

Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

160 Mansfield Road East, Columbus, New Jersey 08022

Northern Burlington County Regional School District

160 Mansfield Road East, Columbus, New Jersey 08022



Van Cleef Engineering Associates, LLC
CONSULTING ENGINEERS | HAMILTON, NEW JERSEY

Harrison-Hamnett, P.C.
CONSULTING ENGINEERS | PENNINGTON, NEW JERSEY

Sharpe Engineering, Inc.
CONSULTING ENGINEERS | COLLEGEVILLE, PENNSYLVANIA

NJ DOE Number: 3690-050-17-1000

WILLIAM D. HOPKINS III, AIA, LEED AP
No. 000000171-000000000
GEORGE E. DUTHIE, JR., AIA, PP
No. 000000000

3/26/2021
Date
William D. Hopkins
Architect

F V H D P C . C O M

FVHD architects planners
Fraytak Veisz Hopkins Duthie P C
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 19453

Project Name
Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name
Northern Burlington County Regional School District

Project Location
160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
5086.9

Project Date
03.26.2021

Checked By
W.D.H.

Drawn By
NEH

Scale
As Noted

Drawing Name
Title Sheet & Drawing Index

Revisions		
No.	Date	Description

Drawing Number
G001

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LIST OF UTILITIES
 VERDIN: 609-884-7284
 CONTACT: 610-355-7264
 ALUMINUM: 856-784-8424
 PSE&E: 800-436-7334
 PSE&G: 609-239-2493

REFERENCE PLANS
 1. GENERAL PARCELS PROPERTY MAP BLOCK 8, LOTS 10.02, 11.06, 11.07 AND 12 SITUATE IN MANSFIELD TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED FEB. 15, 2002.
 2. MAP OF BOUNDARY, TOPOGRAPHIC, AND METLANDS SURVEY PREPARED FOR LOTS 10.02, 11.06, 11.07 AND 12 BY VAN CLEEF ENGINEERING ASSOCIATES DATED FEB. 15, 1997 AND REVISED AUGUST 8, 1997.
 3. SITE PLAN AND DETAILS PLUMBING PROJECT NO. 780-1848 AND ADDITIONS TO NORTHERN BURLINGTON REGIONAL HIGH SCHOOL SCHEDULED BY HANNEIT, BOUMAN & BLANCHÉ PA ARCHITECTS A.I.A. DATED 9/22/74 AS DRAWING P-1.

REFERENCE DATUM
 1. DATUM USED BASED ON NAVD83 AND AN ASSUMED COORDINATE SYSTEM.

GENERAL NOTES
 1. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH. THEREFORE THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, RIGHTS OF WAY, COVENANTS, ETC. AS MAY BE DISCLOSED IN A CURRENT COMPREHENSIVE TITLE SEARCH.
 2. THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE SURVEY.
 3. THIS MAP REFLECTS EXISTING SITE CONDITIONS AS THE RESULT OF A FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES ON 3/27/2021.
 4. THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER.
 5. LOCATION OF ABOVE GROUND UTILITIES AS SHOWN.
 6. NO CERTIFICATION IS MADE BY VEE AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
 7. IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-272-1000 TO ORDER UTILITY MARKOUTS.
 8. ALL DISTURBED AREAS TO BE STABILIZED WITH 5" TOPSOIL, SEED, FERTILIZER, LIMB, SEED AND MULCH.
 9. CONTRACTOR TO USE CARE TO PRESERVE EXISTING SIDEWALK TO REMAIN. ANY SIDEWALK DAMAGED BY CONTRACTOR SHALL BE REPLACED BY CONTRACTOR.

CONSTRUCTION NOTES
 1. ALL TEMPORARY WORK (STAGING AREA, UTILITIES, ETC.) SHALL BE REMOVED WHEN CONSTRUCTION IS COMPLETED OR WHEN THE SAME ARE NO LONGER NEEDED. TEMPORARY WORK AREAS SHALL BE RESTORED TO THEIR ORIGINAL GRADE AND CONDITION OR PROPOSED GRADE AND CONDITIONS FOLLOWING THE WORK. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROVISIONS TO RESTORE TEMPORARY WORK AREAS.
 2. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE NORTHERN BURLINGTON REGIONAL SCHOOL DISTRICT. SAFE PASSAGE FOR VEHICLES, PEDESTRIANS AND STUDENTS SHALL BE PROVIDED AT ALL TIMES. CONTRACTOR SHALL PROVIDE TEMPORARY PROVISIONS FOR SAFE AND SUITABLE WALKING SURFACES THAT MAY BE REQUIRED AT ALL TIMES DURING CONSTRUCTION. SEE ARCHITECTURAL PLANS.
 3. ALL BACKFILL, FILL AREAS AND SUBGRADES SHALL BE COMPACTED UNLESS OTHERWISE NOTED ON THE PLANS AND/OR IN THE SPECIFICATIONS.
 4. CONTRACTOR SHALL MAKE ALL TEMPORARY GRADING PROVISIONS DURING CONSTRUCTION TO ALLOW FOR THE CONTROL OF ALL RUNOFF FROM THE CONSTRUCTION SITE. TEMPORARY PIPES, GRADING AND PAVING MAY BE REQUIRED AND SHALL BE PROVIDED ACCORDINGLY. THERE SHALL BE NO ADDITIONAL PAVEMENT FOR TEMPORARY WORK AREAS.
 5. ANY AND ALL SEWAGE OR CONSTRUCTION MATERIALS TRACKED, WASHED OR SPILLED ONTO PAVEMENTS SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL TAKE PARTICULAR ATTENTION TO PROTECTING THE EXISTING EAST POROUS PAVEMENT PARKING LOT DURING CONSTRUCTION. CONSTRUCTION VEHICLES SPECIFICALLY PROHIBITED FROM USING THIS PARKING LOT. ANY AREAS OF POROUS PAVEMENT DAMAGED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED IN-WAY AT CONTRACTOR'S EXPENSE.
 6. CONTRACTOR SHALL COORDINATE THE EXISTING GAS SERVICE ABANDONMENT (DONE BY PSE&G) AND SWITCHING OVER TO THE WEST BUILDING TO NEW SERVICE SO THAT THE SCHOOL WILL NOT HAVE INTERRUPTED GAS SERVICE.
 7. IT IS WORTHNOTE THAT BOTH THE EAST AND WEST BUILDINGS RECEIVE UNINTERRUPTED GAS, WATER, ELECTRIC, CABLE, TELEPHONE AND SANITARY SEWER SERVICE DURING CONSTRUCTION. EVERY PROVISION HAS BEEN MADE ON THE PLANS TO THIS END. HOWEVER, THE CONTRACTOR SHALL BECOME SUFFICIENTLY FAMILIAR WITH THE SITE, LOCATIONS OF UTILITIES, OPERATIONS OF UTILITIES AND SCHOOL SCHEDULES TO ASSURE UNINTERRUPTED SERVICE. CONTRACTOR SHALL MAKE ALL TEMPORARY PROVISIONS TO ASSURE THESE SERVICES THROUGHOUT THE PROJECT.
 8. VERDIN FIBER AND COPPER LINE TO REMAIN IN-PLACE DURING CONSTRUCTION. SEE STRUCTURAL PLANS FOR DETAIL AND/OR THROUGH FOOTINGS AND FOUNDATION WALLS. CONTRACTOR TO COORDINATE THIS WORK WITH MR. ROBERT SASSE AT VERDIN. 609-884-4424. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL OF THE EXISTING INFRASTRUCTURE BEING DAMAGED DURING THE PROJECT.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING INFRASTRUCTURE. CAUTION SHOULD BE EXERCISED WHEN EXCAVATING TO EXISTING FOUNDATIONS. NEW FOOTINGS FOR THE PROPOSED ADDITION SHOULD BE FOUNDED AT THE SAME DEPTH AS THE EXISTING FOOTINGS SO AS TO EXERT ADDITIONAL PRESSURE ON THE EXISTING FOUNDATION. THE CONTRACTOR SHOULD EXERCISE EXTREME CAUTION NOT TO DISTURB THE SUBGRADE SOILS. SHOULD THE FOOTING SUBGRADE BE DISTURBED, THE UNDERLIEING SOILS SHOULD BE COMPACTED SURFACE BACKFILLING AGAINST FOOTINGS AND UNDER FLOOR SLABS SHOULD BE ACCUMULATED USING STRUCTURAL FILL PLACED AND COMPACTED UNDER ENGINEERS SUPERVISION. ANY WATER THAT ACCUMULATES IN THE BOTTOM OF THE EXCAVATION SHOULD BE REMOVED WITHIN 24 HOURS.
 10. COMPACTION WITH 5' TEST FROM THE EXISTING FACILITIES SHOULD BE CONDUCTED USING A LIGHT COMPACTOR SUCH AS A TAMING JACK IN ORDER NOT TO CAUSE ANY DAMAGE. THE SOIL SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D 1557).
 11. NO CERTIFICATION IS MADE BY VEE AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
 12. ALL EXCESS FILL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS.
DEMOLITION NOTES
 1. SITE FEATURES DESIGNATED AS "TBR" ARE TO BE REMOVED FROM THE SITE AND DISPOSED OFF-SITE OF IN ACCORDANCE WITH THE APPROPRIATE STANDARDS, UNLESS INDICATED TO BE REMOVED AND SALVAGED. FOLLOWING REMOVAL, THE TRENCH SHALL BE BACKFILLED AND PROPERLY COMPACTED WITH ON-SITE BORROW EXCAVATION IN LAIN AREAS, STRUCTURAL FILL UNDER BUILDINGS AND DENSE GRADED AGGREGATE UNDER PAVEMENTS/SIDEWALKS/HARD SURFACES.
 2. SITE FEATURES DESIGNATED AS "AP" ARE TO BE ABANDONED IN-PLACE IN THEIR ENTIRETY OR PARTIALLY ABANDONED IN-PLACE AS NECESSARY. IF THE UTILITY/CONDUIT ARE TO BE PARTIALLY ABANDONED, THEY SHALL BE SAW CUT AT EACH CONFLICT POINT AND REMOVED. GAS, VALVE, OR FLUG AND SEAL THE REMAINING PORTION OF THE UTILITY/CONDUIT AS SHOWN ON THE PLANS/DETAILS. THE AREA OF REMOVAL SHALL BE BACKFILLED WITH COMPACTED STRUCTURAL FILL UNDER BUILDINGS AND DENSE GRADED AGGREGATE UNDER OTHER UTILITIES/PAVEMENTS/SIDEWALKS/HARD SURFACES. ABANDONING IN-PLACE SHALL BE USED FOR UTILITIES/CONDUITS IN DIAMETER OR LESS UTILITIES LARGER THAN 6" SHALL BE REMOVED. ANY ALTERNATE MEANS OF ABANDONMENT SHALL BE APPROVED BY ENGINEER PRIOR TO STARTING RELATED WORK.
 3. SITE FEATURES DESIGNATED AS "REMOVE AND SALVAGE" SHALL BE CAREFULLY DETACHED FROM EXISTING CONSTRUCTION IN A MANNER TO PREVENT DAMAGE AND DELIVERED TO OWNER. INCLUDE FASTENERS, BRACKETS OR OTHER MATERIAL NEEDED FOR RE-ATTACHMENT ELSEWHERE BY THE OWNER.
 4. UNDERGROUND STRUCTURES SUCH AS METER PITTS, MANHOLES AND INLETS DESIGNATED WITH "TO BE ABANDONED IN-PLACE" SHALL HAVE COVERS, TOP SLABS OR UPPER COLE REMOVED AND THE BOTTOM OF THE STRUCTURES SHALL BE PERFORATED TO ALLOW FOR DRAINAGE FOLLOWING DECOMMISSIONING. THE STRUCTURES SHALL THEN BE BACK FILLED WITH ON-SITE BORROW EXCAVATION IN LAIN AREAS OR DENSE GRADED AGGREGATE UNDER PAVEMENTS/SIDEWALKS/HARD SURFACES. ABANDONING OF STRUCTURES UNDER THE BUILDING IS PROHIBITED. ALL UNDERGROUND STRUCTURES UNDER BUILDINGS SHALL BE REMOVED, BACKFILLED WITH STRUCTURAL FILL AND COMPACTED.
 5. MANY OF THE UTILITIES SHOWN BETWEEN THE EAST AND WEST BUILDINGS WILL BE REPLACED BY NEW UTILITIES/CONDUITS WITHIN THE NEW ADDITION. AS SUCH THE UNDERGROUND UTILITIES AND CONDUITS CAN BE SEVERED AND ABANDONED IN-PLACE FOLLOWING DECOMMISSIONING. BEFORE STARTING REMOVAL, RELOCATION, ABANDONMENT, OR OPERATIONS, IF REMOVAL, RELOCATION OR ABANDONMENT OF UTILITY SERVICES WILL AFFECT ADJACENT BUILDINGS, THEN PROVIDE TEMPORARY PROVISIONS TO MAINTAIN CONTINUITY OF SERVICE TO ADJACENT BUILDINGS AND STRUCTURES AND MAINTAIN CONTINUITY OF SERVICE TO OTHER BUILDING AND STRUCTURES. DO NOT INTERRUPT EXISTING UTILITIES SERVING ADJACENT BUILDINGS UNLESS AUTHORIZED BY THE OWNER OR AUTHORITIES HAVING JURISDICTION. SEE MEP PLANS FOR TEMPORARY RELOCATION OF UTILITIES BETWEEN EAST AND WEST BUILDINGS.

LEGEND

EXISTING	PROPOSED
---	SANITARY SEWER
---	STORM SEWER
---	FLARED END SECTION
---	DRAINAGE INLET
---	DRAINAGE MANHOLE
---	HEADWALL
---	SANITARY SEWER MANHOLE
---	FIRE HYDRANT
---	SON
---	UTILITY POLE
---	VALVE
---	WATER MAIN
---	GAS MAIN
---	ELECTRIC LINE
---	TELEPHONE LINE
---	GRADE ELEVATION
---	CONTOUR ELEVATION
N/A	CONCRETE REMOVAL
N/A	PAVEMENT REMOVAL
N/A	TO BE REMOVED
N/A	PAVEMENT MILLING
N/A	ABANDON IN PLACE

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

811 Dig Safely

TO LOCATE UNDERGROUND UTILITIES
 IF YOU GO DOWN TO DIG, FIRST CALL 811 TO REPORT YOUR PROJECT

FOR MORE INFORMATION VISIT: www.811nj.com

FOR A FREE 811 CARD VISIT: www.811nj.com

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FOR A FREE 811 CARD VISIT: www.811nj.com

Van Cleef ENGINEERING ASSOCIATES

Consulting Civil Engineering
 Environmental Engineering
 Municipal Engineering
 Land Surveying
 Professional Planning
 Landscape Architecture

4444 ROUTE 100, HANOVER, NJ 08901
 4444 ROUTE 100, HANOVER, NJ 08901
 PHONE 609-889-1100 FAX 609-889-1100 NJLCE CERT. NO. 24624812000

BY: *Herbert J. Seeburger, Jr.* DATE: 3/26/21
 HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER NO. 24624748700

WILLIAM D. HOPKINS III, AIA, LEED AP
 No. 1401000001 PA No. 00122204
 GEORGE D. DUTHIE, JR., AIA, PP
 No. 1401000001 PA No. 00122204
 Architect
 140 Whitaker Ave. - Mont. Clare - Pennsylvania 19453
 F.V.H.D.P.C.O.M.
 Date: 3/26/2021

GFVHD architects
 planners
 Fraytak Veisz Hopkins Duthie P.C.
 Company: 1515 Lower Ferry Road - Trenton - New Jersey 08628
 Pennsylvania: 140 Whitaker Ave. - Mont. Clare - Pennsylvania 19453

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Checked By
 H.J.S. / D.F.F.F.

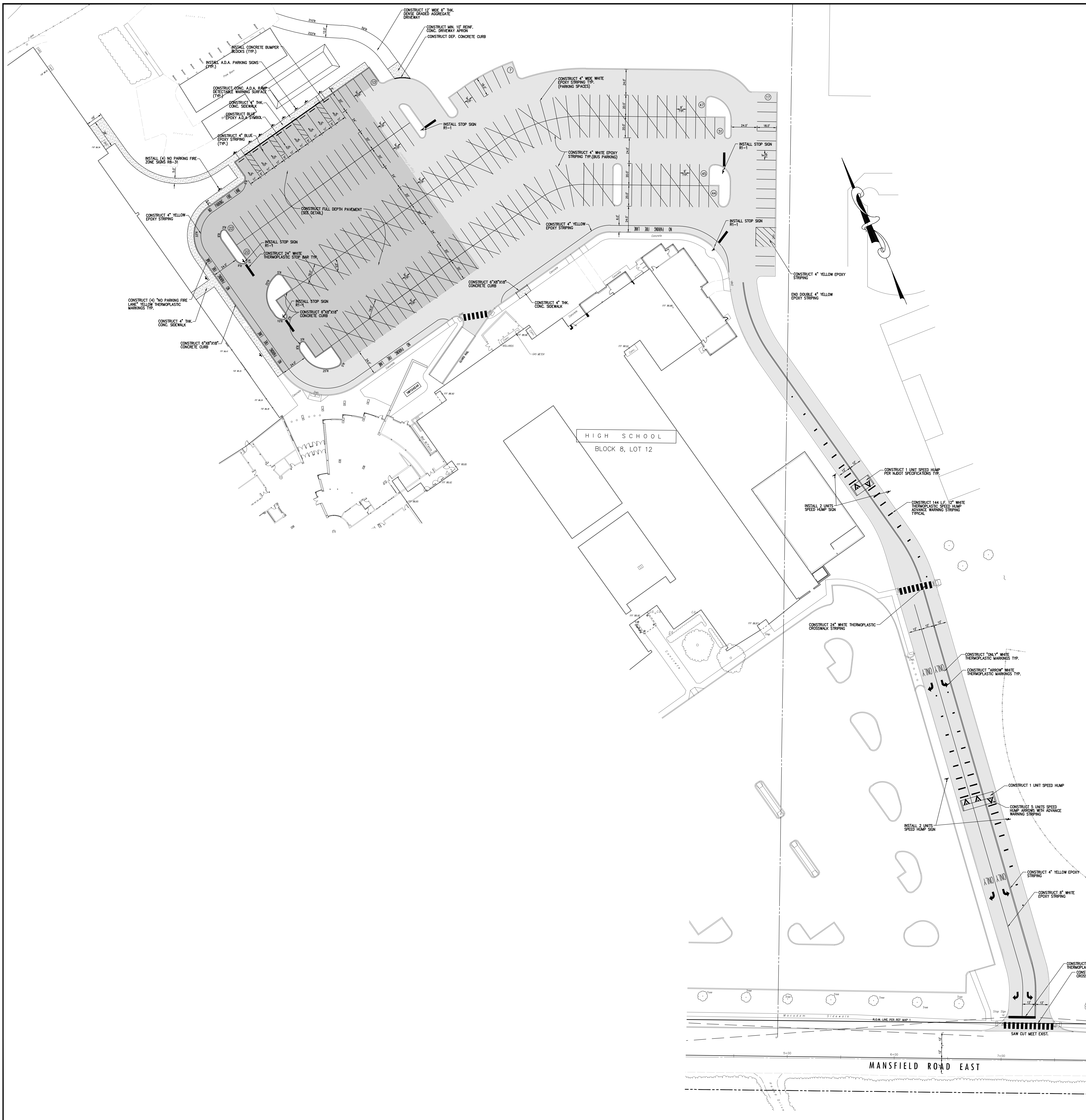
Drawn By
 R.R.F.

Scale
 1"=30'

Drawing Name
 DEMOLITION PLAN

Revisions
 No. Date Description

Drawing Number
 C-101



- LIST OF UTILITIES:**
- VERIZON 800-954-7264
 COMCAST 810-355-7264
 N.J. WATER 800-436-7134
 PSEG ELEC. 800-436-7134
 PSEG GAS 800-239-2493
- REFERENCE PLANS:**
- GENERAL PARCEL PROPERTY MAP BLOCK 8, LOTS 10, 11, 12, 13, 14, 15, 16, 17 AND 18 SITUATE IN MANFIELD TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED OCT. 15, 2002.
 - MAP OF BOUNDARY, TOPOGRAPHIC, AND METEOROLOGICAL SURVEY PREPARED FOR LOTS 11, 12, 13, 14, 15, 16, 17 AND 18 IN BLOCK 8 AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED FEB. 15, 1997 AND REVISED AUGUST 8, 1997.
 - SITE PLAN AND DETAILS PLUMBING PROJECT NO. 780 ALTERNATIVES AND ADDITIONS TO INTERIOR SUBSTITUTION REGIONAL HIGH SCHOOL AS PREPARED BY SOMMERLICH, BOGARDUS & PA ARCHITECTS A.L.A. DATED 9/22/74 AS DRAWING P-1.
 - DATUM USED BASED ON NAVD83 AND AN ASSUMED COORDINATE SYSTEM.
- GENERAL NOTES:**
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH. THEREFORE, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION, DEPTH OF COVENANTS, ETC. AS MAY BE DISCLOSED IN A CURRENT COMPREHENSIVE TITLE SEARCH.
 - THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE SURVEY.
 - THIS MAP REFLECTS EXISTING SITE CONDITIONS AS THE RESULT OF A FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES ON 03/26/2021.
 - THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER.
 - LOCATION OF ABOVE GROUND UTILITIES AS SHOWN.
 - NO CERTIFICATION IS MADE BY VEEA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-272-1000 TO ORDER UTILITY MARKOUTS.
 - ALL EXISTING AREAS TO BE STABILIZED WITH 5" TOPSOIL, SEED, FERTILIZER, LIME, SEED AND MULCH.
 - CONTRACTOR TO USE CARE TO PRESERVE EXISTING SIDEWALK TO REMAIN. ANY SIDEWALK DAMAGED BY CONTRACTOR SHALL BE REPAIRED BY CONTRACTOR.
- CONSTRUCTION NOTES:**
- ALL TEMPORARY WORK (STAGING AREA, UTILITIES, ETC.) SHALL BE REMOVED WHEN CONSTRUCTION IS COMPLETED OR WHEN THE SAME ARE NO LONGER NEEDED. THE TEMPORARY WORK AREAS SHALL BE RESTORED TO THEIR ORIGINAL GRADE AND CONDITION OR PROPOSED GRADE AND CONDITIONS FOLLOWING THE WORK. CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS TO RESTORE TEMPORARY WORK AREAS.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH THE NORTHERN BURLINGTON REGIONAL SCHOOL DISTRICT. SAFE PASSAGE FOR VEHICLES, PEDESTRIANS AND STUDENTS SHALL BE PROVIDED AT ALL TIMES. CONTRACTOR SHALL PROVIDE TEMPORARY FENCES, SIGAGE AND SUITABLE WALKING SURFACES THAT MAY BE REQUIRED AT ALL TIMES DURING CONSTRUCTION. SEE ARCHITECTURAL PLANS.
 - ALL BACKFILL, FILL AREAS AND SUBGRADES SHALL BE COMPACTED UNLESS OTHERWISE NOTED ON THE PLANS AND/OR IN THE SPECIFICATIONS.
 - CONTRACTOR SHALL MAKE ALL TEMPORARY GRADING PROVISIONS DURING CONSTRUCTION TO ALLOW FOR THE CONTROL OF ALL RUNOFF FROM THE CONSTRUCTION SITE. TEMPORARY PIPES, GRADING AND PUMPING MAY BE REQUIRED AND SHALL BE PROVIDED ACCORDINGLY. THERE SHALL BE NO ADDITIONAL PAVEMENT FOR TEMPORARY PIPES AND PUMPING.
 - ANY AND ALL SEDIMENT OF CONSTRUCTION MATERIALS TRACKED, WASHED OR SPILLED ONTO PAVEMENTS SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO PROTECTING THE EXISTING EAST POROUS PAVEMENT PARKING LOT DURING CONSTRUCTION. CONSTRUCTION VEHICLES ARE SPECIFICALLY PROHIBITED FROM USING THIS PARKING LOT. ANY AREAS OF POROUS PAVEMENT DAMAGED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED IN-KIND AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL COORDINATE THE EXISTING GAS SERVICE ABANDONMENT (DONE BY PSEG) AND SWITCHING OVER THE WEST BUILDING TO THE NEW SERVICE SO THAT THE SCHOOL WILL NOT HAVE INTERRUPTED GAS SERVICE.
 - IT IS IMPERATIVE THAT BOTH THE EAST AND WEST BUILDINGS RECEIVE UNINTERRUPTED GAS, WATER, ELECTRIC, CABLE, TELEPHONE AND SANITARY SEWER SERVICE DURING CONSTRUCTION. EVERY PROVISION HAS BEEN MADE ON THESE PLANS TO THIS END. HOWEVER, THE CONTRACTOR SHALL BECOME SUFFICIENTLY FAMILIAR WITH THE SITE, LOCATIONS OF UTILITIES, OPERATIONS OF UTILITIES AND SCHOOL SCHEDULE TO ASSURE UNINTERRUPTED SERVICE. CONTRACTOR SHALL MAKE ALL TEMPORARY PROVISIONS TO ASSURE THESE SERVICES THROUGHOUT THE PROJECT.
 - VERTICAL FIBER AND COPPER LINE TO REMAIN IN-PLACE DURING CONSTRUCTION. SEE STRUCTURAL PLANS FOR DETAILS OF CONDUITS UNDER AND/OR THROUGH FOOTINGS AND FOUNDATION WALLS. CONTRACTOR TO COORDINATE THIS WORK WITH MR. ROBERT SASSE AT VERIZON, 800-954-7264.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING INFRASTRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL OF THE EXISTING INFRASTRUCTURE THE CONTRACTOR DAMAGED DURING THE PROJECT.
 - CAUTION SHOULD BE EXERCISED WHEN EXCAVATING ADJACENT TO EXISTING FOUNDATIONS. NEW FOOTINGS FOR THE PROPOSED ADDITION SHOULD BE FOUNDED AT THE SAME DEPTH AS THE EXISTING FOOTINGS SO AS NOT TO EXERT ADDITIONAL PRESSURE ON THE EXISTING FOUNDATION. THE CONTRACTOR SHOULD EXERCISE EXTREME CAUTION NOT TO DISTURB THE SUBGRADE SOILS. SHOULD THE FOOTING SUBGRADE BE DISTURBED, THE LOSING SOIL SHOULD BE COMPACTED IN-PLACE. BACKFILLING AGAINST FOOTINGS AND UNDER FLOOR SLABS SHOULD BE ACCOMPLISHED USING STRUCTURAL FILL PLACED AND COMPACTED UNDER ENGINEERING INSPECTION. ANY WATER THAT ACCUMULATES IN THE BOTTOM OF THE EXCAVATION SHOULD BE REMOVED WITHIN 24 HOURS.
 - CONTRACTOR WITHIN 5 FEET FROM THE EXISTING UTILITIES SHOULD BE CONDUCTED USING A LIGHT COMPACTOR SUCH AS A JUMPING JACK IN ORDER NOT TO CAUSE ANY DAMAGE. THE SOIL SHOULD BE COMPACTED TO AT LEAST 50% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D 1557).
 - NO CERTIFICATION IS MADE BY VEEA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
 - ALL EXCESS FILL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS.

ZONING DATA - R1 (RESIDENTIAL)

	REQUIRED	PROVIDED
LOT AREA	3 ACRES	125.5 ACRES (TOTAL)
LOT FRONTAGE	200 FT.	1,915.5 FT.
FRONT YARD SETBACK	50 FT.	150.2 FT.
SIDE YARD SETBACK	20 FT./ 50 FT.	319.5 FT.
MAXIMUM BLDG. COVERAGE	25%	5.49%
MAXIMUM BUILDING HEIGHT	35 FT.	50 FT. (VARIANCE REQUIRED)

LEGEND

EXISTING	PROPOSED
Sanitary Sewer	Sanitary Sewer
Storm Sewer	Storm Sewer
Flared End Section	Flared End Section
Drainage Inlet	Drainage Inlet
Drainage Manhole	Drainage Manhole
Headwall	Headwall
Sanitary Sewer Manhole	Sanitary Sewer Manhole
Fire Hydrant	Fire Hydrant
Utility Pole	Utility Pole
Valve	Valve
Water Main	Water Main
Gas Main	Gas Main
Electric Line	Electric Line
Telephone Line	Telephone Line
Grade Elevation	Grade Elevation
Contour Elevation	Contour Elevation
Curb	Curb
Sidewalk	Sidewalk
Full Depth Pavement	Full Depth Pavement
2" HMA Overlay	2" HMA Overlay

811 Dig Safely logo and contact information for utility locating services.

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

Van Cleef ENGINEERING ASSOCIATES
 Consulting Civil Engineering
 Environmental Engineering
 Municipal Engineering
 Land Surveying
 Professional Planning
 Landscape Architecture

4 AAA DRIVE, SUITE 103, HAMILTON, NJ 08610
 EMAIL: VCA@VCAENGINEERS.COM WWW.VCAE.ORG
 PHONE: 609-688-1100 FAX: 609-688-1120 NJLCE CERT. NO. 24620R10200

BY: *Herbert J. Seeburger, Jr.* DATE: 3/26/21
 HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER, NO. 246204748700

GEVHD architects
 Fraytak Veisz Hopkins Dutrie P C

Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08629
 140 Whitaker Ave - Mont Clear - Pennsylvania 19428

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 Scale: 1"=30'

Drawing Name: SITE PLAN

Revisions: No. | Date | Description

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HIGH SCHOOL
BLOCK 8, LOT 12

- LIST OF UTILITIES**
- VERIZON 609-954-7284
 COMCAST 610-355-7284
 N.J.W. 856-784-6222
 PSE&E 800-436-7334
 PSE&E 609-338-9493
- REFERENCE PLANS:**
- GENERAL PARCEL PROPERTY MAP BLOCK 8, LOTS 10, 11, 12, 13, 14, 15, 16, 17 AND 18 SITUATE IN MANFIELD TOWNSHIP BURLINGTON COUNTY, NEW JERSEY AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED OCT. 14, 2002.
 - MAP OF BOUNDARY, TOPOGRAPHIC, AND METRANOS SURVEY PREPARED FOR LOTS 10, 11, 12, 13, 14, 15, 16, 17, AND 18 IN BLOCK 8 AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED FEB. 15, 2007 AND REVISION AUGUST 6, 1997.
 - SITE PLAN AND SPECIAL PLUMBING PROJECT AND REVISIONS AND ADDITIONS TO NORTHERN BURLINGTON REGIONAL HIGH SCHOOL, AS PREPARED BY HANNETT, BOLMAN & BLANCKE PA ARCHITECTS A.L.A. DATED 9/22/74 AS DRAWING P-1.
- REFERENCE DATUM:**
1. DATUM USED BASED ON NAVD83 AND AN ASSUMED COORDINATE SYSTEM
- GENERAL NOTES:**
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH. THEREFOR THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL ENCUMBRANCES, RIGHT OF WAY, COVENANTS, ETC. AS FAR AS DEVELOPED BY A CURRENT COMPREHENSIVE TITLE SEARCH.
 - THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE SURVEY.
 - THIS MAP REFLECTS EXISTING SITE CONDITIONS AS THE RESULT OF A FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES ON 8/18/16.
 - THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER.
 - LOCATION OF ABOVE GROUND UTILITIES AS SHOWN.
 - NO CERTIFICATION IS MADE BY VECA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO CONSTRUCTION OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONSTRUCTION.
 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-272-1000 TO GROUND UTILITY MARKETS.
 - ALL DISTURBED AREAS TO BE STABILIZED WITH 5" TOPSOIL, SEED, FERTILIZER, LIME, SEED AND MULCH.
 - CONTRACTOR TO USE CARE TO PRESERVE EXISTING SIDEWALK TO REMAIN. ANY SIDEWALK DAMAGED BY CONTRACTOR SHALL BE REPLACED BY CONTRACTOR.

- CONSTRUCTION NOTES:**
- ALL TEMPORARY WORK (STAGING AREA UTILITIES, ETC.) SHALL BE REMOVED WHEN CONSTRUCTION IS COMPLETED OR WHEN THE SAME ARE NO LONGER NEEDED. THE TEMPORARY WORK AREAS SHALL BE RESTORED TO THEIR ORIGINAL GRADE AND CONDITION OR PROPOSED GRADE AND CONDITIONS FOLLOWING THE WORK. CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS TO RESOLVE TEMPORARY WORK AREAS.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH THE NORTHERN BURLINGTON REGIONAL SCHOOL DISTRICT. SAFE PASSAGE FOR VEHICLES, PEDESTRIANS AND STUDENTS SHALL BE PROVIDED AT ALL TIMES. CONTRACTOR SHALL PROVIDE TEMPORARY FENCES, SIGNAGE AND SUITABLE MARKING SURFACES THAT MAY BE REQUIRED AT ALL TIMES DURING CONSTRUCTION. SEE ARCHITECTURAL PLANS.
 - ALL SIDEWALK, FILL AREAS AND SURFACES SHALL BE COMPACTED UNLESS OTHERWISE NOTED ON THE PLANS AND/OR IN THE SPECIFICATIONS.
 - CONTRACTOR SHALL MAKE ALL TEMPORARY DRAINAGE PROVISIONS DURING CONSTRUCTION TO ALLOW FOR THE CONTROL OF RUNOFF FROM THE CONSTRUCTION SITE. TEMPORARY PIPES, GRADING AND PUMPING MAY BE REQUIRED AND SHALL BE PROVIDED ACCORDINGLY. THERE SHALL BE NO ADDITIONAL PAYMENT FOR TEMPORARY PIPING AND PUMPING.
 - ANY AND ALL SURFACES OF CONSTRUCTION MATERIALS (BRICK, MASONRY, SHIPLED ONTO PAVEMENTS) SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO PROTECTING THE EXISTING DRIVE PAVEMENT PARKING LOT DURING CONSTRUCTION. CONSTRUCTION VEHICLES ARE SPECIFICALLY PROHIBITED FROM USING THIS PARKING LOT. ANY AREAS OF DRIVE PAVEMENT DAMAGED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED IN-KIND AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL COORDINATE THE EXISTING GAS SERVICE ABANDONMENT (DONE BY PSE&E) AND SWITCHING OVER TO THE NEW SERVICE SO THAT THE SCHOOL WILL NOT HAVE INTERRUPTED GAS SERVICE.
 - IT IS IMPERATIVE THAT BOTH THE EAST AND WEST BUILDINGS RECEIVE UNINTERRUPTED GAS, WATER, ELECTRIC, CABLE, TELEPHONE AND SANITARY SEWER SERVICE DURING CONSTRUCTION. EVERY PROVISION HAS BEEN MADE ON THE PLANS TO THIS END HOWEVER, THE CONTRACTOR SHALL BECOME SUFFICIENTLY FAMILIAR WITH THE SITE, LOCATIONS OF UTILITIES, OPERATIONS OF UTILITIES AND SCHOOL SCHEDULE TO ASSURE UNINTERRUPTED SERVICE. CONTRACTOR SHALL MAKE ALL TEMPORARY PROVISIONS TO ASSURE THESE SERVICES THROUGHOUT THE PROJECT.
 - VERIZON FIBER AND COPPER LINE TO REMAIN IN-PLACE DURING CONSTRUCTION. SEE STRUCTURAL PLANS FOR DETAILS OF CONDUITS UNDER AND/OR THROUGH FOOTINGS AND FOUNDATION WALLS. CONTRACTOR TO COORDINATE THIS WORK WITH MR. ROBERT SASSE AT VERIZON, 609-954-4244, ROBERT.SASSE@VERIZON.COM.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING INFRASTRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY AND ALL OF THE EXISTING INFRASTRUCTURE THE CONTRACTOR DAMAGED DURING THE PROJECT.
 - CAUTION SHOULD BE EXERCISED WHEN EXCAVATING ADJACENT TO EXISTING FOUNDATIONS. NEW FOOTINGS FOR THE PROPOSED ADDITION SHOULD BE FOUNDED AT THE SAME DEPTH AS THE EXISTING FOOTINGS SO AS NOT TO EXERT ADDITIONAL PRESSURE ON THE EXISTING FOUNDATION. THE CONTRACTOR SHOULD EXERCISE EXTREME CAUTION NOT TO DISTURB THE SURFACE SOILS. SHOULD THE FOOTING SURFACE BE DISTURBED, THE LOOSENED SOIL SHOULD BE COMPACTED IN-PLACE BACKFILLING AGAINST FOOTINGS AND UNDER FLOOR SLABS SHOULD BE ACCOMPISHED USING STRUCTURAL FILL PLACED AND COMPACTED UNDER ENGINEERING SUPERVISION. ANY WATER THAT ACCUMULATES IN THE BOTTOM OF THE EXCAVATION SHOULD BE REMOVED WITHIN 24 HOURS. COMPACTOR WITHIN 4 FEET FROM THE EXISTING FOOTINGS SHOULD BE CONDUCTED USING A LIGHT COMPACTOR SUCH AS A JAMPING JACK IN ORDER NOT TO CAUSE ANY DAMAGE. THE SOIL SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOISTURE PROCTOR TEST (ASTM D 1557).
 - NO CERTIFICATION IS MADE BY VECA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONSTRUCTION.
 - ALL EXCESS FILL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS.

LEGEND

EXISTING	PROPOSED

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT



Van Cleef ENGINEERING ASSOCIATES
 Consulting Civil Engineering
 Environmental Engineering
 Municipal Engineering
 Land Surveying
 Professional Planning
 Landscape Architecture

OFFICES THROUGHOUT NJ, EASTERN PA, AND DE
 4 AKA DRIVE, SUITE 103, HAMILTON, NJ 08610
 EMAIL: VCA@VANCLEEF.COM WEB: WWW.VANCLEEF.COM
 PHONE: (609) 689-1100 FAX: (609) 689-1120 NJ LIC. CERT. NO. 24628R12000

BY: *Herbert J. Seeburger, Jr.* DATE: 3/26/21
 HERBERT J. SEEBURGER, JR., N.J., PROFESSIONAL ENGINEER, NO. 24624748700

WILLIAM D. HOPKINS III, AIA, LEED AP
 IN CHARGE OF PROJECT
 GEORGE R. DUTHIE JR., AIA, PP
 PROJECT MANAGER

GFVHD architects
 planners
 Fraytak Veisz Hopkins Duthie P C

Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
 Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 19439

F.V.H.P.C.C.O.M.
 3/26/2021
 Date

Project Name
 Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name
 Northern Burlington County Regional School District

Project Location
 160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
 5086.9

Project Date
 03.26.2021

Checked by
 H.J.S./D.F.F

Drawn by
 R.R.F.

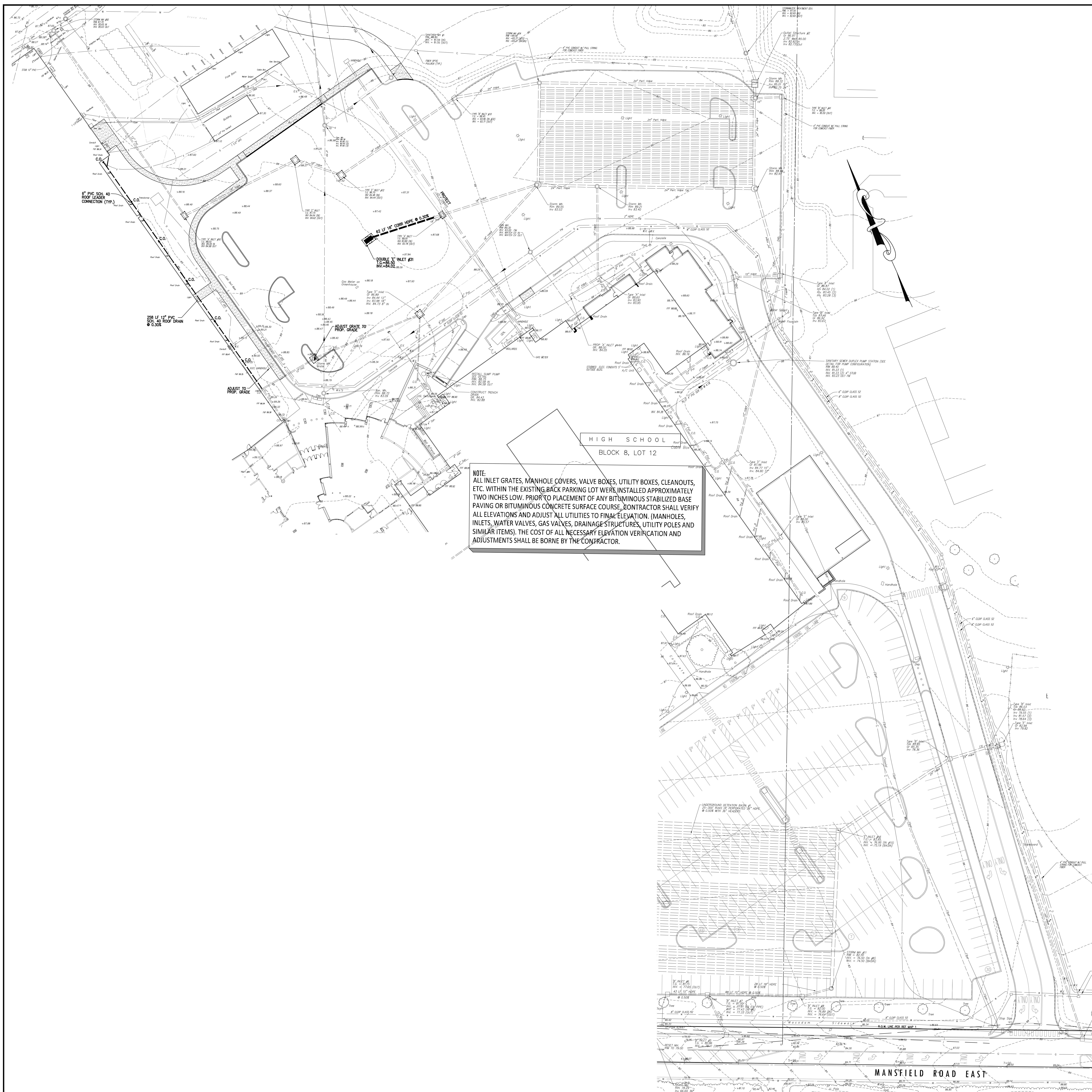
Scale
 1"=30'

Drawing Name
 GRADING PLAN

Revisions

No.	Date	Description

Drawing Number
 C-103



- LIST OF UTILITIES**
- VERIZON 609-954-7264
 COMCAST 410-355-7264
 N.J. STATE POLICE 800-436-7334
 PSEG GAS 609-326-9483
- REFERENCE ISLAND**
- GENERAL PARCEL PROPERTY MAP BLOCK 8, LOTS 10.00, 11.06, 11.07 AND 12 SITUATE IN MANSFIELD TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED OCT. 10, 2002.
 - MAP OF BOUNDARY, TOPOGRAPHIC AND METLANDS SURVEY PREPARED FOR LOTS 11.00, 11.03, 11.05, 11.07 AND 12 IN BLOCK 8 AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED FEB. 15, 1997 AND REVISED AUGUST 6, 1997.
 - SITE PLAN AND METALS PLUMBING PROJECT AND TEST RESULTS AND MODIFICATIONS TO NORTHERN BURLINGTON REGIONAL HIGH SCHOOL AS PREPARED BY HANNETT, BOUMAN & BLANDE P.A. ARCHITECTS A.I.A. DATED 9/22/74 AS DRAWING P-1.
- REFERENCE DATA**
1. DATUM USED BASED ON NAVD83 AND AN ASSUMED COORDINATE SYSTEM
- GENERAL NOTES**
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH. THEREFORE THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, RIGHT OF WAY, COVENANTS, ETC. AS MAY BE DISCOVERED THROUGH A PROSPECTIVE TITLE SEARCH.
 - THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE SURVEY.
 - THIS MAP REFLECTS EXISTING SITE CONDITIONS AS THE RESULT OF A FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES ON 9/18/18.
 - THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER.
 - LOCATION OF ABOVE GROUND UTILITIES AS SHOWN.
 - NO CERTIFICATION IS MADE BY VECA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-272-1000 TO ORDER UTILITY MARKINGS.
 - ALL DISTURBED AREAS TO BE STABILIZED WITH 5" TOPSOIL, SEED, FERTILIZER, LIME, SEED AND MULCH.
 - CONTRACTOR TO USE CARE TO PRESERVE EXISTING SIDEWALK TO REMAIN. ANY SIDEWALK DAMAGED BY CONTRACTOR SHALL BE REPLACED BY CONTRACTOR.

- CONSTRUCTION NOTES**
- ALL TEMPORARY WORK (STAGING AREA UTILITIES, ETC.) SHALL BE REMOVED WHEN CONSTRUCTION IS COMPLETED OR WHEN THE SAME ARE NO LONGER NEEDED. THE TEMPORARY WORK AREAS SHALL BE RESTORED TO ORIGINAL GRADE AND CONDITION OR BETTER. CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS TO RESTORE TEMPORARY WORK AREAS.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH THE NORTHERN BURLINGTON REGIONAL SCHOOL DISTRICT. SAFE PASSAGES FOR VEHICLES, PEDESTRIANS AND STOCKS OR PAVEMENT SHALL BE PROVIDED AT ALL TIMES. CONTRACTOR SHALL PROVIDE TEMPORARY FENCES, SIGNAGE, AND SATISFACTORY SURFACES THAT MAY BE REQUIRED AT ALL TIMES DURING CONSTRUCTION. SEE ARCHITECTURAL PLANS.
 - ALL BACKFILL, FILL AREAS AND SUBGRADES SHALL BE COMPACTED UNLESS OTHERWISE NOTED ON THE PLANS AND/OR IN THE SPECIFICATIONS.
 - CONTRACTOR SHALL MAKE ALL TEMPORARY GRADING PROVISIONS DURING CONSTRUCTION TO ALLOW FOR THE CONTROL OF ALL RUNOFF FROM THE CONSTRUCTION SITE. TEMPORARY PIPES, GRADING AND PAVING MAY BE PROVIDED AND SHALL BE PROTECTED FROM DAMAGE. THERE SHALL BE NO ADDITIONAL PAYMENT FOR TEMPORARY PIPING AND PAVING.
 - ANY AND ALL SEMI-OR CONSTRUCTION MATERIALS, DEBRIS, WASTE OR SPILLED ONTO PAVEMENTS SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO PROTECTING THE EXISTING PAVED DRIVEWAY AND DRIVEWAY LOT DURING CONSTRUCTION. CONSTRUCTION VEHICLES ARE SPECIFICALLY PROHIBITED FROM USING THIS PARKING LOT. ANY AREAS OF PAVED DRIVEWAY DAMAGED BY CONTRACTOR SHALL BE REMOVED AND REPLACED IN-KIND AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL COORDINATE THE EXISTING GAS SERVICE (ABANDONMENT (DONE BY PSEG) AND SHUTTING OVER THE WEST BUILDING TO THE NEW SERVICE SO THAT THE SCHOOL WILL NOT HAVE INTERRUPTED GAS SERVICE.
 - IT IS IMPERATIVE THAT BOTH THE EAST AND WEST BUILDINGS RECEIVE UNINTERRUPTED GAS, WATER, ELECTRIC, CABLE, TELEPHONE AND SANITARY SEWER SERVICE DURING CONSTRUCTION. EVERY PROVISION HAS BEEN MADE ON THE PLANS TO THIS END HOWEVER, THE CONTRACTOR SHALL BECOME SUFFICIENTLY FAMILIAR WITH THE SITE LOCATION OF UTILITIES, OPERATIONS OF UTILITIES AND SCHOOL SCHEDULE TO ASSURE UNINTERRUPTED SERVICE. CONTRACTOR SHALL MAKE ALL TEMPORARY PROVISIONS TO ASSURE THESE SERVICES THROUGHOUT THE PROJECT.
 - VERIZON FIBER AND COPPER LINE TO REMAIN IN-PLACE DURING CONSTRUCTION. SEE STRUCTURAL PLANS FOR DETAILS OF CONDUITS UNDER AND/OR THROUGH FOOTINGS AND FOUNDATION WALLS. CONTRACTOR TO PROTECT THIS WORK WITH MR. ROBERT SAGE AT VERIZON, 609-954-4264, ROBERT.SAGE@VERIZON.COM.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING INFRASTRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY AND ALL OF THE EXISTING INFRASTRUCTURE THE CONTRACTOR DAMAGED DURING THE PROJECT.
 - CAUTION SHOULD BE EXERCISED WHEN EXCAVATING ADJACENT TO EXISTING FOUNDATIONS. NEW FOOTINGS FOR THE PROPOSED ADDITION SHOULD BE FORMED AT THE SAME DEPTH AS THE EXISTING FOOTINGS SO AS NOT TO EXERT ADDITIONAL PRESSURE ON THE EXISTING FOUNDATION. THE CONTRACTOR SHOULD EXERCISE EXTREME CAUTION NOT TO DISTURB THE SUBGRADE SOILS. SHOULD THE FOOTING SUBGRADE BE DISTURBED, THE LOOSENED SOIL SHOULD BE COMPACTED IN-PLACE, BACKFILLING AGAINST FOOTINGS AND UNDER FLOOR SLABS SHOULD BE ACCOMPANIED USING STRUCTURAL FILL PLACED AND COMPACTED UNDER ENGINEERING INSPECTION. ANY WATER THAT ACCUMULATES IN THE BOTTOM OF EXCAVATION SHOULD BE REMOVED WITHIN 24 HOURS.
 - COMPACTION WITHIN 5 FEET FROM THE EXISTING FACILITIES SHOULD BE CONDUCTED USING A LIGHT COMPACTOR SUCH AS A TAMPER. IN ORDER NOT TO CAUSE ANY DAMAGE, THE SOIL SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOISTURE PROCTOR TEST (ASTM D 1557).
 - NO CERTIFICATION IS MADE BY VECA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
 - ALL EXCESS FILL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS.

