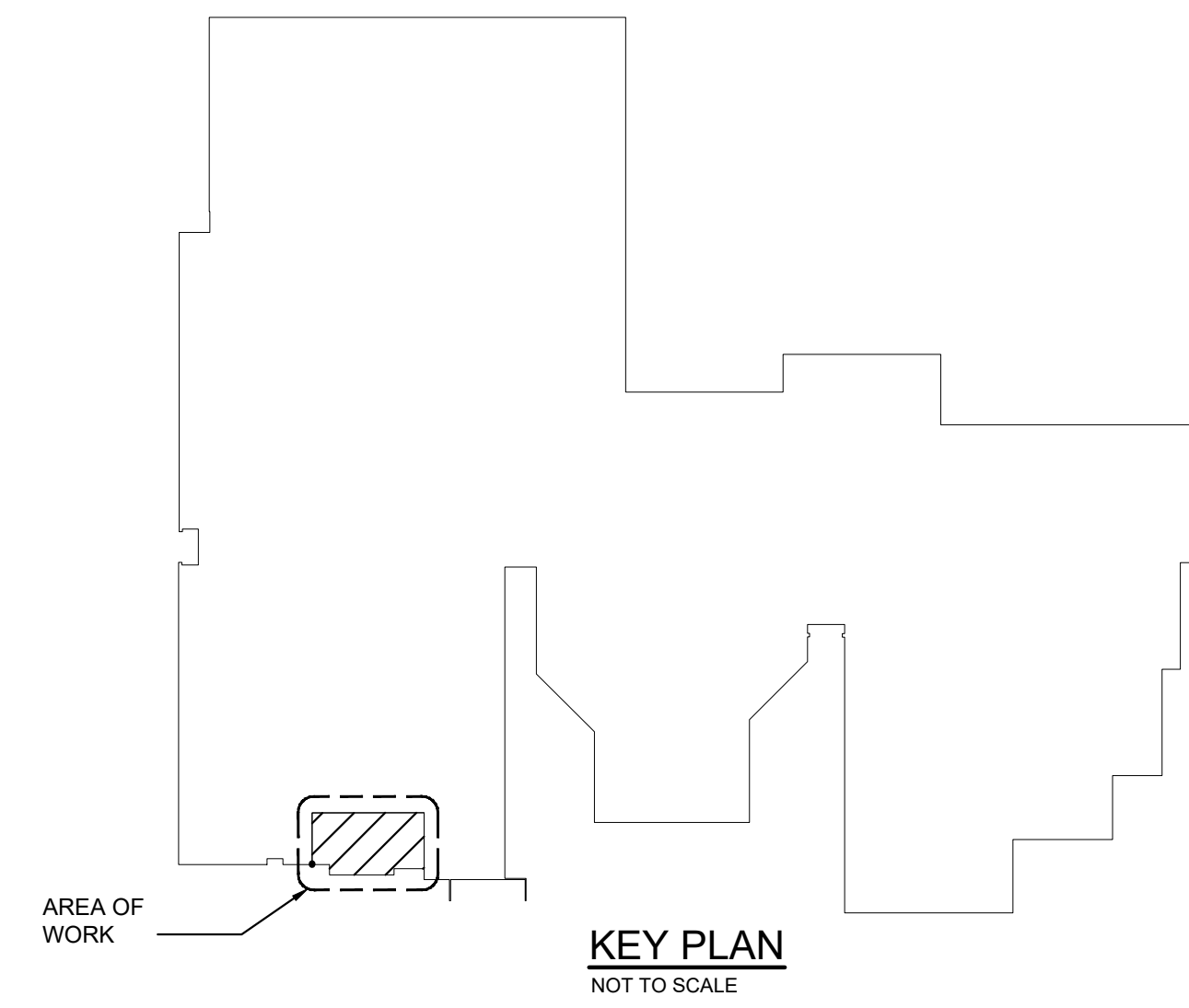
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FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES

1. CONNECT NEW 3/4" HW TO EXISTING 1 1/4" HW MAIN. FIELD VERIFY EXACT LOCATION AND SIZE OF EXISTING PIPING. MODIFY EXISTING PIPING AS REQUIRED TO MAKE CONNECTION. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
2. CONNECT NEW 1/2" HW/R TO EXISTING 1" HW/R. FIELD VERIFY EXACT LOCATION AND SIZE OF EXISTING PIPING. MODIFY EXISTING PIPING AS REQUIRED TO MAKE CONNECTION. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
3. CONNECT NEW 2" CW TO EXISTING 4" CW MAIN. FIELD VERIFY EXACT LOCATION AND SIZE OF EXISTING PIPING. MODIFY EXISTING PIPING AS REQUIRED TO MAKE CONNECTION. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
4. INSTALL PIPING ABOVE EXISTING CEILING TILE. CAREFULLY REMOVE EXISTING TILE FOR INSTALLATION OF PIPING AND REINSTALL IN ORIGINAL CONDITION. CONTRACTOR RESPONSIBLE TO REPLACE ANY CEILING TILE DAMAGED AS PART OF THIS WORK WITH NEW TILE TO MATCH EXISTING.
5. INSTALL COWP INSIDE STORAGE ROOM A103 AS INDICATED.
6. DOWNSPOUT BOOT SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR. SEE ARCHITECTURAL DRAWINGS.



KEY PLAN
NOT TO SCALE



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04/06/21
Date

F V H D P C . C O M

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor-Plainsboro Regional School District

Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1

Project Date
04.06.2021

Checked By
JDS

Drawn By
JD

Scale
AS SHOWN

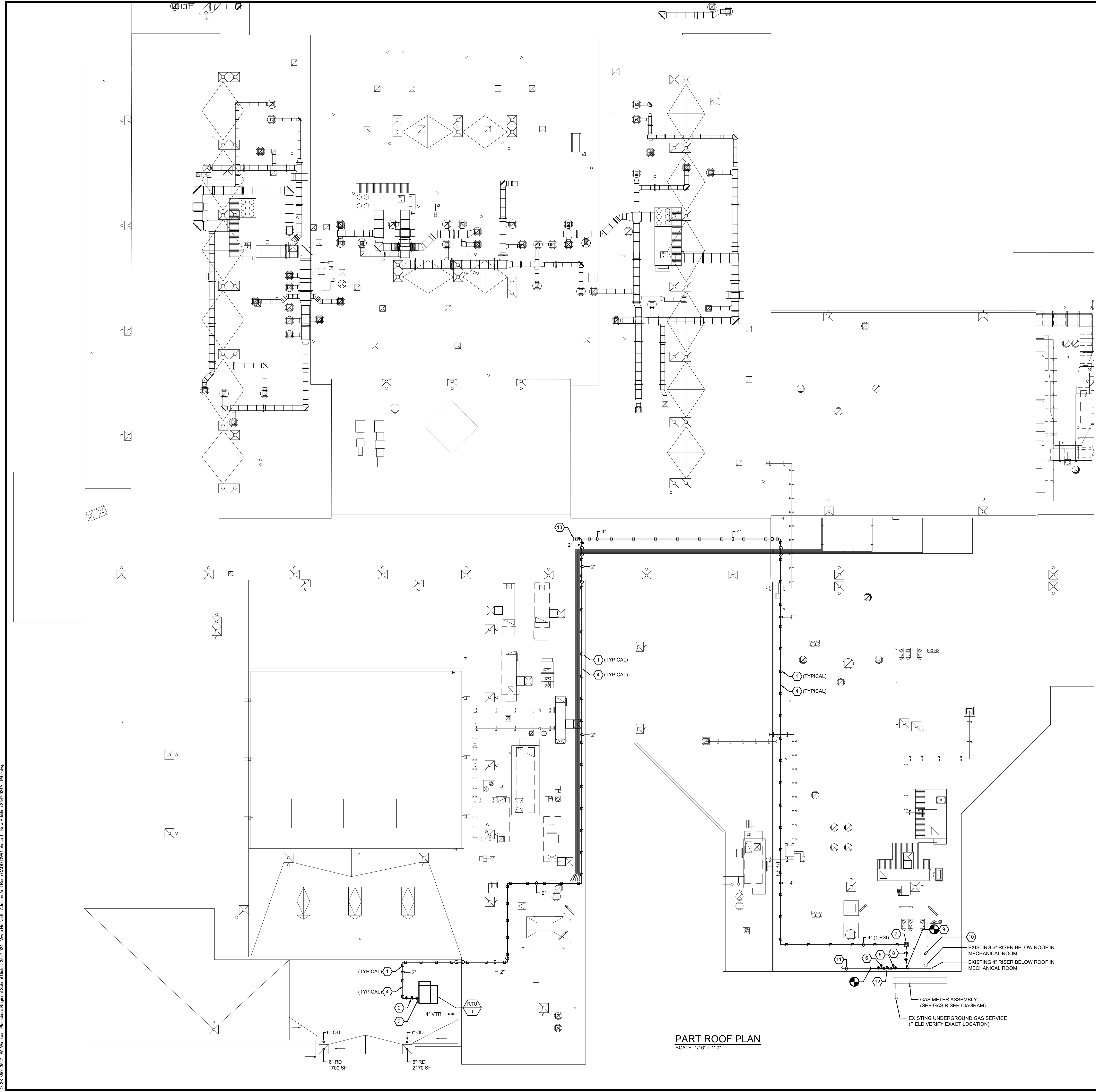
Drawing Name
PLUMBING FIRST FLOOR PLAN

No.	Date	Description
04.06.21		Issued for Bid

Drawing Number
P3.0

C:\3K\2020\3547 - W Windsor - Plainsboro Regional School District\3547\2021 - Windsor - Addition and River CADD DWG Phase 1 - New Addition\3547\2021 - P3.0.dwg

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PART ROOF PLAN
SCALE: 1/16" = 1'-0"

KEY NOTES

- 1 PROVIDE PIPE SUPPORTS AT ALL DIRECTION CHANGES AND STRAIGHT RUNS WITH SPACING NOT EXCEEDING LENGTHS STATED IN TABLE 415.1 OF IFGC, LATEST ADOPTED EDITION, FOR MATERIALS AND LISTED PIPE SIZES. SUPPORTS SHALL BE SADDLE BLOCK ROLLER TYPE WITH PIPE SECURED TO STAND WITH CLAMP OR METAL BAND. SUPPORT IS NOT SECURED TO ROOF SURFACE. BOTTOM OF PIPING SHALL BE MINIMUM 3 1/2" ABOVE ROOF SURFACE.
- 2 CONTRACTOR SHALL TAKE PRESSURE READING FOR GAS PRESSURE TO PROPERLY SELECT REGULATOR SPRING RATES. REGULATORS SHALL BE LOCK-UP TYPE MANUFACTURED BY SENSUS OR ENGINEER APPROVED EQUAL. PROVIDE WITH VENT CAP WITH BUILT IN INSECT SCREEN. VENTS TO BE LOCATED MINIMUM 10'-0" AWAY FROM ALL OUTSIDE AIR INTAKES AND WINDOWS. REFER TO MECHANICAL DRAWINGS FOR ROOFTOP AND MAKE UP AIR UNITS GAS PRESSURE REQUIREMENTS.
- 3 FIELD VERIFY SIZE AND LOCATION OF UNIT GAS CONNECTION AND PROVIDE TRANSITION FITTINGS AS REQUIRED.
- 4 CLEAN, PRIME AND PAINT ALL EXTERIOR GAS PIPING WITH TWO COATS MARINE GRADE RUST RESISTANT PAINT. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 5 PROVIDE TEE FITTING WITH CAPPED OUTLET TO ALLOW FOR CONNECTION OF PRESSURE MEASURING DEVICE AND TO SERVE AS SEDIMENT TRAP. SEE GAS RISER DIAGRAM.
- 6 PROVIDE TEE FITTING WITH CAPPED OUTLET TO ALLOW FOR CONNECTION OF PRESSURE MEASURING DEVICE. INSTALL NOT LESS THAN 10 PIPE DIAMETERS AWAY FROM REGULATOR OUTLET. SEE GAS RISER DIAGRAM.
- 7 4" GAS DOWN THRU ROOF. PROVIDE & INSTALL ROOF PORTAL PATE CO OR EQUAL. PROVIDE SEPARATE BOOT FOR EACH PIPE. DO NOT PASS MORE THAN (1) PIPE THRU EACH NIPPLE TO FACILITATE PROPER SEALING.
- 8 NEW 4" GAS BELOW ROOF AT MECHANICAL ROOM CEILING. SEE GAS RISER DIAGRAM ON DRAWING P6.0.
- 9 CONNECT NEW 4" GAS TO EXISTING 4" GAS BELOW ROOF AT MECHANICAL ROOM CEILING. FIELD VERIFY EXACT LOCATION AND SIZE OF EXISTING PIPING. PROVIDE GAS SHUT OFF VALVE ON THE NEW 4" LINE NEAR CONNECTION POINT TO THE EXISTING PIPING. SEE GAS RISER DIAGRAM ON DRAWING P6.0.
- 10 EXISTING 6" GAS MAIN BELOW ROOF AT BOILER ROOM CEILING TO REMAIN. FIELD VERIFY EXACT LOCATION AND SIZE. SEE GAS RISER DIAGRAM ON DRAWING P6.0.
- 11 EXISTING 4" GAS MAIN BELOW ROOF AT BOILER ROOM CEILING TO REMAIN. FIELD VERIFY EXACT LOCATION AND SIZE. SEE GAS RISER DIAGRAM ON DRAWING P6.0.
- 12 REMOVE EXISTING GAS PRESSURE REGULATOR INSTALLED OUTSIDE DOWNSTREAM OF THE GAS METER SERVING THE 4" RISER (SEE GAS RISER DIAGRAM) AND INSTALL NEW GAS PRESSURE REGULATOR ON THE EXISTING 4" LINE AT CEILING IN MECHANICAL ROOM AS INDICATED. CUT BACK, EXTEND, OFFSET, AND ADJUST EXISTING PIPING AS REQUIRED FOR INSTALLATION. SET OUTLET PRESSURE TO 7" WC TO MATCH EXISTING PRESSURE. CONTRACTOR SHALL TAKE PRESSURE READING FOR GAS PRESSURE TO PROPERLY SELECT REGULATOR SPRING RATES. REGULATORS SHALL BE LOCK-UP TYPE MANUFACTURED BY SENSUS OR ENGINEER APPROVED EQUAL. INSTALL REGULATOR PER THE REQUIREMENTS OF SECTION 410.2 OF IFGC, LATEST ADOPTED EDITION. EXTEND REGULATOR VENT UP THROUGH ROOF THROUGH PIPE PORTAL. PROVIDE WITH VENT CAP WITH BUILT IN INSECT SCREEN. VENTS TO BE LOCATED MINIMUM 10'-0" AWAY FROM ALL OUTSIDE AIR INTAKES. SEE GAS RISER DIAGRAM ON DRAWING P6.0.
- 13 PROVIDE 4" VALVED AND CAPPED OUTLET FOR FUTURE LIFE SKILLS AND MEDIA CENTER RENOVATION PROJECT PIPING.

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04/06/21
 Date

F V H D P C . C O M

Project Name
**Addition to West
 Windsor-Plainsboro
 High School North**

Project Owner Name
**West Windsor-
 Plainsboro Regional
 School District**

Project Location
**90 Grovers Mill
 Road, Plainsboro,
 New Jersey 08536**

Project Number
5063K1

Project Date
04.06.2021

Checked By
JDS

Drawn By
JD

Scale
AS SHOWN

Drawing Name
**PLUMBING
 PART ROOF PLAN**

No.	Date	Description
04.06.21		Issued for Bid

Drawing Number
P4.0

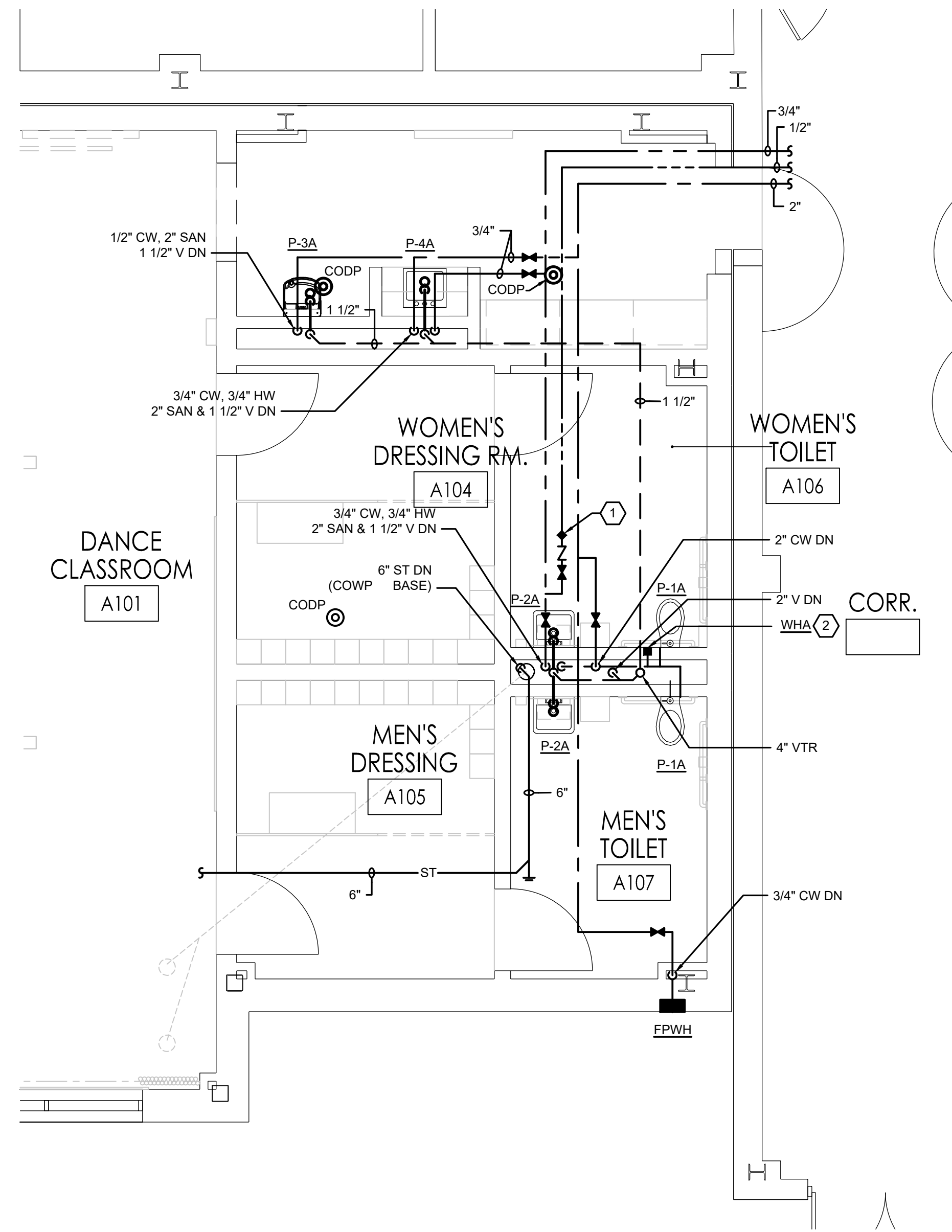
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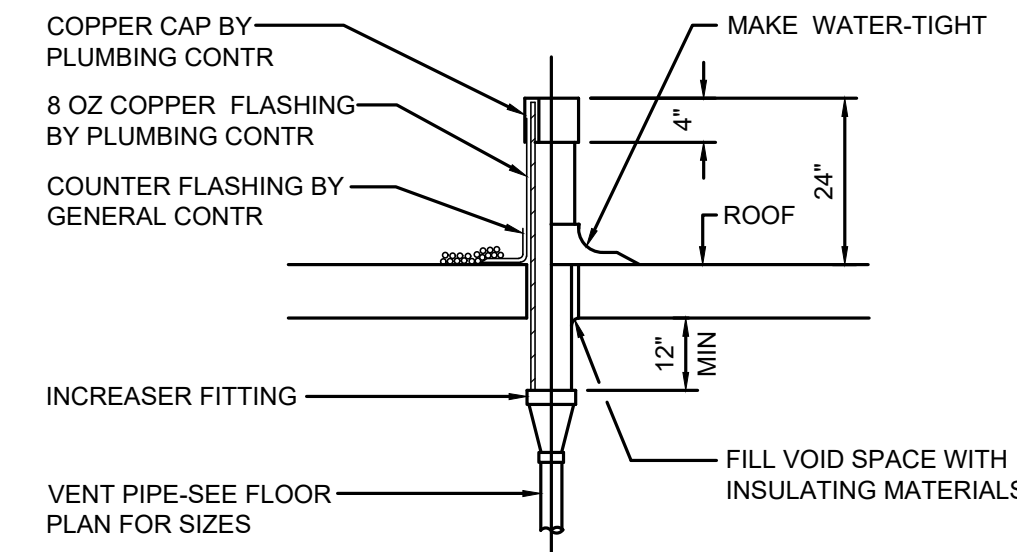
C:\JK\2020\3547 - W. Windsor - Plainsboro Regional School District\3547\2021 - West Windsor - Addition and Renov. CADD\DWG\Phase 1 - New Addition\3547\2021 - P4.0.dwg
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ENLARGED PLAN - DANCE CLASSROOM
SCALE: 1/4" = 1'-0"

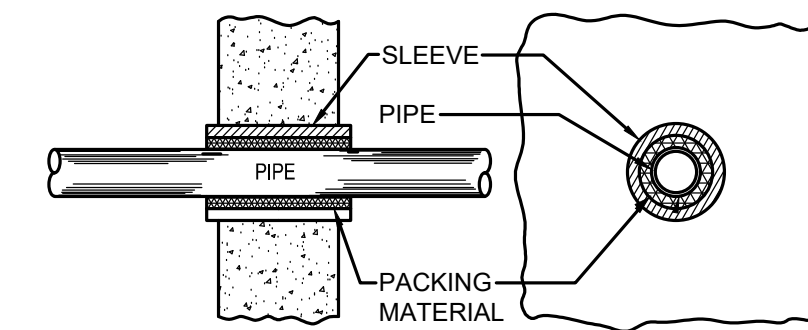
KEY NOTES

- ① SET BALANCING VALVE TO 1 GPM.
- ② PROVIDE ACCESS PANEL FOR WHA ACCESS.



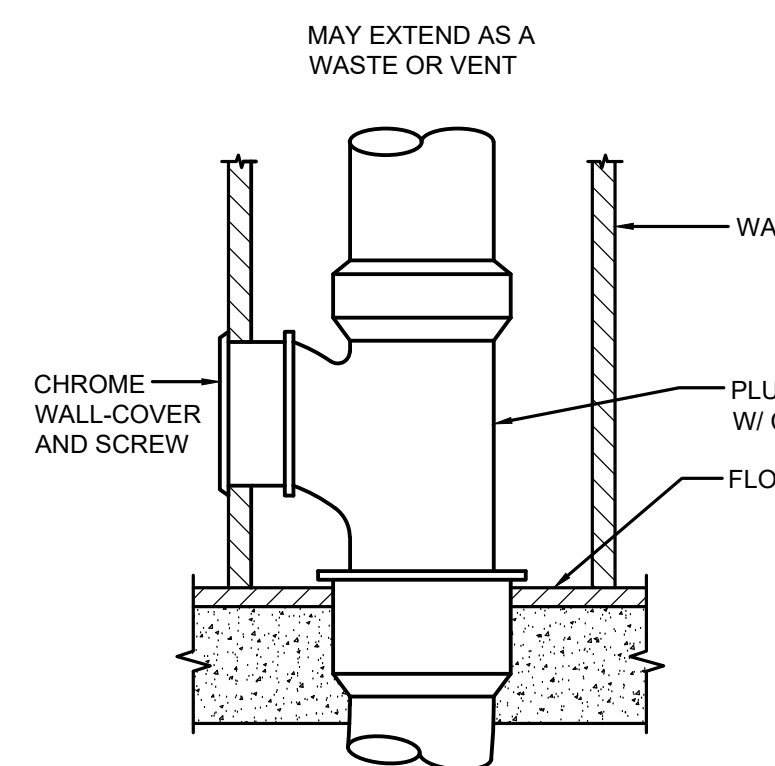
- NOTES:**
- MINIMUM SIZE OF VENT EXTENSION THROUGH ROOF TO BE 3".
 - CHANGE OF DIAMETER TO BE MADE AT LEAST 12" BELOW ROOF.
 - VENT PIPE TO EXTEND 24" ABOVE ROOF AND TO BE SEALED WATERTIGHT BY PROPER FLASHING.
 - ALL VENT RISERS SHALL BE OFFSET AS REQUIRED TO CLEAR ROOF STRUCTURE, DUCTWORK OR MECH ROOFTOP UNITS. PLUMBING CONTRACTOR TO COORDINATE WITH OTHER TRADES.
 - ROOFING CONTRACTOR SHALL SUPPLY BOOT FLASHING FOR RUBBER FOOT SYSTEMS.

VENT INCREASER DETAIL
NOT TO SCALE

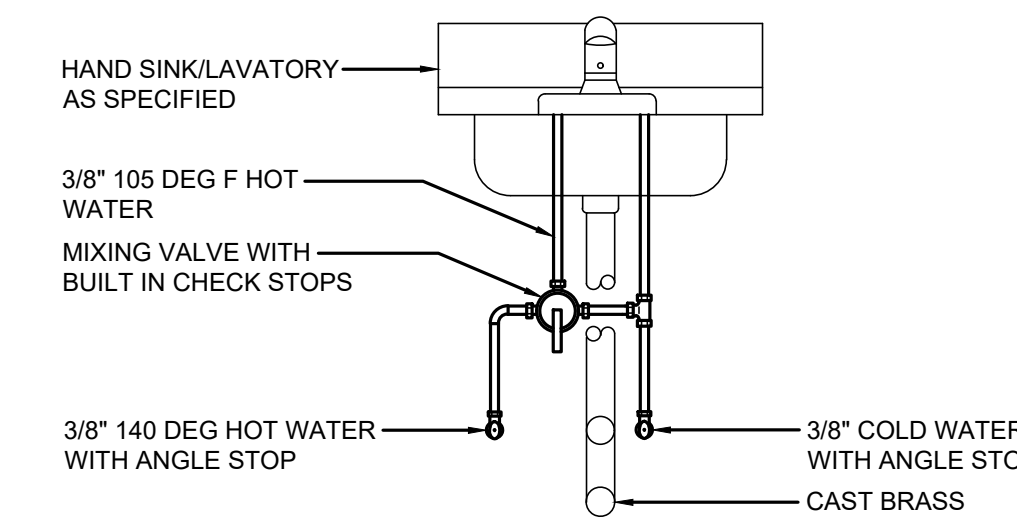


- NOTE:**
NO STRUCTURAL STRAIN SHOULD BE TRANSMITTED FROM ANY WALL TO THE PIPING SYSTEM THE SLEEVING, RELIEVING ARCH, OR STRUCTURAL BEAM SUPPORT METHODS PROTECT THE PIPING FROM SUPERIMPOSED LOADS THE "PACKING" MATERIAL AROUND THE PIPE IS FLEXIBLE ENOUGH TO RESPOND TO SETTLING IN THE STRUCTURE OR PIPING

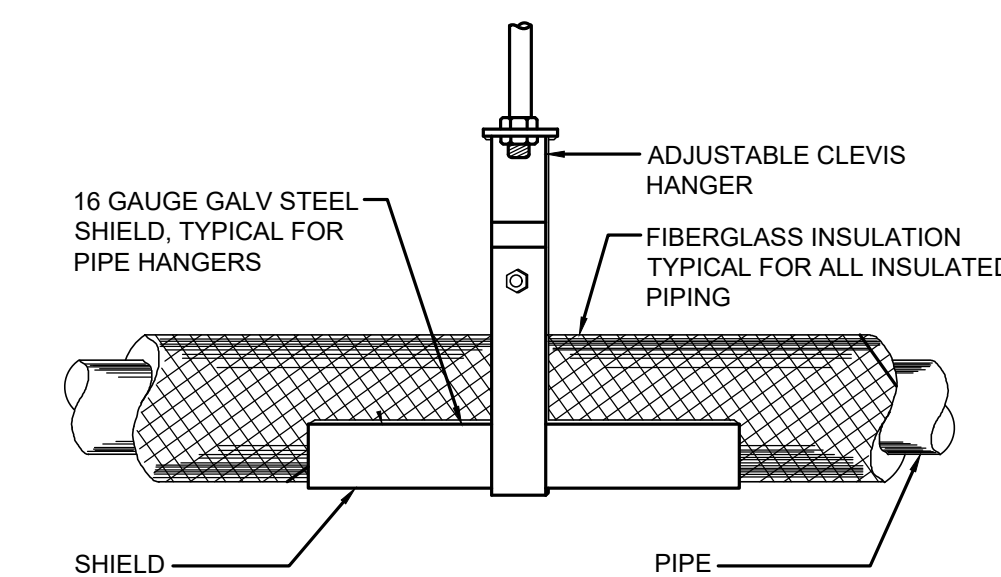
WALL PENETRATION PIPE SLEEVE DETAIL
NOT TO SCALE



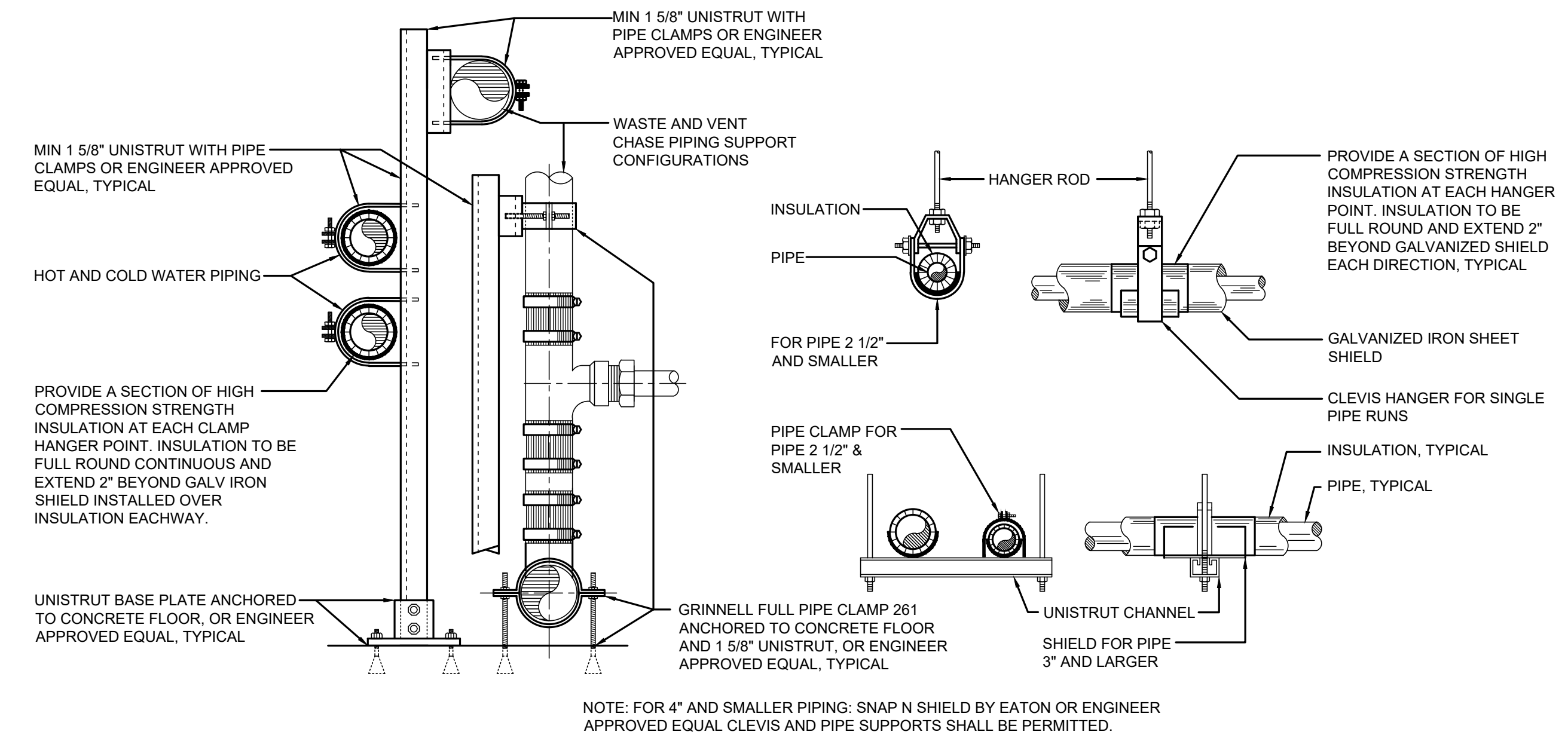
WALL CLEANOUT DETAIL
NOT TO SCALE



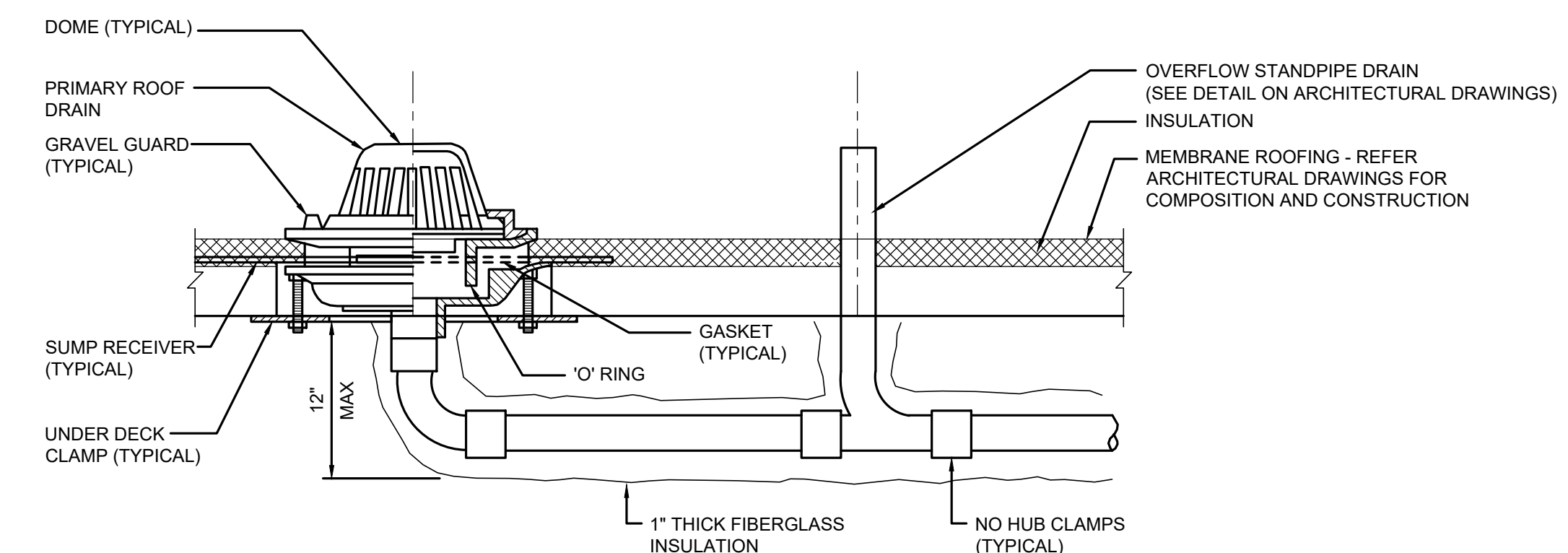
MIXING VALVE AT LAVATORIES
NOT TO SCALE



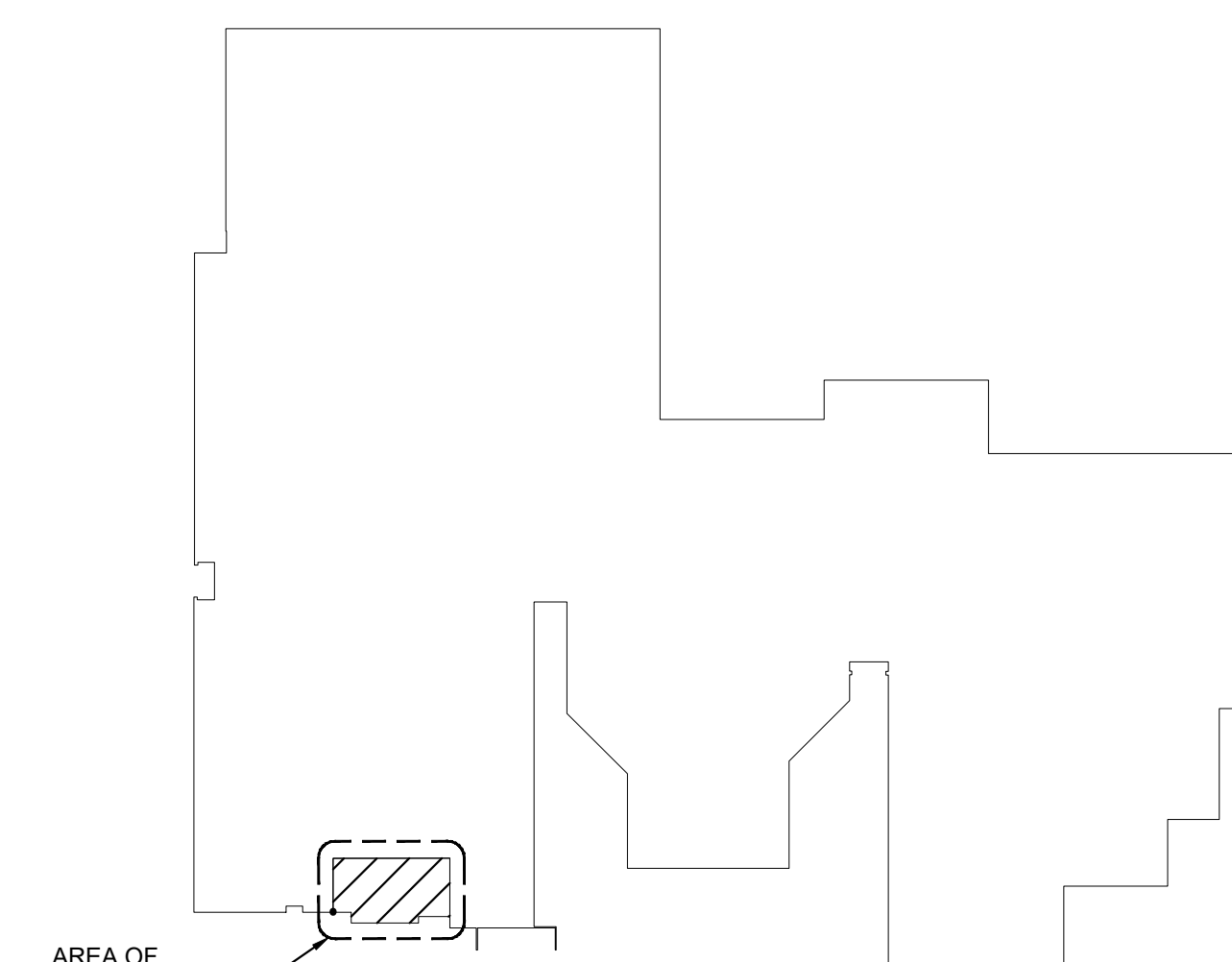
TYPICAL PIPE HANGER DETAIL
NOT TO SCALE



PIPE HANGERS & SUPPORT DETAIL - WATER, WASTE & VENT
NOT TO SCALE



ROOF DRAIN AND OVERFLOW DRAIN DETAIL
NOT TO SCALE



KEY PLAN
NOT TO SCALE



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GEORGE E. DUTHIE JR., AIA, LEED AP
Date: 04/06/2021

FVHD architects
Fraytak Veitz Hopkins Duthie P.C.
1515 Lowest Ferry Road - Trenton - New Jersey 08628
140 Whitaker Ave - Mont Clare - Pennsylvania 17033

Project Name
Addition to West Windsor-Plainsboro High School North

Project Owner Name
West Windsor-Plainsboro Regional School District

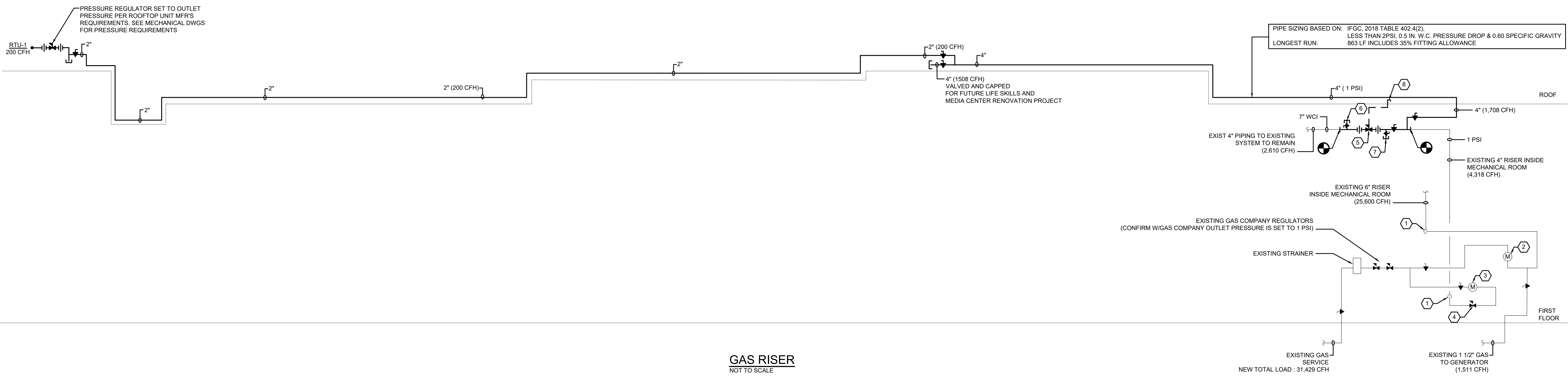
Project Location
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1
Project Date
04.06.2021
Checked By
JDS
Drawn By
JD
Scale
AS SHOWN

Drawing Name
PLUMBING ENLARGED PLANS & DETAILS

No.	Date	Description
04.06.21		Issued for Bid

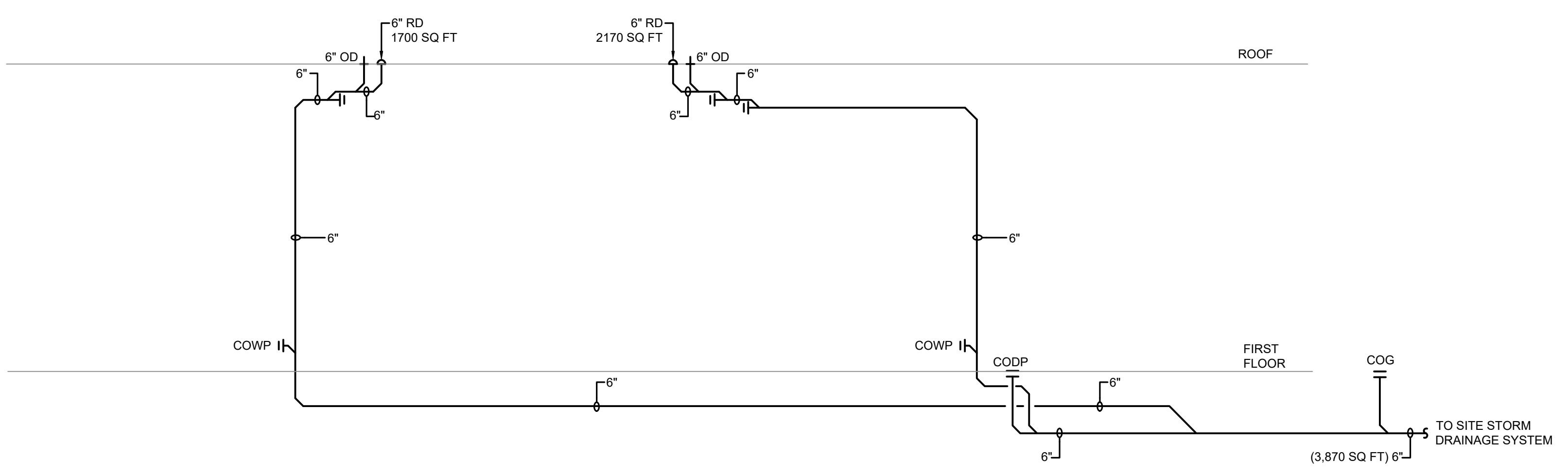
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P5.0



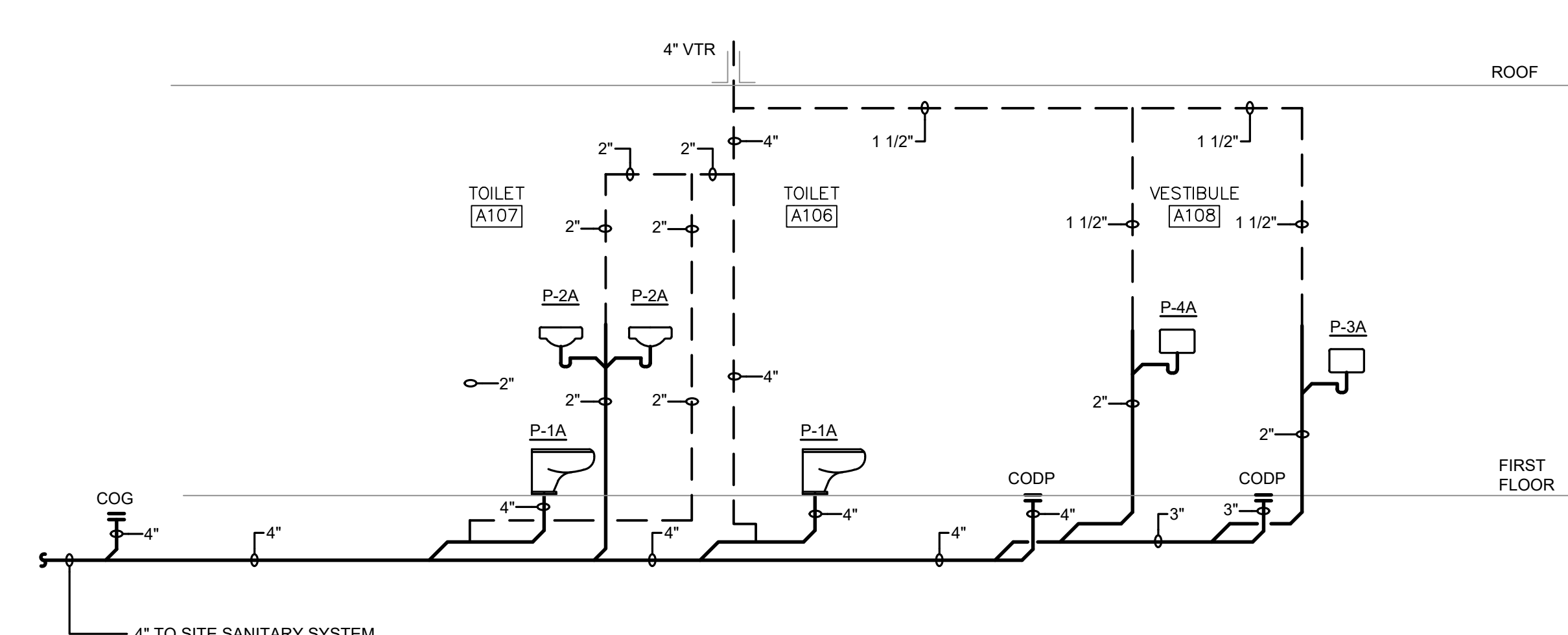
GAS RISER
 NOT TO SCALE

GAS RISER KEY NOTES

- ① EXISTING PIPE THROUGH WALL.
- ② EXISTING GAS METER.
- ③ EXISTING GAS METER. CONFIRM CAPACITY OF EXISTING METER WITH THE GAS COMPANY AND, IF REQUIRED, MODIFY PIPING AS REQUIRED TO ACCOMMODATE NEW METER AS PER GAS COMPANY REQUIREMENTS.
- ④ REMOVE EXISTING REGULATOR AND INSTALL SPOOL PIECE IN ITS PLACE TO MATCH PIPE SIZE OF EXISTING PIPING. INSTALL NEW REGULATOR INSIDE MECHANICAL ROOM AS INDICATED.
- ⑤ NEW PRESSURE REGULATOR. SET OUTLET PRESSURE TO 7" WC. INSTALL REGULATOR PER MANUFACTURER'S REQUIREMENTS INCLUDING THE REQUIRED AMOUNT OF STRAIGHT PIPE UPSTREAM AND DOWNSTREAM OF THE REGULATOR AND PER PSE&G AND INTERNATIONAL FUEL GAS CODE (LATEST APPROVED EDITION), REQUIREMENTS.
- ⑥ PROVIDE CAPPED TEE FITTING FOR PRESSURE GAUGE CONNECTION.
- ⑦ PROVIDE CAPPED TEE FITTING FOR PRESSURE GAUGE CONNECTION AND TO SERVE AS SEDIMENT TRAP.
- ⑧ REGULATOR VENT THRU ROOF.



STORM RISER
 NOT TO SCALE



SANITARY RISER
 NOT TO SCALE

MECHANICAL LEGEND	
SYMBOLS	DESCRIPTION
---	NEW DUCT OR PIPE
- - - -	EXISTING DUCT OR PIPE
///////	TO BE REMOVED
~~~~~	FLEX TO DIFFUSER (5'-0" MAXIMUM)
R	RISE IN DUCT
D	DROP IN DUCT
FC	FLEXIBLE DUCT CONNECTION
☒	CEILING DIFFUSER 4 WAY BLOW
☒	CEILING DIFFUSER 3 WAY BLOW
☒	CEILING DIFFUSER 2 WAY BLOW
☒	CEILING DIFFUSER 1 WAY BLOW
□	RETURN OR EXHAUST REGISTER
VD	VOLUME DAMPER
FD	FIRE DAMPER AND ACCESS DOOR
M	MOTOR OPERATED DAMPER
U	UNDERCUT DOOR
FDS	3-HR FIRE SMOKE DAMPER AND ACCESS DOOR
⊙	THERMOSTAT AND HUMIDISTAT
⊙	CARBON MONOXIDE AND NATURAL GAS DETECTION SENSOR
⊙	HUMIDISTAT
⊙	DUCT SMOKE DETECTOR
⊙	CO2 DETECTOR
⊙	PURGE OVERRIDE
⊕	CONNECT TO EXISTING
X	KEY NOTE DESIGNATION
X X	TOP: EQUIPMENT DESIGNATION BOTTOM: UNIT NUMBER
X X/E	TOP: EQUIPMENT DESIGNATION BOTTOM: ROOM NUMBER - EXISTING
-CW-	COLD WATER PIPING
-HWS-	HOT WATER SUPPLY PIPING
-HWR-	HOT WATER RETURN PIPING
-CHWS-	CHILLED WATER SUPPLY PIPING
-CHWR-	CHILLED WATER RETURN PIPING
-PC-	PUMPED CONDENSATE PIPING
-CD-	CONDENSATE DRAIN PIPING
☐	SHUT-OFF VALVE
☐	BALANCE VALVE
☐	THROTTLING VALVE
☐	MOTOR OPERATED VALVE, THREE WAY
☐	MOTOR OPERATED VALVE, TWO WAY
☐	CHECK VALVE
☐	GAS COCK
☐	UNION
☐	STRAINER WITH BLOWDOWN
☐	RELIEF VALVE
☐	PRESSURE GAUGE
☐	THERMOMETER

MECHANICAL ABBREVIATIONS			
AFF	ABOVE FINISHED FLOOR	EV	EXHAUST VENTILATOR
AD	ACCESS DOOR	FVAV	FAN POWERED VAV BOXES
ATC	AUTOMATIC TEMPERATURE CONTROLS	IOM	INSTALLATION AND OPERATION MANUAL
BDD	BACKDRAFT DAMPER	MC	MECHANICAL CONTRACTOR
BMS	BUILDING MANAGEMENT SYSTEM	MOD	MOTOR OPERATED DAMPER
BOD	BOTTOM OF DUCT	NAE	NETWORK AUTOMATION ENGINE
BOP	BOTTOM OF PIPE	OAI	OUTDOOR AIR INTAKE
CO	CEILING DIFFUSER	OC	ON CENTER
CO	CLEANOUT	PC	PLUMBING CONTRACTOR
CFM	CUBIC FEET PER MINUTE	RP	RADIANT PANEL
DCV	DEMAND CONTROL VENTILATION	RR	RETURN GRILLE
DS	DUCT SILENSER	RR	RETURN REGISTER
DIA	DIAMETER	SG	SUPPLY GRILLE
E	EXISTING	SR	SUPPLY REGISTER
EC	ELECTRICAL CONTRACTOR	TG	TRANSFER GRILLE
EG	EXHAUST GRILLE	VAV	VARIABLE AIR VOLUME BOXES
EG	EXHAUST REGISTER	WMS	WIRE MESH SCREEN
ETR	EXISTING TO REMAIN	WR	WALL REGISTER

### APPLICABLE CODES:

- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST CODES AND SUBCODES AS ADOPTED BY THE STATE OF NEW JERSEY:
- NEW JERSEY UNIFORM CONSTRUCTION CODE (NUCC)
  - REHABILITATION SUBCODE 5-23-6
  - ADMINISTRATIVE CODE: TITLE 6
  - 2018 INTERNATIONAL BUILDING CODE - NJ EDITION
  - 2017 NATIONAL ELECTRICAL CODE
  - 2018 NATIONAL STANDARD PLUMBING CODE
  - 2018 INTERNATIONAL MECHANICAL CODE
  - 2018 INTERNATIONAL FUEL GAS CODE
  - 2016 ASHRAE 90.1 ENERGY CONSERVATION CODE
  - 2016 NFPA 13
  - REQUIREMENTS OF LOCAL AUTHORITY HAVING JURISDICTION

### MECHANICAL GENERAL NOTES:

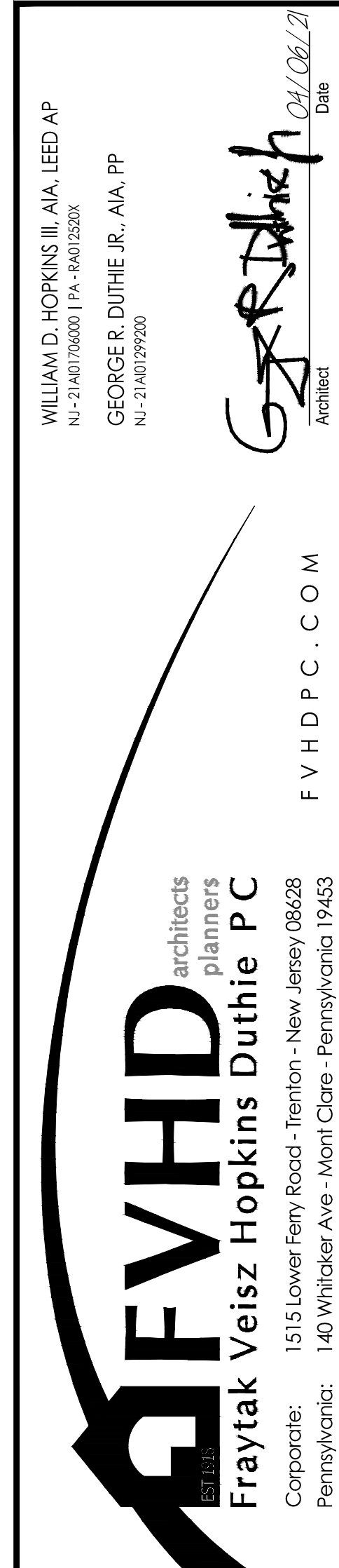
- DO NOT SCALE FROM THESE DRAWINGS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE AND ADOPTED REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MECHANICAL MATERIALS, INSTALLATION PROCEDURES AND SYSTEM LAYOUTS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION. THE MECHANICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THIS INSTALLATION.
- THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON FPA CADD SYSTEM, ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF FRENCH & PARELLO ASSOCIATES.
- REPRODUCTION OF ANY PORTION OF THE CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
- UPON CONTRACT AWARD, CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANY TO SCHEDULE ANY UTILITY UPGRADES. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL UTILITY UPGRADES, SECURE ALL PERMITS AND INSPECTIONS.
- ALL CONNECTIONS TO EXISTING BUILDING SERVICES SHALL BE CAREFULLY COORDINATED WITH THE UTILITY CO AND THE OWNER'S SCHEDULE. SERVICE WORK OF THIS NATURE TO OCCUR DURING UNOCCUPIED BUILDING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL EXISTING EQUIPMENT IS OPERATIONAL AFTER ANY SHUTDOWN OCCURS.
- CHANGES OR SUBSTITUTIONS OF EQUIPMENT WILL NOT BE ALLOWED WITHOUT SPECIFIC WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER. ALL COSTS RESULTING FROM THE SELECTION OF OTHER THAN SPECIFIED EQUIPMENT SHALL BE BORNE BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO WORK AFFECTING OTHER CONTRACTORS, THE OWNER, OR RE-DESIGN ISSUES.
- ALL INDICATED WORK SHALL BE PERFORMED BY THE MECHANICAL CONTRACTOR UNLESS OTHERWISE NOTED.
- DO NOT USE ANY PART OF THE OWNER'S BUILDING AS A SHOP, EXCEPT PARTS DESIGNATED FOR SUCH PURPOSES BY THE OWNER.
- ALL CONTRACT WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE WRITTEN SPECIFICATIONS FOR THIS PROJECT WHICH ARE CONSIDERED TO BE AN INTEGRAL PART OF THE CONTRACT DOCUMENTS. ALL CONTRACTORS AND SUBCONTRACTORS SHALL MAINTAIN (AT THE JOB SITE) AND REFER TO COPIES OF THE WRITTEN SPECIFICATIONS AS PART OF THESE DRAWINGS. REFER TO THE WRITTEN SPECIFICATIONS IN CONJUNCTION WITH THE PLANS FOR FULL PROJECT SCOPE. IN ALL CASES OF DISCREPANCY BETWEEN PLANS AND SPECIFICATIONS, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AND WHERE IT IS UNCLEAR, SUCH CASES SHALL BE REFERRED TO THE ENGINEER FOR ADJUDICATION.
- ANY DISCREPANCIES OR INADEQUACIES WITHIN THESE BID DOCUMENTS OR BETWEEN THESE BID DOCUMENTS AND RELATED PLUMBING, ELECTRICAL, FIRE PROTECTION, ARCHITECTURAL, INTERIOR DECOR AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER PRIOR TO SUBMISSION OF BIDS.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS BID. FOR THE PROPOSED WORK, HE SHALL BE RESPONSIBLE TO VERIFY FIELD CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO SUBMISSION OF BIDS IN WRITING.
- THE MECHANICAL CONTRACTOR SHALL REVIEW THESE PLANS AND SPECIFICATIONS, AS WELL AS THE RELATED PLUMBING, ELECTRICAL, ARCHITECTURAL, INTERIOR DECOR AND SITE ENGINEERING DRAWINGS TO BECOME FAMILIAR WITH THE FULL PROJECT SCOPE. DURING THE COURSE OF CONSTRUCTION COORDINATION AND ACTUAL CONSTRUCTION, THE MECHANICAL CONTRACTOR SHALL COOPERATE WITH ALL OTHER CONTRACTORS AND TRADES ON THIS PROJECT TO ENSURE A SMOOTH RUNNING AND CAREFULLY COORDINATED INSTALLATION.
- THE MECHANICAL CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND AS-BUILT CONDITIONS PERTAINING TO THE HVAC SYSTEMS, MECHANICAL CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, MATERIAL, PARTS, SUPPLIES AND LABOR TO BALANCE ALL HVAC EQUIPMENT TO OWNERS SATISFACTION.
- CONTRACTOR SHALL COORDINATE HIS SCHEDULING WITH THE OWNER AND GENERAL CONTRACTOR TO COMPLY WITH THE OWNERS USAGE OF THE BUILDING.
- IF ANY UNEXPECTED DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS IS MADE DURING THE COURSE OF WORK, THE CONTRACTOR SHALL REPORT THE DISCOVERY IMMEDIATELY TO THE OWNER. THE CONTRACTOR SHALL STOP ANY WORK THAT MAY DISTURB THE SUSPECTED HAZARDOUS MATERIAL. CONTRACTOR SHALL RESUME WORK AFTER ALL HAZARDOUS MATERIAL HAS BEEN REMEDIATED.
- CONTRACTOR RESPONSIBLE FOR THE PROPER CARE OF ALL OWNER'S EQUIPMENT AND/OR FURNISHINGS WHICH ARE REQUIRED TO BE TEMPORARILY REMOVED, STORED OR RELOCATED. CONTRACTOR SHALL REPLACE, REPAIR OR REBURSE OWNER FOR ALL DAMAGES TO SUCH PROPERTIES AT FULL REPLACEMENT VALUE AND EQUIVALENCY. CONTRACTOR SHALL ADVISE OWNER FOR DISPOSITION OF REMOVED EQUIPMENT AND/OR MATERIALS.
- CONTRACTOR'S WORK MAY BE REQUIRED OUTSIDE OF DESIGNATED SPACE. ALL SYSTEMS BEING DEMOLISHED AND REMOVED, MODIFIED, AND/OR TERMINATED SHALL BE FIELD VERIFIED TO INSURE NO WORK PERFORMED, INSIDE OR OUTSIDE OF THE DESIGNATED SPACE, SHALL DISRUPT ANY SERVICE OR SYSTEMS OF ANY OTHER AREAS. IF ANY CONDITIONS ARISE THAT ARE NOT IDENTIFIED ON DRAWINGS, IMMEDIATE NOTIFICATION SHALL BE PROVIDED TO THE ENGINEER OR OWNER. NO WORK SHALL PROCEED WITHOUT APPROVALS FROM ENGINEER OR OWNER.
- DRAWINGS ARE DIAGRAMMATIC IN NATURE AND MAY HAVE TO BE ADAPTED TO COMPLY WITH EXISTING BUILDING CONDITIONS. CONTRACTOR SHALL SUBMIT HVAC SHOP DRAWINGS, INDICATING LOGS OF DUCT, PIPING, AND WIRING.
- DUCTING AND PIPING SHOWN ON DRAWINGS SHOW THE GENERAL RUN AND CONNECTIONS AND MAY OR MAY NOT IN ALL PARTS BE SHOWN IN ITS EXACT POSITION. CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING THE DUCTING/PIPING SUITABLE IN EVERY RESPECT FOR THE WORK. DUCTWORK/PIPING SHALL BE INSTALLED SO THAT ACCESS, CLEARANCE, HEADROOM AND PITCH ARE MAINTAINED. CONTRACTORS OF THE VARIOUS TRADES SHALL COORDINATE THE INSTALLATION. MECHANICAL CONTRACTOR SHALL REVIEW ARCHITECTURAL DRAWINGS FOR CHASE AND SOFFIT LOCATIONS TO COORDINATE ALL EXPOSED DUCTWORK & PIPE ROUTING.
- ALL CONTRACTORS SHALL PROVIDE CUTTING AND PATCHING FOR THEIR RESPECTIVE TRADES.
- REMOVE AND REINSTALL CEILING SYSTEM AS REQUIRED FOR THE INSTALLATION OF MECHANICAL WORK AND REPLACE IN KIND ANY COMPONENTS DAMAGED BY PERSONNEL OR EQUIPMENT DURING PERFORMANCE OF THE WORK. PATCH AND REPAIR ALL DAMAGE CAUSED BY REMOVAL. MATCH EXISTING ADJACENT SURFACES.
- ALL MECHANICAL EQUIPMENT AND APPLIANCES SHALL BEAR THE LABEL OF AN APPROVING AGENCY, LISTING AND LABELING AGENCY QUALIFICATIONS: A "NATIONALLY RECOGNIZED TESTING LABORATORY" AS DEFINED IN THE INTERNATIONAL MECHANICAL CODE, LATEST ADOPTED EDITION.
- ALL PENETRATIONS THRU FIRE RATED WALLS, FLOORS, AND CEILINGS SHALL BE SEALED WITH A UL APPROVED FIRESTOP MATERIAL SUITABLE FOR CONSTRUCTION MATERIAL TO MAINTAIN FIRE, SMOKE, AND DRAFT INTEGRITY OF STRUCTURE. FIRE RESISTANT SEALER SHALL BE TESTED IN ACCORDANCE WITH ASTM E84. INSTALL SEALANT, INCLUDING FOAMING, PACKING AND OTHER ACCESSORY MATERIALS TO FILL OPENINGS WHERE FIRE-RATED WALL PENETRATIONS OCCUR. COMPLY WITH INSTALLATION REQUIREMENTS ESTABLISHED BY TESTERS AND INSPECTION AGENCY.