- UTILITY NOTES**
- CONTRACTOR SHALL MAINTAIN A MINIMUM VERTICAL SEPARATION OF 12" FOR ALL GAS MAINS, 6" FOR ALL WATER MAINS AT ALL UTILITY CROSSINGS INCLUDING SANITARY SEWER.
 - CONTRACTOR SHALL FOLLOW N.J.C. 7:14A-23 FOR VERTICAL AND HORIZONTAL SEPARATIONS OF SAN. SEWER AT ALL UTILITY CROSSINGS.
 - MUNICIPAL/ STATE PERMITS WILL BE REQUIRED FOR GAS AND ELECTRICAL WORK. OTHER MUNICIPAL/ STATE PERMITS MAY BE REQUIRED FOR REMAINING SITE WORK. CONTRACTOR SHALL COORDINATE DIRECTLY TO OBTAIN ALL NECESSARY APPROVALS.
 - CONTRACTOR SHALL INSTALL THE LIGHT POLE FOUNDATIONS AND ELECTRICAL CONDUIT SO THAT THEY DO NOT INTERFERE WITH UNDERGROUND BARS OR OTHER UTILITIES.
 - UNDERGROUND UTILITIES SHOWN ARE BASED OFF SCHOOLS HISTORICAL MAPS, TOPOGRAPHIC FIELD SURVEYS AND GROUND PENETRATING RADAR. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE LOCATION AND DEPTH OF EXISTING UTILITIES THROUGH THE CONSTRUCTION IS BEING MADE BEFORE LAYING PIPE, CONDUIT, ETC. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. IN CASES WHERE THE CONSTRUCTION OF UTILITIES CROSS PAVEMENT, SIDEWALK, UTILITIES, ETC. THE CONTRACTOR OR SURVEYOR STAMING SUCH ITEMS SHALL VERIFY THE ELEVATION AND COVERING AND CONTACT EXISTENCE BETWEEN ANY SITE FEATURES PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. TEST PITS TO BE PERFORMED AS REQUIRED AT NO ADDITIONAL COST.
 - CONTRACTOR SHALL MANAGE ALL WASTEWATER FLOW DURING INSTALLATION OF NEW SANITARY SEWER MAIN. CONTRACTOR SHALL PROVIDE BYPASS PUMPING AS REQUIRED UNTIL ALL SANITARY SEWER WORK IS COMPLETED AND ACCEPTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CLEANUP, REPAIR, PROPERTY DAMAGE COSTS AND CLAIMS RESULTING FROM FAILURE OF THE DIVERSION SYSTEM.
 - CONTRACTOR SHALL FURNISH AND INSTALL FERROUS ADAPTER WITH STAINLESS STEEL SHEAR RINGS, OR EQUAL, AT THE JUNCTION OF ALL NEW AND EXISTING SEWER MAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REPAIR OF EXISTING SIDEWALKS AND CURBS.
 - CONTRACTOR SHALL MAINTAIN CONTINUITY OF STORMWATER SYSTEM DURING AND AFTER CONSTRUCTION. ALL PIPES FOUND MUST BE TIED INTO UNDERGROUND SYSTEM.
 - CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES WHEN COMPLETING FILL DEPTH PAVEMENT CROSS SECTION. CONTRACTOR SHALL CONDUCT TEST PITS TO ENSURE UTILITIES ARE NOT DISTURBED/ BROKEN. ADDITIONAL COMPENSATION WILL NOT BE PROVIDED FOR UTILITY TEST PITS.

NOTE:
 ALL INLET GRATES, MANHOLE COVERS, VALVE BOXES, UTILITY BOXES, CLEANOUTS, ETC. WITHIN THE EXISTING BACK PARKING LOT WERE INSTALLED APPROXIMATELY TWO INCHES LOW. PRIOR TO PLACEMENT OF ANY BITUMINOUS STABILIZED BASE PAVING OR BITUMINOUS CONCRETE SURFACE COURSE, CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND ADJUST ALL UTILITIES TO FINAL ELEVATION. (MANHOLES, INLETS, WATER VALVES, GAS VALVES, DRAINAGE STRUCTURES, UTILITY POLES AND SIMILAR ITEMS). THE COST OF ALL NECESSARY ELEVATION VERIFICATION AND ADJUSTMENTS SHALL BE BORNE BY THE CONTRACTOR.

LEGEND

EXISTING	PROPOSED

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT



Van Cleef ENGINEERING ASSOCIATES
 Consulting Civil Engineering
 Environmental Engineering
 Municipal Engineering
 Land Surveying
 Professional Planning
 Landscape Architecture

OFFICES THROUGHOUT NJ, EASTERN PA. AND DE
 4 AAA DRIVE SUITE 700 HAMILTON, NJ 08610
 EMAIL: VCA@VCEA.COM WEBSITE: WWW.VCEA.COM
 PHONE: (609) 669-1100 FAX: (609) 669-1120 NJ LIC. CERT. NO. 246248132000

BY: *Herbert J. Seeburger, Jr.* DATE: 3/26/21
 HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER NO. 24624748700

WILLIAM D. HOPKINS III, AIA, LEED AP
 No. 246248132000
 GEORGE D. DUTHIE, JR., AIA, PP
 No. 246248132000
 William D. Hopkins
 3/26/2021
 Architect

GFVHD architects
 planners
 Fraytak Veisz Hopkins Duthie P C
 Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
 Pennsylvania: 140 Whitaker Ave - Mont Clear - Pennsylvania 19425
 F.V.H.D.P.C.C.O.M

Project Name
 Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name
 Northern Burlington County Regional School District

Project Location
 160 Mansfield Rd. East, Columbus, NJ 08022

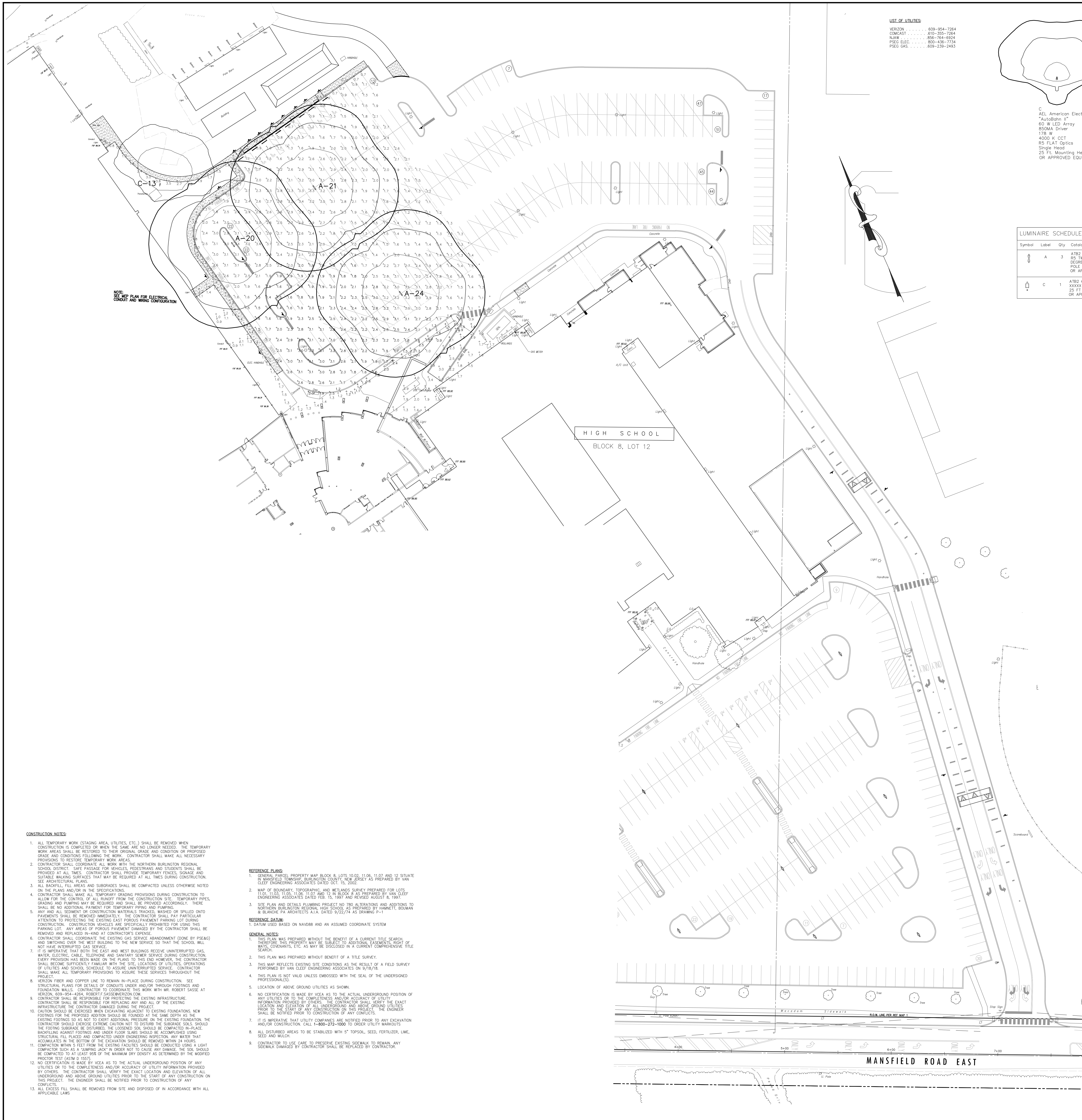
Project Number
 5086.9
 Project Date
 03.26.2021
 Checked By
 H.J.S./D.F.F
 Drawn By
 R.R.F.
 Scale
 1"=30'

Drawing Name
 UTILITY PLAN

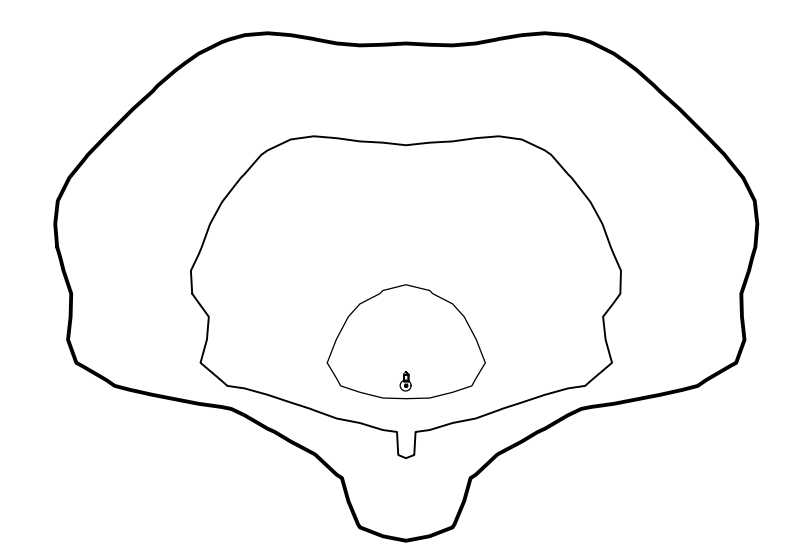
Revisions

No.	Date	Description

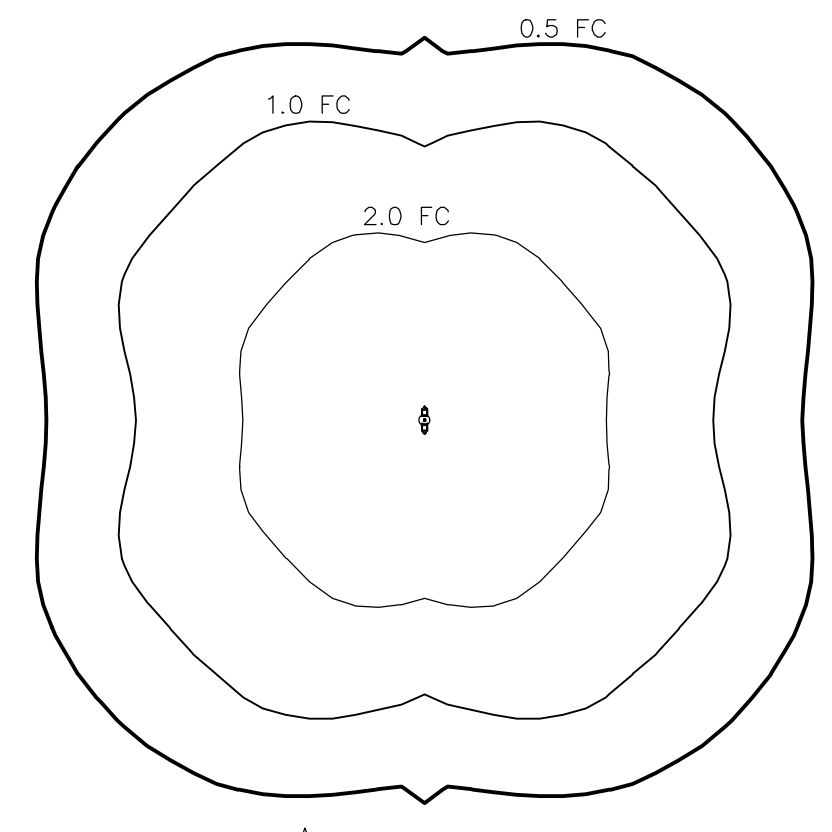
Drawing Number
 C-104



USE OF UTILITIES:
 VERIZON 609-954-7264
 COMCAST 878-355-7264
 N.J.W.P. 856-744-8924
 PSEG ELEC. 800-436-7734
 PSEG GAS 609-239-0493



C
 AEL American Electric
 "AutoBahn II"
 60 W LED Array
 850MA Driver
 178 W
 4000 K CCT
 R5 FLAT Optics
 Single Head
 25 Ft. Mounting Height
 OR APPROVED EQUAL



A
 AEL American Electric
 "AutoBahn II"
 60 W LED Array
 850MA Driver
 178 W
 4000 K CCT
 R5 FLAT Optics
 Twin Head @ 180
 25 Ft. Mounting Height
 OR APPROVED EQUAL

Symbol	Label	Qty	Category Number	Description	Lamp	File	Lumens	LF ²	Watts
A	A	3	ATB2 60LEDERS XXXXX R5 TWIN HEAD@180 DEGREE 25 FT POLE HEIGHT OR APPROVED EQUAL	ATB2 SERIES 178W LED 850MA TYPE 5 4000K CCT	LED Array	62566.les	Absolute 0.85	356	
C	C	1	ATB2 60LEDERS XXXXX R4 SINGLE 25 FT POLE HEIGHT OR APPROVED EQUAL	ATB2 SERIES 178W LED 850MA TYPE 4 4000K CCT	LED Array	62565.les	Absolute 0.84	178	

NOTE: SEE PLAN FOR EXISTING CONDUIT AND WIRING CONFIGURATION

HIGH SCHOOL
 BLOCK 8, LOT 12

MANSFIELD ROAD EAST

EXISTING	LEGEND	PROPOSED
[Symbol]	SANITARY SEWER	[Symbol]
[Symbol]	STORM SEWER	[Symbol]
[Symbol]	FLARED END SECTION	[Symbol]
[Symbol]	DRAINAGE INLET	[Symbol]
[Symbol]	DRAINAGE MANHOLE	[Symbol]
[Symbol]	HEADWALL	[Symbol]
[Symbol]	SANITARY SEWER MANHOLE	[Symbol]
[Symbol]	FIRE HYDRANT	[Symbol]
[Symbol]	SIGN	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]
[Symbol]	VALVE	[Symbol]
[Symbol]	WATER MAIN	[Symbol]
[Symbol]	GAS MAIN	[Symbol]
[Symbol]	ELECTRIC LINE	[Symbol]
[Symbol]	TELEPHONE LINE	[Symbol]
[Symbol]	GRADE ELEVATION	[Symbol]
[Symbol]	CONTOUR ELEVATION	[Symbol]
[Symbol]	LIGHT POLE	[Symbol]

- CONSTRUCTION NOTES**
- ALL TEMPORARY WORK (STAGING AREA, UTILITIES, ETC.) SHALL BE REMOVED WHEN CONSTRUCTION IS COMPLETED OR WHEN THE SAME ARE NO LONGER NEEDED. THE TEMPORARY WORK AREAS SHALL BE RESTORED TO THEIR ORIGINAL GRADE AND CONDITION OR PROPOSED GRADE AND CONDITIONS FOLLOWING THE WORK. CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS TO RESTORE TEMPORARY WORK AREAS.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH THE NORTHERN BURLINGTON REGIONAL SCHOOL DISTRICT. SAFE PASSAGE FOR VEHICLES, PEDESTRIANS AND STUDENTS SHALL BE PROVIDED AT ALL TIMES. CONTRACTOR SHALL PROVIDE TEMPORARY FENCES, SIGNAGE AND SUITABLE WARNING SURFACES THAT MAY BE REQUIRED AT ALL TIMES DURING CONSTRUCTION. SEE ARCHITECTURAL PLANS.
 - ALL BACKFILL, FILL AREAS AND SUBGRADES SHALL BE COMPACTED UNLESS OTHERWISE NOTED ON THE PLANS AND/OR IN THE SPECIFICATIONS.
 - CONTRACTOR SHALL MAKE ALL TEMPORARY GRADING PROVISIONS DURING CONSTRUCTION TO ALLOW FOR THE CONTROL OF ALL RUNOFF FROM THE CONSTRUCTION SITE. TEMPORARY PIPES, GRADING AND PUMPING MAY BE REQUIRED AND SHALL BE PROVIDED ACCORDINGLY. THERE SHALL BE NO ADDITIONAL PAYMENT FOR TEMPORARY PIPING AND PUMPING.
 - ANY AND ALL STATEMENT OR CONSTRUCTION MATERIALS TRACKED, MARKED OR SPILLED ONTO PAVEMENTS SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO PROTECTING THE EXISTING EXPOSED PAVEMENT PARKING LOT DURING CONSTRUCTION. CONSTRUCTION VEHICLES ARE SPECIFICALLY PROHIBITED FROM USING THIS PARKING LOT. ANY AREAS OF PAVEMENT DAMAGED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED IN-KIND AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL COORDINATE THE EXISTING GAS SERVICE ABANDONMENT (DONE BY PSEG) AND SWITCHING OVER THE WEST BUILDING TO THE NEW SERVICE SO THAT THE SCHOOL WILL NOT HAVE INTERRUPTED GAS SERVICE.
 - IT IS IMPERATIVE THAT BOTH THE EAST AND WEST BUILDINGS RECEIVE UNINTERRUPTED GAS, WATER, ELECTRIC, CABLE, TELEPHONE AND SANITARY SEWER SERVICE DURING CONSTRUCTION. EVERY PROVISION HAS BEEN MADE ON THE PLANS TO THIS END HOWEVER, THE CONTRACTOR SHALL BECOME SUFFICIENTLY FAMILIAR WITH THE SITE LOCATIONS OF UTILITIES, OPERATIONS OF UTILITIES AND SCHOOL SCHEDULE TO ASSURE UNINTERRUPTED SERVICE. CONTRACTOR SHALL MAKE ALL TEMPORARY PROVISIONS TO ASSURE THESE SERVICES THROUGHOUT THE PROJECT.
 - VERIZON FIBER AND COPPER LINE TO REMAIN IN-PLACE DURING CONSTRUCTION. SEE STRUCTURAL PLANS FOR DETAILS OF CONDUITS UNDER AND/OR THROUGH FOOTINGS AND FOUNDATION WALLS. CONTRACTOR TO COORDINATE THIS WORK WITH MR. ROBERT CASSE AT VERIZON, 609-954-4264, ROBERT.CASSE@VERIZON.COM.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING INFRASTRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY AND ALL OF THE EXISTING INFRASTRUCTURE THE CONTRACTOR DAMAGED DURING THE PROJECT.
 - CAUTION SHOULD BE EXERCISED WHEN EXCAVATING ADJACENT TO EXISTING FOUNDATIONS. NEW FOOTINGS FOR THE PROPOSED ACTION SHOULD BE LOCATED AT THE SAME DEPTH AS THE EXISTING FOOTINGS SO AS NOT TO EXERT ADDITIONAL PRESSURE ON THE EXISTING FOUNDATION. THE CONTRACTOR SHOULD BE ADVISED TO DISBURSE THE SUBGRADE SOILS. SHOULD BACKFILLING AGAINST FOOTINGS AND UNDER FLOOR SLABS SHOULD BE ACCOMPANIED USING STRUCTURAL FILL PLACED AND COMPACTED UNDER ENGINEERING INSPECTION. ANY WATER THAT ACCUMULATES IN THE BOTTOM OF THE EXCAVATION SHOULD BE REMOVED WITHIN 24 HOURS. COMPACTOR WITHIN 5 FEET FROM THE EXISTING FOOTINGS SHOULD BE CONDUCTED USING A LIGHT COMPACTOR SUCH AS A TAMPER JACK IN ORDER NOT TO CAUSE ANY DAMAGE. THE SOIL SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D 1557).
 - NO CERTIFICATION IS MADE BY VECA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
 - ALL EXCESS FILL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS.

- REFERENCE PLANS**
- GENERAL PARCEL, PROPERTY MAP BLOCK 8, LOTS 10, 11, 12, 13, 14, 15, 16, 17 AND 18 SITUATE IN HANCOCK TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED OCT. 16, 2002.
 - MAP OF BOUNDARY, TOPOGRAPHY AND UTILITIES SURVEY PREPARED FOR LOTS 10, 11, 12, 13, 14, 15, 16, 17 AND 18 SITUATE IN HANCOCK TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED FEB. 15, 1997 AND REVISED AUGUST 4, 1997.
 - SITE PLAN AND DETAILS PLUMBING PROJECT NO. 200-10-0000 AND ADDITIONS TO NORTHERN BURLINGTON REGIONAL HIGH SCHOOL, AS PREPARED BY HANWETT, BOUMAN & BLANCHÉ P.A. ARCHITECTS A.P.A. DATED 9/22/10 AS DRAWING P-11.
- REFERENCE DATA**
- DATA USED BASED ON NAVD88 AND AN ASSUMED COORDINATE SYSTEM.
- GENERAL NOTES**
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH. THEREFORE THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, RIGHT OF WAY, EASEMENTS, ETC. AS MAY BE DISCLOSED IN A CURRENT COMPREHENSIVE TITLE SEARCH.
 - THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE SURVEY.
 - THIS MAP REFLECTS EXISTING SITE CONDITIONS AS THE RESULT OF A FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES ON 9/18/18.
 - THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER.
 - LOCATION OF ABOVE GROUND UTILITIES AS SHOWN.
 - NO CERTIFICATION IS MADE BY VECA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION. CALL 1-800-272-1000 TO ORDER UTILITY MARKINGS.
 - ALL DISTURBED AREAS TO BE STABILIZED WITH 5" TOPSOIL, SEED, FERTILIZER, LIME, SEED AND MULCH.
 - CONTRACTOR TO USE CARE TO PRESERVE EXISTING SIDEWALK TO REMAIN. ANY SIDEWALK DAMAGED BY CONTRACTOR SHALL BE REPLACED BY CONTRACTOR.

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT



Van Cleef ENGINEERING ASSOCIATES

BY: *Herbert J. Seeburger, Jr.* DATE: 3/26/21
 HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER NO. 246204748700

WILLIAM D. HOPKINS III, AIA, LEED AP
 GEORGE R. DUTHIE, JR., AIA, PP
 FRAYTAK VEISZ HOPKINS DUTHIE P.C.
 1515 Lower Ferry Road - Trenton - New Jersey 08628
 140 Whitaker Ave - Mont Clare - Pennsylvania 19423

Project Name: Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name: Northern Burlington County Regional School District

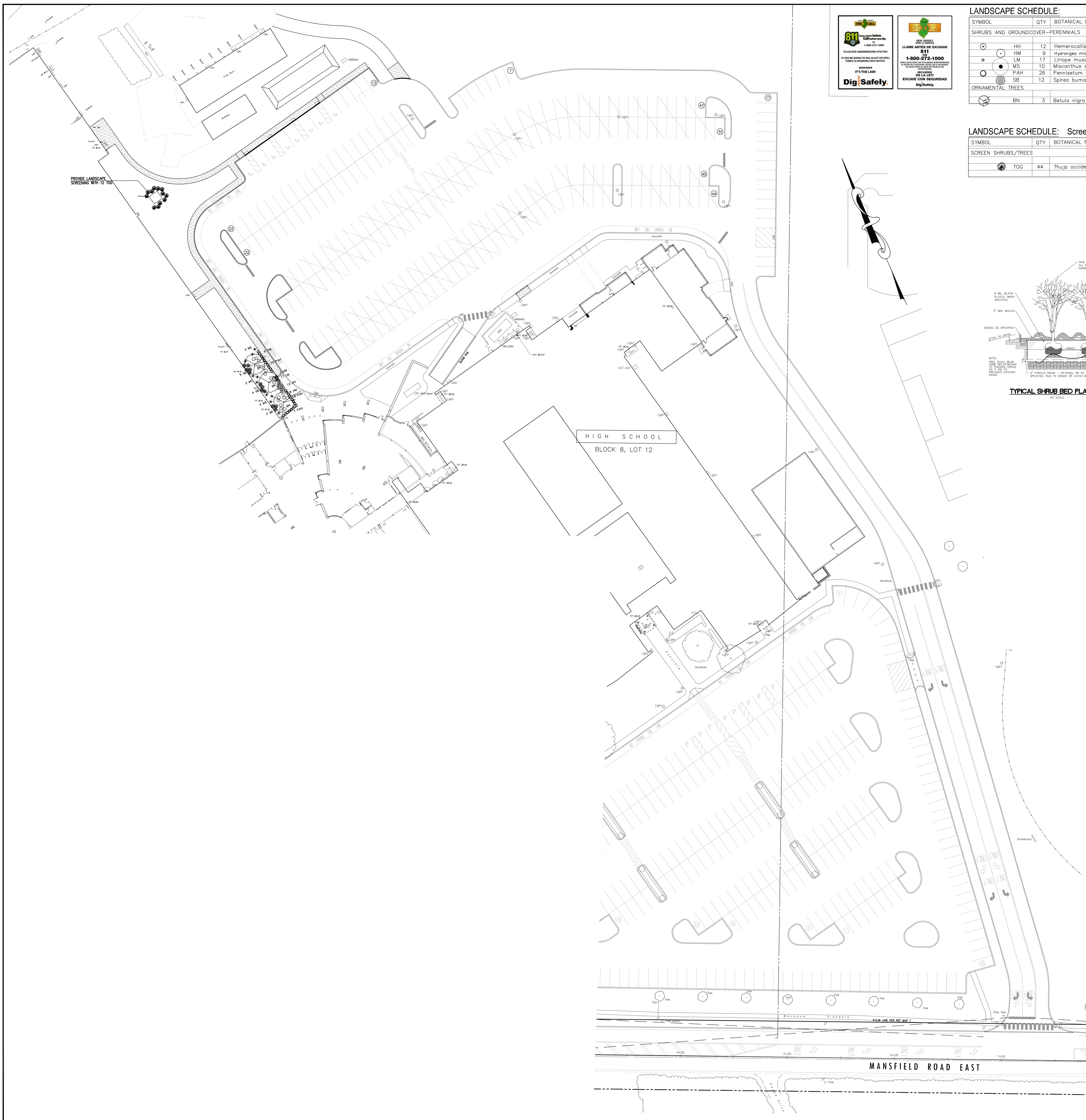
Project Location: 160 Mansfield Rd. East, Columbus, NJ 08022

Project Number: 5086.9
 Project Date: 03.26.2021
 Checked By: H.J.S./D.F.F.
 Drawn By: R.R.F.
 Scale: 1"=30'

Drawing Name: LIGHTING PLAN

Revisions: No. Date Description

Drawing Number: C-105

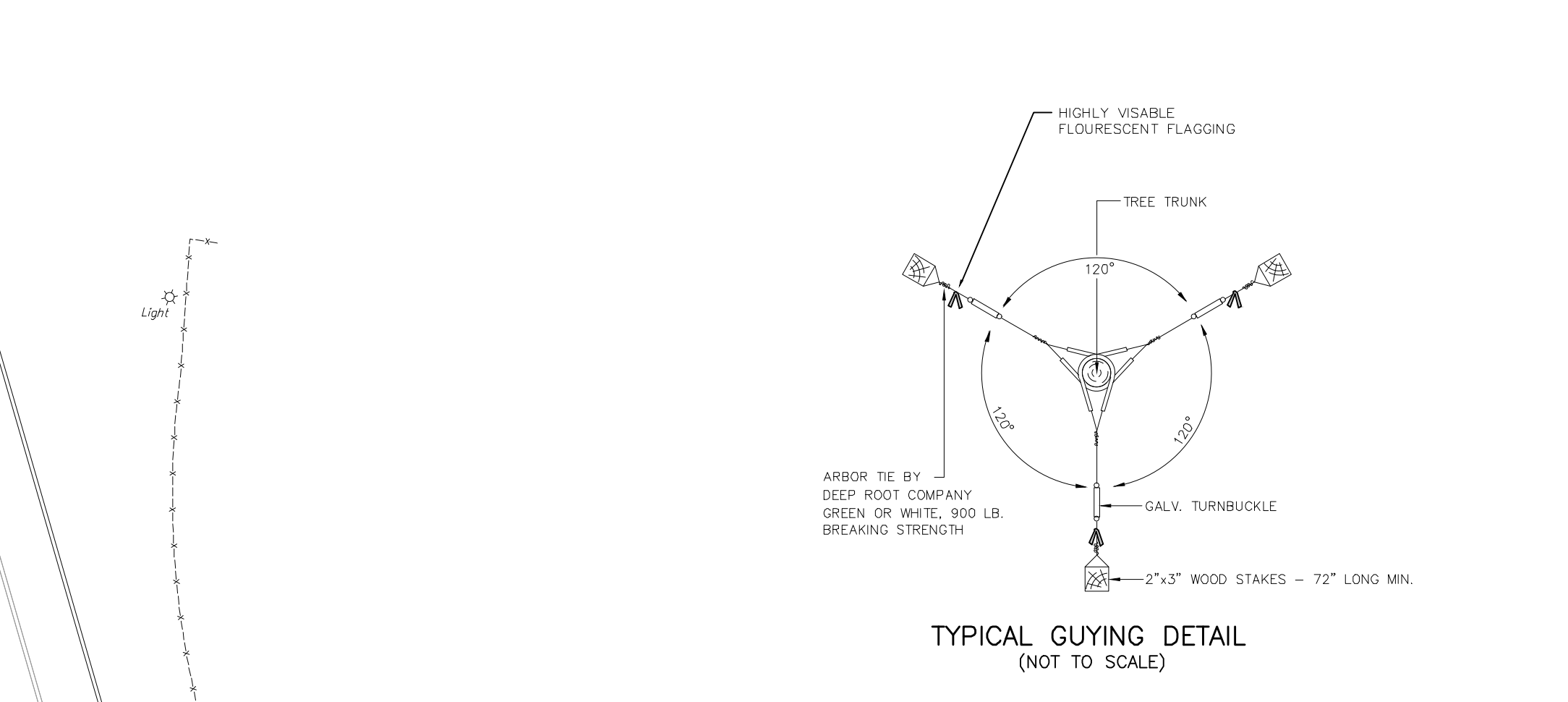
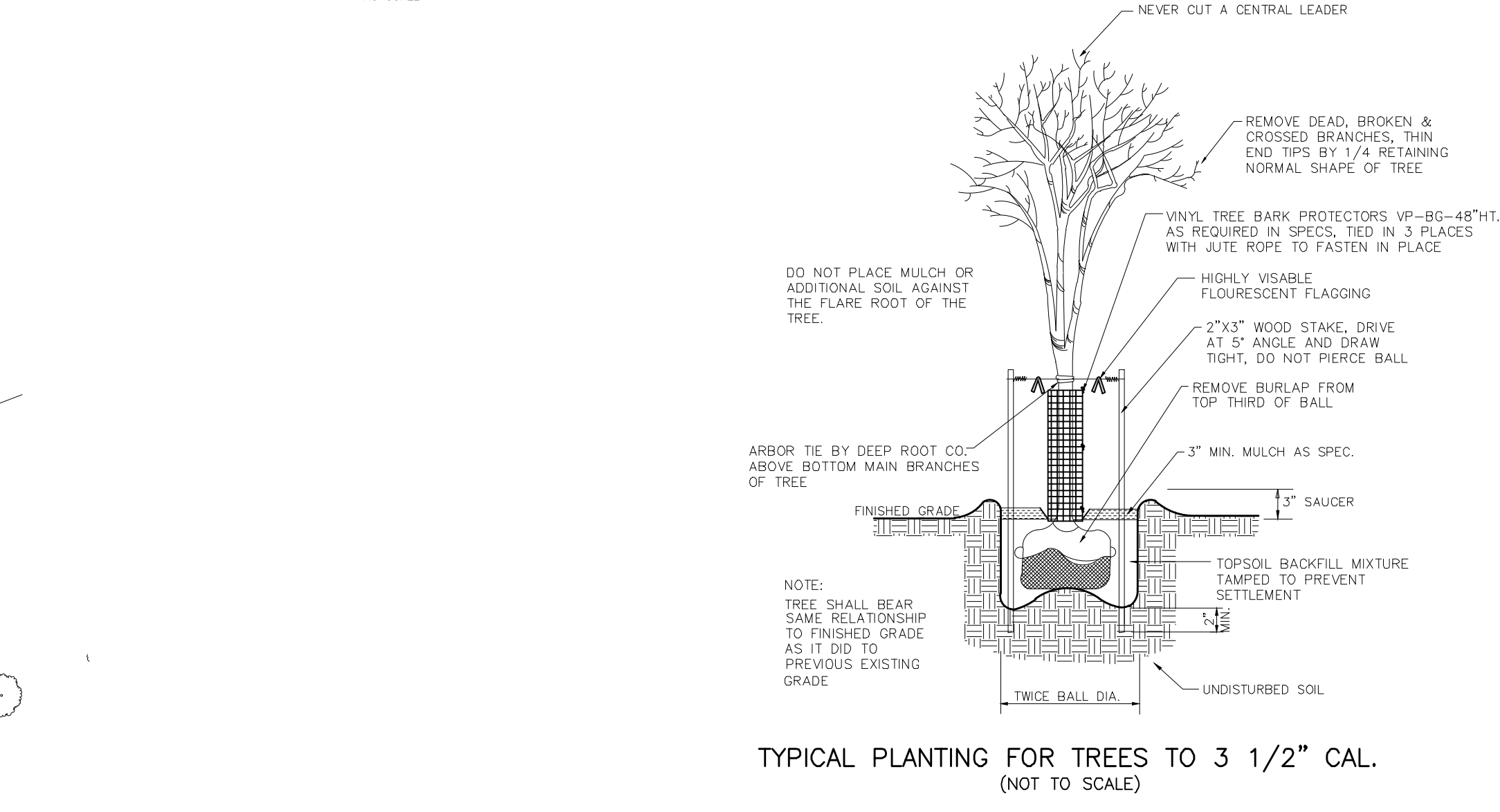
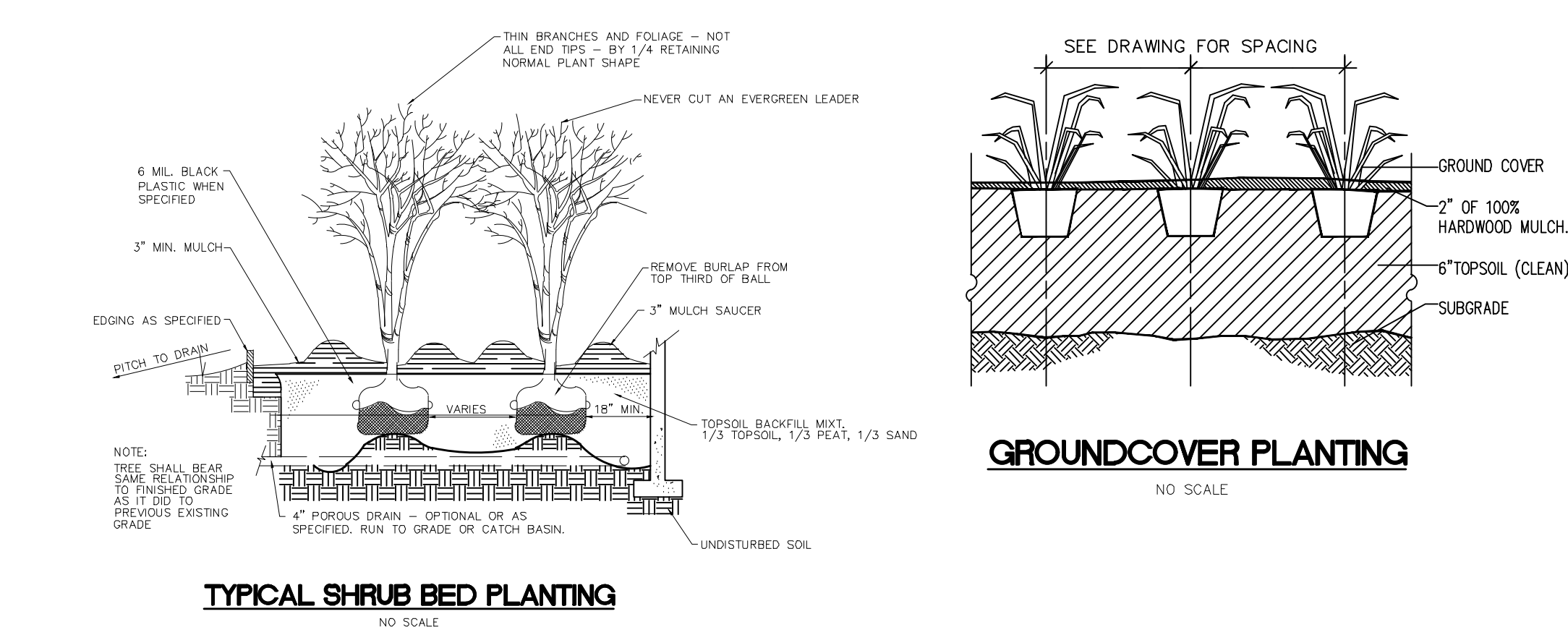


LANDSCAPE SCHEDULE:

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE ***	REMARKS
SHRUBS AND GROUNDCOVER-PERENNIALS					
⊙	12	Hemerocallis 'Happy Returns'	Happy Returns Daylily	9"-12" Ht., 24" O.C.	#1 Can.
⊙	9	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	18"-24" Ht.	#3 Can.
⊙	17	Liriope muscari	Lilyturf	9"-12" Ht., 12" O.C.	#1 Can.
⊙	10	Miscanthus sinensis	Moistongrass	18"-24" Ht.	#3 Can.
⊙	26	Pennisetum alopecuroides 'Hemeln'	Hemeln Dwarf Fountain Grass	18"-24" Ht.	#3 Can.
⊙	12	Spiraea bumalda 'Magic Carpet'	Magic Carpet Spiraea	18"-24" Ht.	#3 Can.
ORNAMENTAL TREES					
⊙	3	Betula nigra	River Birch	6"-8" Ht.	B&B

LANDSCAPE SCHEDULE: Screen Plantings for Transformer

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE ***	REMARKS
⊙	44	Thuja occidentalis 'Green Giant'	Green Giant Arborvitae	5'-6" Ht.	B&B



- GENERAL LANDSCAPE NOTES:**
- ALL PLANT MATERIAL SHALL BE TRANSPORTED, STORED, AND PLANTED WITH CARE TO MAINTAIN THE INTEGRITY OF THE PLANT MATERIAL. PLANT MATERIAL SHALL BE STORED IN A SHADY AREA AND COVERED WITH A TARP OR PLASTIC TO PREVENT DRYING OUT. PLANT MATERIAL SHALL BE PLANTED WITHIN 48 HOURS OF DELIVERY TO THE SITE.
 - ALL PLANT MATERIAL SHALL BE PLANTED AT THE SPECIFIED SPACING AND DEPTH. PLANT MATERIAL SHALL BE PLANTED AT THE SPECIFIED SPACING AND DEPTH. PLANT MATERIAL SHALL BE PLANTED AT THE SPECIFIED SPACING AND DEPTH.
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2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

Van Cleef ENGINEERING ASSOCIATES
 Consulting Civil Engineering
 Environmental Engineering
 Municipal Engineering
 Land Surveying
 Professional Planning
 Landscape Architecture

OFFICES THROUGHOUT NJ, EASTERN PA, AND DE
 4 AAA DRIVE, SUITE 100, HAMILTON, NJ 08610
 EMAIL: VANCE@VANCLEEF.COM WEB: WWW.VANCLEEF.COM
 PHONE: (609) 689-1100 FAX: (609) 689-1120 NJ LIC. CERT. NO. 24628R12000

BY: *Herbert J. Seeburger, Jr.* DATE: 3/26/21
 HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER, NO. 24628R12000

WILLIAM D. HOPKINS III, AIA, LEED AP
 140 WHITTAKER AVE., SUITE 200
 GEORGETOWN, NJ 07038
 GEORGE R. DUTHIE JR., AIA, PP
 140 WHITTAKER AVE., SUITE 200
 GEORGETOWN, NJ 07038

F.V.H.D.P.C., C.O.M.
 140 Whittaker Ave. - Mont Cleon - Pennsylvania, 19433

GFVHD architects
 planners
 Fraytak Veisz Hopkins Duthie P C
 Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
 Pennsylvania: 140 Whittaker Ave. - Mont Cleon - Pennsylvania, 19433

Project Name
 Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name
 Northern Burlington County Regional School District

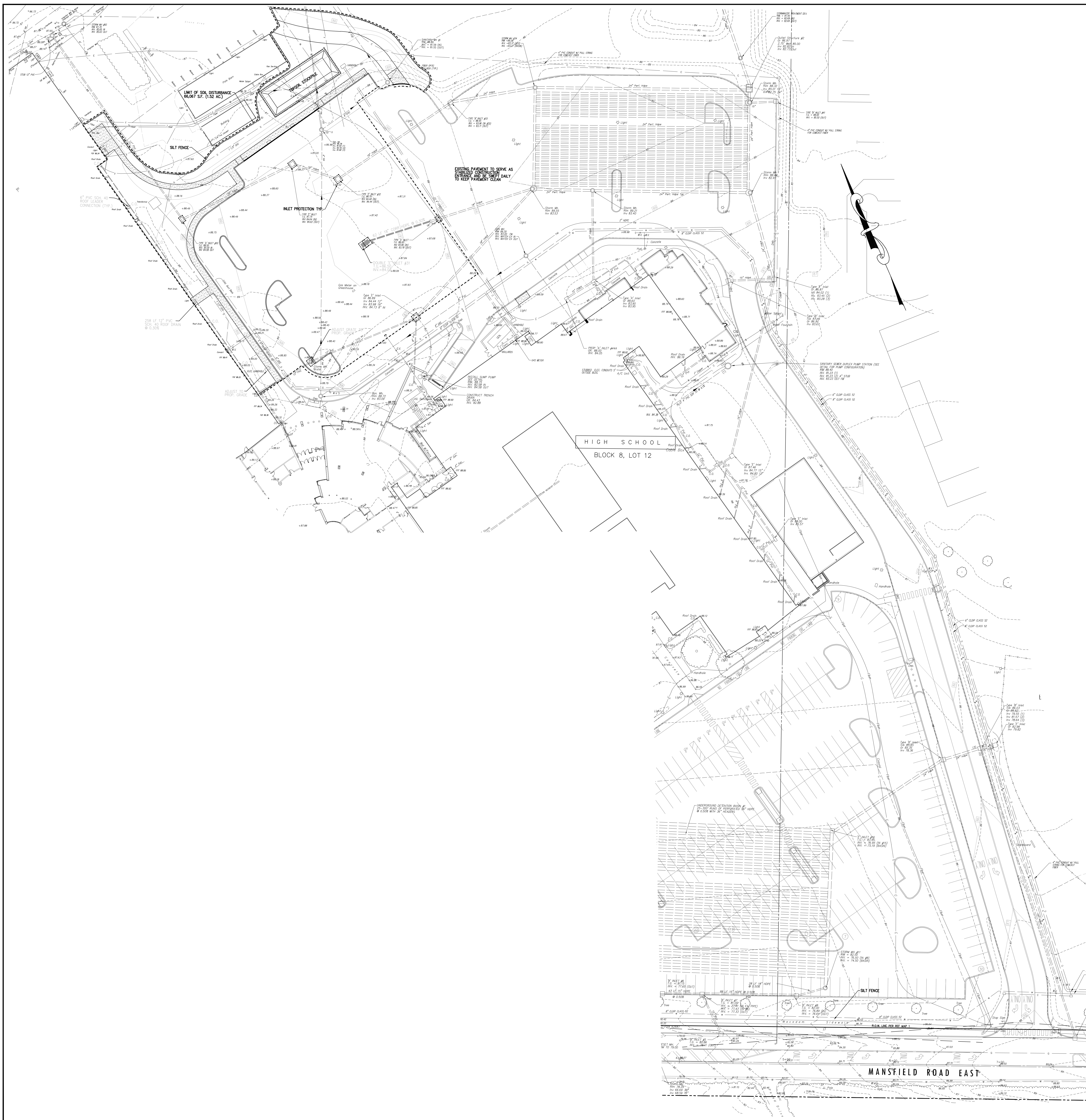
Project Location
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Project Number
 5086.9
 Project Date
 03.26.2021
 Checked by
 H.J.S./D.F.F.
 Drawn by
 R.R.F.
 Scale
 1"=30'

Drawing Name
 LANDSCAPE DESIGN PLAN

Revisions	No.	Date	Description

Drawing Number
 C-106



- LIST OF UTILITIES**
- VERIZON 609-954-7284
 COMCAST 610-355-7284
 N.J.W. 856-344-8928
 PSE&E 800-436-7334
 PSE&E 609-328-9493
- REFERENCE PLANS**
- GENERAL PARCEL PROPERTY MAP BLOCK 8, LOTS 10.00, 11.00, 11.07 AND 12, SITUATE IN MANSFIELD TWP. BORLINGTON COUNTY, NEW JERSEY AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED OCT. 14, 2002.
 - MAP OF BOUNDARY, TOPOGRAPHIC, AND METEOROLOGICAL SURVEY PREPARED FOR LOTS 10.00, 11.00, 11.07 AND 12, IN BLOCK 8, AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED FEB. 15, 2004 AND REVISION AUGUST 6, 1997.
 - SITE PLAN AND UTILITY PLUMBING PROJECT NO. 101-101-1000 AND ADDITIONS TO NORTHERN BURLINGTON REGIONAL HIGH SCHOOL, AS PREPARED BY HANNETT, BOLMAN & BLANCK, P.A. ARCHITECTS A.S.A. DATED 9/22/74 AS DRAWING P-1.
- REFERENCE DATUM**
1. DATUM USED BASED ON NAVD83 AND AN ASSUMED COORDINATE SYSTEM
- GENERAL NOTES**
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH. THEREFOR THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL ENCUMBRANCES, RIGHT OF WAY, COVENANTS, ETC. AS MAY BE DEVELOPED IN A CURRENT COMPREHENSIVE TITLE SEARCH.
 - THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE SURVEY.
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 - THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER.
 - LOCATION OF ABOVE GROUND UTILITIES AS SHOWN.
 - NO CERTIFICATION IS MADE BY VECA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT DEPTH AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
 - IT IS IMPERATIVE THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-275-1000 TO GROUND UTILITY MARKETS.
 - ALL DISTURBED AREAS TO BE STABILIZED WITH 5" TOPSOIL, SEED, FERTILIZER, LIME, SEED AND MULCH.
 - CONTRACTOR TO USE CARE TO PRESERVE EXISTING SIDEWALK TO REMAIN. ANY SIDEWALK DAMAGED BY CONTRACTOR SHALL BE REPLACED BY CONTRACTOR.
- CONSTRUCTION NOTES**
- ALL TEMPORARY WORK (STAGING AREA, UTILITIES, ETC.) SHALL BE REMOVED WHEN CONSTRUCTION IS COMPLETED OR WHEN THE SAME ARE NO LONGER NEEDED. THE TEMPORARY WORK AREAS SHALL BE RESTORED TO THEIR ORIGINAL GRADE AND CONDITION OR PROPOSED GRADE AND CONDITIONS FOLLOWING THE WORK. THE CONTRACTOR SHALL MARK ALL NECESSARY PROVISIONS TO RESTORE TEMPORARY WORK AREAS.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH THE NORTHERN BURLINGTON REGIONAL SCHOOL DISTRICT. SAFE PASSAGE FOR VEHICLES, PEDESTRIANS AND STUDENTS SHALL BE PROVIDED AT ALL TIMES. CONTRACTOR SHALL PROVIDE TEMPORARY FENCES, SIGNAGE AND SUITABLE WALKING SURFACES THAT MAY BE REQUIRED AT ALL TIMES DURING CONSTRUCTION. SEE ARCHITECTURAL PLANS.
 - ALL BACKFILL, FILL AREAS AND SUBGRADES SHALL BE COMPACTED UNLESS OTHERWISE NOTED ON THE PLANS AND IN THE SPECIFICATIONS.
 - CONTRACTOR SHALL MAKE ALL TEMPORARY GRADING PROVISIONS DURING CONSTRUCTION TO ALLOW FOR THE CONTROL OF RUNOFF FROM THE CONSTRUCTION SITE. TEMPORARY PIPES, GRADING AND PUMPING MAY BE REQUIRED AND SHALL BE PROVIDED ACCORDINGLY. THERE SHALL BE NO ADDITIONAL PAVEMENT FOR TEMPORARY PIPES AND PUMPING.
 - ANY AND ALL SEDIMENT OR CONSTRUCTION MATERIALS TRACKED, WASHED OR SPILLED ONTO PAVEMENTS SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO PROTECTING THE EXISTING EAST POROUS PAVEMENT PARKING LOT DURING CONSTRUCTION. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY FOR USING THIS PARKING LOT. ANY AREAS OF POROUS PAVEMENT DAMAGED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED IN-PLACE AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL COORDINATE THE EXISTING GAS SERVICE ABANDONMENT (DONE BY PSE&E) AND SWITCHING OVER TO THE NEW SERVICE TO THE SCHOOL. CONTRACTOR SHALL NOT HAVE INTERRUPTED GAS SERVICE.
 - IT IS IMPERATIVE THAT BOTH EAST AND WEST BUILDINGS RECEIVE UNINTERRUPTED GAS, WATER, ELECTRIC, CABLE, TELEPHONE AND SANITARY SEWER SERVICE DURING CONSTRUCTION. EVERY PROVISION HAS BEEN MADE TO THIS END. HOWEVER, THE CONTRACTOR SHALL BECOME SUFFICIENTLY FAMILIAR WITH THE SITE, LOCATIONS OF UTILITIES, OPERATIONS OF UTILITIES AND SCHOOL SCHEDULE TO ASSURE UNINTERRUPTED SERVICE. CONTRACTOR SHALL MAKE ALL TEMPORARY PROVISIONS TO ASSURE THESE SERVICES THROUGHOUT THE PROJECT.
 - VERIZON FIBER AND COPPER LINE TO REMAIN IN-PLACE DURING CONSTRUCTION. SEE STRUCTURAL PLANS FOR DETAILS OF CONDUITS UNDER AND/OR THROUGH FOOTINGS AND FOUNDATION WALLS. CONTRACTOR TO COORDINATE THIS WORK WITH MR. ROBERT SASSE AT VERIZON, 609-954-4264, ROBERT.SASSE@VERIZON.COM.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING INFRASTRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY AND ALL OF THE EXISTING INFRASTRUCTURE THE CONTRACTOR DAMAGED DURING THE PROJECT.
 - CAUTION SHOULD BE EXERCISED WHEN EXCAVATING ADJACENT TO EXISTING FOUNDATIONS. NEW FOOTINGS FOR THE PROPOSED ADDITION SHOULD BE FOUNDED AT THE SAME DEPTH AS THE EXISTING FOOTINGS SO AS NOT TO EXERT ADDITIONAL PRESSURE ON THE EXISTING FOUNDATION. THE CONTRACTOR SHOULD EXERCISE EXTREME CAUTION NOT TO DISTURB THE SUBGRADE SOILS. SHOULD THE FOOTING SURFACE BE OBTAINED, THE LOOSESOIL SHOULD BE COMPACTED IN-PLACE. BACKFILLING AGAINST FOOTINGS AND UNDER FLOOR SLABS SHOULD BE ACCOMPLISHED USING STRUCTURAL FILL. SLABS AND COMPACTED UNDER EXERCISE PRECAUTION. ANY WATER THAT ACCUMULATES IN THE BOTTOM OF THE EXCAVATION SHOULD BE REMOVED WITHIN 24 HOURS.
 - COMPACTOR WITHIN 5 FEET FROM THE EXISTING FACILITIES SHOULD BE CONDUCTED USING A LIGHT COMPACTOR SUCH AS A JUMPING JACK IN ORDER NOT TO CAUSE ANY DAMAGE. THE SOIL SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOISTURE PROCTOR TEST (ASTM D 1557).
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 - ALL EXCESS FILL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS.