- ALL CONTRACTORS REMOVING OR RELOCATING ANY EQUIPMENT, PIPES, DUCTS, CONDUITS, ETC SHALL PATCH ALL SURFACES DISTURBED BY THIS WORK TO MATCH ADJACENT SURFACES.
- MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER HANDLING, DISPOSAL & ASSOCIATED COSTS OF ALL REFRIGERANT MATERIAL, DURING THIS CONTRACT, IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND/OR REGULATIONS.
- THE MECHANICAL CONTRACTOR SHALL MOUNT THE DUCT SMOKE DETECTOR. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND WIRE DUCT MOUNTED SMOKE DETECTOR. ELECTRIC CONTRACTOR SHALL ALSO PROVIDE AND WIRE A REMOTE MONITORING KEY OPERATED TEST AND ALARM STATION FOR EACH DUCT SMOKE DETECTOR. THE REMOTE TEST ALARM STATION SHALL BE MOUNTED AS DIRECTED IN THE AREA OF THE SMOKE DETECTOR.
- THE MECHANICAL CONTRACTOR TO PROVIDE ALL ROOF CURBS, EQUIPMENT RAILS, SUPPORTS, ROOF PORTALS AND ASSOCIATED EQUIPMENT TO ENSURE A COMPLETE INSTALLATION FOR NEW HVAC EQUIPMENT. MECHANICAL CONTRACTOR RESPONSIBLE TO PROVIDE EXACT LOCATIONS AND REVIEW AND RELEASED EQUIPMENT SUBMITTALS, OF ROOF CURBS, EQUIPMENT SUPPORTS, ROOF PORTALS AND ASSOCIATED EQUIPMENT TO THE ARCHITECT. ALL ROOF PENETRATIONS, EQUIPMENT SUPPORTS, ROOF PORTALS AND ASSOCIATED EQUIPMENT SHALL BE INSTALLED BY ROOFING SUB-CONTRACTOR. ROOFING CONTRACTOR SHALL BE BONDED AND ALL WORK SHALL BE DONE AS NOT TO VOID ROOF WARRANTY. ROOFING CONTRACTOR SHALL PROVIDE BASE FLASHING, AND PROVIDE TEMPORARY WEATHER-PROOF COVERS UNTIL MECHANICAL CONTRACTOR INSTALLS NEW HVAC UNITS. MECHANICAL CONTRACTOR TO PROVIDE COUNTER FLASHING.
- FURNISH TO THE ELECTRICAL CONTRACTOR ALL MOTOR STARTERS AND CONTROL DEVICES FOR MECHANICAL EQUIPMENT. ELECTRICAL CONTRACTOR SHALL INSTALL AND WIRE STARTER AND CONTROL EQUIPMENT FOR ALL MOTORS.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL CONTROLLERS, ACTUATORS, TRANSFORMERS, SENSORS, RELAYS, CONTACTS, PANELS, CONDUIT, WIRING, ETC AS REQUIRED TO ACHIEVE SPECIFIED CONTROL SEQUENCE. WHERE LOCATING DEVICES ON EXISTING SURFACES, IF RECESSED WIRING CANNOT BE ACCOMMODATED (I.E. PRECAB, PRE-FAB PANELS, ETC.) INCLUDE WIRE MOLDS AS NECESSARY TO PROVIDE CONCEALED INSTALLATION.

### SYMBOL LIST NOTES

- SYMBOLS ARE INDICATED FOR GENERAL REFERENCE ONLY. THE PRESENCE OF A SYMBOL DOES NOT INDICATE ITS USE ON THIS PROJECT. REFER TO PLAN DRAWINGS FOR SPECIFIC SYMBOLS USED.



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**West Windsor-Plainsboro Regional School District**

Project Location  
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Project Number  
**5063K1**

Project Date  
**04.06.2021**

Checked By  
**JDS**

Drawn By  
**HKP**

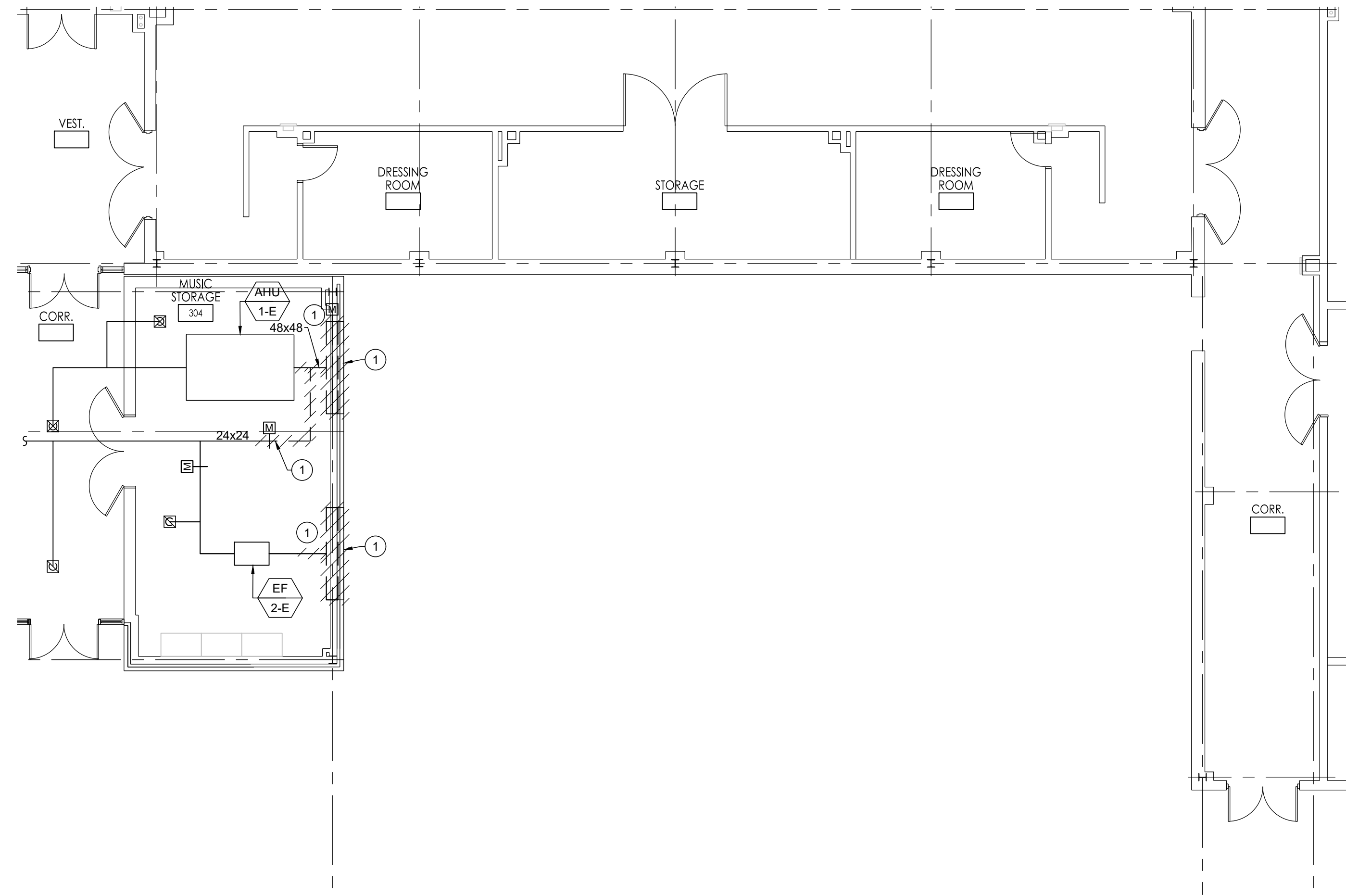
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Drawing Name  
**MECHANICAL SYMBOLS, NOTES & ABBREVIATIONS**

Revisions

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04.06.21		Issued for Bid

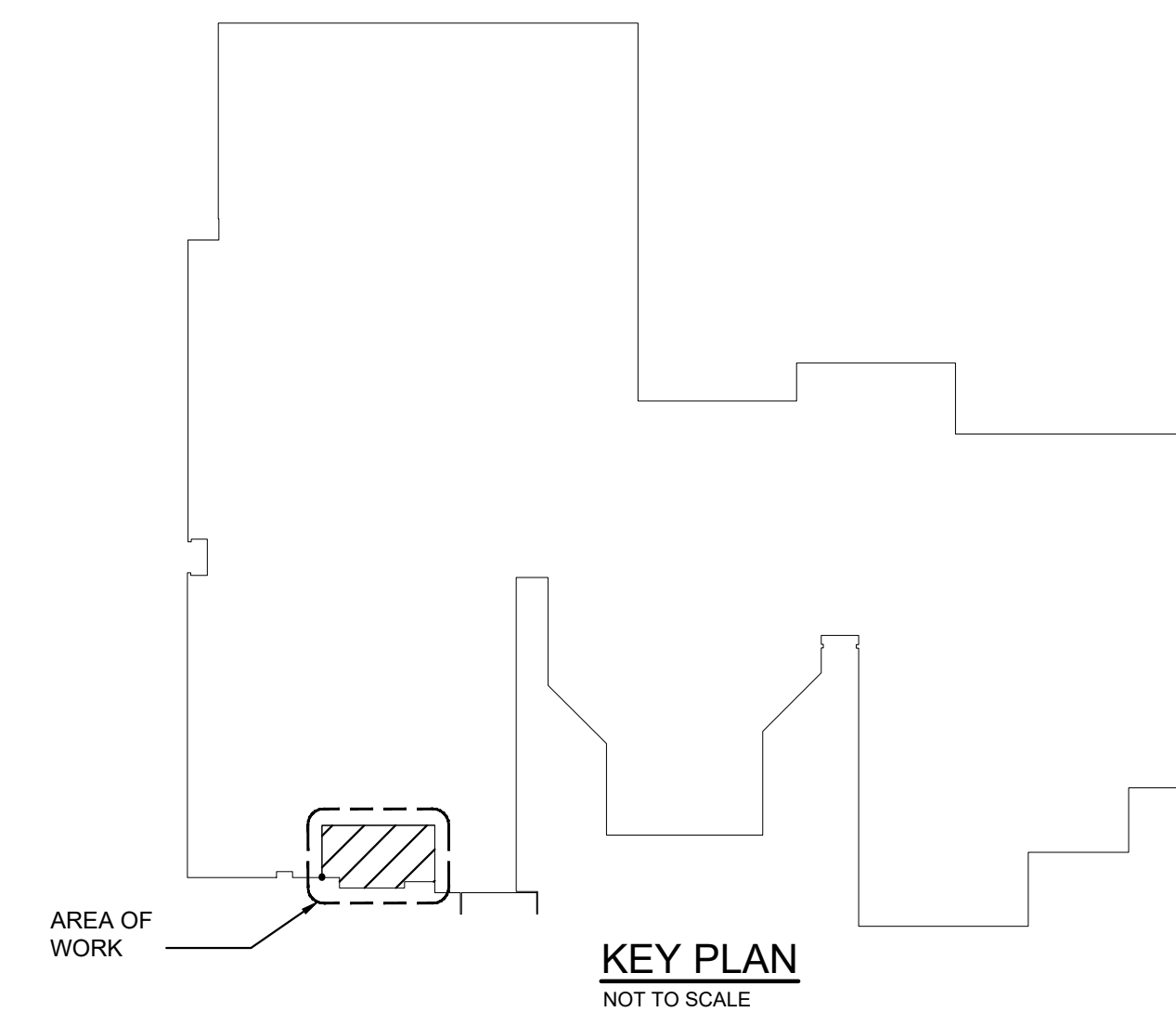
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**M1.0**



**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

**DEMOLITION KEY NOTES**

- ① REMOVE AND DISCARD THAT PORTION OF EXISTING DUCTWORK INCLUDING LOUVERS, DAMPERS, SUPPORTS AND ALL ASSOCIATED ACCESSORIES AS SHOWN. MAKE REMAINING DUCTWORK READY FOR CONNECTION TO NEW. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.



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*George E. Duthie Jr.*  
Date: 04/06/21



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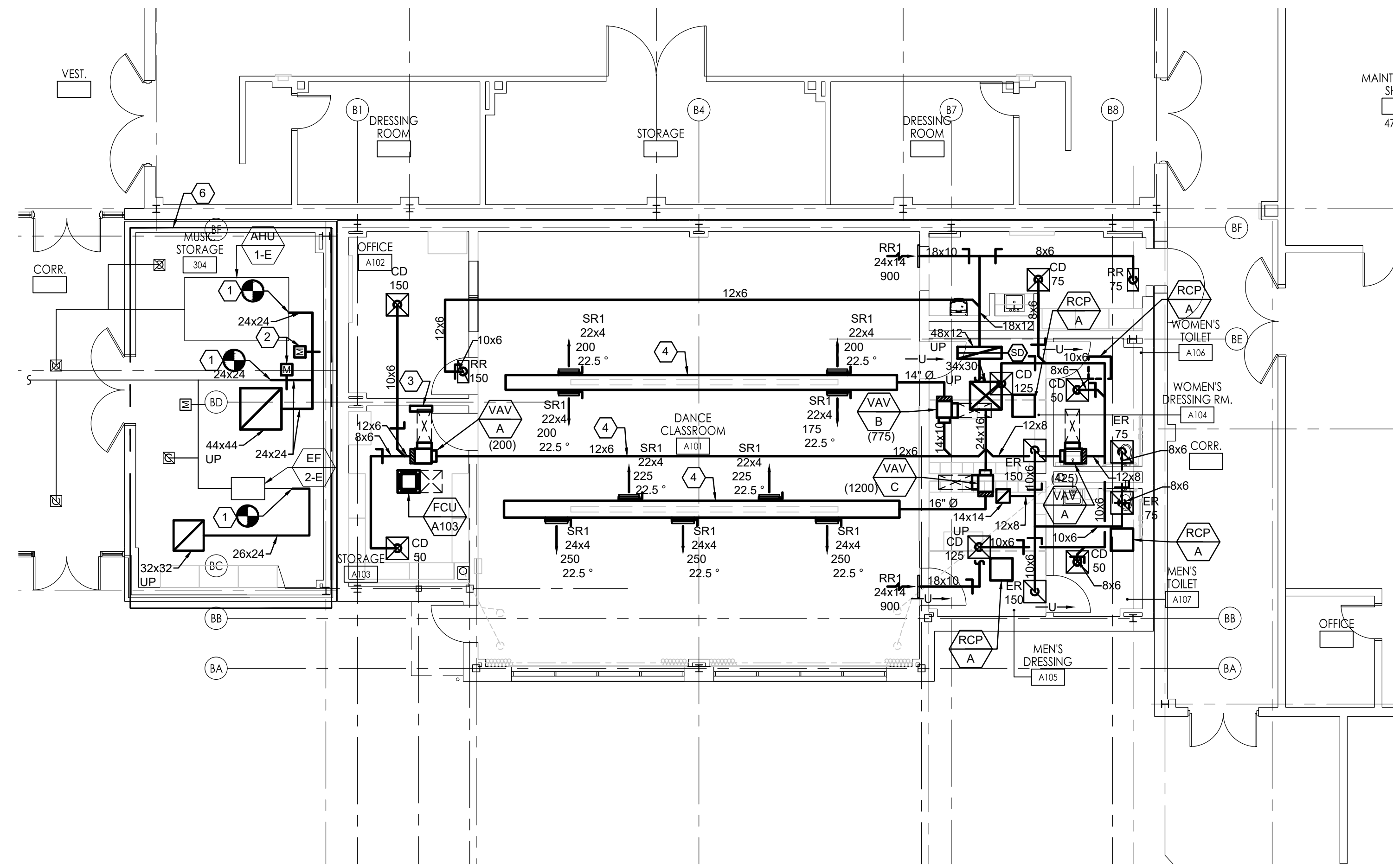
Drawn By  
**HKP**

Scale  
**AS SHOWN**

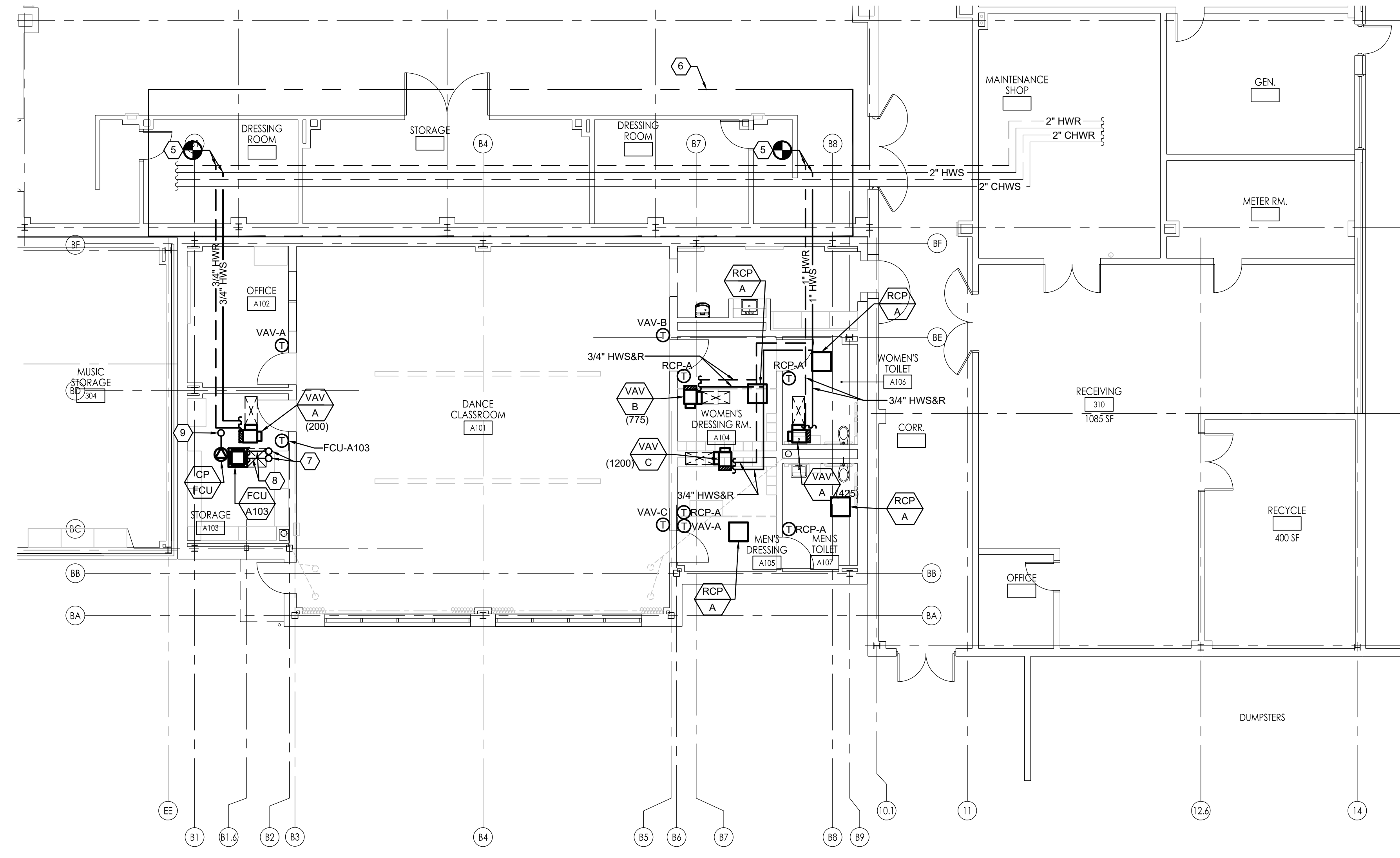
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**MECHANICAL FIRST FLOOR DEMOLITION PLAN**

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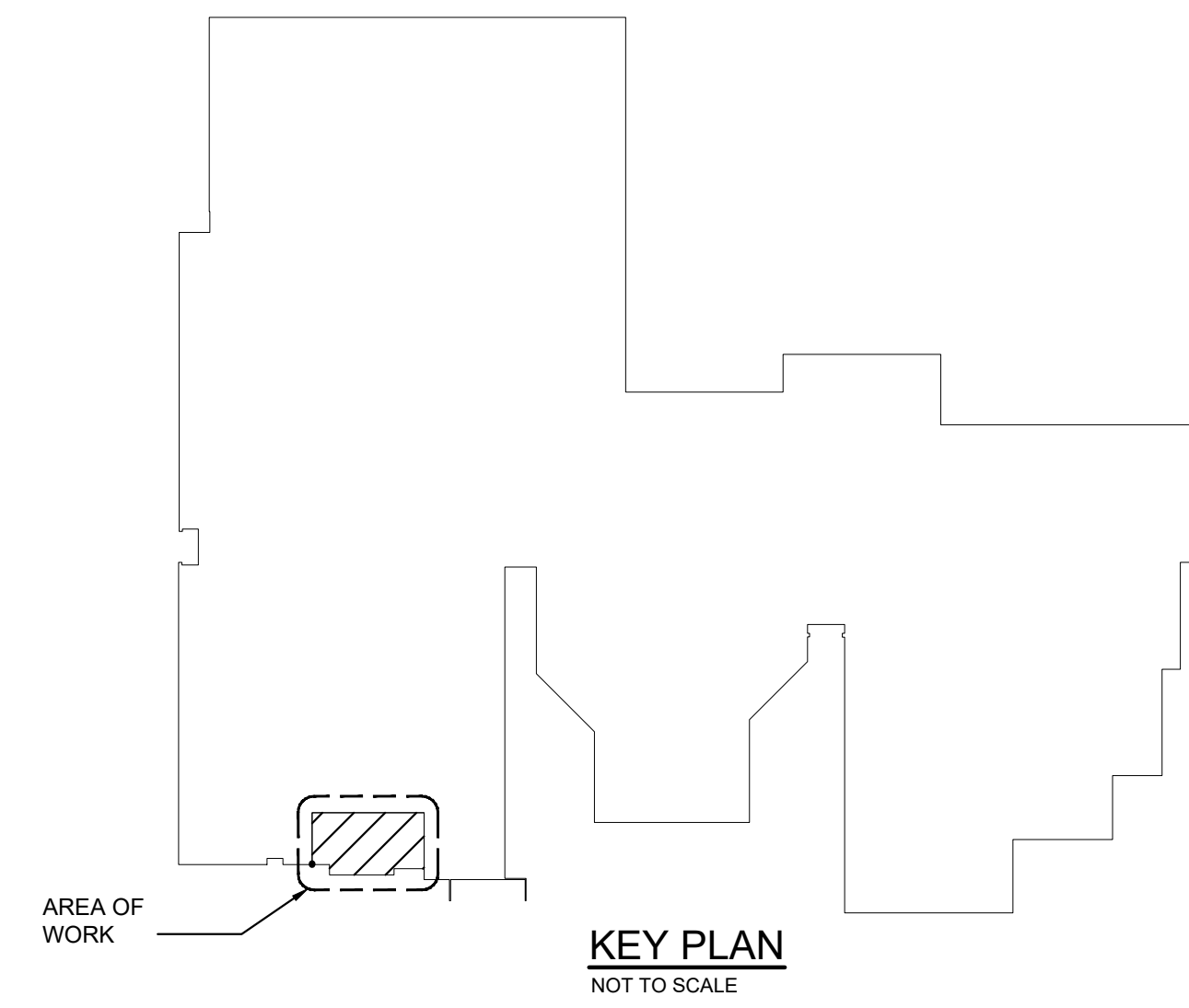
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**M2.0**



**FIRST FLOOR DUCTWORK PLAN**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PIPING PLAN**  
SCALE: 1/8" = 1'-0"



**KEY PLAN**  
NOT TO SCALE

**KEY NOTES**

- 1 CONNECT TO EXISTING DUCTWORK. PROVIDE TRANSITIONS AS REQUIRED TO MAKE CONNECTION. CONTRACTOR TO SEAL DUCTWORK AIRTIGHT. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- 2 PROVIDE NEW MOTORIZED DAMPER AND INTERLOCK WITH EXISTING AHU AND CONTROL THE DAMPER AS PER EXISTING AHU UNIT SEQUENCE OF OPERATION. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- 3 PROVIDE NEW ATC PANEL. COORDINATE THE EXACT LOCATION IN FIELD WITH OWNER.
- 4 ALL INDOOR DUCT SHALL HAVE STICKERS AND LABELS REMOVE AND PREPARED FOR PAINT. PAINT ALL EXPOSED INDOOR DUCTWORK, REGISTERS/DIFFUSERS, HANGER AND SUPPORTS. PROVIDE MINIMUM 2 COATS PRIMER AND 2 COATS OF INTERIOR GRADE PAINT. COORDINATE WITH ARCHITECT FOR COLOR SELECTION.
- 5 CONNECT NEW HWS&R TO EXISTING PIPING MAIN. SEE FLOOR PLAN FOR NEW PIPE SIZES. FIELD VERIFY EXACT LOCATION AND SIZE OF EXISTING PIPING. VALVING NOT SHOWN FOR CLARITY. SEE PIPING DETAILS FOR ADDITIONAL INFORMATION. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- 6 REMOVE AND REINSTALL CEILING SYSTEM AS REQUIRED FOR THE INSTALLATION OF MECHANICAL WORK AND REPLACE IN KIND ANY COMPONENTS DAMAGED BY PERSONNEL OR EQUIPMENT DURING PERFORMANCE OF THE WORK. PATCH AND REPAIR ALL DAMAGE CAUSED BY REMOVAL, MATCH EXISTING ADJACENT SURFACES. PATCH ALL SURFACES DISTURBED OR LEFT UNFINISHED BY THIS WORK TO MATCH ADJACENT SURFACES.
- 7 REFRIGERANT PIPING UP THRU PIPE PORTAL.
- 8 REFRIGERANT PIPING - LIQUID & HOT GAS. SIZE AND ROUTING AS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE SUPPORTS AS REQUIRED. SEE SPECIFICATION FOR ADDITIONAL INFORMATION. PROVIDE REFRIGERANT ISOLATION VALVES ON REFRIGERANT PIPING. VALVES NOT SHOWN FOR CLARITY.
- 9 CONDENSATE DRAIN PIPING UP TO ROOF.

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**JDS**  
 Drawn By  
**HKP**  
 Scale  
**AS SHOWN**

Drawing Name  
**MECHANICAL FIRST FLOOR PLANS**

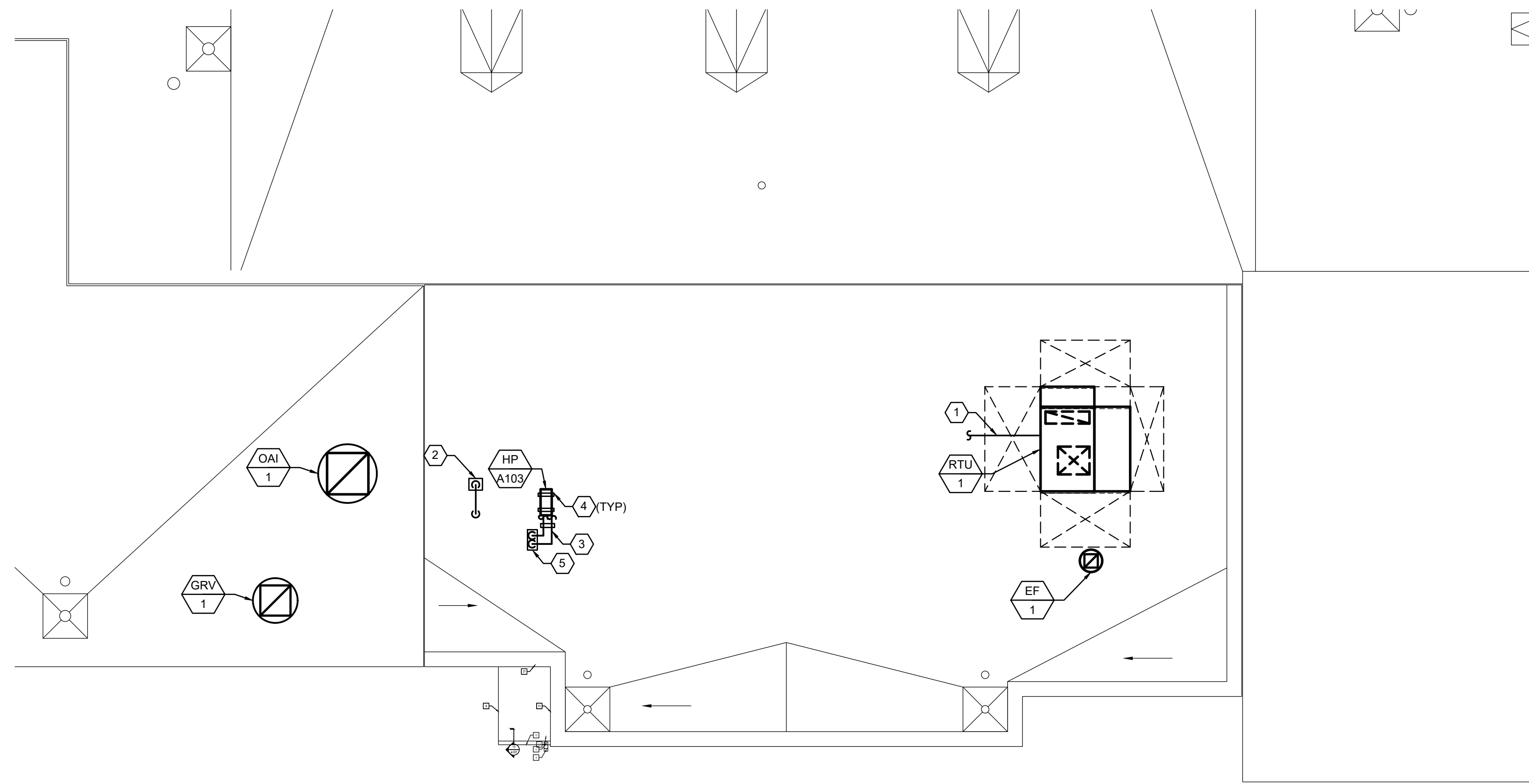
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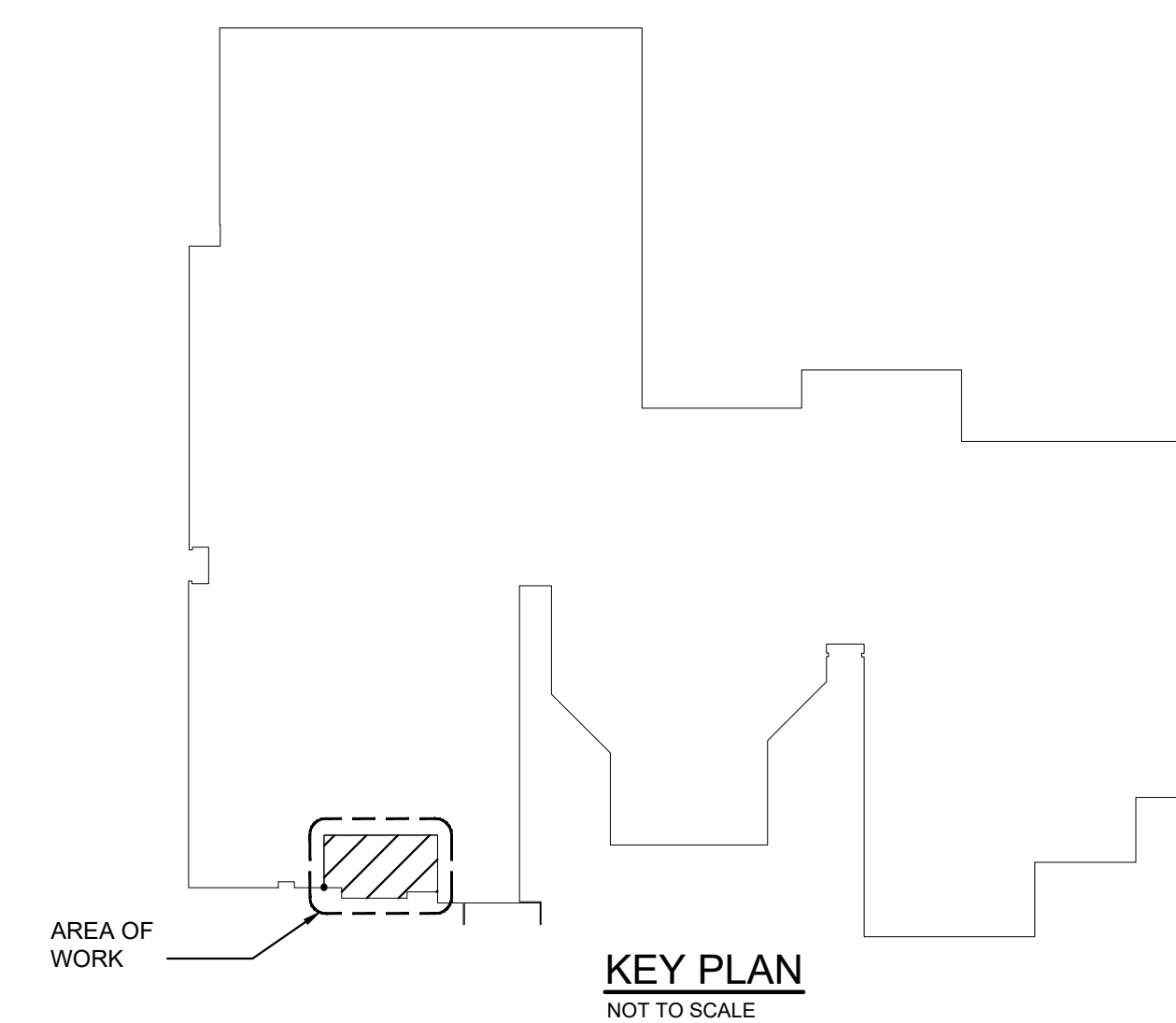
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**ROOF PART PLAN**  
SCALE: 1/8" = 1'-0"

**KEY NOTES**

- 1 1 1/4" CONDENSATE DRAIN WITH MINIMUM 2" DEEP TRAP. PIPE TO NEAREST ROOF DRAIN. MAINTAIN MINIMUM PITCH.
- 2 3/4" CONDENSATE DRAIN WITH MINIMUM 2" DEEP TRAP. DISCHARGE TO 24X11 CONCRETE SPLASH BLOCK, MANUFACTURED BY MERSHONE CONCRETE OR ENGINEER APPROVED EQUAL AND EPDM SLIP SHEET. MAINTAIN MINIMUM PITCH.
- 3 REFRIGERANT PIPING - LIQUID & HOT GAS. SIZE AND ROUTING AS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE SUPPORTS AS REQUIRED. SEE SPECIFICATION FOR ADDITIONAL INFORMATION. PROVIDE REFRIGERANT ISOLATION VALVES ON REFRIGERANT PIPING. VALVES NOT SHOWN FOR CLARITY.
- 4 EQUIPMENT MOUNTING RAILS WITH RUST RESISTANT UNISTRUT CRADLE FRAMING AROUND ENTIRE PERIMETER. HEIGHT AS REQUIRED TO MAINTAIN MINIMUM 1" BOTTOM OF UNIT ABOVE ROOF. CONTRACTOR TO COORDINATE SUPPORT PLACEMENT TO MINIMIZE LOCATING SUPPORTS WITHIN CRICKET AREA. SEE DETAILS FOR ADDITIONAL INFORMATION.
- 5 PROVIDE ROOF PORTAL, PATE CO OR EQUAL. PROVIDE SEPARATE BOOT FOR EACH PIPE. PROVIDE ADDITIONAL BOOTS FOR ELECTRICAL POWER AND CONTROL CONDUITS. DO NOT PASS MORE THAN (1) PIPE THRU EACH NIPPLE TO FACILITATE PROPER SEALING.



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04/06/21  
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F V H D P C . C O M

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Drawing Name  
**MECHANICAL ROOF PLAN**

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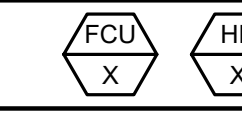
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DUCTLESS SPLIT SYSTEM HEAT PUMP SCHEDULE

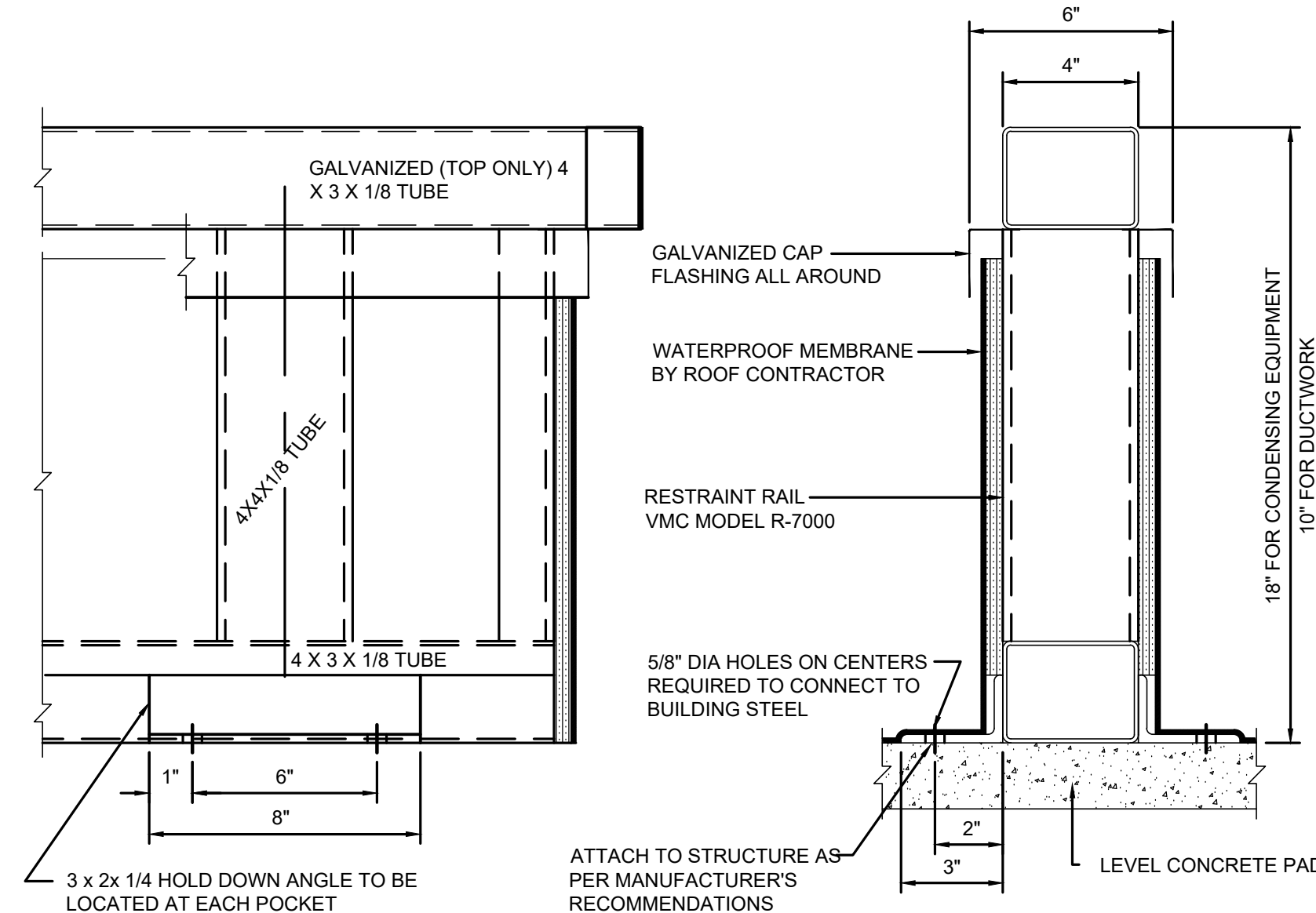


INDOOR UNIT											OUTDOOR UNIT																				
PLAN NO	MANUFACTURER MODEL	LOCATION	TOTAL CFM	EXT SP	OA CFM	HP/ WATTS	ELECTRICAL DATA			DIMENSIONS			WEIGHT LBS	REMARKS	PLAN NO	MANUFACTURER MODEL	TOTAL COOL CAP MBH	SENS COOL CAP MBH	HTG MBH 47°F	HTG MBH 17°F	HSPFF	SEER	ELECTRICAL DATA			DIMENSIONS			WEIGHT LBS	REMARKS	
							VOLTS/Ø	MCA	MOP	LENGTH	WIDTH	HEIGHT											VOLTS/Ø	MCA	MFA	LENGTH	WIDTH	HEIGHT			
FCU-A103	DAIKIN FFQ09QZVJ	STORAGE A103	378	N/A	N/A	50 W	208/1	SEE HP-A103		22 5/8	22 5/8	10 1/4	40	SEE NOTES, HP-A103	HP-A103	DAIKIN RX09RMVJU9	9.10	7.99	10.00	6.00	11.70	20	4.58	208/1	9.00	15	26 9/16	11 3/16	21 5/8	100	SEE NOTES

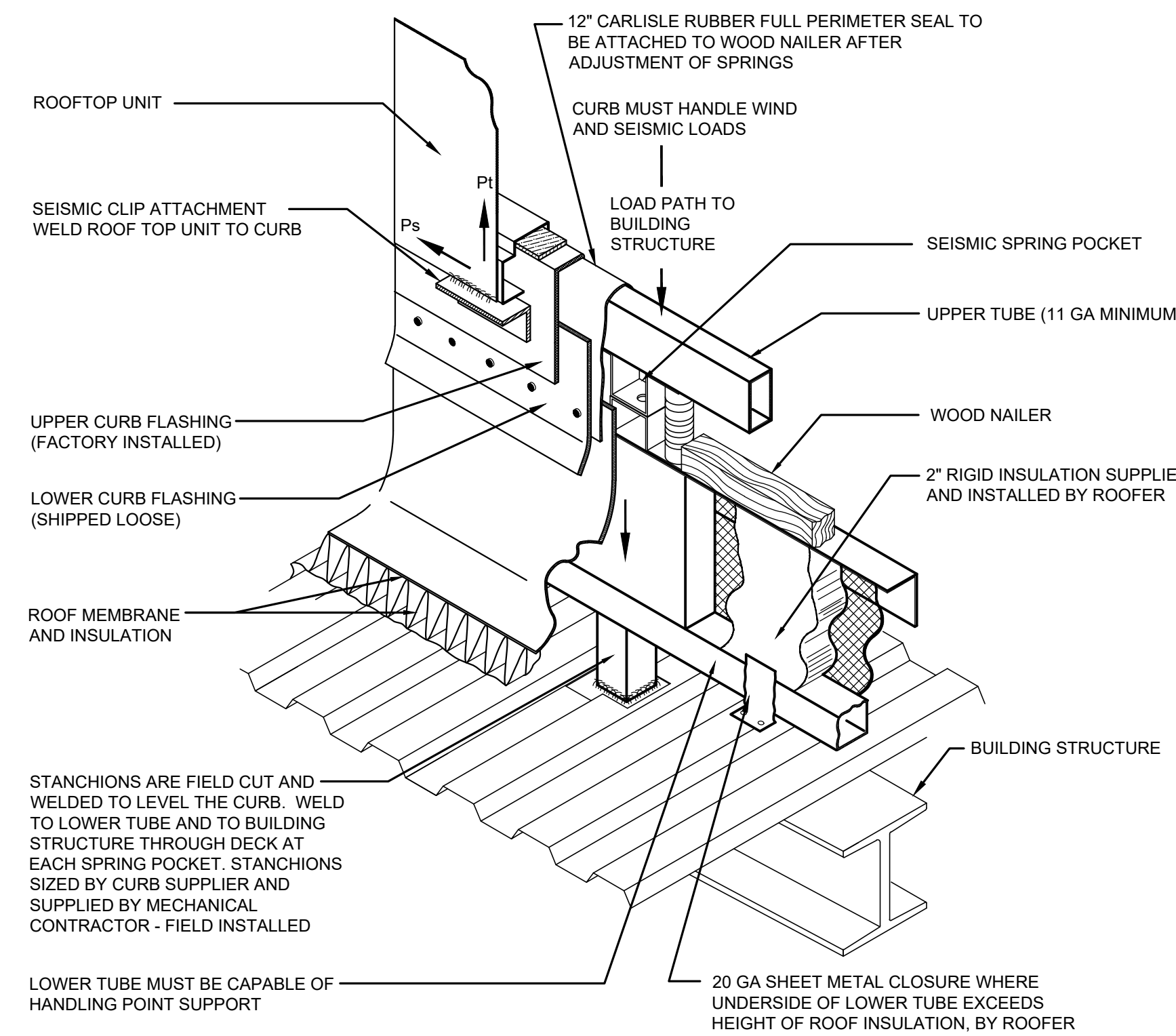
NOTES:

1. MOUNT OUTDOOR UNIT ON MINIMUM 18" HIGH FROM FINISH ROOF NONISOLATED WIND AND SEISMIC RESTRAINT RAILS. BASIS OF DESIGN: THE VMC GROUP MODEL R-7000.
2. HANG INDOOR UNIT VIA (4) POINTS FROM STRUCTURE TO SUIT.
3. PROVIDE WITH EXTERNAL CONDENSATE PUMP. SEE PLAN FOR ADDITIONAL INFORMATION.
4. PROVIDE ELECTRICAL DISCONNECT.
5. PROVIDE MERV 15 FILTER KIT.
6. PROVIDE WITH DDC BAGNET CONTROLS FOR INTERFACE WITH EXISTING BMS CONTROL SYSTEM.
7. PROVIDE DRAIN PAN WITH UL 508 APPROVED WATER DETECTION SENSOR FOR UNIT SHUTDOWN. WIRE CONTROL CIRCUIT THROUGH IFC CONTACT.
8. PROVIDE HAIL GUARDS FOR ALL EXPOSED COILS AND WIND BAFFLES FOR LOW AMBIENT COOLING.
9. PROVIDE UNIT WITH GPS IONIZER MODEL GPS-FC24-AC AND INSTALL AS PER MANUFACTURER RECOMMENDATION.