LEGEND

EXISTING	PROPOSED

LEGEND

EXISTING	PROPOSED

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

Van Cleef ENGINEERING ASSOCIATES
 Consulting Civil Engineering
 Environmental Engineering
 Municipal Engineering
 Land Surveying
 Professional Planning
 Landscape Architecture

4 A.A. DRIVE, SUITE 103, HAMILTON, NJ 08061
 EMAIL: VCA@VANCLEEF.COM WEB: WWW.VANCLEEF.COM
 PHONE: (609) 689-1100 FAX: (609) 689-1120 NJ LLC CERT. NO. 2462812000

BY: *Herbert J. Seeburger, Jr.* DATE: 3/26/21
 HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER NO. 24604748700

WILLIAM D. HOPKINS III, AIA, LEED AP
 14 JENNIFER LN, #4023201
 GEORGE D. DUTHIE III, AIA, PP
 14 JENNIFER LN, #4023201
 WILLIAM D. HOPKINS III
 GEORGE D. DUTHIE III
 Architects

F.V.H.D.P.C.C.O.M.
 1515 Lower Ferry Road - Trenton - New Jersey 08628
 140 Whitaker Ave - Mont Clare - Pennsylvania 19428

GFVHD architects
 planners
 Fraytak Veisz Hopkins Duthie P C

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Project Owner Name
 Northern Burlington County Regional School District

Project Location
 160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
 5086.9

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 03.26.2021

Checked by
 H.J.S./D.F.F.

Drawn by
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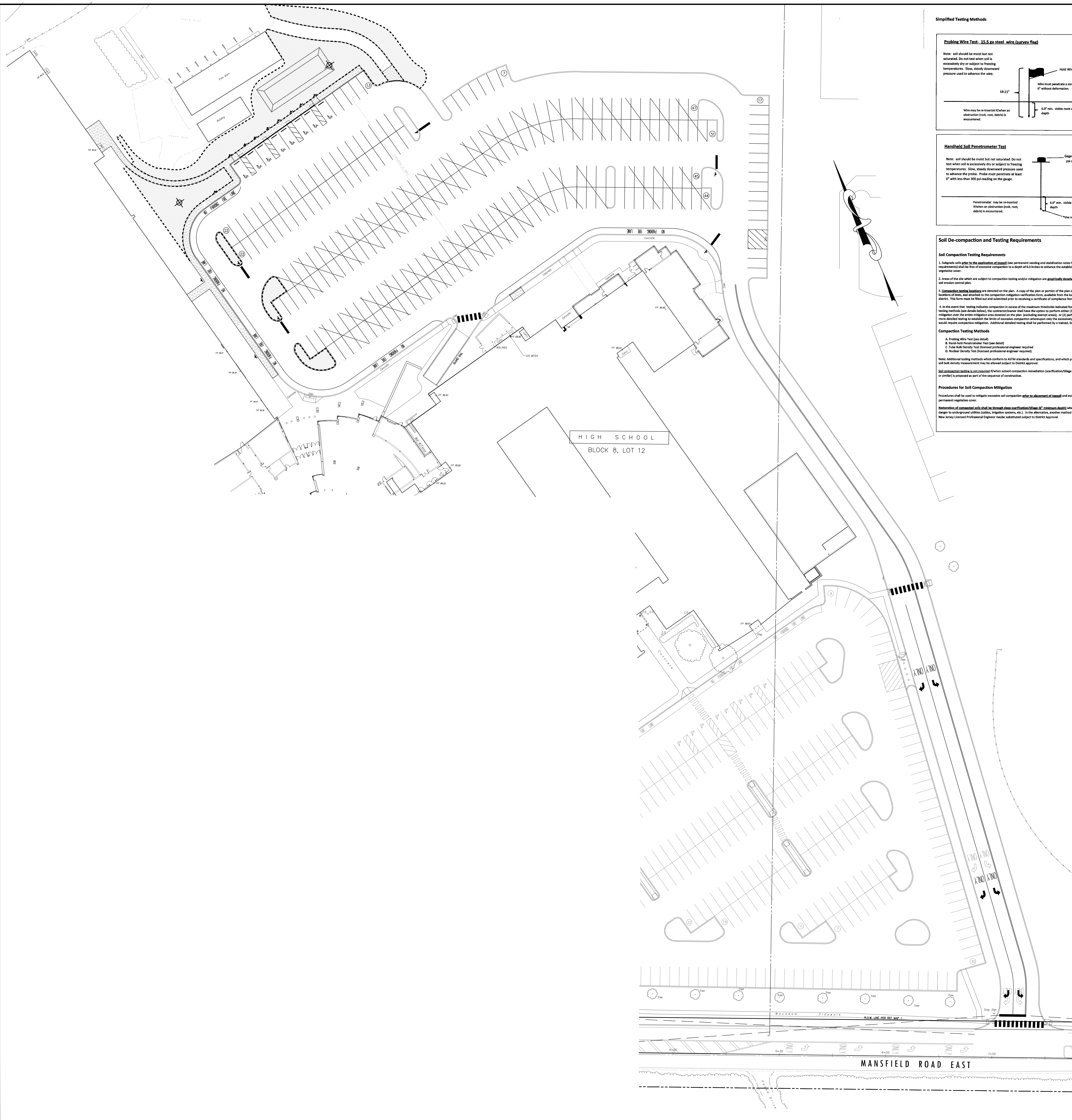
Scale
 1"=30'

Drawing Name
 SOIL EROSION SEDIMENT CONTROL PLAN

Revisions

No.	Date	Description

Drawing Number
 C-107



Simplified Testing Methods

Probing Wire Test: 15.5 ga steel wire (surveys flat)

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.

Hold Wire here:
Wire must penetrate a minimum of 18" depth.

Wire may be re-inserted (when an observation lock, root, debris is encountered).

4" pin, white mark on wire at depth.

Handheld Soil Penetrometer Test

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6" (less than 300' reading on the gauge).

Probe reading 300' or less at 6"

6" pin, white mark on wire at depth.

Probe must be 1/4" for soil type.

Soil De-compaction and Testing Requirements

Soil Compaction Testing Requirements

1. Subgrade soils prior to the application of base or pavement sections and stabilization notes for topsoil requirements shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetation cover.
2. Areas of the site which are subject to compaction testing and/or mitigation are graphically denoted on the certified site plan.
3. Compaction testing locations are shown on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the construction mitigation verification form, available from the local and construction officials. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
4. In the event that existing building construction in areas of the maximum thickness indicated for the simplified testing methods (see details below), the contractor shall have the option to perform either (1) compaction testing over the entire mitigation area covered on the plan, including several areas, or (2) perform additional, more detailed testing to establish the level of excessive compaction whereupon only the excessively compacted areas would require construction mitigation. Additional detailed testing shall be performed by a licensed, licensed professional.

Compaction Testing Methods

- A. Probing Wire Test (see detail)
- B. Hand Held Penetrometer Test (see detail)
- C. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if when soil compaction remediation (soil stabilization) (6" minimum depth) is proposed as part of the sequence of construction.

Procedures for Soil Compaction Mitigation

Procedures shall be used to mitigate excessive soil compaction after the placement of base and establishment of permanent vegetation cover.

Remediation of compacted soils shall be through deep cultivation (6" minimum depth) where there is no danger to underground utility (lines, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer (license number submitted subject to District approval).

LIST OF UTILITIES

VERIZON 609-954-7264
COMCAST 810-355-7264
N.J.W.A. 856-794-6924
PREG. ELEC. 800-436-7734
PREG. GAS 800-239-2463

REFERENCE PLANS

1. GENERAL PARCEL PROPERTY MAP BLOCK 8, LOTS 10.02, 11.01, 11.07 AND 12, SITUATE IN MANSFIELD TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED OCT. 15, 2002.
2. MAP OF BOUNDARY, TOPOGRAPHIC, AND WETLANDS SURVEY PREPARED FOR LOTS 10.02, 11.01, 11.07, AND 12, SITUATE IN MANSFIELD TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY AS PREPARED BY VAN CLEEF ENGINEERING ASSOCIATES DATED JULY 8, 1995.
3. SITE PLAN AND DETAILS PLUMBING PROJECT NO. 726 ALTERATIONS AND ADDITIONS TO NORTHERN BURLINGTON REGIONAL HIGH SCHOOL AS PREPARED BY HANNETT, BOLMAN & BLANCHÉ, P.A. ARCHITECTS A.A. DATED 9/22/02 AS DRAWING P-1.

REFERENCE DATUM

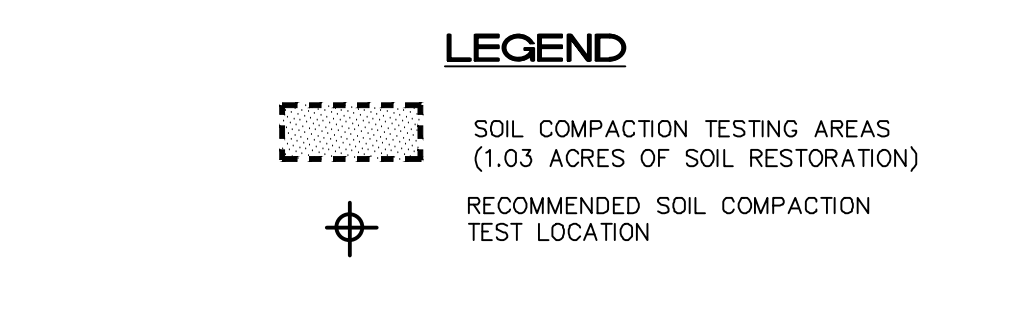
1. DATUM USED BASED ON NAVD83 AND AN ASSUMED COORDINATE SYSTEM.

GENERAL NOTES

1. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH. THEREFORE, THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL CLAIMS, RIGHT OF WAY, EASEMENTS, ETC., AS MAY BE ENCOUNTERED IN A CURRENT COMPREHENSIVE TITLE SEARCH.
2. THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE SURVEY.
3. THIS MAP REFLECTS EXISTING SITE CONDITIONS AS THE RESULT OF A FIELD SURVEY PERFORMED BY VAN CLEEF ENGINEERING ASSOCIATES ON 9/18/18.
4. THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER.
5. LOCATION OF ABOVE GROUND UTILITIES AS SHOWN.
6. NO CERTIFICATION IS MADE BY VECA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
7. IT IS URGENT THAT UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-272-1000 TO ORDER UTILITY MARKETS.
8. ALL DISTURBED AREAS TO BE STABILIZED WITH S' TOPSOIL, SEED, FERTILIZER, LIME, SEED AND MULCH.
9. CONTRACTOR TO USE CARE TO PROTECT EXISTING SIDEWALK TO REMAIN. ANY SIDEWALK DAMAGED BY CONTRACTOR SHALL BE REPLACED BY CONTRACTOR.

CONSTRUCTION NOTES

1. ALL TEMPORARY WORK (STAGING AREA, UTILITIES, ETC.) SHALL BE REMOVED WHEN CONSTRUCTION IS COMPLETED OR WHEN SAME ARE LONGER NEEDED. THE TEMPORARY WORK AREAS SHALL BE RESTORED TO THEIR ORIGINAL GRADE AND CONDITION OR PROPOSED GRADE AND CONDITION FOLLOWING THE COMPLETION OF CONSTRUCTION. ALL NECESSARY PROVISIONS TO RESTORE TEMPORARY WORK AREAS.
2. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE NORTHERN BURLINGTON REGIONAL SCHOOL DISTRICT. SAFE PASSAGE FOR VEHICLES, PEDESTRIANS AND STUDENTS SHALL BE PROVIDED AT ALL TIMES. CONTRACTOR SHALL PROVIDE TEMPORARY FENCES, SIGNAGE AND SUITABLE WALKING SURFACES THAT MAY BE REQUIRED AT ALL TIMES DURING CONSTRUCTION. SEE ARCHITECTURAL PLANS.
3. ALL BACKFILL, FILL AREAS AND SUBGRADES SHALL BE COMPACTED UNLESS OTHERWISE NOTED ON THE PLANS AND/OR IN THE SPECIFICATIONS.
4. CONTRACTOR SHALL MAKE ALL TEMPORARY GRADING PROVISIONS DURING CONSTRUCTION TO ALLOW FOR THE CONTROL OF ALL RUNOFF FROM THE CONSTRUCTION SITE. TEMPORARY PIPES, GRADING AND PUMPING MAY BE REQUIRED AND SHALL BE PROVIDED ACCORDINGLY. THERE SHALL BE NO ADDITIONAL PAYMENT FOR TEMPORARY PIPING AND PUMPING.
5. ANY AND ALL SEDIMENT OR CONSTRUCTION MATERIALS TRACKED, WASHED OR SPILLED ONTO PAVED SURFACES SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO PROTECTING THE EXISTING EAST POROUS PAVEMENT PARKING LOT DURING CONSTRUCTION. CONSTRUCTION VEHICLES ARE SPECIFICALLY PROHIBITED FROM USING THIS PARKING LOT. ANY AREAS OF POROUS PAVEMENT DAMAGED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED IN-WARD AT CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL COORDINATE THE EXISTING GAS SERVICE ABANDONMENT (DONE BY PSE&D) AND SWITCHING OVER THE WEST BUILDING TO THE NEW SERVICE SO THAT THE SCHOOL WILL NOT HAVE INTERRUPTED GAS SERVICE.
7. IT IS URGENT THAT BOTH THE EAST AND WEST BUILDINGS RECEIVE UNINTERRUPTED GAS, WATER, ELECTRIC, CABLE, TELEPHONE AND SANITARY SEWER SERVICE DURING CONSTRUCTION. EVERY PROVISION HAS BEEN MADE ON THE PLANS TO THIS END HOWEVER THE CONTRACTOR SHALL BECOME SUFFICIENTLY FAMILIAR WITH THE SITE, LOCATIONS OF UTILITIES, OPERATIONS OF UTILITIES AND SCHOOL SCHEDULE TO ASSURE UNINTERRUPTED SERVICE. CONTRACTOR SHALL MAKE ALL TEMPORARY PROVISIONS TO ASSURE THESE SERVICES THROUGHOUT THE PROJECT.
8. VERIZON FIBER AND COPPER LINE TO REMAIN IN-PLACE DURING CONSTRUCTION. SEE STRUCTURAL PLANS FOR DETAILS OF CONDUIT UNDER AND/OR THROUGH FOOTINGS AND FOUNDATION WALLS. CONTRACTOR TO COORDINATE THIS WORK WITH MR. ROBERT SASSE AT VERIZON, 408-354-5814, ROBERT.SASSE@VERIZON.COM.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING INFRASTRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL OF THE EXISTING INFRASTRUCTURE THE CONTRACTOR DAMAGED DURING THE PROJECT.
10. CAUTION SHOULD BE EXERCISED WHEN EXCAVATING ADJACENT EXISTING FOUNDATIONS. NEW FOOTINGS FOR THE PROPOSED ADDITION SHOULD BE FOUNDED AT THE SAME DEPTH AS THE EXISTING FOOTINGS SO AS NOT TO EXERT ADDITIONAL PRESSURE ON THE EXISTING FOUNDATION. THE CONTRACTOR SHOULD EXERCISE EXTREME CAUTION NOT TO DISTURB THE SUBGRADE SOILS. SHOULD THE FOOTING FOUNDATION BE DISTURBED, THE FOUNDATION SOILS SHOULD BE COMPACTED IN-PLACE. BACKFILLING AGAINST FOOTINGS AND UNDER FLOOR SLABS SHOULD BE ACCOMPLISHED USING STRUCTURAL FILL PLACED AND COMPACTED UNDER ENGINEERING INSPECTION. ANY WATER THAT ACCUMULATES IN THE BOTTOM OF THE EXCAVATION SHOULD BE REMOVED WITHIN 24 HOURS.
11. COMPACTOR WITHIN 5 FEET FROM THE EXISTING FACILITIES SHOULD BE CONDUCTED USING A LIGHT COMPACTOR SUCH AS A JUMPING JACK IN ORDER NOT TO CAUSE ANY DAMAGE. THE SOIL SHOULD BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOISTURE PROCTOR TEST (ASTM D 1557).
12. NO CERTIFICATION IS MADE BY VECA AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION ON THIS PROJECT. THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION OF ANY CONFLICTS.
13. ALL EXCESS FILL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS.



2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

Dig Safety

811

TO LOCATE UNDERGROUND UTILITIES
IF YOU GO TO DIG, WE'LL FIND IT!
CALL 811

1-800-272-1000

LEAVE AFTER THE BECKHAM
811

EXCAVATE CON SEGURIDAD
Dig Safety

Van Cleef ENGINEERING ASSOCIATES

Consulting Civil Engineering
Environmental Engineering
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture

OFFICES THROUGHOUT
N. EASTERN PA. AND DE.

4 AKA DRIVE, SUITE 202, HAMILTON, NJ 08511
EMAIL: VCA@VCAENGINEERING.COM WWW.VCA-ENG.COM
PHONE (609) 689-1100 FAX (609) 689-1102 NJ LIC. CERT. NO. 24648192000

BY: *Herbert J. Seeburger, Jr.* DATE: 3/26/21
HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER, NO. 24624748700

WILLIAM D. HOPKINS III, AIA, LEED AP
N. 2740700000 PA. 040123228
GEORGE B. DUTHIE, JR., AIA, PP
N. 2740700000
Date: 3/26/2021
Author: William D. Hopkins
F V H D P C . C O M

GFVHHD architects planners
Fraytak Veisz Hopkins Duthie P C
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whitaker Ave. - Mont-Claire - Pennsylvania 19453

Project Name
Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name
Northern Burlington County Regional School District

Project Location
160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
5086.9

Project Date
03.26.2021

Checked By
W.D.H., D.F.F.

Drawn By
R.R.F.

Scale
1"=30'

Drawing Name
SOIL MANAGEMENT & PREPARATION PLAN

Revisions
No. | Date | Description

Drawing Number
C-108

MANAGEMENT OF HIGH-ACID PRODUCING SOILS

- When Applicable
This practice is applicable to any high acid-producing soil materials. Such materials have been identified in the Coastal Plain areas of Brunswick, Glynn, Long Beach, Camden, Wilkes, Ware, Middlesex, Apopka, Ocean, Salem and Somerset Counties.

MANAGEMENT OF SOILS

- 1. Site Preparation
A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, fertilization, incorporation of organic matter, and other soil preparation practices.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

- 1. Site Preparation
A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, fertilization, incorporation of organic matter, and other soil preparation practices.

- B. Wood-fiber or paper-fiber mulch - shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre for grass mulches and 3,000 pounds per acre for other mulches.

Table 4-2 Permanent Stabilization Mixtures for Various Uses
Table with 4 columns: Application, Excessively Drained, Well to Moderately Drained, Somewhat Drained to Very Dry

Table 4-3 PERMANENT VEGETATIVE MIXTURES, PLANTING RATES AND PLANTING DATES
Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

- 2. Seedbed Preparation
A. Soil should be prepared and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample materials are available from the local Rutgers Cooperative Extension offices.

Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

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Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

- 3. Seedbed Preparation
A. Soil should be prepared and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample materials are available from the local Rutgers Cooperative Extension offices.

Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

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Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

- 4. Seeded Preparation
A. Soil should be prepared and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample materials are available from the local Rutgers Cooperative Extension offices.

Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

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Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

- 5. Seeded Preparation
A. Soil should be prepared and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample materials are available from the local Rutgers Cooperative Extension offices.

Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

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Table with 4 columns: SEED MIXTURE, PLANTING DATE, PLANTING RATE, COMMENTS

Project Name: Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project: Owner Name: Northern Burlington County Regional High School

Project: Location: 160 Mansfield Rd. East, Columbus, NJ 08022

Project: Number: 5086.9/1805MFD

Project: Date: 03.26.2021

Project: Description: SOIL EROSION AND SEDIMENT CONTROL NOTES

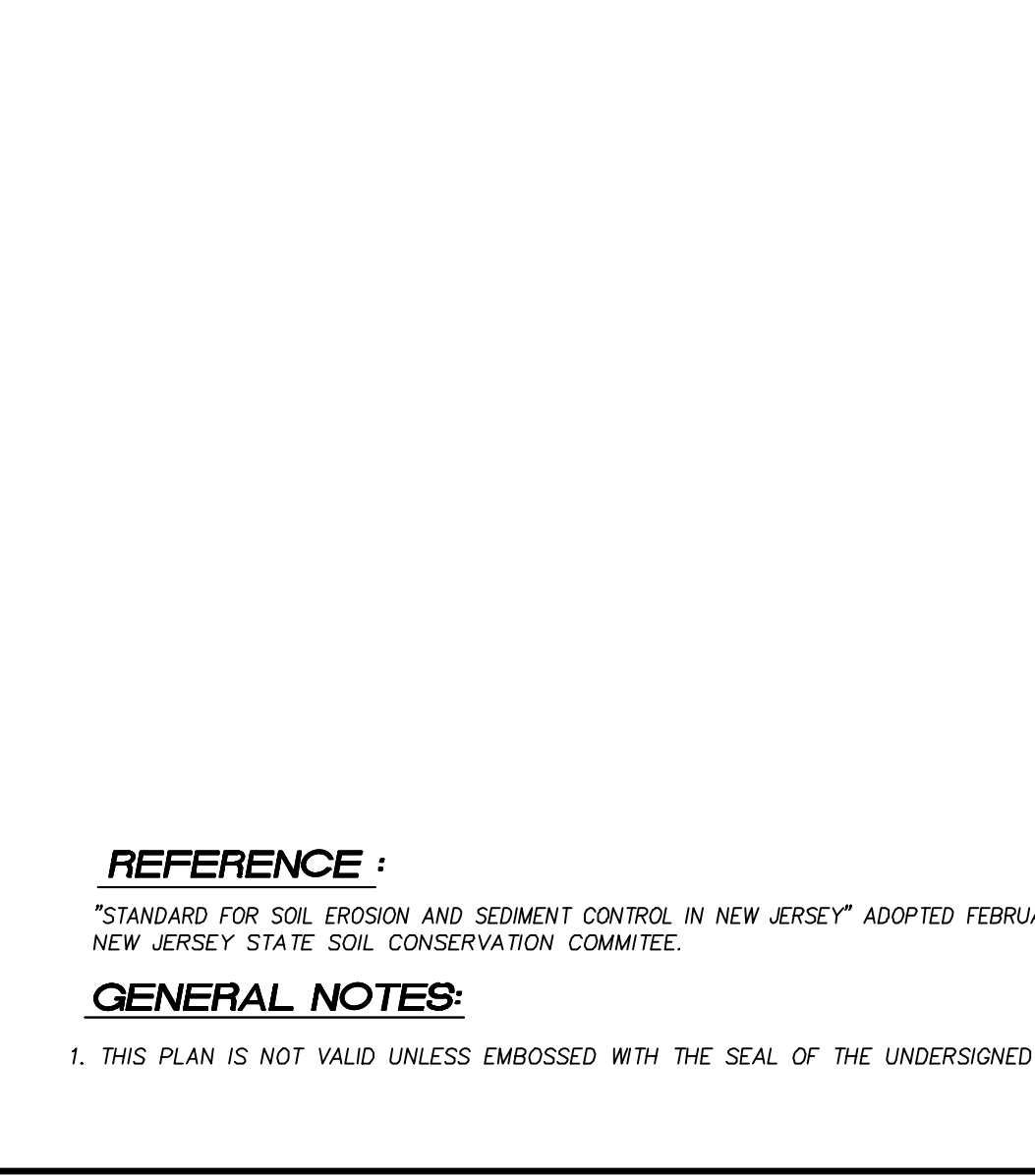
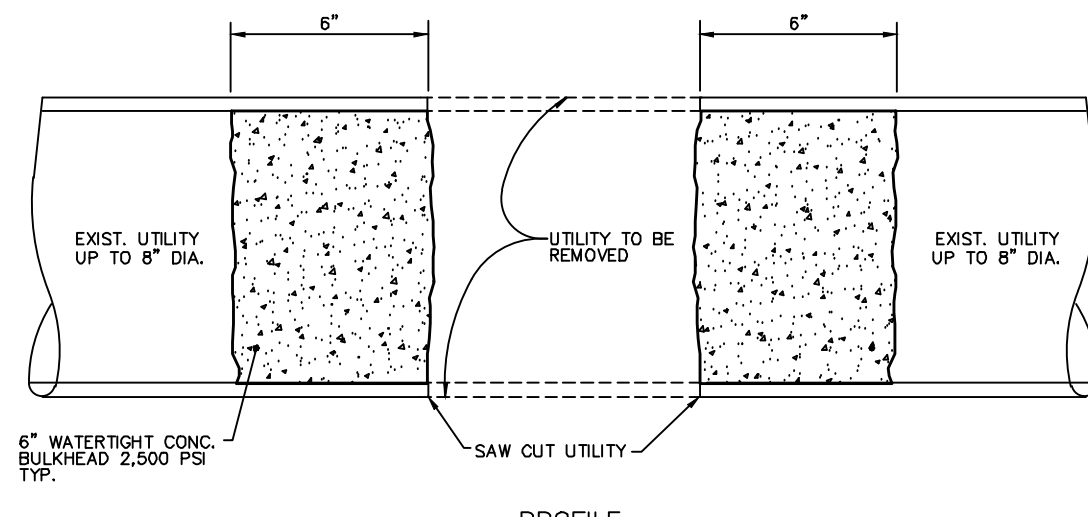


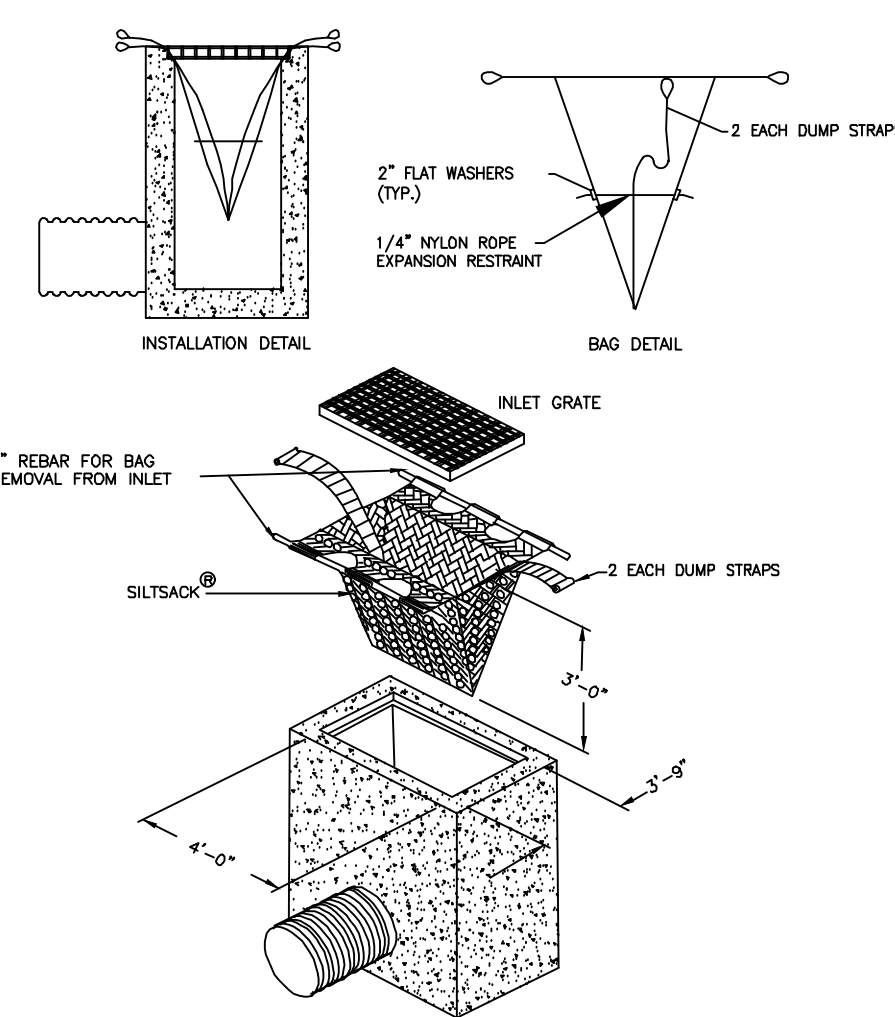
Table 1: Dust Control Materials
Table with 4 columns: MATERIAL, WATER DILUTION, TYPICAL SIZE OF APPLY, GALLONS / ACRE

Project: Description: BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

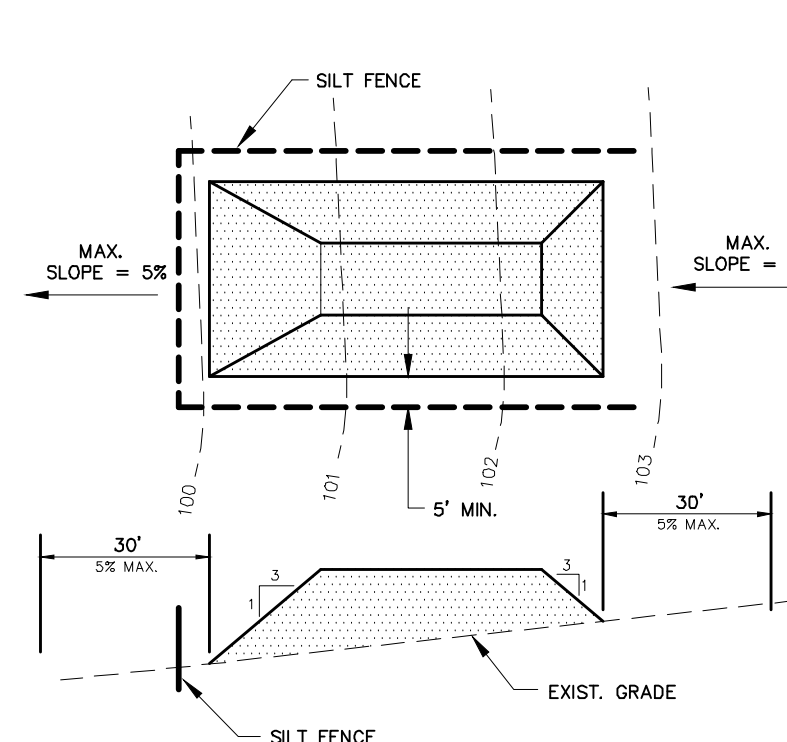
Project: Description: SOIL EROSION AND SEDIMENT CONTROL NOTES



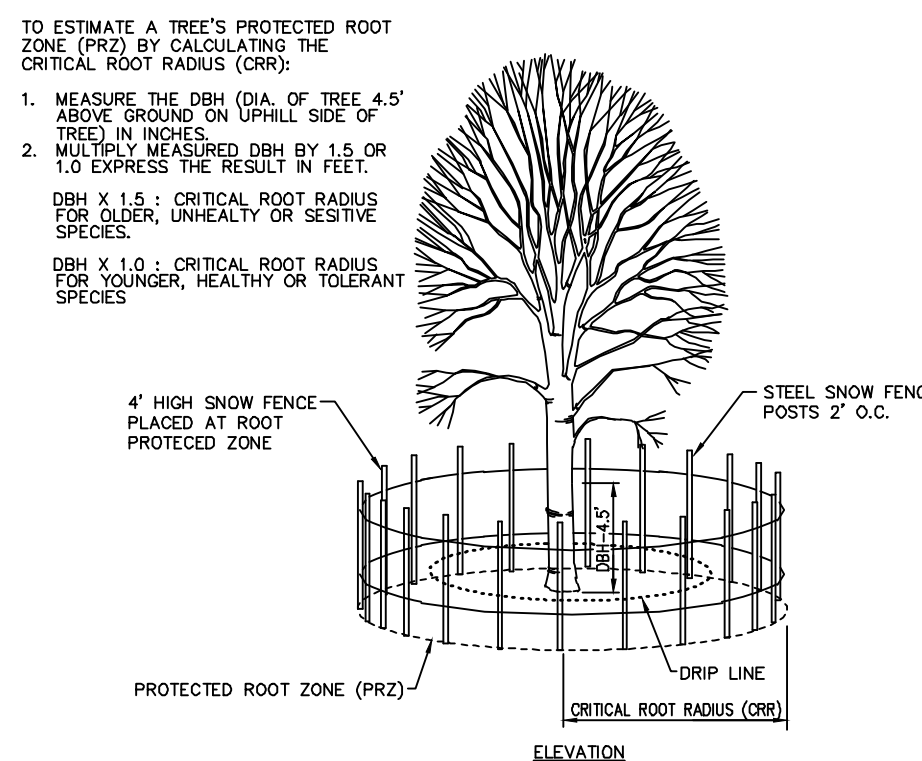
PIPE CAPPING DETAIL
N.T.S.



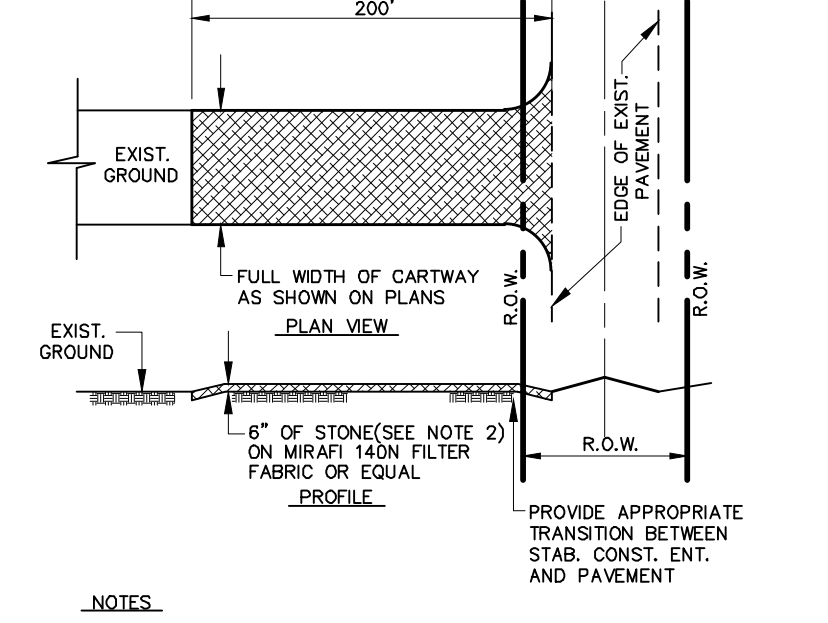
FILTER BAG INLET PROTECTION
N.T.S.



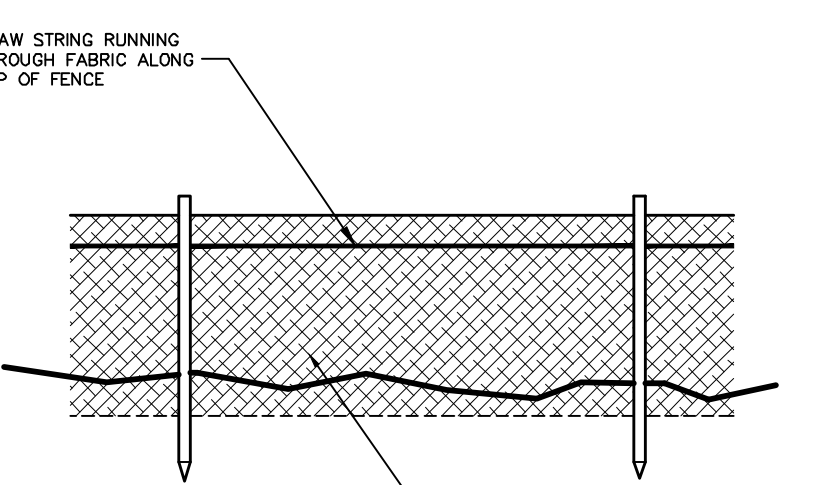
TOPSOIL STOCKPILE
NOT TO SCALE



TREE PROTECTION DURING CONSTRUCTION
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



SILT FENCE WITH SUPER SILT FENCE OPTION
NOT TO SCALE

Autobahn Series ATB2 Roadway Lighting

Features:

- Optical: 100% beam spread, 100% beam uniformity, 100% beam efficiency.
- Performance: 100% beam uniformity, 100% beam efficiency, 100% beam spread.
- Applications: Roadway, Off-street, Residential, Commercial.

Applications:

- Roadway
- Off-street
- Residential
- Commercial

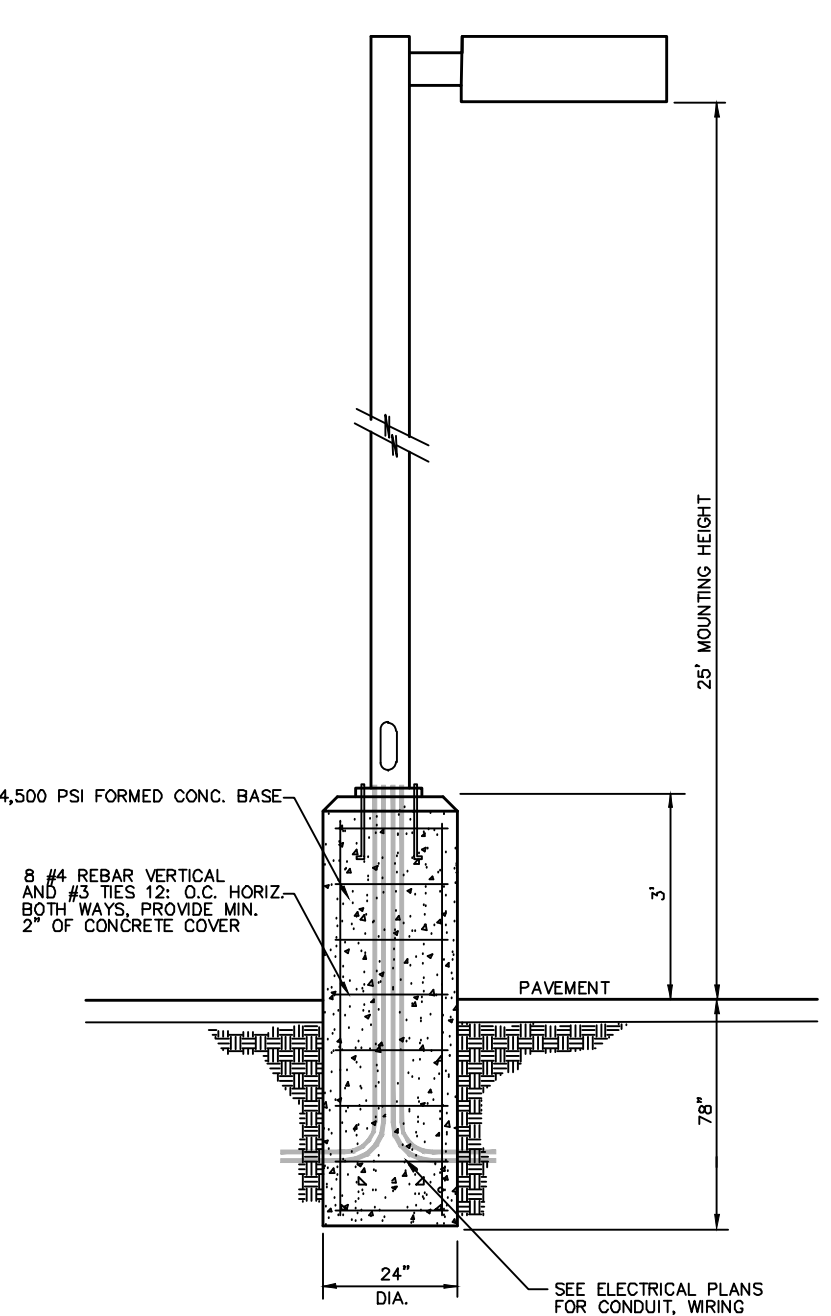
AELE

Autobahn Series ATB2 Roadway Lighting

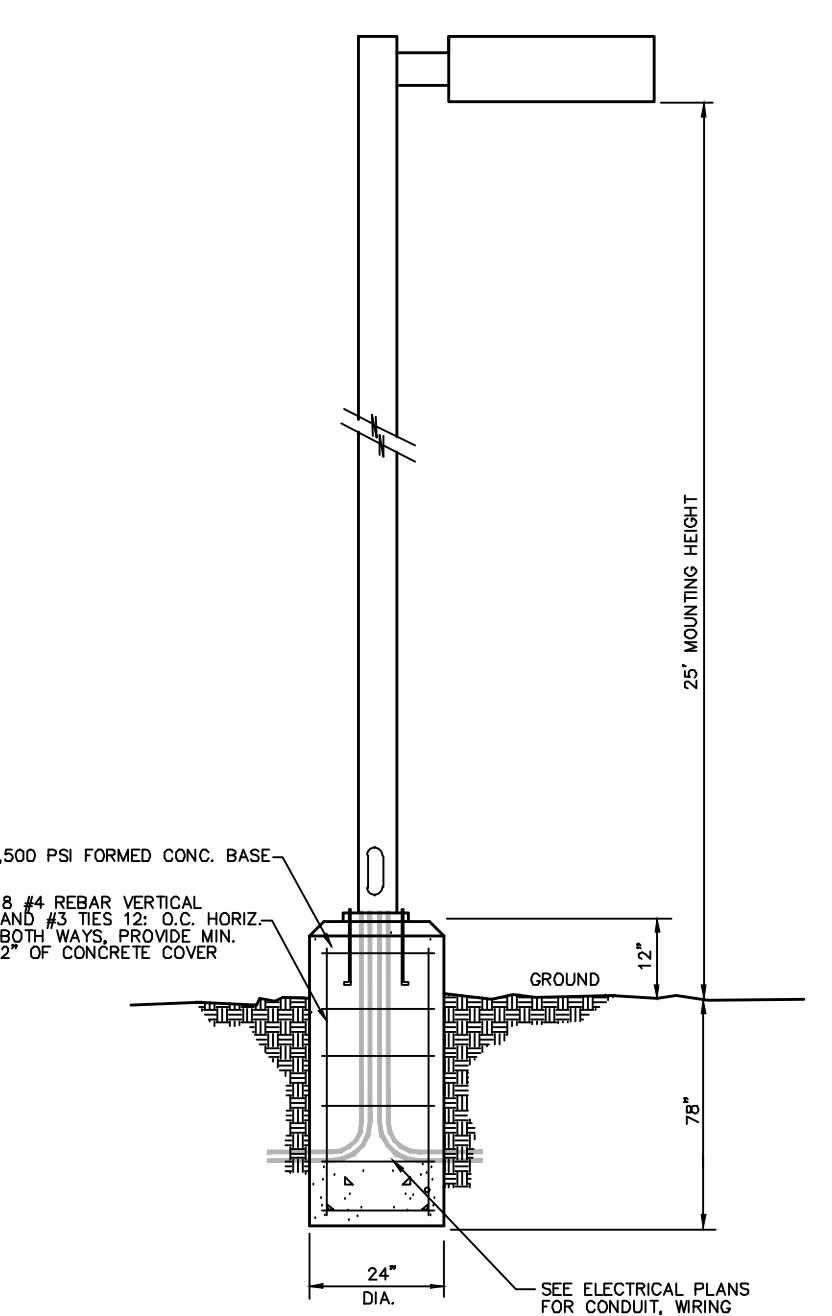
Example ATB2 SIZES AND WEIGHTS

Model	Height	Weight
ATB2-10	10'	100 lbs
ATB2-12	12'	120 lbs
ATB2-15	15'	150 lbs

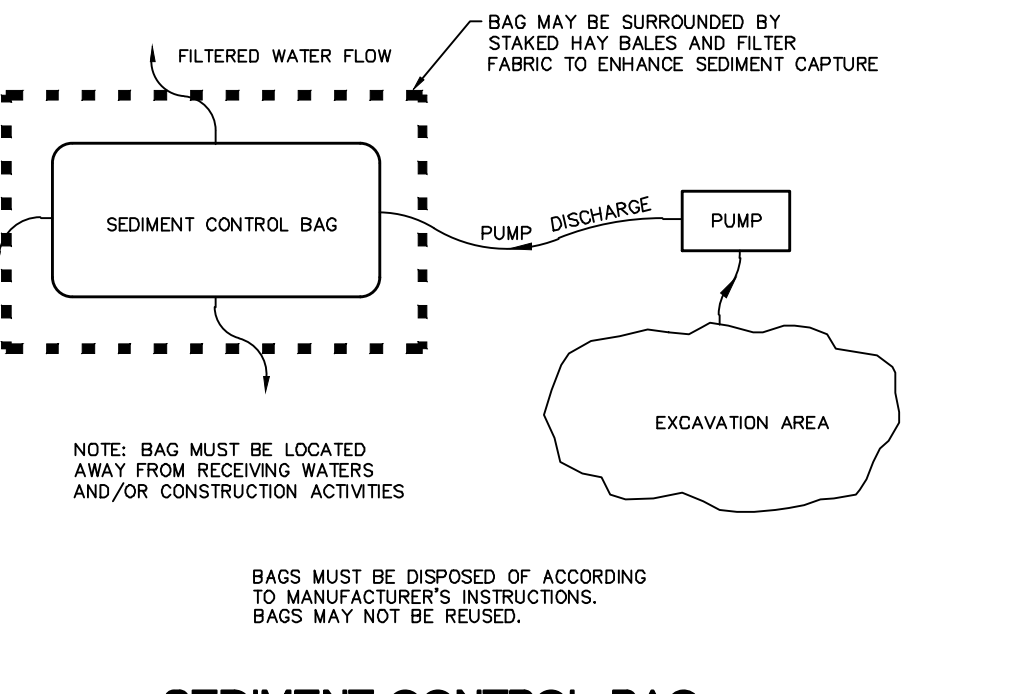
AELE



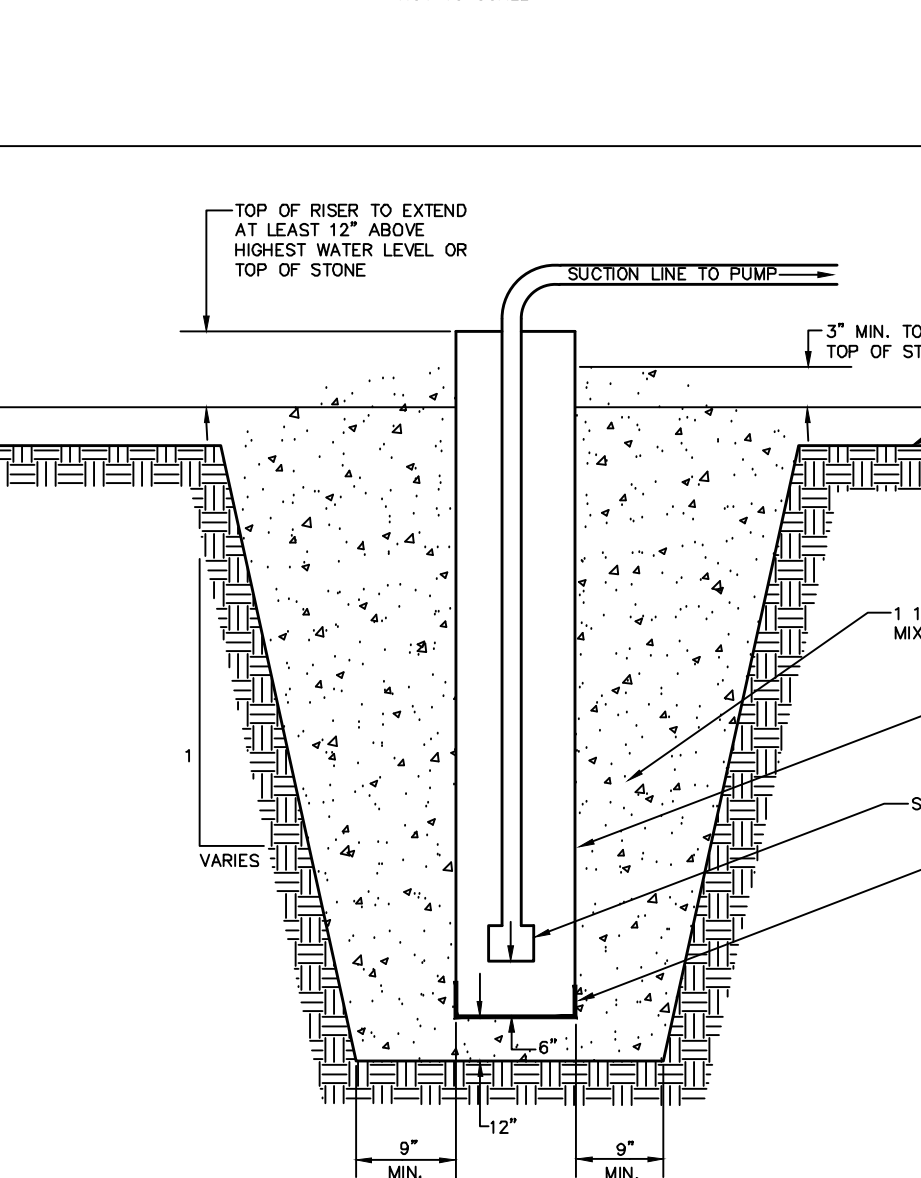
LIGHT POLE DETAIL IN PAVED AREAS
NOT TO SCALE



LIGHT POLE DETAIL IN LAWN/ ISLAND AREAS
NOT TO SCALE



SEDIMENT CONTROL BAG
NOT TO SCALE



DEWATERING SUMP
NOT TO SCALE

RTA ROUND TAPERED ALUMINUM POLES

CONSTRUCTION: Pole shall be constructed of aluminum.

ANCHOR BOLTS: Anchor bolts shall be installed in concrete.

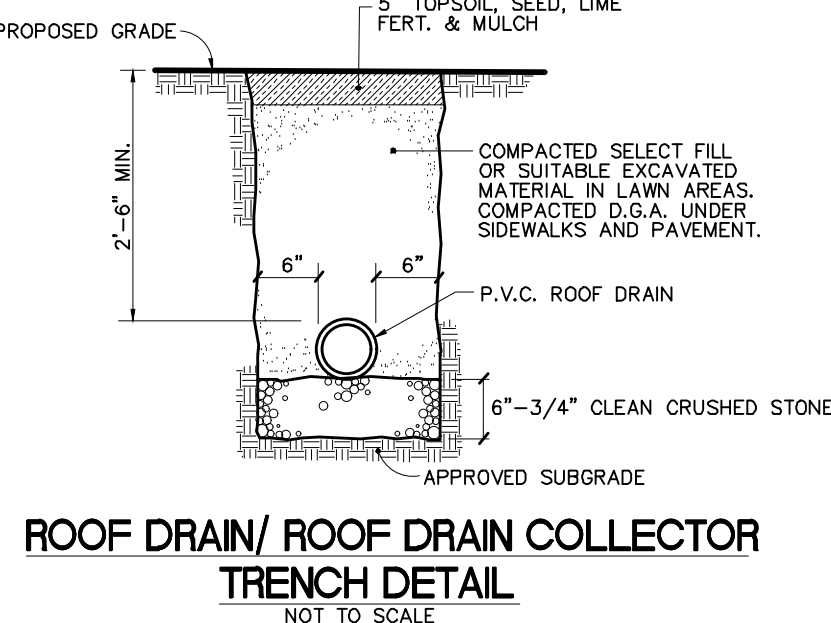
POLE ORDERING DATA: Pole height, pole diameter, pole weight.

AELE

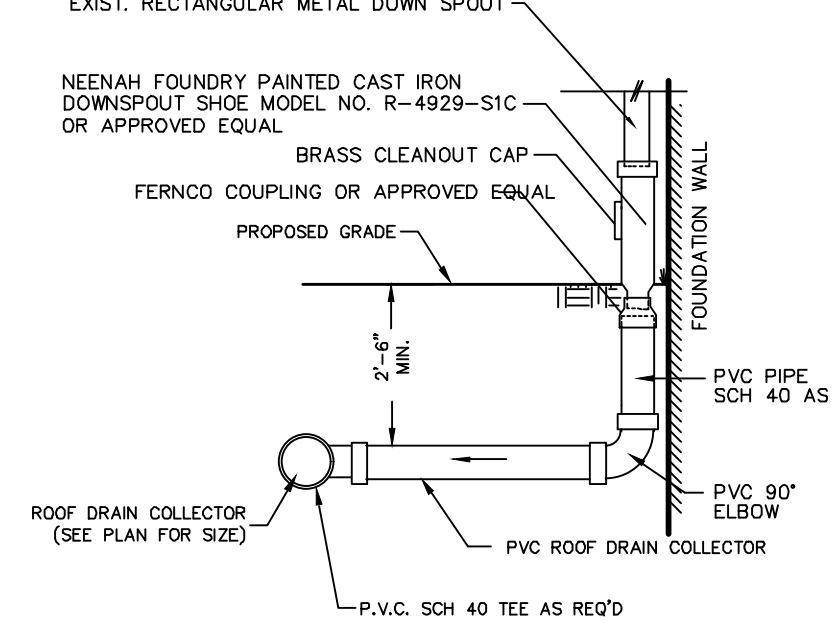
RTA Round Tapered Aluminum Poles

Pole Height	Pole Diameter	Pole Weight
10'	4.5"	100 lbs
12'	5.0"	120 lbs
15'	5.5"	150 lbs

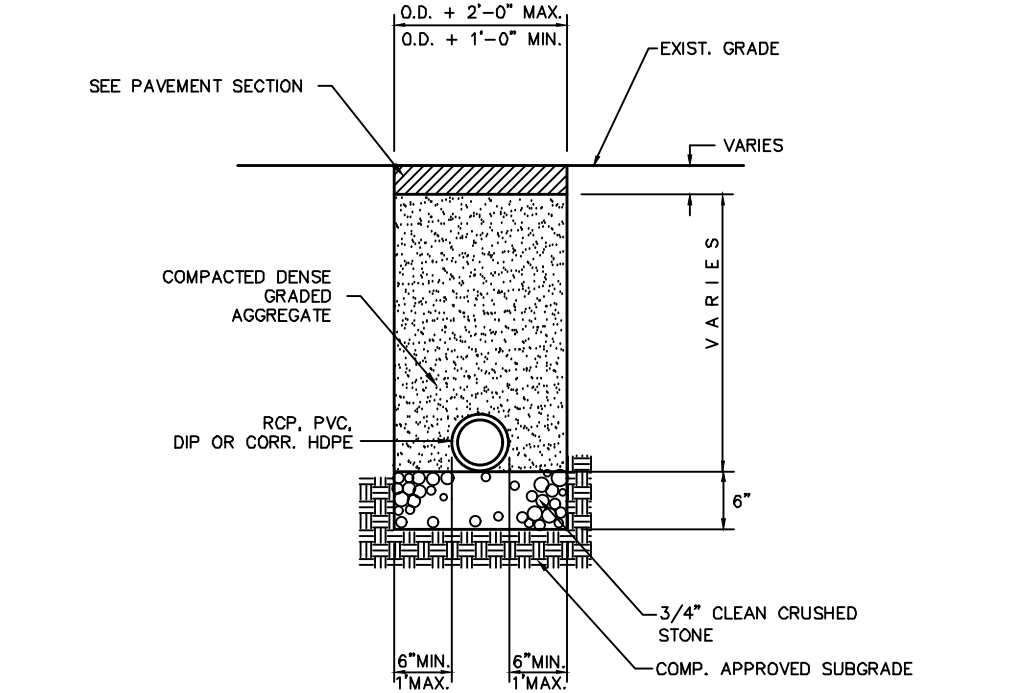
AELE



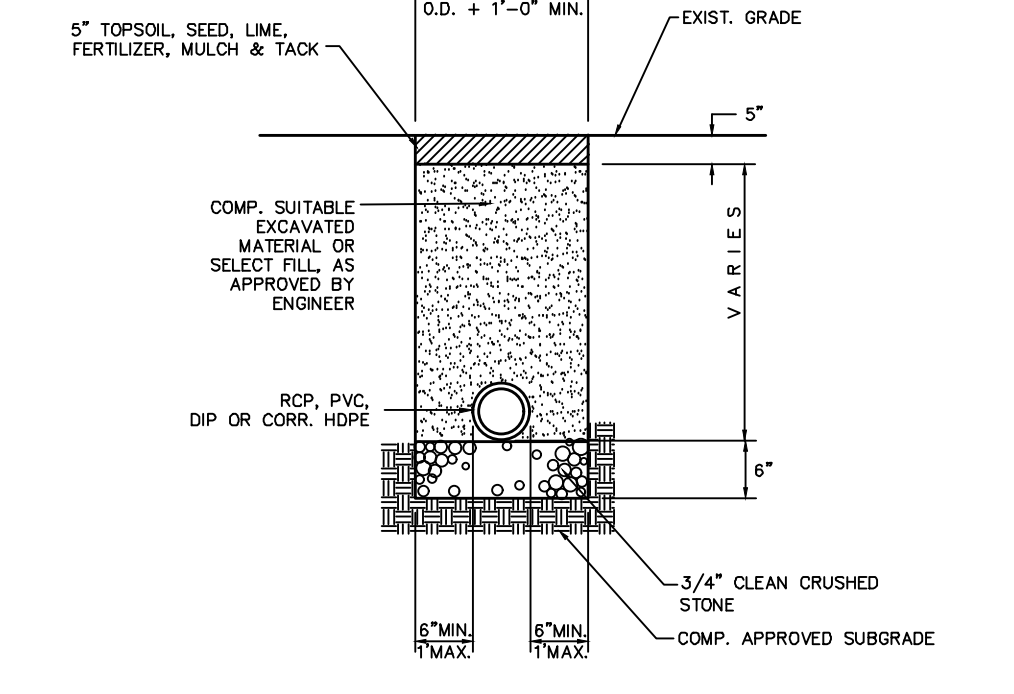
ROOF DRAIN/ ROOF DRAIN COLLECTOR TRENCH DETAIL
NOT TO SCALE



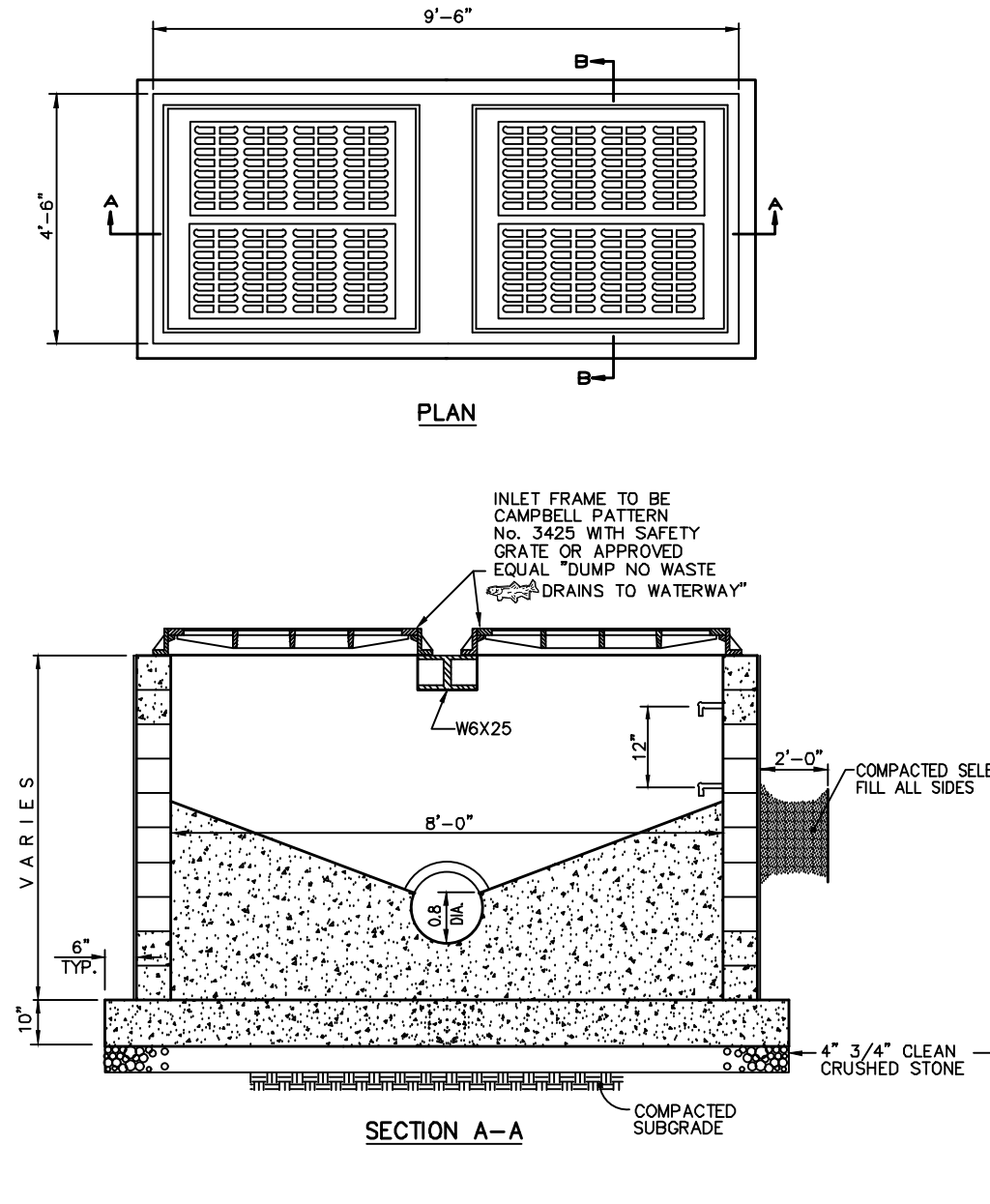
ROOF DRAIN CONNECTION W/ CLEANOUT
NOT TO SCALE



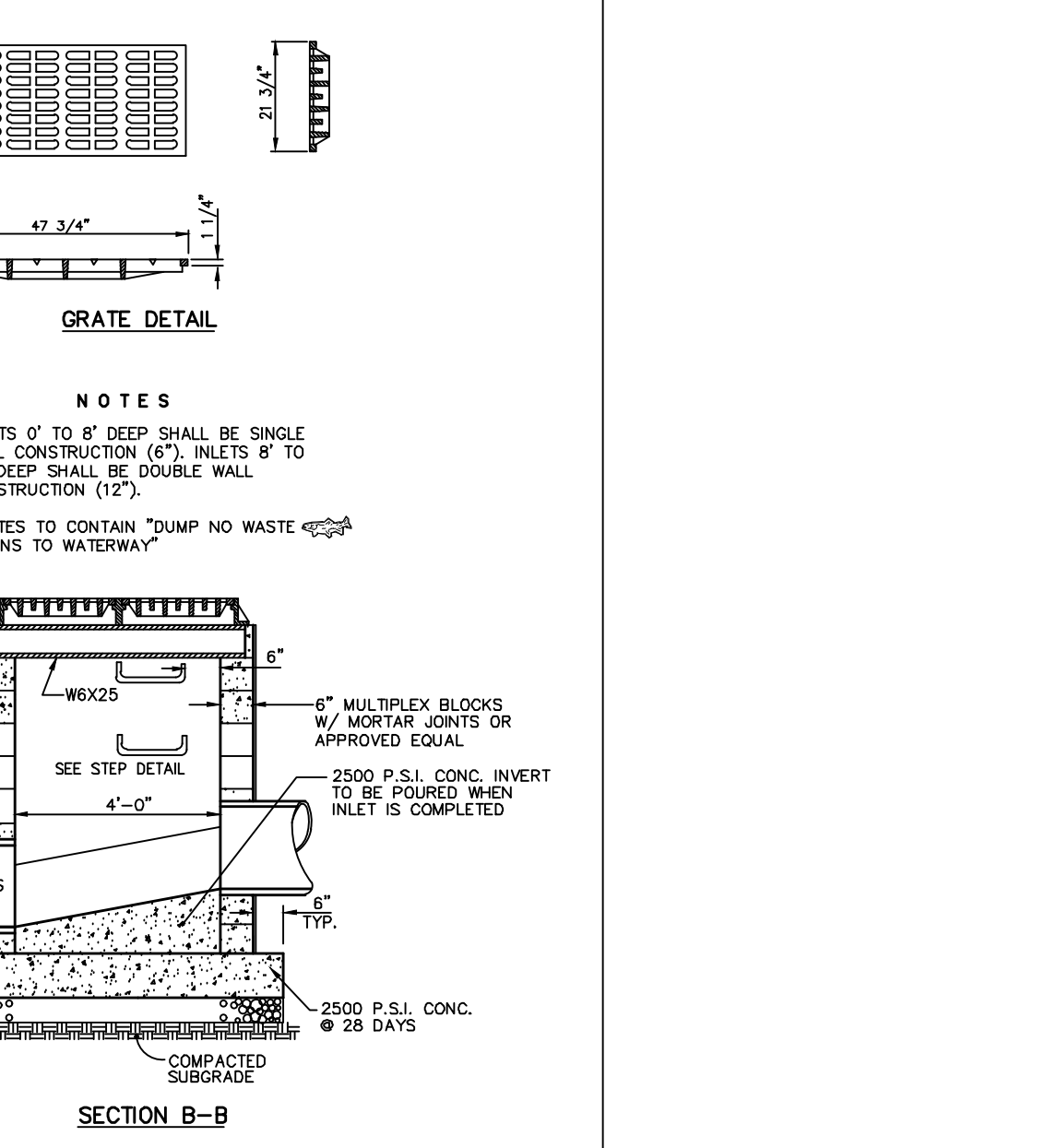
STORM SEWER TRENCH PAVEMENT AND SIDEWALK
NOT TO SCALE



STORM SEWER TRENCH LAWN AREA
NOT TO SCALE



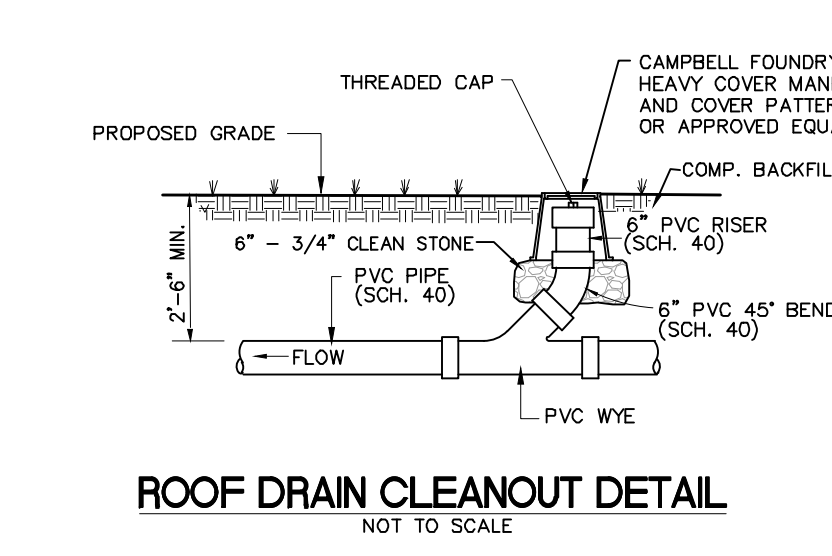
DOUBLE TYPE 'E' INLET
N.T.S.



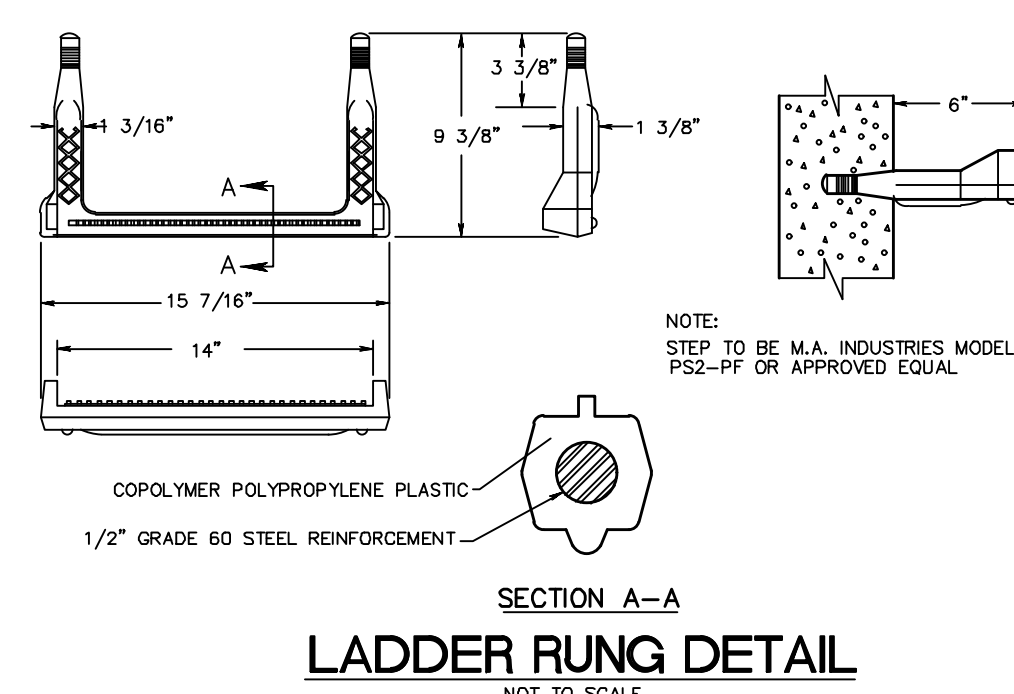
GRATE DETAIL
N.T.S.



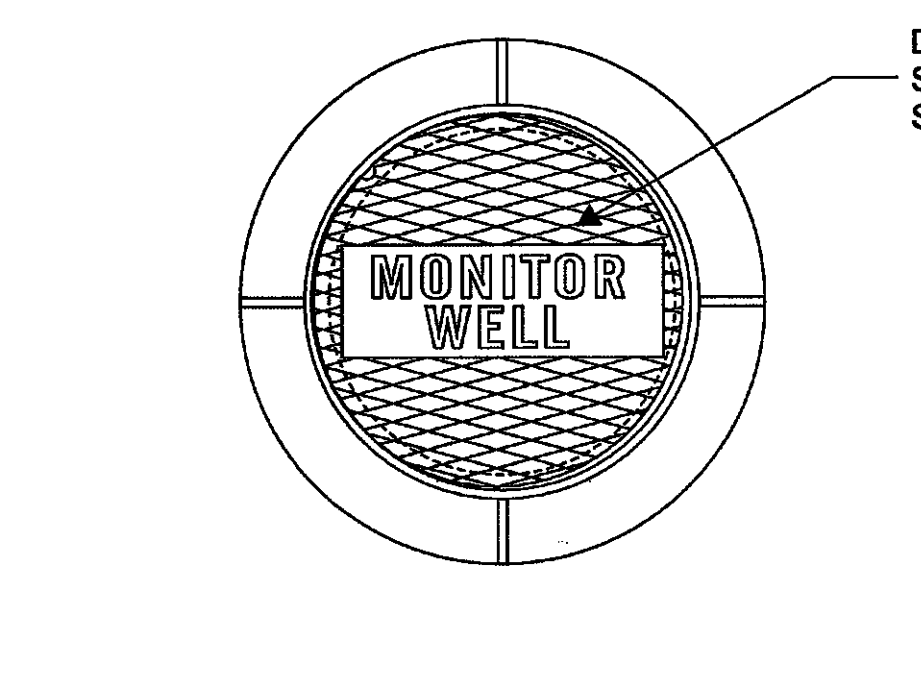
LADDER RUNG DETAIL
NOT TO SCALE



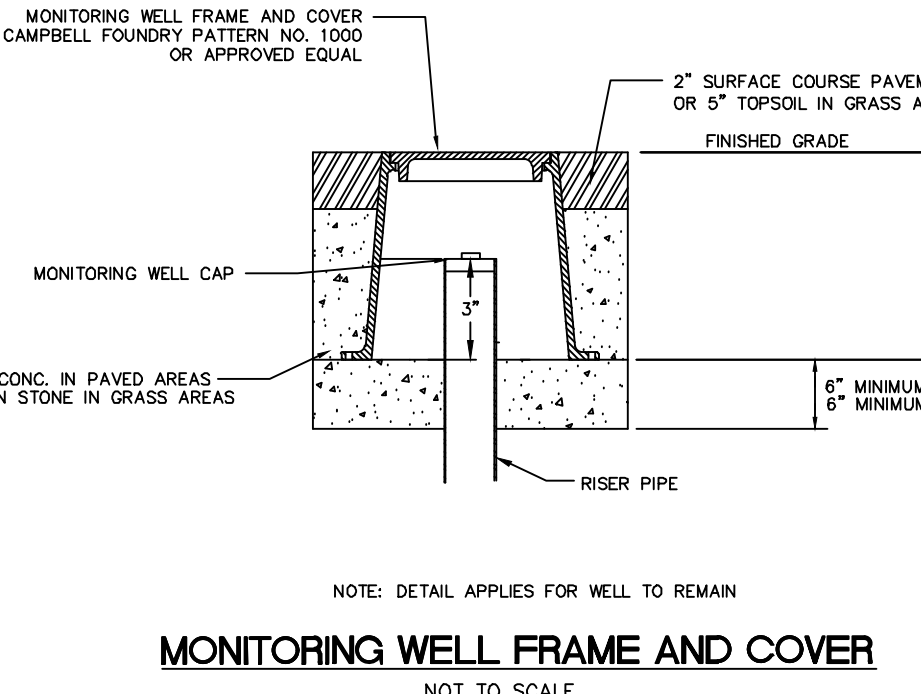
MONITORING WELL FRAME AND COVER
NOT TO SCALE



LADDER RUNG DETAIL
NOT TO SCALE



MONITOR WELL
NOT TO SCALE



MONITORING WELL FRAME AND COVER
NOT TO SCALE

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION

Dig!Safety

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION

Dig!Safety

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2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION

Dig!Safety

Van Cleef ENGINEERING ASSOCIATES

Consulting Civil Engineering, Environmental Engineering, Municipal Engineering, Land Surveying, Professional Planning, Landscape Architecture.

4444 DRIVE, SUITE 101, HAMILTON, NJ 08611

PHONE: 609-689-1100 FAX: 609-689-1102 NJ LIC. CERT. NO. 344628132000

WILLIAM D. HOPKINS III, AIA, LEED AP

ARCHITECT

1515 Lower Ferry Road - Trenton - New Jersey 08628

Phone: 609-979-0000

GFVHD architects

Fraytak Veisz Hopkins Duthie P.C.

1515 Lower Ferry Road - Trenton - New Jersey 08628

Phone: 609-979-0000

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Checked By: H.J.S./D.F.F.

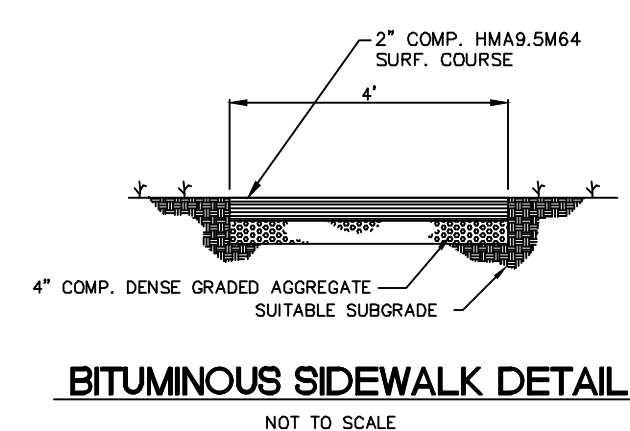
Drawn By: R.R.F.

Scale: N.T.S.

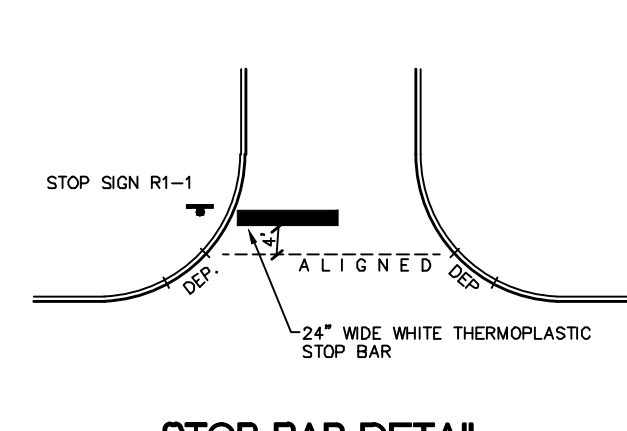
Drawing Name: CONSTRUCTION DETAILS

Revisions	No.	Date	Description

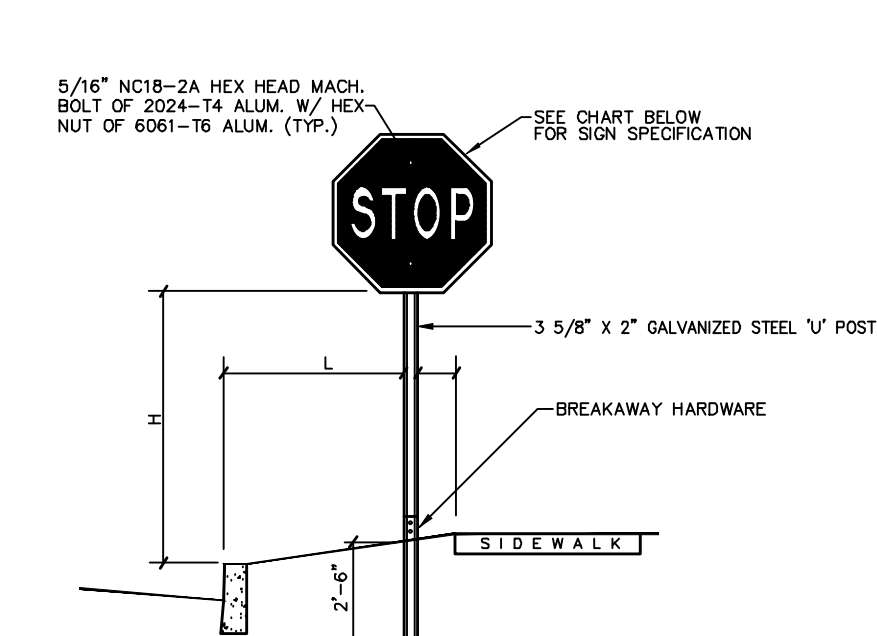
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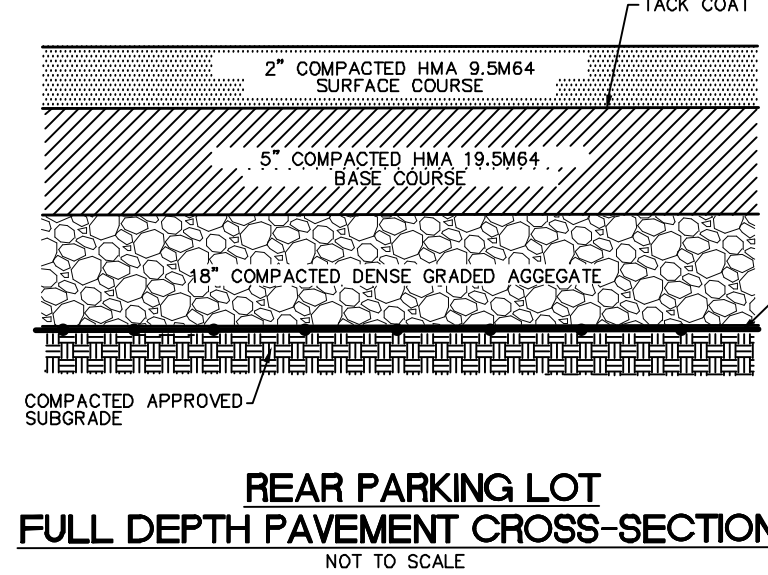
BITUMINOUS SIDEWALK DETAIL
NOT TO SCALE



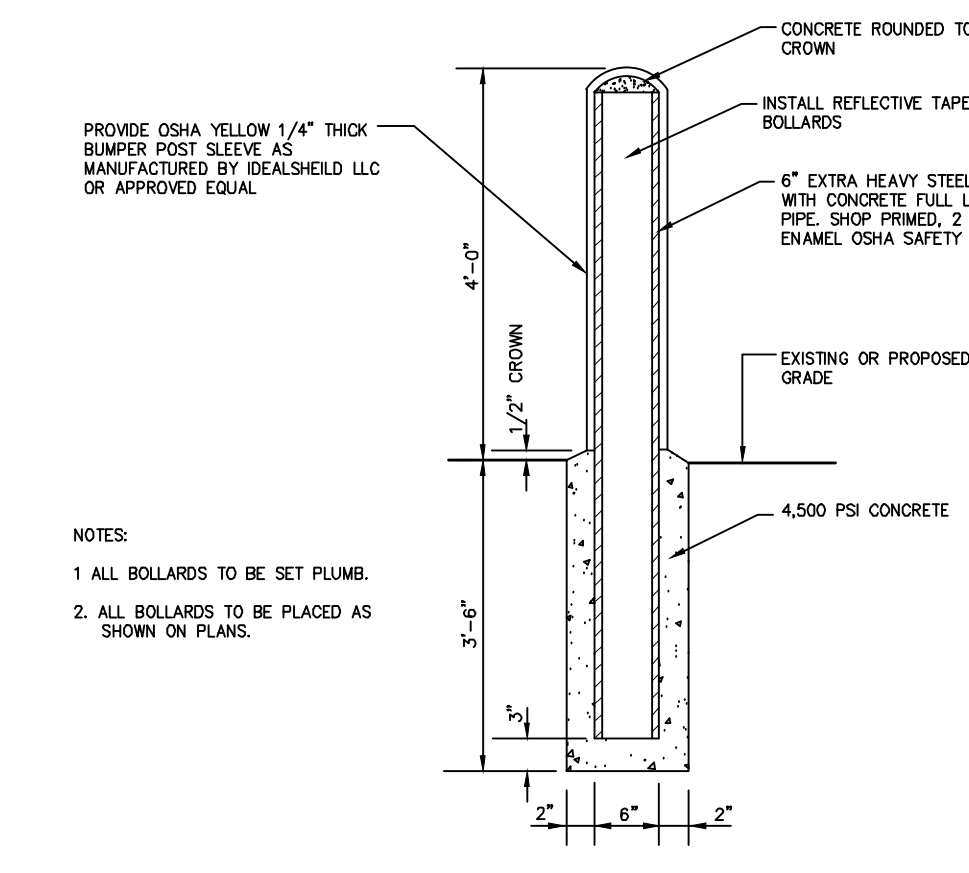
STOP BAR DETAIL
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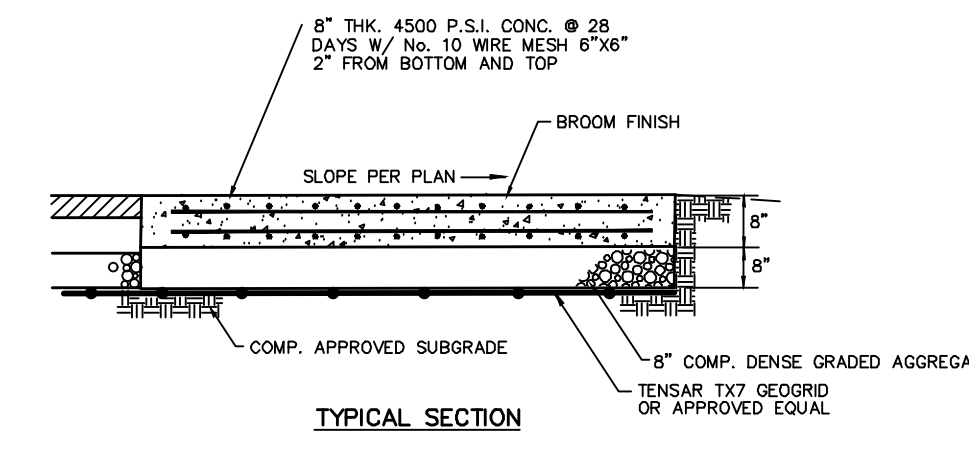
WARNING AND/OR REGULATORY SIGN DETAIL
N.T.S.



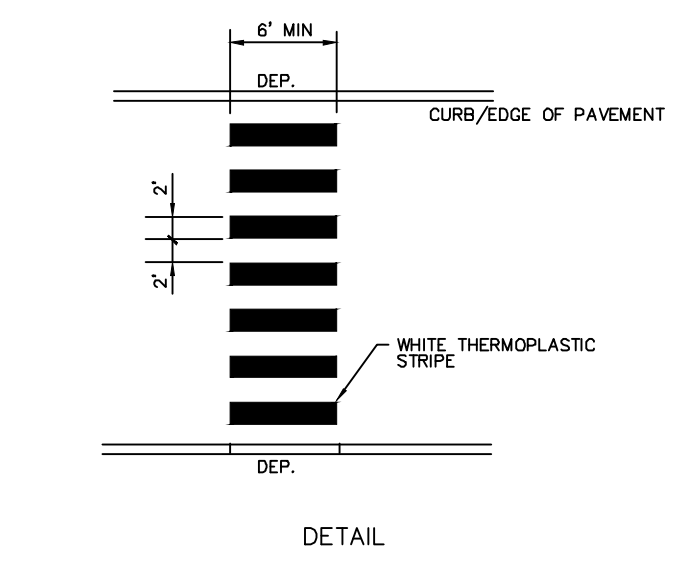
REAR PARKING LOT FULL DEPTH PAVEMENT CROSS-SECTION
NOT TO SCALE



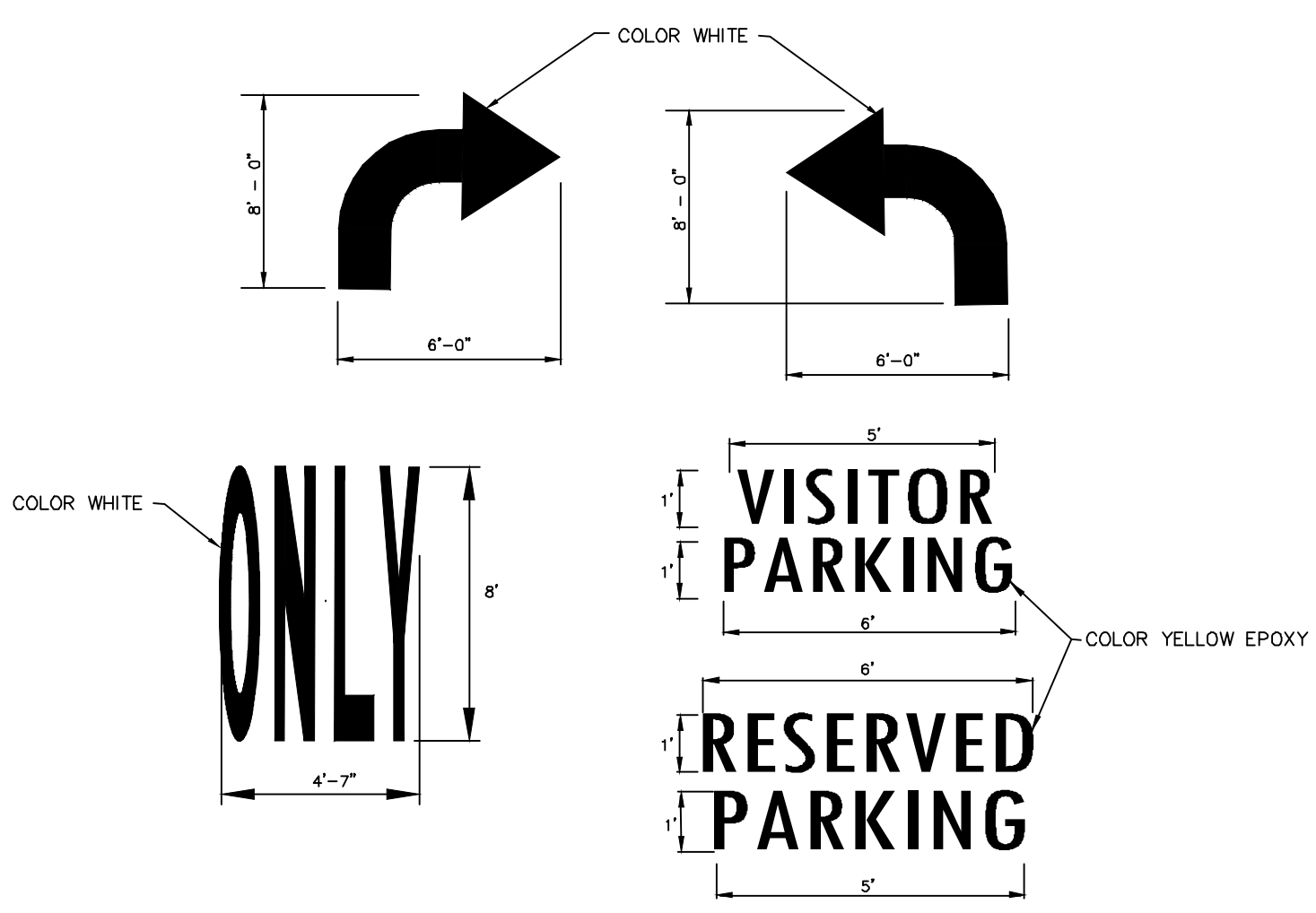
PROTECTIVE BOLLARD DETAIL
NO SCALE



REINFORCED CONCRETE PAD DETAIL
N.T.S.



HIGH VISIBILITY CROSSWALK DETAIL
N.T.S.

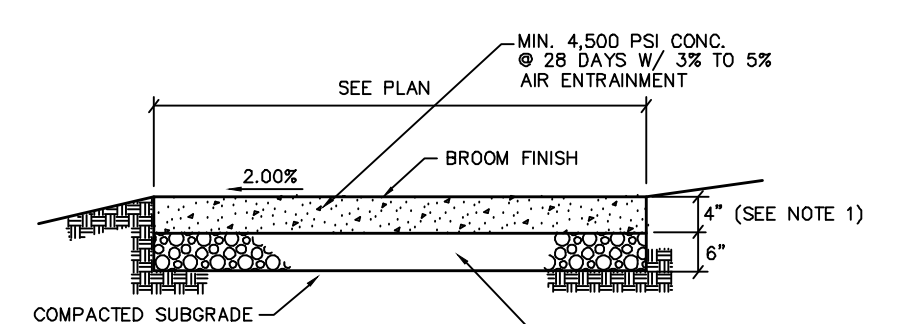


PAVEMENT MARKING DETAILS
NOT TO SCALE

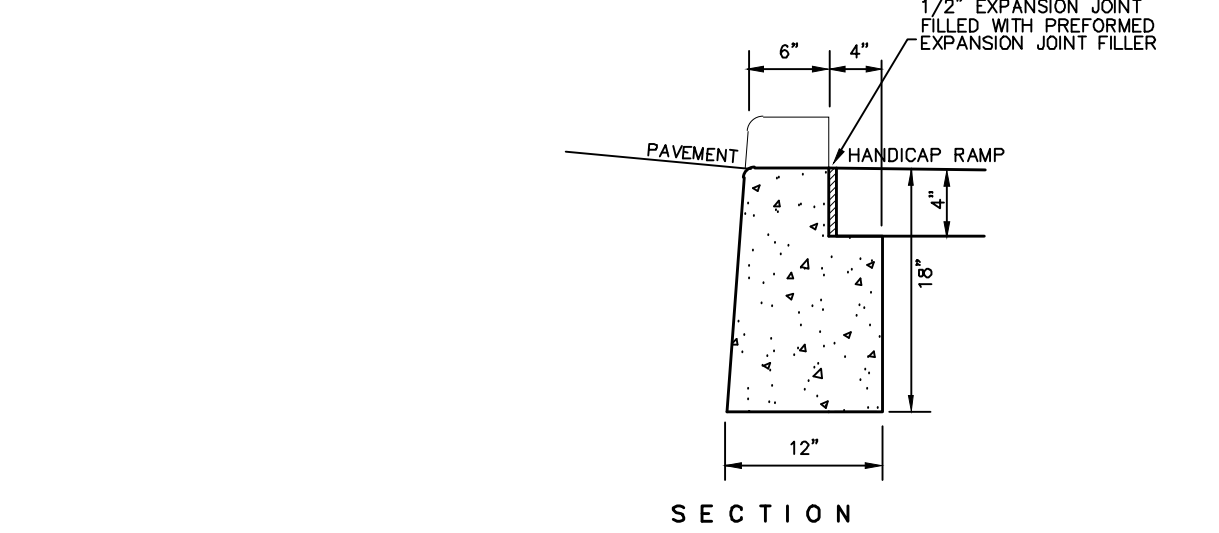
NOTES:

- 1) ALL SIGN INSTALLATION SHALL CONFORM TO A.I.D.O.T. STD. SPECIFICATIONS.
- 2) A RESIDENT FIBER OPTIC WIRE SHALL BE PROVIDED BETWEEN THE SIGN AND THE SIGN FACE.
- 3) ALL SIGNS AND MARKINGS SHALL CONFORM TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 4) SEE THE CHART BELOW FOR SPECIFICATIONS.

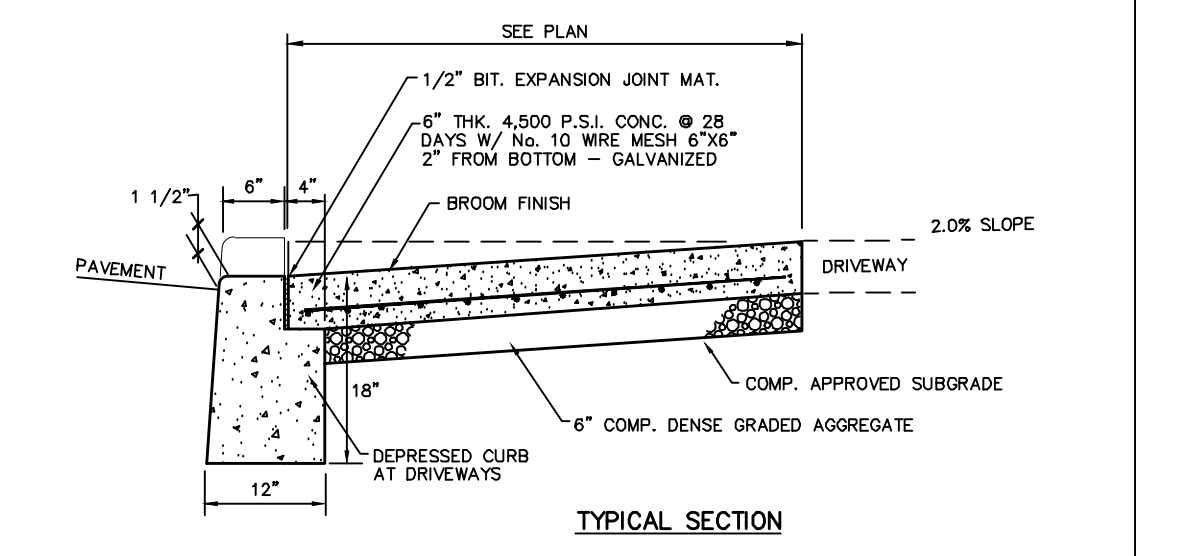
NO.	CONDITIONS	DESCRIPTION	SIZE
1	STOP SIGN	STOP SIGN	30" X 30"
2	STOP SIGN AND SIDEWALK	STOP SIGN	30" X 30"



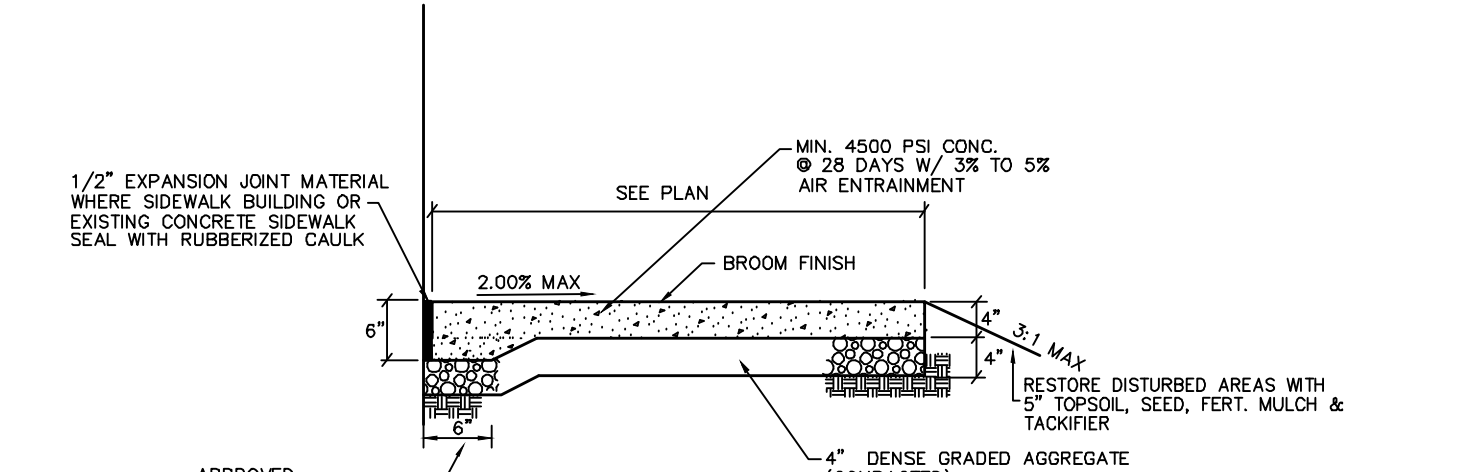
CONCRETE SIDEWALK
NO SCALE



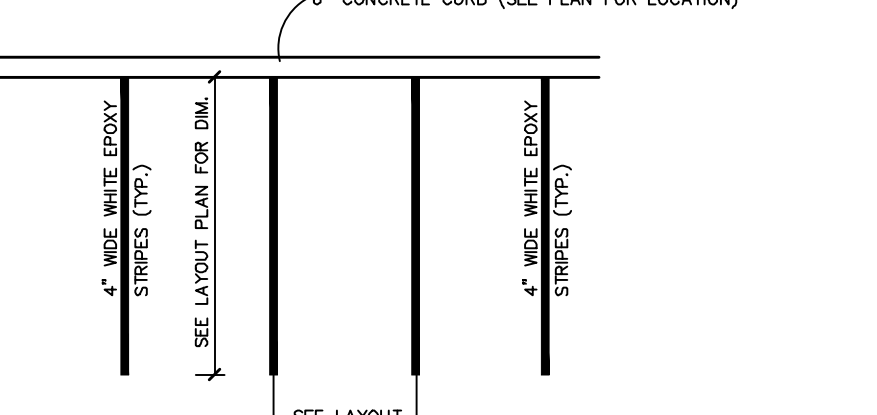
DEPRESSED CURB AT HANDICAP RAMP
NO SCALE



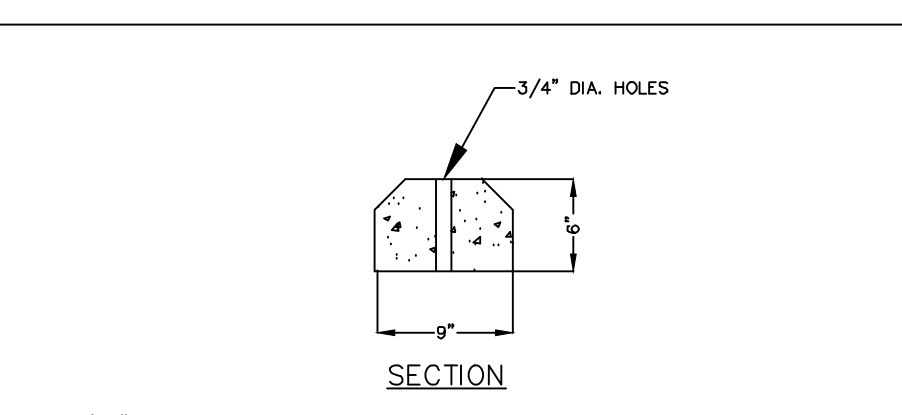
CONCRETE DRIVEWAY APRON DETAIL
N.T.S.