10. AFTER COMPLETING SYSTEM INSTALLATION AND TESTING, ADJUSTING, AND BALANCING HEAT PUMPS AND AIR-DISTRIBUTION SYSTEMS, CLEAN FILTER HOUSINGS AND PROVIDE NEW FILTERS.

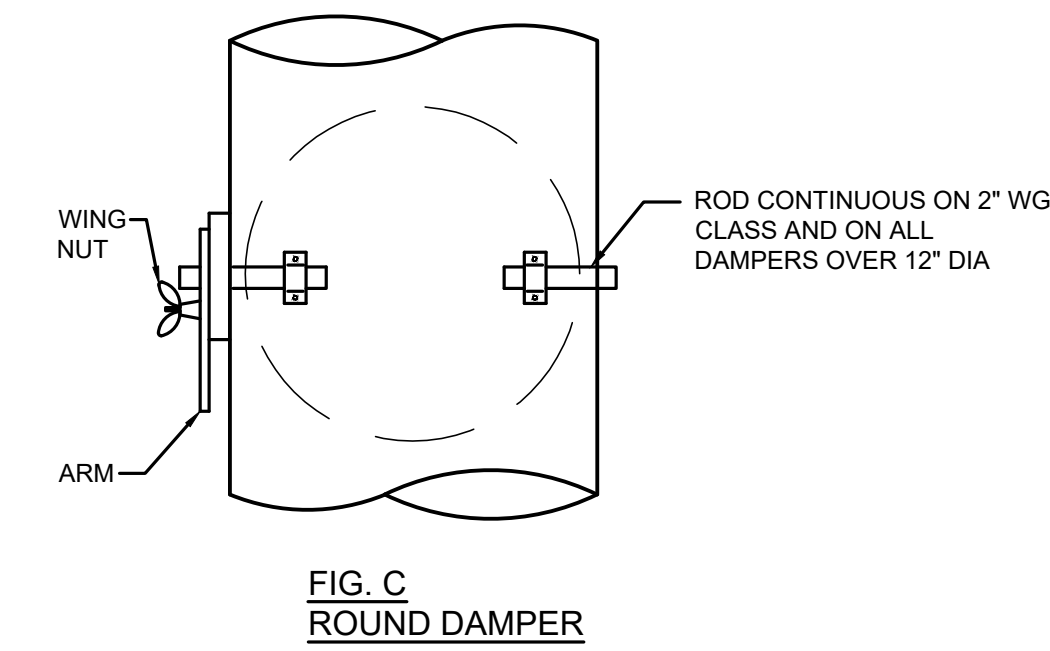
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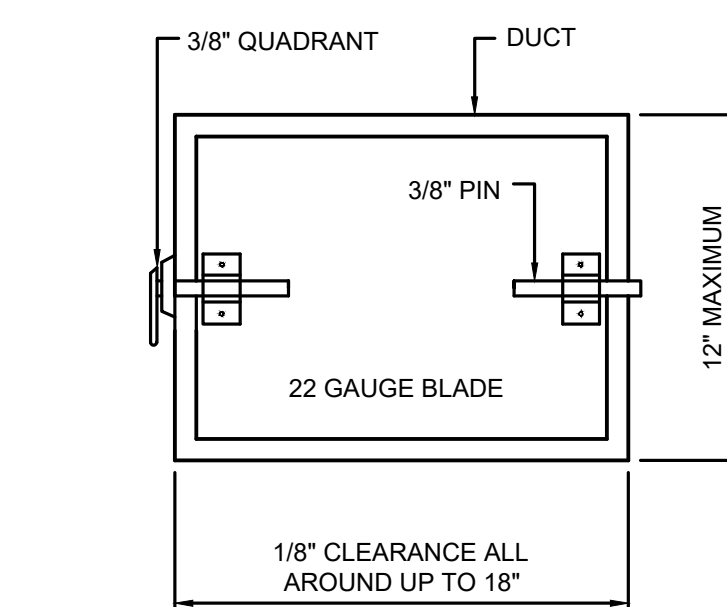
**NON-ISOLATED WIND AND SEISMIC RESTRAINT RAIL ON CONCRETE**  
NOT TO SCALE



**ATTACHMENT OF ISOLATED WIND AND SEISMIC ROOF CURB ON LEVEL OR PITCHED BEAM-SUPPORTED ROOF**  
NOT TO SCALE



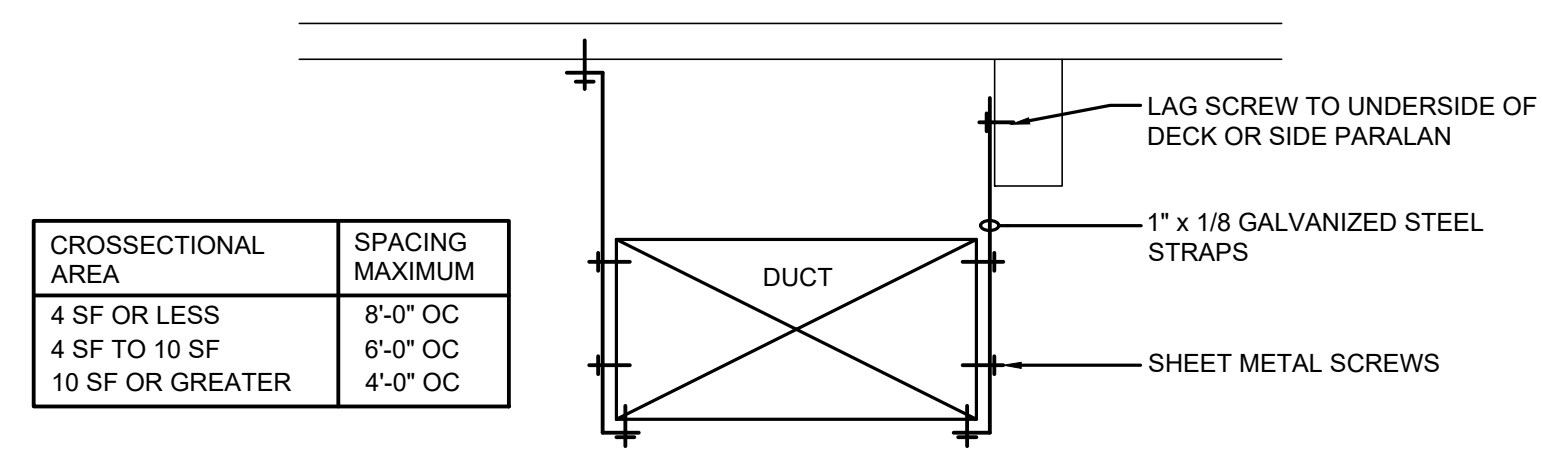
**FIG. C ROUND DAMPER**



**FIG. A RECTANGULAR DAMPER**

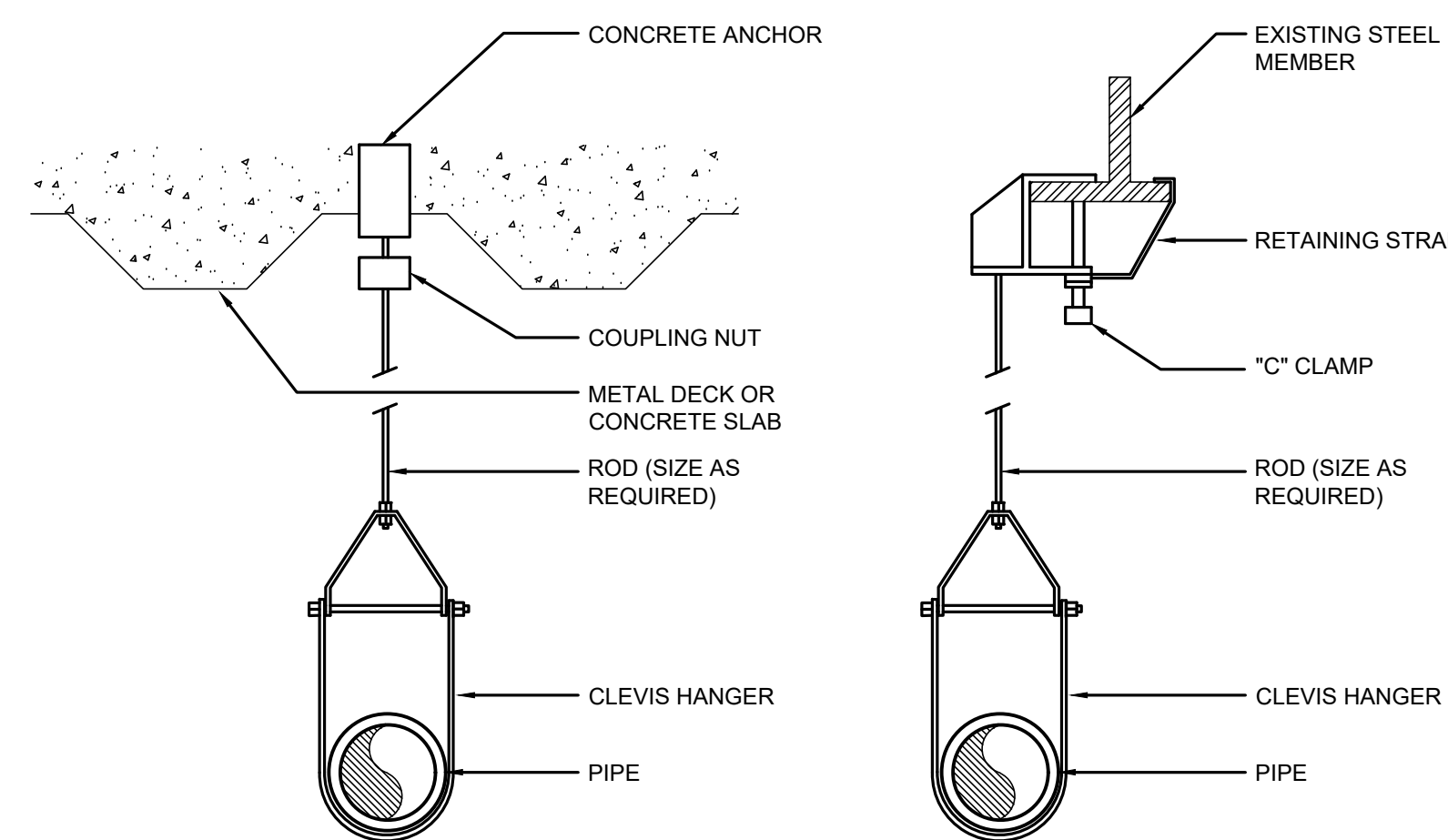
RECTANGULAR VOLUME DAMPERS EXCEEDING 1.5 SF SHALL BE OPPOSED BLADE DAMPER TYPE

**VOLUME DAMPERS - SINGLE BLADE TYPE**  
NOT TO SCALE



**DUCT HANGER DETAIL**  
NOT TO SCALE

CROSSSECTIONAL AREA	SPACING MAXIMUM
4 SF OR LESS	8'-0" OC
4 SF TO 10 SF	6'-0" OC
10 SF OR GREATER	4'-0" OC

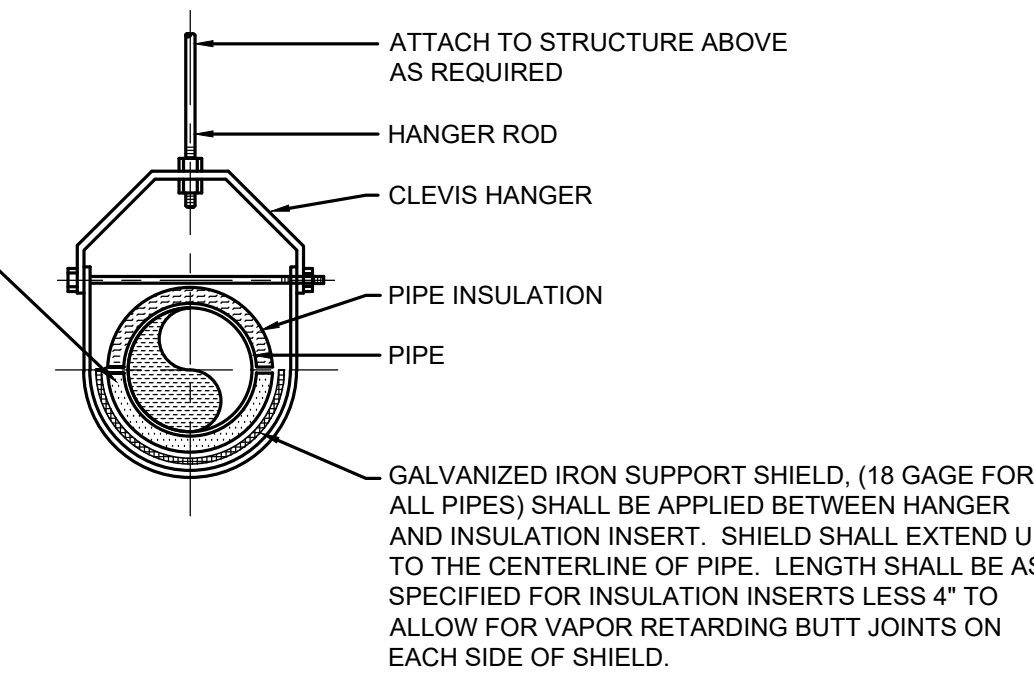


NOTE: CLEVIS HANGERS REQUIRED ON PIPING LARGER THAN 1\"/>

NOTE: HANGERS AND COMPONENTS SHALL BE COATED WITH RUST RESISTANT PRIMER

HYDRONIC OR STEAM PIPING: PROVIDE INSULATION INSERT BETWEEN SUPPORT SHIELD AND PIPING AS SCHEDULED BELOW. FABRICATE INSERT OF HYDRONIC CALCIUM SILICATE (JOHNS MANVILLE THERMO-12 GOLD) OR OTHER HEAVY DENSITY INSULATING MATERIAL SUITABLE FOR TEMPERATURE. PROVIDE VAPOR RETARDER SEALS WHERE REQUIRED. INSERTS SHALL BE OF EQUAL THICKNESS TO THE ADJOINING INSULATION. INSERTS SHALL NOT BE LESS THAN THE FOLLOWING LENGTHS:

PIPE SIZE	INSERT LENGTH
3/4" TO 2-1/2"	12"
3" TO 6"	16"
8" TO 10"	18"
12" & LARGER	22"

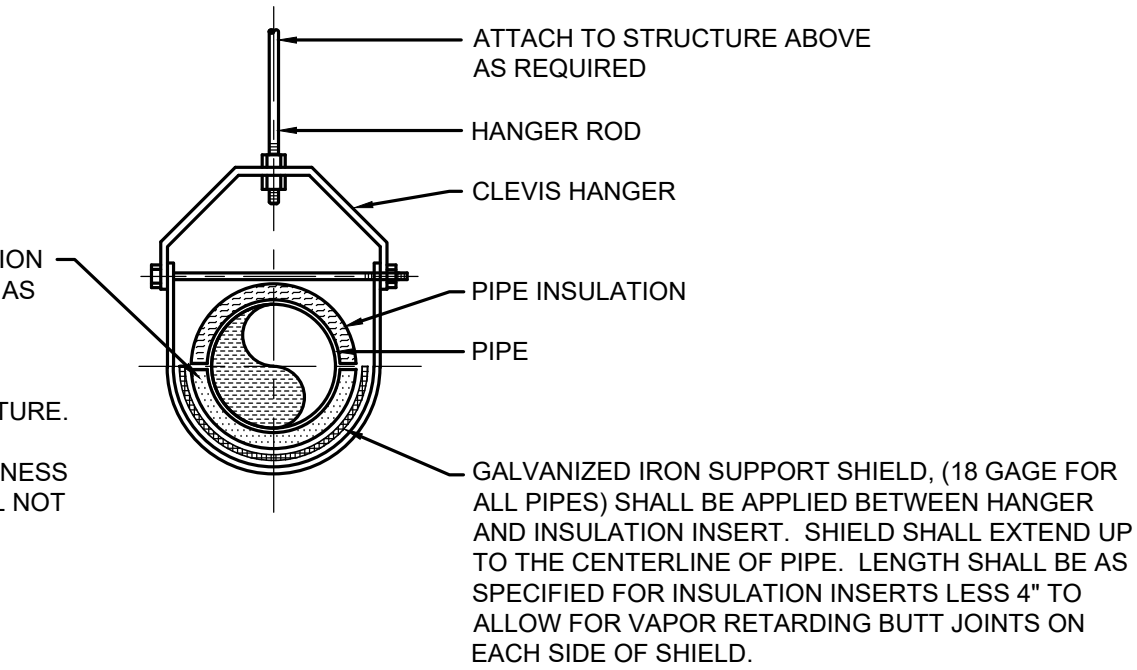


**PIPE HANGER & INSULATED PIPE DETAIL**  
NOT TO SCALE

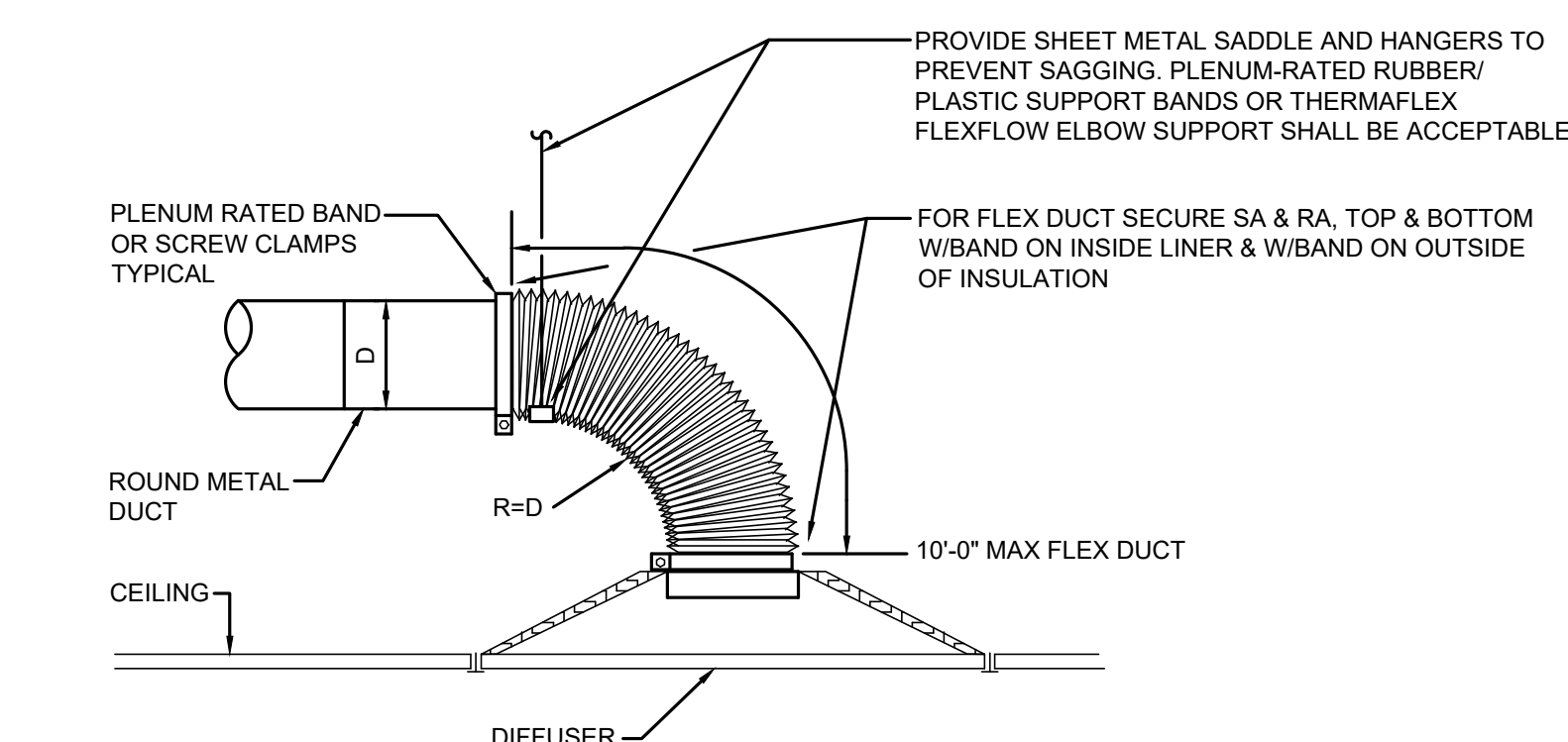
NOTE: HANGERS AND COMPONENTS SHALL BE COATED WITH RUST RESISTANT PRIMER

HYDRONIC OR STEAM PIPING: PROVIDE INSULATION INSERT BETWEEN SUPPORT SHIELD AND PIPING AS SCHEDULED BELOW. FABRICATE INSERT OF HYDRONIC CALCIUM SILICATE (JOHNS MANVILLE THERMO-12 GOLD) OR OTHER HEAVY DENSITY INSULATING MATERIAL SUITABLE FOR TEMPERATURE. PROVIDE VAPOR RETARDER SEALS WHERE REQUIRED. INSERTS SHALL BE OF EQUAL THICKNESS TO THE ADJOINING INSULATION. INSERTS SHALL NOT BE LESS THAN THE FOLLOWING LENGTHS:

PIPE SIZE	INSERT LENGTH
3/4" TO 2-1/2"	12"
3" TO 6"	16"
8" TO 10"	18"
12" & LARGER	22"



**PIPE HANGER & INSULATED PIPE DETAIL**  
NOT TO SCALE



**TYPICAL DIFFUSER CONNECTION DETAIL**  
NOT TO SCALE



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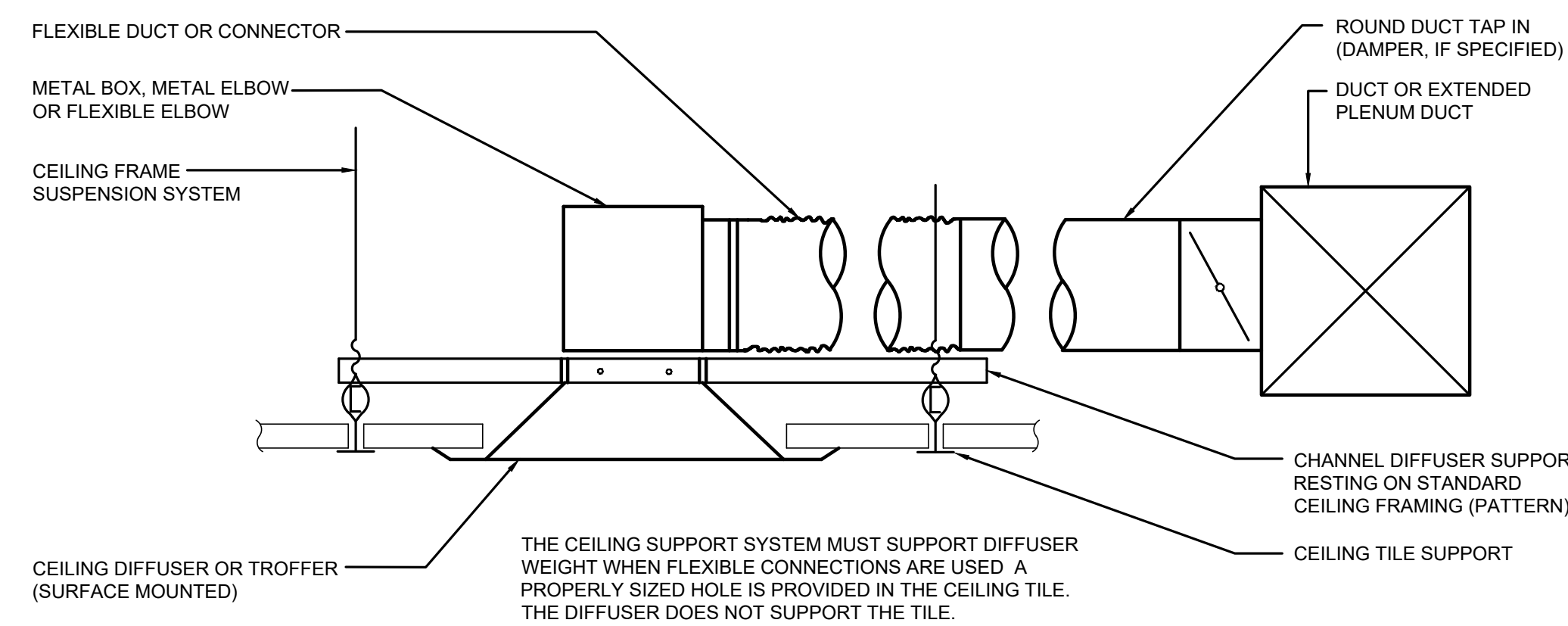
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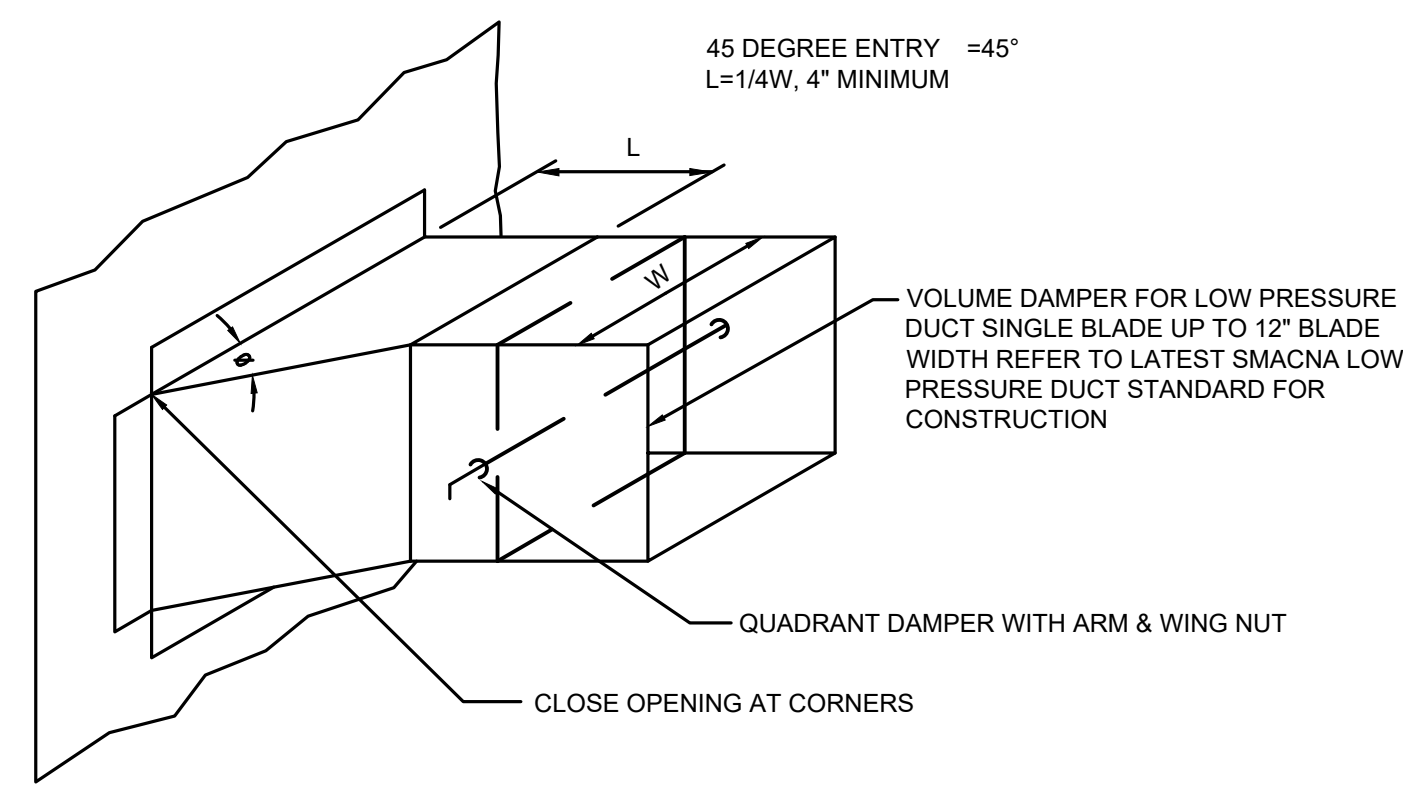
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MECHANICAL SCHEDULES

Revisions  
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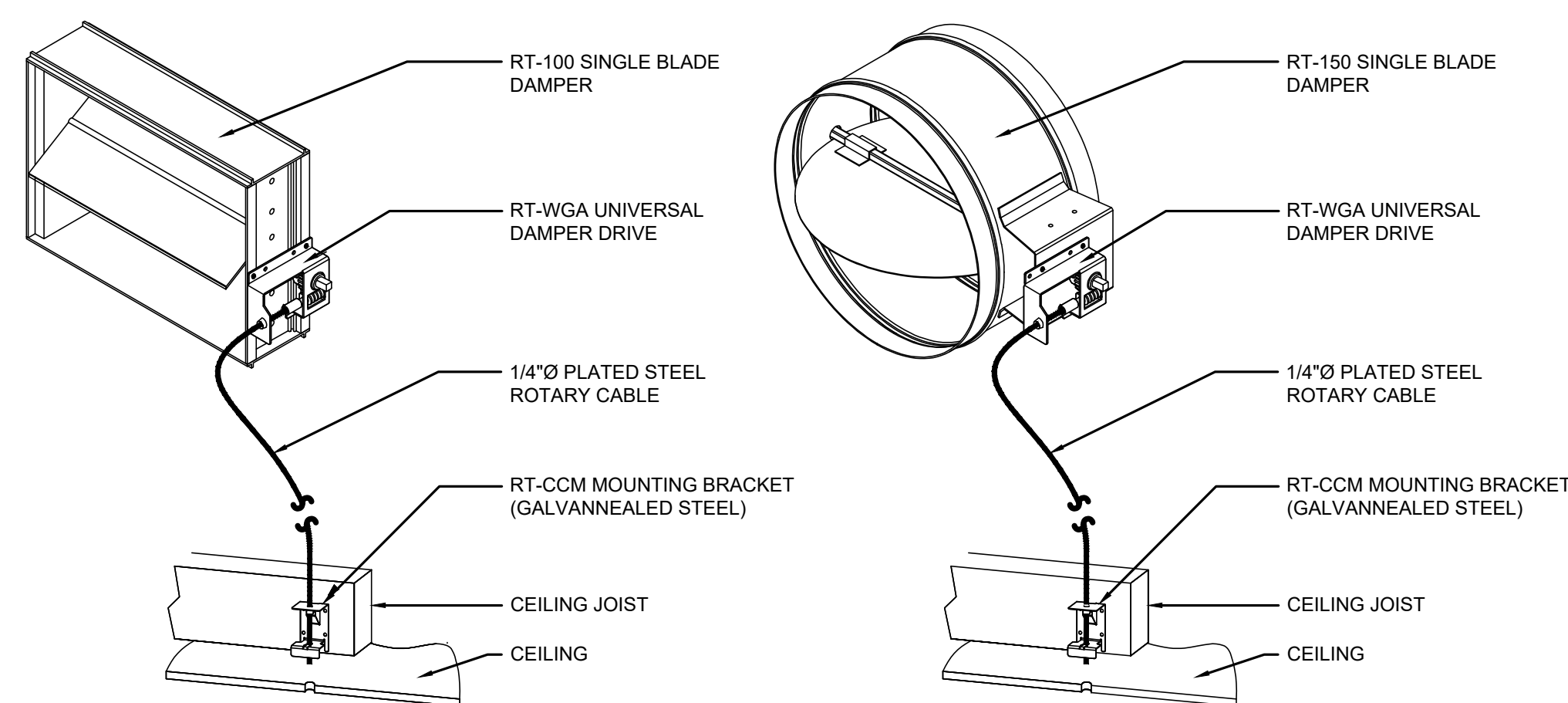
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M5.1



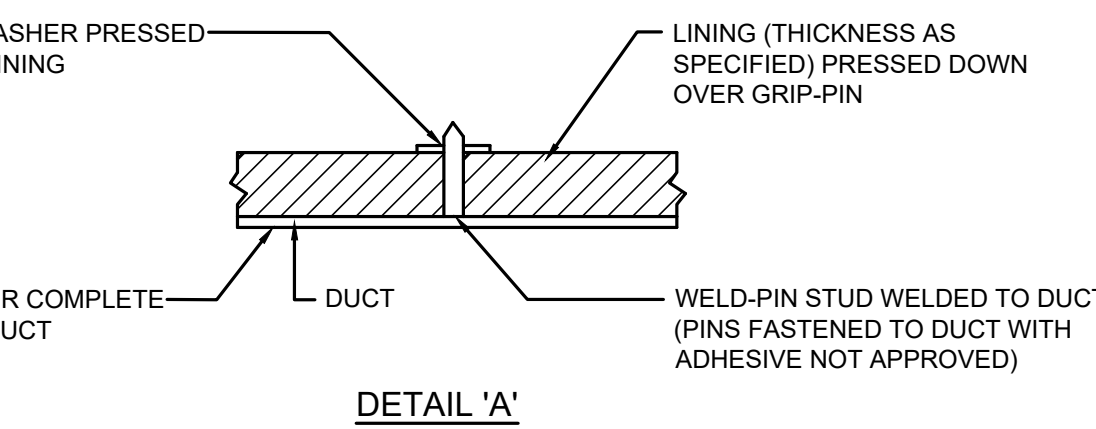
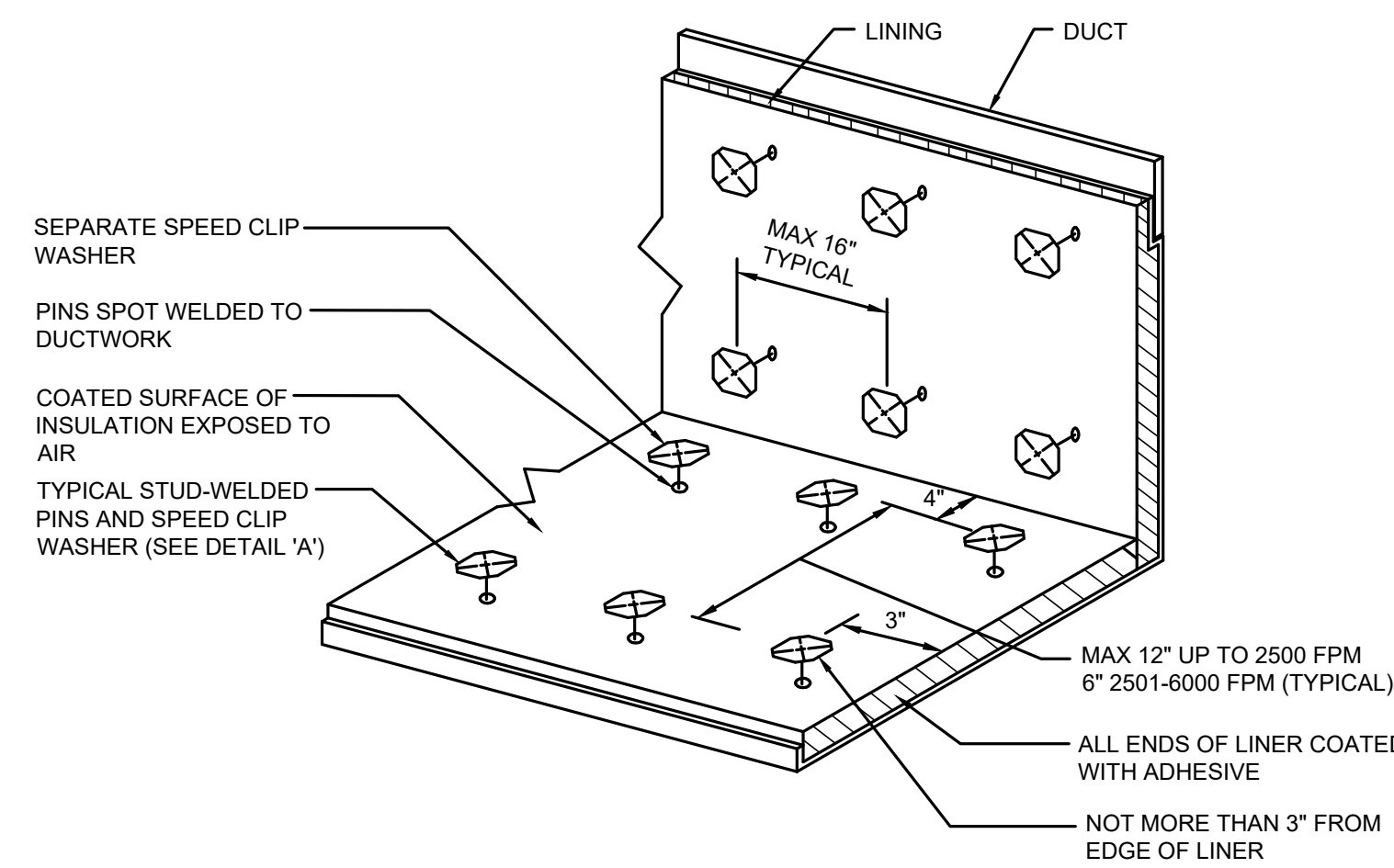
**CEILING DIFFUSER BRANCH DUCT DETAIL**  
NOT TO SCALE



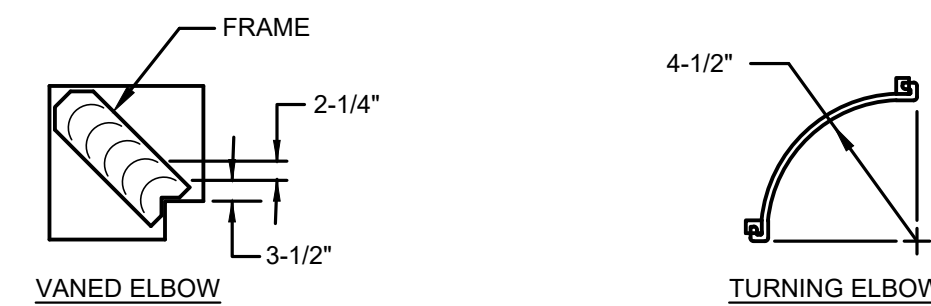
**BRANCH CONNECTION DETAIL**  
NOT TO SCALE



**REMOTE DAMPER SYSTEM - SPECIALTY CEILING MOUNTED DETAIL**  
NOT TO SCALE  
BASIS OF DESIGN: METROPOLITAN AIR TECHNOLOGY

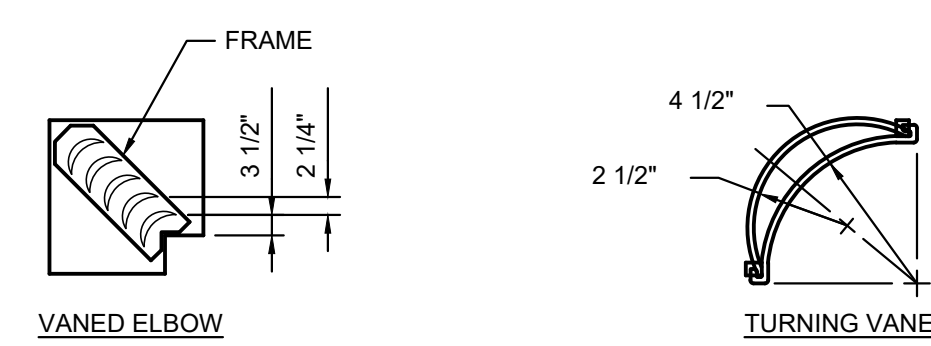


**SOUND LINING INSTALLATION DETAIL**  
NOT TO SCALE



- NOTES:**
1. LOCKING LUGS INTEGRAL WITH VANE.
  2. MAXIMUM UNSUPPORTED VANE LENGTH 36\"/>

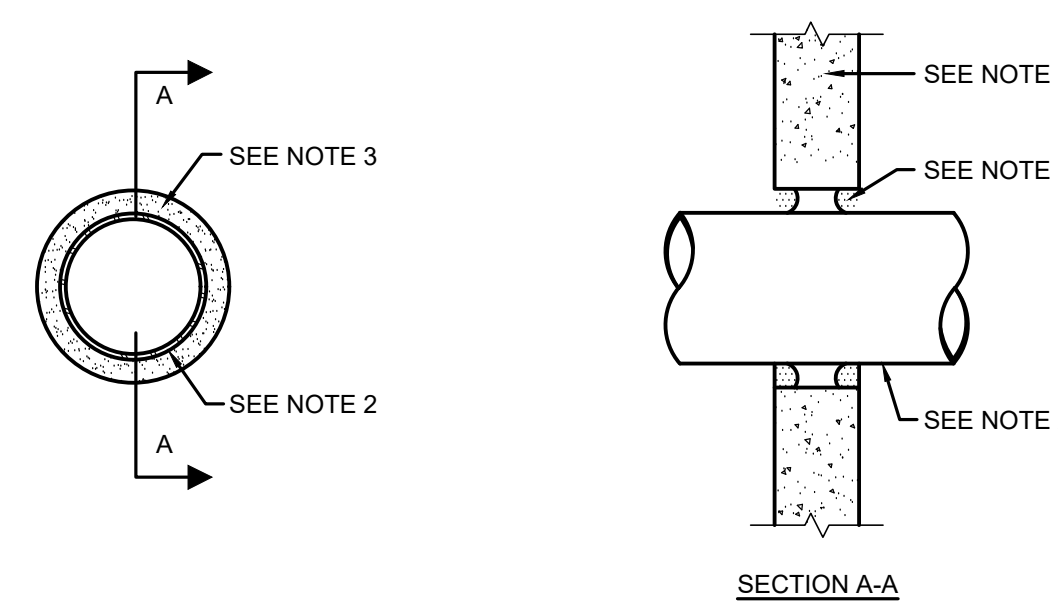
**SINGLE THICKNESS**  
DUCTWORK UNDER 1200 FPM



**DOUBLE THICKNESS**  
DUCTWORK OVER 1200 FPM

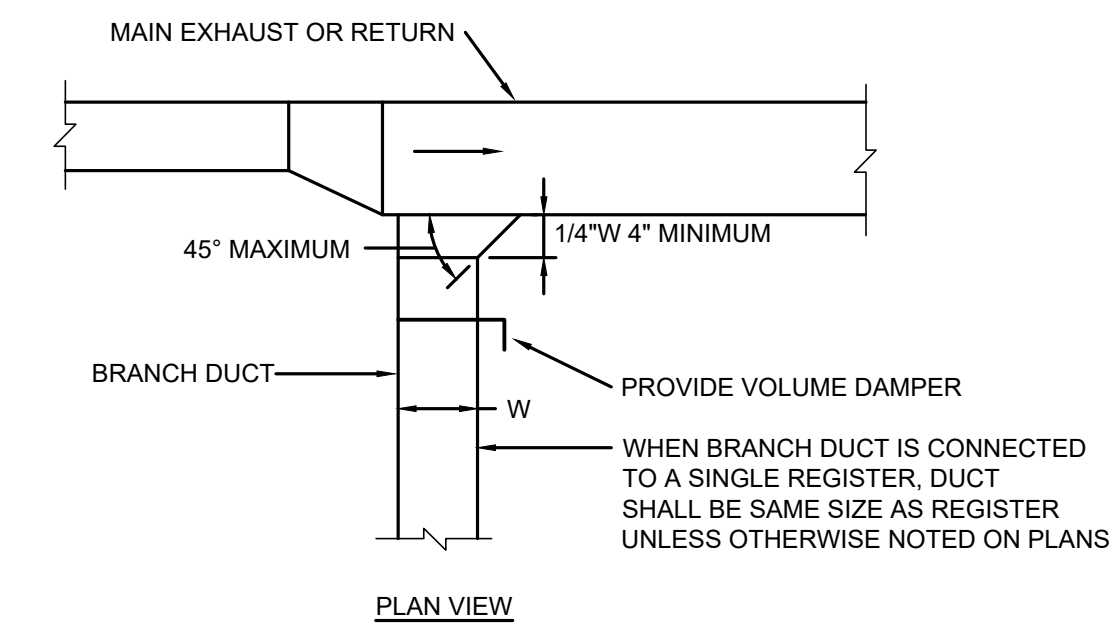
- NOTES:**
1. LOCKING LUGS INTEGRAL WITH VANE.
  2. MAXIMUM UNSUPPORTED VANE LENGTH 48\"/>

**TURNING VANES FOR SQUARE ELBOWS**  
NOT TO SCALE

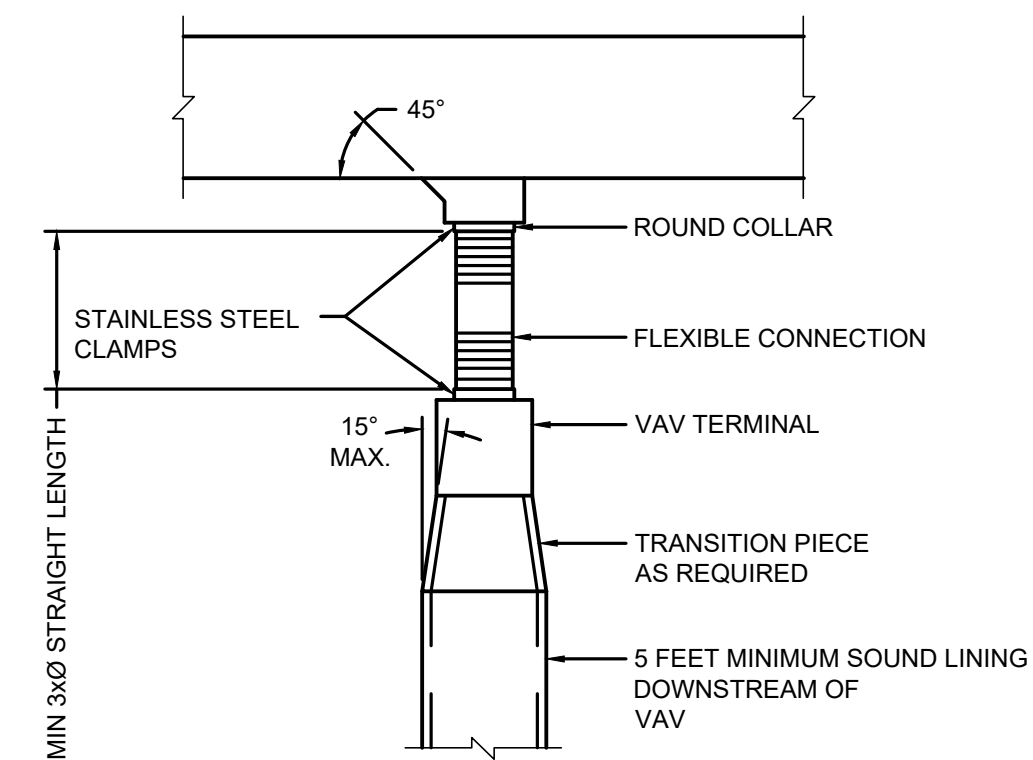


- NOTES:**
1. FLOOR OR WALL ASSEMBLY - MIN 4 1/2 INCH THICK LIGHTWEIGHT OR NORMAL WEIGHT (100-150 PCF) CONCRETE. WALL MAY ALSO BE CONSTRUCTED OF ANY UL CLASSIFIED CONCRETE BLOCKS. MAX DIAMETER OF THROUGH OPENING IS 12 1/4 INCH. SEE CONCRETE BLOCKS (CAZT) CATEGORY IN FIRE RESISTANCE DIRECTORY FOR NAMES OF MANUFACTURERS.
  2. PIPE OR CONDUIT - NOMINAL 10 INCH DIAMETER (OR SMALLER) SCHEDULE 10 (OR HEAVIER) STEEL PIPE. NOMINAL 8 INCH DIAMETER (OR SMALLER) RIGID STEEL CONDUIT. NOMINAL 4 INCH DIAMETER (OR SMALLER) STEEL EMT OR NOMINAL 3 INCH DIAMETER (OR SMALLER) TYPE L (OR HEAVIER) COPPER PIPE. MAXIMUM ONE PIPE OR CONDUIT PER THROUGH OPENING. MAXIMUM ANNULAR SPACE BETWEEN PIPE OR CONDUIT AND EDGE OF OPENING IS 3/4 INCH MINIMUM ANNULAR SPACE BETWEEN PIPE OR CONDUIT AND EDGE OF OPENING IS 0 INCH (POINT CONTACT). PIPE OR CONDUIT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR OR WALL.
  3. FILL, VOID OR CAVITY MATERIALS - PUTTY; MOLDABLE PUTTY MATERIAL KNEADED BY HAND AND APPLIED TO FILL ANNULAR SPACE TO A MINIMUM DEPTH OF 1 INCH, FLUSH WITH TOP SURFACE OF FLOOR. IN WALL ASSEMBLIES, REQUIRED PUTTY THICKNESS TO BE INSTALLED SYMMETRICALLY ON BOTH SIDES OF WALL. MINNESOTA MINING & MFG. CO. - CP 25WB - BEARING THE UL CLASSIFICATION MARKING

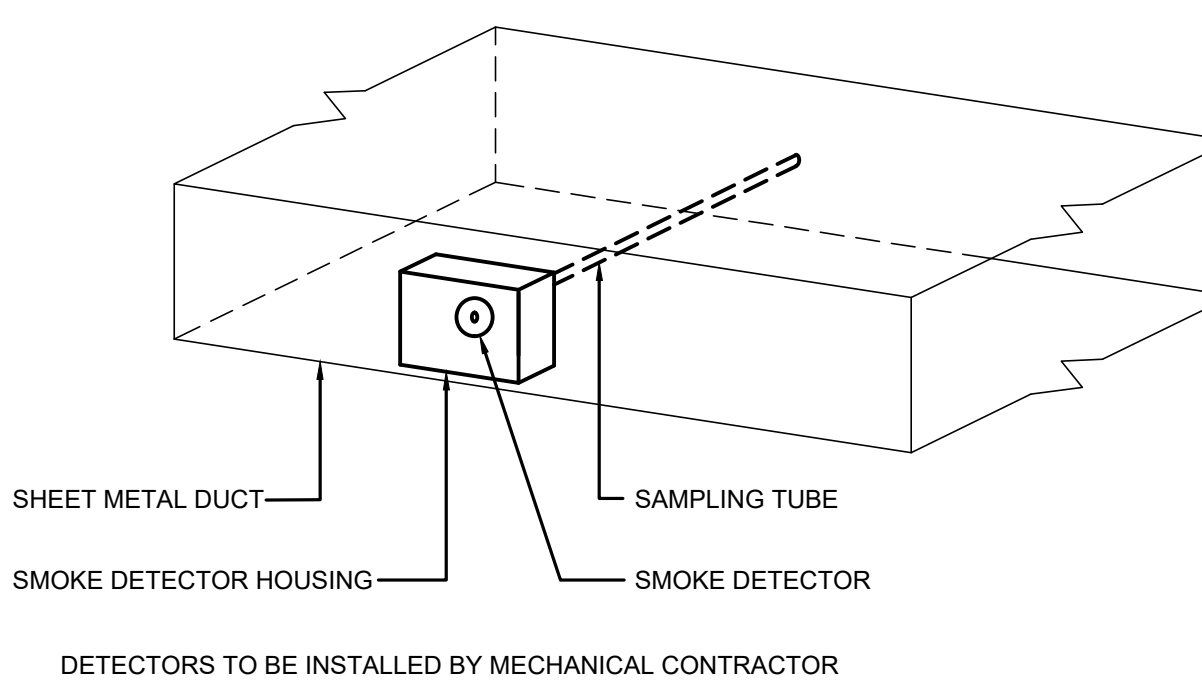
**PIPE PENETRATION FIRE STOPPING DETAIL AT FIRE RATED MASONRY CORRIDOR PARTITION**  
NOT TO SCALE



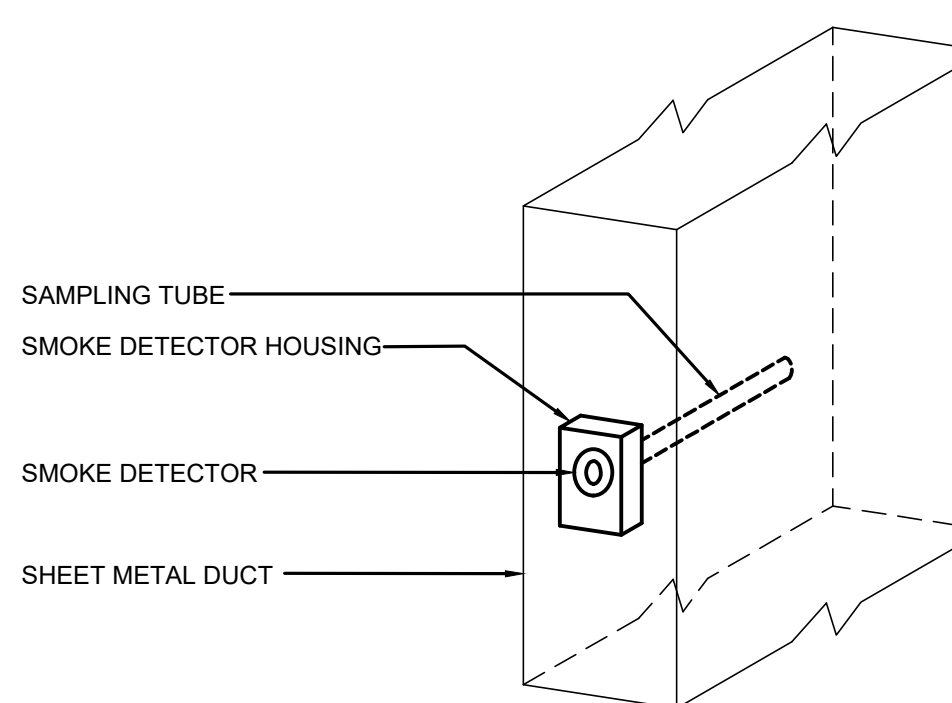
**EXHAUST AND/OR RETURN BRANCH DUCT DETAIL**  
NOT TO SCALE



**BRANCH CONNECTION TO VAV TERMINAL DETAIL**  
NOT TO SCALE



**HORIZONTAL DUCT DETECTOR INSTALLATION DETAIL**  
NOT TO SCALE



**VERTICAL DUCT DETECTOR INSTALLATION DETAIL**  
NOT TO SCALE



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NY-214039200 PA-84073202X  
Date: 04/06/21  
Author: G. E. Duthie Jr.  
Checker: W. D. Hopkins III

**FVHD** architects planners  
**Fraytak Veisz Hopkins Duthie P.C.**  
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Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 19433

Project Name  
**Addition to West Windsor-Plainsboro High School North**

Project Owner Name  
**West Windsor-Plainsboro Regional School District**

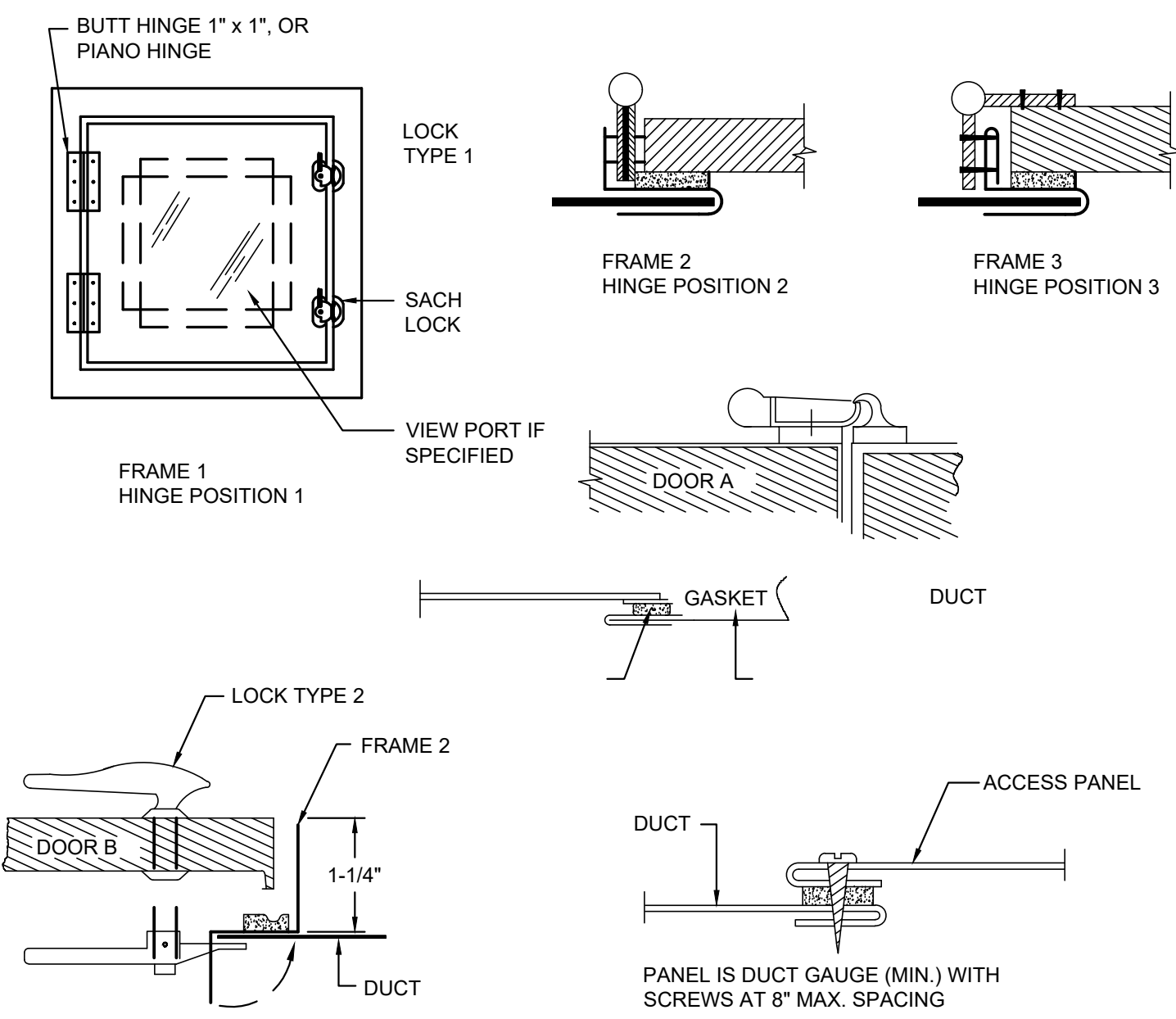
Project Location  
**90 Grovers Mill Road, Plainsboro, New Jersey 08536**

Project Number  
**5063K1**  
Project Date  
**04.06.2021**  
Checked By  
**JDS**  
Drawn By  
**HKP**  
Scale  
**AS SHOWN**

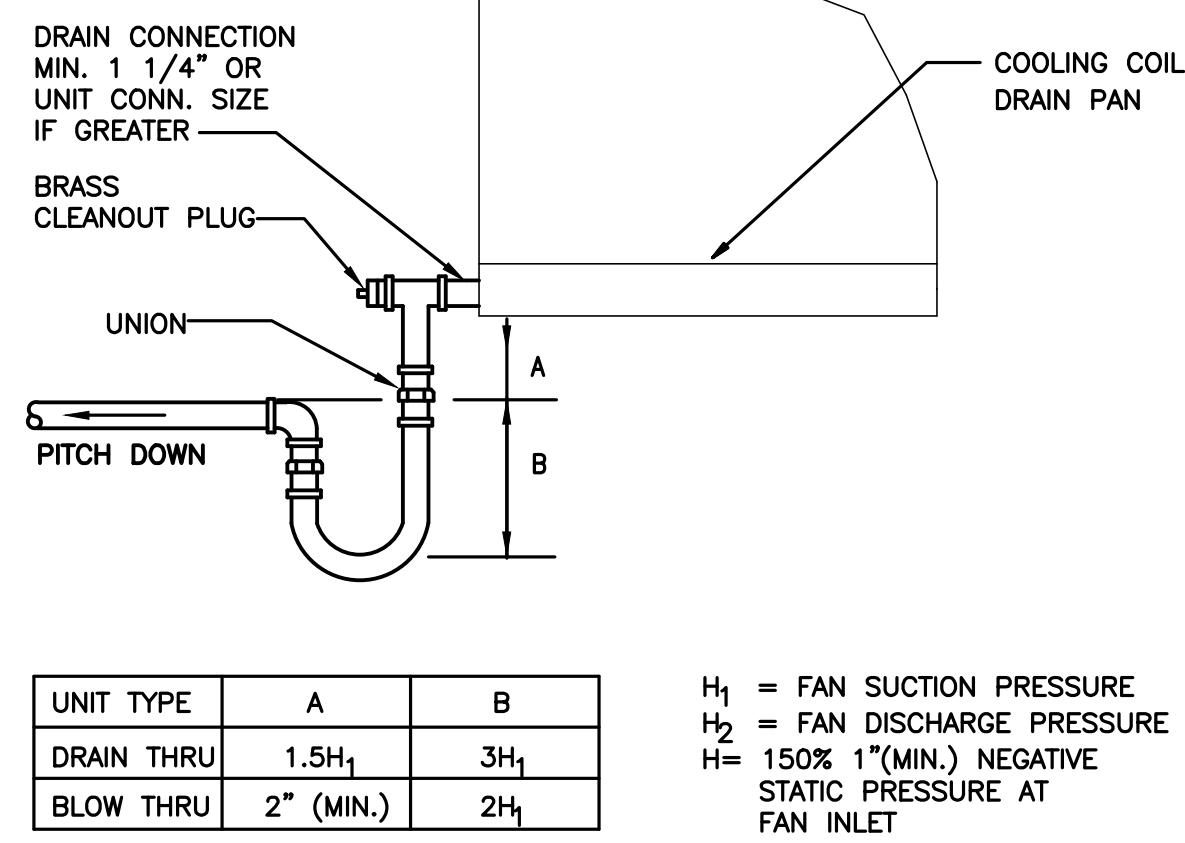
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**MECHANICAL DETAILS**

No.	Date	Description
04.06.21		Issued for Bid

Drawing Number  
**M5.2**



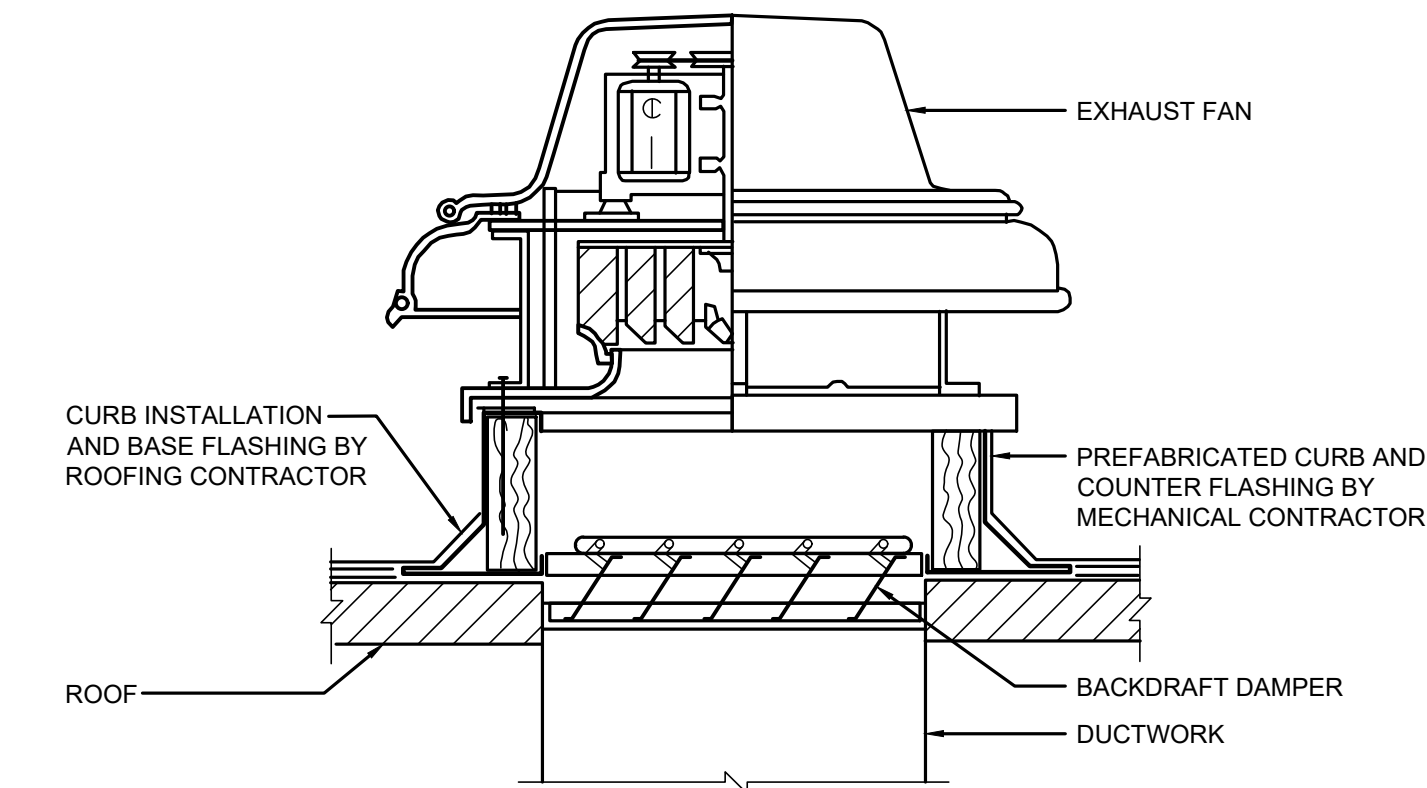
**DUCT ACCESS DOORS**  
NOT TO SCALE



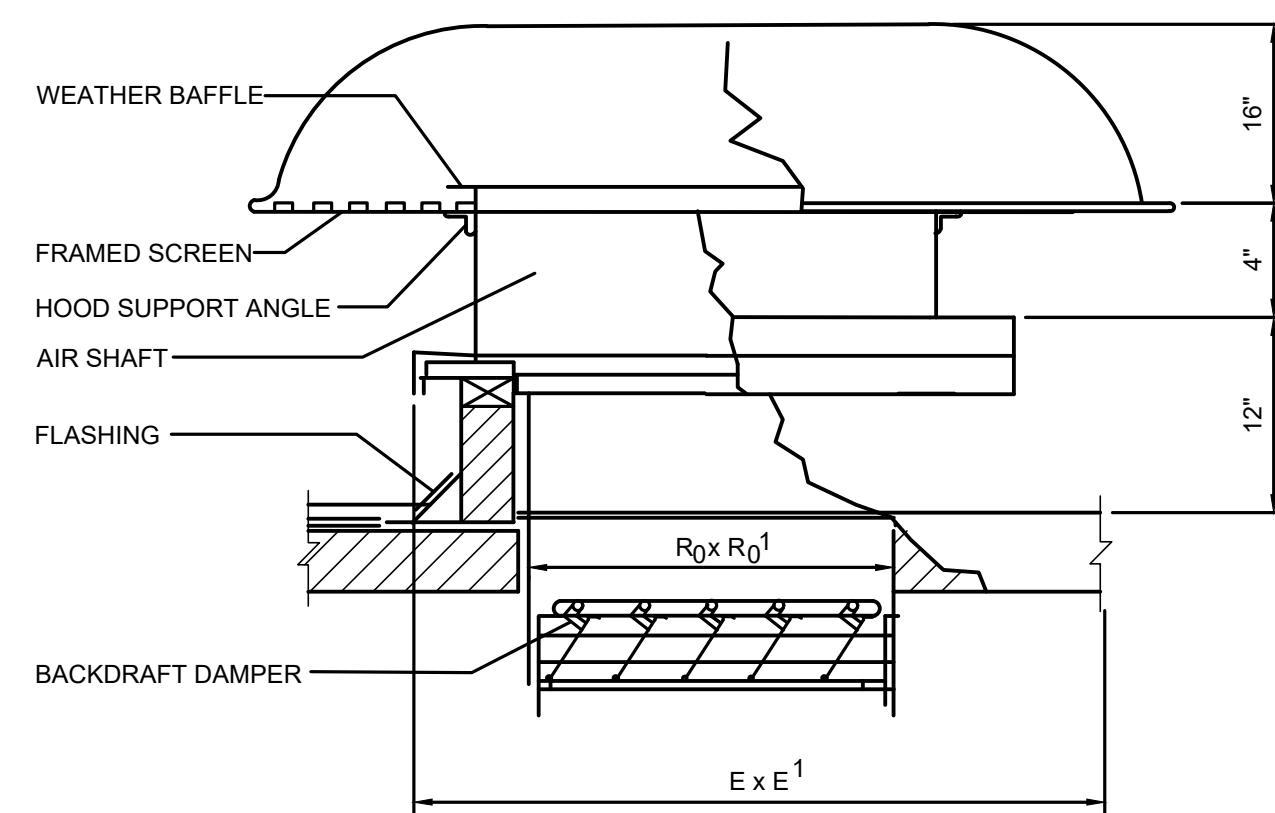
UNIT TYPE	A	B
DRAIN THRU	1.5H ₁	3H ₁
BLOW THRU	2" (MIN.)	2H ₁

H₁ = FAN SUCTION PRESSURE  
H₂ = FAN DISCHARGE PRESSURE  
H = 150% 1" (MIN.) NEGATIVE STATIC PRESSURE AT FAN INLET

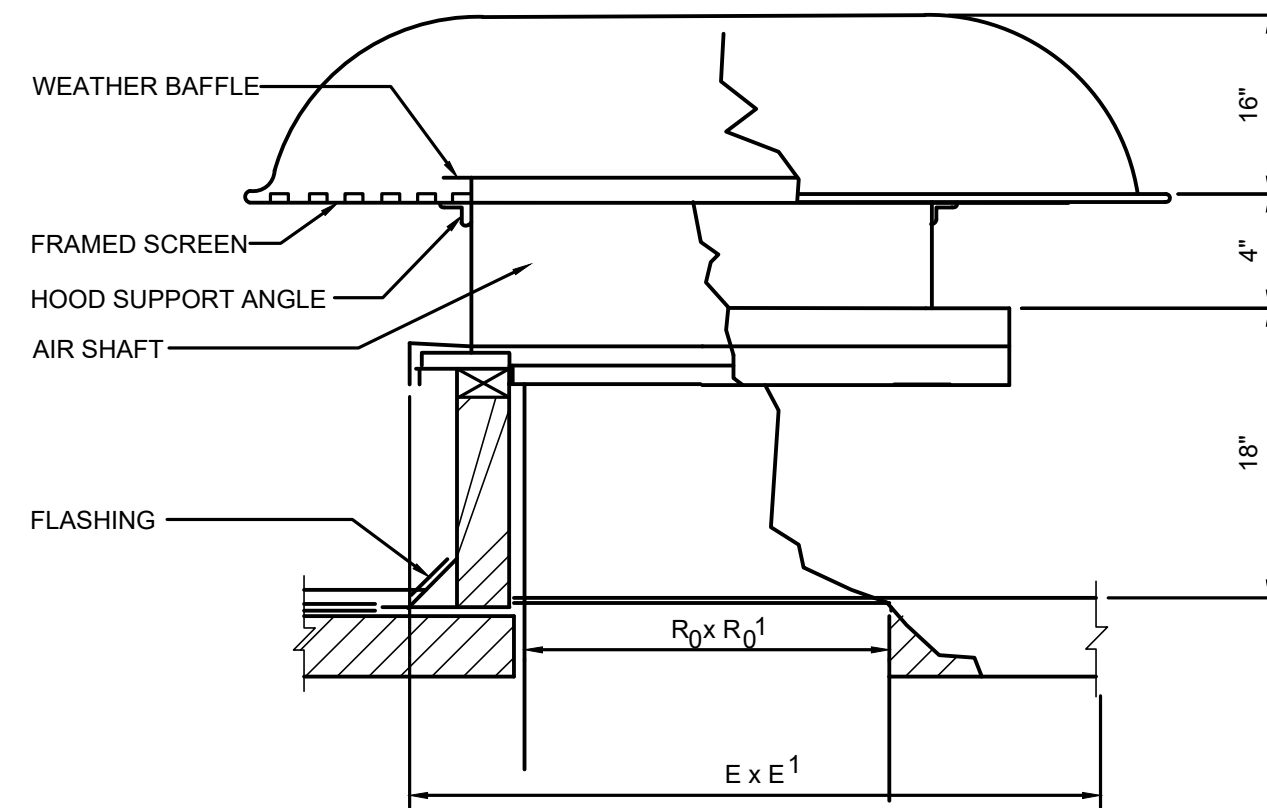
**CONDENSATE TRAP DETAIL**  
NOT TO SCALE



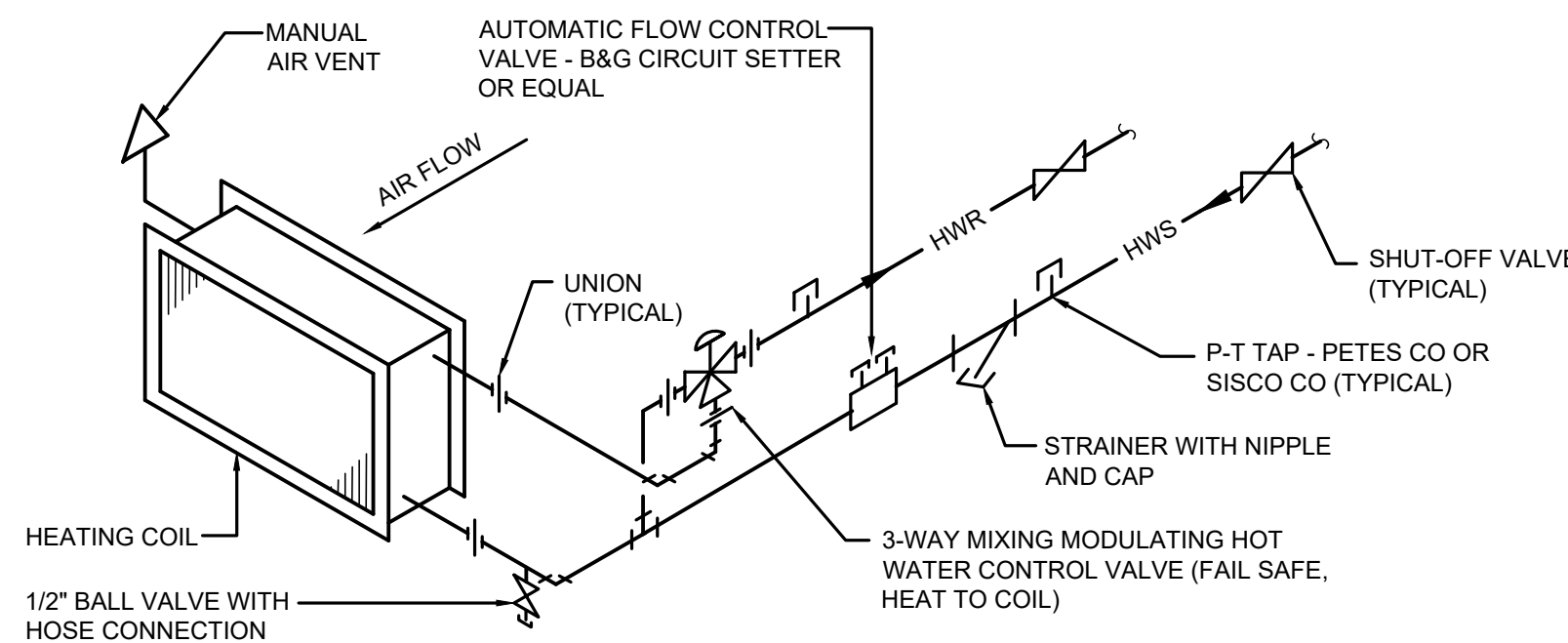
**ROOF MOUNTED EXHAUST FAN DETAIL**  
NOT TO SCALE



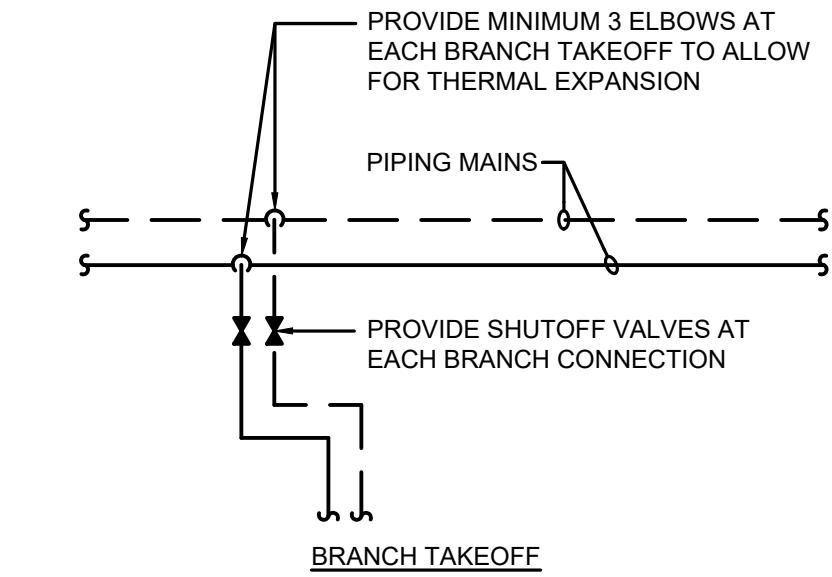
**GRAVITY VENT DETAIL**  
NOT TO SCALE



**OA INTAKE DETAIL**  
NOT TO SCALE

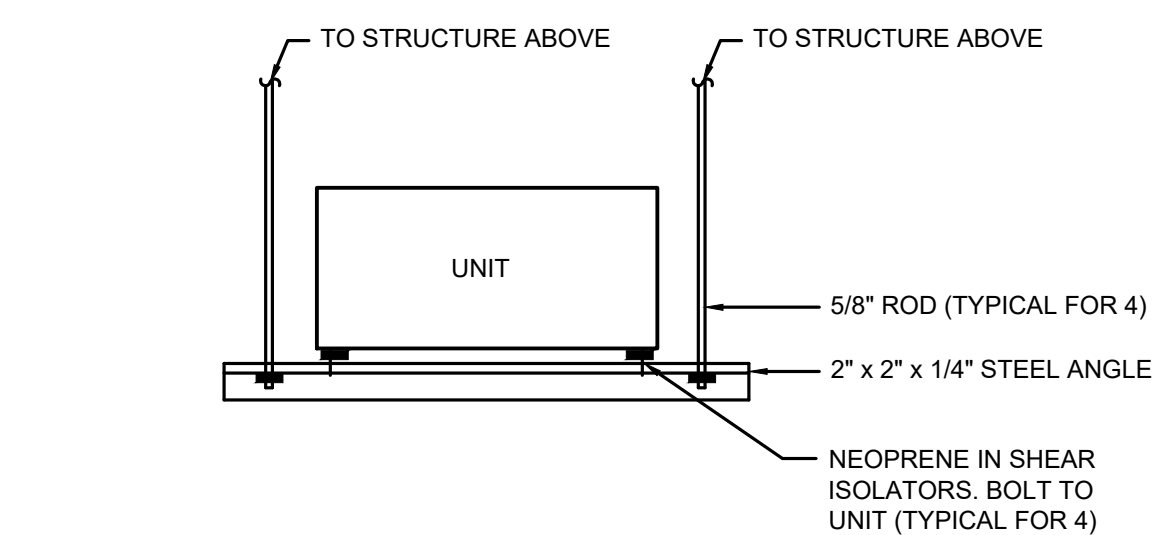


**HOT WATER HEATING COIL DETAIL**  
NOT TO SCALE

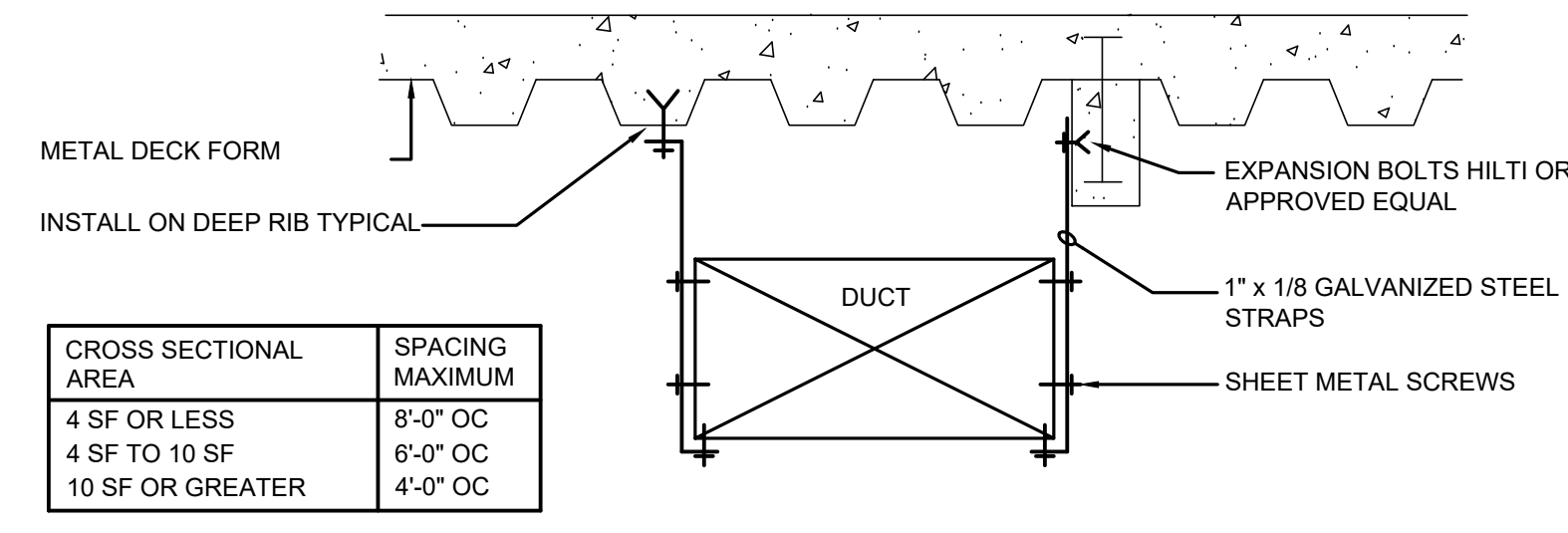


REFERENCE: ASHRAE SYSTEMS & EQUIPMENT HANDBOOK, PIPE BENDS & LOOPS  
L = 6.225 x SQUARE ROOT (AAE x D) = 2H + W  
AAE = ANCHOR-TO-ANCHOR EXPANSION IN INCHES  
D = PIPE OUTSIDE DIAMETER IN INCHES  
AAE = LUTE x AAD  
LUTE = UNIT THERMAL EXPANSION IN INCHES PER 100 FEET FOR STEEL AND/OR COPPER PIPE  
AAD = ANCHOR-TO-ANCHOR DISTANCE IN FEET  
H = EXPANSION LOOP HEIGHT IN FEET  
W = EXPANSION LOOP WIDTH IN FEET

**PIPE EXPANSION DETAIL**  
NOT TO SCALE

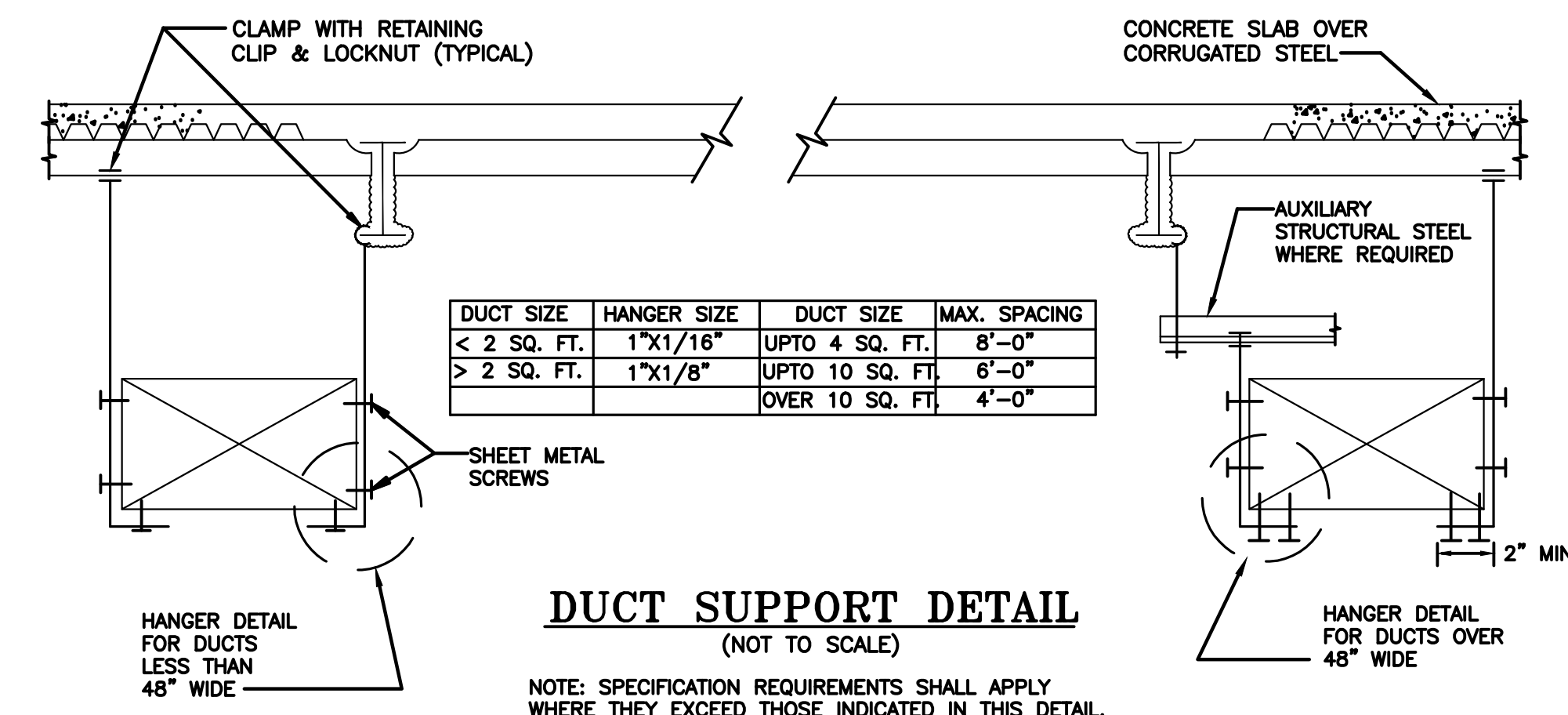


**UNIT MOUNTING SUPPORT DETAIL**  
NOT TO SCALE



CROSS SECTIONAL AREA	SPACING MAXIMUM
4 SF OR LESS	8'-0" OC
4 SF TO 10 SF	6'-0" OC
10 SF OR GREATER	4'-0" OC

**DUCT HANGER DETAIL**  
NOT TO SCALE



DUCT SIZE	HANGER SIZE	DUCT SIZE	MAX. SPACING
< 2 SQ. FT.	1"x1/16"	UP TO 4 SQ. FT.	8'-0"
> 2 SQ. FT.	1"x1/8"	UP TO 10 SQ. FT.	6'-0"
		OVER 10 SQ. FT.	4'-0"

**DUCT SUPPORT DETAIL**  
(NOT TO SCALE)

NOTE: SPECIFICATION REQUIREMENTS SHALL APPLY WHERE THEY EXCEED THOSE INDICATED IN THIS DETAIL.



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Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 17053

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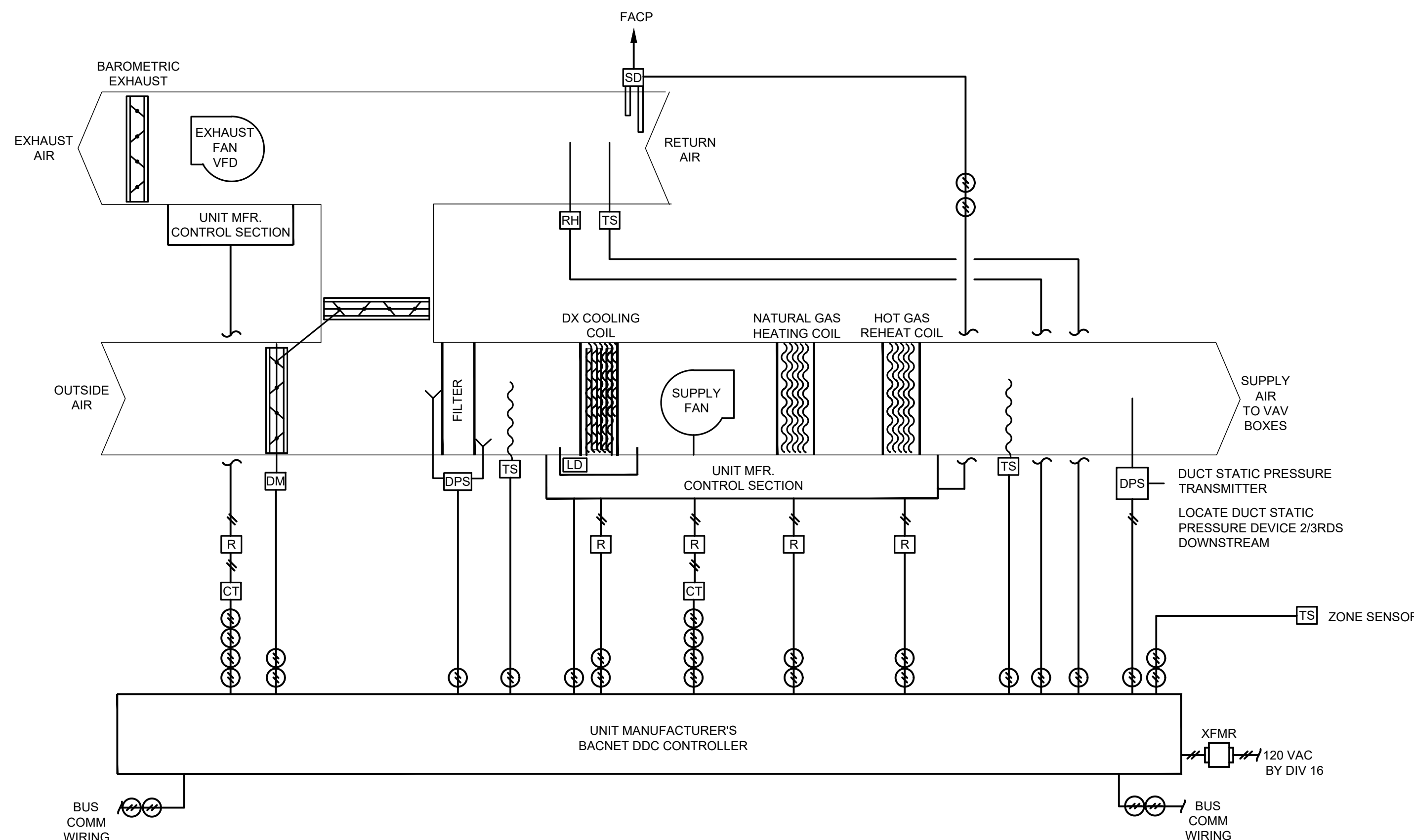
Drawing Name  
**MECHANICAL DETAILS**

Revisions  
No. Date Description  
04.06.21 Issued for Bid

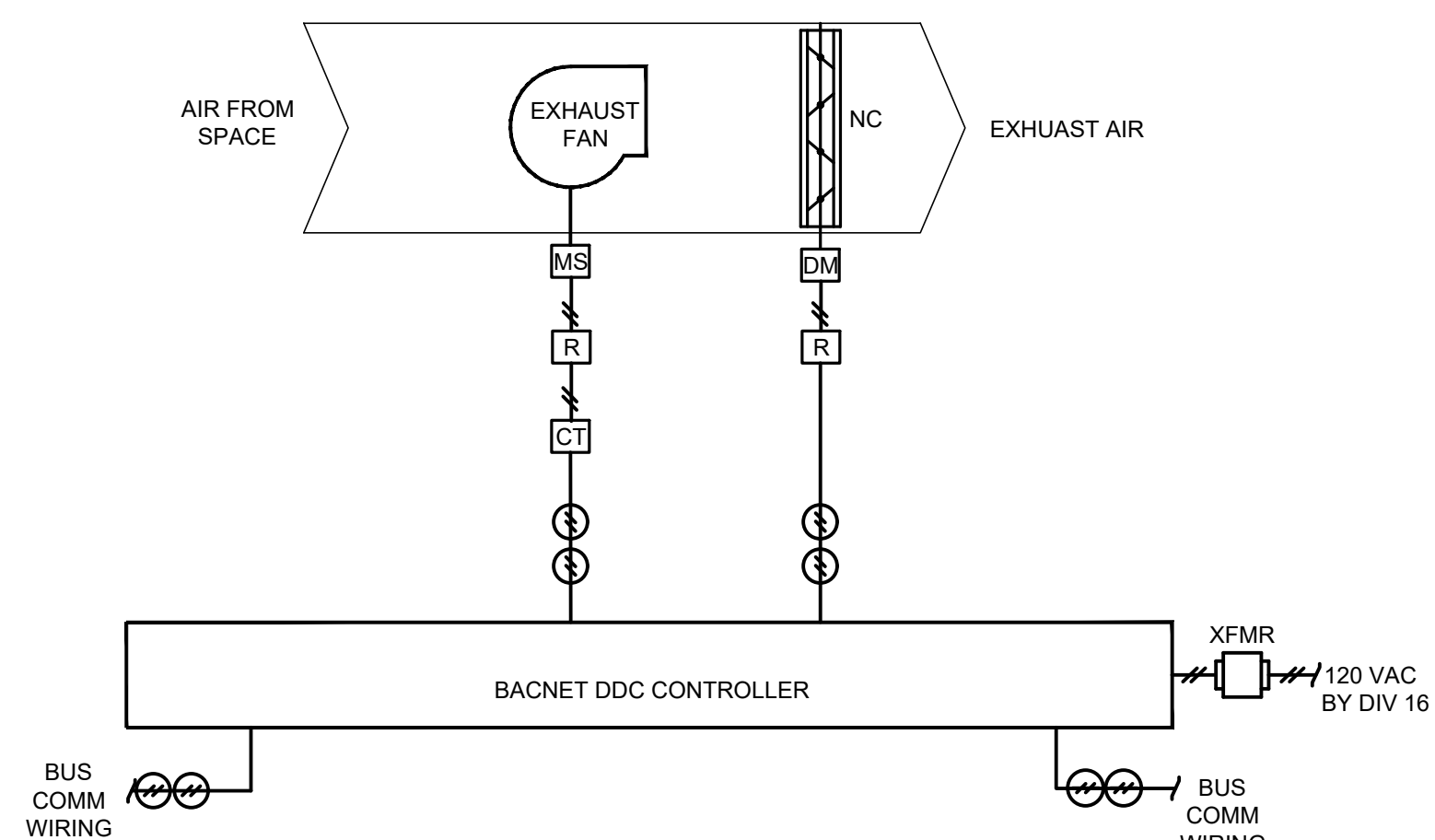
Drawing Number  
**M5.3**

	UNSHIELDED CABLE - 2 CONDUCTOR CONTROL WIRING #14 AWG MIN		INDOOR AIR QUALITY
	SHIELDED CABLE - 2 CONDUCTOR CONTROL WIRING #18 AWG MIN		MAGNETIC STARTER
	DATA COMMUNICATION BUS (2) 2 CONDUCTOR #24 AWG MIN CABLE		VARIABLE FREQUENCY DRIVE
	AQUASTAT		CONTROL RELAY
	AIR FLOW STATION (ANALOG)		CURRENT SENSOR (ANALOG)
	FLOW SWITCH (DIGITAL)		CURRENT SWITCH (DIGITAL)
	CONTROL VALVE ACTUATOR		TEMPERATURE SENSOR (PROBE/IMMERSION)
	DAMPER MOTOR/ACTUATOR		TEMPERATURE SENSOR (AVERAGING)
	DIFFERENTIAL PRESSURE SENSOR (ANALOG)		TEMPERATURE SENSOR (WALL)
	END SWITCH		DIFFERENTIAL PRESSURE SENSOR (DIGITAL)
	LEAK DETECTOR (WATER)		SMOKE DETECTOR (DUCT)
	LOW-LIMIT SWITCH		TEMPERATURE CONTROLLER
	RELATIVE HUMIDITY SENSOR		120/24VAC TRANSFORMER
	CARBON-MONOXIDE SENSOR		XFMR
	CARBON-DIOXIDE SENSOR		
	HUMIDITY SENSOR		