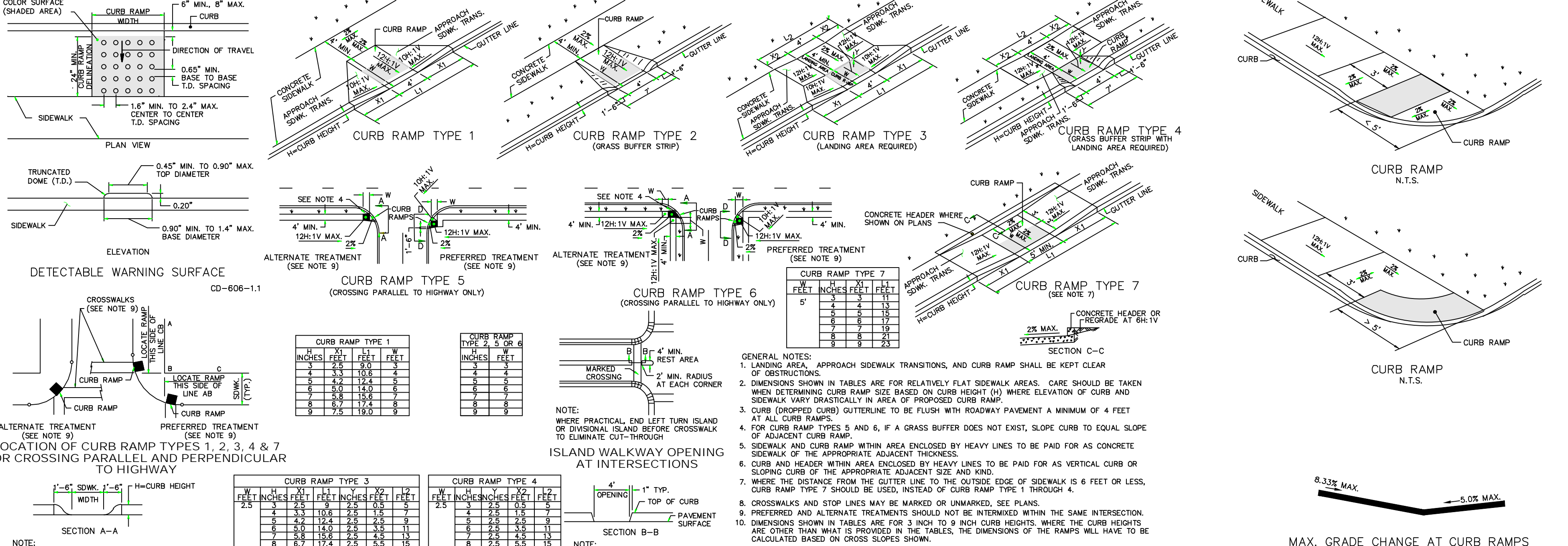
CONCRETE SIDEWALK ADJACENT TO BUILDING DETAIL
NO SCALE



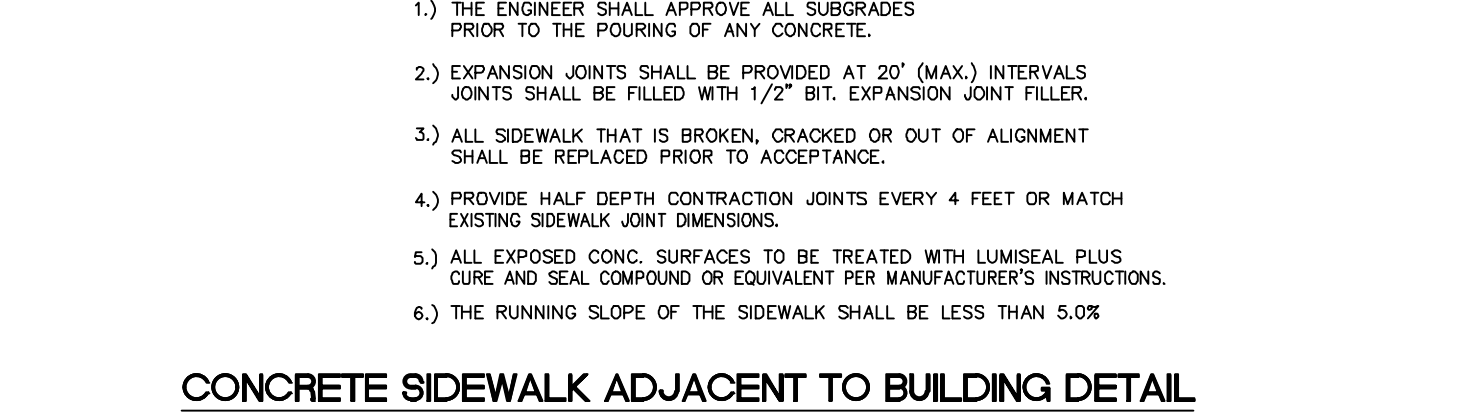
PARKING SPACE DETAIL
NOT TO SCALE



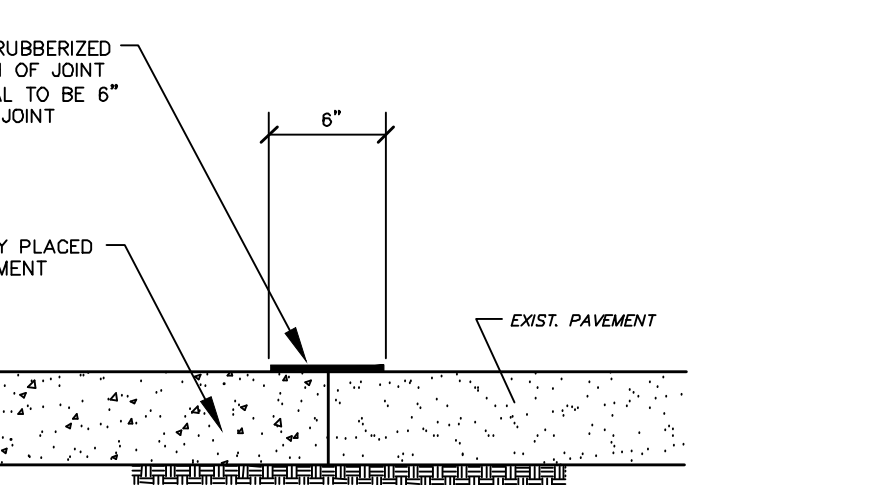
CONCRETE BUMPER BLOCK DETAIL
NO SCALE



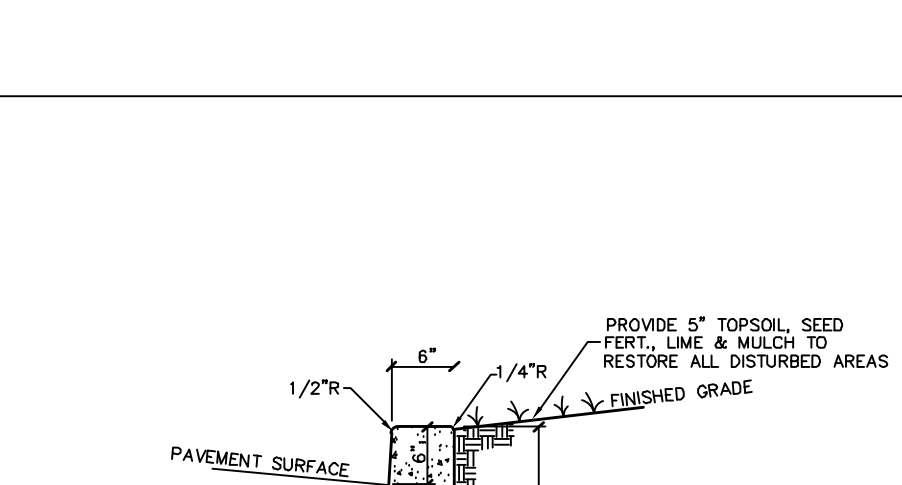
DETECTABLE WARNING SURFACE
CD-608-1.1



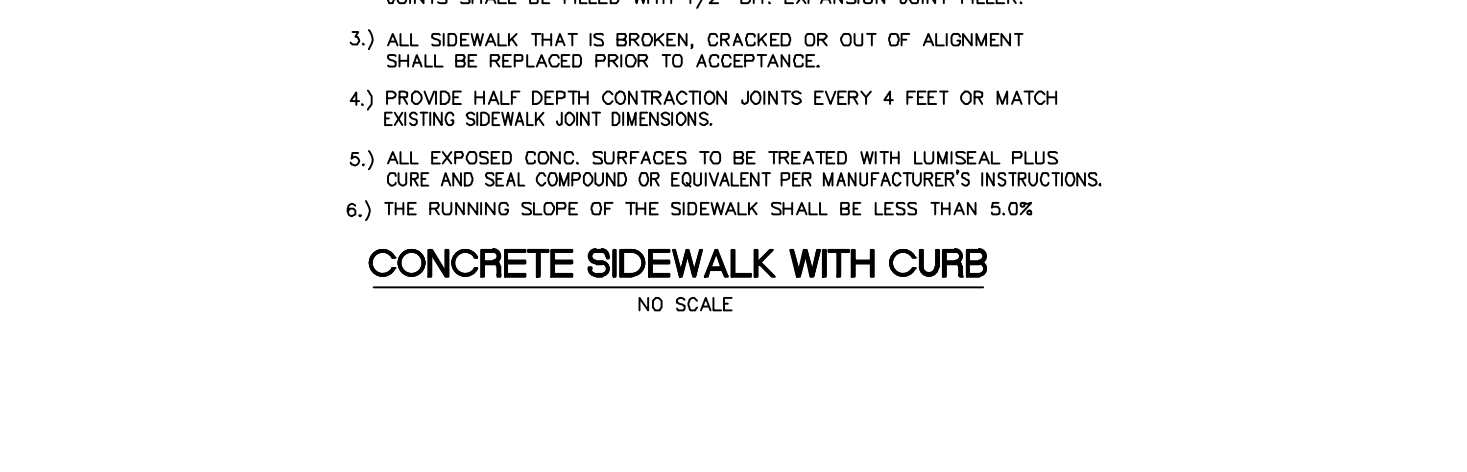
CONCRETE SIDEWALK WITH CURB
NO SCALE



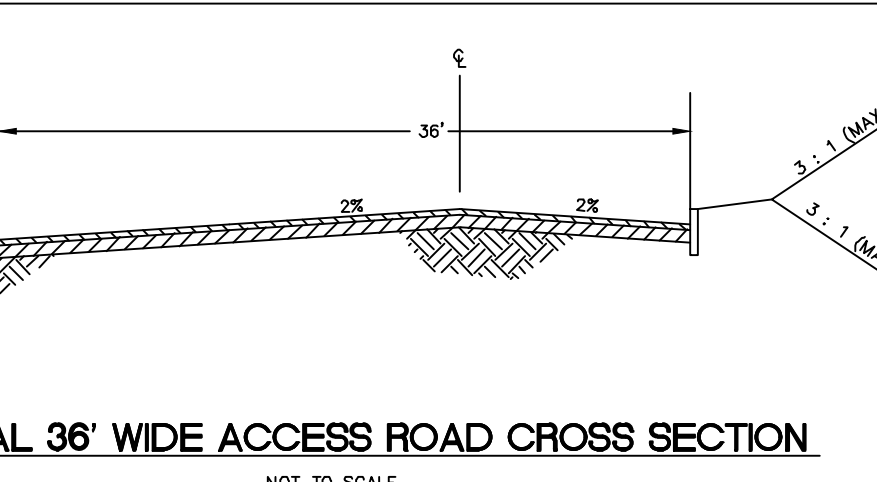
JOINT SEALING
NOT TO SCALE



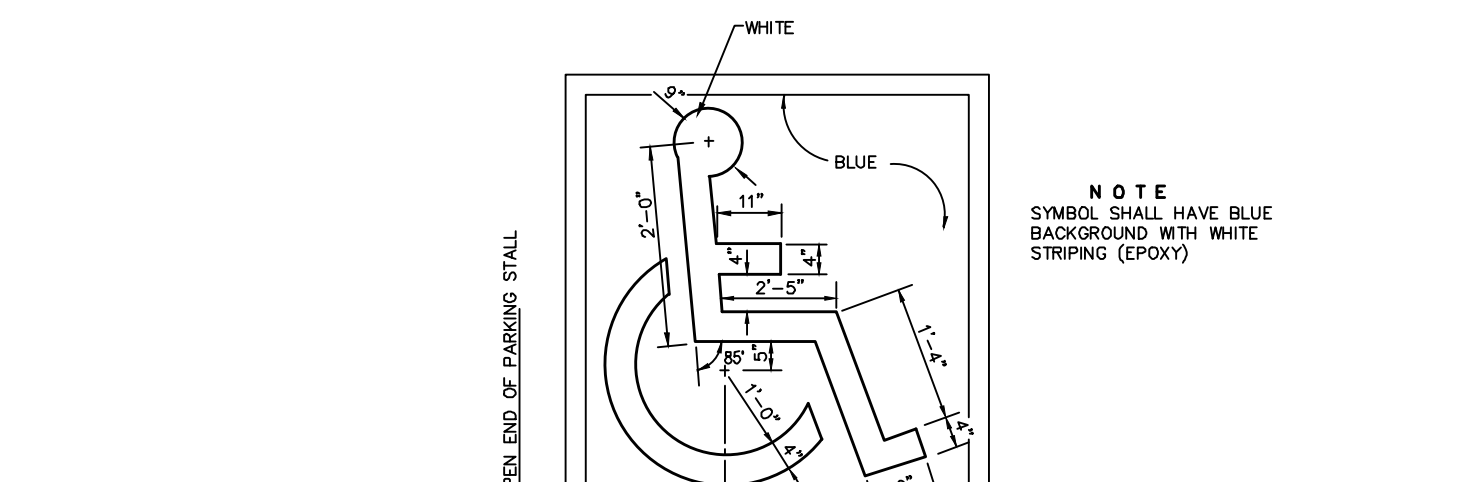
CONCRETE CURB
N.T.S.



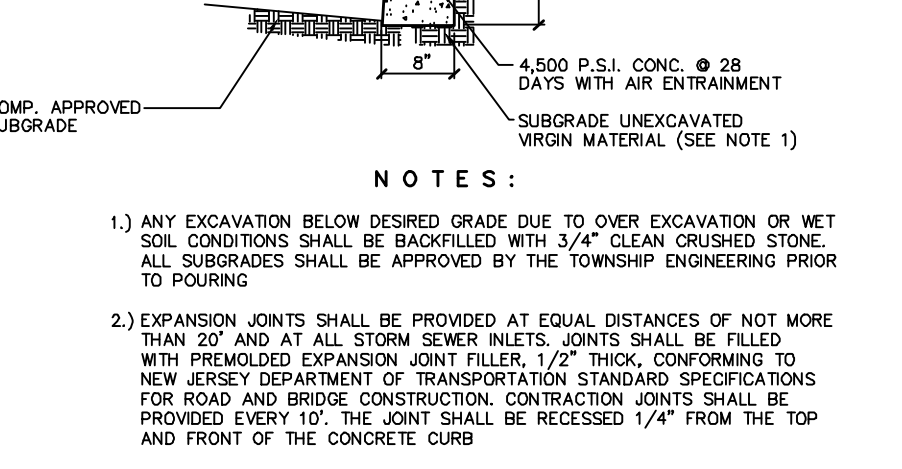
TYPICAL 24' WIDE ACCESS ROAD CROSS SECTION
NOT TO SCALE



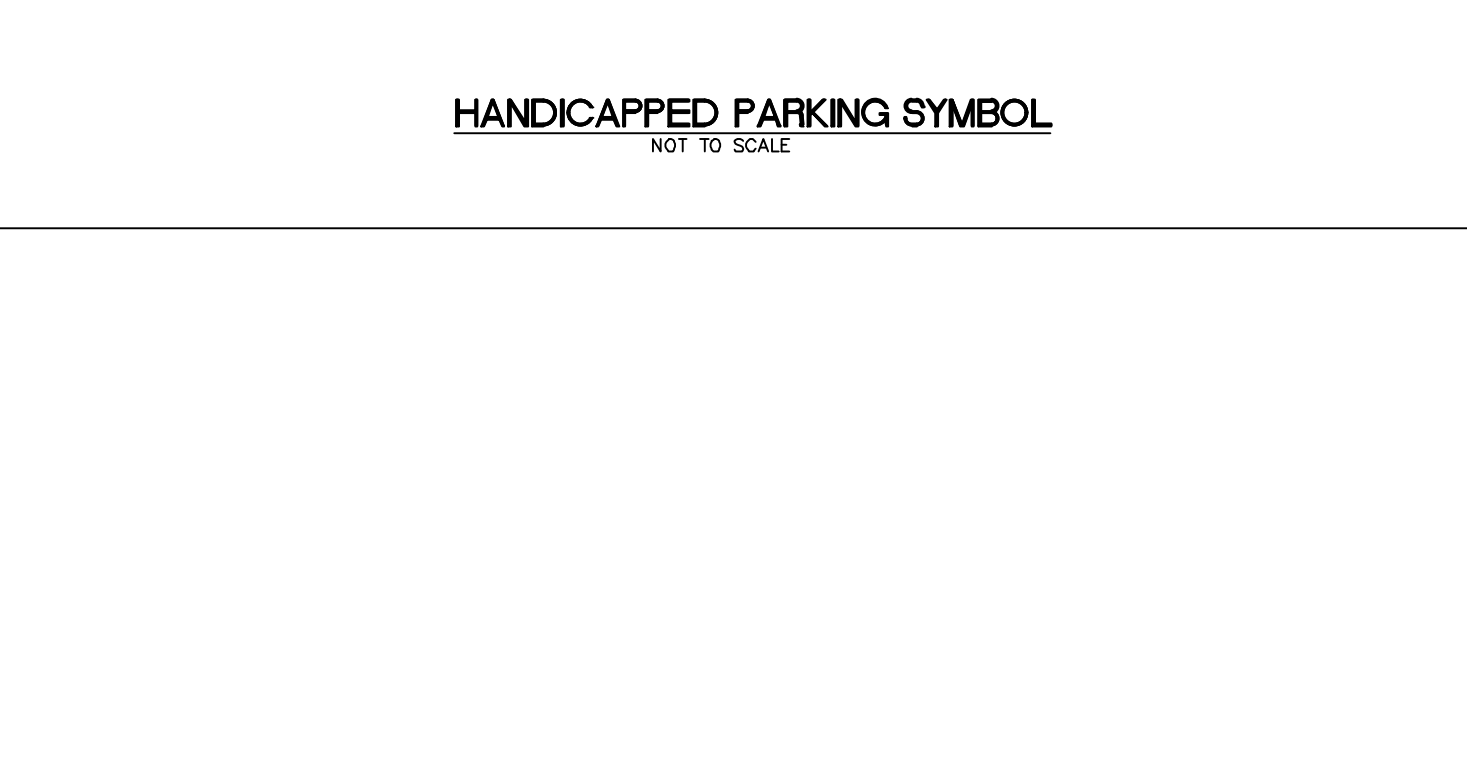
TYPICAL 36' WIDE ACCESS ROAD CROSS SECTION
NOT TO SCALE



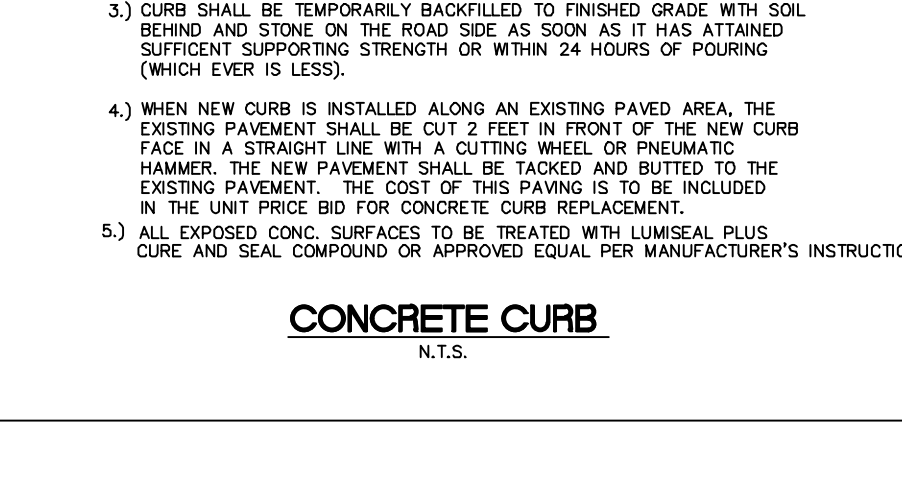
HANDICAPPED PARKING SYMBOL
NOT TO SCALE



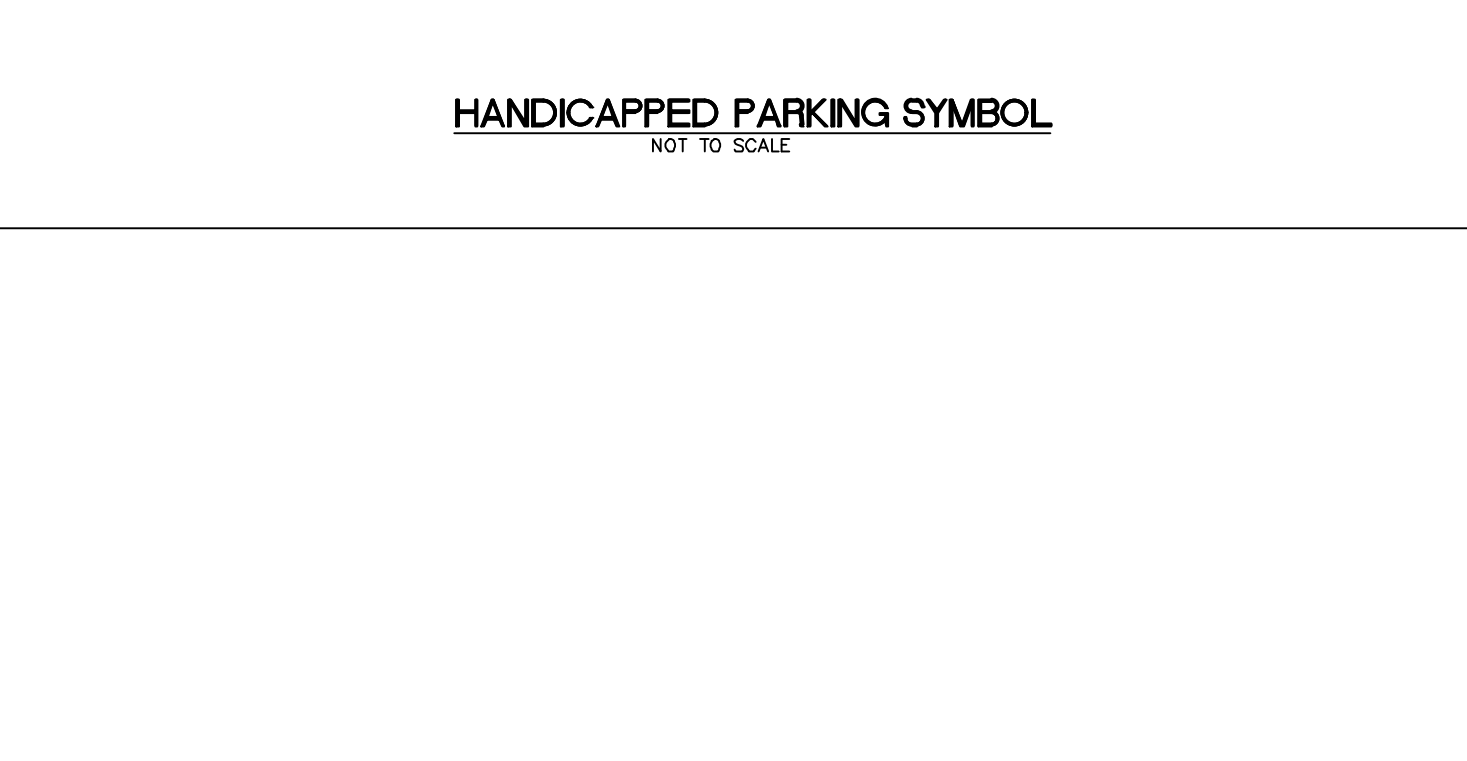
CONCRETE CURB
N.T.S.



ADA PARKING SPACE DESIGN DETAIL REAR LOT
NOT TO SCALE



HANDICAPPED PARKING SIGN
NOT TO SCALE



SIGN MOUNTING IN SIDEWALK
NOT TO SCALE

2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

811 Dig Safely logo and text: "IF YOU GOING TO DIG, CALL 811 FIRST. IT'S THE LAW. Dig Safely."

Van Cleaf Engineering Associates logo and text: "LLAME ANTES DE EXCAVAR. IT'S THE LAW. EXCAVE CON SEGURIDAD."

Van Cleaf Engineering Associates logo and contact information: "Consulting Civil Engineering, Environmental Engineering, Land Surveying, Professional Planning, Landscape Architecture. OFFICES THROUGHOUT NJ, EASTERN PA. AND DE. DATE 3/26/21. HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER NO. 242204748700"

WILLIAM D. HOPKINS III, AIA, LEED AP
N.J. 334070000 | PA. 040125200
GEORGE R. DUTHIE JR., AIA, PP
N.J. 334070000

GFVHD architects planners
Fraytak Veisz Hopkins Duthie P.C.
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whitaker Ave. - Mont-Claire - Pennsylvania 19453

Project Name
Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations of Northern Burlington County Regional High School

Project Owner Name
Northern Burlington County Regional School District

Project Location
160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
5086.9/1805MFD

Project Date
03.26.2021

Checked By
H.J.S./D.F.F.

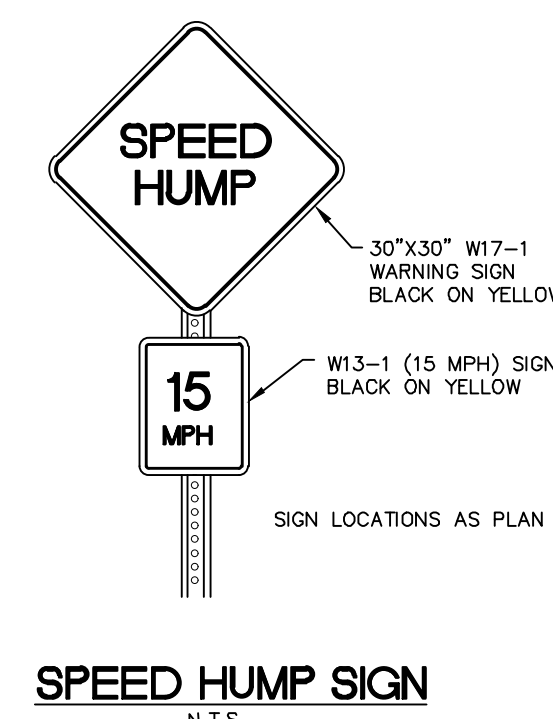
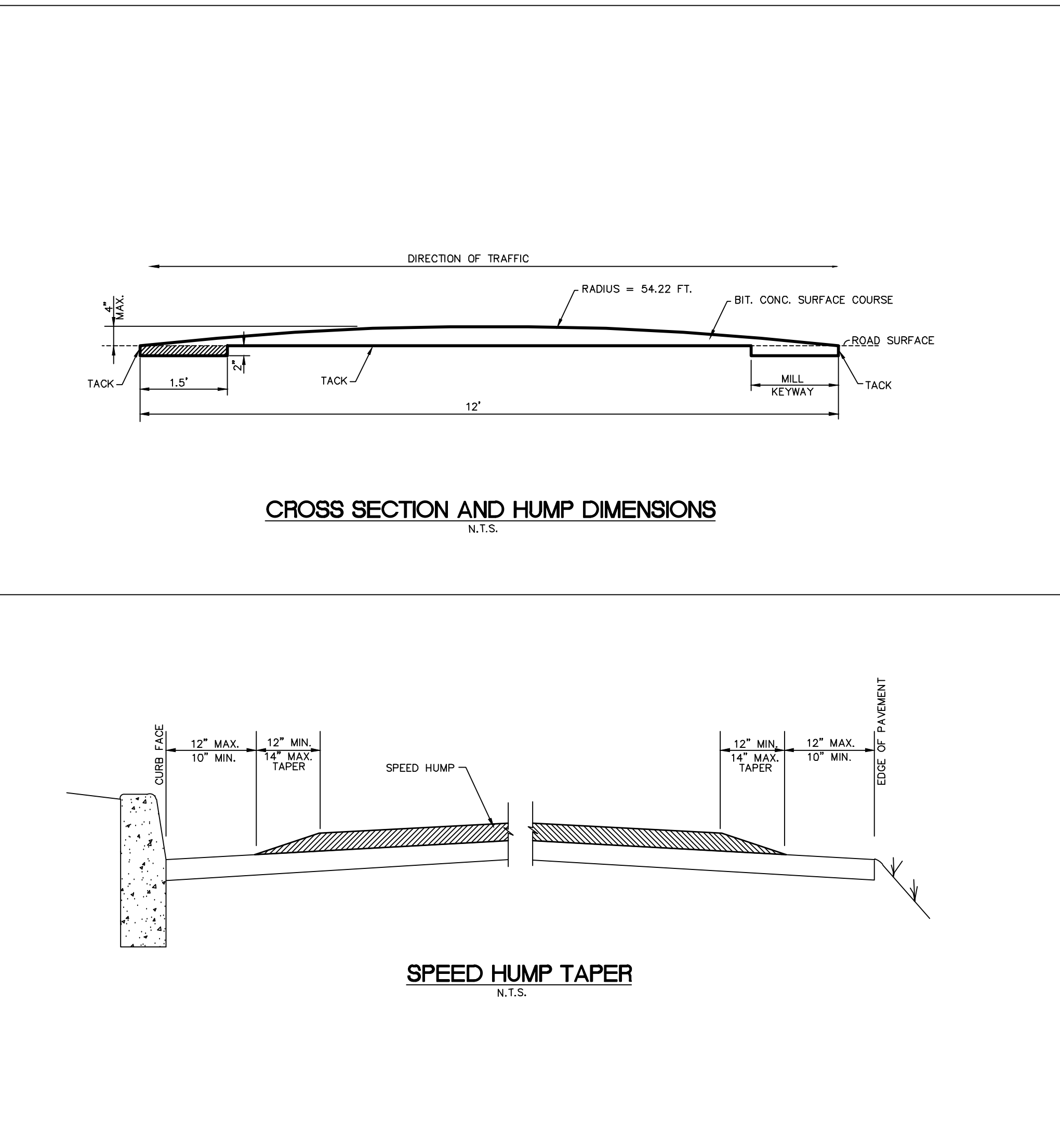
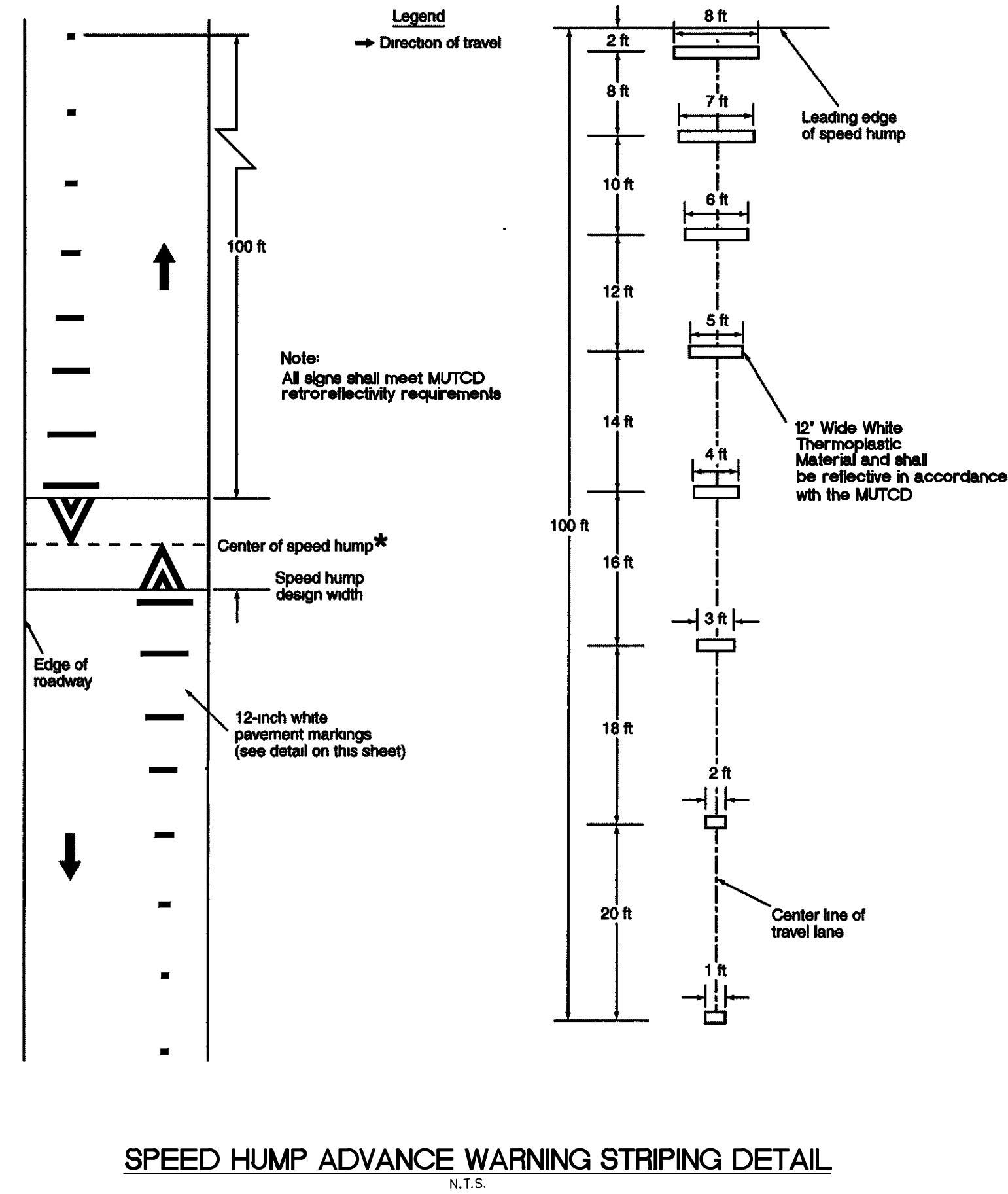
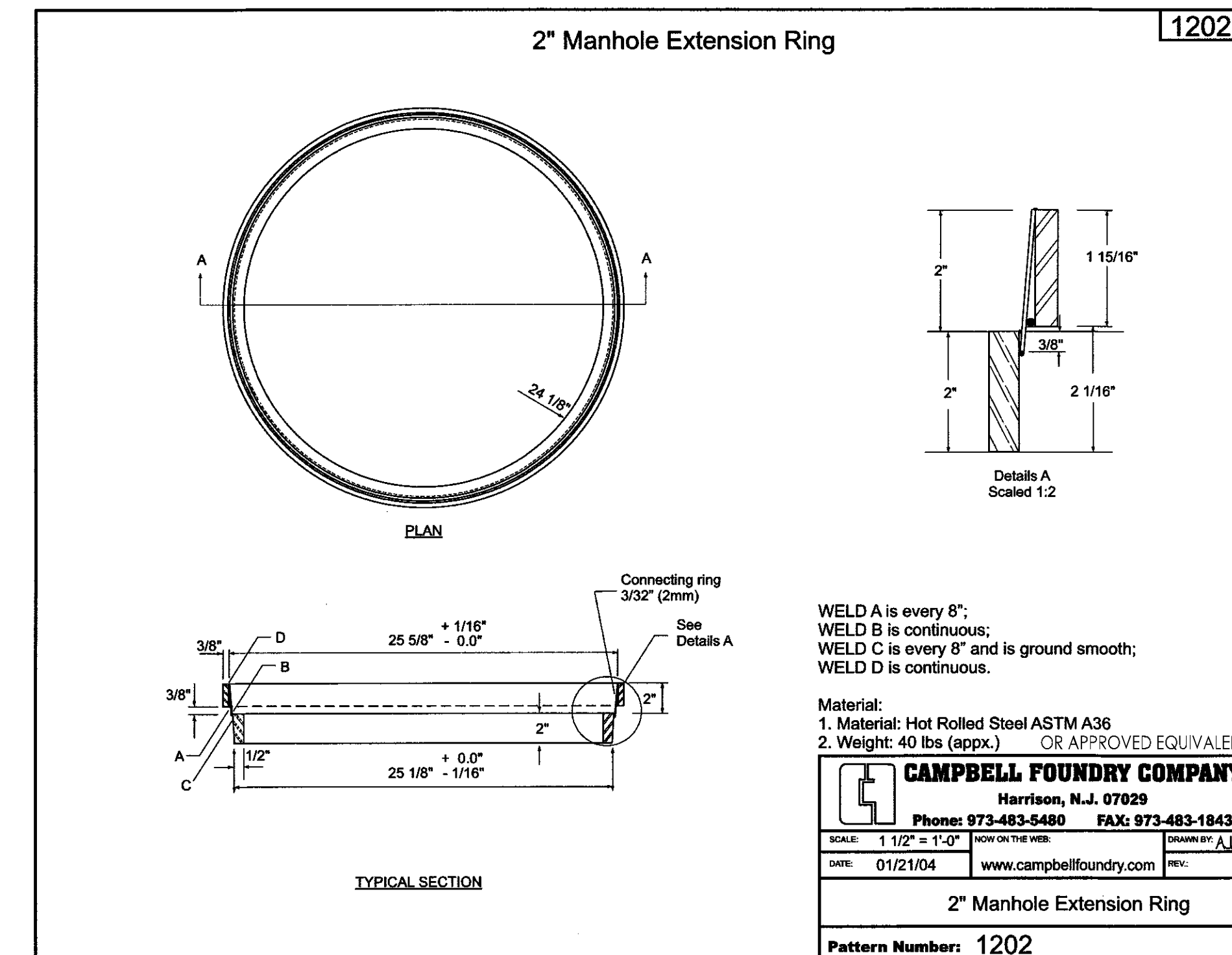
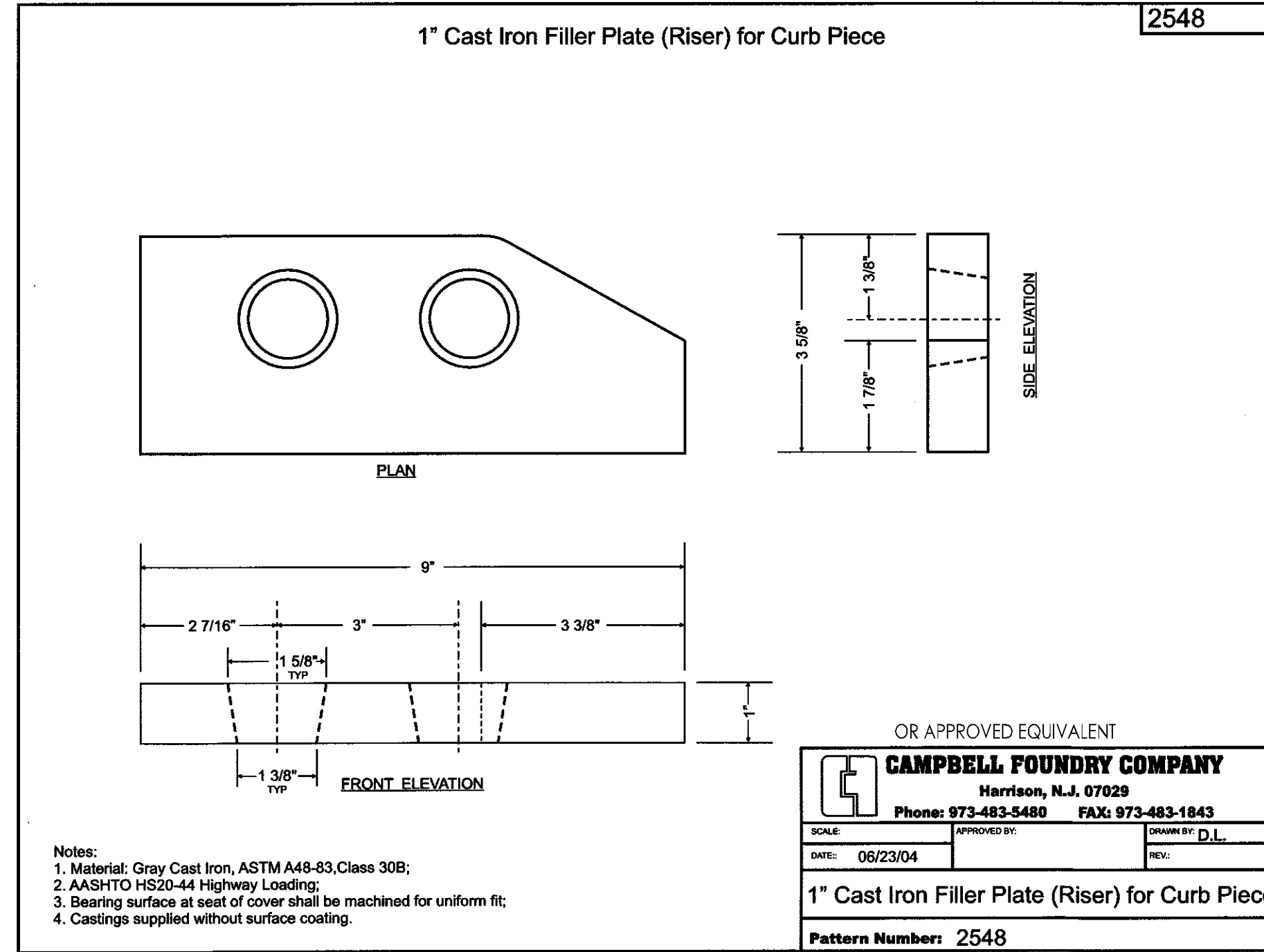
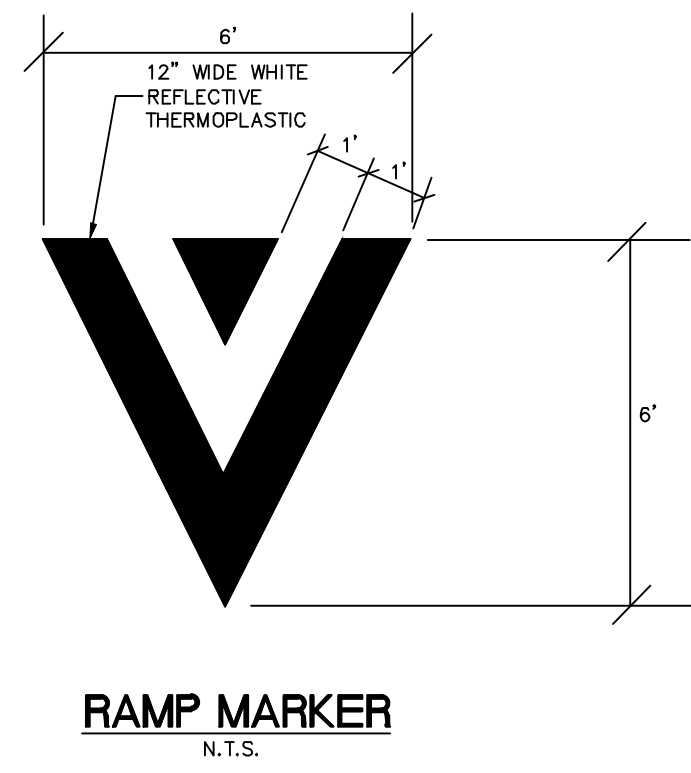
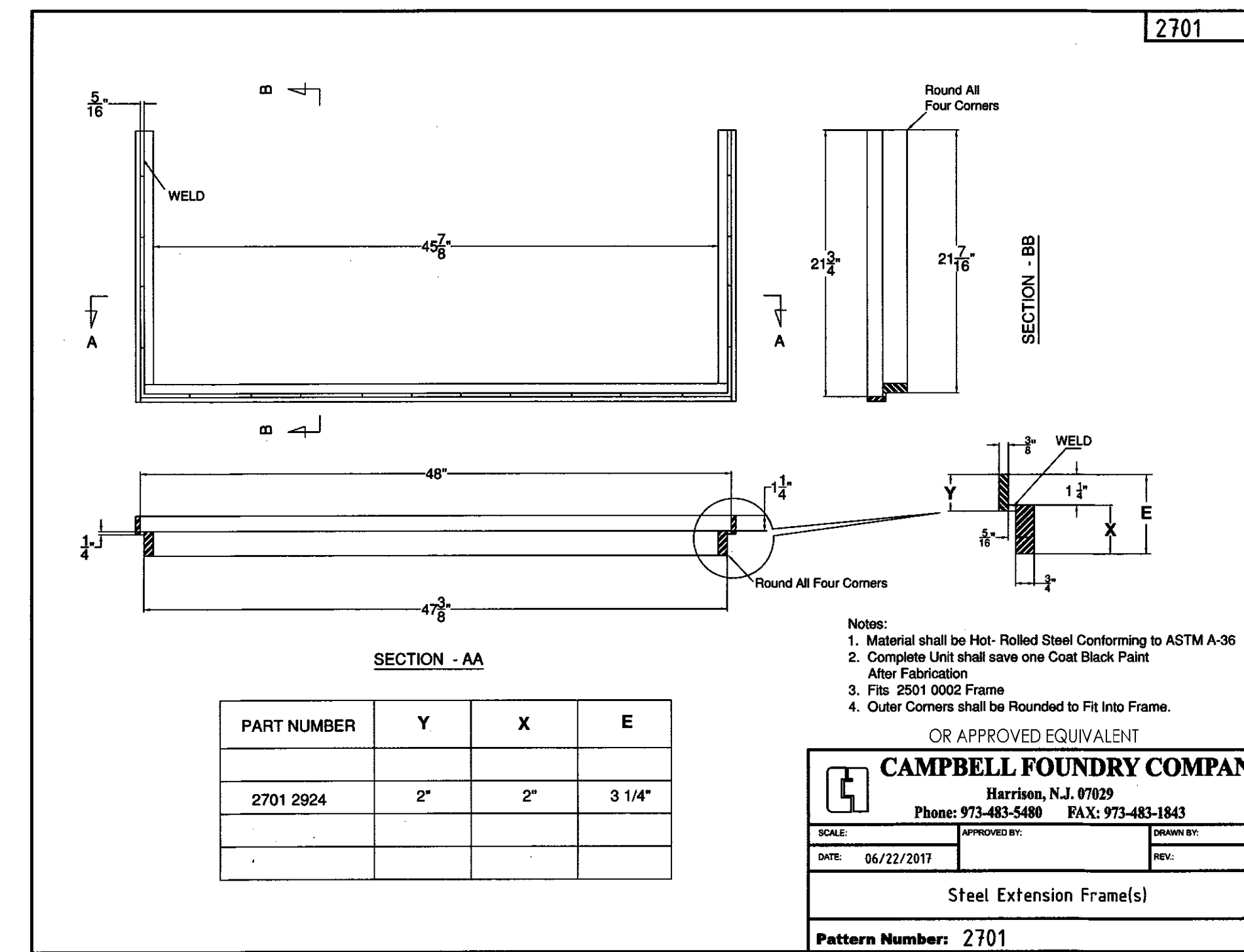
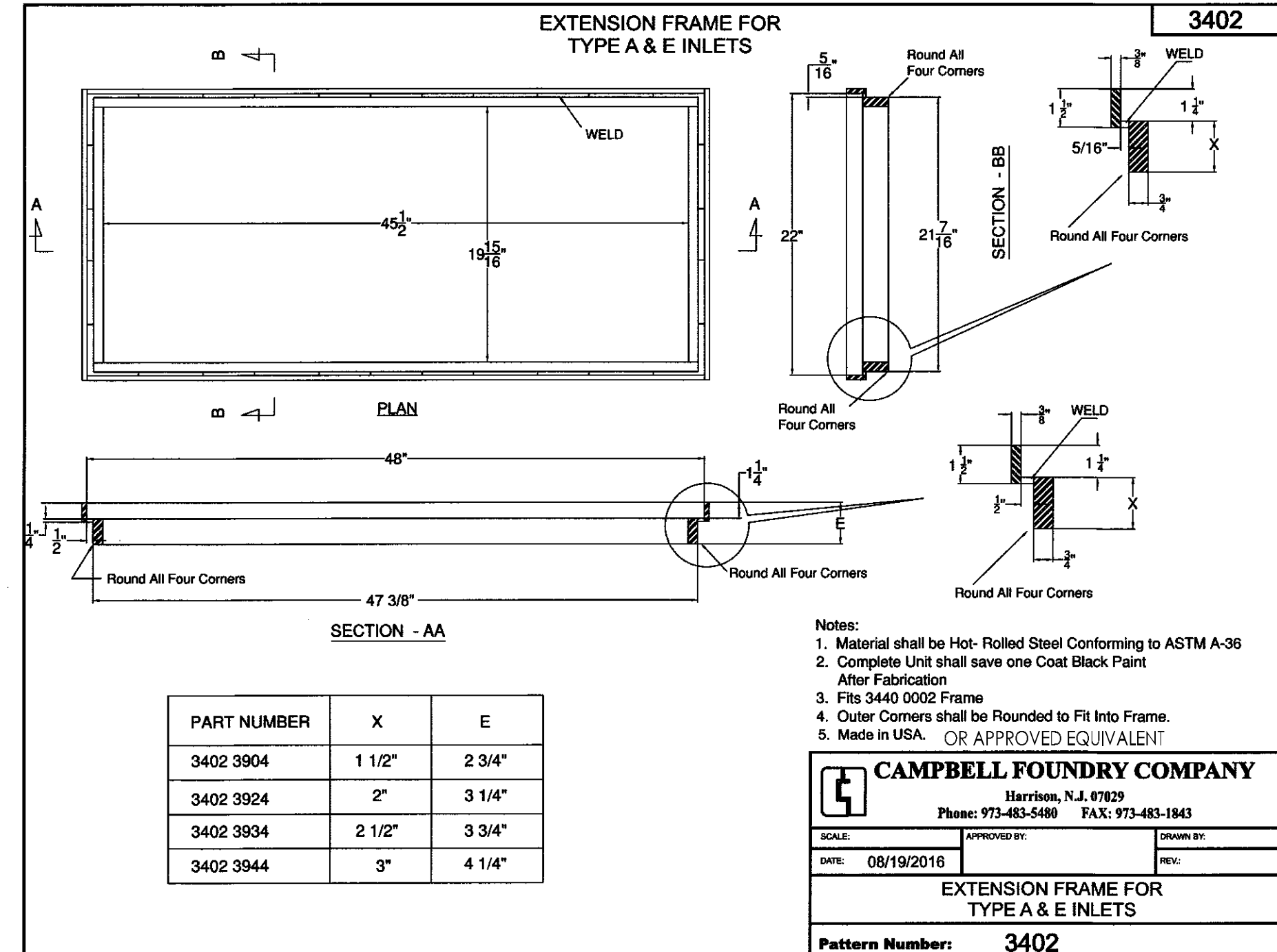
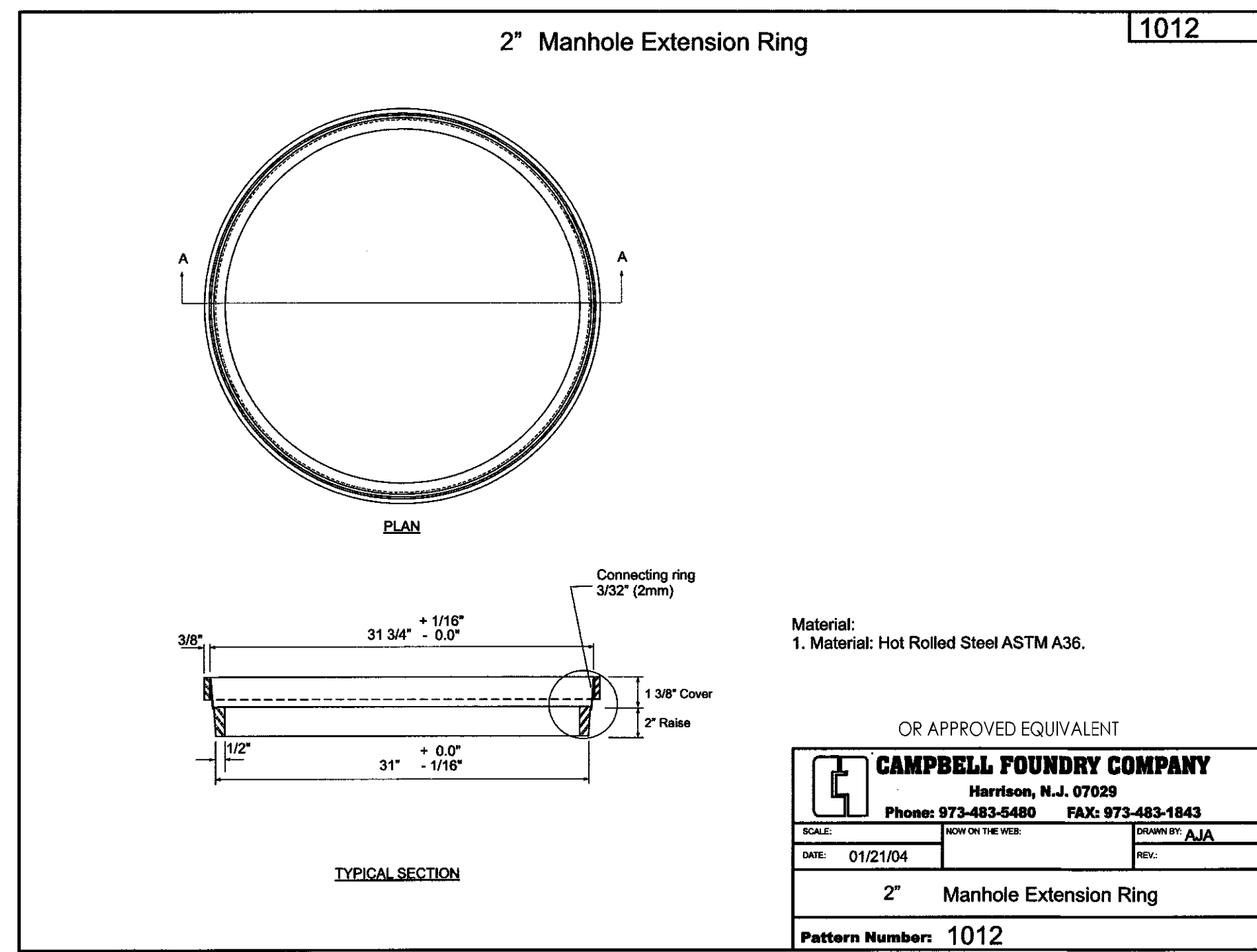
Drawn By
R.R.F.

Scales
N.T.S.

Drawing Name
CONSTRUCTION DETAILS

Revisions	No.	Date	Description

Drawing Number
C-111



2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT



Van Cleaf ENGINEERING ASSOCIATES

Consulting Civil Engineering
 Environmental Engineering
 Municipal Engineering
 Land Surveying
 Professional Planning
 Landscape Architecture

OFFICES THROUGHOUT NJ, EASTERN PA. AND DE

1400 DRIVE, SUITE 103, WASHINGTON, NJ 08801
 EMAIL: VANCLEAF@VANCLEAF.COM
 PHONE: (908) 698-1100 FAX: (908) 698-1130 NJLLC CERT. NO. 24628102300

BY: *Herbert J. Seeburger, Jr.* DATE: 3/26/21
 HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER NO. 246204748700

GFVHD architects planners
 Fraytak Veisz Hopkins Dutchie PC

Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
 Pennsylvania: 1401 Whitaker Ave - Mont Clare - Pennsylvania 19453

Project Name: Northern Burlington County Regional School District

Project Location: 160 Mansfield Rd. East, Columbus, NJ 08022

Project Number: 5086.9/1805MFD
 Project Date: 03.26.2021
 Checked By: H.J.S./D.F.F.
 Drawn By: R.R.F.
 Scale: N.T.S.

Drawing Name: CONSTRUCTION DETAILS

Revisions: No. | Date | Description

Drawing Number: C-112

Project Name: Northern Burlington County Regional School District

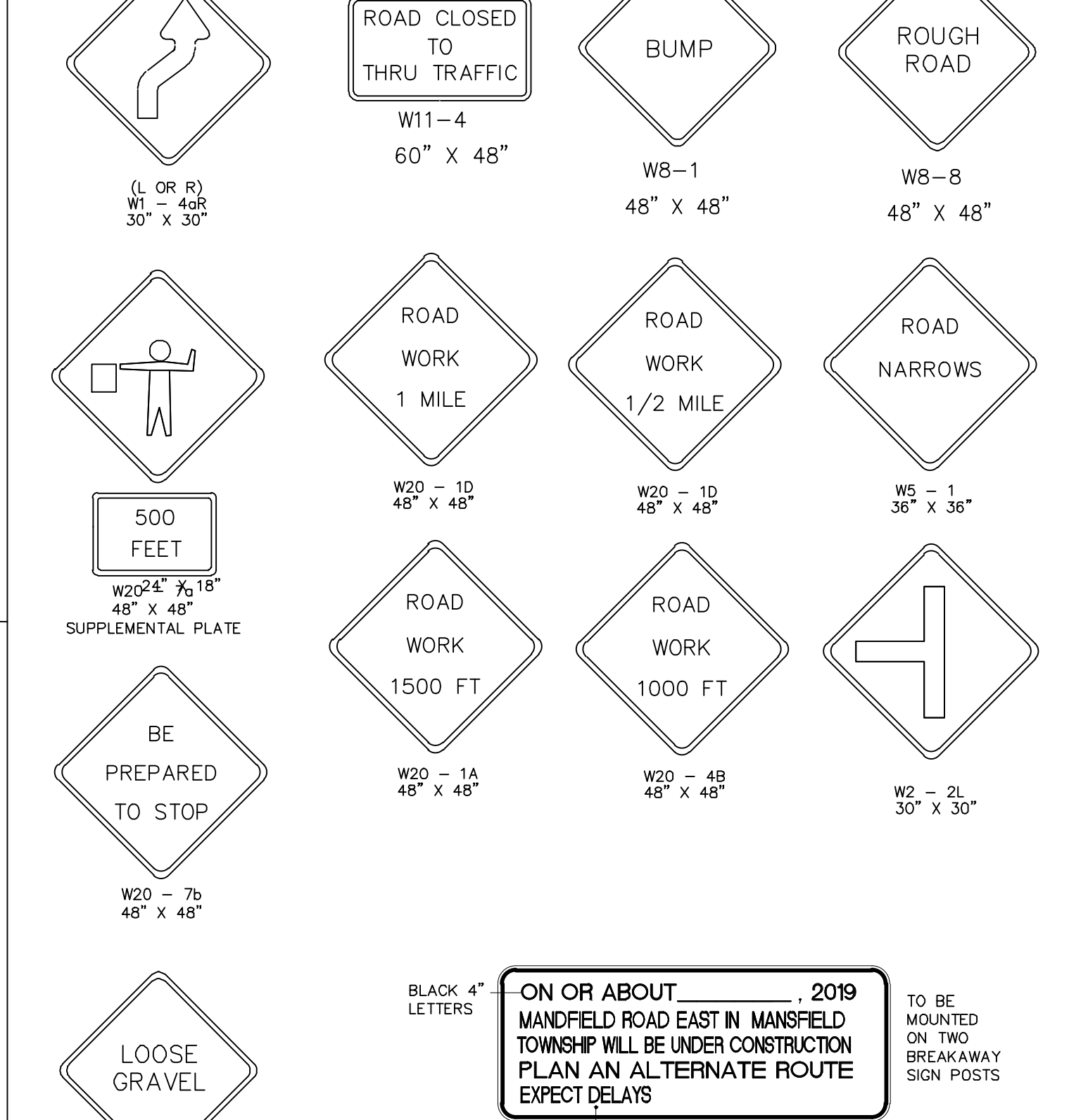
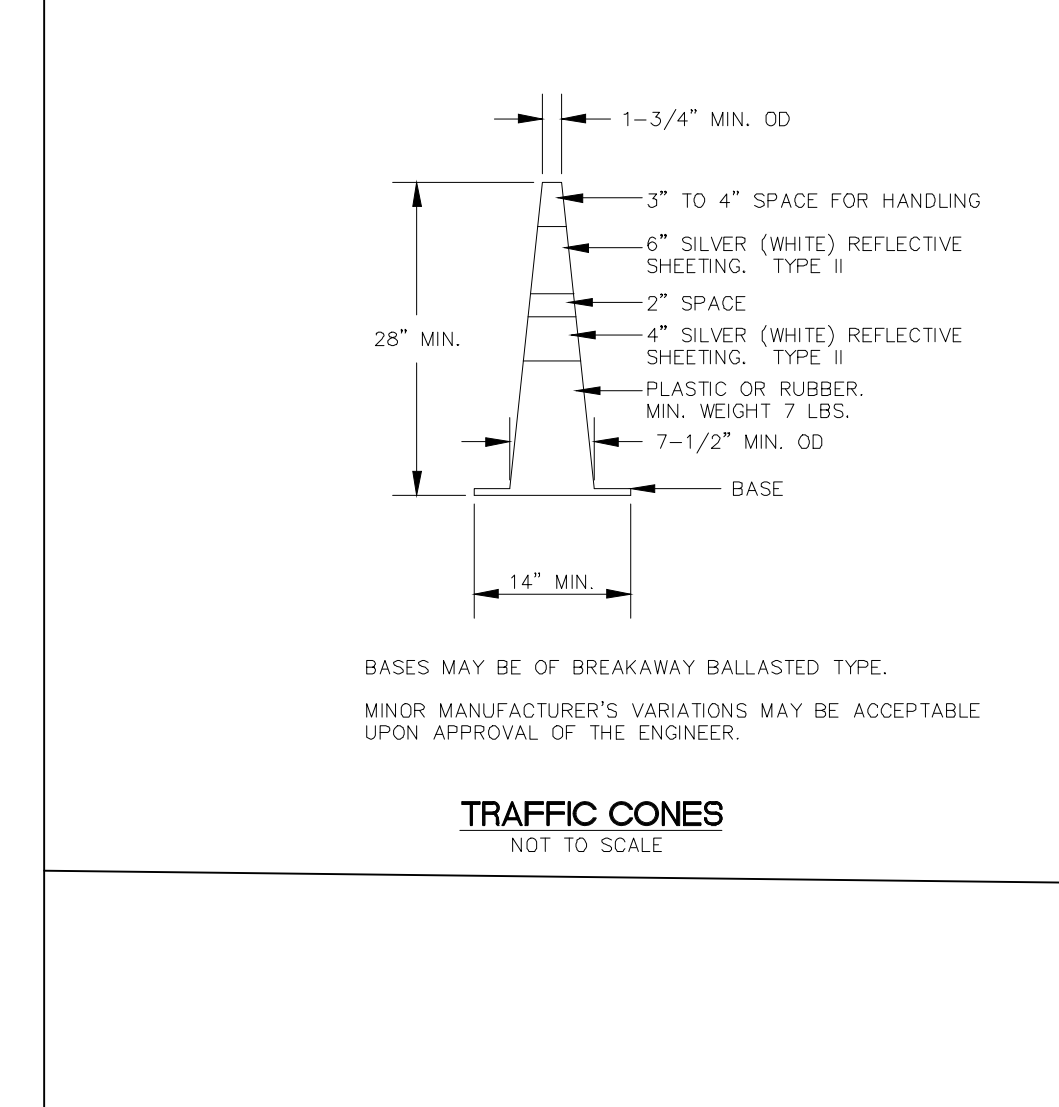
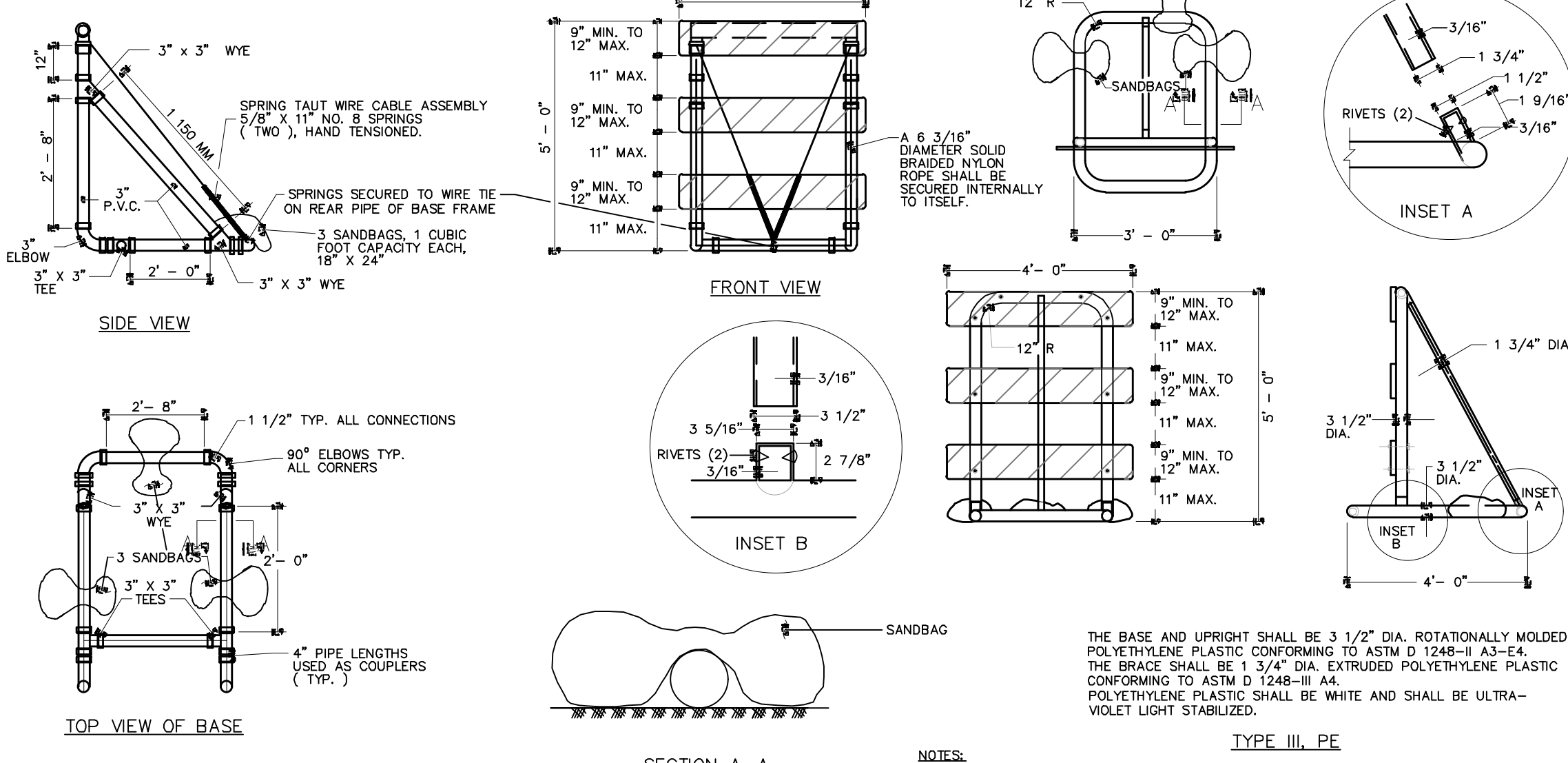
Project Location: 160 Mansfield Rd. East, Columbus, NJ 08022

Project Number: 5086.9/1805MFD
 Project Date: 03.26.2021
 Checked By: H.J.S./D.F.F.
 Drawn By: R.R.F.
 Scale: N.T.S.

Drawing Name: CONSTRUCTION DETAILS

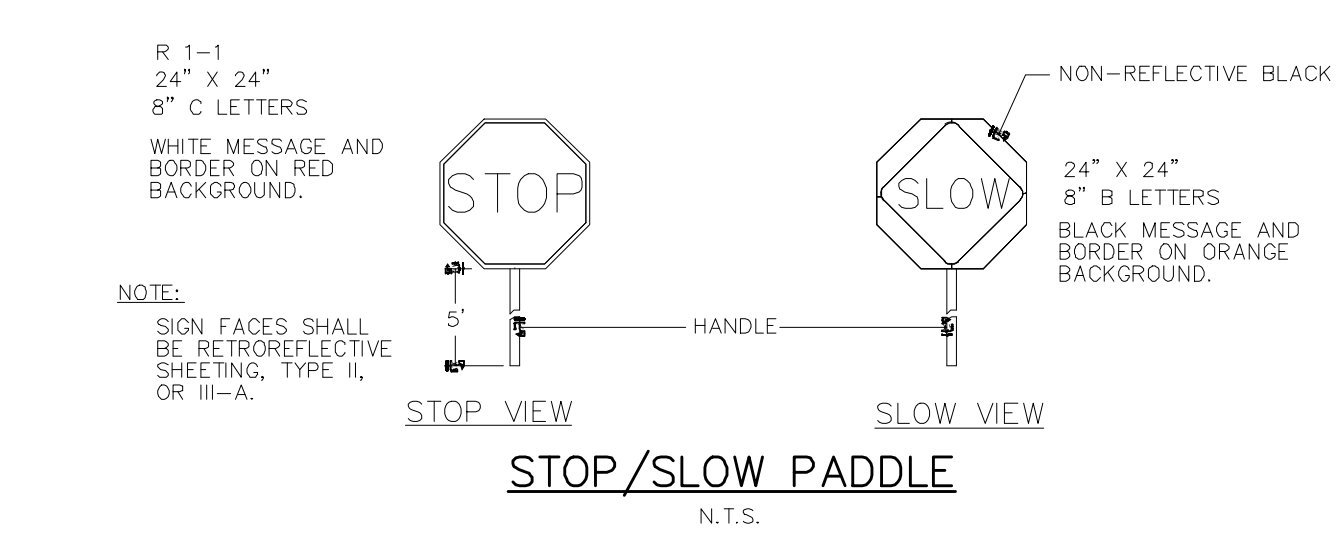
Revisions: No. | Date | Description

Drawing Number: C-112



TRAFFIC CONTROL NOTES:

- ADVANCED WARNING SIGNS SHALL BE INSTALLED TWO (2) WEEK PRIOR TO THE START OF CONSTRUCTION.
- ALL SIGNS, DRUMS, CONES AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN PLACE, INSPECTED AND APPROVED PRIOR TO THE START OF ANY CONSTRUCTION.
- ENGINEER AND TOWNSHIP POLICE SHALL APPROVE ALL TRAFFIC CONTROL PRIOR TO INSTALLATION AND START OF WORK.
- LANE SHIFTS AND LANE CLOSURES WILL BE PERMITTED FROM 9:30 AM TO 2:30 PM MONDAY THROUGH FRIDAY ONLY.
- LANE SHIFTS AND LANE CLOSURES ARE NOT PERMITTED ON TOWNSHIP HOLIDAYS.
- ALL TRAFFIC CONTROL SIGNS SHALL BE ALUMINUM AND SHALL MEET THE RETROREFLECTIVITY REQUIREMENTS OF THE MUTCD LATEST EDITION AS AMENDED OR SUPPLEMENTED.
- ALL SIGNS SHALL BE MOUNTED ON BREAKAWAY BARRICADES, WINDMASTER SIGN SUPPORTS (OR EQUIVALENT) OR ON BREAKAWAY SIGN POSTS.
- ACCESS TO SIDE STREETS, RESIDENTS AND MERCHANTS IS TO BE MAINTAINED AT ALL TIMES.
- TEMPORARY PAVEMENT MARKERS ARE TO BE PROVIDED FOLLOWING MILL, BASE REPAIRS AND FINAL PAVING UNTIL PERMANENT STRIPING IS INSTALLED. NO ADDITIONAL PAYMENT SHALL BE MADE FOR TEMPORARY PAVEMENT MARKINGS.
- ALL BARRICADES, DRUMS AND CONES SHALL CONTAIN REFLECTIVE SHEETING PER THE MUTCD LATEST EDITION AS AMENDED OR SUPPLEMENTED.
- CONTRACTOR SHALL PROVIDE TEMPORARY FENCE, BARRICADES AND SIGNS TO CLOSE SIDEWALKS AND DIRECT PEDESTRIAN TRAFFIC TO A SAFE ROUTE DURING CONSTRUCTION. NO SEPARATE PAYMENT SHALL BE MADE FOR PEDESTRIAN CONTROL.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH TOWNSHIP POLICE DEPARTMENT DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH TOWNSHIP POLICE DEPARTMENT DURING CONSTRUCTION. REQUEST FOR TOWNSHIP POLICE TRAFFIC CONTROL MUST BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.



REGULATORY APPROACH SPEED OF TRAFFIC IN MILES/HR	RECOMMENDED TAPER LENGTH AND SPACING FOR CHANNELIZING TAPERS				RECOMMENDED SPACING ALONG TANGENTS	
	MINIMUM TAPER RATIO IN LENGTH PER FOOT OF WIDTH	MINIMUM TAPER LENGTH IN FEET	MINIMUM TAPER LENGTH ALONG TANGENTS IN FEET	MINIMUM SPACING ALONG TANGENTS IN FEET	MAXIMUM SPACING ALONG TANGENTS IN FEET	
25	10:5:1	105	115	125	25	
30	15:5:1	155	165	180	30	
35	20:5:1	205	215	240	35	
40	25:5:1	255	265	320	40	
45	30:5:1	305	315	400	45	
50	35:5:1	355	365	500	50	

PIPE SHALL BE WHITE PVC SCHEDULE 40 ASTM D 1785 OR PVC 20" OR 24" O.D. DRUMS SHALL BE WHITE OR ORANGE. IF THERE ARE NON-REFLECTORIZED STRIPES BETWEEN THE STRIPES THEY SHALL BE NO MORE THAN 2" WIDE. STRIPES SHALL BE REFLECTORIZED TYPE III. THE TOP OF THE DRUM SHALL NOT BE OPEN.

DRUMS SHALL BE CONSTRUCTED TO INHIBIT ROLLING IF KNOCKED OVER.

THE REFLECTORIZED AREA OF THE DRUMS SHALL BE ROUND EXCEPT THAT OTHER SHAPES, WHICH PROVIDE THE SAME VISIBILITY AS AN 18" DIAMETER ROUND DRUM REGARDLESS OF ORIENTATION, MAY BE USED IF APPROVED BY THE BUREAU OF MATERIALS.

THE 8" x 48" OR 8" MAX. x 48" BARRICADE RAILS SHALL BE FABRICATED FROM 1/2" THICK ALUMINUM OR 0.125" MAX. PLATING SHEETING AND SHALL BE ATTACHED TO A RED RAIL WITH 1" NON-FLAMMABLE METAL SCREWS OR PLASTIC RIVETS. ALL CORNERS SHALL BE ROUNDED.

ORANGE AND SILVER (WHITE) STRIPES SHALL BE RETROREFLECTORIZED SHEETING TYPE III OR III-A, AS SHOWN FOR CONSTRUCTION SIGNS. ALTERNATE RANGE AND SILVER (WHITE) STRIPES OF 1/2" WIDE SLANTING DOWNWARD AT AN ANGLE OF 45 DEGREES IN THE DIRECTION TRAFFIC IS TO PASS.

CONSTRUCTION SIGNS SHALL BE FABRICATED FROM POLYPROPYLENE AND SHALL HAVE A CAPACITY OF 1 CUBIC FOOT.

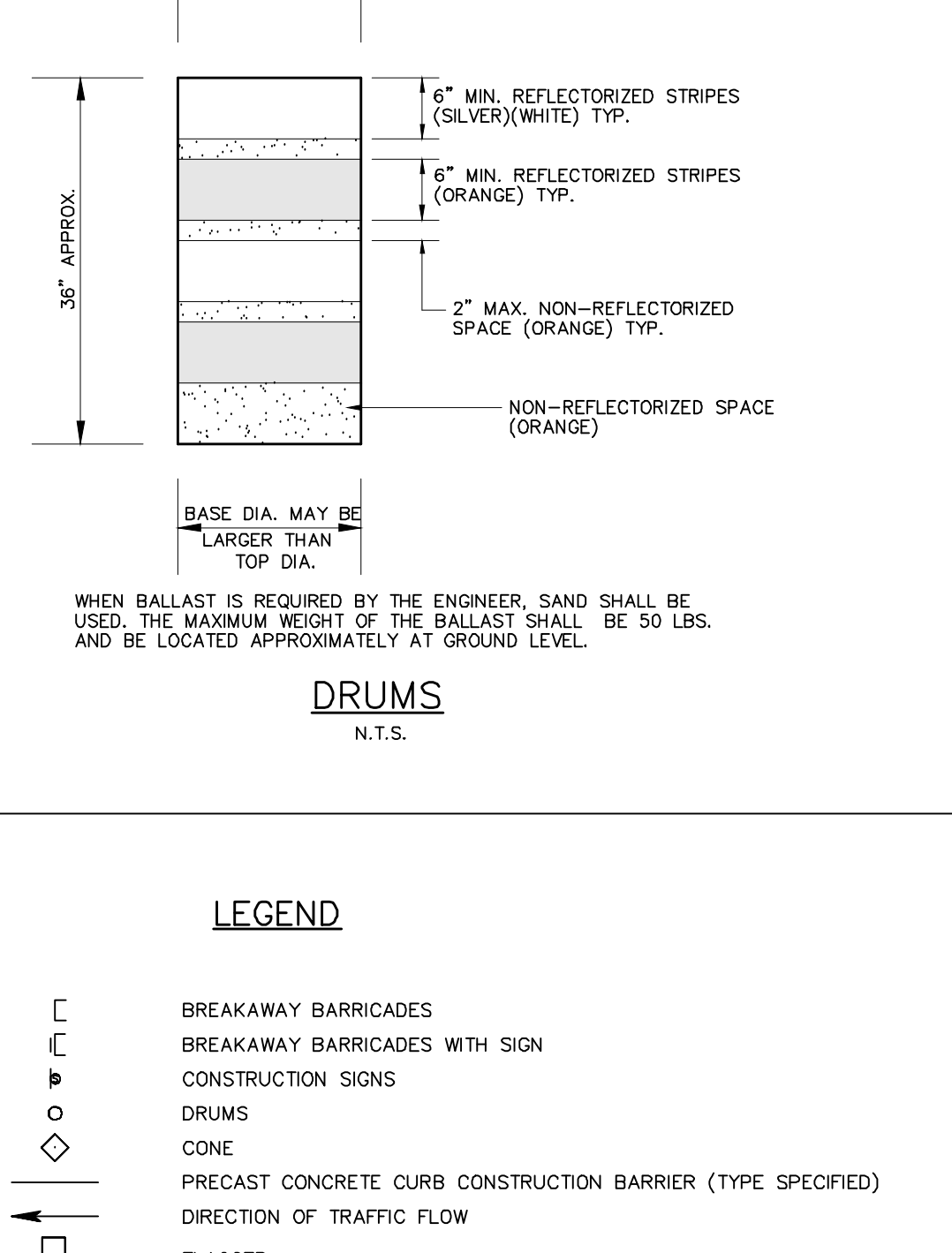
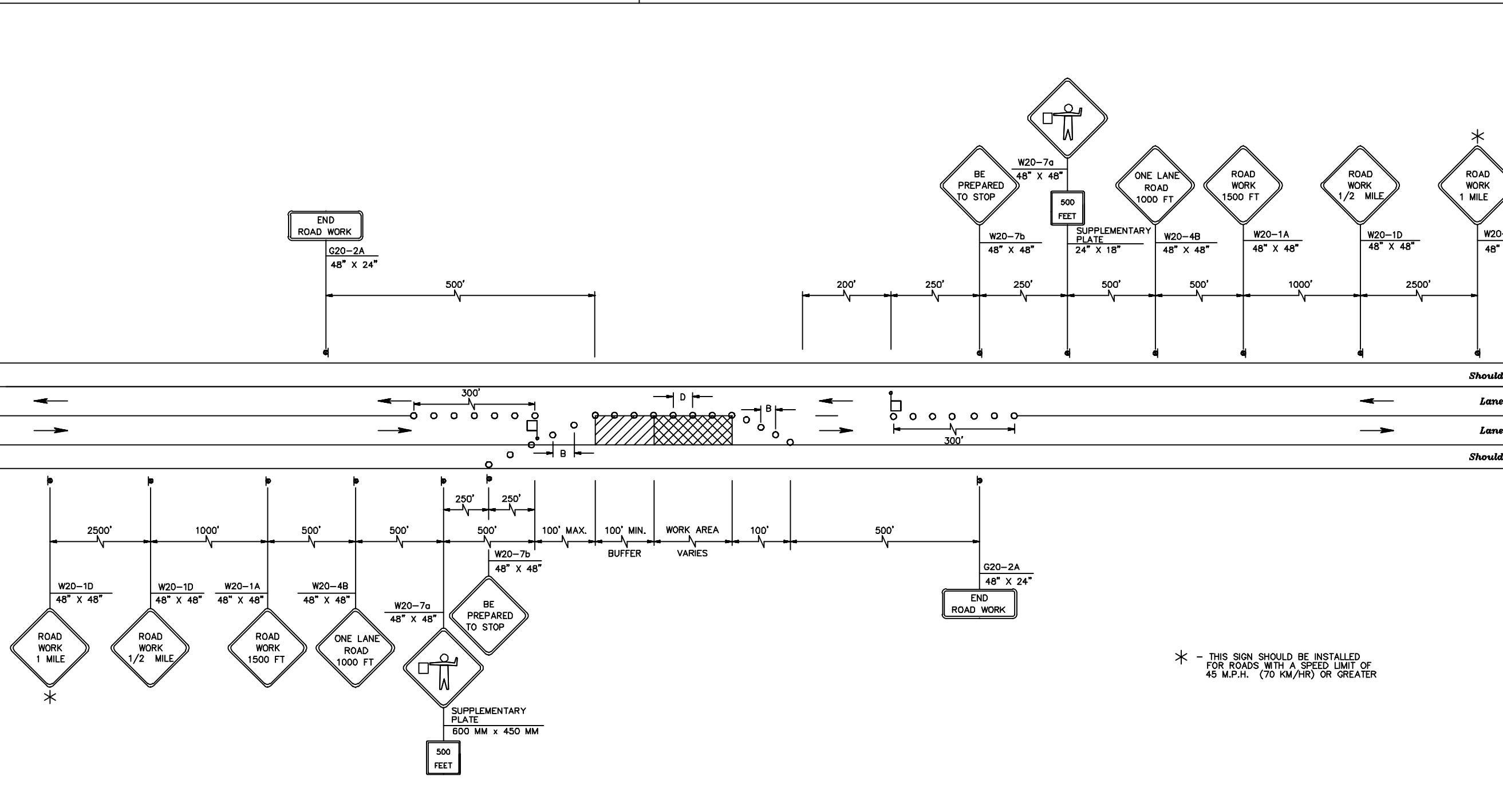
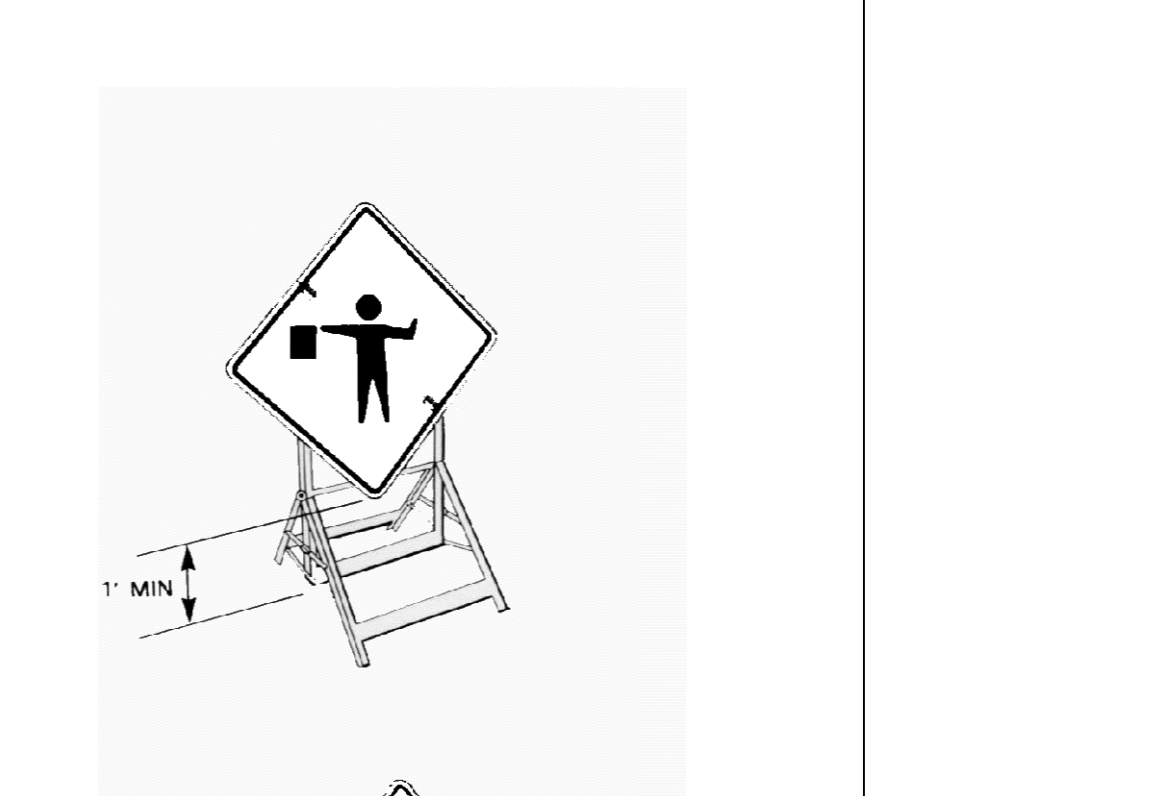
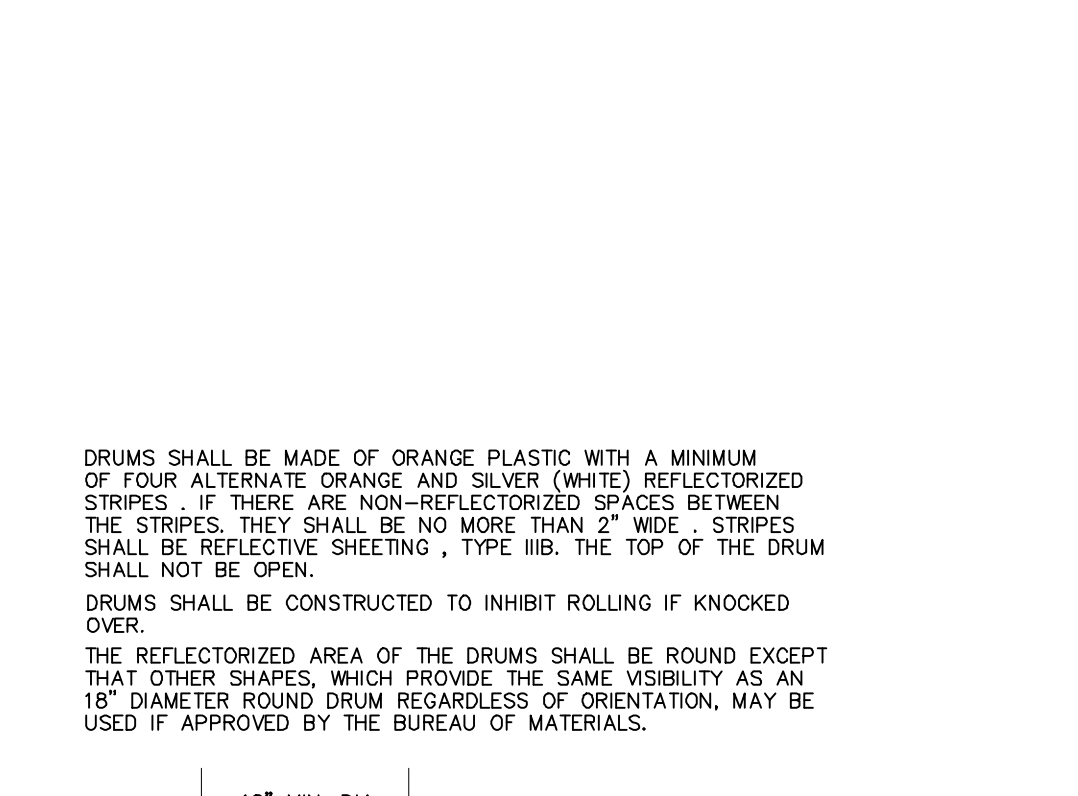
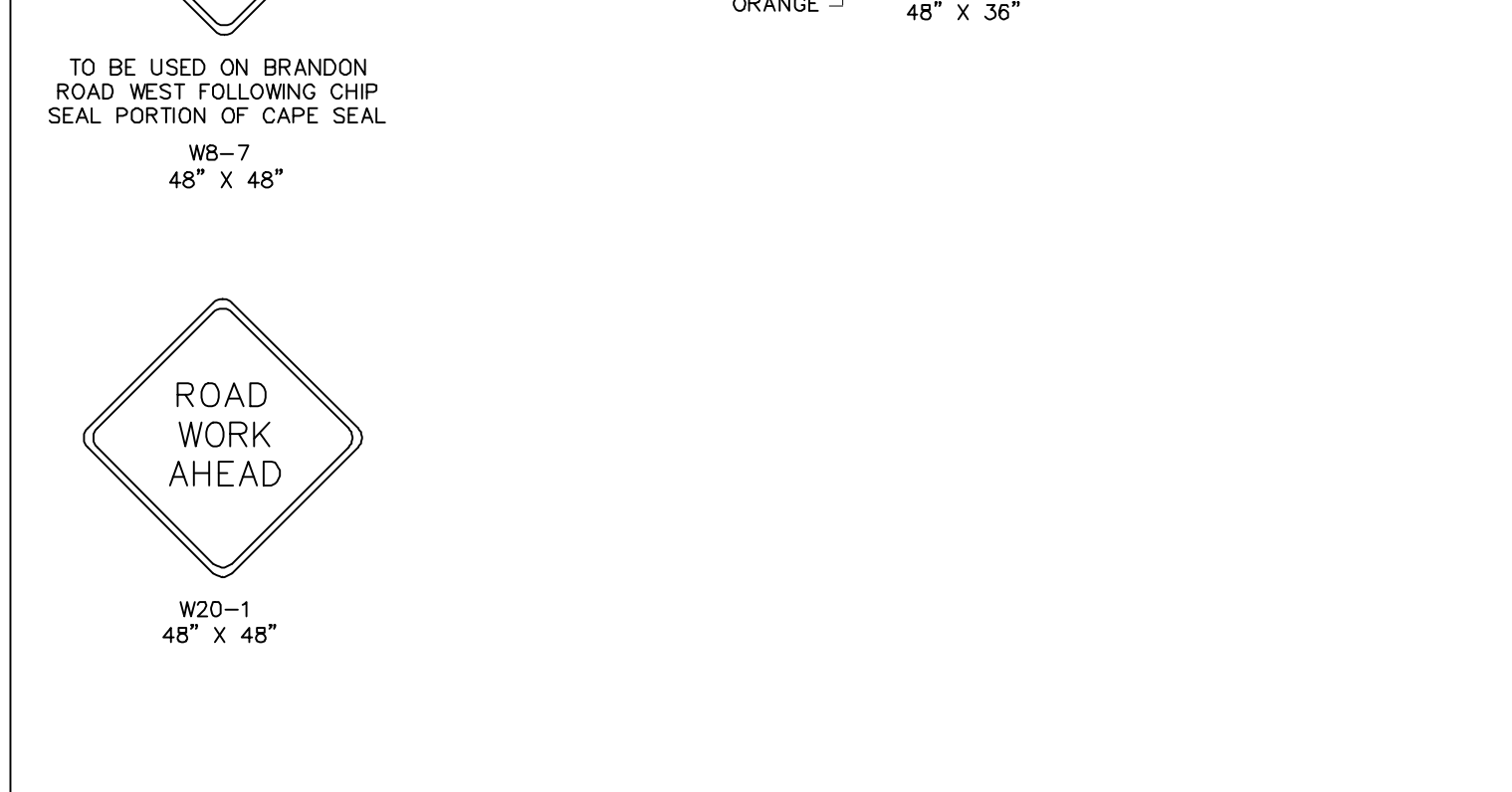
PLACEMENT OF BARRICADES SHALL BE AS SHOWN ABOVE.

SAND BAG PLACEMENT MAY BE ADJUSTED AT THE DISCRETION OF THE ENGINEER. ALL DIMENSIONS - ON FULL PIPE LENGTH.

EITHER TYPE III PE OR TYPE III PVC CAN BE USED AT THE OPTION OF THE CONTRACTOR.

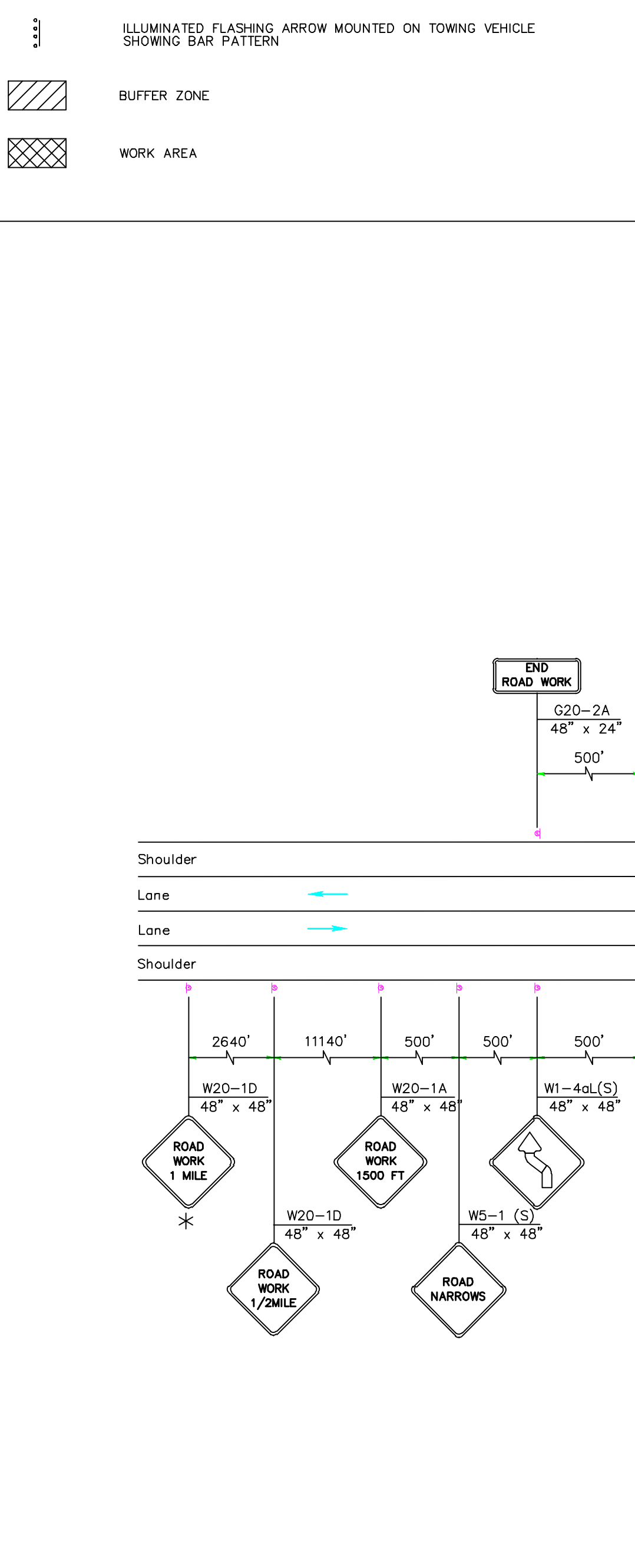
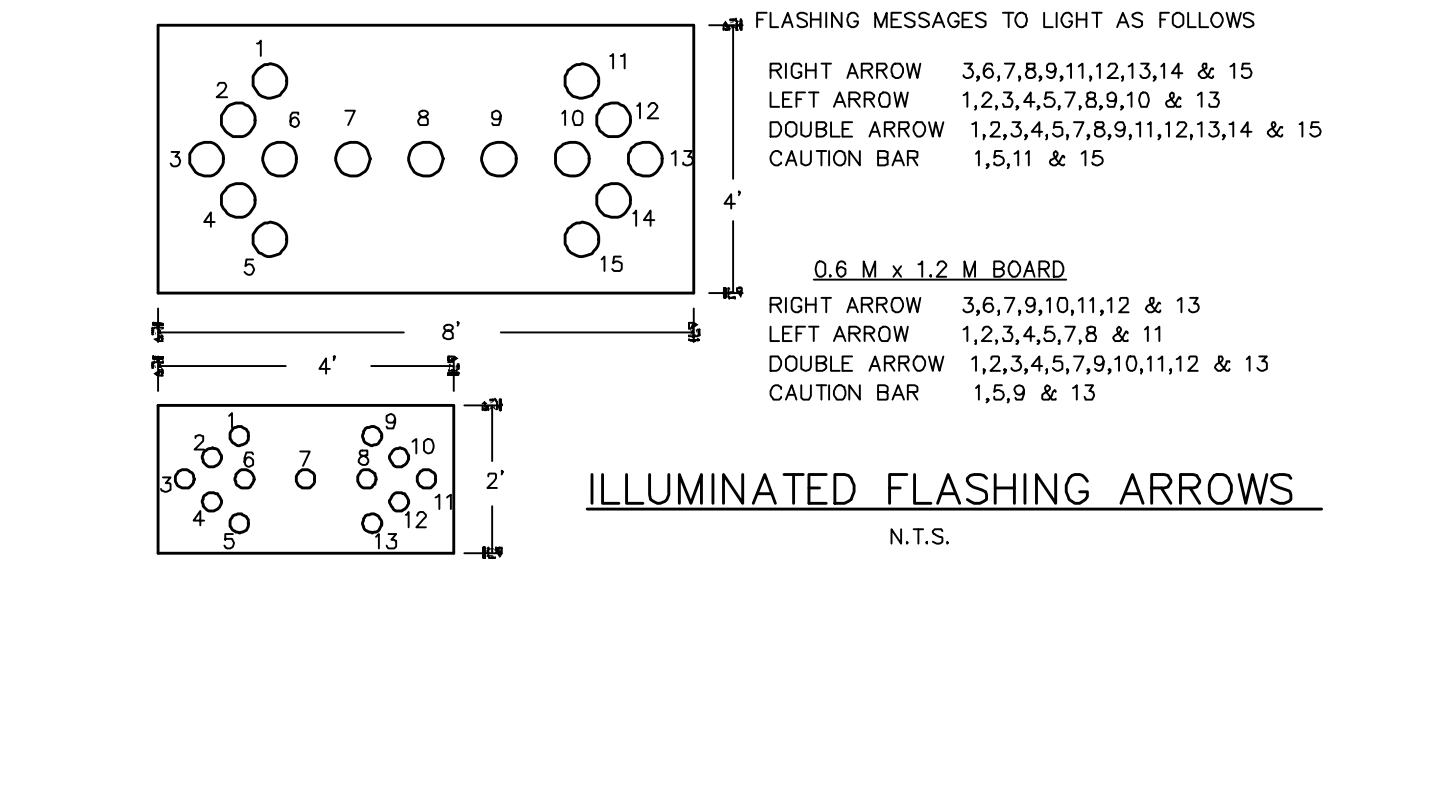
LEGEND

- BREAKAWAY BARRICADES
- BREAKAWAY BARRICADES WITH SIGN CONSTRUCTION SIGNS
- DRUMS
- PRECAST CONCRETE CURB CONSTRUCTION BARRIER (TYPE SPECIFIED)
- DIRECTION OF TRAFFIC FLOW
- FLAGGER
- ILLUMINATED FLASHING ARROW MOUNTED ON TOWING VEHICLE SHOWING BAR PATTERN
- BUFFER ZONE
- WORK AREA
- TMA - TRAFFIC MOUNTED ATTENUATOR W/ ARROW BOARD