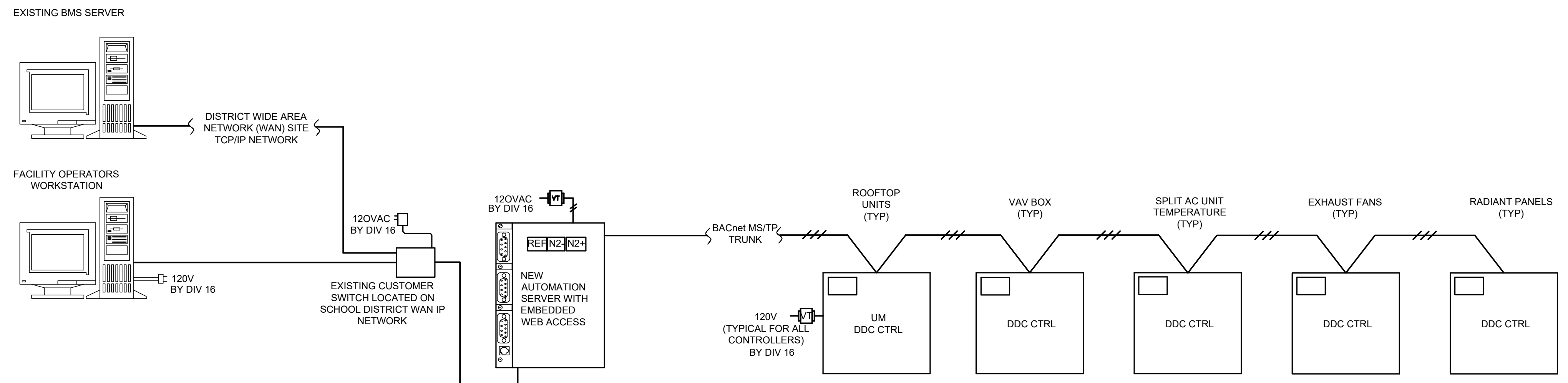
**ATC LEGEND**  
NOT TO SCALE



**ATC DIAGRAM - ROOFTOP UNITS**  
DDC CONTROLLER AND SENSING DEVICES SHALL BE PROVIDED BY THE ROOFTOP UNIT MANUFACTURER. FACTORY PROVIDED TECHNICIAN SHALL PROVIDE UNIT/BMS START-UP AND COORDINATION WITH THE ATC CONTRACTOR FOR FULL INTEGRATION INTO THE BUILDING AUTOMATION SYSTEM.  
NOT TO SCALE



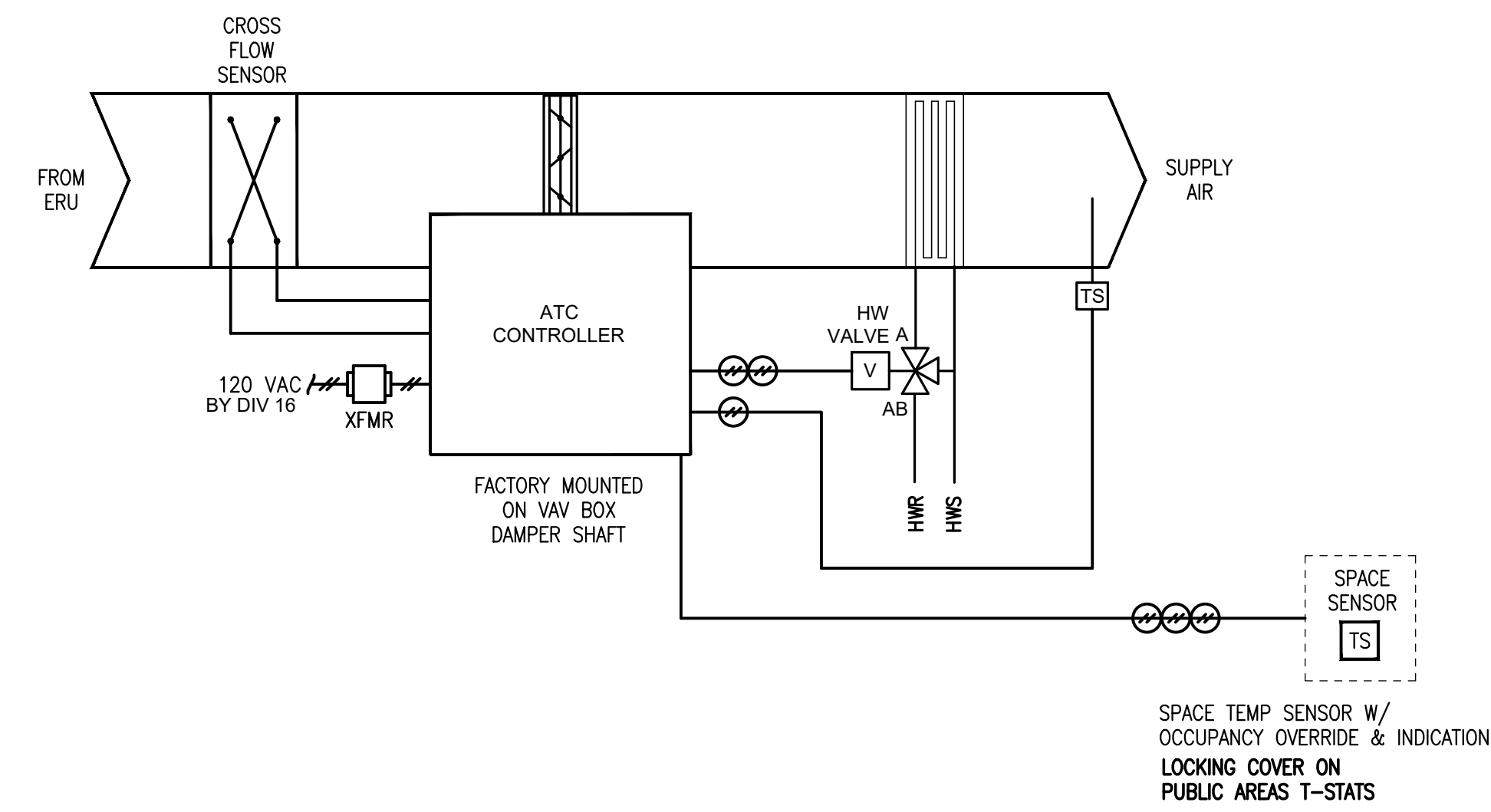
**ATC DIAGRAM - NEW EXHAUST FAN**  
DDC CONTROLLER AND CONTROL DEVICES SHALL BE PROVIDED BY THE ATC CONTRACTOR.  
NOT TO SCALE



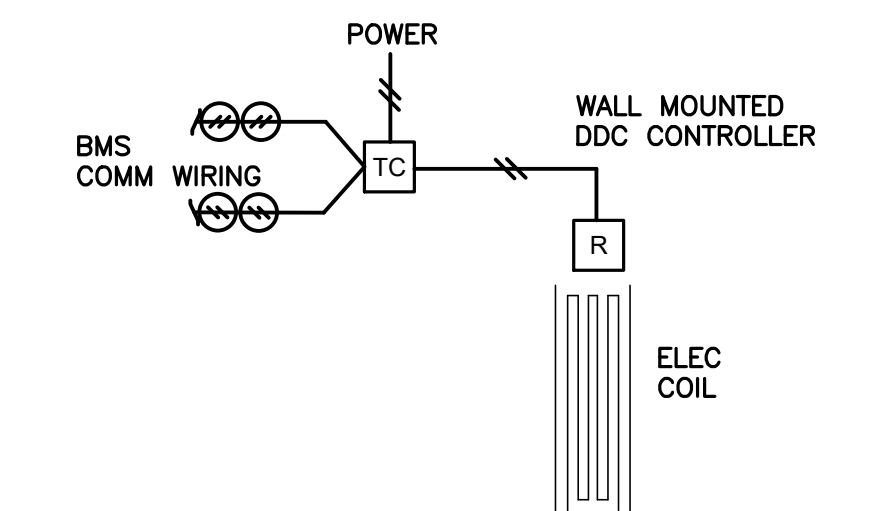
ALL NEW EQUIPMENT FOR THIS PROJECT SHALL BE AN EXTENSION OF THE EXISTING SCHNEIDER ELECTRIC ECOSTRUXURE BUILDING OPERATION (EBO) BUILDING AUTOMATION SYSTEM.

NOTE REFER TO SPECIFICATION FOR ASSOCIATED WORK. ALL COMPONENTS ARE INDICATED ARE NEW OTHERWISE NOTED.

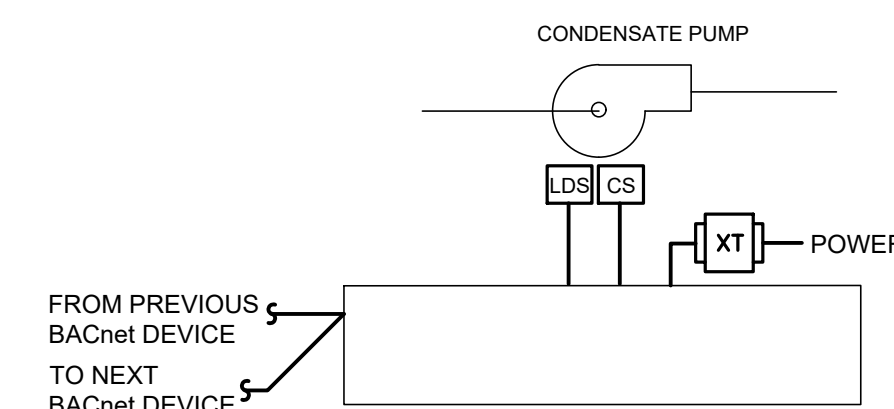
**ATC DIAGRAM - NETWORK SYSTEM ARCHITECT**  
NOT TO SCALE



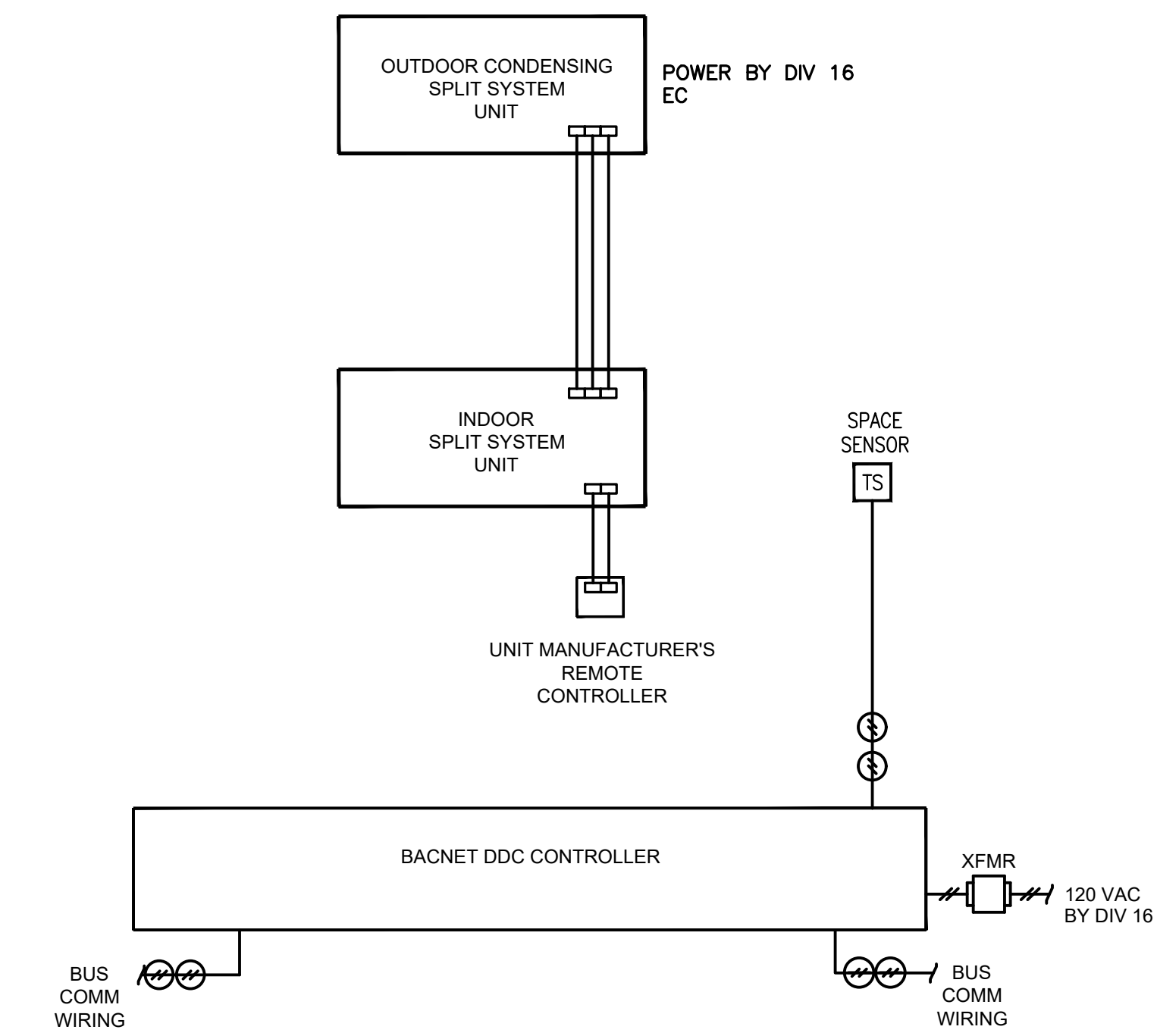
**ATC DIAGRAM - VARIABLE AIR VOLUME BOXES WITH HOT WATER REHEAT COIL**  
ATC CONTRACTOR SHALL PROVIDE DDC CONTROLLER AND SENSING DEVICES. DDC CONTROLLER TO BE SHIPPED TO THE VAV BOX FACTORY FOR FACTORY MOUNTING OF CONTROLLERS.  
NOT TO SCALE



**ATC DIAGRAM - ELECTRIC RADIANT PANEL**  
NOT TO SCALE



**ATC DIAGRAM - CONDENSATE PUMP MONITORING AND ALARM**  
NOT TO SCALE



**ATC DIAGRAM - AC SPLIT SYSTEMS**  
UNIT CONTROLLER AND SENSING DEVICES SHALL BE PROVIDED BY THE SPLIT SYSTEM UNIT MANUFACTURER. ATC CONTRACTOR SHALL PROVIDE A SEPARATE SPACE TEMPERATURE SENSOR FOR MONITORING.  
NOT TO SCALE

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Pennsylvania: F V H D P C . C O M

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**04.06.2021**

Checked By  
**JDS**

Drawn By  
**HKP**

Scale  
**AS SHOWN**

Drawing Name  
**MECHANICAL DETAILS**

No.	Date	Description
04.06.21		Issued for Bid

Drawing Number  
**M5.4**

C:\3K-2020-2547-V-Windbor-Plainsboro Regional School District\3547\2041-West Hs North Addition And Bldg CADD\DWG\Phase 1 - New Addition\3547\2041-M5.4.dwg

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LIGHT FIXTURE SCHEDULE - CONTINUED										
TYPE	SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NO.	LAMPS	BALLAST		VOLTS	TOTAL WATTAGE	MOUNTING
						TYPE	QTY			
A		2X4 RECESSED LED FIXTURE WITH ACRYLIC LENS, WHITE HOUSING AND nLIGHT AIR CONTROLS.	LITHONIA	2VTL4-48L-ADPT-MVOLT-EZ1-LP835-NLIGHTAIR2-RES7PDT	INCLUDED	LD	1	UNV	38.4	RECESSED
AD		2X4 RECESSED LED FIXTURE WITH ACRYLIC LENS, WHITE HOUSING AND nLIGHT AIR CONTROLS FOR USE WITH EM GENERATOR.	LITHONIA	2VTL4-48L-ADPT-MVOLT-EZ1-LP835-NLIGHTAIR2-RES7PDT-EM. SEE NOTE 2.	INCLUDED	LD	1	UNV	38.4	RECESSED
B		2X4 RECESSED LED FIXTURE WITH ACRYLIC LENS, WHITE HOUSING AND nLIGHT AIR CONTROLS.	LITHONIA	2GTL-F4-48L-FW-A12125-MVOLT-EZ1-35K-NLIGHTAIR2-RES7PDT.	INCLUDED	LD	1	UNV	35.8	RECESSED
BE		2X4 RECESSED LED FIXTURE WITH ACRYLIC LENS, WHITE HOUSING AND nLIGHT AIR CONTROLS.	LITHONIA	2GTL-F4-48L-FW-A12125-MVOLT-EZ1-35K-NLIGHTAIR2-RES7PDT. SEE NOTE 2.	INCLUDED	LD	1	UNV	35.8	RECESSED
C		6" SQUARE RECESSED LED CANOPY LIGHTING FIXTURE WITH REMOTE DRIVER MOUNTED ABOVE NEAREST ACOUSTICAL TILE CEILING, WHITE TRIM AND WET LOCATION LABEL.	LITHONIA	LDN8SQ-35 #0-LS8-AR-LS-MVOLT-EZ1-SF-NLTAIR2SEE. NOTE 5.	INCLUDED	LD	1	UNV	35.1	RECESSED
D		EDGE LIT LED EXIT SIGN WITH RED LETTERS AND BRUSHED NICKEL TRIM, CEILING OR WALL MOUNTED WITH OR WITHOUT DIRECTIONAL ARROWS AS SHOWN ON PLANS, AND SELF-DIAGNOSTICS.	LITHONIA	EDG-1/2-R/RMR-EL-SD	INCLUDED	L	1	UNV	4.5	CEILING OR WALL

**NOTES:**

- VERIFY ALL CEILING TYPES AND OPERATING VOLTAGE PRIOR TO ORDERING FIXTURES
- WHERE FIXTURES ARE DESIGNATED WITH THE LETTERS "EM" OR SHADED, REFER TO NORMAL-EMERGENCY LIGHTING RELAY WIRING DIAGRAM FOR GENERATOR CONNECTED EMERGENCY LIGHTING AND PROVIDE ALL REQUIRED EQUIPMENT AND RELAYS.
- MOUNT PENDANT FIXTURES 8'-0" AFF UNLESS OTHERWISE DIRECTED BY THE ARCHITECT. CONFIRM THE HEIGHT OF ALL SUSPENDED FIXTURES WITH THE ARCHITECT PRIOR TO INSTALLATION.
- ALL LAMPS SHALL HAVE A COLOR TEMPERATURE OF 3500 DEG. KELVIN AND A CRI OF 85 UNLESS SPECIFICALLY NOTED OTHERWISE.
- LIGHTING FIXTURES SPECIFIED IN THE ABOVE SCHEDULE ARE "BASIS OF DESIGN". EQUIVALENT MANUFACTURER'S SHALL BE "AS ACCEPTED BY THE ENGINEER"

**DRIVER TYPES**

L LED DRIVER  
LD LED DIMMING DRIVER  
LOW LED COLD WEATHER DRIVER

**EMERGENCY FIXTURES**

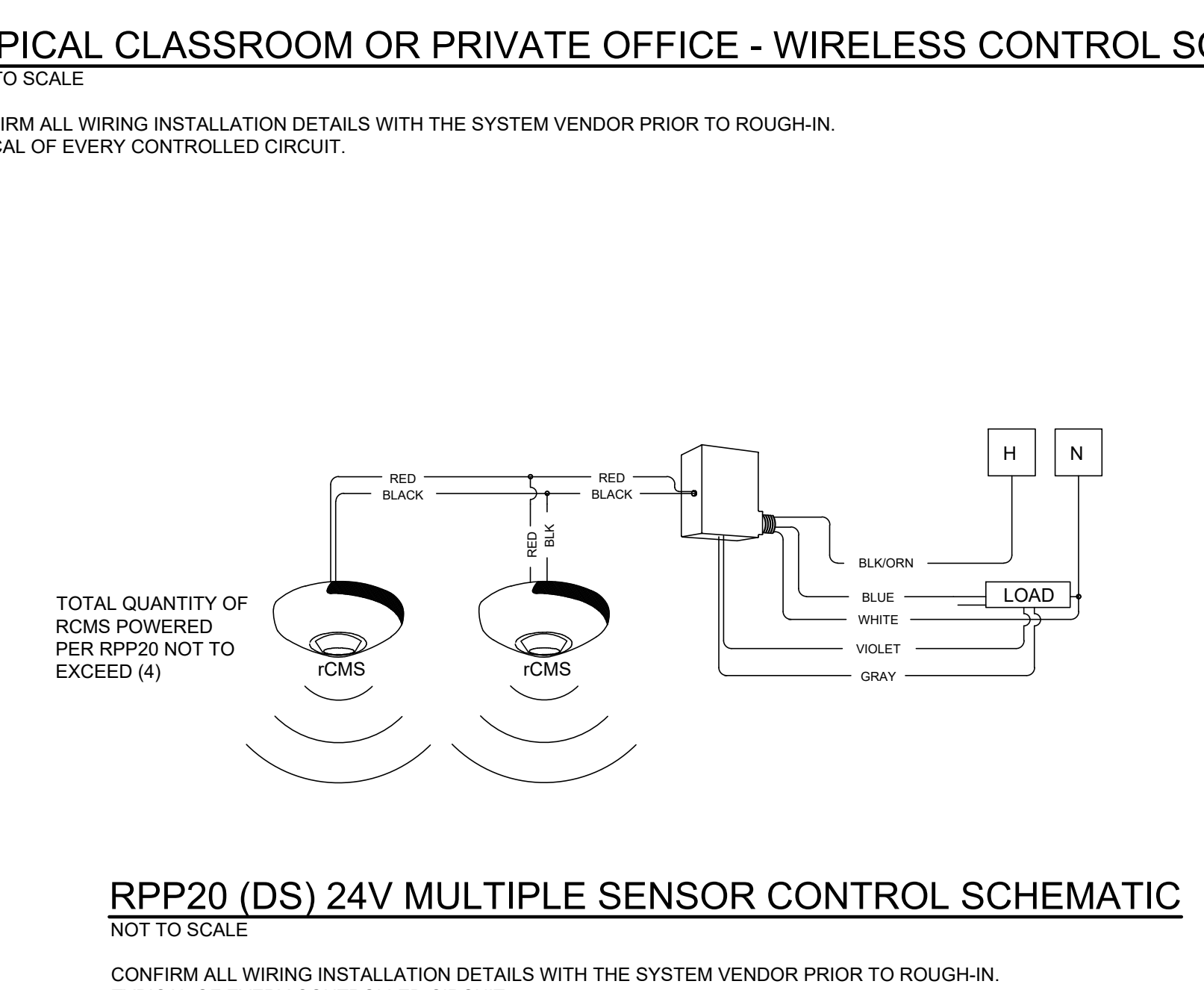
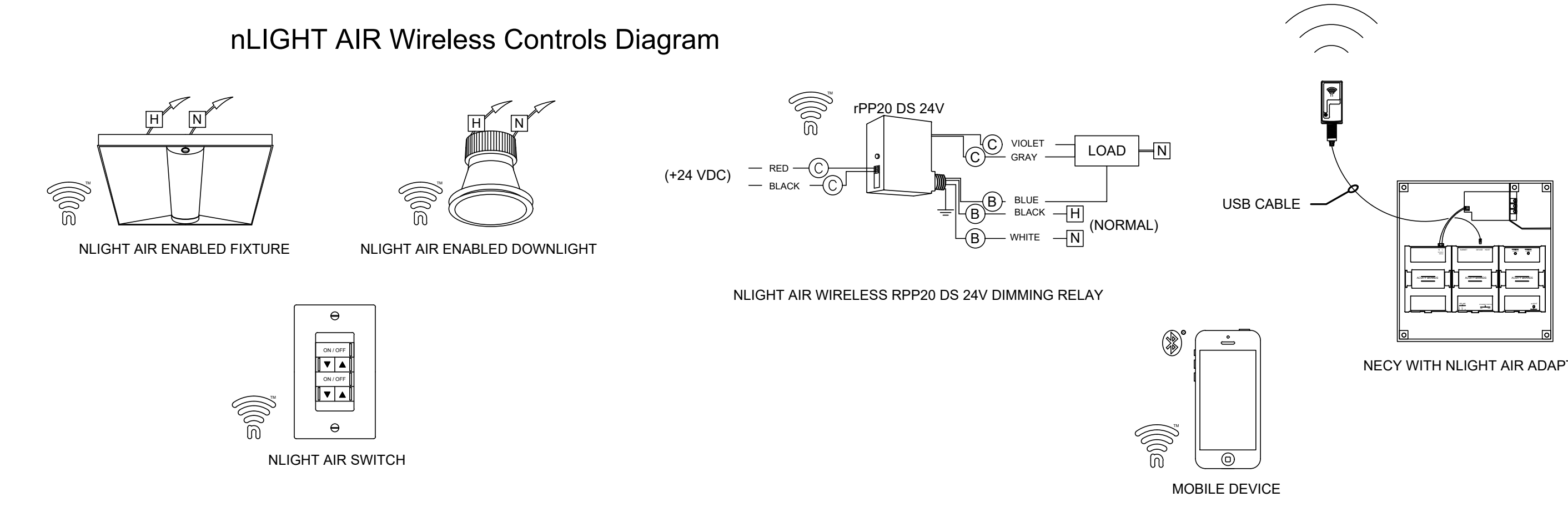
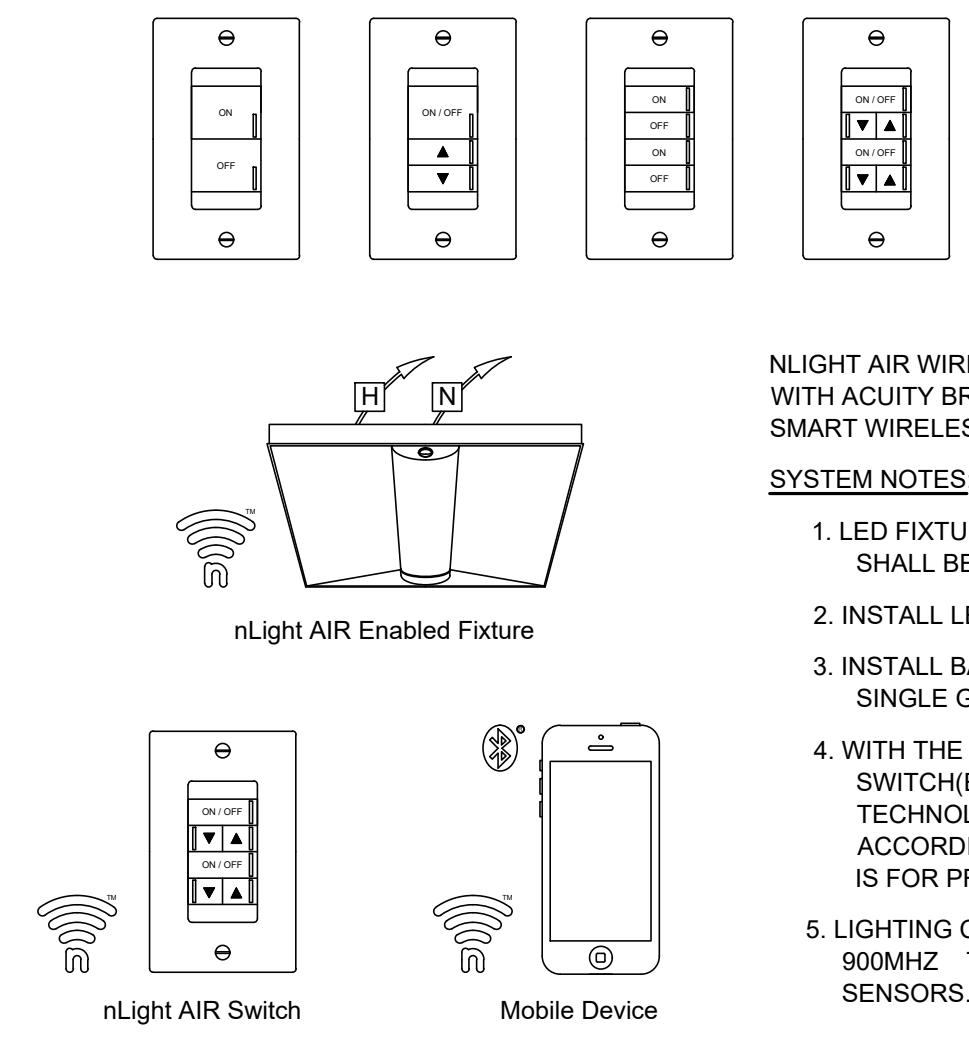
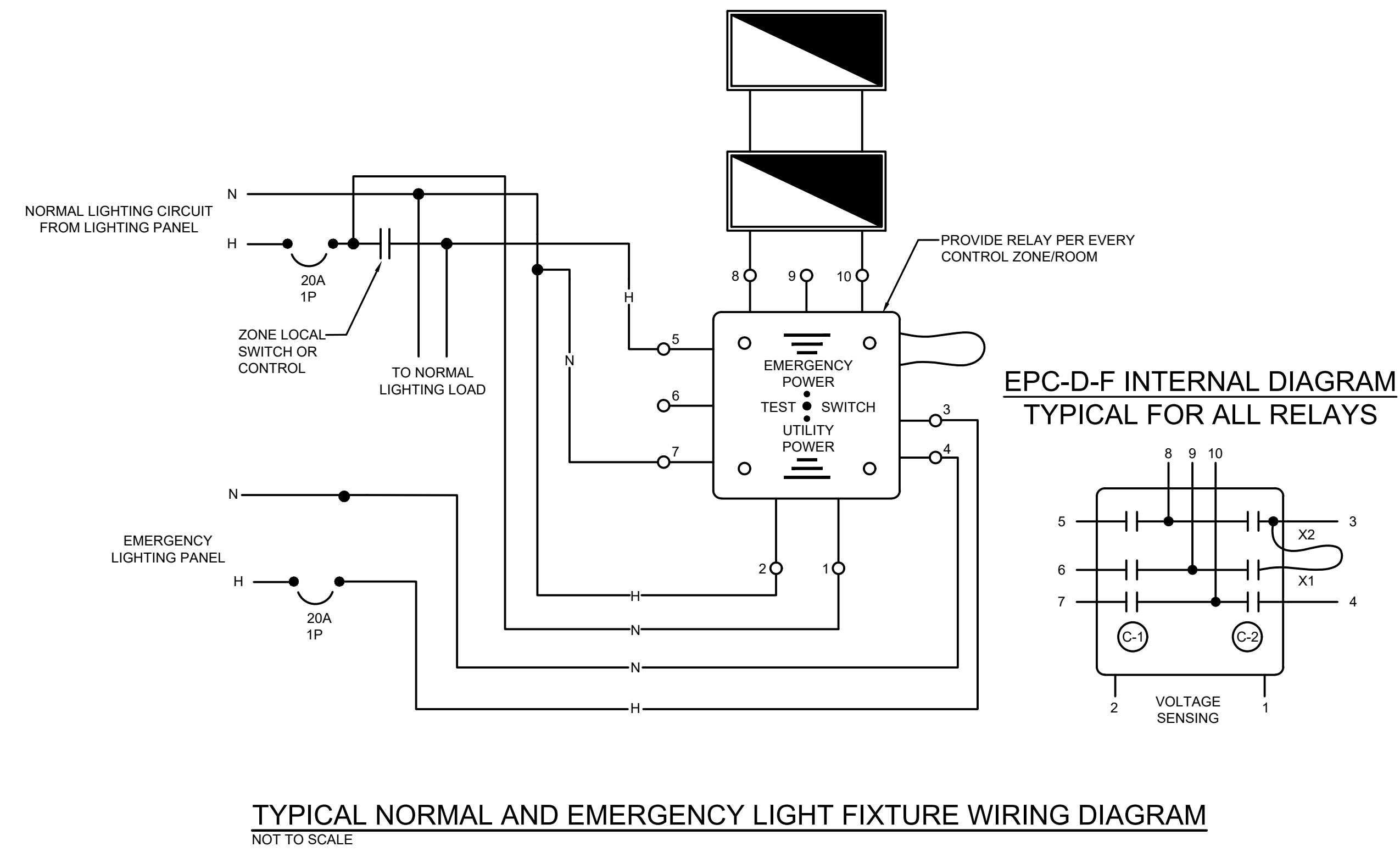
FIXTURES DESIGNATED WITH A "1/2 SHADE" OR "FULL SHADE" AND SHALL BE EMERGENCY FIXTURES POWERED VIA THE EMERGENCY GENERATOR BY DESIGNATED LIFE SAFETY PANELS. SEE NOTE 2.

ALL EXIT SIGNS SHALL HAVE AN EMERGENCY BATTERY PACK, UNLESS SPECIFICALLY NOTED OTHERWISE.

LIGHTING CONTROL SCHEDULE					
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	MOUNTING	NOTES
S ₀₀₁	PRESET WALL CONTROLLER WITH RAISE LOWER DIMMING WITHOUT WIRES.	N-LIGHT AIR	RPODBA DX XX G2	WALL	GENERATION 2
S ₀₀₂	PRESET WALL CONTROLLER WITH RAISE LOWER DIMMING WITHOUT WIRES.	N-LIGHT AIR	RPODBA DX XX G2	WALL	LOCAL CONTROL ONLY. SENSORS SHALL BE DISABLED. NO AUTOMATIC LIGHTING CONTROLS. WIRELESS COMMUNICATIONS ONLY.

**GENERAL NOTES:**

- REFER TO ELECTRICAL SPECIFICATIONS AND ADDITIONAL REQUIREMENTS WHICH MAY NOT NECESSARILY BE REFLECTED IN CATALOG NUMBER AND/OR DESCRIPTION IN THE SCHEDULE.
- SYMBOLS ARE INDICATED FOR GENERAL REFERENCE ONLY. THE PRESENCE OF A SYMBOL DOES NOT INDICATE ITS USE ON THIS PROJECT. REFER TO PLAN DRAWINGS FOR SPECIFIC SYMBOLS USED.
- CONTRACTOR SHALL PROVIDE THE APPROPRIATE NUMBER OF ROOM CONTROLLERS FOR THE PROJECT. COORDINATE WITH THE MANUFACTURER FOR THE CORRECT QUANTITY.
- CONTRACTOR SHALL PROVIDE 4"x4" JUNCTION BOX AS REQUIRED. SEE LIGHTING CONTROL DETAILS.
- WALL SWITCH COLORS SHALL BE AS SELECTED BY THE ARCHITECT.
- LIGHTING CONTROLS SPECIFIED IN THE ABOVE SCHEDULE ARE "BASIS OF DESIGN". EQUIVALENT MANUFACTURER'S SHALL BE "AS ACCEPTED BY THE ENGINEER".



WIRE LEGEND	
(A)	CAT 5-E (CLASS 2)
(B)	LINE VOLTAGE
(C)	0-10 VDC
(D)	LOW VOLTAGE (1A @ 40 VDC/VAC)
(E)	15-24 VDC POWER
(F)	ETHERNET LAN (CLASS 2)

**LIGHTING CONTROL SCHEDULE:**

INTERIOR LIGHTING:  
ON DURING SCHOOL HOURS/ OFF AFTER SCHOOL HOURS.  
OVERRIDE SWITCH AND OCCUPANCY SENSORS TO TURN LIGHTS ON AFTER HOURS.

EXTERIOR LIGHTING:  
PHOTO SENSOR ON/ TIMECLOCK OFF

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F V H D P C . C O M

Project Name  
Addition to West Windsor-Plainsboro High School North

Project Owner Name  
West Windsor-Plainsboro Regional School District

Project Location  
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number
5063K1
Project Date
04.06.2021
Checked By
AHG
Drawn By
AMP
Scale
AS SHOWN

Drawing Name  
ELECTRICAL LIGHTING FIXTURE SCHEDULES & DETAILS

Revisions	No.	Date	Description
	04.06.21		Issued for Bidding

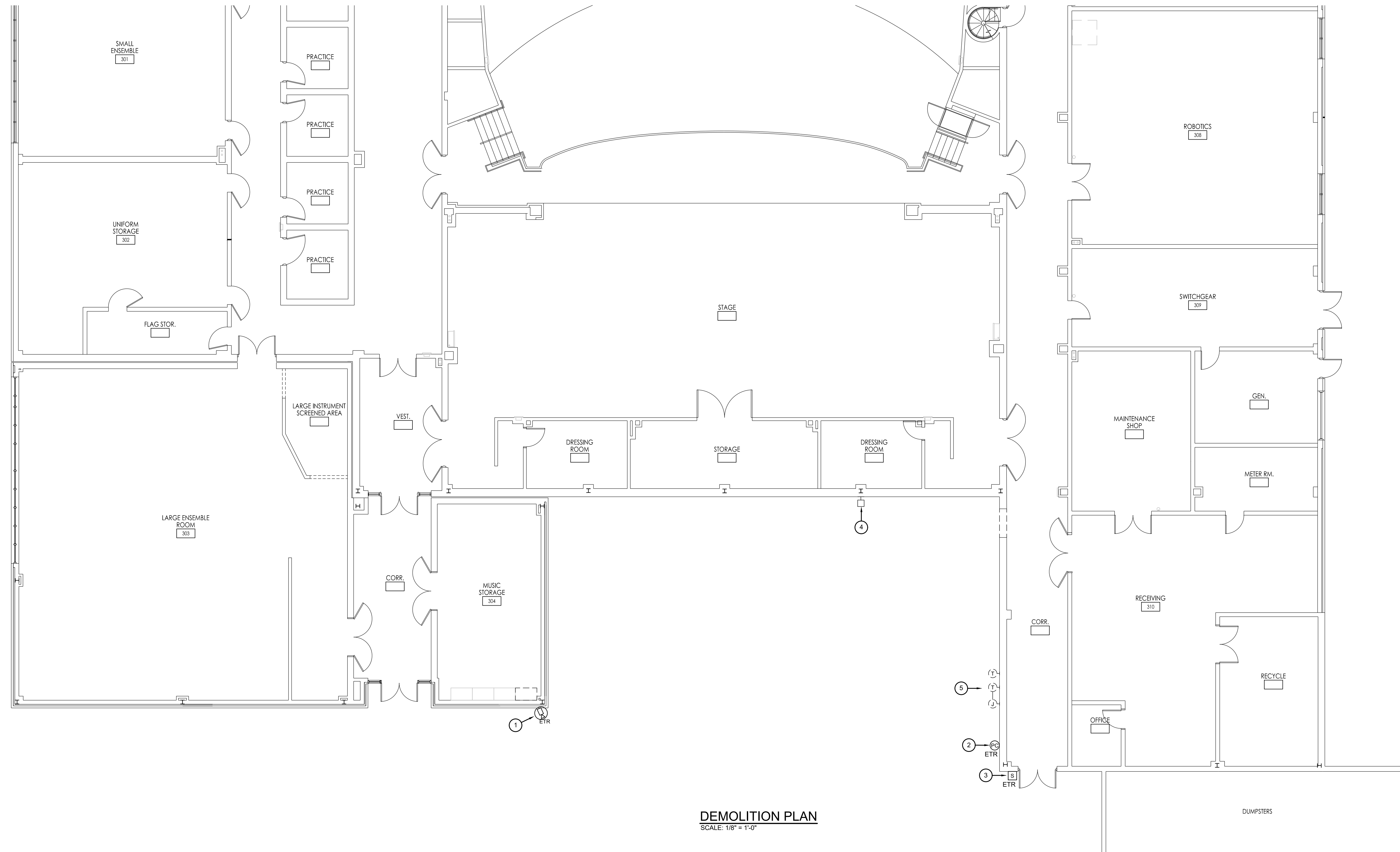
Drawing Number  
E1.1

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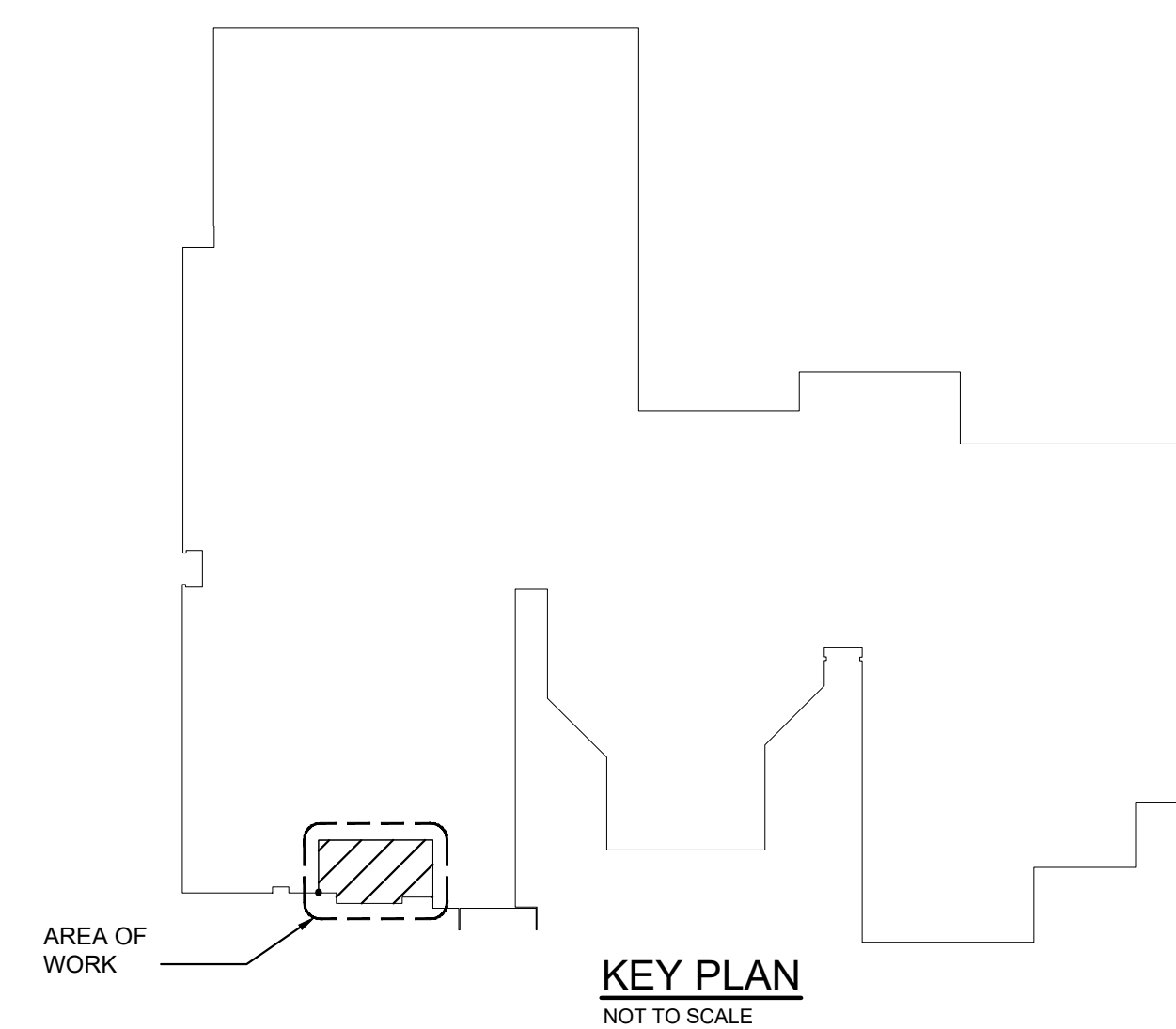
**DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

**SHEET NOTES**

1. ALL EXISTING WIRING DEVICES AND LIGHTING FIXTURES SHALL BE EXISTING TO REMAIN UNLESS SHOWN OR INDICATED TO BE RELOCATED ON THE DEMOLITION PLANS. REFER TO ARCHITECTURAL DEMOLITION PLANS FOR FULL EXTEN OF DEMOLITION AREAS.
2. REFER TO LOW VOLTAGE AND FIRE ALARM PLAN FOR NEW LOCATIONS OF RELOCATED SECURITY, COMMUNICATIONS, AND FIRE ALARM DEVICES, ETC. CONTRACTOR SHALL COORDINATE REMOVAL AND RELOCATED WITH THE EXISTING SYSTEM VENDORS PRIOR TO COMMENCING WORK.
3. MAINTAIN CONTINUITY OF ALL BRANCH CIRCUITS TO EXISTING WIRING DEVICES AND LIGHTING TO REMAIN.
4. DISCONNECT AND REMOVE ALL WIRING DEVICES, ETC. BACK TO SOURCE IN WALLS INDICATED FOR DEMOLITION.

**DEMOLITION KEY NOTES**

- 1 EXISTING EXTERIOR SECURITY CAMERA TO REMAIN. RELOCATE AS REQUIRED DUE TO CONFLICTS WITH NEW CONSTRUCTION.
- 2 EXISTING EXTERIOR LIGHTING PHOTOCELL TO REMAIN. RELOCATE AS REQUIRED DUE TO CONFLICTS WITH NEW CONSTRUCTION.
- 3 EXISTING EXTERIOR SPEAKER TO REMAIN. RELOCATE AS REQUIRED DUE TO CONFLICTS WITH NEW CONSTRUCTION.
- 4 EXISTING EXTERIOR WALL PACK TO BE DISCONNECTED AND REMOVED BACK TO LAST FIXTURE TO REMAIN. MAINTAIN CONTINUITY OF LIGHTING FIXTURES AND CONTROLS TO REMAIN.
- 5 EXISTING HVAC SENSORS TO BE REMOVED AND RELOCATED TO ACCOMMODATE NEW ADDITION. REFER TO MECHANICAL PLANS.



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F V H D P C . C O M

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**West Windsor-Plainsboro Regional School District**

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Drawn By  
**AMP**

Scale  
**AS SHOWN**

Drawing Name  
**ELECTRICAL DEMOLITION PLAN**

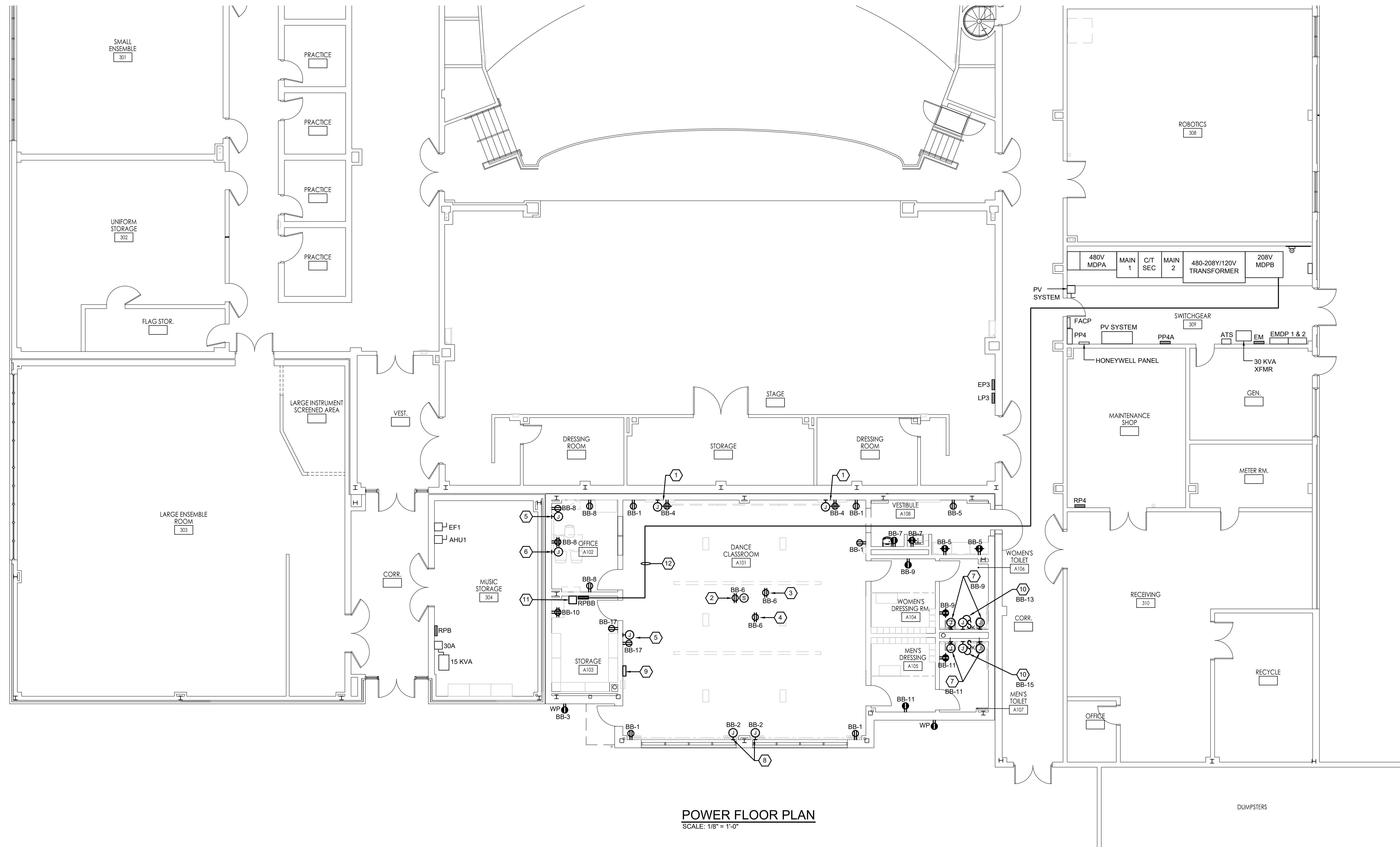
No.	Date	Description
04.06.21		Issued for Bid

Drawing Number  
**E2.0**

C:\3K-2020-2547-V-Windsor-Plainsboro Regional School District\3547\204 - West Hs North Addition And River CADD\DWG\Phase 1 - New Addition\3547\204A_E2.0.dwg

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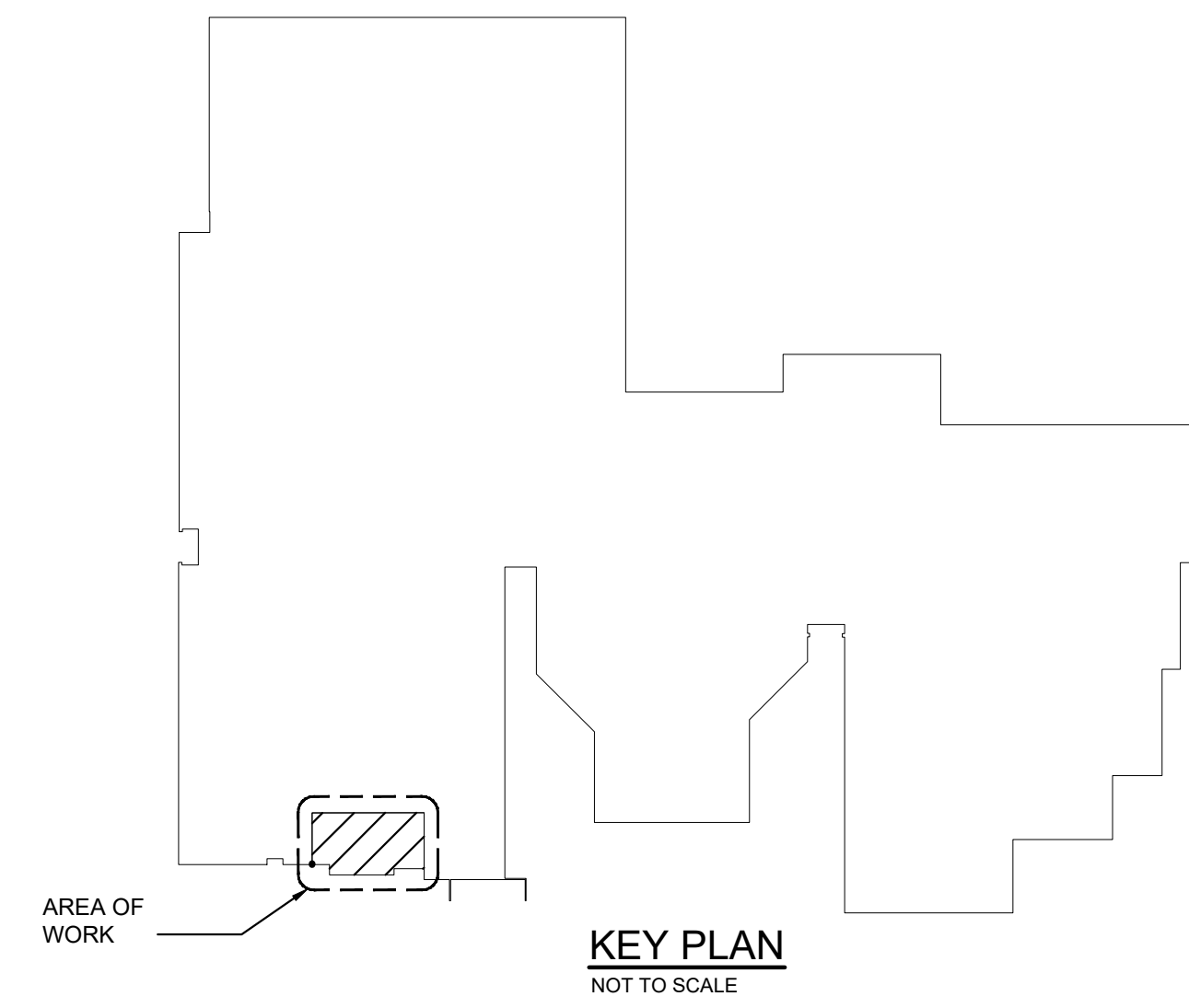
**POWER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**SHEET NOTES**

1. MAINTAIN CONTINUITY OF ALL EXISTING BRANCH CIRCUITS AND FEEDERS TO REMAIN. COORDINATE ALL ELECTRICAL SHUT-DOWNS WITH THE OWNER AND GENERAL CONTRACTOR AT LEAST SEVEN (7) DAYS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL COORDINATE ALL WIRING DEVICE LOCATIONS AND MOUNTING HEIGHTS WITH THE ARCHITECT PRIOR TO ROUGH-IN.
3. REFER TO SYMBOL LIST ON DRAWING E1.0 AND DETAIL DRAWINGS FOR ADDITIONAL INFORMATION.
4. CONTRACTOR SHALL PROVIDE ALL POWER WIRING AND INTERLOCKS REQUIRED FOR THEATRICAL AND AV EQUIPMENT (DANCE CLASSROOM A101). REFER TO TS SERIES DRAWINGS FOR ADDITIONAL INFORMATION.

**KEY NOTES**

- 1 TV MONITOR: ONE (1) DUPLEX RECEPTACLE, ONE (1) EMPTY 2-GANG BOX WITH COVER, AND 1" EMPTY CONDUIT TO ABOVE CEILING WITH BUSHING. CONFIRM MOUNTING HEIGHTS WITH ARCHITECTURAL ELEVATIONS. SEE TYPICAL CLASSROOM AV DETAIL ON DRAWING E10.0, NOTES 4 AND 5 FOR ADDITIONAL INFORMATION.
- 2 CEILING MOUNTED TEACHING SPEAKER LOCATION. REFER TO DETAIL ON DRAWING E10.0 FOR SPEAKER ASSEMBLY AND RECEPTACLE MOUNTING SPECIFICATIONS.
- 3 CEILING MOUNTED DUPLEX RECEPTACLE AND EMPTY JUNCTION BOX FOR ADDITIONAL INFORMATION.
- 4 DUPLEX RECEPTACLE ABOVE CEILING FOR WI-FI ROUTER. ROUTER FURNISHED BY OWNER.
- 5 JUNCTION BOX AND CONDUIT WITH DRAG LINE TO ABOVE SUSPENDED CEILING FOR "TEACHING SPEAKER" CONTROL WIRING. MOUNT AT 44" AFF. SEE TYPICAL CLASSROOM AV DETAIL ON DRAWING E10.0, NOTE 2 FOR ADDITIONAL INFORMATION.
- 6 QUAD RECEPTACLE AND 2-GANG JUNCTION BOX MOUNTED AT 18" AFF FOR COMPUTER AND TV CONTROLS. REFER TO TYPICAL AV DETAIL ON DRAWING E10.0, NOTES 1 AND 3 FOR ADDITIONAL INFORMATION.
- 7 JUNCTION BOX AND POWER WIRING FOR AUTOMATIC FLUSH VALVE AND SINK SENSORS. REFER TO DETAIL FOR ADDITIONAL INFORMATION (TYPICAL).
- 8 JUNCTION BOX LOCATED IN WINDOW JAMB WITH PLENUM RATED FIVE (5) CONDUCTOR CABLE, LIBERTY CABLE 9020127 (OR EQUAL) FROM WINDOW SHADE TO MECHONET POWER STATION IN STORAGE ROOM. COORDINATE WITH SHADE SYSTEM SHOP DRAWINGS AND VENDOR.
- 9 MOTORIZED SHADE MECHONET POWER STATION. PROVIDE ALL 120V POWER WIRING AND ALL LOW VOLTAGE POWER WIRING TO MAKE A COMPLETE AND OPERATIONAL SYSTEM. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS.
- 10 JUNCTION BOX AND KEY SWITCH FOR ELECTRIC HAND DRYER. REFER TO DETAIL FOR ADDITIONAL INFORMATION (TYPICAL).
- 11 ALTERNATE BID: THEATRICAL RELAY PANEL. REFER TO PANEL RPBB SCHEDULE FOR POWER REQUIREMENTS. REFER TO TS DRAWINGS FOR SPECIFICATIONS.
- 12 ROUTE NEW CONDUIT AND FEEDERS TIGHT TO STRUCTURAL CEILING AND ABOVE SUSPENDED CORRIDOR CEILING INTO SWITCHGEAR ROOM. PROVIDE ALL REQUIRED PULLBOXES SIZED AND LOCATED PER NEC ALONG LENGTH OF RUN. REFER TO PROJECT GENERAL NOTES FOR ADDITIONAL INFORMATION.



**KEY PLAN**  
NOT TO SCALE

C:\3K\2020\3547 - W. Windsor - Plainsboro Regional School District\3547\2021 - West Windsor - Plainsboro Regional School District\3547\2021 - New Addition\3547\2021 - E3.0.dwg

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Date: 04/06/21

Project Name  
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**West Windsor-Plainsboro Regional School District**

Project Location  
**90 Grovers Mill Road, Plainsboro, New Jersey 08536**

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**04.06.2021**

Checked By  
**AHG**

Drawn By  
**AMP**

Scale  
**AS SHOWN**

Drawing Name  
**ELECTRICAL FIRST FLOOR POWER PLAN**

No.	Date	Description
04.06.21		Issued for Bid

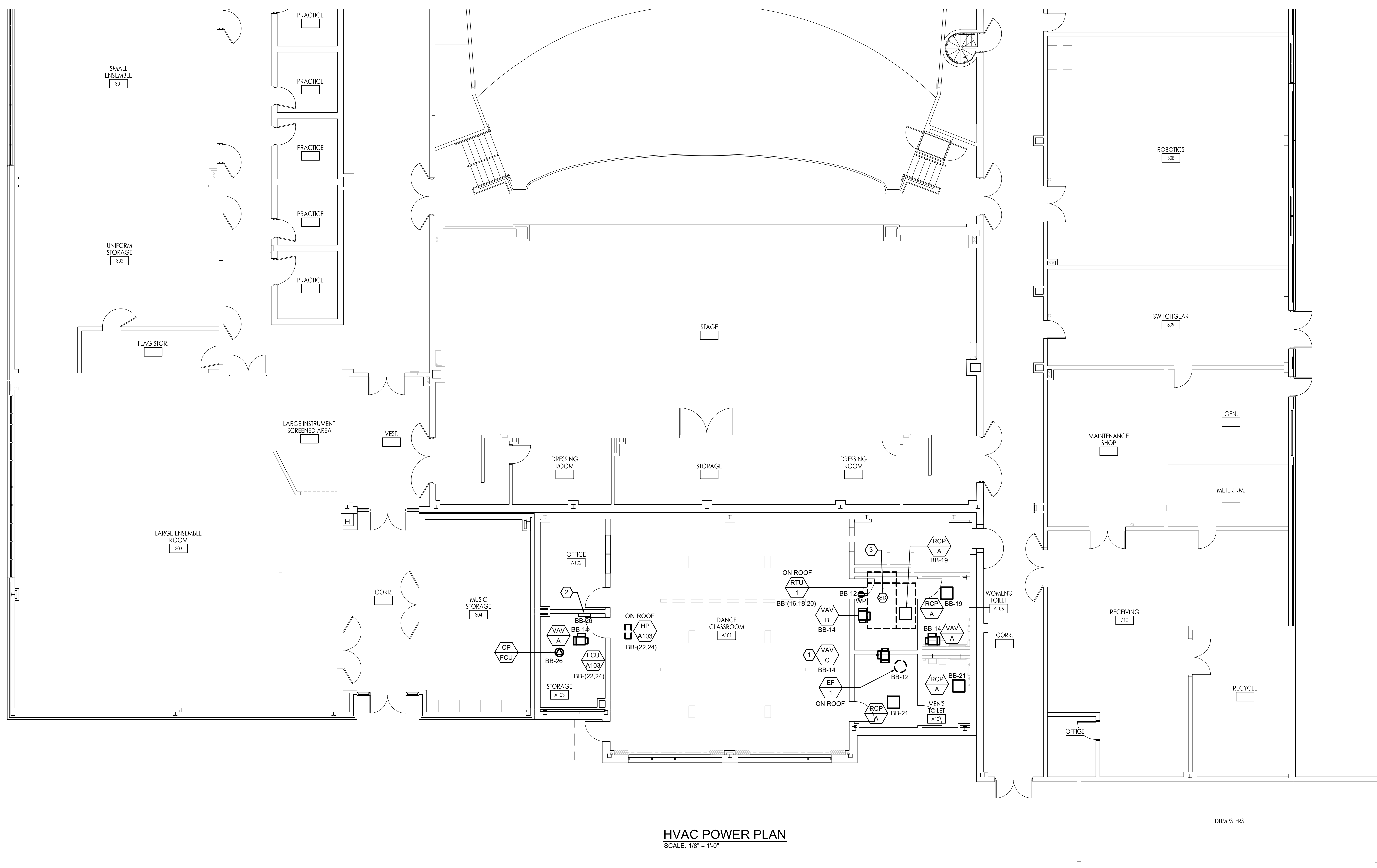
Drawing Number  
**E3.0**

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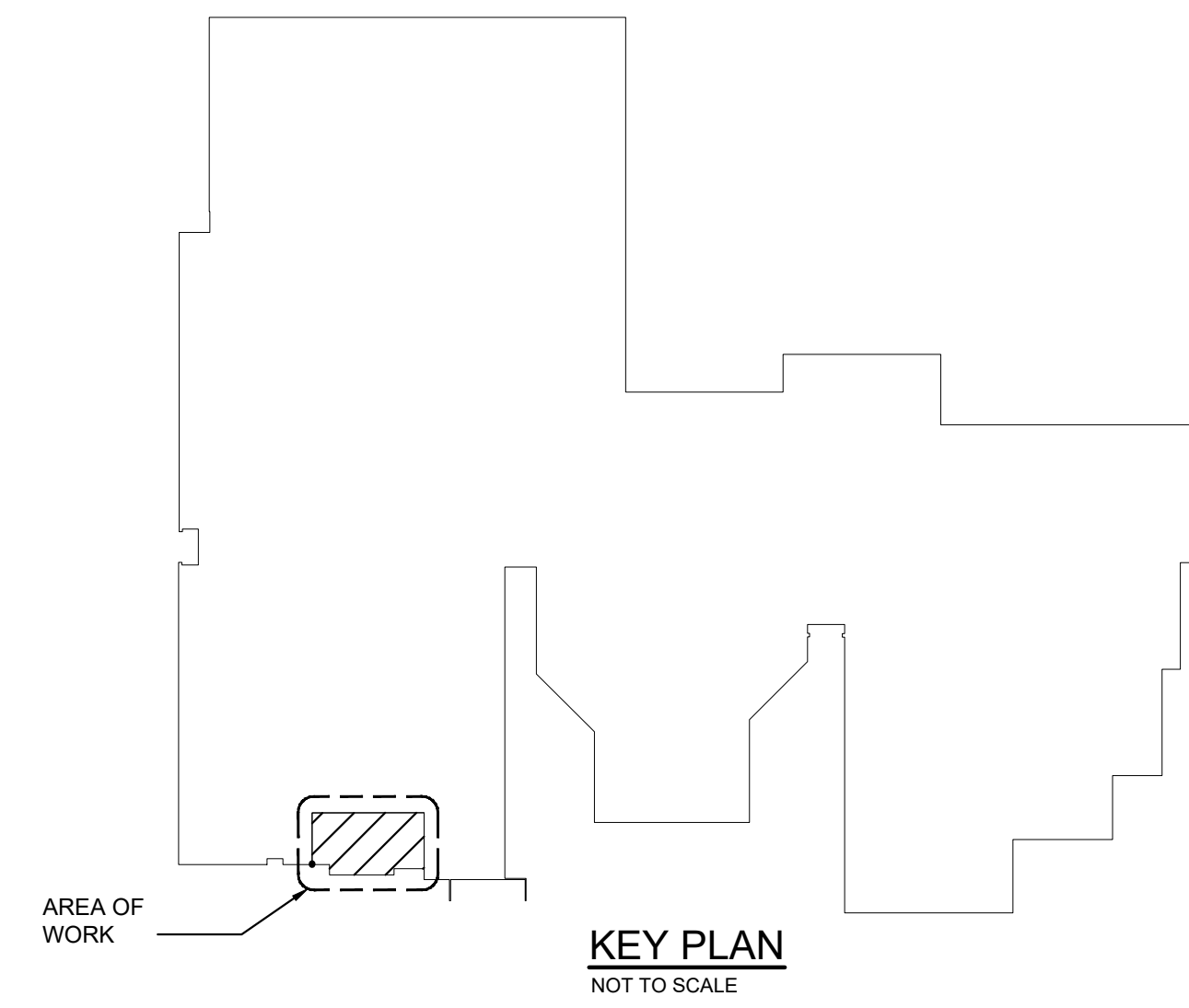
**AMIN H. GOMAA, PE**  
PROFESSIONAL ENGINEER, NJ LIC. No. 24GE04842100



**HVAC POWER PLAN**  
SCALE: 1/8" = 1'-0"

**KEY NOTES**

- ① MECHANICAL EQUIPMENT TAG. REFER TO MECHANICAL EQUIPMENT COORDINATION SCHEDULE FOR ALL DISCONNECT SWITCH SIZES AND NUMBER OF POLES REQUIRED. REFER TO PANEL SCHEDULES FOR BRANCH CIRCUIT INFORMATION (TYPICAL).
- ② ATC PANEL.
- ③ DUCT SMOKE DETECTOR. REFER TO FIRE ALARM RISER DIAGRAM FOR ADDITIONAL INFORMATION (TYPICAL).



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Drawn By  
**AMP**

Scale  
**AS SHOWN**

Drawing Name  
**ELECTRICAL FIRST FLOOR HVAC POWER PLAN**

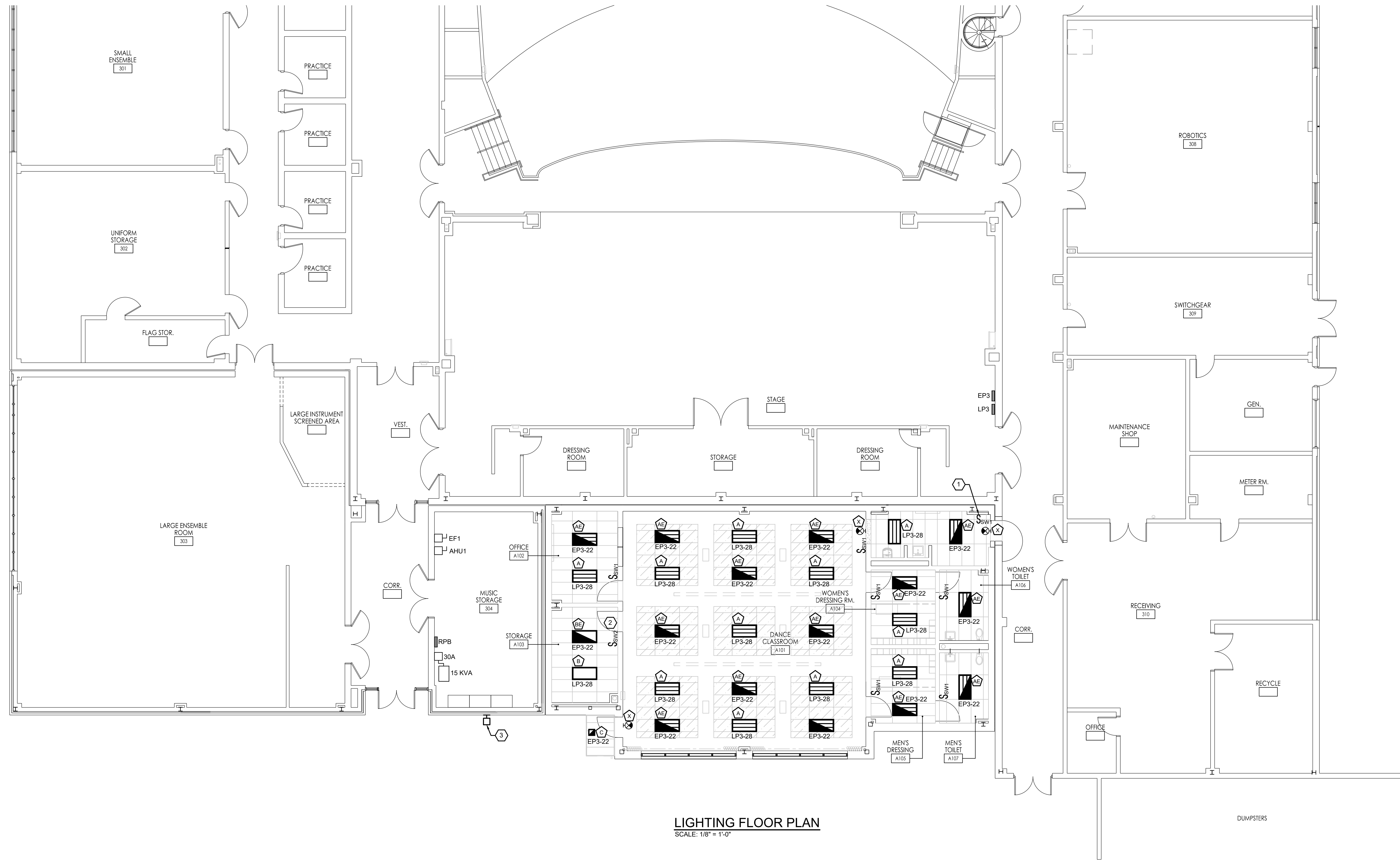
No.	Date	Description
04.06.21		Issued for Bid

Drawing Number  
**E4.0**



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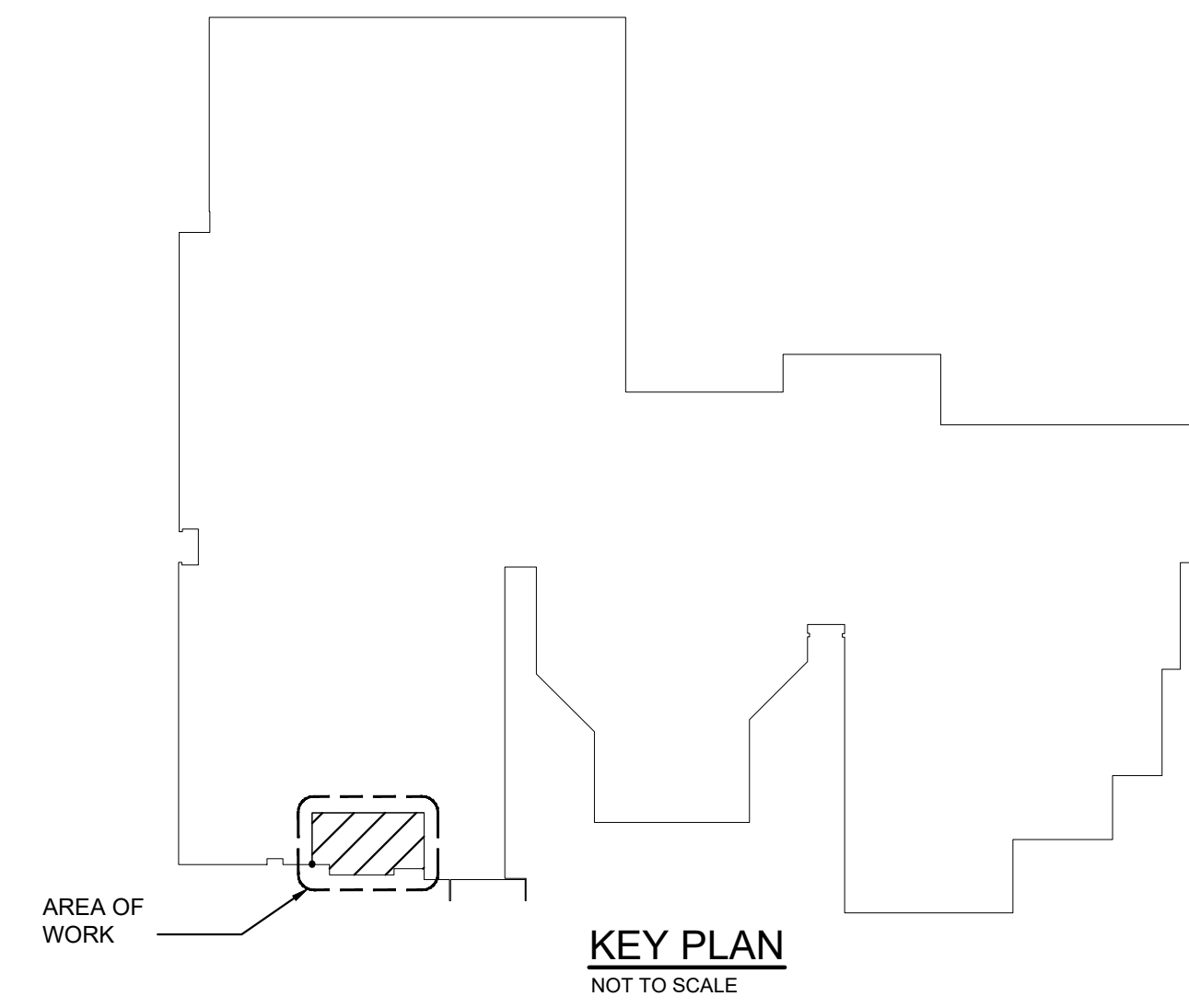
**LIGHTING FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**SHEET NOTES**

1. MAINTAIN CONTINUITY OF ALL EXISTING BRANCH CIRCUITS AND LIGHTING FIXTURES IN EXISTING BUILDING TO REMAIN. COORDINATE ALL ELECTRICAL SHUT-DOWNS WITH THE OWNER AND GENERAL CONTRACTOR AT LEAST SEVEN (7) DAYS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL COORDINATE ALL WIRING DEVICE LOCATIONS AND MOUNTING HEIGHTS WITH THE ARCHITECT PRIOR TO ROUGH-IN.
3. CIRCUIT ALL UNIT EMERGENCY LIGHTING FIXTURES AND EXIT SIGNS TO THE LINE SIDE OF THE CIRCUIT SERVING THE AREA LOCATED, AHEAD OF ALL SWITCHING AND LIGHTING CONTROLS.
4. PATCH AND PAINT ALL DISTURBED SURFACES TO MATCH EXISTING ADJACENT FINISH.
5. ELECTRIC ROOMS, MECHANICAL ROOMS, AND ALL ROOMS WITH PANELBOARDS SHALL BE PROVIDED WITH MANUAL LIGHTING CONTROL. NO OCCUPANCY/VACANCY SENSORS.
6. REFER TO LIGHTING CONTROL SCHEDULE AND DETAILS FOR ADDITIONAL INFORMATION.
7. UNLESS SHOWN OR OTHERWISE INDICATED ON THIS PLAN, ALL LIGHTING IN OTHER ROOMS OR AREAS SHALL BE EXISTING TO REMAIN.

**KEY NOTES**

1. HILIGHTAIR DIGITAL DIMMING SWITCH. REFER TO SCHEDULE ON DRAWING E1-1 (TYPICAL).
2. LIGHTING THIS ROOM SHALL HAVE LOCAL CONTROL ONLY. SENSORS SHALL BE DISABLED. NO AUTOMATIC LIGHTING CONTROLS. WIRELESS COMMUNICATIONS ONLY.
3. NEW EXTERIOR WALL PACK. REFER TO CIVIL ENGINEERING PLANS FOR SPECIFICATION. CIRCUIT TO EXISTING EXTERIOR LIGHTING CIRCUIT AND CONTROLS SERVING THIS AREA. EXTEND WIRING AS REQUIRED TO MAKE A COMPLETE AND OPERATIONAL INSTALLATION.

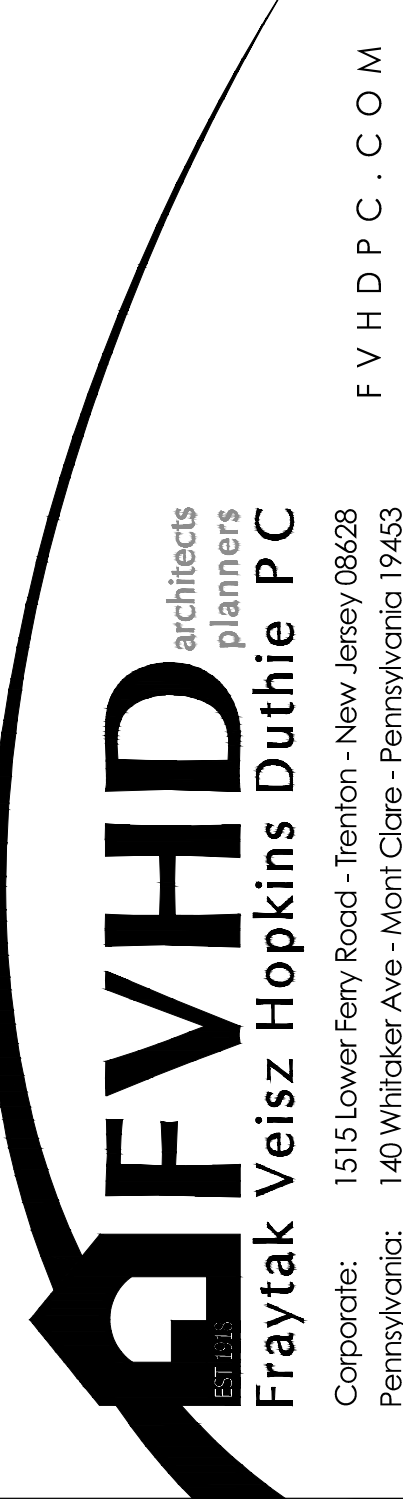


**KEY PLAN**  
NOT TO SCALE

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Project Name  
**Addition to West Windsor-Plainsboro High School North**

Project Owner Name  
**West Windsor-Plainsboro Regional School District**

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**90 Grovers Mill Road, Plainsboro, New Jersey 08536**

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**04.06.2021**

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Scale  
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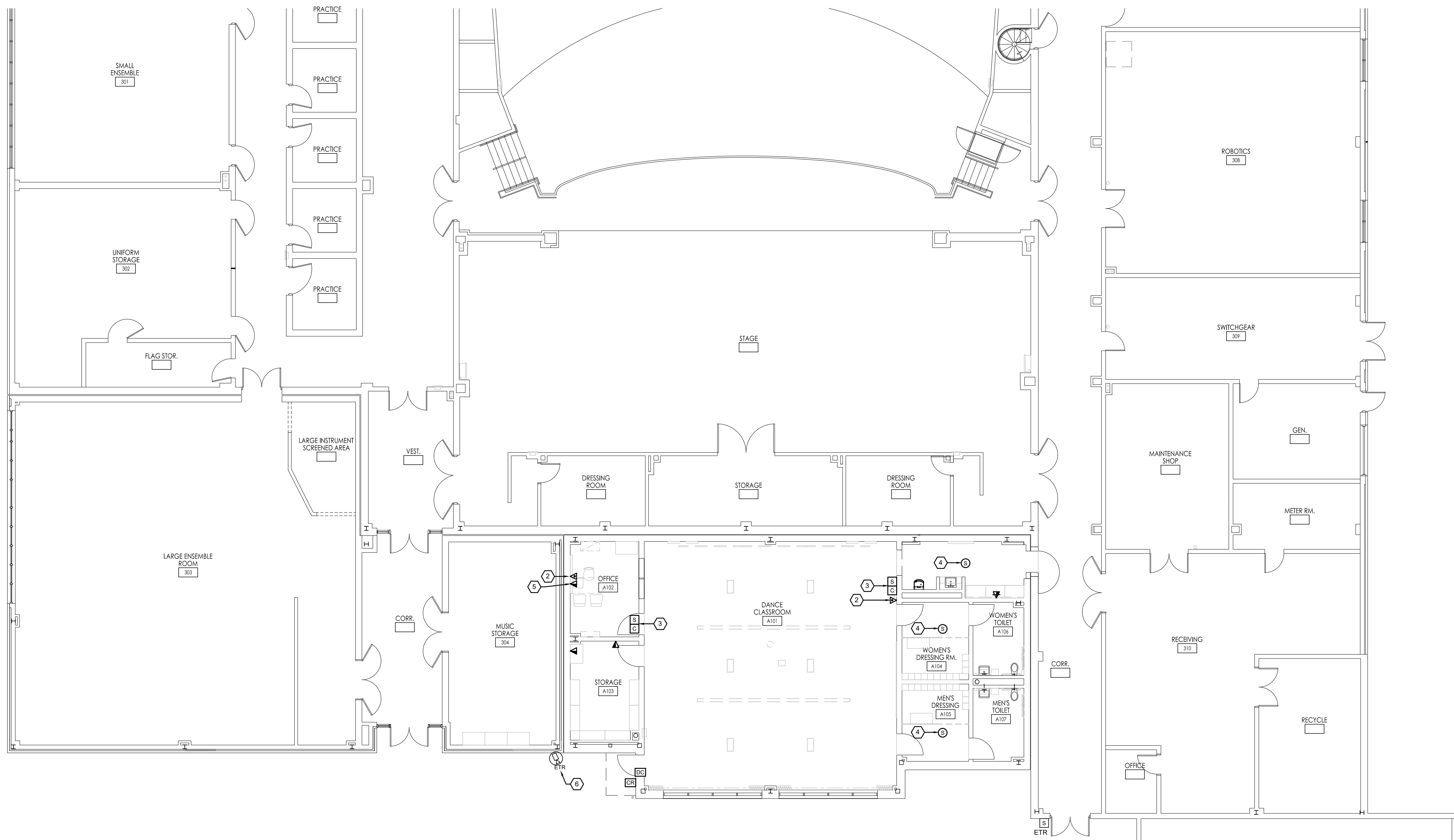
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**ELECTRICAL FIRST FLOOR LIGHTING PLAN**

No.	Date	Description
04.06.21		Issued for Bid

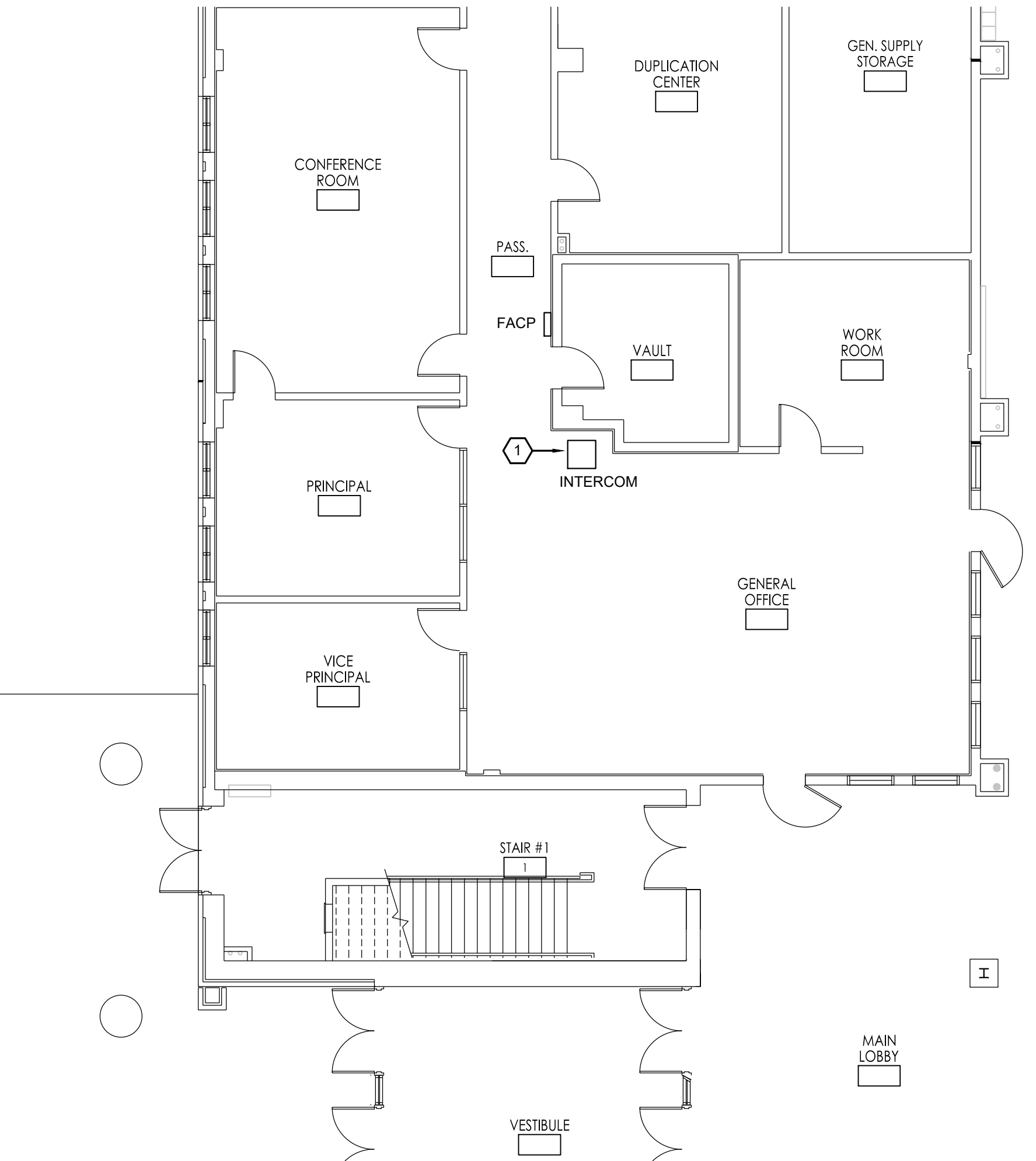
Drawing Number  
**E5.0**



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**LOW VOLTAGE FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



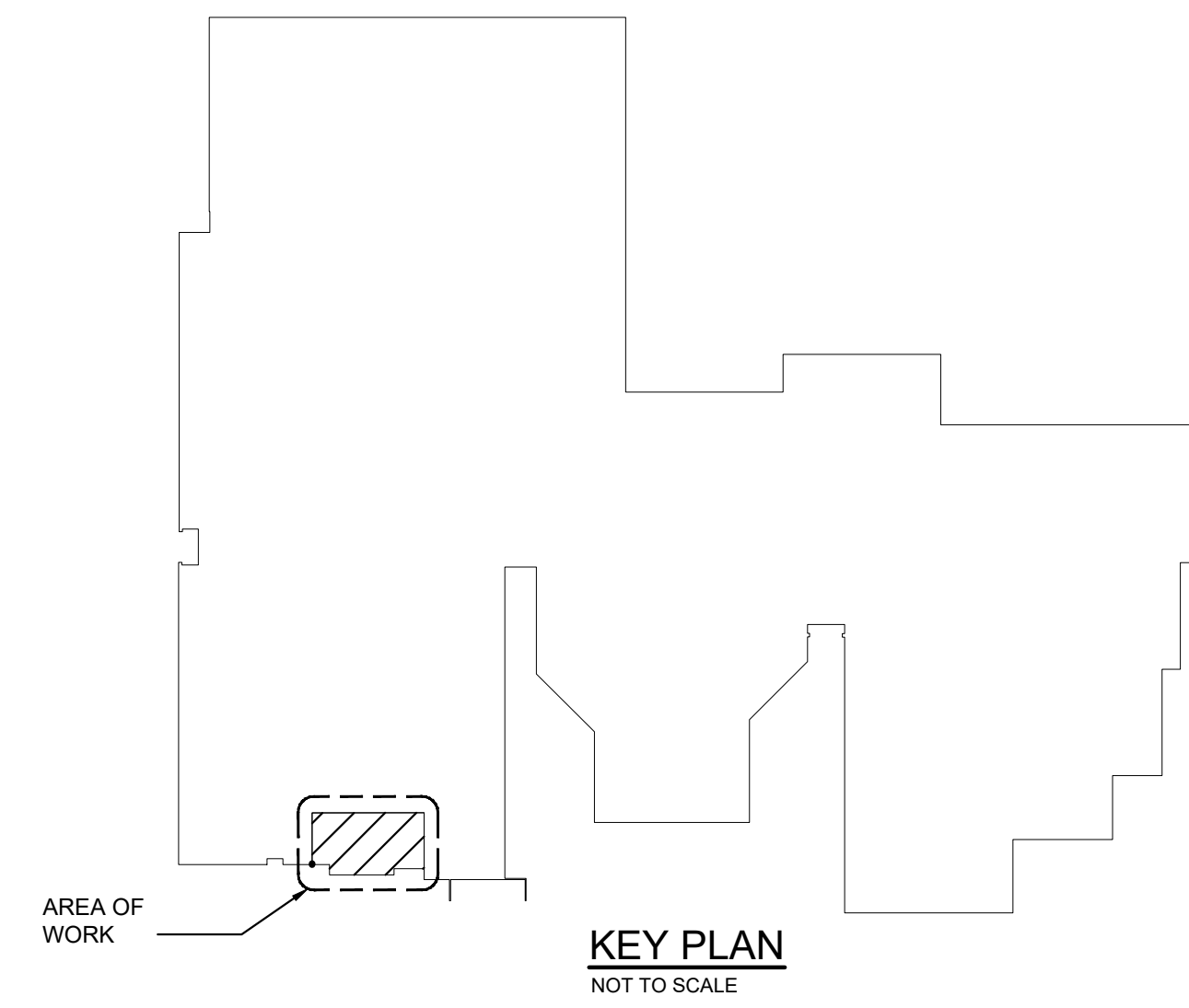
**MAIN OFFICE AREA PART PLAN**  
SCALE: 1/8" = 1'-0"

**SHEET NOTES**

- COORDINATE ALL INTERCOM, CLOCK AND CLOCK/SPEAKER SYSTEM REQUIREMENTS WITH THE EXISTING SYSTEM VENDOR. CONTACT OPEN SYSTEMS, 211 YARDVILLE-HAMILTON SQUARE ROAD, HAMILTON, NEW JERSEY - (732) 792-2112. PROVIDE ALL REQUIRED MODIFICATIONS AND EXPANSION MODULES AS REQUIRED TO ACCOMMODATE THE WORK OF THIS PROJECT.
- CONTRACTOR SHALL COORDINATE ALL WIRING DEVICE LOCATIONS AND MOUNTING HEIGHTS WITH THE ARCHITECT PRIOR TO ROUGH-IN.
- CONTRACTOR SHALL PROVIDE ALL POWER WIRING AND INTERLOCKS REQUIRED FOR THEATRICAL AND AV EQUIPMENT (DANCE CLASSROOM A101). REFER TO TS SERIES DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO SYMBOL LIST ON DRAWING E1.0 AND DETAIL DRAWINGS FOR ADDITIONAL INFORMATION.

**KEY NOTES**

- EXISTING BOGEN PAGING SYSTEM AND SAPLING MASTER CLOCK SYSTEM HEAD END EQUIPMENT LOCATION IN MAIN OFFICE. COORDINATE ALL SYSTEM DEVICE RELOCATIONS AND REQUIRED NEW DEVICES WITH THE EXISTING SYSTEM VENDOR.
- PROVIDE NEW PAGING SYSTEM HANDSET AT 48" AFF TO MATCH EXISTING PAGING SYSTEM. PROVIDE WIRING, CONDUIT AND TELE/DATA OUTLET AS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION.
- PROVIDE NEW WALL MOUNTED CLOCK/SPEAKER ASSEMBLY TO MATCH EXISTING SYSTEM. PROVIDE ALL WIRING AND CONDUIT AS REQUIRED TO MAKE A COMPLETE AND OPERATIONAL INSTALLATION. REFER TO ARCHITECTURAL PLANS FOR MOUNTING HEIGHT. (TYPICAL).
- PROVIDE NEW CEILING MOUNTED PAGING SPEAKER TO MATCH EXISTING SYSTEM. PROVIDE ALL WIRING AND CONDUIT AS REQUIRED TO MAKE A COMPLETE AND OPERATIONAL INSTALLATION (TYPICAL).
- NEW TELE/DATA OUTLET LOCATION (TYPICAL).
- EXISTING SECURITY SYSTEM CAMERA TO REMAIN. CONTRACTOR SHALL RE-POSITION THE AIM OF THE CAMERA AS NEEDED DUE TO NEW ADDITION. COORDINATE WITH THE SECURITY SYSTEM VENDOR.



**KEY PLAN**  
NOT TO SCALE



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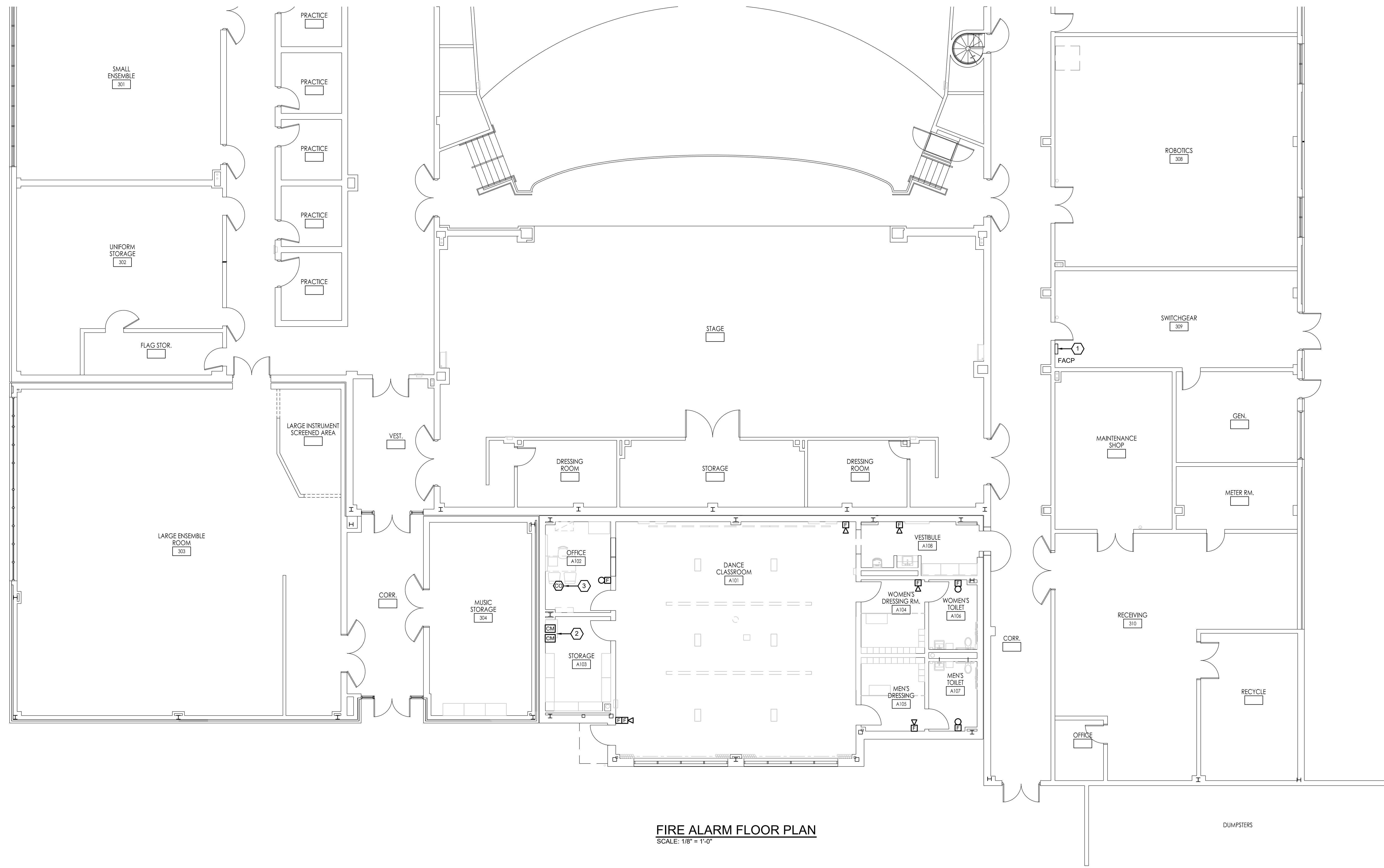
Scale  
**AS SHOWN**

Drawing Name  
**ELECTRICAL FIRST FLOOR LOW VOLTAGE PLAN**

No.	Date	Description
04.06.21		Issued for Bid

Drawing Number  
**E6.0**

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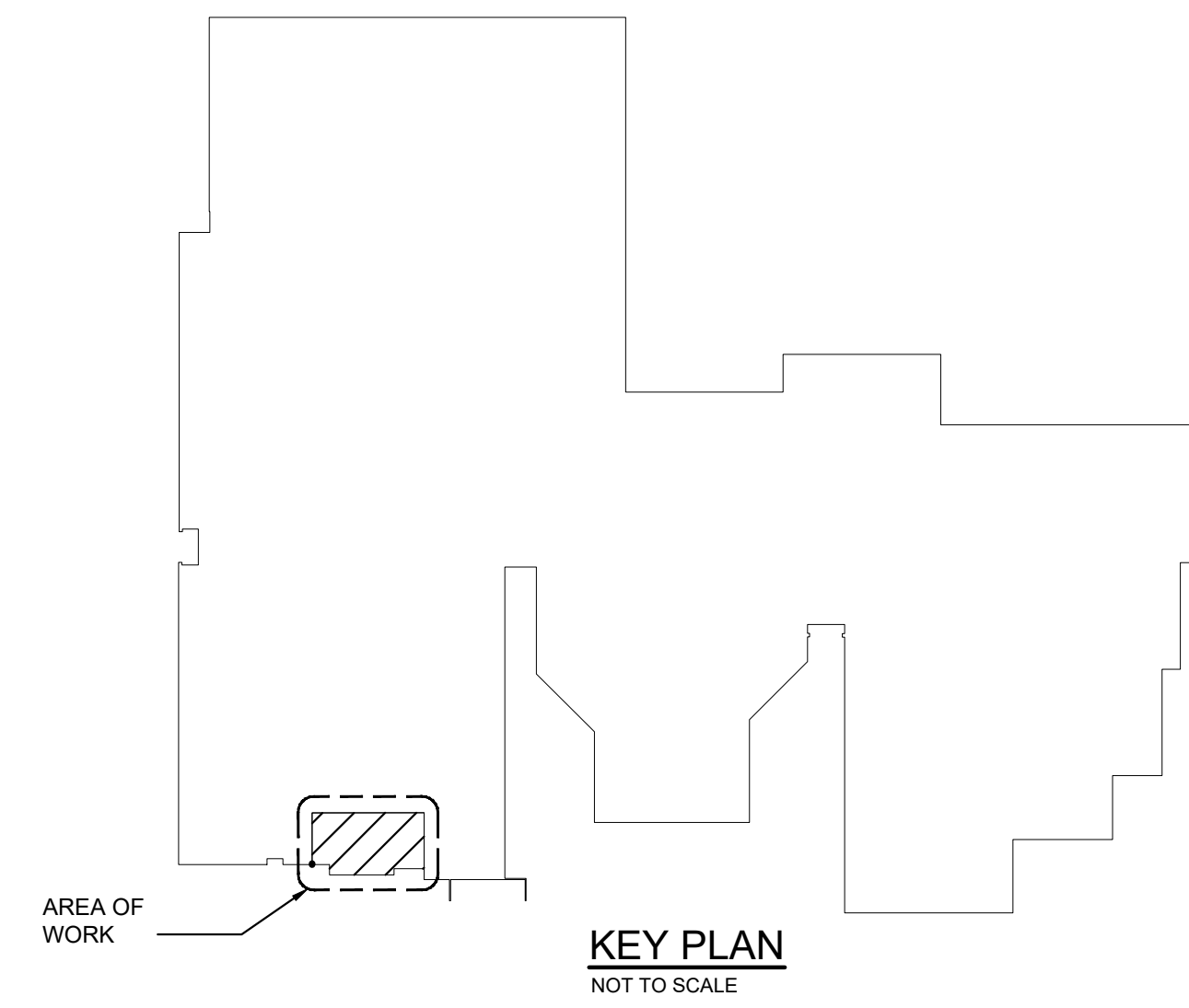
**FIRE ALARM FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**SHEET NOTES**

- COORDINATE ALL FIRE ALARM SYSTEM REQUIREMENTS WITH THE EXISTING SYSTEM VENDOR. CONTACT OPEN SYSTEMS, 211 YARDVILLE-HAMILTON SQUARE ROAD, HAMILTON, NEW JERSEY - (732) 792-2112. PROVIDE ALL REQUIRED MODIFICATIONS AND EXPANSION MODULES AS REQUIRED TO ACCOMMODATE THE WORK OF THIS PROJECT.