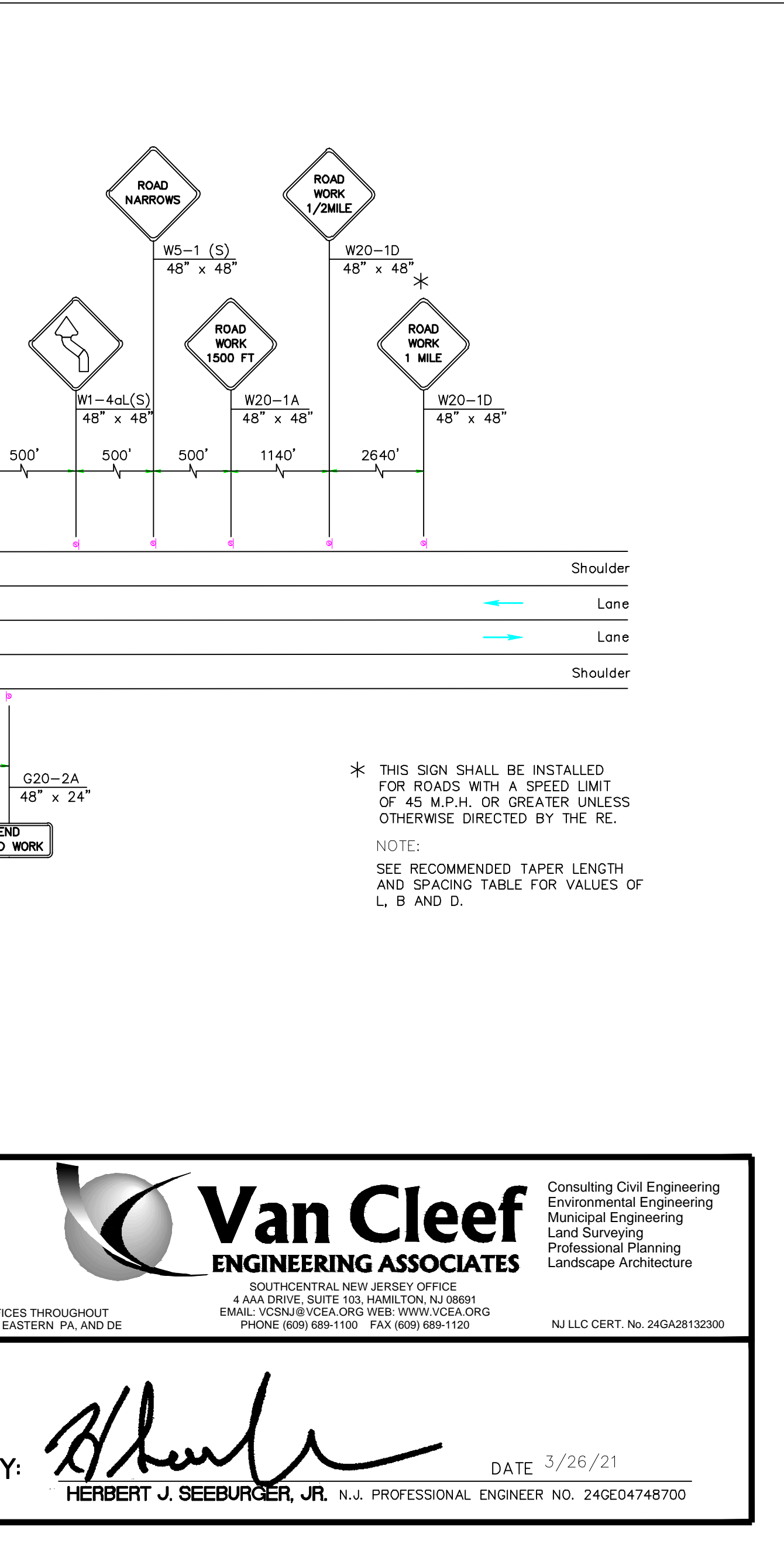
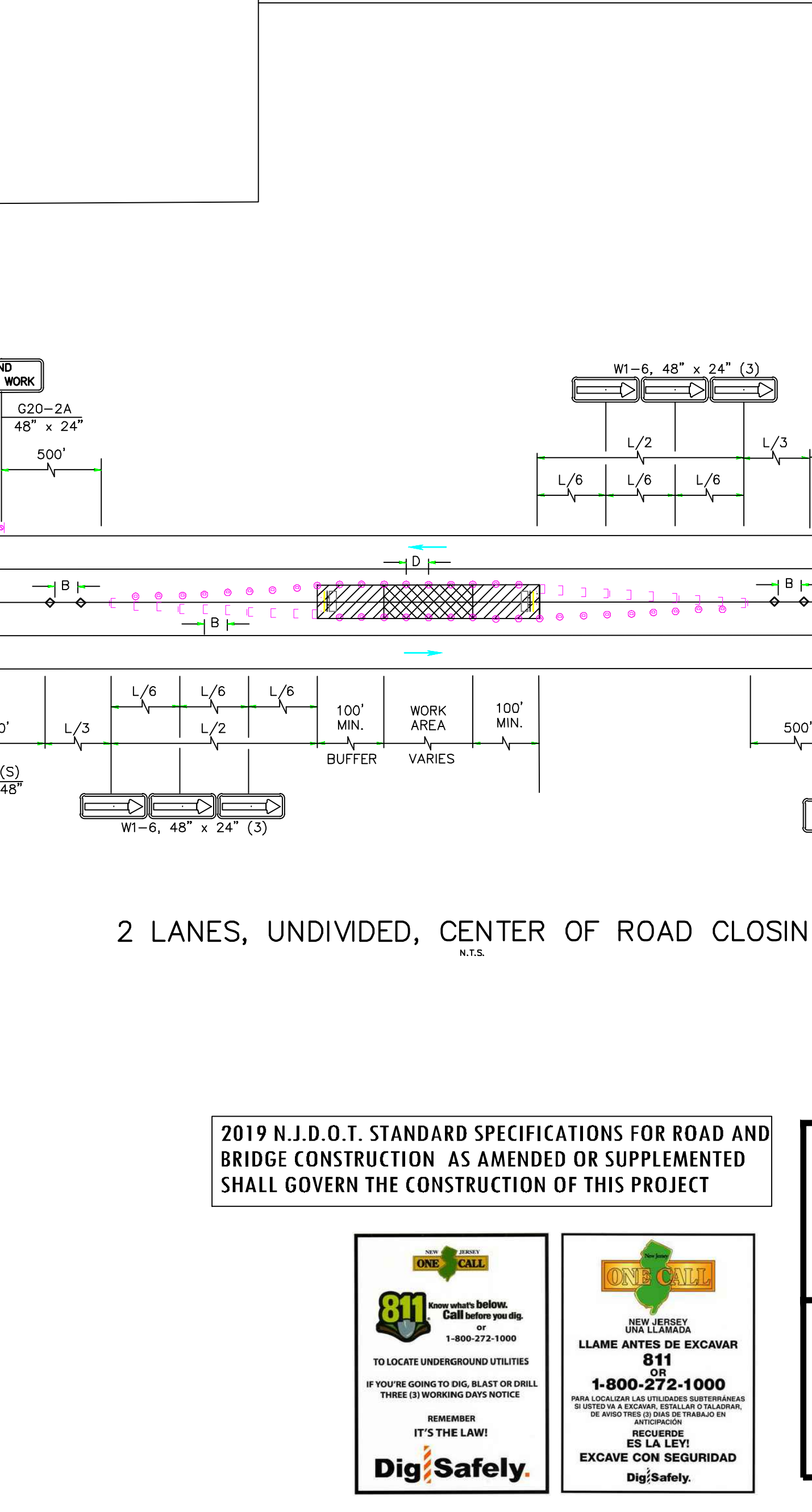
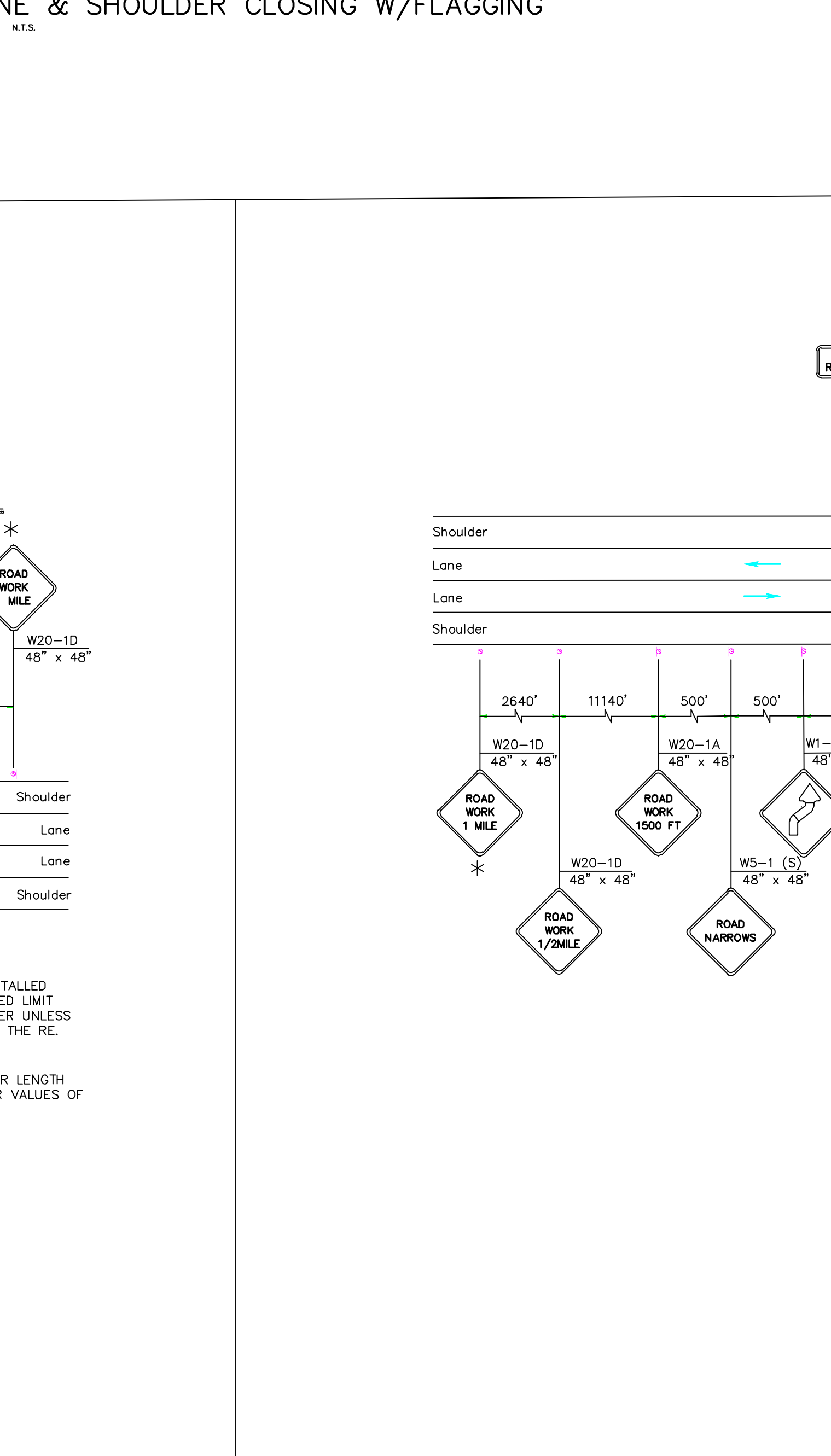
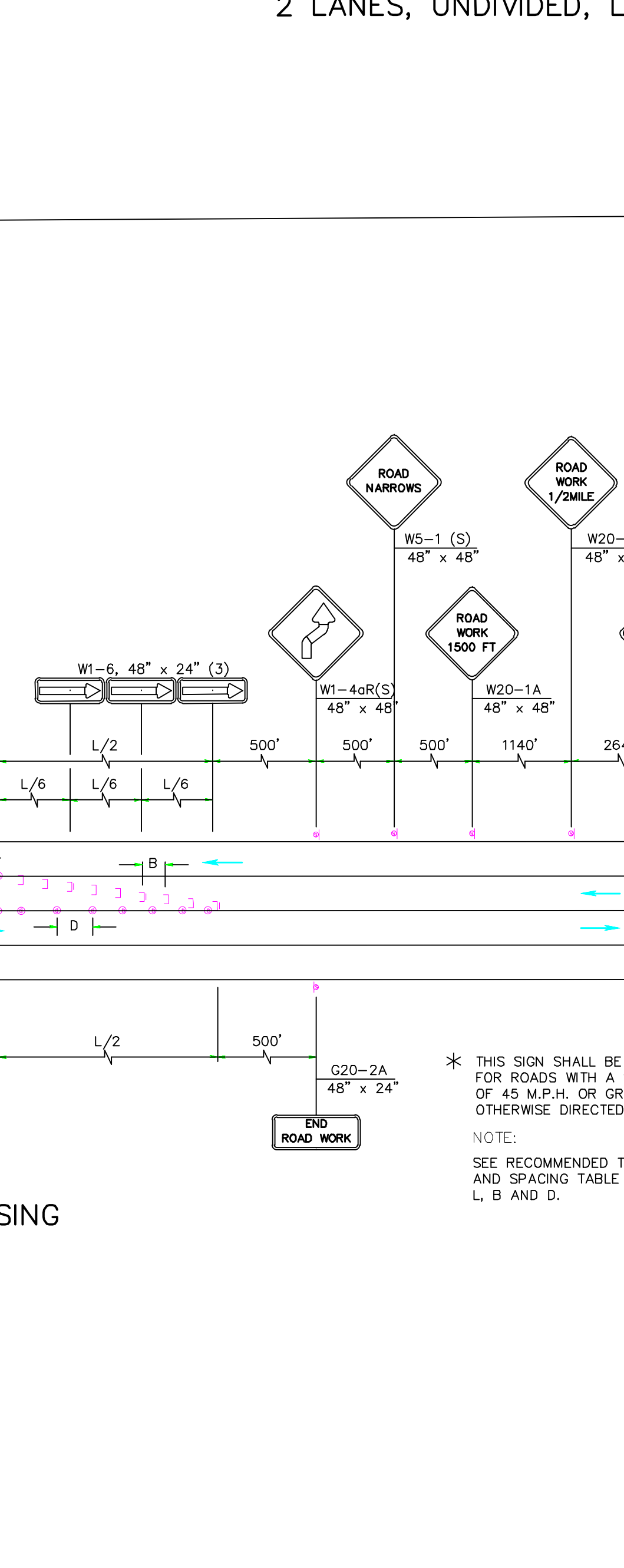
GENERAL NOTES:

- ADVANCE WARNING SIGNS AND TAPERS SHOULD BE EXTENDED AS SIGHT DISTANCES REQUIRE TO ADJUST FOR REDUCED VISIBILITY DUE TO THE HORIZONTAL AND VERTICAL CURVATURE OF THE ROADWAY. TAPERS MAY ALSO BE EXTENDED FOR PREVAILING SPEEDS.
- CONSTRUCTION SIGNS WB-2A AND WB-1A SHALL BE USED WHEN SUCH PAVEMENT CONDITIONS EXIST THAT THE PLACEMENT OF THESE SIGNS SHALL BE AS DIRECTED BY THE ENGINEER.
- CONSTRUCTION SIGNS W1-1A SHALL BE PLACED AT THE INTERSECTION STRIPS, UNLESS INDICATED TO THE CONTRARY BECAUSE OF CONSTRUCTION.
- A W1-5 SIGN MOUNTED ON A BREAKAWAY BARRICADE AND CENTERED ON THE CLOSED WIDTH SHALL BE LOCATED 50 FEET BEYOND EACH INTERSECTION OR MAIN ACCESS POINT WITHIN THE AREA OF A LANE OR SHOULDER CLOSURE.
- CONES MAY BE SUBSTITUTED FOR DRUMS UPON APPROVAL OF THE ENGINEER.
- ALL CONFLICTING STRIPES SHALL BE REMOVED.
- REMOVABLE PAVEMENT MARKING TAPE OR OTHER MEANS OF TRAFFIC CONTROL SHALL BE UTILIZED WHERE LANE SHIFTS ARE REQUIRED ON INTERMEDIATE OR TOP PAVEMENT LAYERS ON EXISTING PAVEMENTS NOT BEING REPAVED.
- UNLESS OTHERWISE SPECIFIED, TRAFFIC PAINT SHALL BE USED WHEN TRAFFIC STRIPES OR TRAFFIC MARKINGS ARE REQUIRED ON INTERMEDIATE PAVEMENT LAYERS THAT NEED TO BE GRIND TO TRAFFIC DUE TO STAGE CONSTRUCTION.
- THIS PLAN NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).



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2019 N.J.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AMENDED OR SUPPLEMENTED SHALL GOVERN THE CONSTRUCTION OF THIS PROJECT

Van Cleef Engineering Associates
Consulting Civil Engineering
Environmental Engineering
Municipal Engineering
Land Surveying
Professional Planning
Landscape Architecture

OFFICES THROUGHOUT NJ, EASTERN PA. AND DE
4 AAA DRIVE, SUITE 103, HARTFORD, NJ 08611
EMAIL: VCA@VANCLEEF.COM WEB: WWW.VANCLEEF.COM
PHONE: (609) 889-1100 FAX: (609) 889-1120 NJ LIC. CERT. NO. 246204120000

BY: **Herbert J. Seeburger, Jr.** DATE: 3/26/21
HERBERT J. SEEBURGER, JR., N.J. PROFESSIONAL ENGINEER NO. 246204148700

WILLIAM D. HOPKINS II, AIA, LEED AP
1000 Whittaker Ave., Suite 100
GEORGE R. DUTHIE JR., AIA, PP
1000 Whittaker Ave., Suite 100
N.J. 08028

5/26/2021
Date

William D. Hopkins II
Architect

F.V.H.D.P.C.O.M.
F.V.H.D.P.C.O.M.

GFVHHD architects
planners

Fraytak Veisz Hopkins Duthie P C
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
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Drawn By
R.R.F.

Scale
N.T.S.

Drawing Name
TRAFFIC CONTROL DETAILS

Revisions
No. Date Description

Drawing Number
C-113

SPECIAL INSPECTION NOTES:

THE FOLLOWING "SPECIAL INSPECTIONS" SHALL APPLY TO THIS PROJECT, AS DEFINED IN IBC-2018 NJ EDITION, CHAPTER 17, SECTION 1705. SEE SPECIFICATION SECTION 01400.

1705-2 - STEEL CONSTRUCTION - SEE SPECIFICATION SECTIONS 05120, 05210 & 05300
 1705-3 - CONCRETE CONSTRUCTION - SEE SPECIFICATION SECTION 05300
 1705-4 - MASONRY CONSTRUCTION
 1705-5 - DRYWALL
 1705-6 - SOIL CONDITIONS, FILL PLACEMENT AND LOAD-BEARING REQUIREMENTS - SEE SPECIFICATION SECTION 02200
 1705-7 - DRIVEN DEEP FOUNDATIONS
 1705-8 - CAST-IN-PLACE DEEP FOUNDATIONS
 1705-9 - HELICAL PILE FOUNDATIONS
 1705-10 - FABRICATIONS - SEE SPECIFICATION SECTIONS 05120, 05210 & 05300
 1705-11 - CHIMNEYS
 1705-12 - SEISMIC RESISTANCE
 1705-13 - TESTING FOR SEISMIC RESISTANCE
 1705-14 - SPRAYED FIRE-RESISTANT MATERIALS - SEE SPECIFICATION SECTION 07250
 1705-15 - MAINTIC AND INTUMESCENT FIRE-RESISTANT COATINGS - SEE SPECIFICATION SECTION 07260
 1705-16 - ELEVATOR RISERWAY AND HOIST SYSTEMS (RHS)
 1705-17 - FIRE-RESISTANCE PENETRATIONS AND JOINTS - SEE SPECIFICATION SECTIONS 07340 AND 07350
 1705-18 - SMOKE CONTROL

THE INSPECTOR (FRMS) SHALL SUBMIT CERTIFICATIONS TO NJ DCA PRIOR TO PERMIT RELEASE.

APPLICABLE CODES:

THIS PROJECT WAS DESIGNED UNDER THE FOLLOWING CODES:

CONSTRUCTION CODE (ALTERATIONS) - NEW JERSEY REHABILITATION SUBCODE S224
 BUILDING SUBCODE - INTERNATIONAL BUILDING CODE 2018 - NEW JERSEY EDITION
 BARRIER-FREE SUBCODE - N.J.A.C. 8:23-7 AND ICC-ANSI A117.1-2009
 PLUMBING SUBCODE - NATIONAL STANDARD PLUMBING SUBCODE 2018
 MECHANICAL SUBCODE - INTERNATIONAL MECHANICAL CODE 2018
 ELECTRICAL SUBCODE - NATIONAL ELECTRICAL CODE 2017
 FUEL GAS SUBCODE - INTERNATIONAL FUEL GAS CODE 2018
 ENERGY CONSERVATION SUBCODE - ASHRAE 90.1 2018

CODE ANALYSIS - HEIGHT AND AREA LIMITATIONS:

NOTE: THE HEIGHTS AND AREAS OF THE EXISTING REMAINING BUILDINGS ARE NOT CHANGED UNDER THIS PROJECT. THEREFORE, NO CODE ANALYSIS OF THE EXISTING BUILDINGS IS PROVIDED.

TABULATION OF PLUMBING FIXTURES (EXISTING BUILDINGS):

(FROM 2018 NATIONAL STANDARD PLUMBING CODE)

THE FUNCTIONAL CAPACITY OF THE EXISTING REMAINING BUILDINGS HAS NOT BEEN CHANGED UNDER THIS PROJECT. NO STUDENT-USE SANITARY PLUMBING FIXTURES HAVE BEEN ADDED OR REMOVED. THEREFORE, NO ANALYSIS OF THE EXISTING BUILDINGS HAS BEEN PROVIDED.

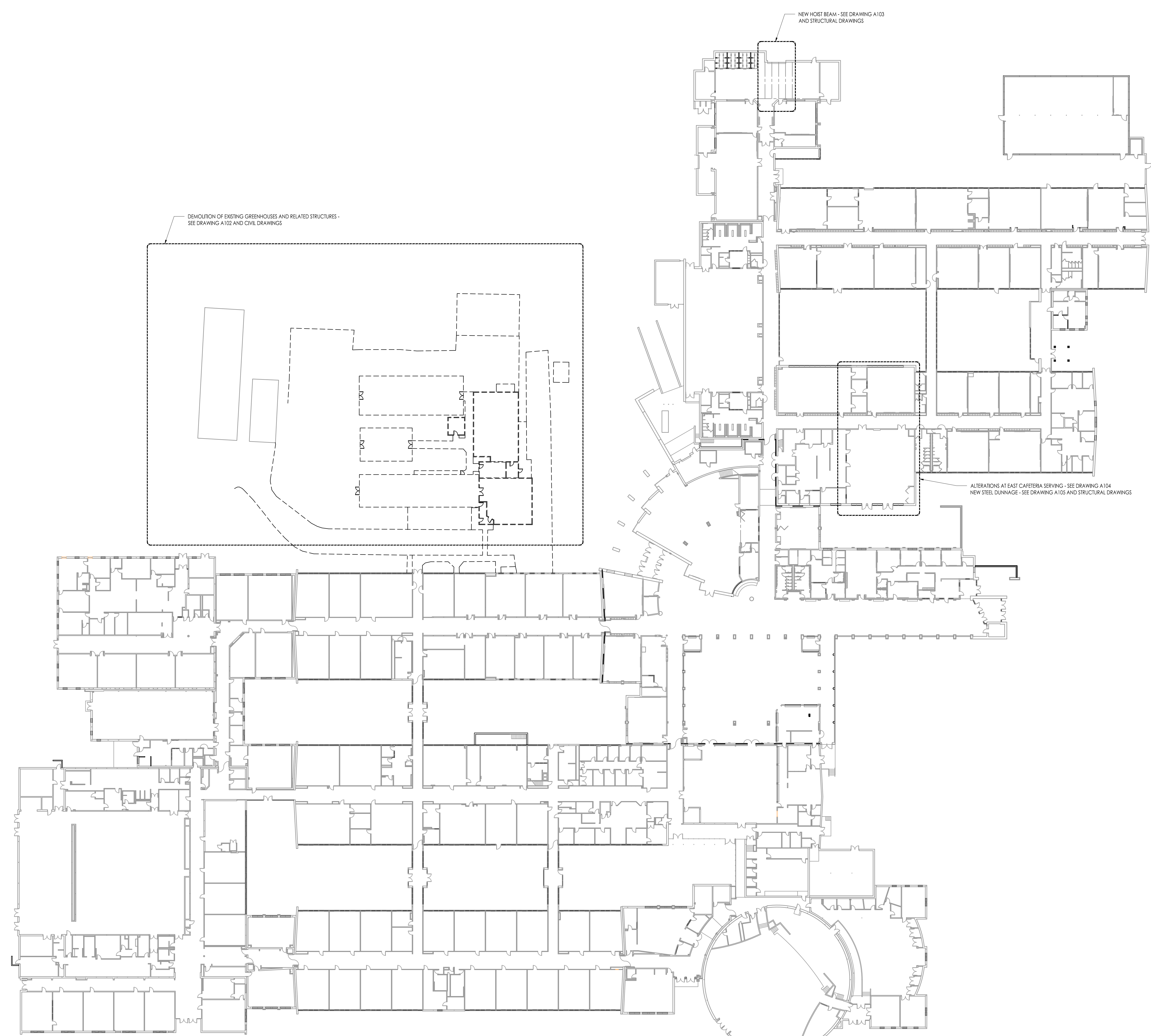
FIRE EXTINGUISHER SCHEDULE (EXISTING BUILDINGS):

(FROM NATIONAL FIRE PROTECTION ASSOCIATION CODES)

THE FLOOR PLAN AREA OF THE EXISTING REMAINING BUILDINGS HAS NOT BEEN CHANGED UNDER THIS PROJECT. NO FIRE EXTINGUISHERS HAVE BEEN ADDED OR REMOVED. THEREFORE, NO ANALYSIS OF THE EXISTING BUILDINGS HAS BEEN PROVIDED.

EXISTING FIRE ALARM SYSTEM NOTES:

- IF ANY PORTION OF THE EXISTING FIRE ALARM SYSTEM MUST BE TAKEN OUT OF SERVICE FOR ANY LENGTH OF TIME, THE LOCAL FIRE MARSHAL MUST BE CONTACTED AND MUST APPROVE SHUTDOWN PLANS, PROCEDURES, AND FIRE WATCH PLANS THAT WILL BE IMPLEMENTED.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE LOCAL FIRE MARSHAL CONCERNING THE EXISTING FIRE ALARM SYSTEM AND SPRINKLER SYSTEM SHUTDOWN PLANS, PROCEDURES, AND FIRE WATCH PLANS THAT WILL BE IMPLEMENTED.
- NOTE THAT TEMPORARILY COVERING EXISTING DETECTION DEVICES TO PREVENT ACCIDENTAL ALARM ACTIVATIONS DUE TO DUST AND DRIP CONSTITUTES A PARTIAL SHUTDOWN OF THE EXISTING FIRE ALARM SYSTEM.



Key Plan
Scale: 1/32" = 1'-0"

WILLIAM D. HOPKINS III, AIA, LEED AP
 No. 0000000174 - 06/15/2020
 GEORGE R. DUTHIE, JR., AIA, PP
 No. 24029200
 5/26/2021
 Date
 Architect

GFVHD architects
 planners
 Fraytak Veisz Hopkins Duthie P.C.
 Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
 Pennsylvania: 140 Whitaker Ave. - Mont Clare - Pennsylvania 19453

F V H D P C O M

Project Name
 Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name
 Northern Burlington County Regional School District

Project Location
 160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
 5086.9

Project Date
 03.26.2021

Checked By
 W.D.H.

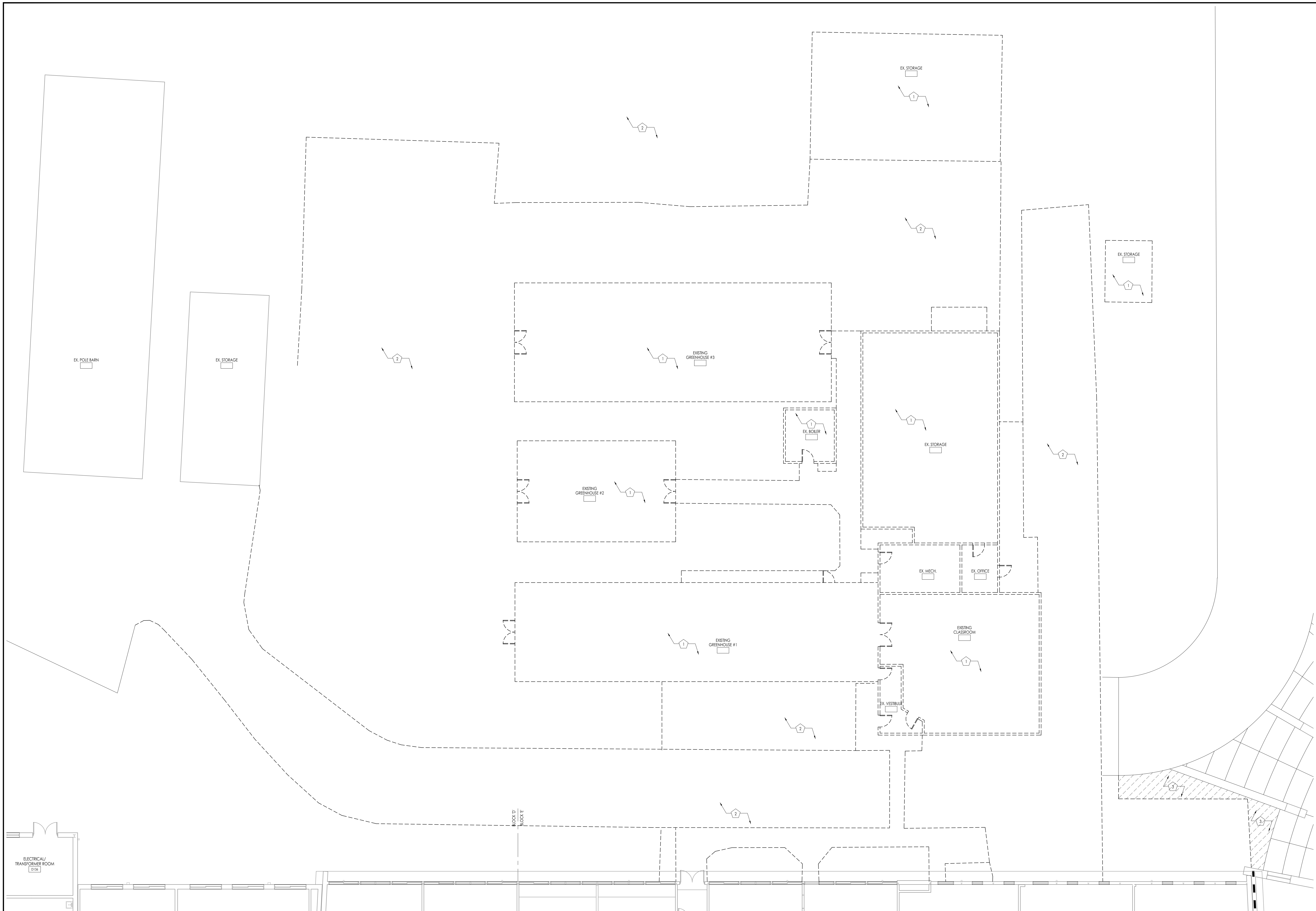
Drawn By
 NEH

Scale
 As Noted

Drawing Name
 Key Plan and Code Information

Revisions		
No.	Date	Description

Drawing Number
A101



Demolition Plan - Existing Greenhouses and Outbuildings
Scale: 1/8" = 1'-0"

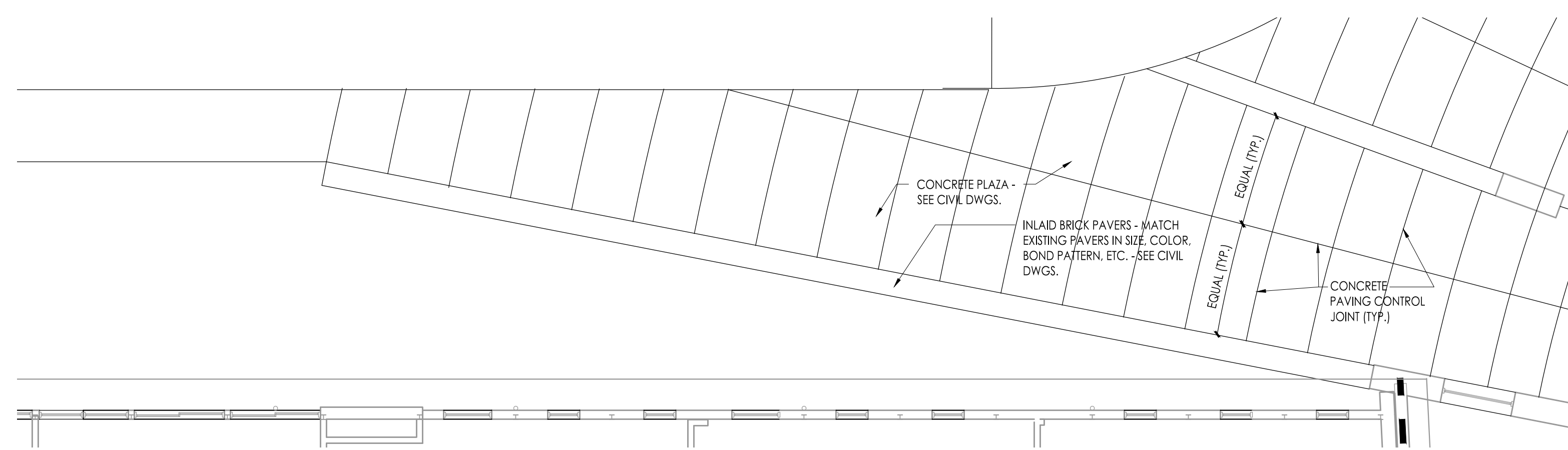
DEMOLITION / RENOVATION NOTES:

SEE GENERAL NOTES ON DEMOLITION ON DRAWING ANX. THESE DEMOLITION / RENOVATION NOTES ARE KEYED TO WORK SHOWN ON THIS DRAWING ONLY. DO NOT REFERENCE THESE NOTES FROM ANY OTHER DRAWING.

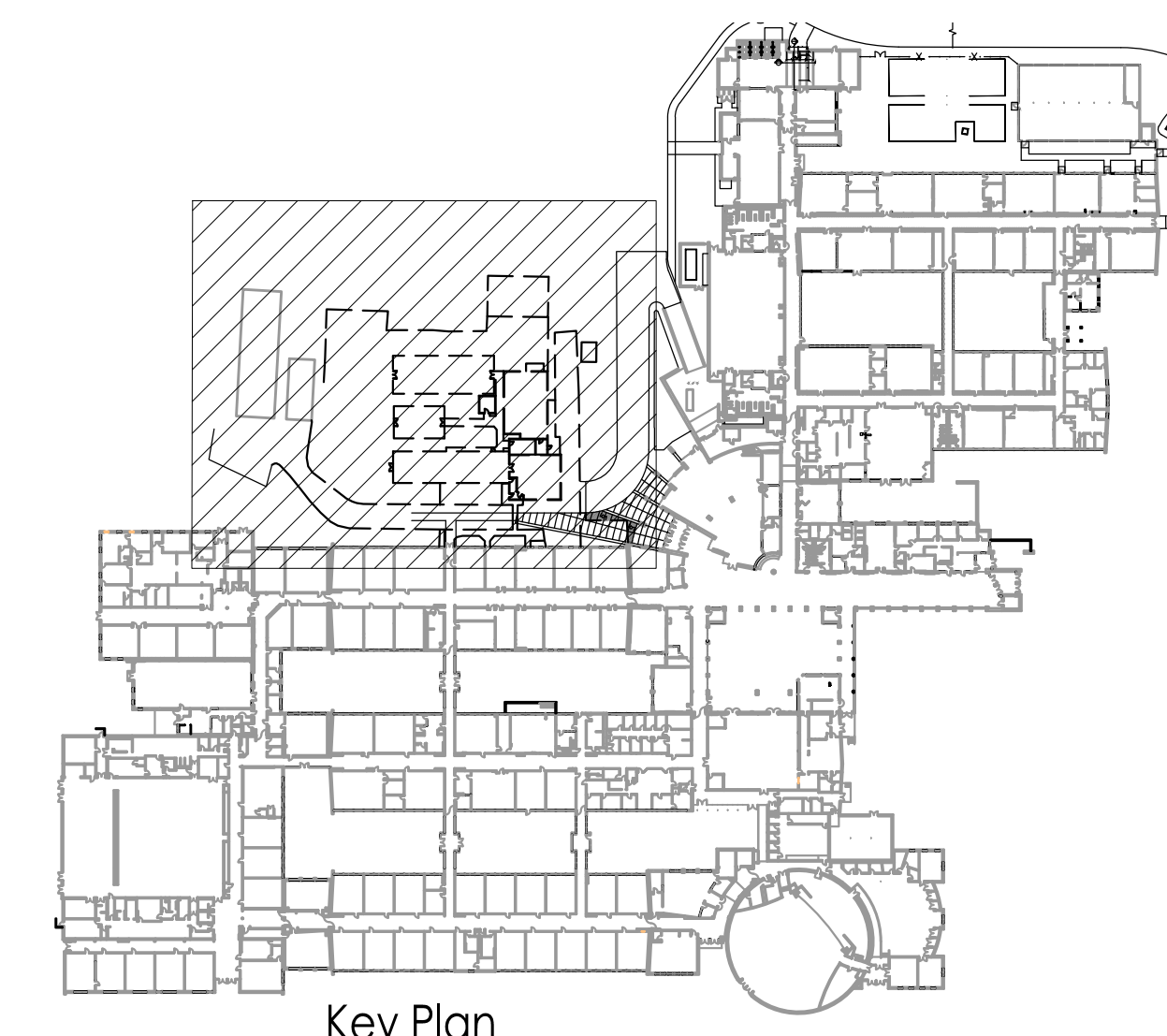
GENERAL NOTE: THE OWNER HAS THE RIGHT OF FIRST REFUSAL FOR ALL EQUIPMENT AND FIXTURES (CABINETS, SHELVING, PLUMBING FIXTURES, ETC.) REMOVED UNDER CONTRACT. IF THE OWNER DOES NOT EXERCISE THIS RIGHT FOR AN INDIVIDUAL PIECE OF EQUIPMENT, THE CONTRACTOR SHALL REMOVE SAID EQUIPMENT FROM THE SITE.

EXTERIOR / BUILDING

- DEMOLISH AND REMOVE EXISTING BUILDING IN ITS ENTIRETY, INCLUDING COLUMNS, FLOOR SLAB, FOUNDATION AND FOOTINGS. ALL PLUMBING, HVAC, ELECTRICAL DEMOLITION WORK BY RESPECTIVE TRADE PRIME OR SUB CONTRACTOR. ALL OTHER DEMOLITION WORK BY GENERAL CONSTRUCTION PRIME CONTRACTOR.
- SEE SITE WORK DRAWINGS FOR ALL SITE WORK DEMOLITION WORK IN THIS AREA. PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY SITE WORK DEMOLITION TO MATCH EXISTING ADJACENT SURFACES.
- SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK IN HATCHED AREA SHOWN. EXISTING CURB AND PAVERS SHALL REMAIN. CONSTRUCT NEW PLAZA WITH CONCRETE AND PAVERS AS SHOWN IN PLAZA PLAN.



Partial Plan - Extension of Existing Plaza
Scale: 1/8" = 1'-0"



Key Plan
Scale: N.T.S.

WILLIAM D. HOPKINS III, AIA, LEED AP
Principal
GEORGE R. DUTHIE, JR., AIA, PP
Principal
NO. 274279200
Date: 3/26/2021
Architect: William D. Hopkins

GFVHD architects
planners
Fraytak Veisz Hopkins Duthie P.C.
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave. - Mont Clare - Pennsylvania 19453
F V H D P C . C O M

Project Name
Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name
Northern Burlington County Regional School District

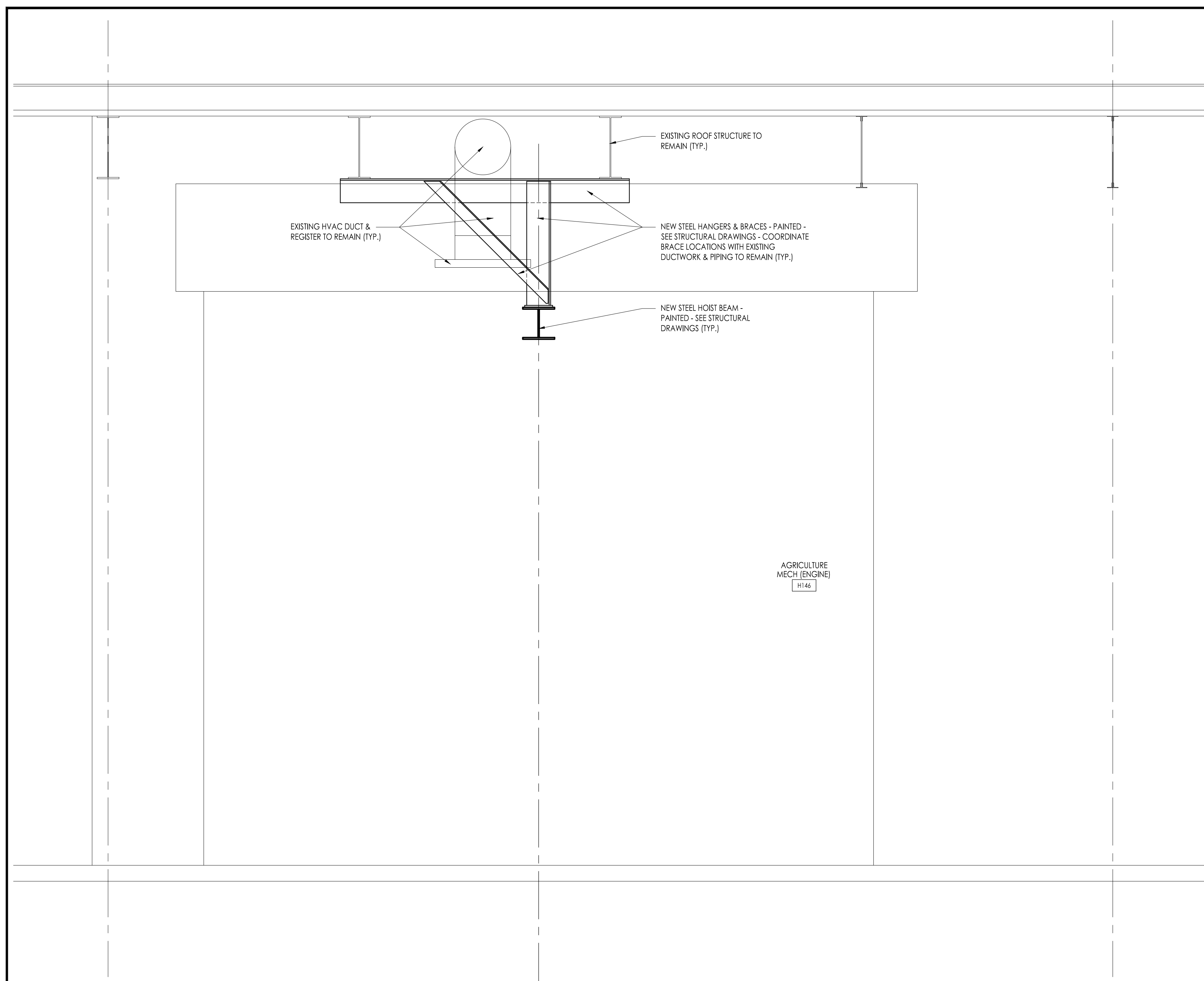
Project Location
160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
5086.9
Project Date
03.26.2021
Checked By
W.D.H.
Drawn By
NEH
Scale
1/8" = 1'-0"

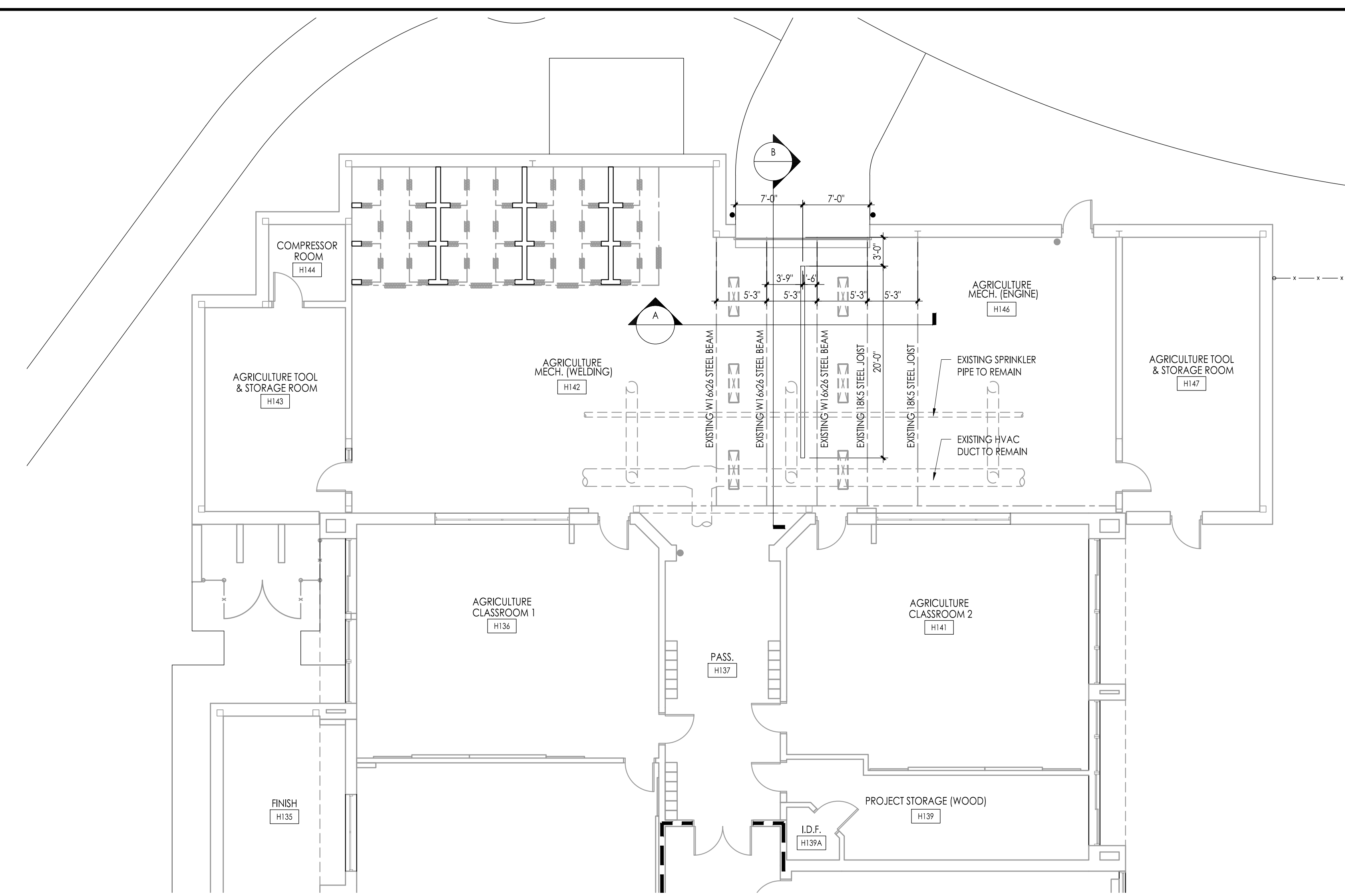
Drawing Name
Demolition Plan - Existing Greenhouses and Outbuildings

Revisions		
No.	Date	Description

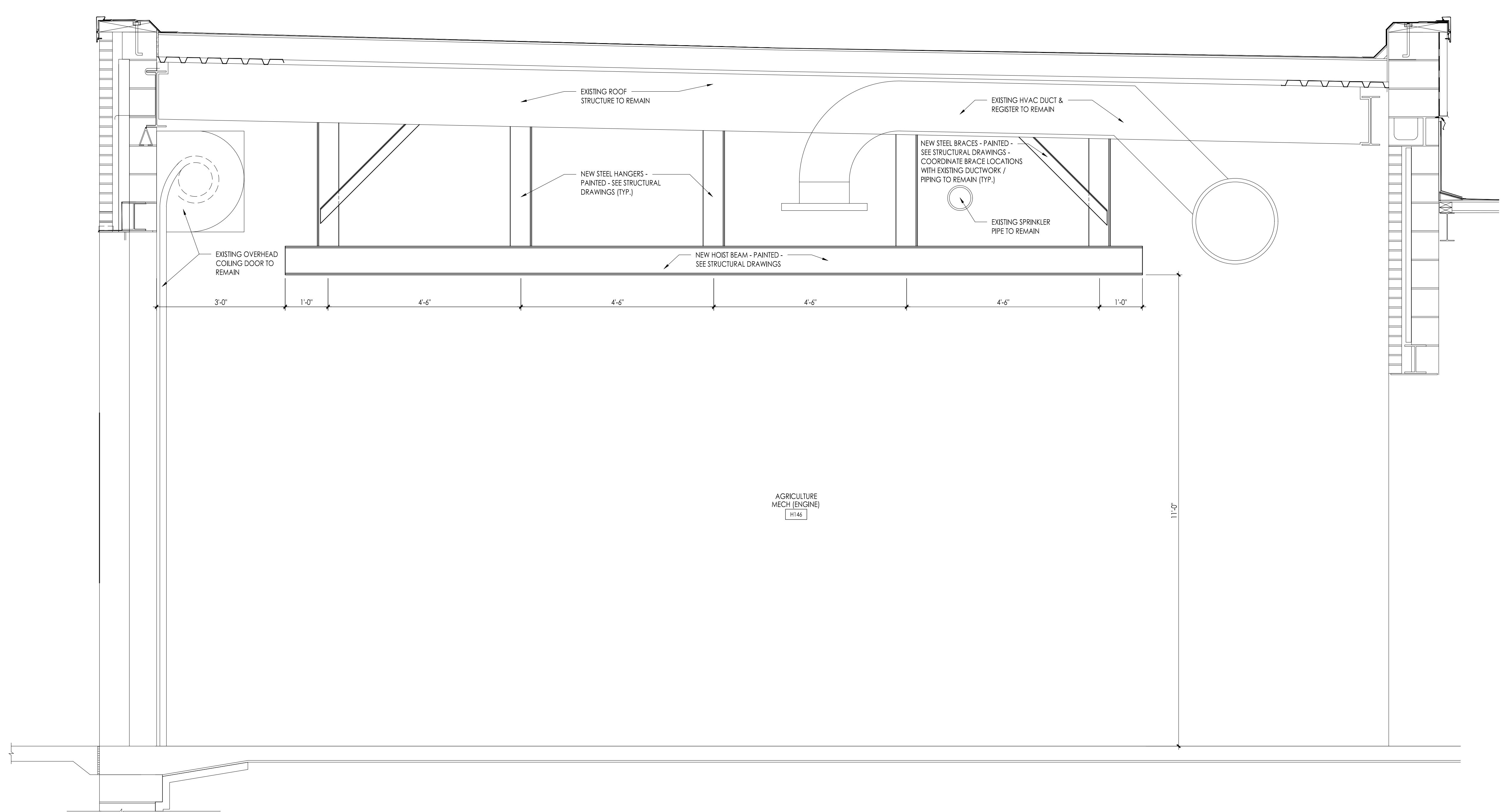
Drawing Number
A102



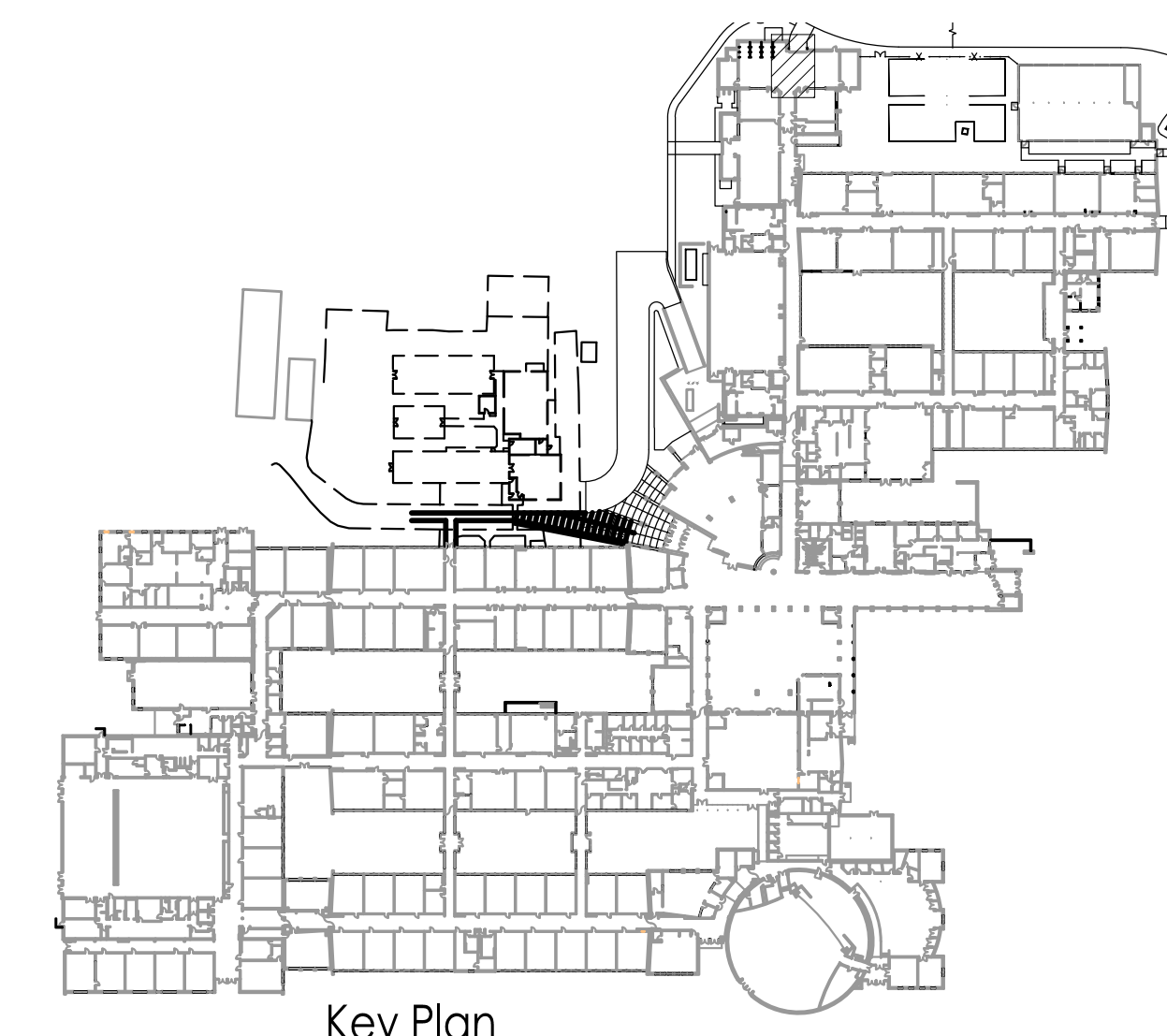
A Wall Section
Scale: 3/4" = 1'-0"



Floor Plan - Agriculture Mech (Engine) H146
Scale: 1/8" = 1'-0"



B Wall Section
Scale: 3/4" = 1'-0"



WILLIAM D. HOPKINS III, AIA, LEED AP
No. 216866817 (PA-000000000000)
GEORGE R. DUTHIE, JR., AIA, PP
No. 214272920
Date: 5/28/2021
Architect: William D. Hopkins

GFVHD architects planners
Fraytak Veisz Hopkins Duthie P.C.
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave. - Mont Clare - Pennsylvania 19453
F.V.H.D.P.C. C.O.M.