- UNLESS NOTED OTHERWISE, ALL FIRE ALARM DEVICES SHOWN THIS PLAN SHALL BE NEW. REFER TO FIRE ALARM RISER DIAGRAM FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL COORDINATE ALL WIRING DEVICE LOCATIONS AND MOUNTING HEIGHTS WITH THE ARCHITECT PRIOR TO ROUGH-IN.
- MAINTAIN CONTINUITY OF ALL EXISTING FIRE ALARM DEVICES AND CIRCUITS TO REMAIN.
- IN ADDITION TO ROOMS WITH FUEL FIRED APPLIANCES, CARBON MONOXIDE DETECTORS SHALL BE MOUNTED ADJACENT TO THE FIRST DIFFUSER FROM EACH ROOF TOP UNIT IN ACCORDANCE WITH LATEST CODE. TYPICAL FOR ALL GAS FIRED HVAC EQUIPMENT. FIELD COORDINATE EXACT LOCATIONS WITH THE MECHANICAL CONTRACTOR.

**KEY NOTES**

- EXISTING FIRE ALARM CONTROL PANEL LOCATION.
- CONTROL MODULE LOCATIONS FOR AUDIO / VISUAL SYSTEM INTERFACE COORDINATE WITH ITS SERIES DRAWINGS AND SYSTEM INTEGRATOR.
- IN ADDITION TO ROOMS WITH FUEL FIRED APPLIANCES, CARBON MONOXIDE DETECTORS SHALL BE MOUNTED ADJACENT TO THE FIRST DIFFUSER FROM EACH ROOF TOP UNIT IN ACCORDANCE WITH LATEST CODE. TYPICAL FOR ALL GAS FIRED HVAC EQUIPMENT. FIELD COORDINATE EXACT LOCATIONS WITH THE MECHANICAL CONTRACTOR. TYPICAL FOR ALL.



**KEY PLAN**  
NOT TO SCALE

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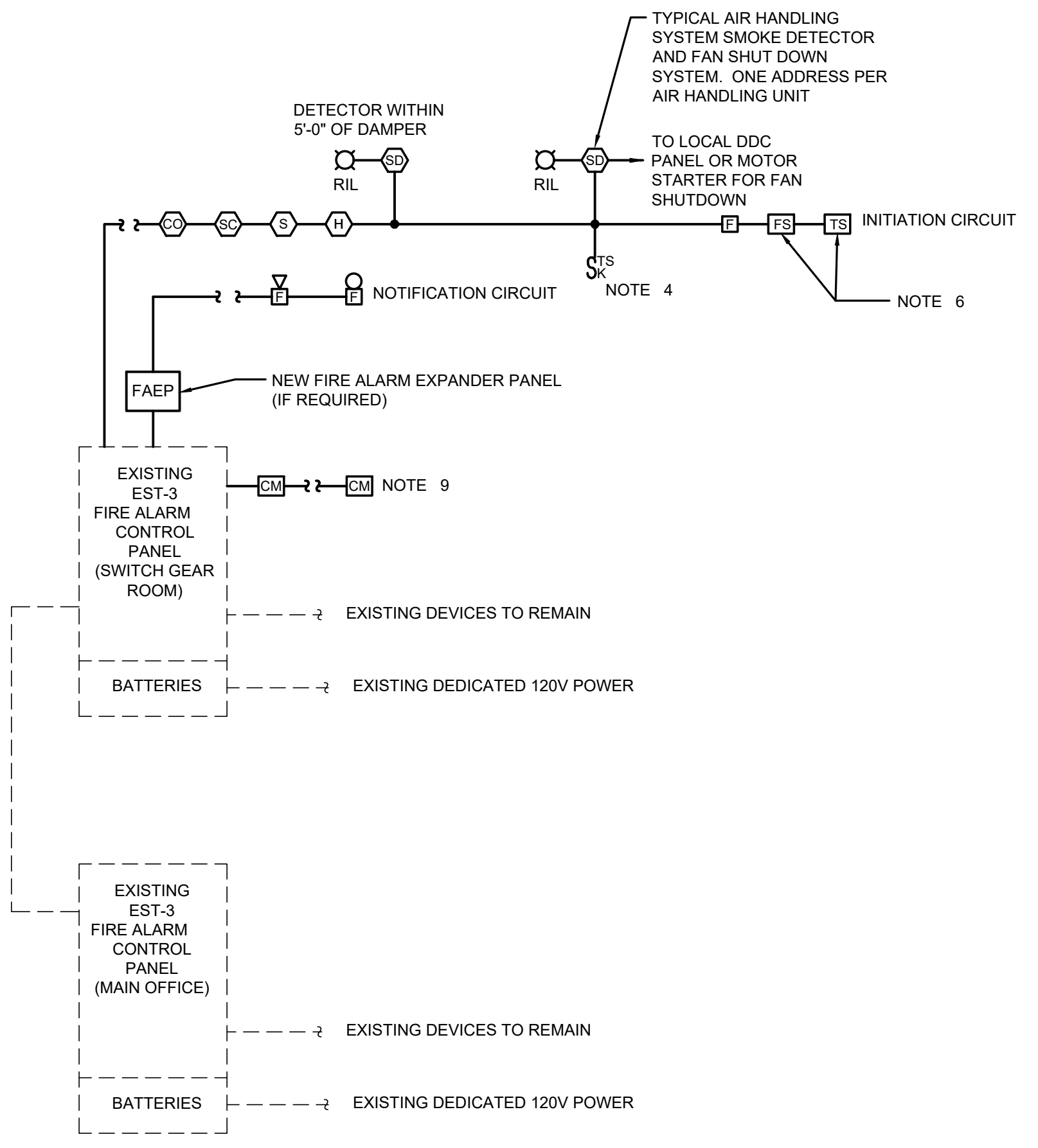
Drawing Name  
**ELECTRICAL FIRST FLOOR FIRE ALARM PLAN**

No.	Date	Description
04.06.21		Issued for Bid

Drawing Number  
**E7.0**



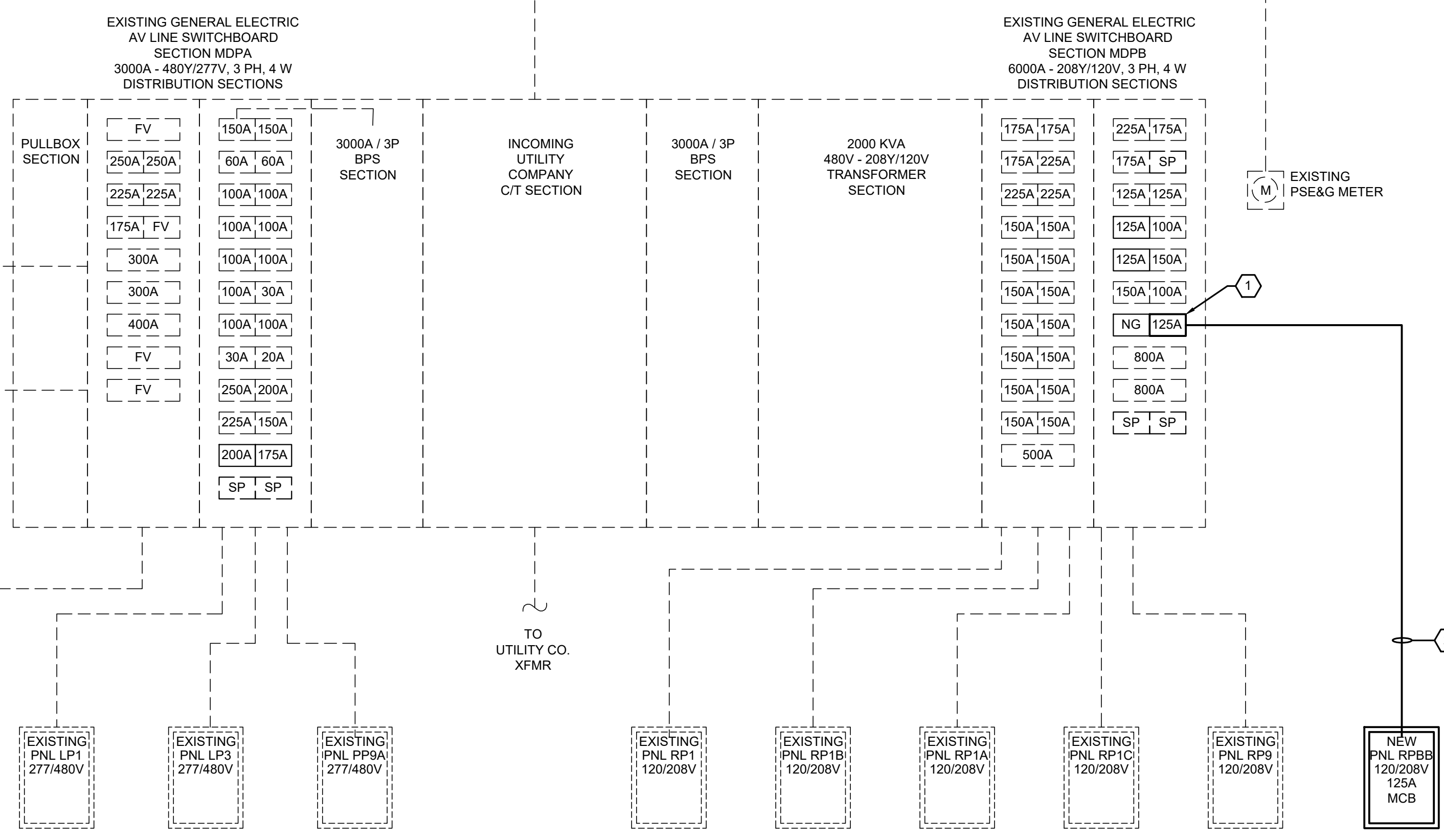
**AMIN H. GOMAA, PE**  
PROFESSIONAL ENGINEER, NJ LIC. No. 24GE04842100



**FIRE ALARM RISER DIAGRAM**  
 NOT TO SCALE

**FIRE ALARM RISER NOTES**

- REFER TO FLOOR PLANS FOR QUANTITIES OF DEVICES.
- IN GENERAL, ALL REQUIRED FIRE ALARM SYSTEM WIRING IS NOT SHOWN ON THE PLAN DRAWINGS. INSTALLATION AND ROUTING OF THESE CIRCUITS AND WIRING SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH EXISTING FIELD CONDITIONS, FIRE ALARM DIAGRAMS, SPECIFICATIONS AND CODES.
- PROVIDE NEW PULL STATIONS, AUDIBLE/VISUAL SIGNALS, STROBES AND DETECTORS AS SHOWN TO MATCH THE EXISTING FIRE ALARM SYSTEM MANUFACTURER. ALL NEW DEVICES SHALL BE UL LISTED FOR USE WITH THE EXISTING FIRE ALARM CONTROL PANEL. COORDINATE WITH EXISTING FIRE ALARM SYSTEM VENDOR OR MAINTENANCE COMPANY.
- PROVIDE DUCT SMOKE DETECTOR WITH KEY OPERATED REMOTE TEST SWITCH AND INDICATOR LIGHT. FIELD VERIFY EXACT LOCATIONS.
- ALL FIRE ALARM SYSTEM WIRING SHALL CONSIST OF PLENUM RATED FIRE PROTECTIVE CABLE, MINIMUM SIZE AS RECOMMENDED BY ALARM SYSTEM MANUFACTURER.
- WATERFLOW AND TAMPER SWITCHES. COORDINATE EXACT QUANTITY AND LOCATIONS WITH THE FIRE PROTECTION CONTRACTOR.
- COORDINATE ALL FIRE ALARM SYSTEM REQUIREMENTS WITH THE EXISTING SYSTEM VENDOR. CONTACT OPEN SYSTEMS, 211 YARDVILLE-HAMILTON SQUARE ROAD, HAMILTON, NEW JERSEY - (321) 792-2112. PROVIDE ALL REQUIRED MODIFICATIONS AND EXPANSION MODULES AS REQUIRED TO ACCOMMODATE THE WORK OF THIS PROJECT.
- THE EXPANDED/MODIFIED FIRE ALARM SYSTEM SHALL PASS A 100% RE-ACCEPTANCE TEST BY THE LOCAL FIRE MARSHAL.
- CONTROL MODULES FOR AUDIO / VISUAL SYSTEM INTERFACE. COORDINATE WITH THE SYSTEM INTEGRATOR.



**ELECTRICAL PARTIAL ONE LINE AND RISER DIAGRAM**  
 NOT TO SCALE

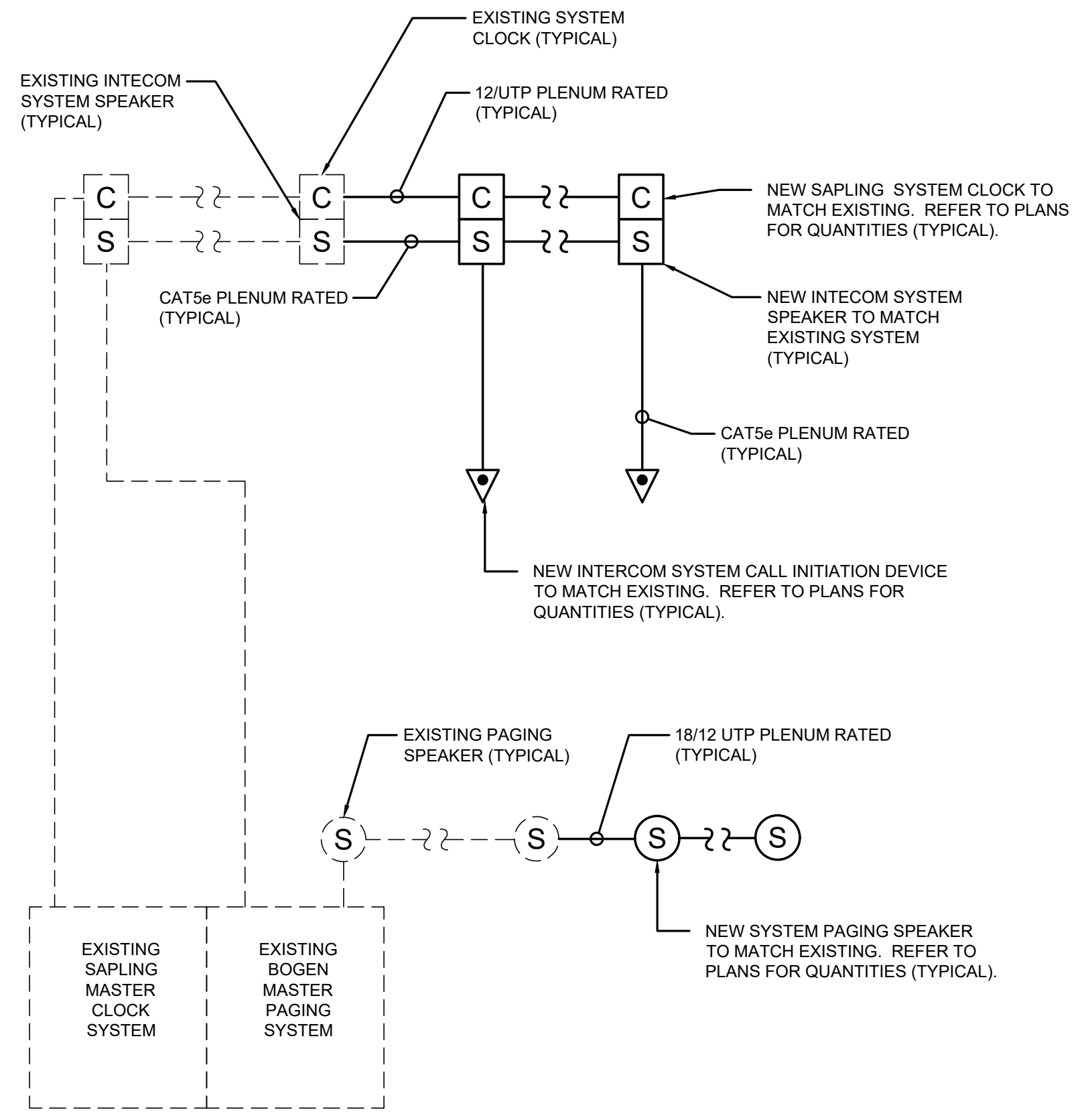
LINETYPE LEGEND	
---	EXISTING
—	NEW

**ONE LINE DIAGRAM KEY NOTES**

- PROVIDE NEW 125A CIRCUIT BREAKER TO MATCH EXISTING SWITCHBOARD MANUFACTURER AND SHORT CIRCUIT RATING IN EXISTING SPACE.
- 4 1 & 1 6 EG IN 1 1/2" EMT CONDUIT.

**SHEET NOTES**

- THE CONTRACTOR SHALL COORDINATE ANY REQUIRED ELECTRIC SERVICE OR AREA POWER SHUTDOWNS WITH THE OWNER AT LEAST SEVEN (7) DAYS PRIOR TO THE SHUTDOWN. ALL SHUTDOWN WORK SHALL BE PERFORMED ON WEEKENDS.
- UNLESS NOTED OTHERWISE OR SHOWN AS NEW, ALL PANELS, CIRCUIT BREAKERS, WIRING AND CONDUIT SHALL BE EXISTING TO REMAIN.
- UNLESS OTHERWISE NOTED, REFER TO FLOOR PLANS FOR LOCATIONS OF PANELS.

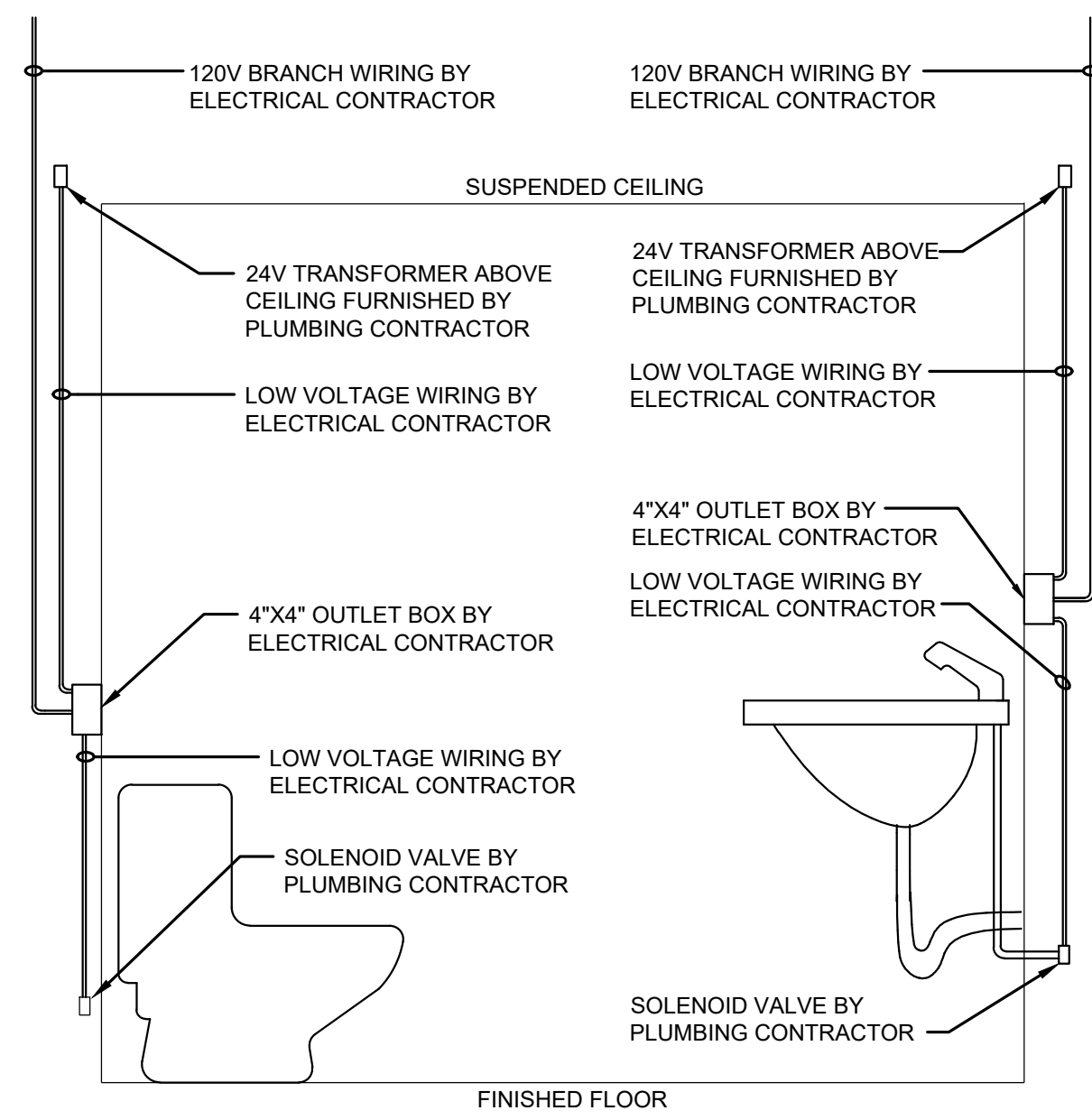


**INTERCOM SYSTEM RISER DIAGRAM**  
 NOT TO SCALE

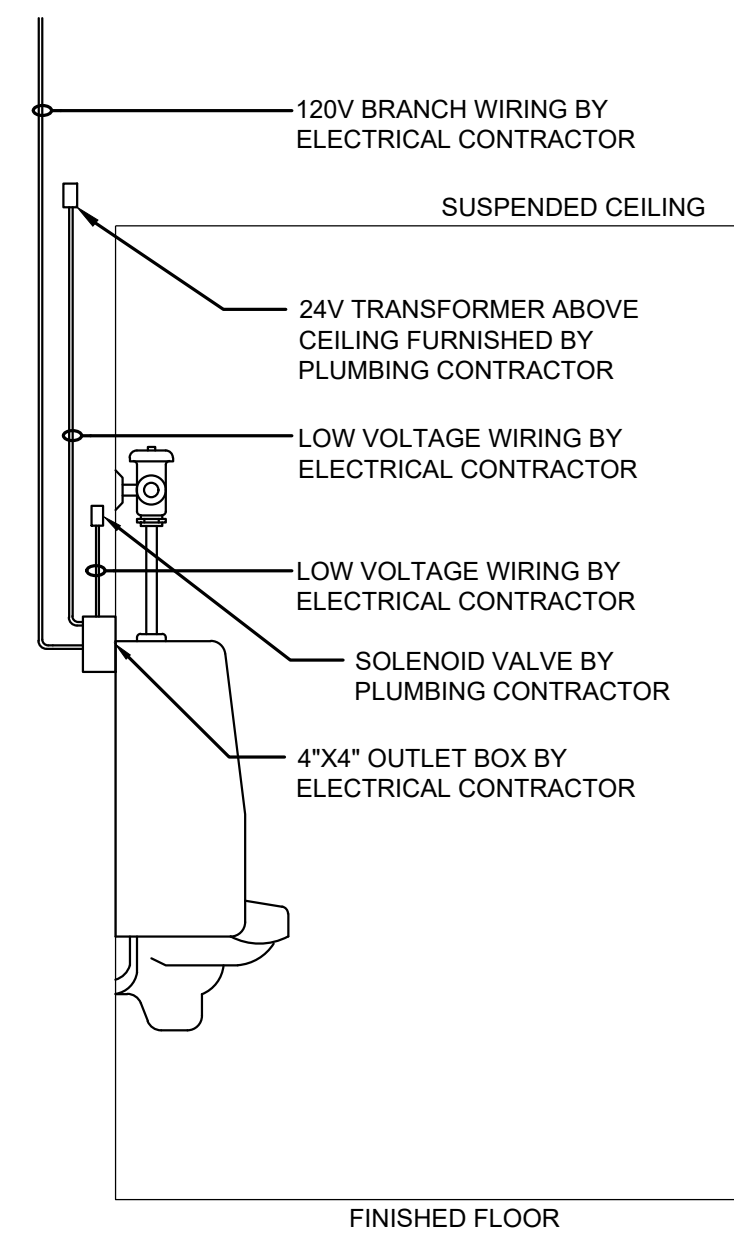
**INTERCOM SYSTEM RISER NOTES**

- REFER TO FLOOR PLANS FOR QUANTITIES OF DEVICES.
- IN GENERAL, ALL REQUIRED CLOCK / SPEAKER SYSTEM WIRING IS NOT SHOWN ON THE PLAN DRAWINGS. INSTALLATION AND ROUTING OF THESE CIRCUITS AND WIRING SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH EXISTING FIELD CONDITIONS AND CODES.
- ALL CLOCK / SPEAKER SYSTEM WIRINGS SHALL CONSIST OF PLENUM RATED CABLE, MINIMUM SIZE AS RECOMMENDED BY SYSTEM MANUFACTURER.
- COORDINATE ALL INTERCOM, CLOCK AND CLOCK/SPEAKER SYSTEM REQUIREMENTS WITH THE EXISTING SYSTEM VENDOR. CONTACT OPEN SYSTEMS, 211 YARDVILLE-HAMILTON SQUARE ROAD, HAMILTON, NEW JERSEY - (732) 792-2112. PROVIDE ALL REQUIRED MODIFICATIONS AND EXPANSION MODULES AS REQUIRED TO ACCOMMODATE THE WORK OF THIS PROJECT.

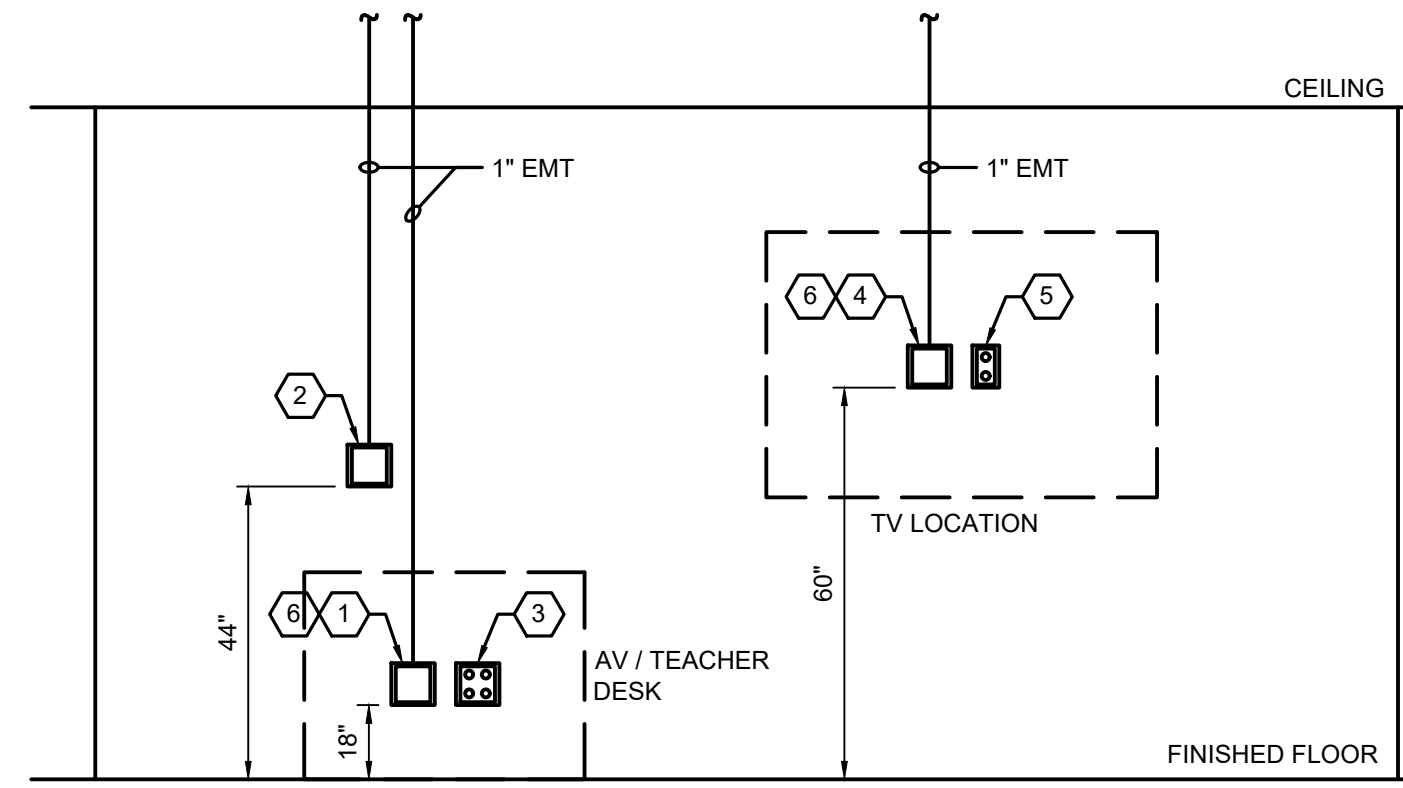




**TOILET AND SINK SENSOR DETAIL**  
NOT TO SCALE



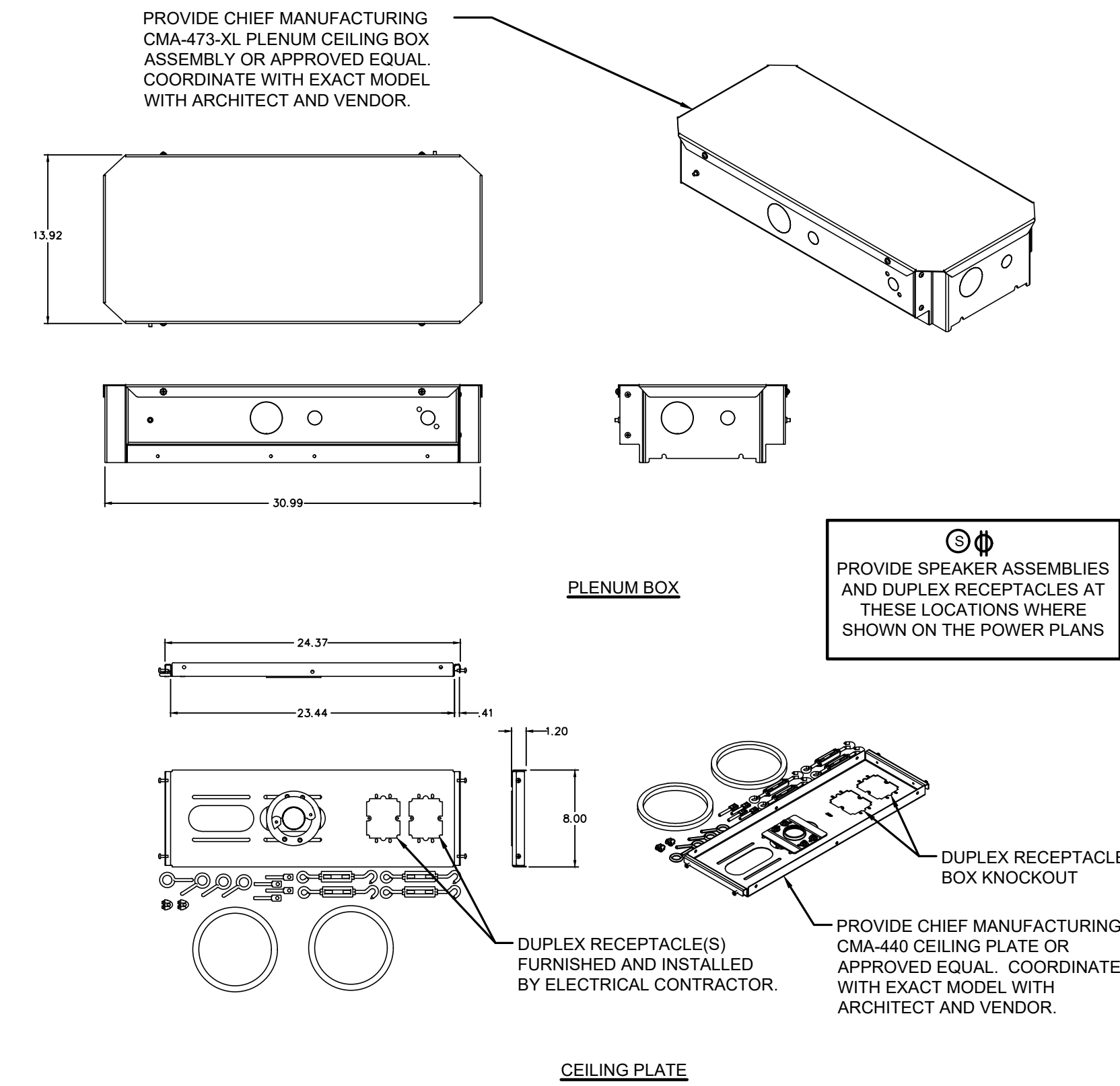
**URINAL SENSOR DETAIL**  
NOT TO SCALE



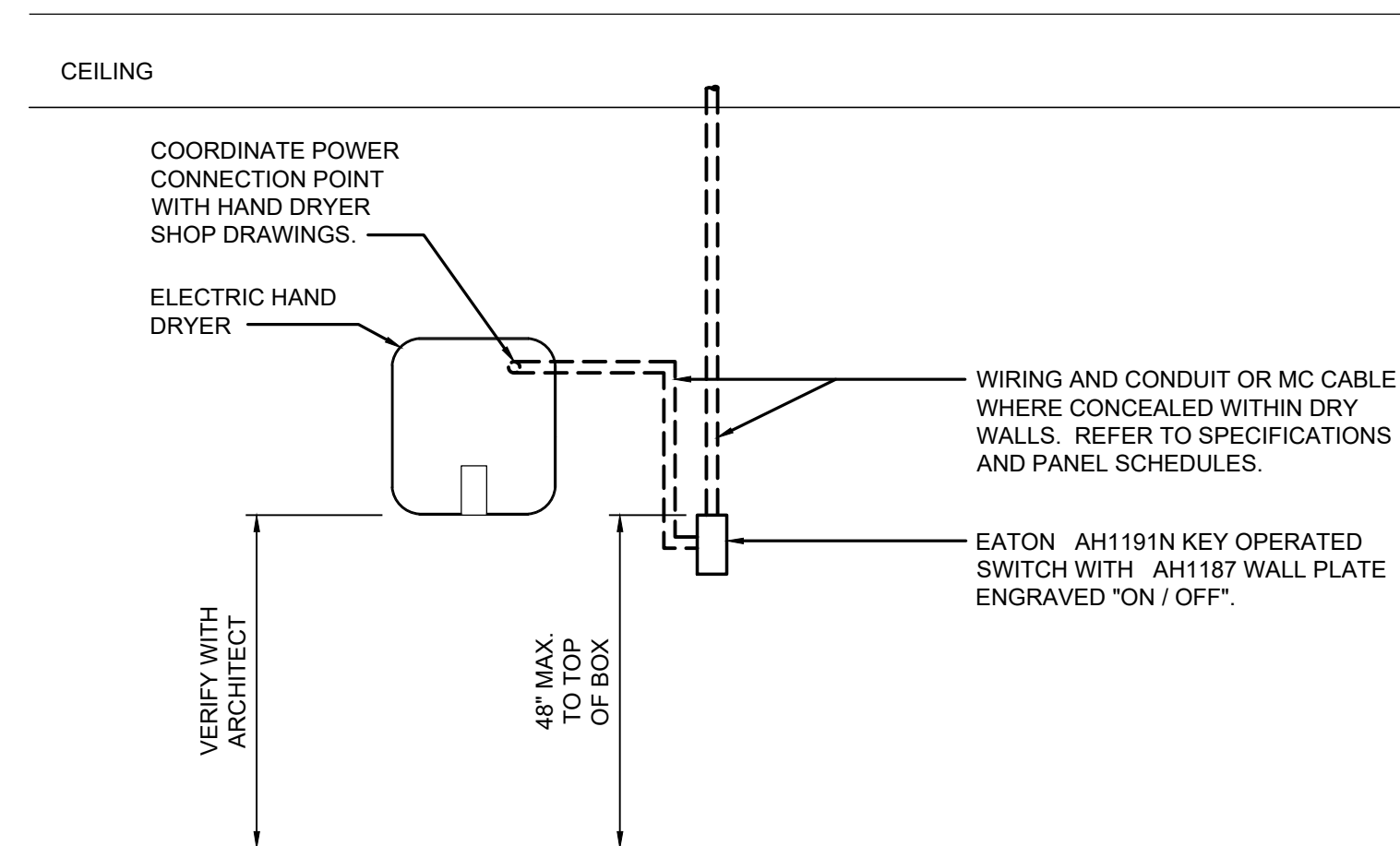
**TYPICAL CLASSROOM AV DETAIL**  
NOT TO SCALE

**CLASSROOM AV DETAIL KEY NOTES**

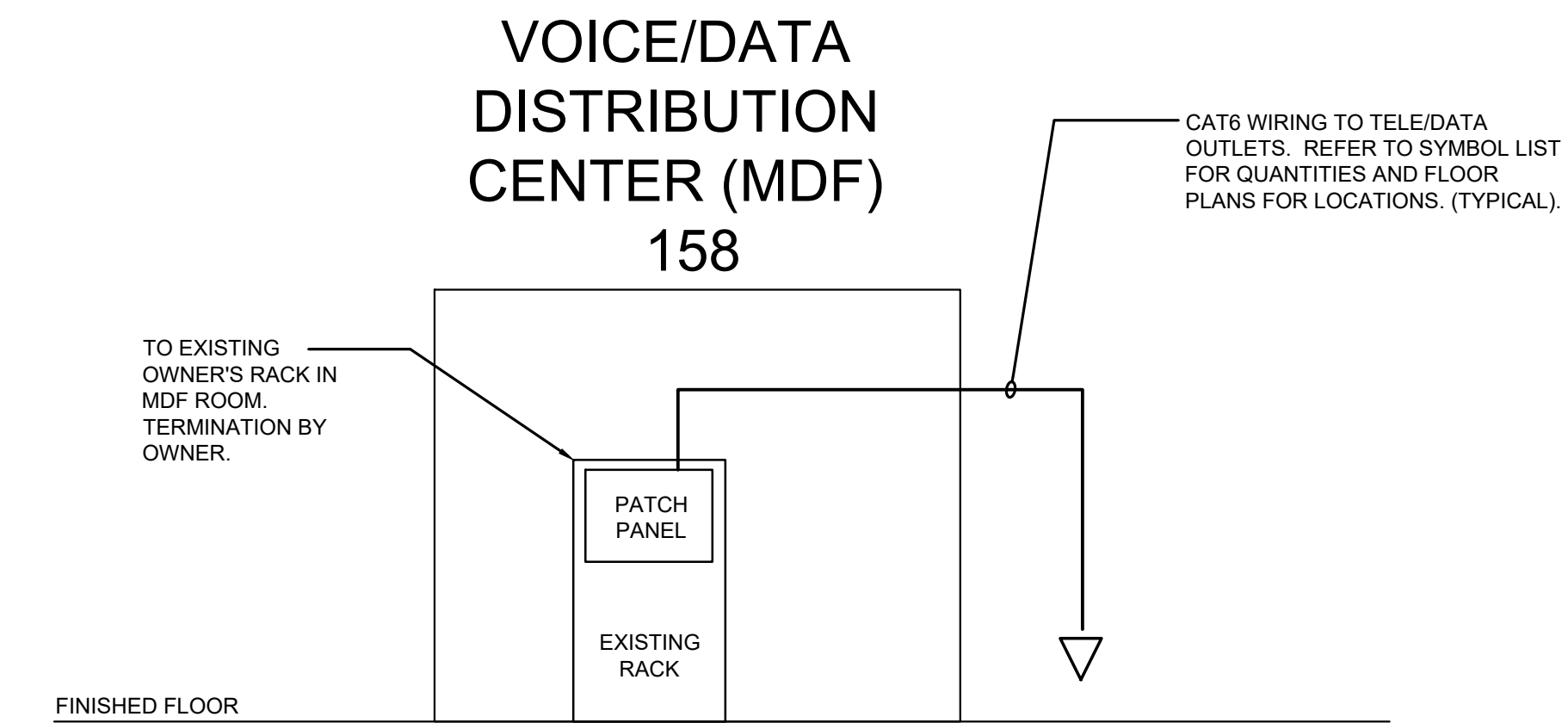
- 1 TELEPHONE, HDMI AND OTHER TV CONNECTIONS: PROVIDE TWO GANG JUNCTION BOX WITH TWO (2) R45 CONNECTORS, HDMI F/F ADAPTER AND WALL PLATE, TWO (2) PLENUM RATED CAT6 CABLES TO IDF ROOM AND (1) HDMI CABLE TO TV LOCATION (REFER TO KEY NOTE 4) IN 1\"/>
- 2 CLASSROOM SPEAKER SWITCH CONTROL: PROVIDE EMPTY TWO GANG JUNCTION BOX WITH COVER, AND 1\"/>
- 3 QUAD RECEPTACLE FOR CLASSROOM AV EQUIPMENT MOUNTED 18\"/>
- 4 TV HDMI CABLE CONNECTIONS, 3.5MM JACK CONNECTION TO CLASSROOM SPEAKER: PROVIDE TWO GANG JUNCTION BOX WITH HDMI F/F ADAPTER, 3.5MM JACK CONNECTION FOR CLASSROOM SPEAKER WALL PLATE, (1) HDMI CABLE IN 1\"/>
- 5 DUPLEX RECEPTACLE FOR LCD TV MOUNTED 60\"/>
- 6 PROVIDE (1) HDMI CABLE FROM THE TV OUTLET LOCATION TO THE TEACHERS DESK.



**POWERED CEILING SPEAKER OR PROJECTOR ASSEMBLY DETAIL**  
NOT TO SCALE

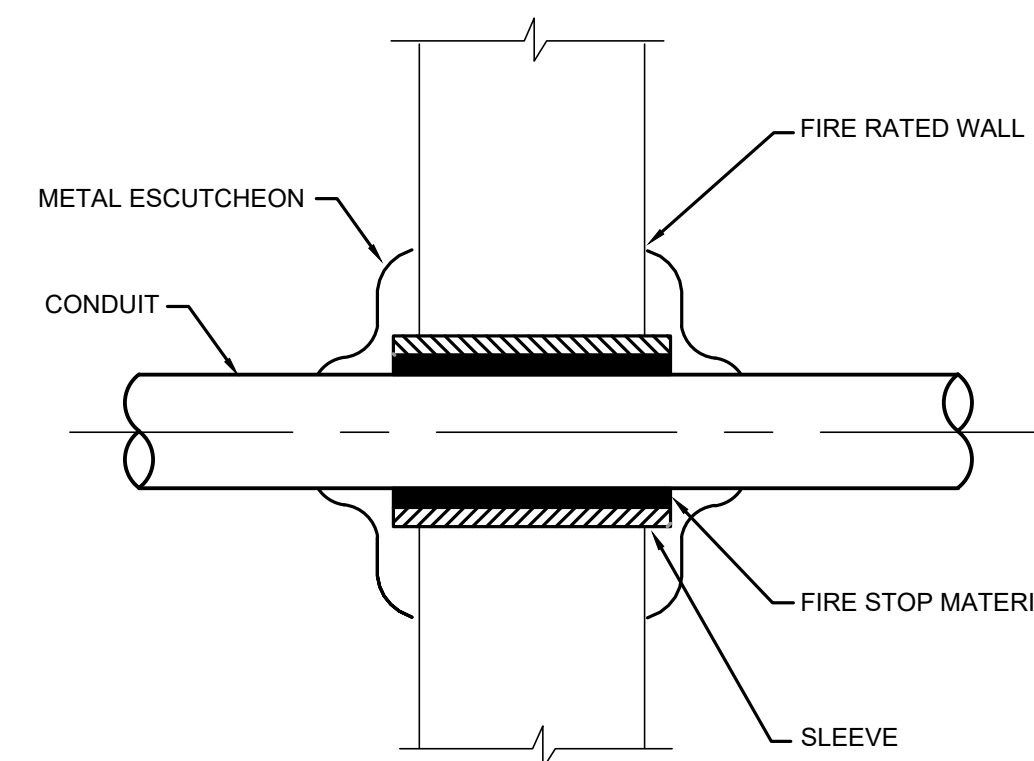


**TYPICAL ELECTRIC HAND DRYER DISCONNECT SWITCH DETAIL**  
NOT TO SCALE

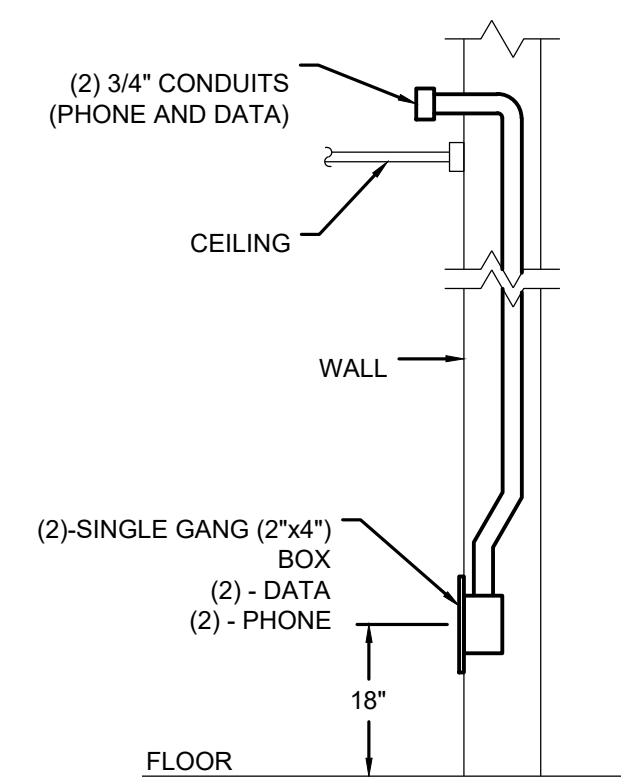


**TELE / DATA SYSTEM RISER DIAGRAM**  
NOT TO SCALE

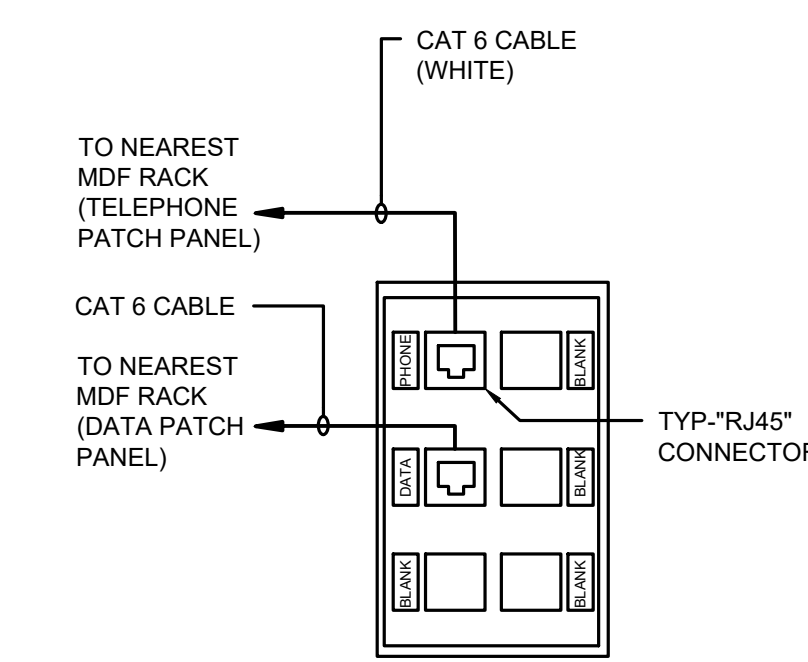
**SCOPE OF WORK:**  
PROVIDE JACK, FACEPLATE, CABLING, RACKS, PATCH PANELS, AND TERMINATIONS AT THE JACK AND PATCH PANELS. REFER TO PROJECT SPECIFICATION FOR ADDITIONAL INFORMATION.



**CONDUIT PENETRATION DETAIL THRU FIRE RATED SOLID WALL**  
NOT TO SCALE



**TYPICAL DATA AND TELEPHONE OUTLET ARRANGEMENT**  
NOT TO SCALE



**TYPICAL TELE/DATA JACK**  
NOT TO SCALE

WILLIAM D. HOPKINS III, AIA, LEED AP  
 GEORGE E. DUTHE JR., AIA, LEED AP  
 FRAYTAK VEISZ HOPKINS DUTHE P.C.  
 architects planners  
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 Corporate: 140 Whipple Ave - Mont Clare - Pennsylvania 19381  
 Date: 04/06/21  
 F V H D P C - C O M

Project Name  
**Addition to West Windsor-Plainsboro High School North**

Project Owner Name  
**West Windsor-Plainsboro Regional School District**

Project Location  
**90 Grovers Mill Road, Plainsboro, New Jersey 08536**

Project Number  
**5063K1**  
 Project Date  
**04.06.2021**  
 Checked By  
**AHG**  
 Drawn By  
**AMP**  
 Scale  
**AS SHOWN**

Drawing Name  
**ELECTRICAL DETAILS**

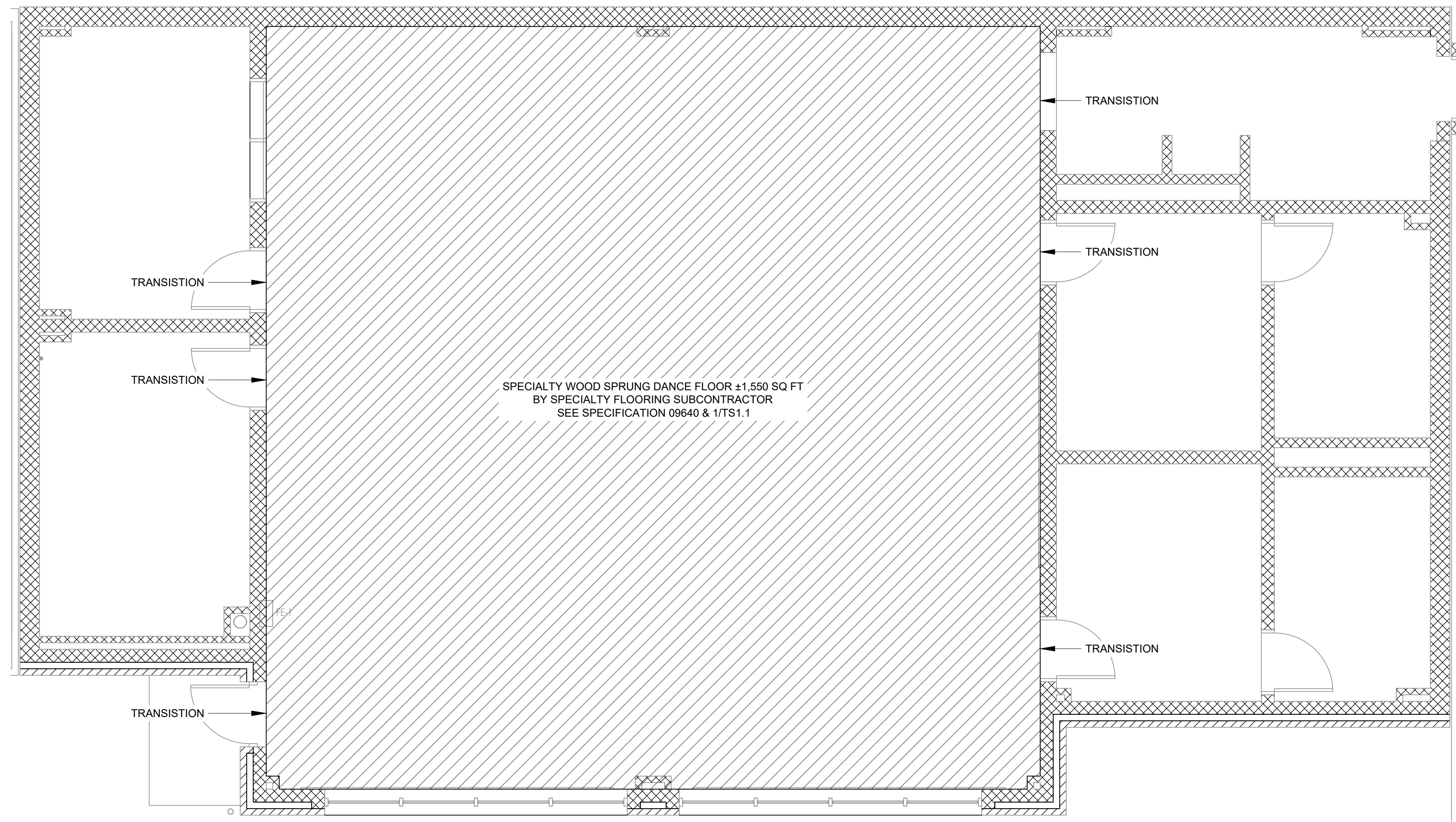
No.	Date	Description
04.06.21		Issued for Bid

Drawing Number  
**E10.0**

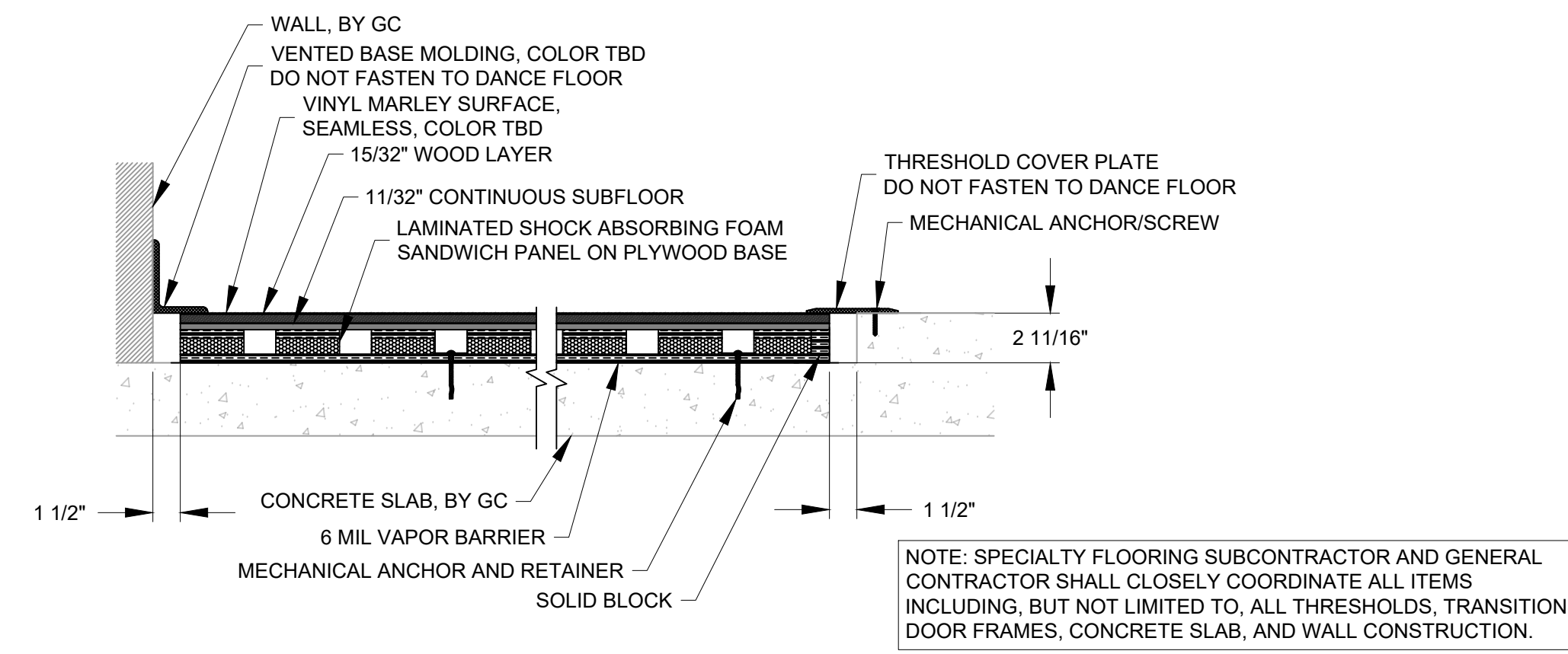
**FPA**  
**FRENCH & PARRELLO ASSOCIATES**  
 Corporate Office:  
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 West, New Jersey 07718  
 732.312.9800  
 FPAengineers.com  
 New Jersey New York Pennsylvania Georgia  
**AMIN H. GOMAA, PE**  
 PROFESSIONAL ENGINEER, NJ LIC. No. 24GE0482100

C:\3K-2020-2547 - W Windsor - Plainsboro Regional School District\3547\204 - West Hs North Addition And Bldg CAD\DWG\Phase 1 - New Addition\3547\204A - E10.0.dwg  
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**A PARTIAL PLAN - FLOORING**  
SCALE: 1/4" = 1'-0"



**1 DANCE FLOOR DETAIL**  
SCALE: 1/4" = 1'-0"

**DANCE FLOOR NOTES**

1. UNIFORMLY ANCHOR PANELS TO CONCRETE SLAB. ANCHORS MUST NOT, DIRECTLY NOR INDIRECTLY, CONTACT THE ACTIVE LAYERS OF THE SYSTEM.
2. ANCHORING IS ACHIEVED THROUGH THE RESILIENT LAYER.
3. PANEL ANCHORING SHALL PREVENT OVER COMPRESSION AND DIFFERENTIAL COMPRESS OF THE RESILIENT LAYER.
4. RESILIENT LAYER AND SYSTEM DESIGN SHALL LIMIT VIBRATION TO SPECIFIED PARAMETERS. SEE SPECIFICATION.
5. SUBFLOOR PANELS ARE TO BE FACTORY MACHINED TO ACCEPT LOADING RESTRAINT BLOCKS TO ASSURE PROPER BALANCE OF PERFORMERS AND RIGORS OF LOADING.
6. FLOOR SHALL BE FINGER JOINTED DESIGN.

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 GEORGE DUTHE JR., AIA, PP  
 NJ-2140159700  
 Architect

**GFVHD** architects  
 planners  
 Fraytak Veisz Hopkins Duthe PC  
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 Pennsylvania: 140 Whittaker Ave - Mont Clare - Pennsylvania 19453

F V H D P C - C O M  
 Date: 04/06/21

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Project Location  
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Project Date  
 04.06.2021

Checked By  
 GRD

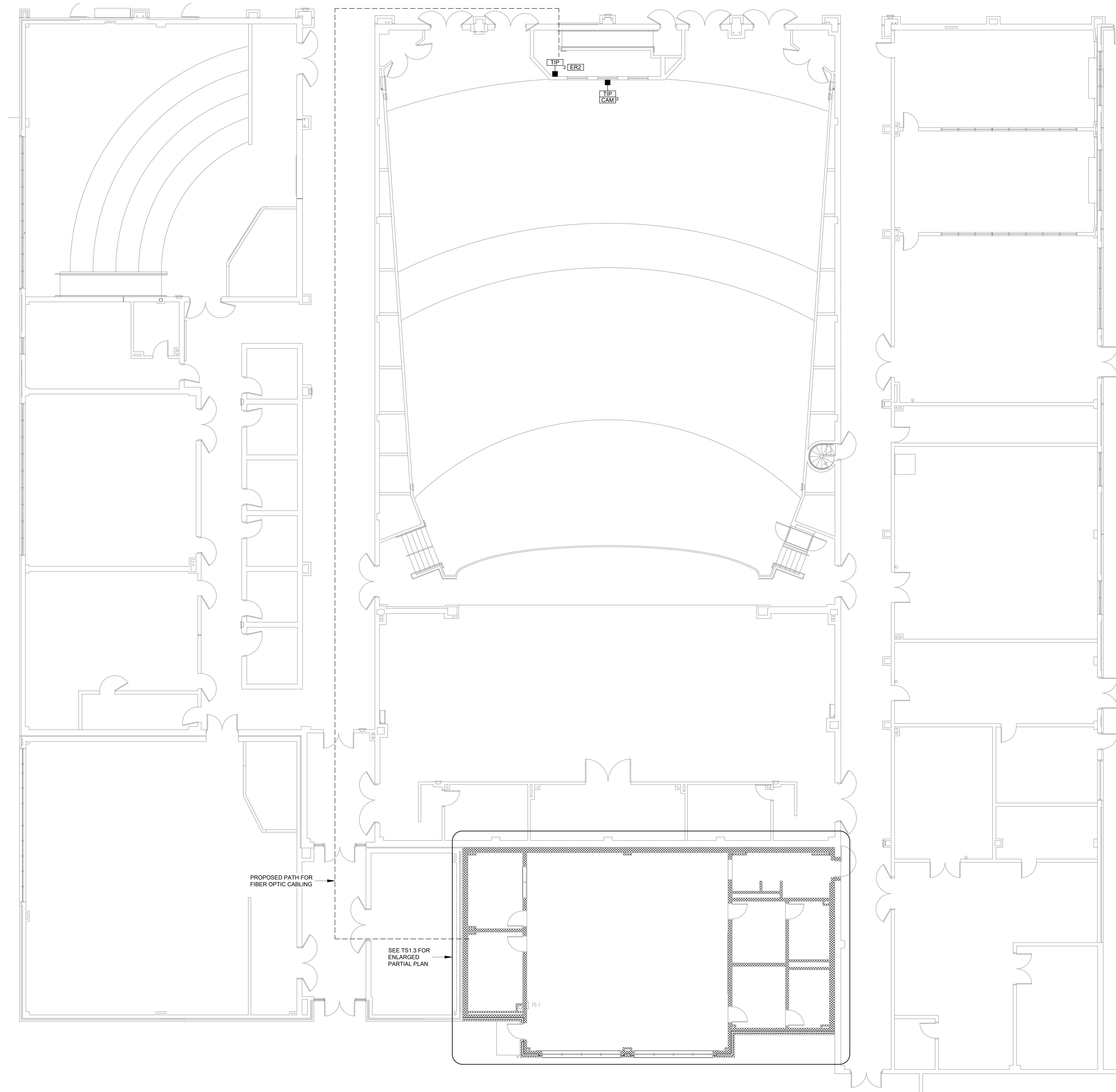
Drawn By  
 BC

Scale  
 AS NOTED

Drawing Name  
 DANCE CLASSROOM - SPECIALTY FLOORING

Revisions		
No.	Date	Description

Drawing Number  
 TS1.1



**A PARTIAL PLAN**  
 SCALE: 1/8" = 1'-0"  
 0 2 4 6 8 10 12 14 16 18 20

WILLIAM D. HOPKINS III, AIA, LEED AP  
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 GEORGE R. DUTHIE, JR., AIA, PP  
 NY - 2140379700

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GFVHD  
 Date: 04/06/21  
 Architect

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**04.06.2021**

Checked By  
**GRD**

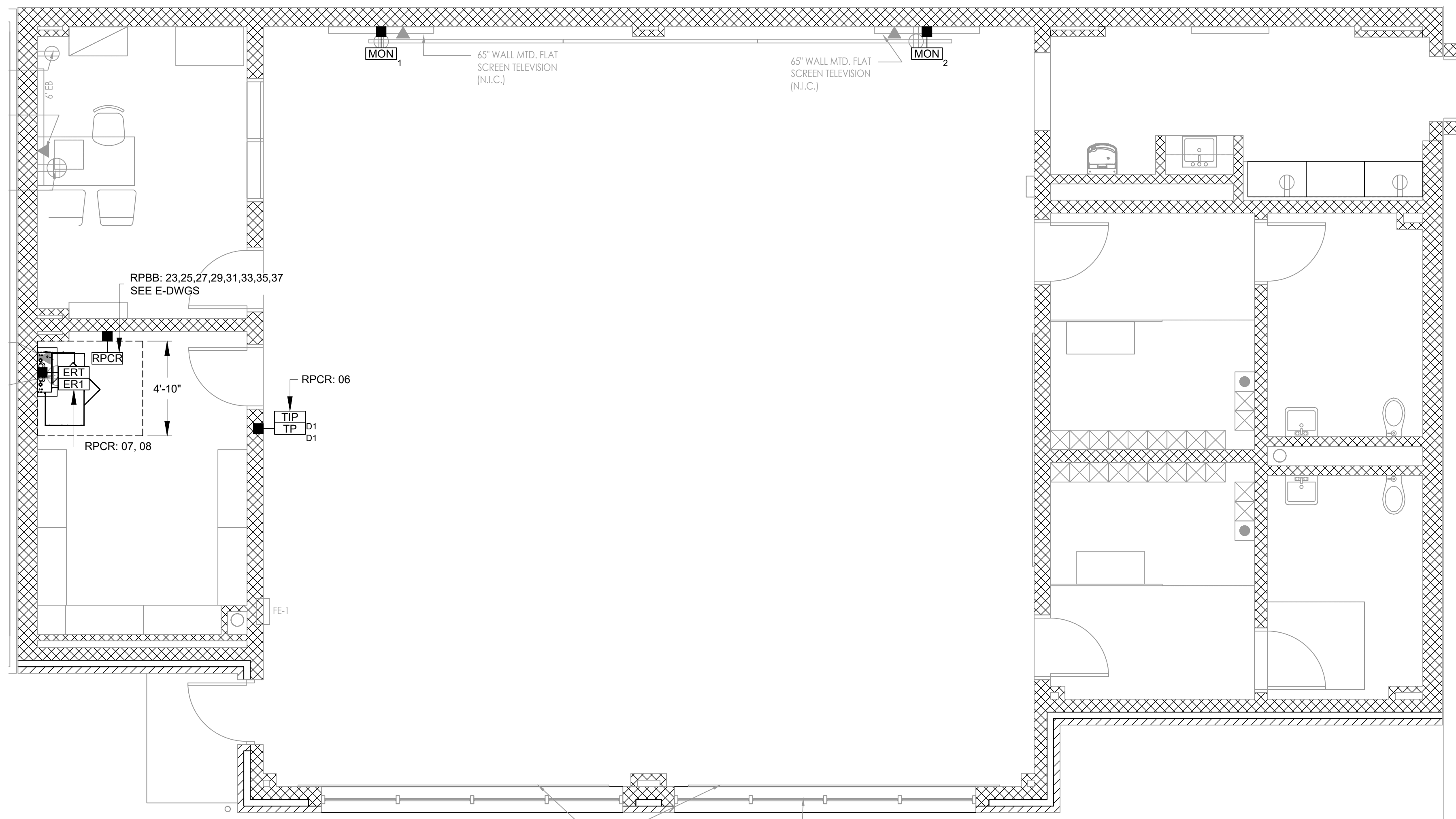
Drawn By  
**BC**

Scale  
**AS NOTED**

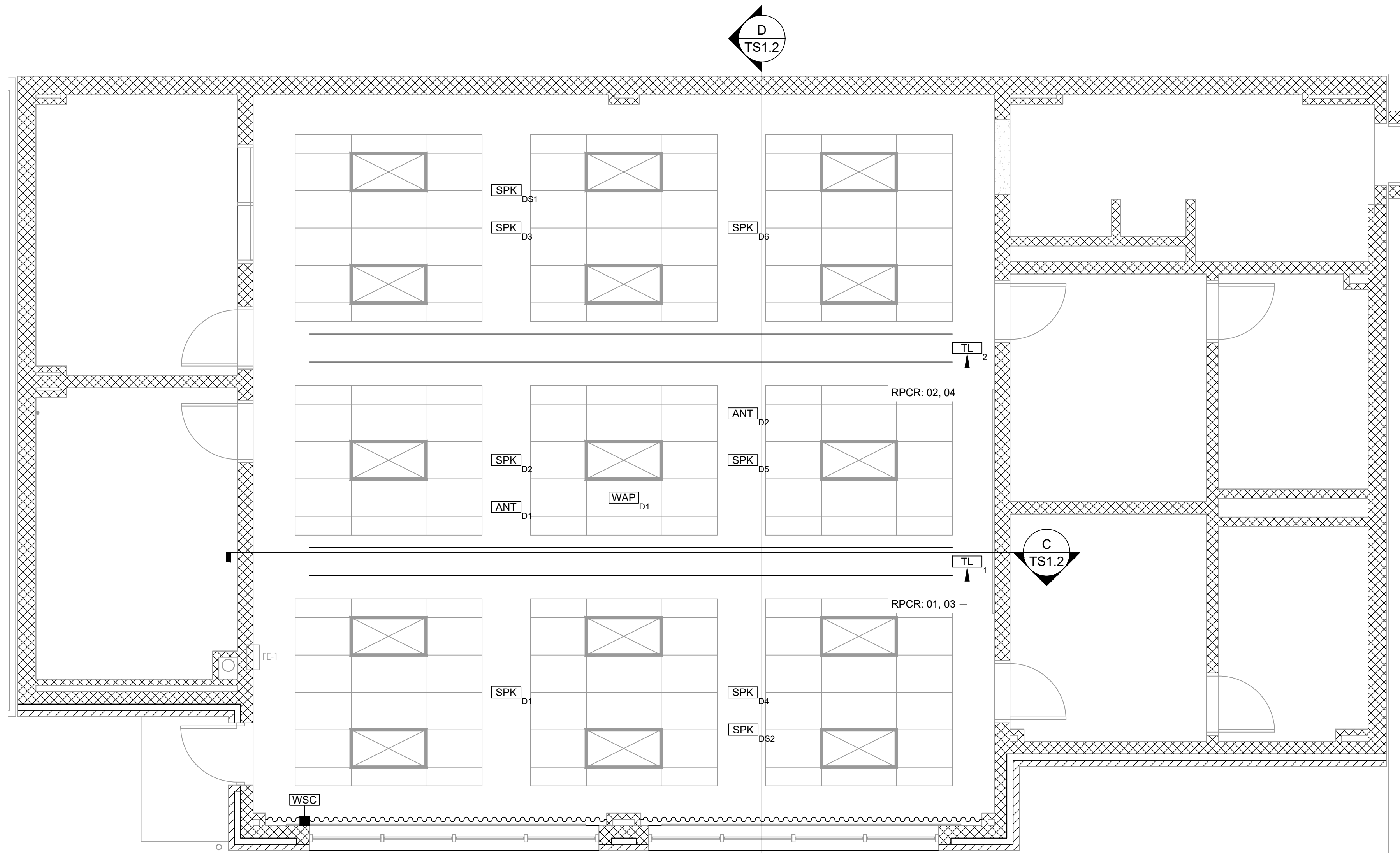
Drawing Name  
**THEATRICAL SYSTEMS - OVERALL PLAN (ALTERNATE BID)**

Revisions	No.	Date	Description

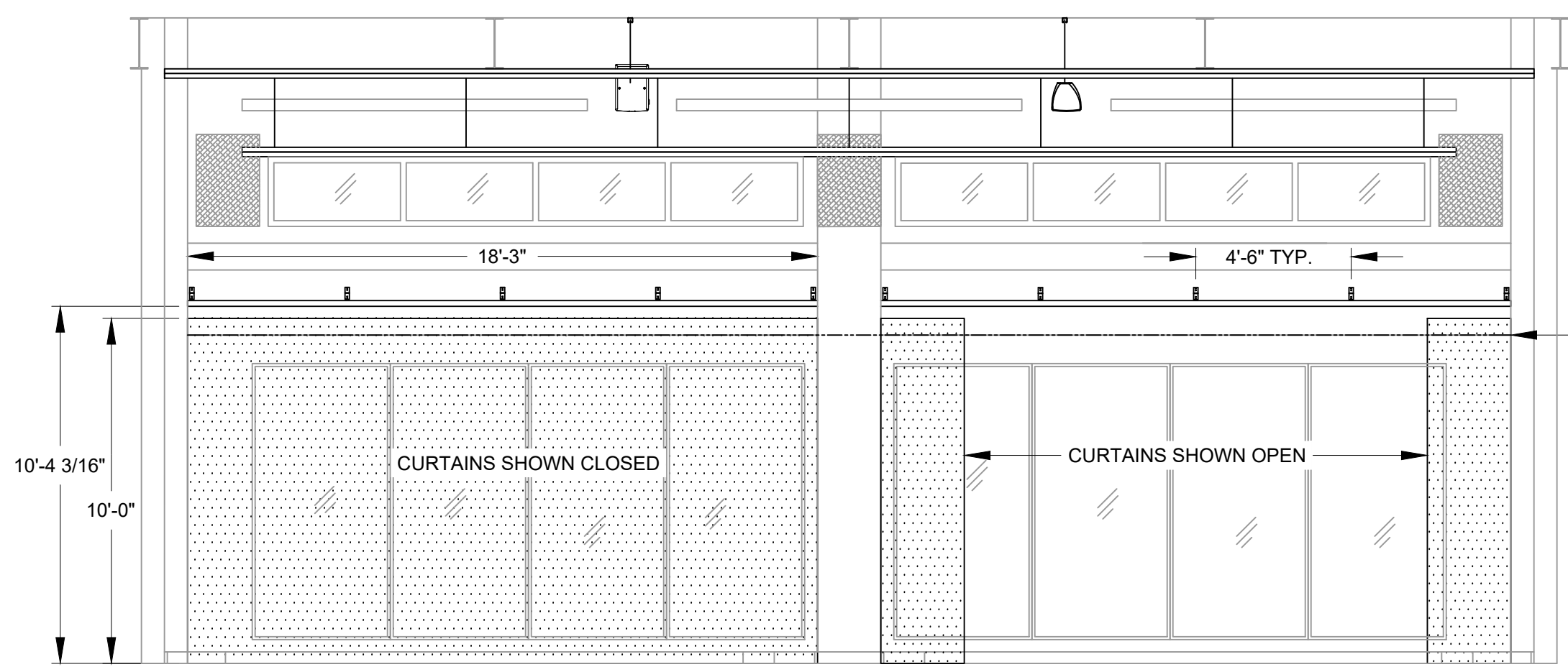
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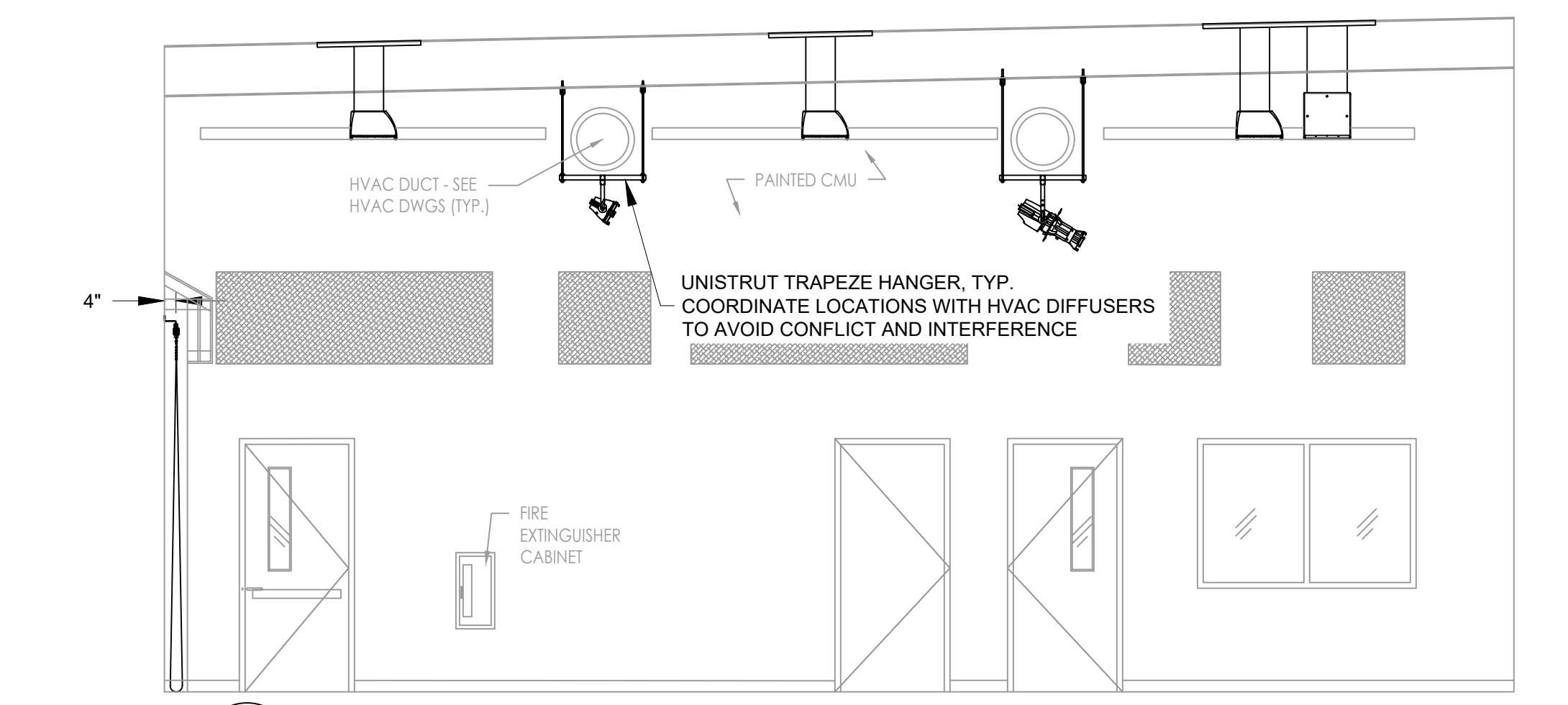
**A PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"



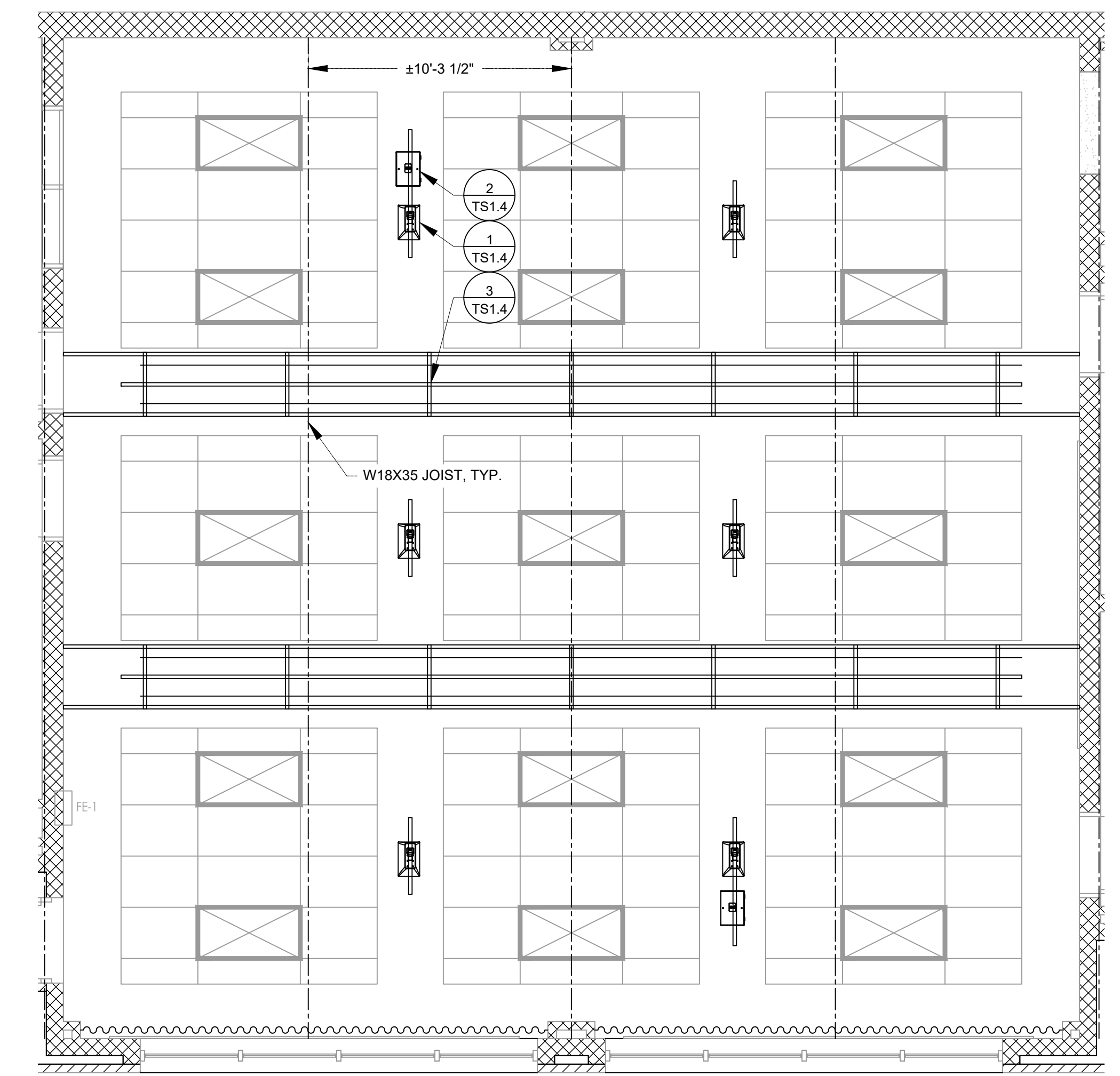
**B PARTIAL REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



**C PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"



**D PARTIAL PLAN**  
SCALE: 1/4" = 1'-0"



**E PARTIAL REFLECTED CEILING PLAN - RIGGING**  
SCALE: 1/4" = 1'-0"

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 NY 714070000 PA 74012200X  
 GEORGE R. DUTHIE JR., AIA, PP  
 NY 7140197000

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 Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 19453

F V H D P C - C O M

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Project Number  
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**04.06.2021**

Checked By  
**GRD**

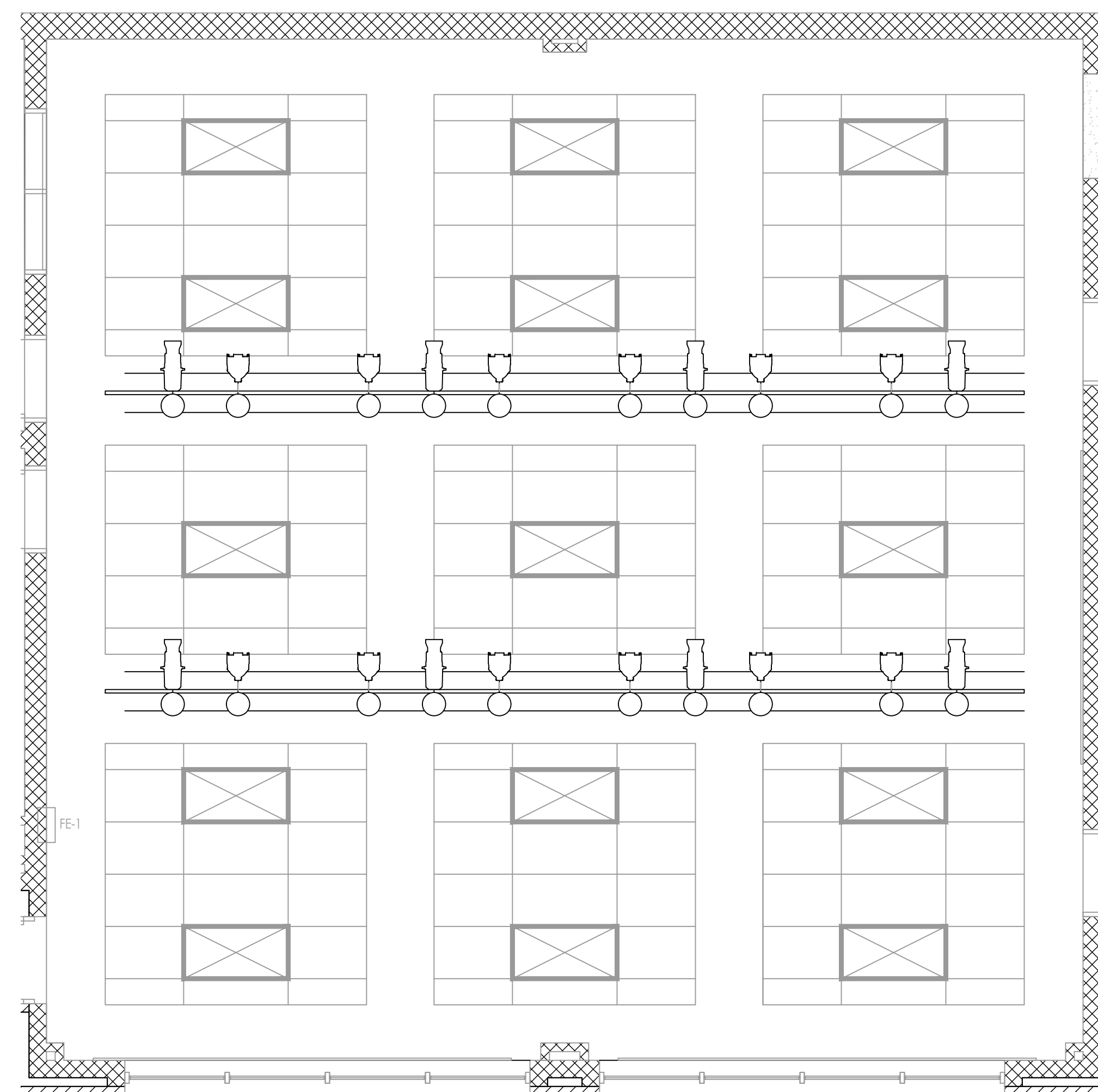
Drawn By  
**BC**

Scale  
**AS NOTED**

Drawing Name  
**DANCE CLASSROOM - THEATRICAL SYSTEMS (ALTERNATE BID)**

Revisions	No.	Date	Description

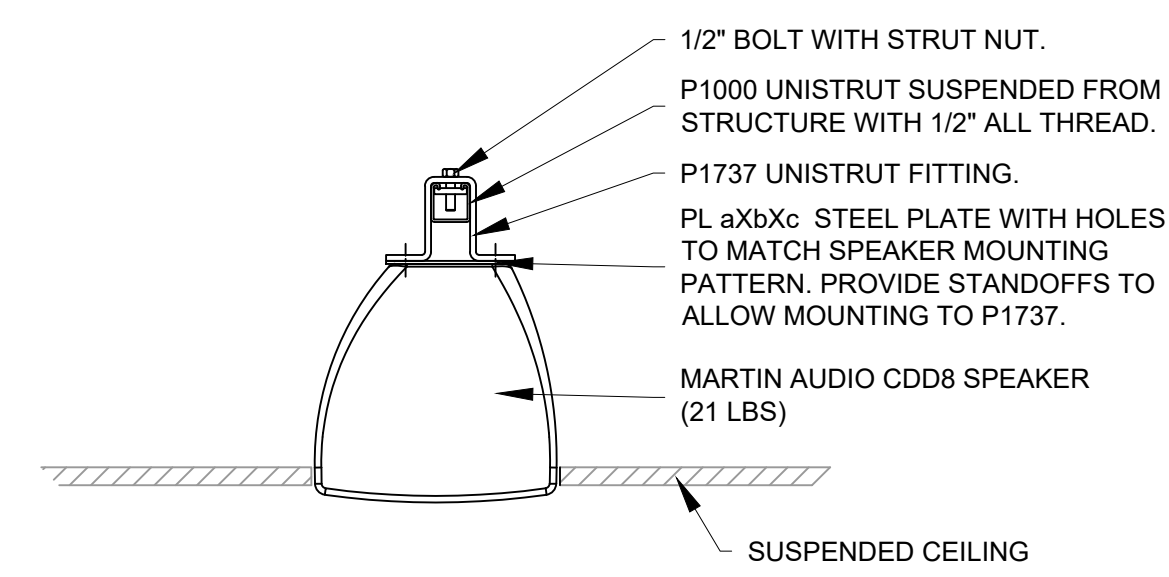
Drawing Number  
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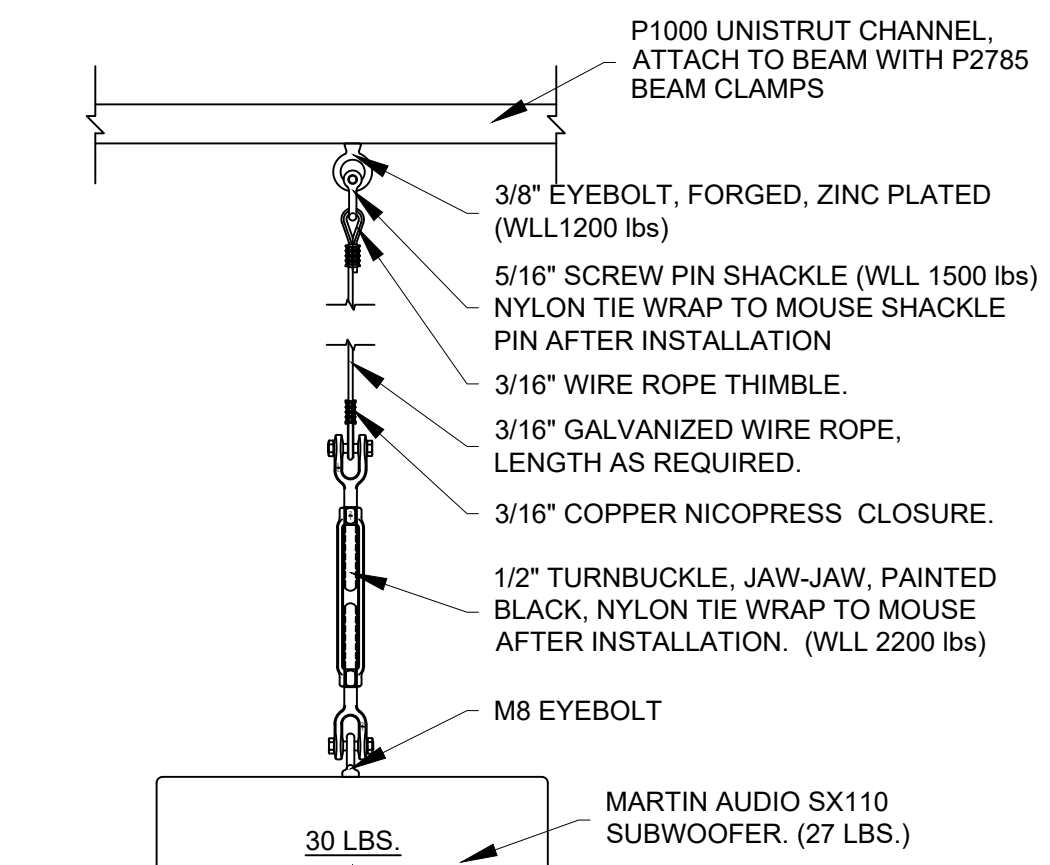
**D DANCE CLASSRM - LIGHT PLOT**

SCALE: 1/4" = 1'-0"

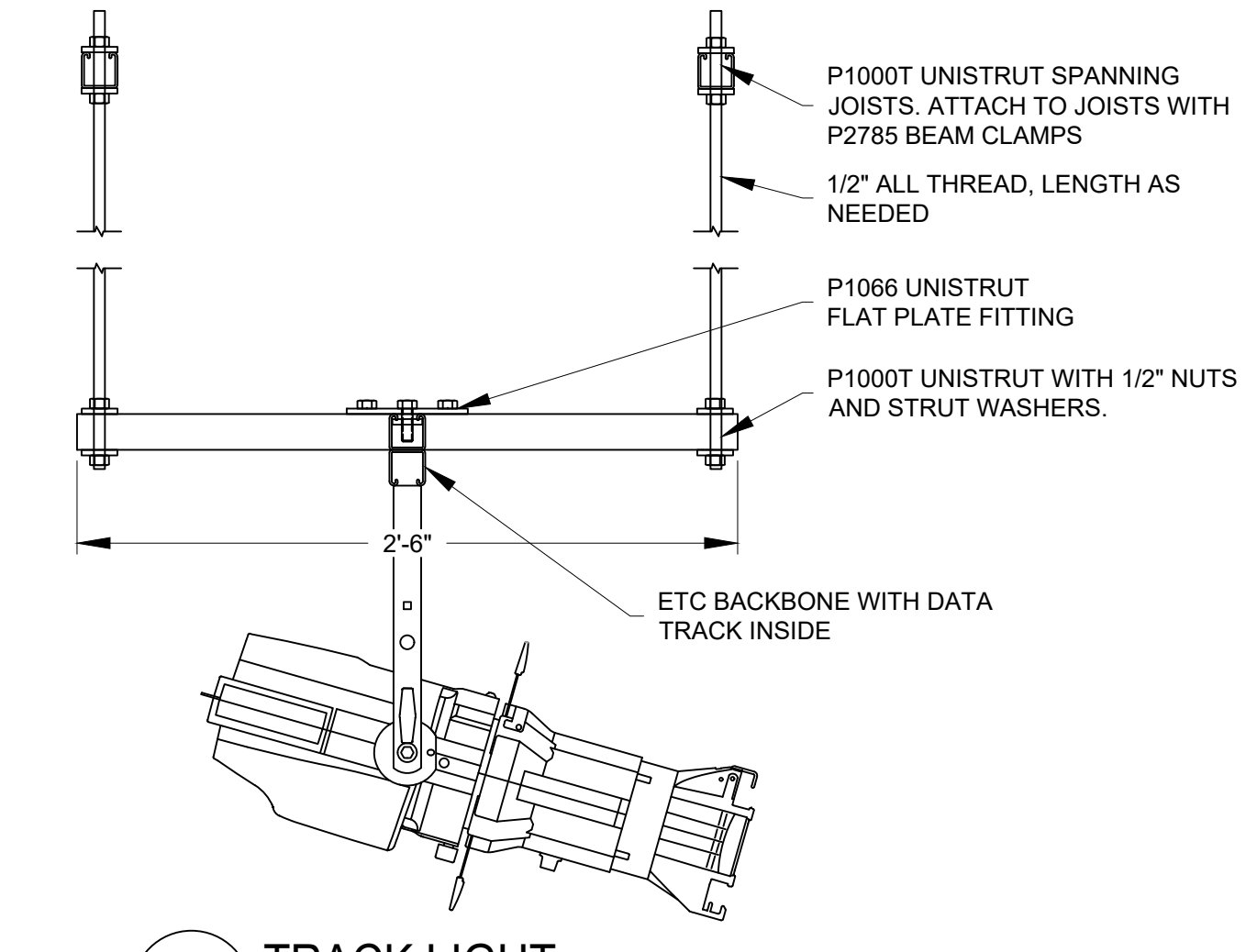
THEATRICAL FIXTURE SCHEDULE		
LEGEND	FIXTURE	NOTES
	ETC COLOR SOURCE SPOTS, DEGREE AS NOTED	ADJUST SHUTTERS AS REQUIRED TO CONTROL LIGHT, DO NOT LEAVE FULLY SHUT
	ETC COLOR SOURCE PAR	INSTALL LENS (IF INDICATED)
ADDRESS CIRCUIT WATTAGE UNIT LENS FOCUS	ADDRESS CIRCUIT WATTAGE UNIT LENS FOCUS	
INSTALLATION NOTES: 1. REMOVE ALL FIXTURES AND ACCESSORIES FROM PACKAGING 2. USE MINIMUM REQUIRED LENGTH OF POWER/DATA CABLE TO REACH DESIGNATED POWER/DATA RECEPTACLE, TIE UP ALL CABLE TO GRID WITH 1/8" TIELINE OR HOOK & LOOP 3. ALLOW ENOUGH CABLE SLACK TO FULLY FOCUS FIXTURE IN ANY DIRECTION 4. INSTALL ALL LENSES AS PER PLOT 5. FOCUS ALL FIXTURES AS PER PLOT 6. ADDRESS EACH FIXTURE SEPARATELY AS PER PLOT 7. ASSEMBLE, SETUP, AND PATCH LIGHTING CONTROLLER		



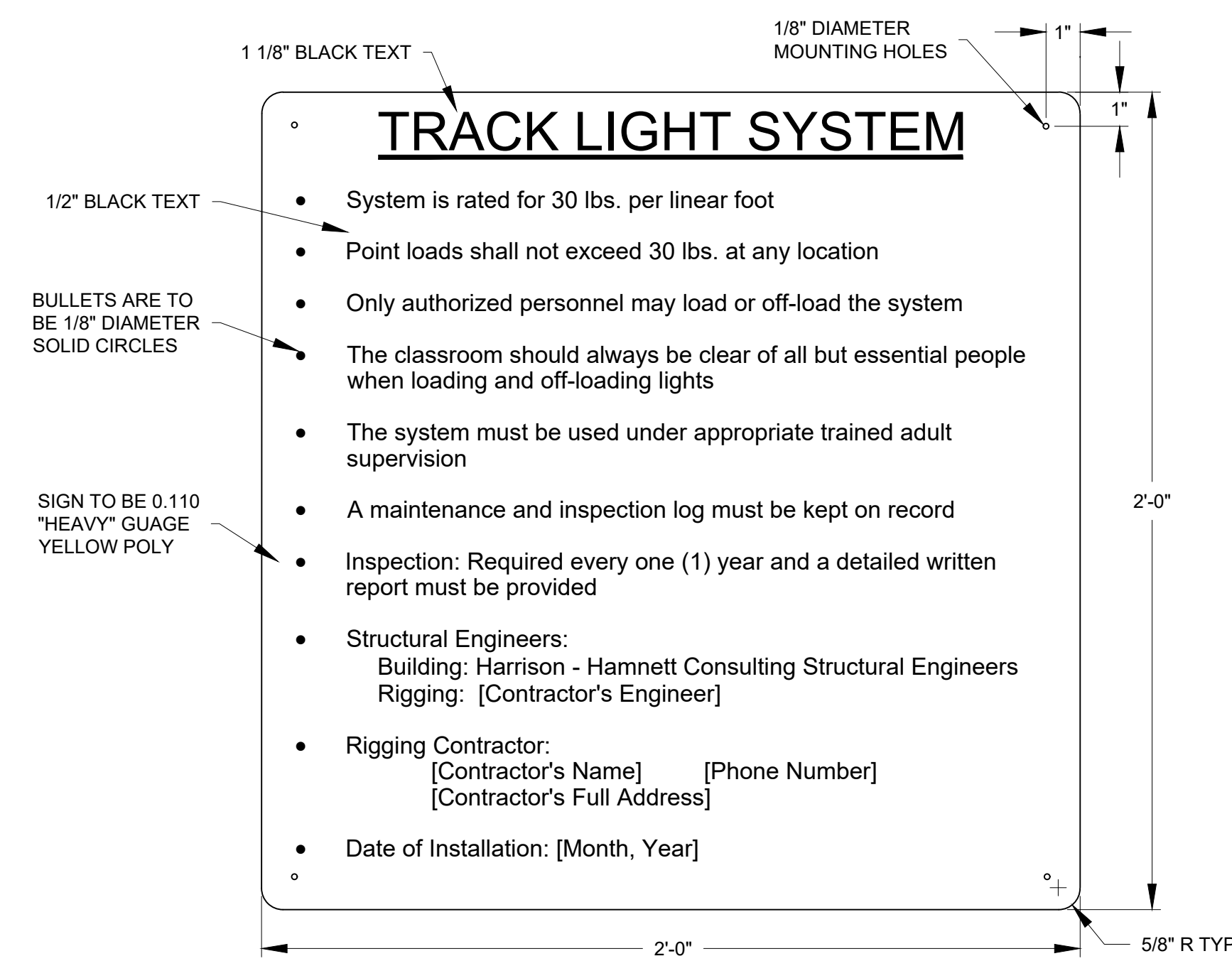
**1 HORIZONTAL SPEAKER RIGGING**  
SCALE 1 1/2" = 1'-0"



**2 SUBWOOFER RIGGING**  
SCALE 1 1/2" = 1'-0"  
NOTE: TYP. 2 POINTS PER SUBWOOFER.



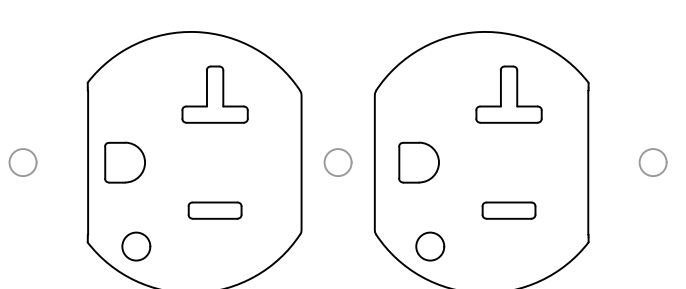
**3 TRACK LIGHT**  
SCALE 1 1/2" = 1'-0"



**4 SYSTEM SIGNAGE**  
SCALE 3" = 1'-0"

NOTE: WHERE DEVICE IS BEING RECESSED IN A STUD WALL, THE TWO BACK BOXES CAN BE SPLIT AND INSTALLED SHARING A COMMON STUD.

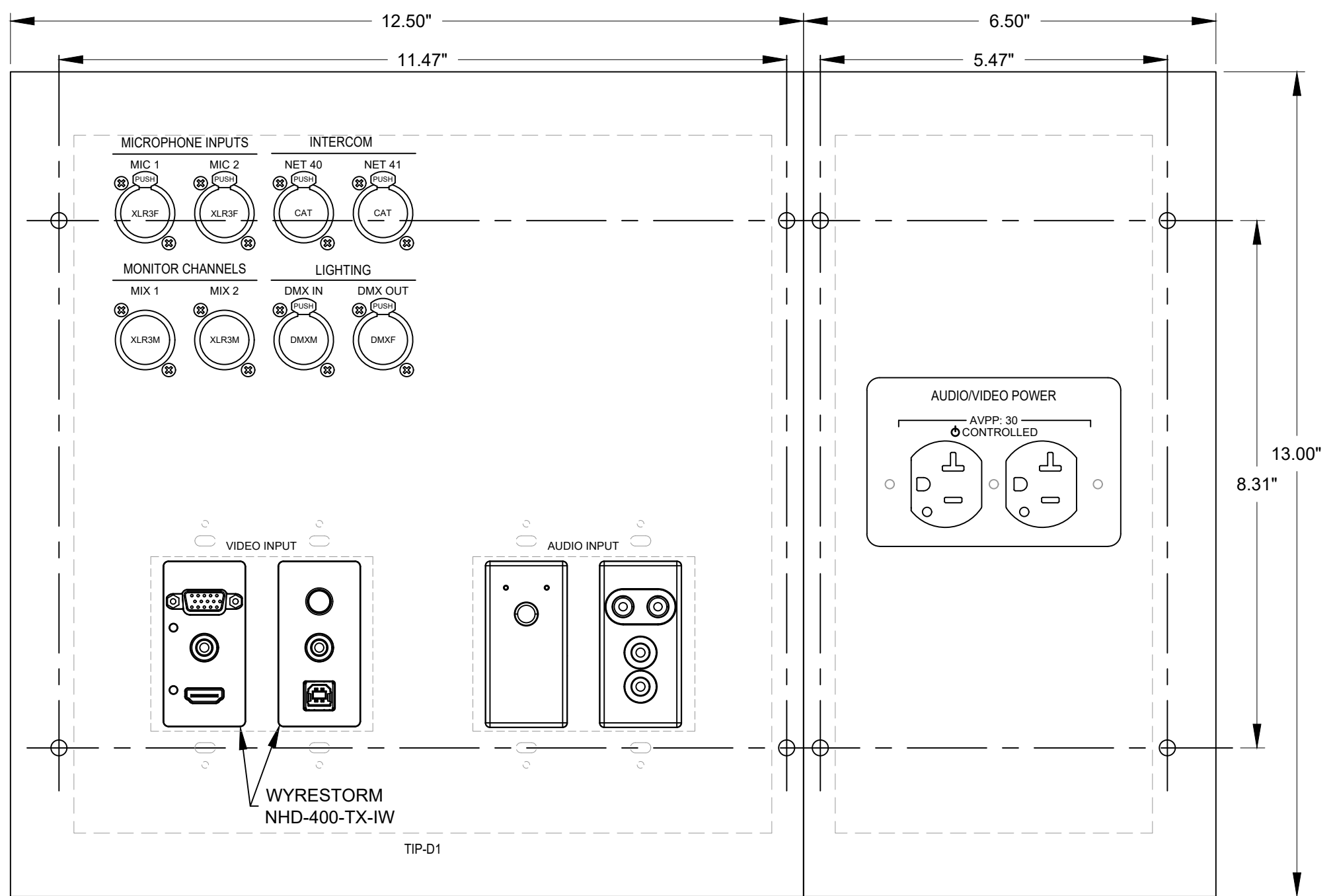
- PANEL NOTES:**
- WALL PLATES ARE TO BE 1/16" ALUMINUM WITH POWDER COAT FINISH, UNLESS OTHERWISE NOTED.
  - LASER ENGRAVING AS PER DRAWING. TYPICALLY LABEL TEXT IS 1/8" AND HEADINGS ARE 5/32".
  - CONNECTORS TO BE REAR MOUNTED.



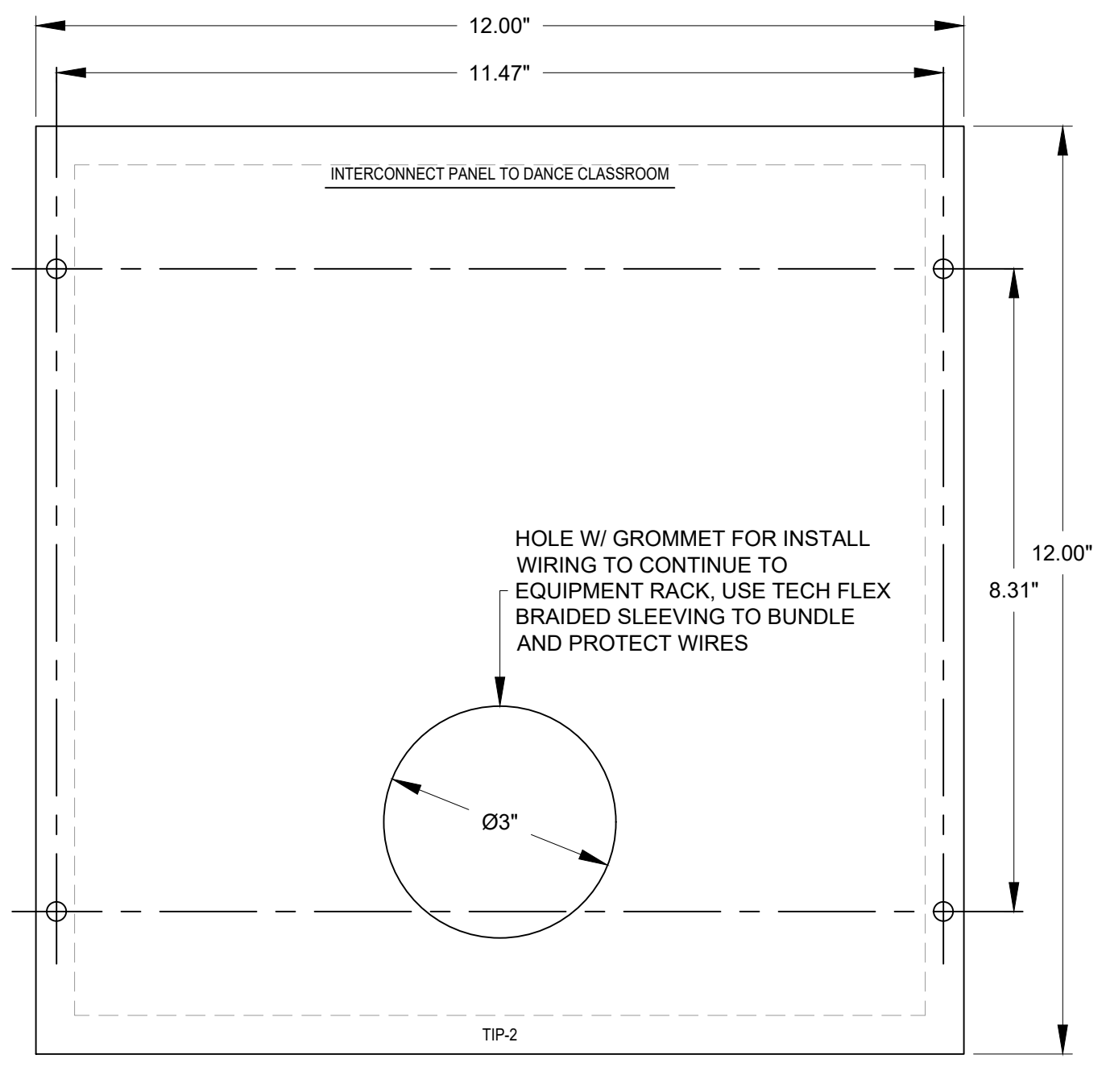
**1 RECEPTACLE W/ LED - TYPICAL**  
SCALE: 1:1

NEMA 5-20R, SPEC GRADE, DUPLEX, BLACK TAMPER RESISTANT, POWER INDICATOR LED HUBBELL SNAP5262BKLTR & SNAP1RA

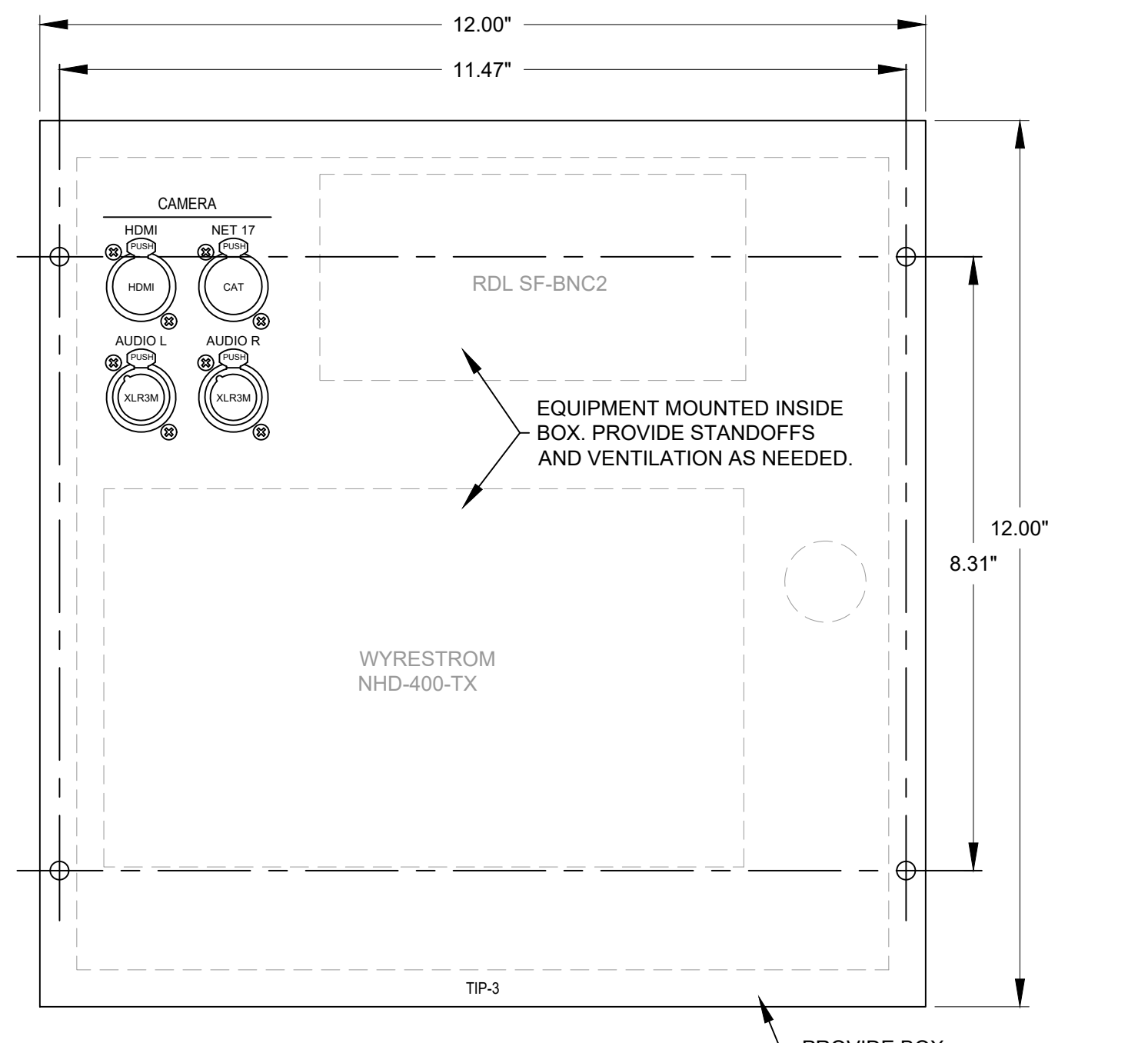
CONNECTORS		
LABEL	PART NUMBER (BLACK)	DESCRIPTION
XLRF3	NEUTRIK NC3FD-L-BAG-1	"D" SERIES, SOLDER
XLRF3M	NEUTRIK NC3MD-L-BAG-1	"D" SERIES, SOLDER
XLRF4	NEUTRIK NC4FD-L-BAG-1	"D" SERIES, SOLDER
XLRF4M	NEUTRIK NC4MD-L-BAG-1	"D" SERIES, SOLDER
DMXF	PATHWAY 2059	"D" SERIES, IDC
DMXM	PATHWAY 2057	"D" SERIES, IDC
CAT	NEUTRIK NE8FDV-Y110-B	"D" SERIES, PUNCH



**TIP-1 THEATER INTERFACE PLATE**  
SCALE: 1:2  
LOCATION: DANCE CLASSROOM  
COLOR: BLACK  
QTY: 1



**TIP-2 THEATER INTERFACE PLATE**  
SCALE: 1:2  
LOCATION: AUDITORIUM CONTROL ROOM  
COLOR: BLACK  
QTY: 1



**TIP-3 THEATER INTERFACE PLATE**  
SCALE: 1:2  
LOCATION: AUDITORIUM - BACK OF HOUSE  
COLOR: BLACK  
QTY: 1

WILLIAM D. HOPKINS III, AIA, LEED AP  
 GEORGE R. DUTHIE JR., AIA, PP  
 FRAYTAK VEISZ HOPKINS DUTHIE PC  
 ARCHITECTS PLANNERS

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 Corporate: 140 Whitaker Ave - Mont Clare - Pennsylvania 19453

F V H D P C . C O M

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**04.06.2021**

Checked By  
**GRD**

Drawn By  
**BC**

Scale  
**AS NOTED**

Drawing Name  
**DANCE CLASSROOM - LIGHT PLOT & DETAILS (ALTERNATE BID)**

Revisions		
No.	Date	Description

Drawing Number  
**TS1.4**

RPCR panel schedule table with columns: TYPE, RELAY #, DIRECTORY, KVA, PANEL CIRCUIT. Includes location: RPCR, A103, 120/208 VOLTAGE, 3PH, 4W WIRE, 22,000 A.I.C. M = MOTORIZED BREAKER, Z = ZONE CONTROL, S = SEQUENCED, D = DMX CONTROL, I = ISOLATED GROUND CIRCUIT.

CABLE LEGEND table with columns: ID, STANDARD, PLENUM, TYPE, DESCRIPTION. Lists various cable types like WEST PENN WIRE, MICLINE, NETWORK/DATA, POWER, RF ANTENNA COAXIAL, SPEAKER, DMX.

LINESSET SCHEDULE table with columns: LINESSET, DISTANCE, ITEM, B.O. PIPE HEIGHT, PIPE WIDTH, CURTAIN QUANTITY, CURTAIN HEIGHT, CURTAIN WIDTH, CURTAIN FULLNESS, CURTAIN FABRIC, CURTAIN COLOR, CURTAIN TOP FINISH, CURTAIN SIDE FINISH, CURTAIN BOTTOM FINISH, TAG LOCATION & QUANTITY, TRACK/SYSTEM, OPERATION METHOD, NOTES.

RESPONSIBILITY MATRIX SECTION 16560 table with columns: OWNER, ELECTRICAL CONTRACTOR, THEATRICAL CONTRACTOR, NOTES. Lists various electrical and theatrical items like CONDUIT, SWITCHES, SPEAKERS, etc.

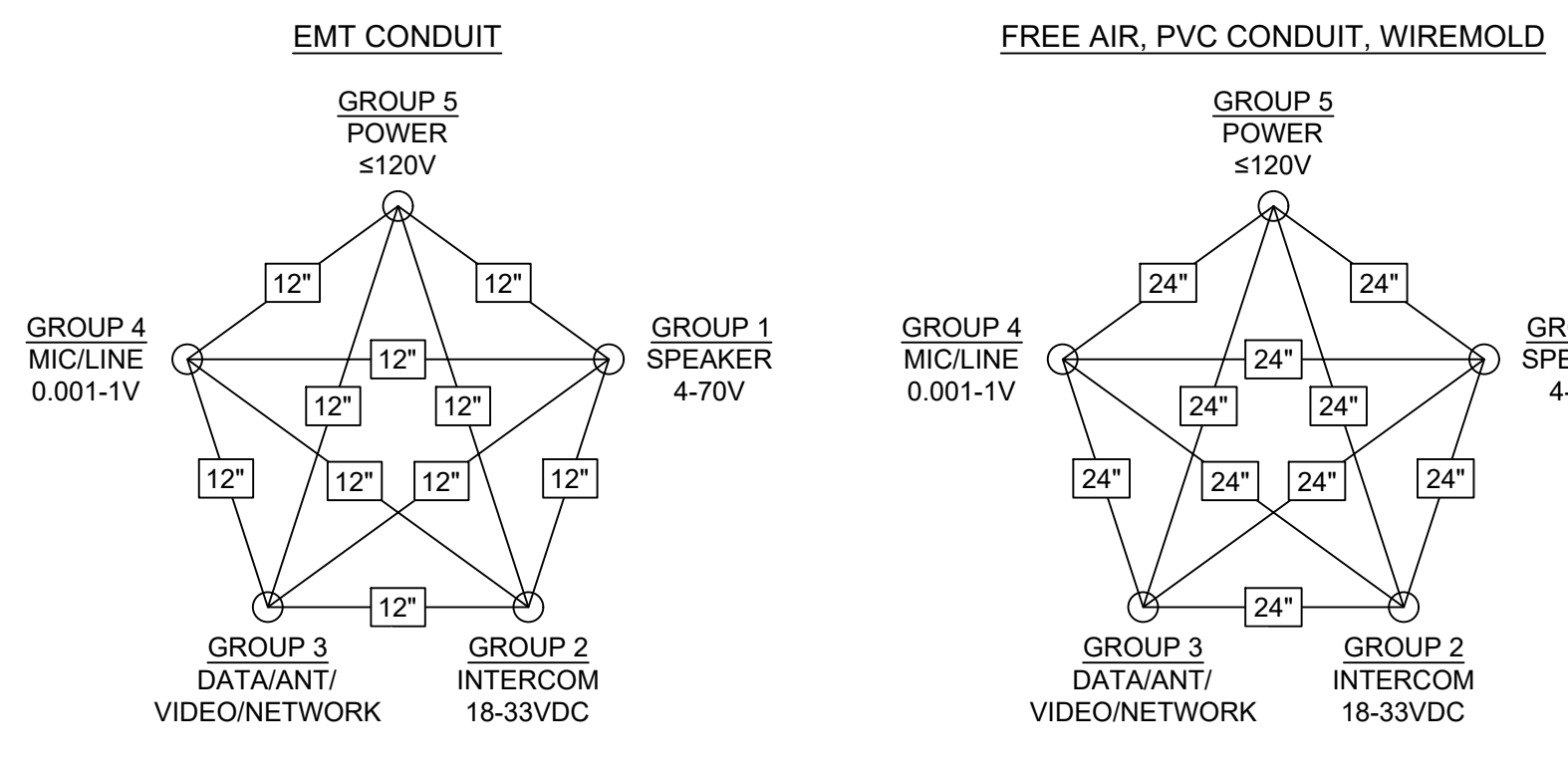
DEVICE SCHEDULE table with columns: DEVICE, DESCRIPTION, MANUFACTURER, MODEL, BACKBOX, MOUNTING HEIGHT, MOUNTING TYPE, FINISH, LOW VOLTAGE CONDUIT REQUIREMENTS, NOTES. Lists devices like CAM, EQUIPMENT RACK, THEATRICAL I/O PANEL, TV BACKBOX, etc.

ALL CONDUITS TO BE CONTINUOUS, EMT, LABELED, AND HAVE PULL STRING AND BUSHINGS. INSTALL PULL BOXES EVERY 270 DEGREES AND EVERY 100'

GENERAL CONDUIT NOTES

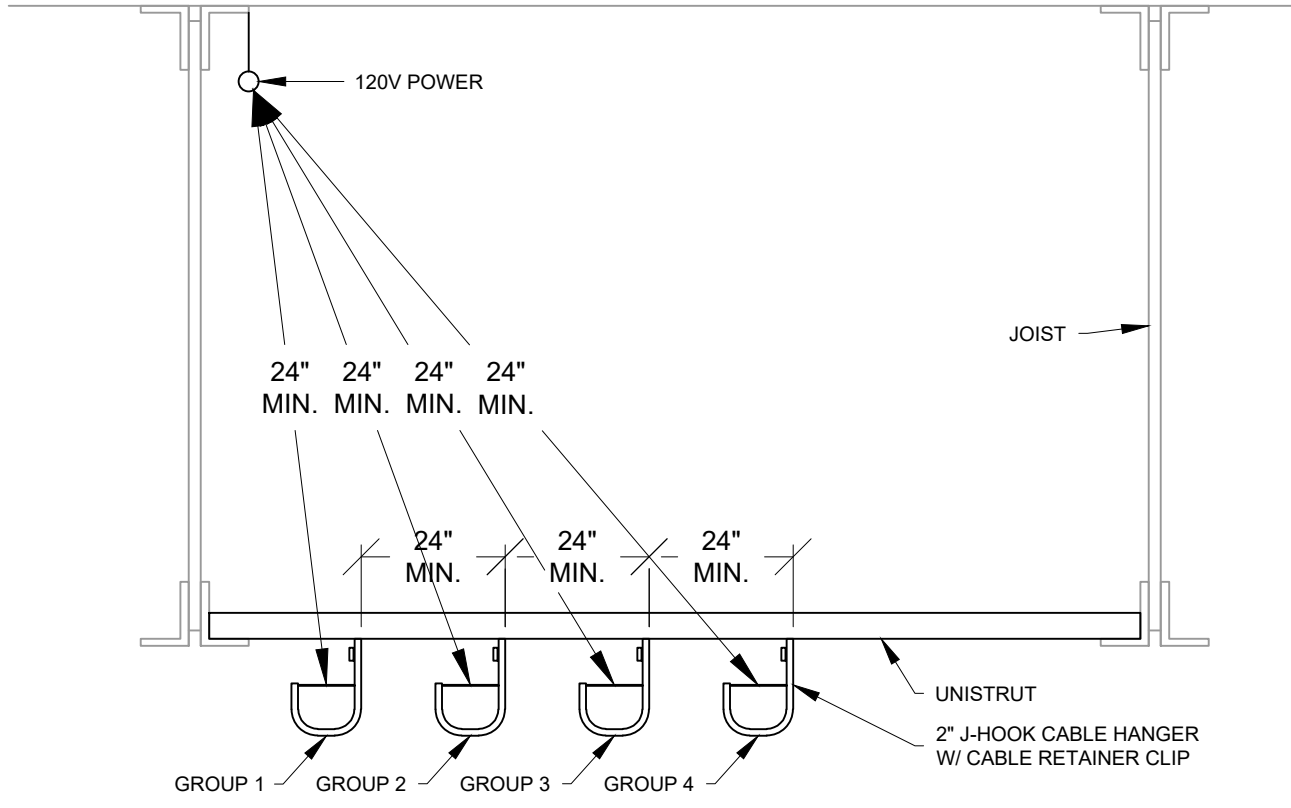
- 1. ALL CONDUITS SHALL BE CONTINUOUS, EMT STYLE (UNLESS NOTED OTHERWISE), LABELED, PULL STRING, AND ALL ENDS/FITTINGS TO HAVE PLASTIC BUSHINGS.
- 2. PROVIDE PULL BOXES EVERY 270 DEGREES OF BENDS AND AFTER EVERY 100'.
- 3. NO CONDUIT TO BE FILLED GREATER THAN 40%.
- 4. ALL CONDUITS TO HAVE A PULL STRING INSTALLED AFTER PULLING ALL WIRING.

CABLE SEPARATION MINIMUMS

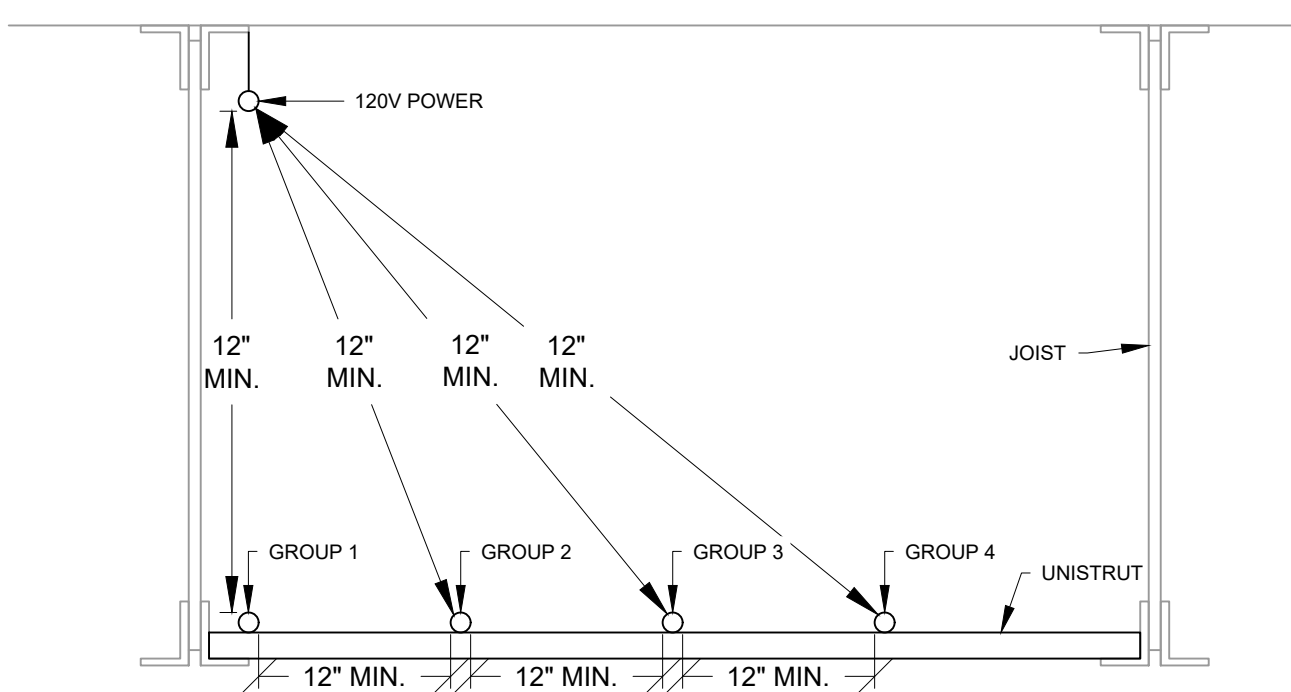


1 CABLE SEPARATION MINIMUMS Scale: NTS

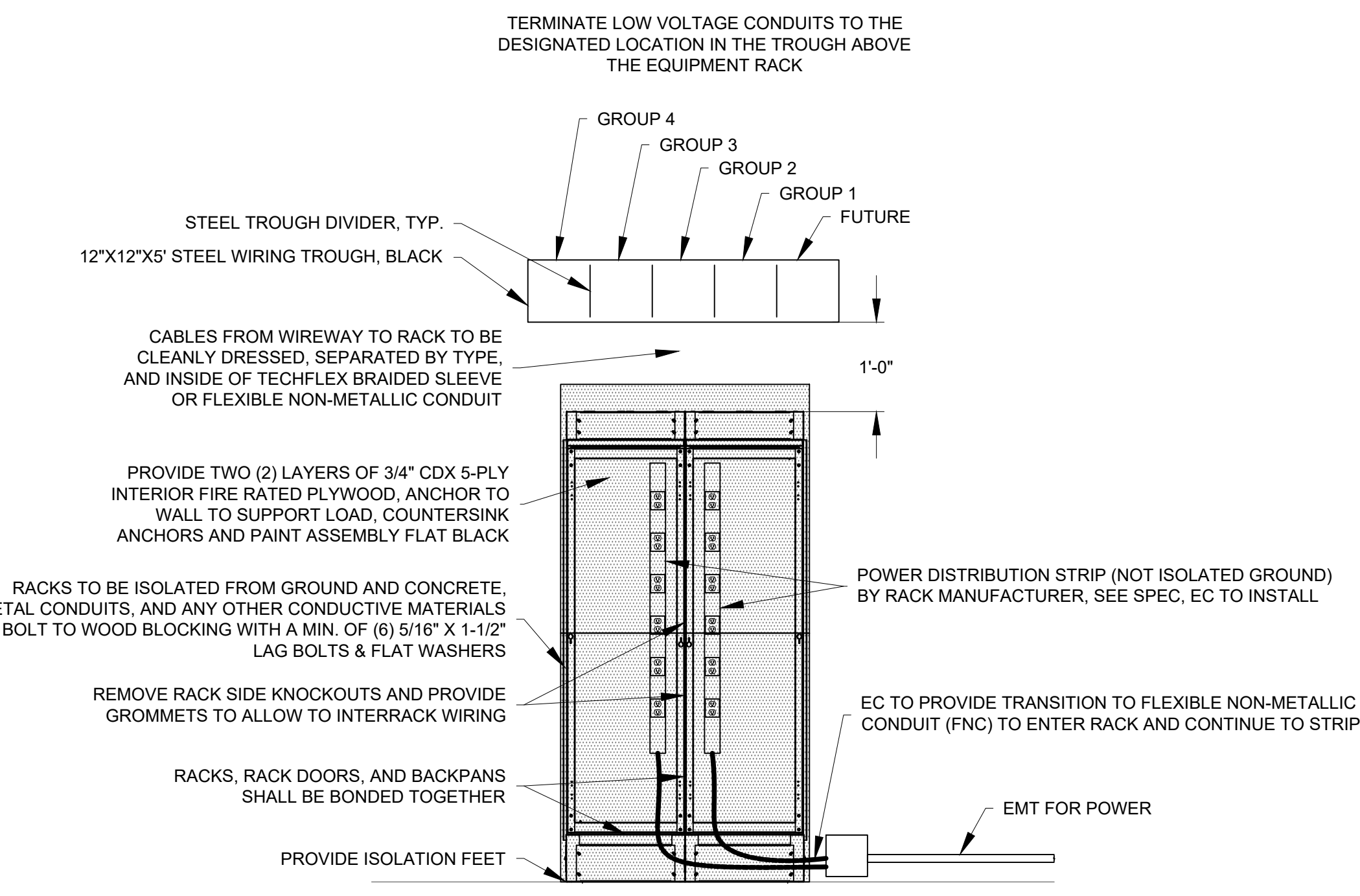
2 CONDUIT SEPARATION EXAMPLE - AT BOX Scale: NTS



2B J-HOOK SEPARATION EXAMPLE - JOISTS Scale: NTS



2A CONDUIT SEPARATION EXAMPLE - JOISTS Scale: NTS



3A EQUIPMENT RACK ISOLATION DETAIL Scale: NTS

WILLIAM D. HOPKINS III, AIA, LEED AP  
GEORGE R. DUTHIE JR., AIA, PP  
GZ Architects

GFVH D Architects  
planners  
Fraytak Veisz Hopkins Duthie PC  
Corporate: 1515 Lower Ferry Road - Trenton, New Jersey 08628  
Pennsylvania: 140 Whitaker Ave - Mount Clear - Pennsylvania 19453

Project Name  
Addition to West Windsor-Plainsboro High School North

Project Owner Name  
West Windsor - Plainsboro Regional School District

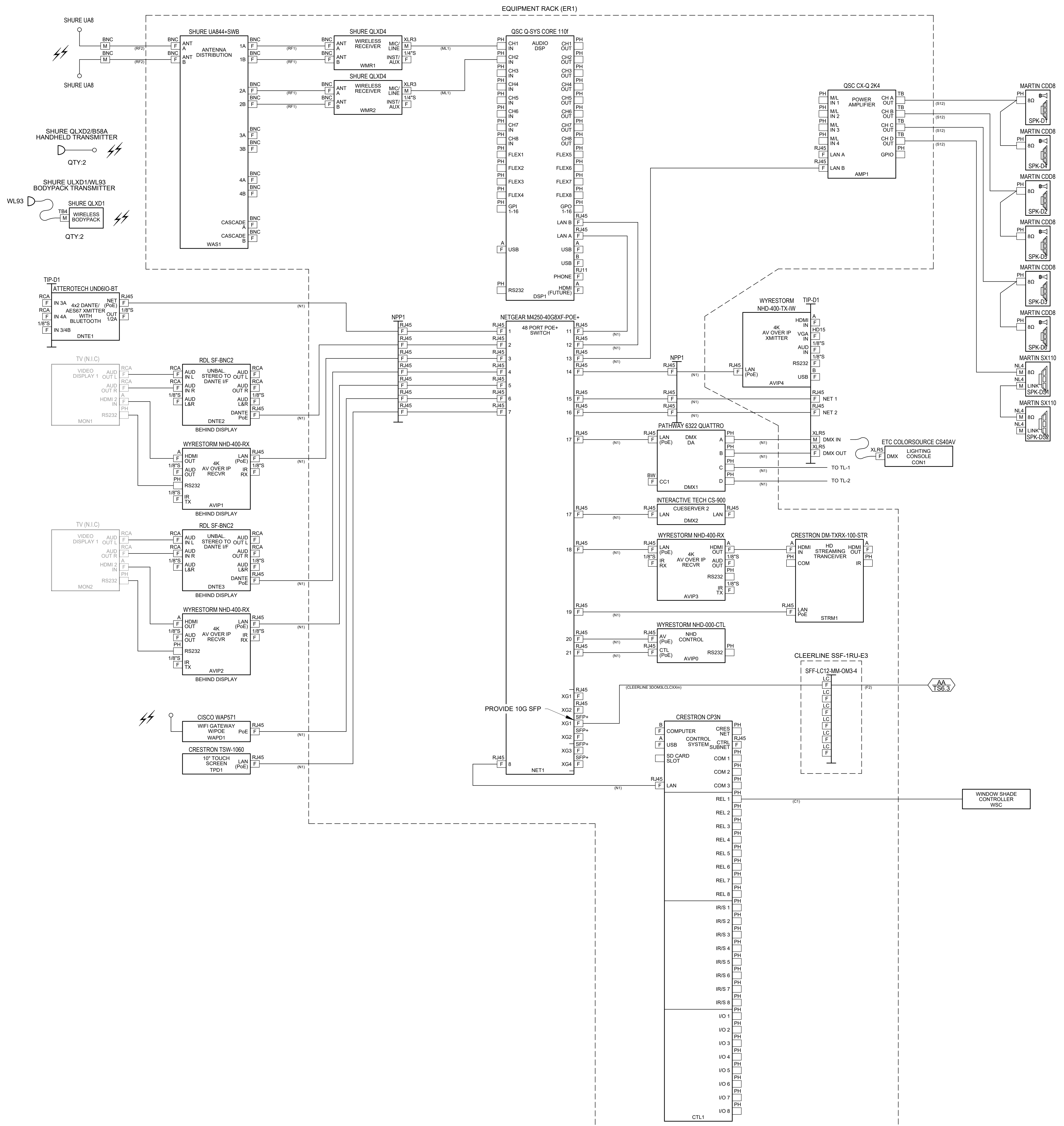
Project Location  
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number  
5063K1  
Project Date  
04.06.2021  
Checked By  
GRD  
Drawn By  
BC  
Scale  
AS NOTED

Drawing Name  
SCHEDULE (ALTERNATE BID)

Revisions table with columns: No., Date, Description

Drawing Number  
TS6.1



WILLIAM D. HOPKINS III, AIA, LEED AP  
 NY 1141709000 | PA 84012328X  
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 Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 19453

Architect: *GFVHD*  
 Date: 04/06/2021  
 F V H D P C - C O M

Project Name  
**Addition to West Windsor-Plainsboro High School North**

Project Owner Name  
**West Windsor - Plainsboro Regional School District**

Project Location  
**90 Grovers Mill Road, Plainsboro, New Jersey 08536**

Project Number  
**5063K1**

Project Date  
**04.06.2021**

Checked By  
**GRD**

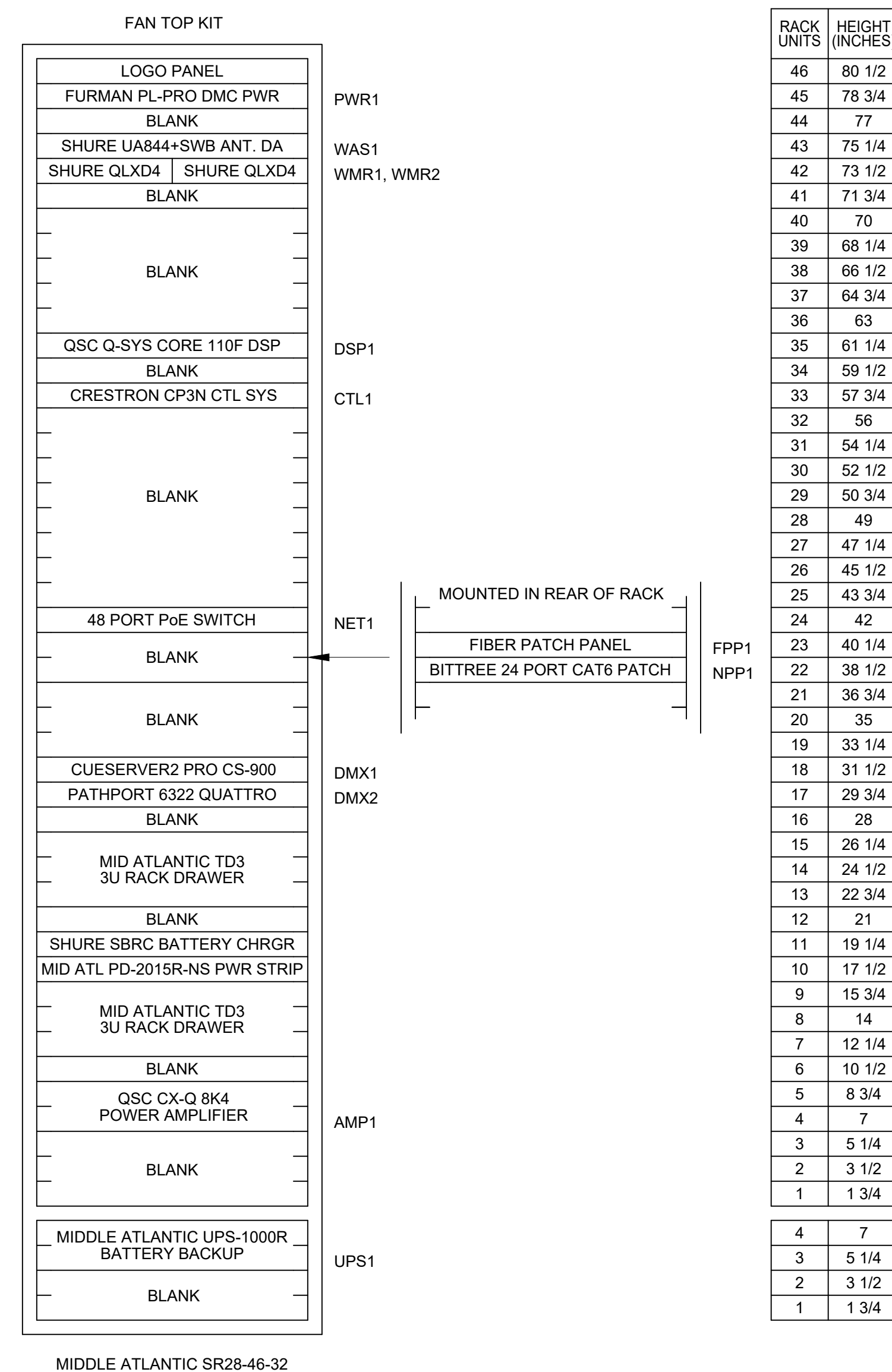
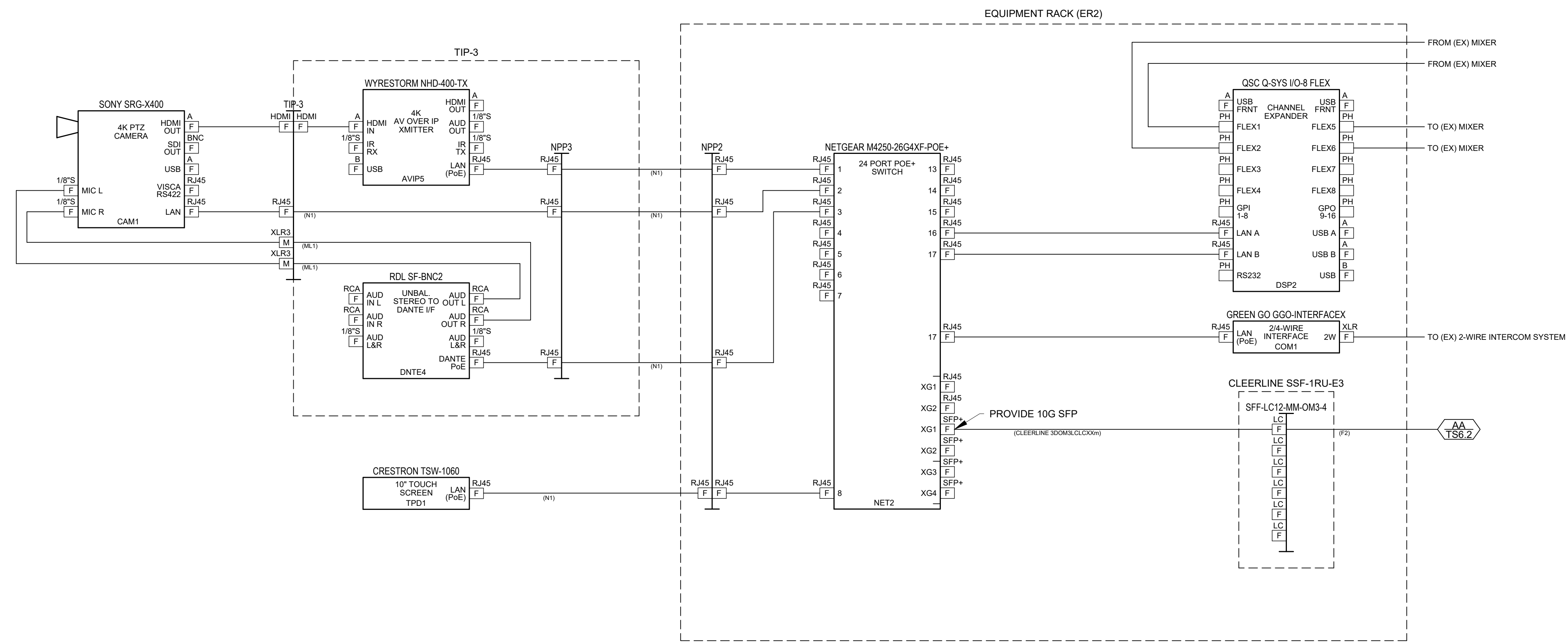
Drawn By  
**BC**

Scale  
**AS NOTED**

Drawing Name  
**FUNCTIONAL 1 (ALTERNATE BID)**

Revisions		
No.	Date	Description

Drawing Number  
**TS6.2**

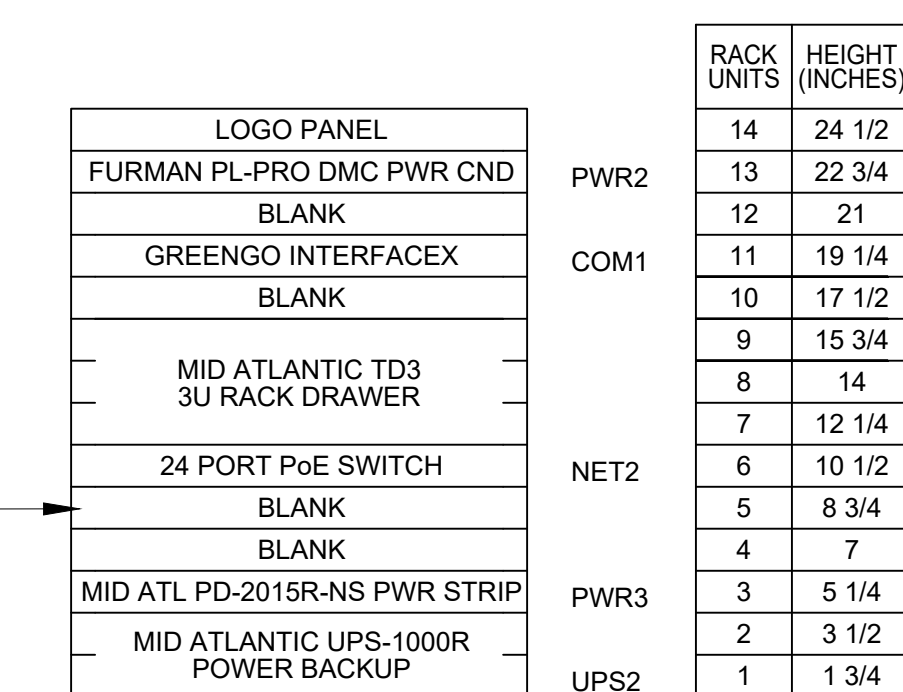


ER1 DANCE CLASSROOM RACK ELEVATION  
SCALE: NTS

EYE HEIGHT  
STANDING

EYE HEIGHT  
SEATED

DESK  
HEIGHT



ER2 CONTROL ROOM RACK ELEVATION  
SCALE: NTS

DESK  
HEIGHT

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Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 19453

Project Name  
Addition to West Windsor-Plainsboro High School North

Project Owner Name  
West Windsor - Plainsboro Regional School District

Project Location  
90 Grovers Mill Road, Plainsboro, New Jersey 08536

Project Number  
5063K1  
Project Date  
04.06.2021  
Checked By  
GRD  
Drawn By  
BC  
Scale  
AS NOTED

Drawing Name  
FUNCTIONAL 2 & RACK ELEVATIONS (ALTERNATE BID)

Revisions		
No.	Date	Description

Drawing Number  
TS6.3