Project Name
Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name
Northern Burlington County Regional School District

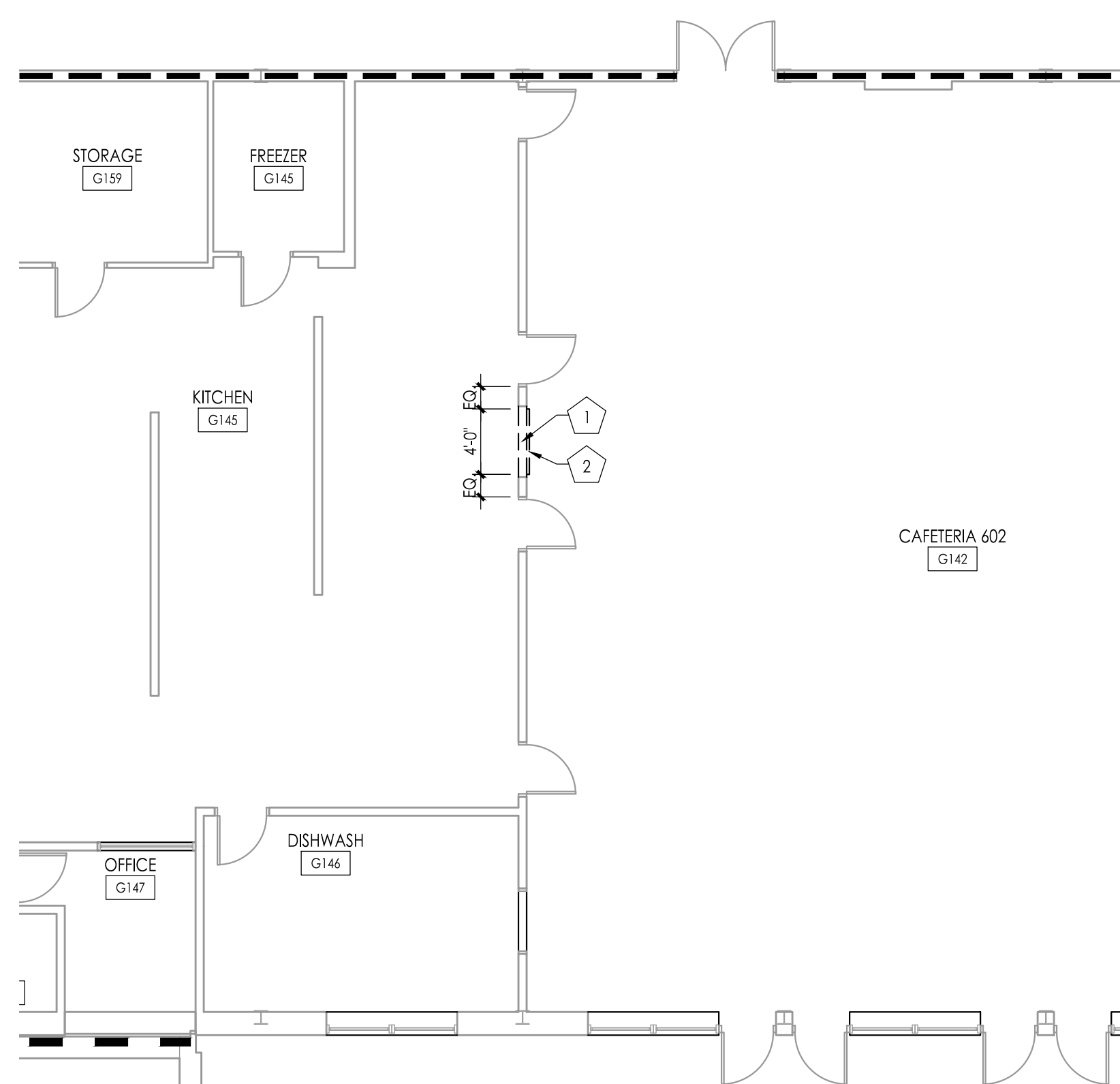
Project Location
160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
5086.9
Project Date
03.26.2021
Checked By
W.D.H.
Drawn By
NEH
Scale
As Noted

Drawing Name
New Hoist Beam at Agriculture / Mech (Engine) H146

Revisions	No.	Date	Description

Drawing Number
A103



Demolition Plan - East Cafeteria / Serving
Scale: 1/8" = 1'-0"

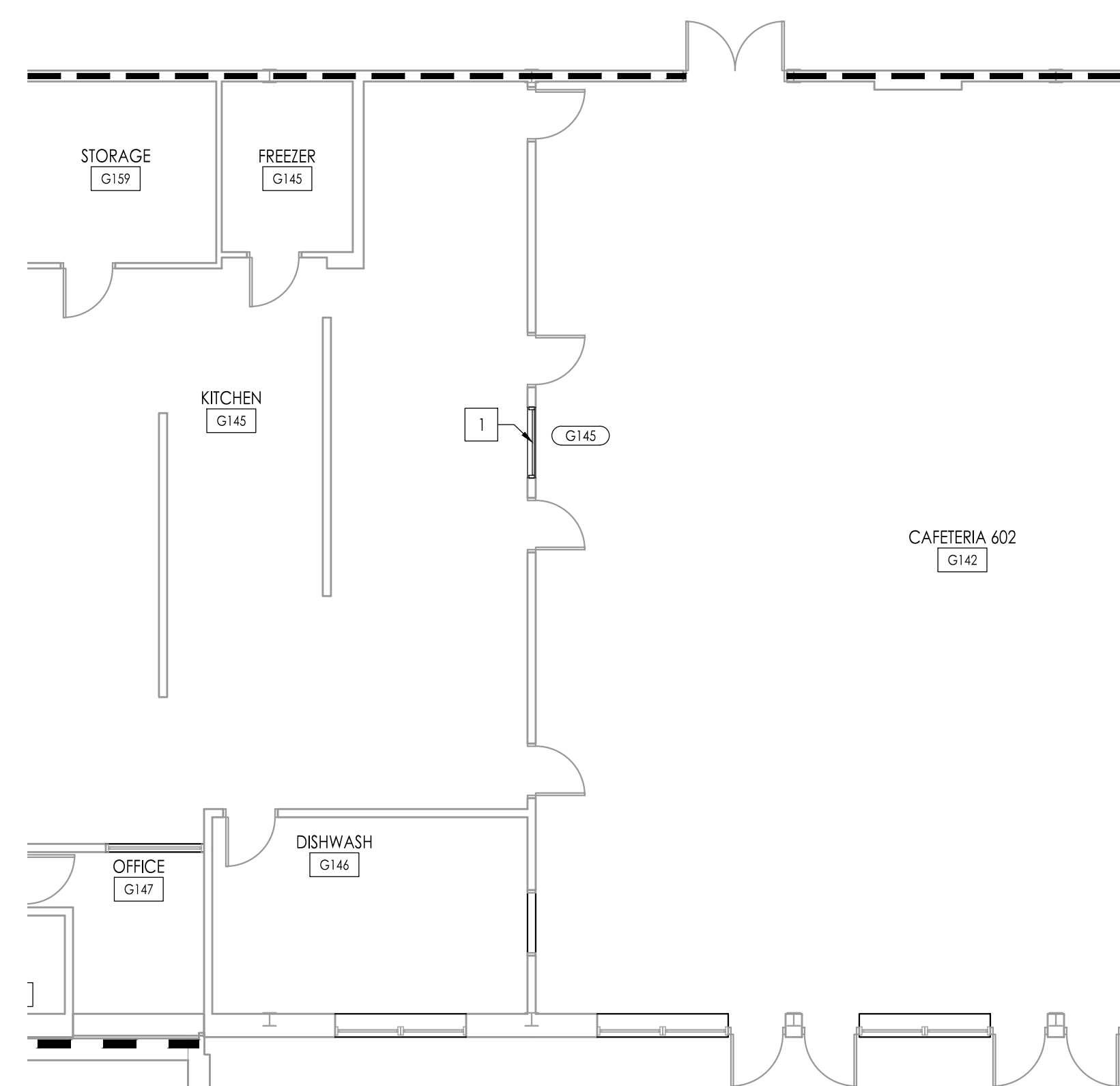
DEMOLITION NOTES:

SEE GENERAL NOTES ON DEMOLITION ON DRAWING A-100.

THESE DEMOLITION / RENOVATION NOTES ARE KEYS TO WORK SHOWN ON THIS DRAWING ONLY. DO NOT REFERENCE THESE NOTES FROM ANY OTHER DRAWING.

GENERAL NOTE: THE OWNER HAS THE RIGHT OF FIRST REFUSAL FOR ALL EQUIPMENT AND FIXTURES (CABINETS, SHELVING, PLUMBING FIXTURES, ETC.) REMOVED UNDER CONTRACT. IF THE OWNER DOES NOT EXERCISE THIS RIGHT FOR AN INDIVIDUAL PIECE OF EQUIPMENT, THE CONTRACTOR SHALL REMOVE SAID EQUIPMENT FROM THE SITE.

- BRACE AND SHORE UP EXISTING CONSTRUCTION TO REMAIN ABOVE NEW OPENING. SAWCUT AND REMOVE EXISTING WALL CONSTRUCTION TO WIDTH INDICATED ON DEMOLITION PLAN AND TO REST MASONRY COURSE 5' ABOVE NEW OPENING HEAD HEIGHT. PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY RENOVATION TO MATCH EXISTING ADJACENT FINISH, INCLUDING BRICK, TILE, BASE, PAINT, ETC. UNLESS SHOWN OTHERWISE ON PLANS.
- REMOVE EXISTING DRYMARKER BOARD IN ITS ENTIRETY, INCLUDING ADHESIVES AND MECHANICAL FASTENERS. PATCH, PLUG, FILL AND REFINISH ALL OPENINGS LEFT IN WALL AFTER REMOVAL. PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY RENOVATION. MATCH EXISTING ADJACENT FINISH. REINSTALL DRYMARKER BOARD IN NEW LOCATION AS DIRECTED BY OWNER / ARCHITECT.



Floor Plan - East Cafeteria / Serving
Scale: 1/8" = 1'-0"

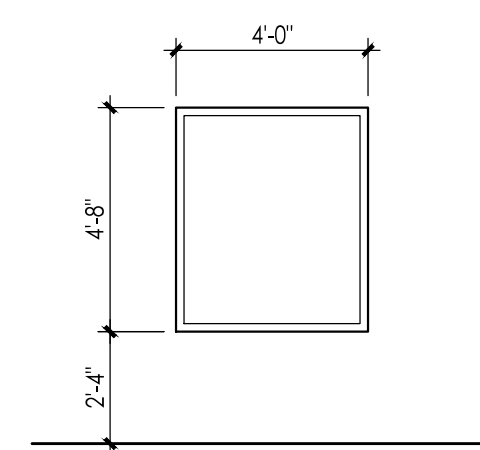
RENOVATION NOTES:

THESE RENOVATION NOTES ARE KEYS TO WORK SHOWN ON THIS DRAWING ONLY. DO NOT REFERENCE THESE NOTES FROM ANY OTHER DRAWING.

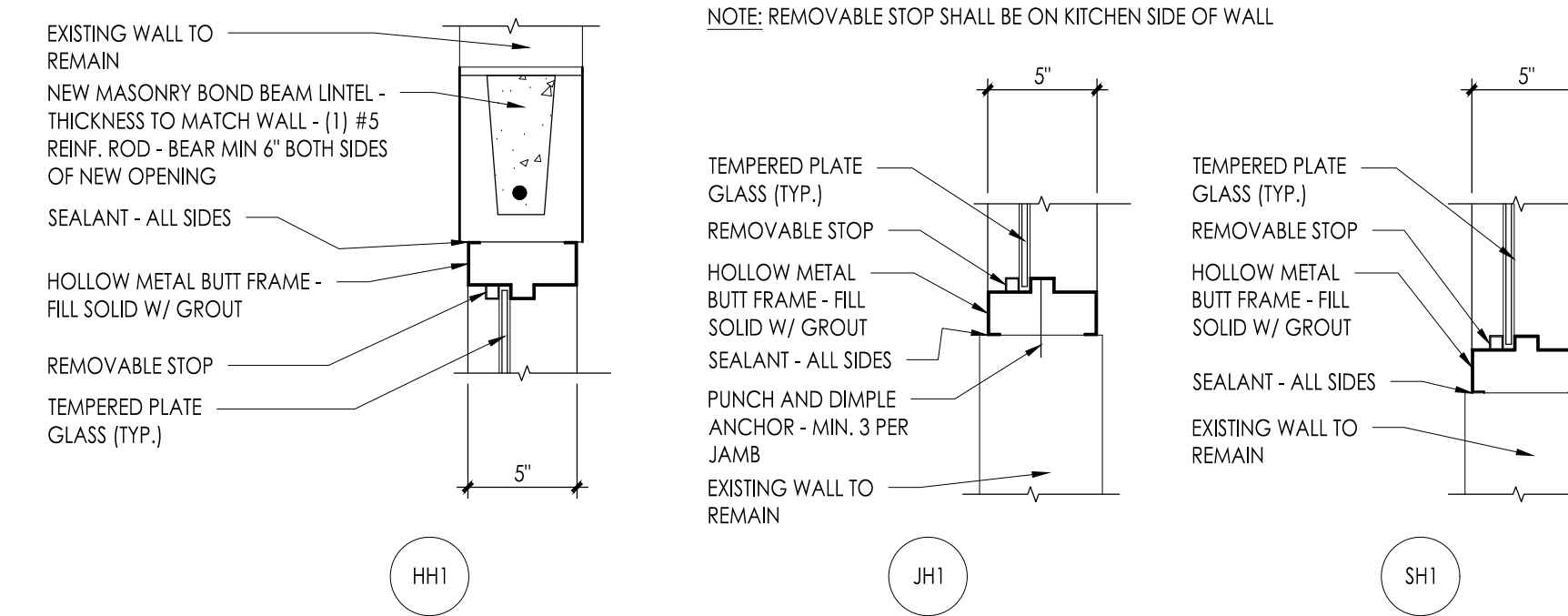
- SEE DEMOLITION PLAN AND NOTES. INFILL OPENING WITH NEW BORROWED LIGHT AND FRAME CONSTRUCTION AND UNTEL OF THICKNESS TO MATCH EXISTING ADJACENT WALL. NEW CAUL SHALL BE TOOTHED INTO EXISTING ADJACENT CAUL. SEE FLOOR PLAN AND DOOR SCHEDULE. FINISH ALL NEW AND NEWLY EXPOSED SURFACES AND PATCH AND REPAIR ALL DAMAGE AND VOIDS CAUSED BY RENOVATION TO MATCH EXISTING ADJACENT FINISH, INCLUDING BRICK, TILE, BASE, PAINT, ETC. UNLESS SHOWN OTHERWISE ON PLANS.

DOOR AND FRAME SCHEDULE

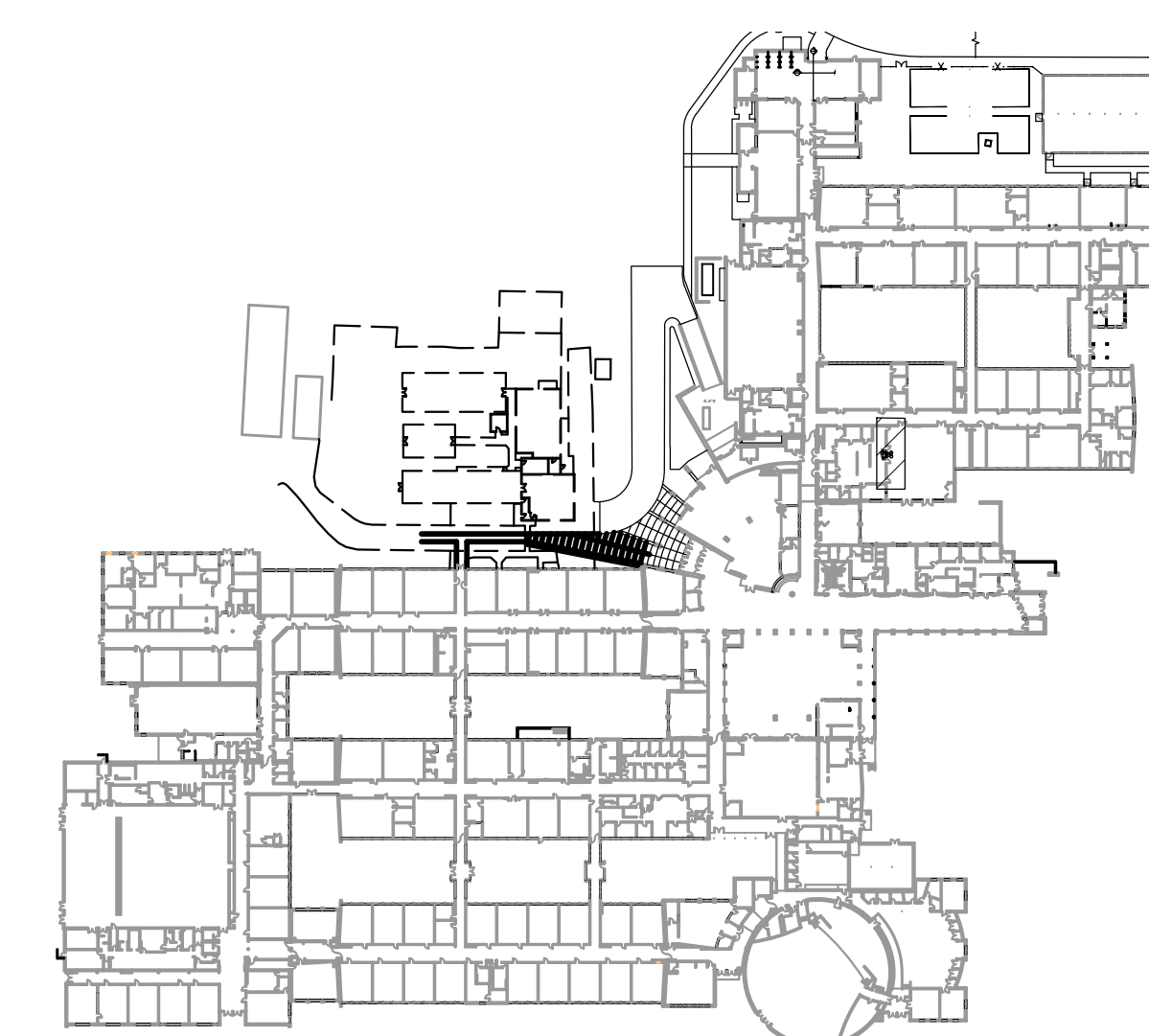
DR NO	DOOR LOCATION	DOOR				FRAME			HARDWARE	RATING	SIGN TYPE	NOTES
		SIZE	TYPE	MATL	GLAZING	TYPE	MATL	DETAIL				
G145	KITCHEN G145	4'-0" x 4'-8"	-	-	TPG	HA	HM	HH	JH	SH	-	BORROWED LIGHT



Hollow Metal Frame Types
Scale: 1/4" = 1'-0"



Hollow Metal Frame Details
Scale: 1-1/2" = 1'-0"



Key Plan
Scale: N.T.S.

WILLIAM D. HOPKINS III, AIA, LEED AP
No. 0-000000174-00000000
GEORGE R. DUTHIE, JR., AIA, PP
No. 0-000000000-00000000
Date: 3/26/2021
Architect: William D. Hopkins

GFVHD architects planners
Fraytak Veisz Hopkins Duthie P.C.
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave. - Mont Clare - Pennsylvania 19423
F V H D P C O M

Project Name
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Project Owner Name
Northern Burlington County Regional School District

Project Location
160 Mansfield Rd. East, Columbus, NJ 08022

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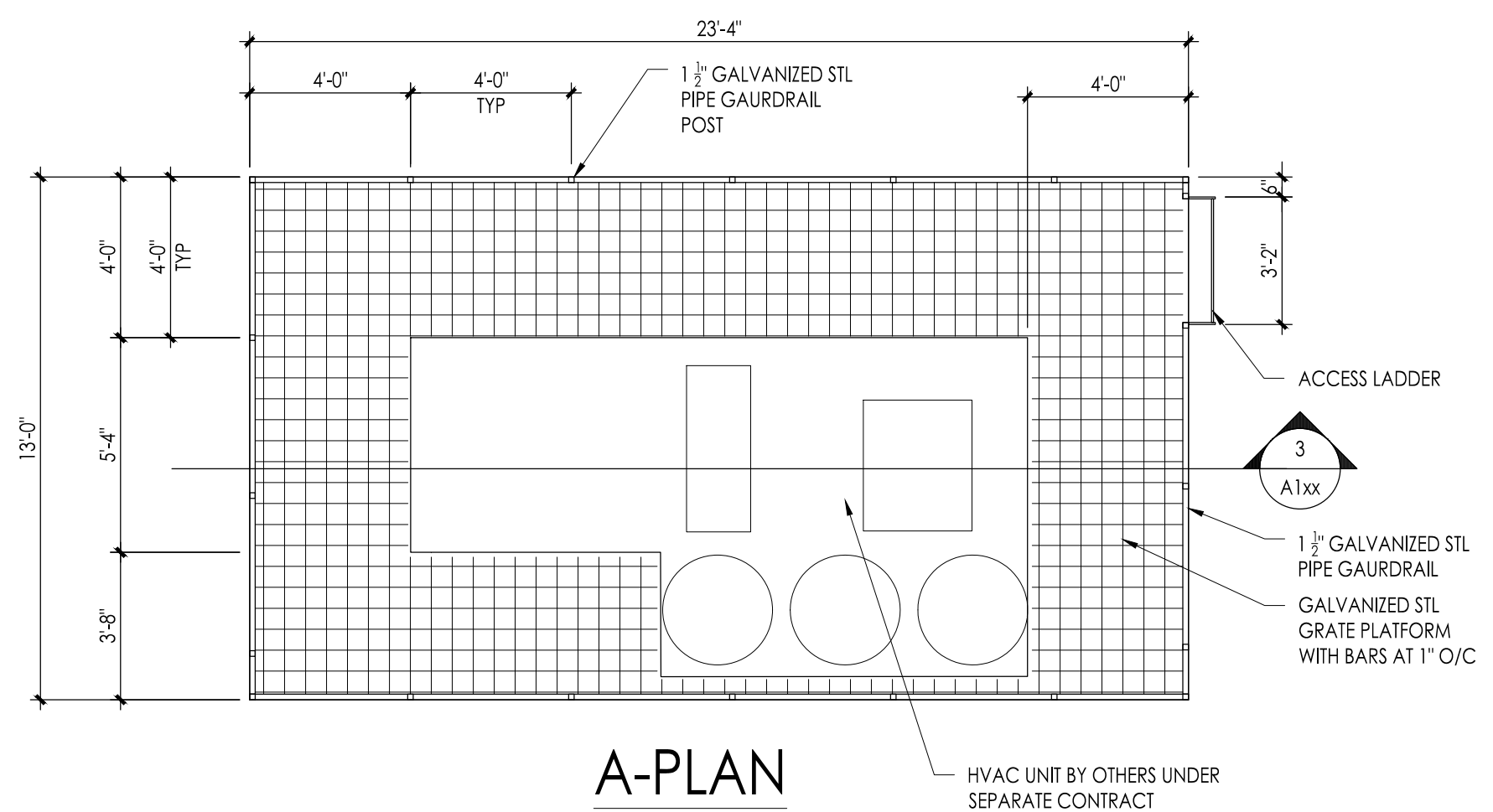
Drawn By
NEH

Scale
As Noted

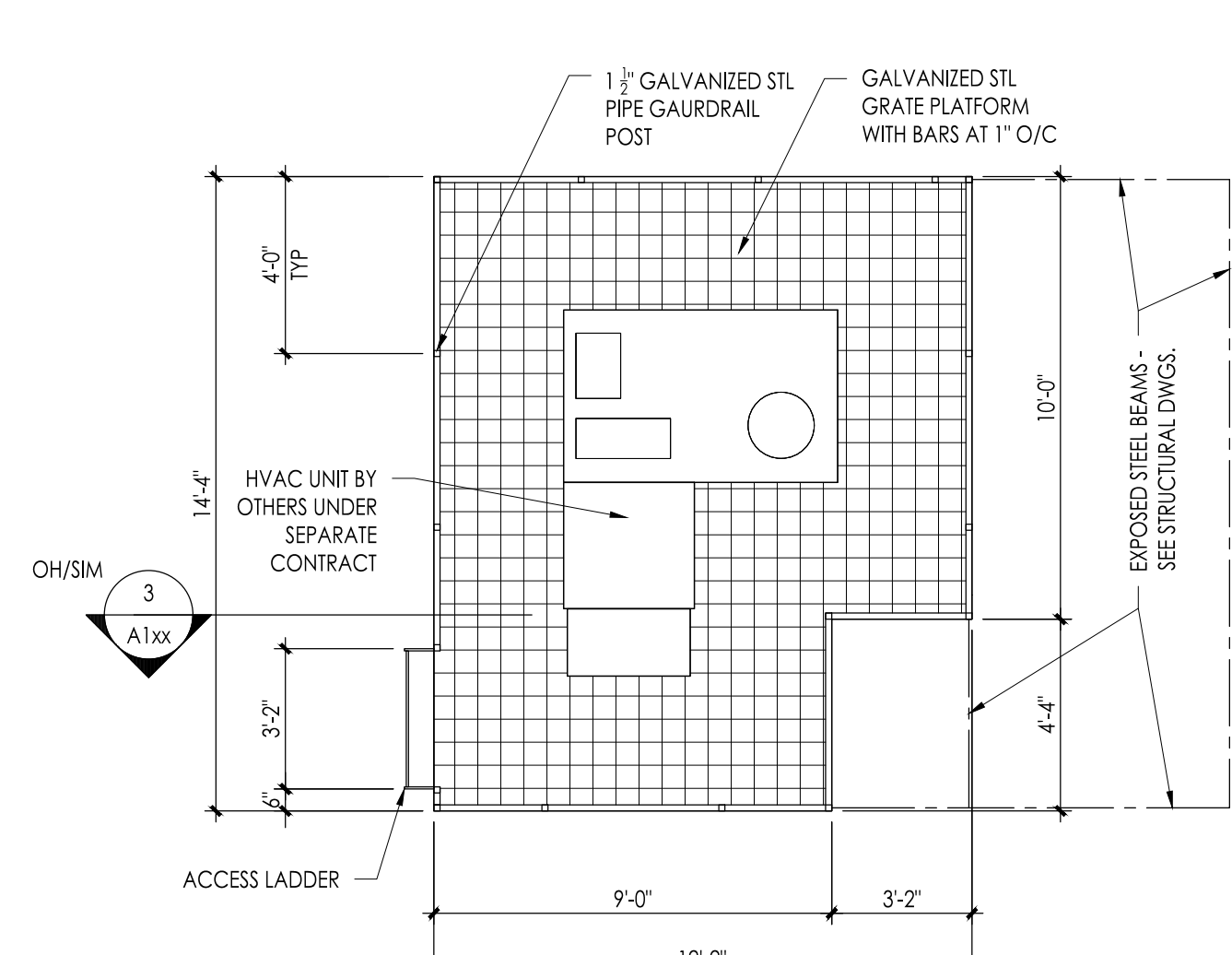
Drawing Name
New Borrowed Light at Kitchen G145

Revisions	No.	Date	Description

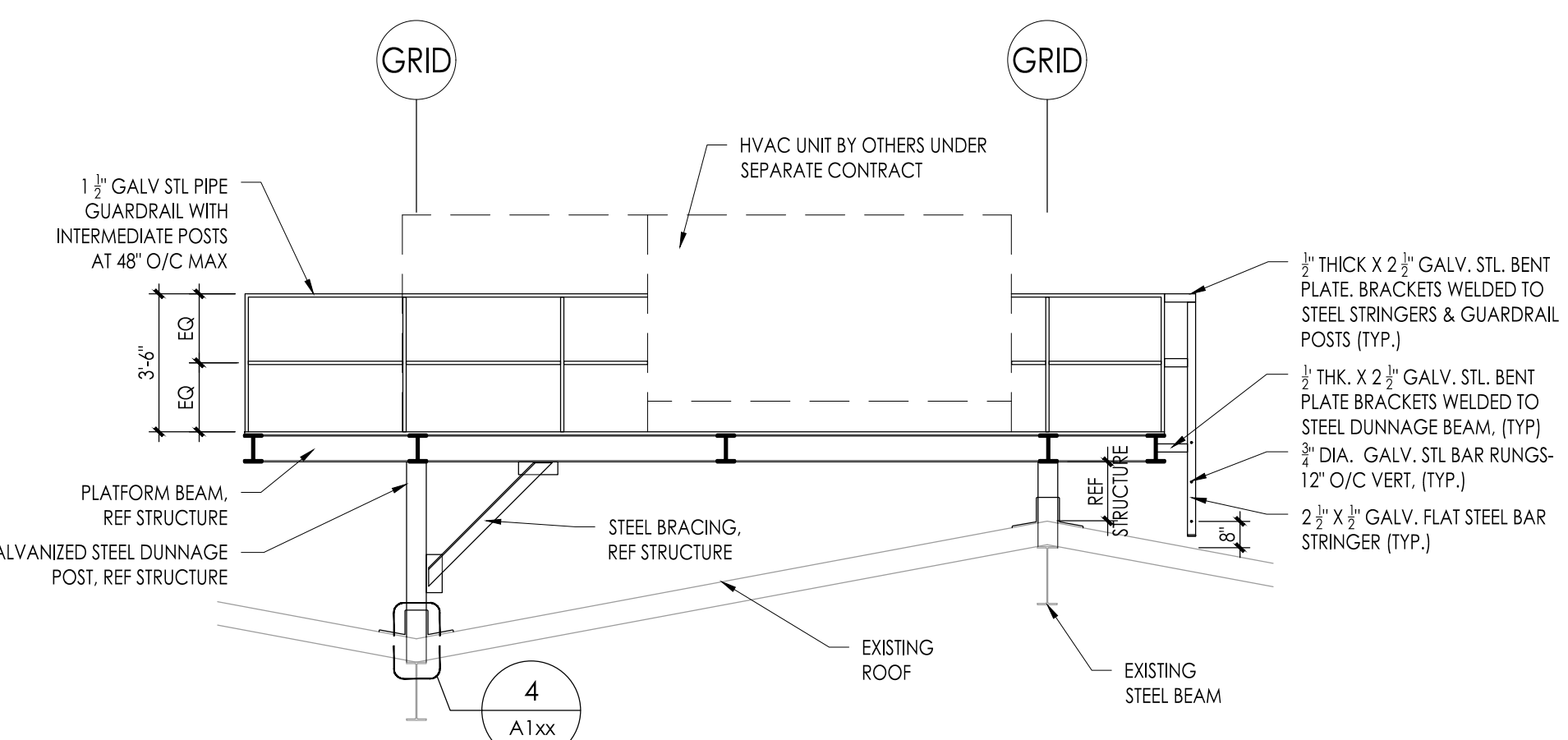
Drawing Number
A104



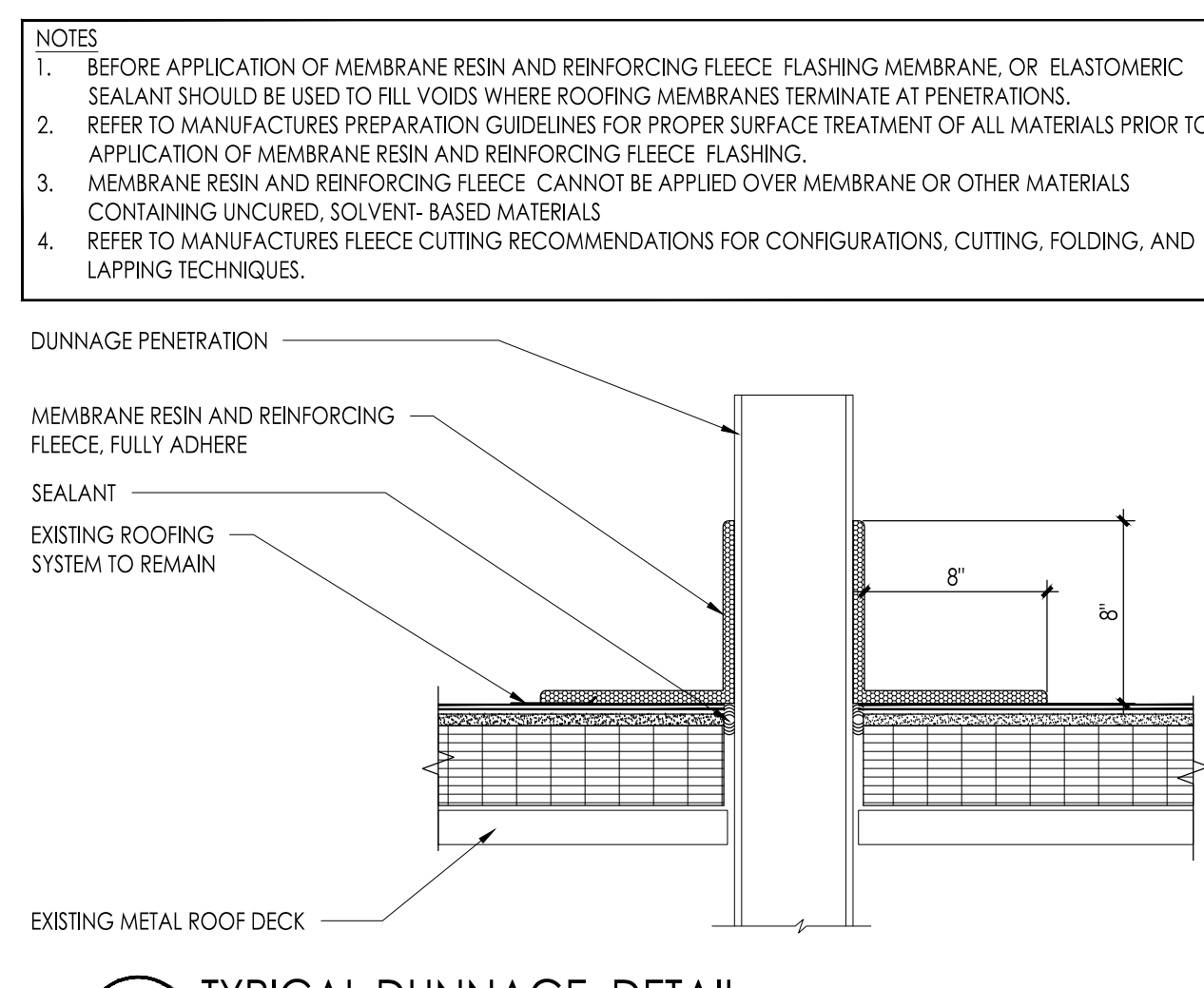
1 STEEL PLATFORM AT RTU-16
Scale: 1/4" = 1'-0"



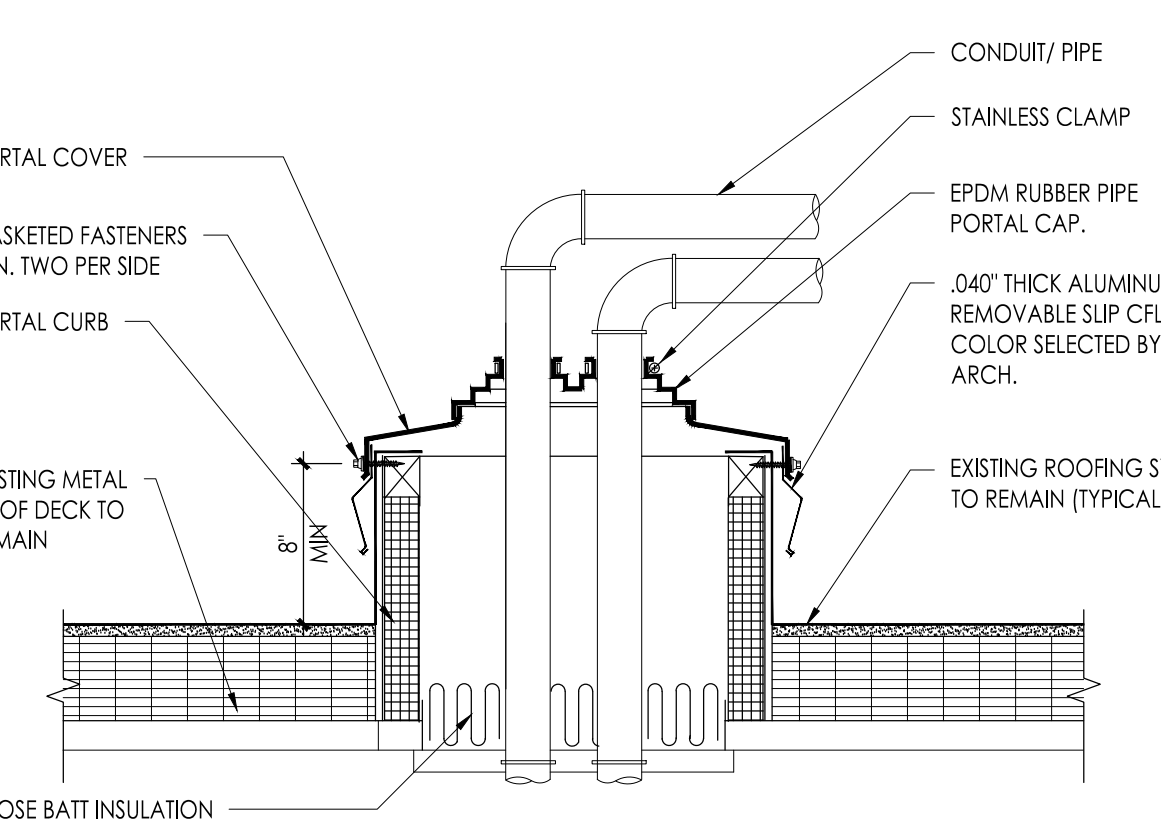
2 STEEL PLATFORM AT RAC-20
Scale: 1/4" = 1'-0"



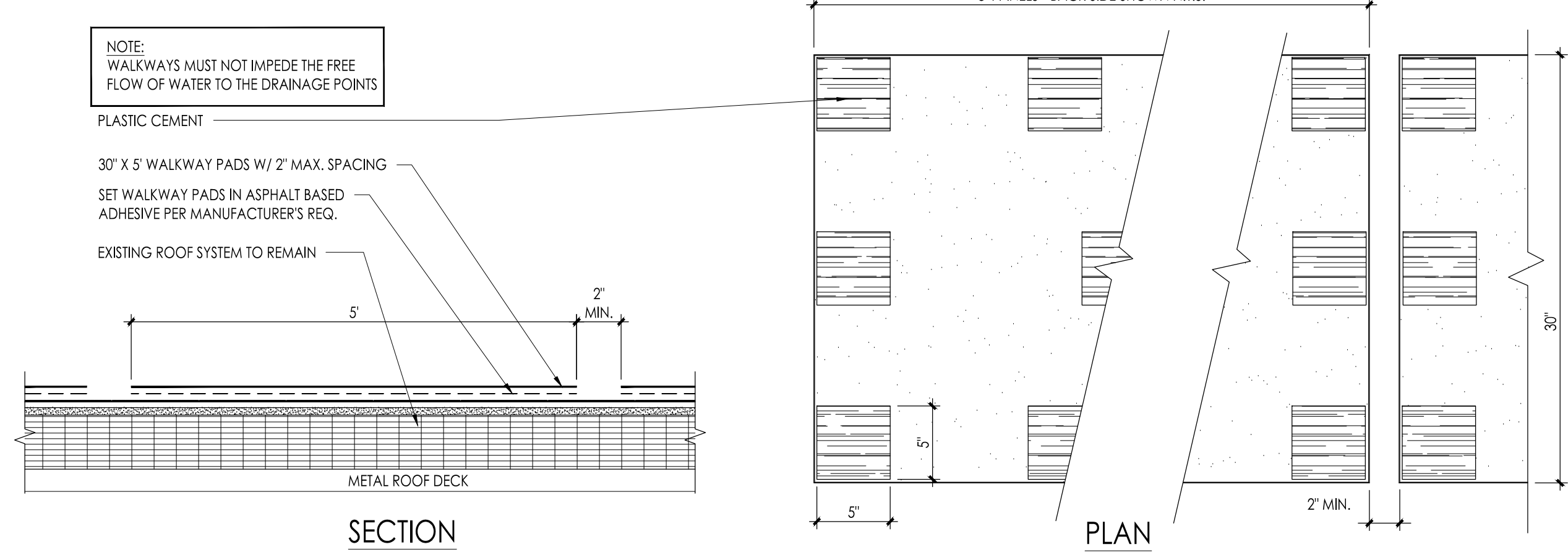
3 SECTION AT STEEL PLATFORM
Scale: 1/4" = 1'-0"



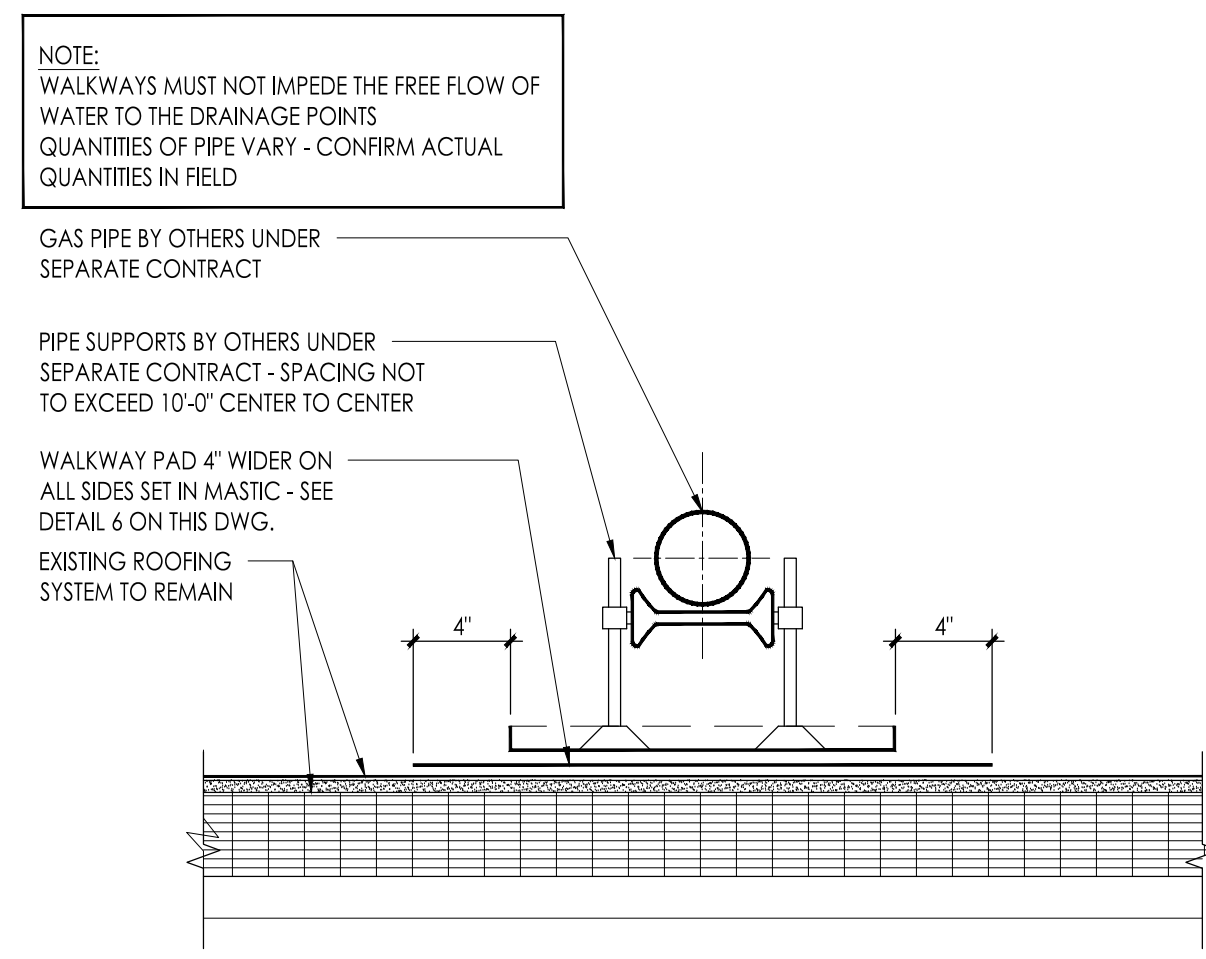
4 TYPICAL DUNNAGE DETAIL
Scale: 1-1/2" = 1'-0"



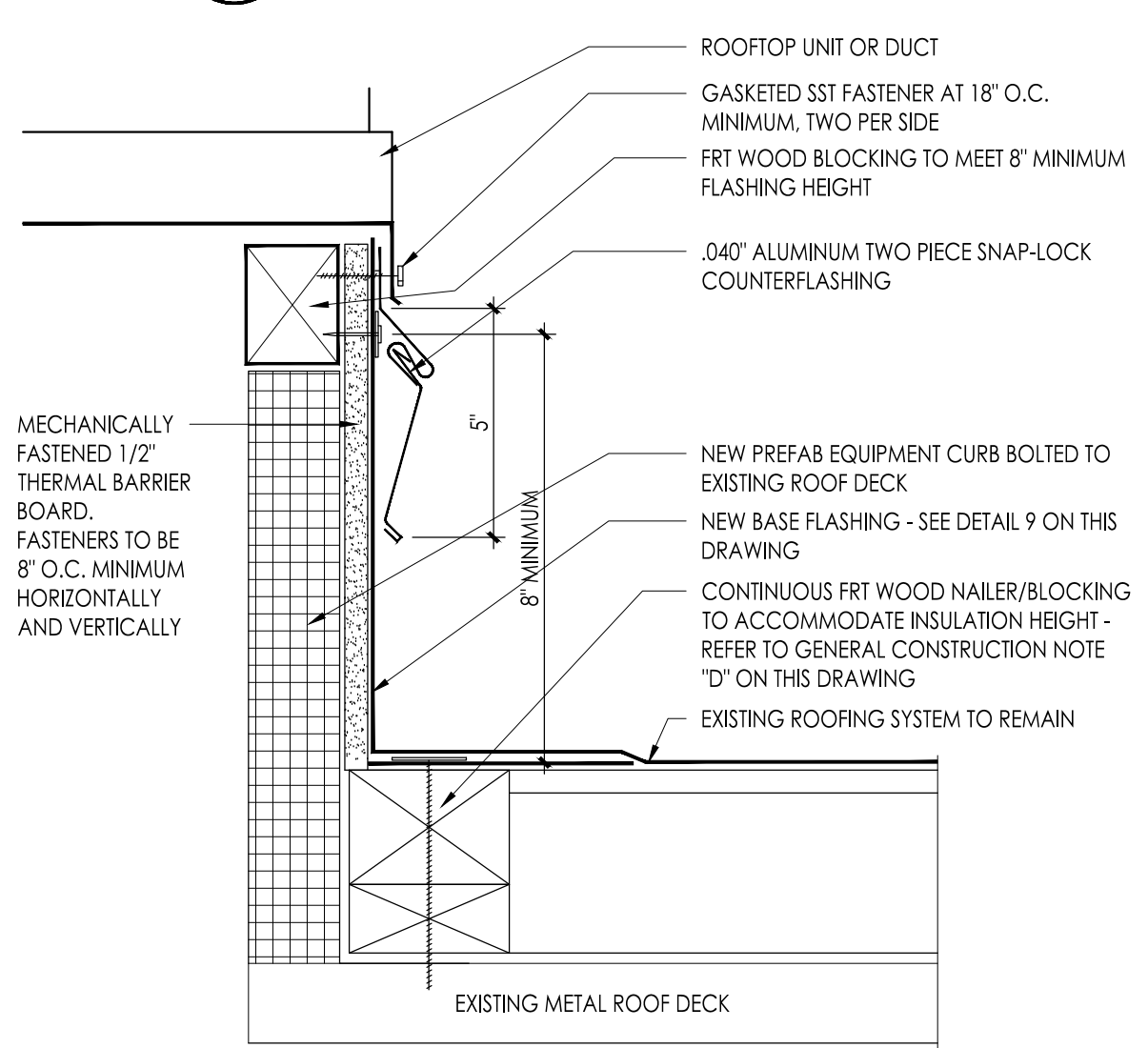
5 TYPICAL DETAIL AT PIPE CURB
Scale: 1-1/2" = 1'-0"



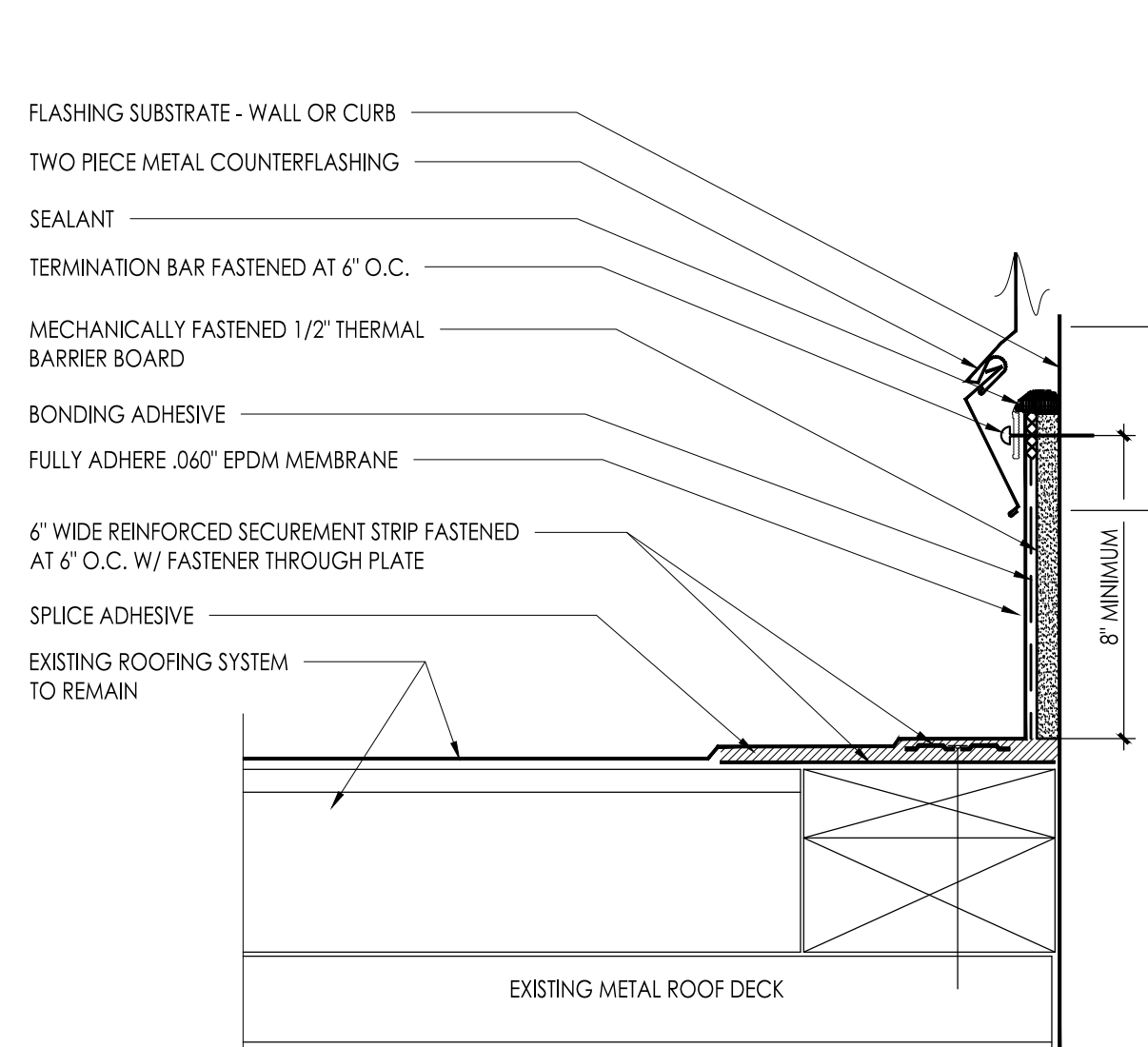
6 TYPICAL WALKWAY PAD
Scale: 1-1/2" = 1'-0"



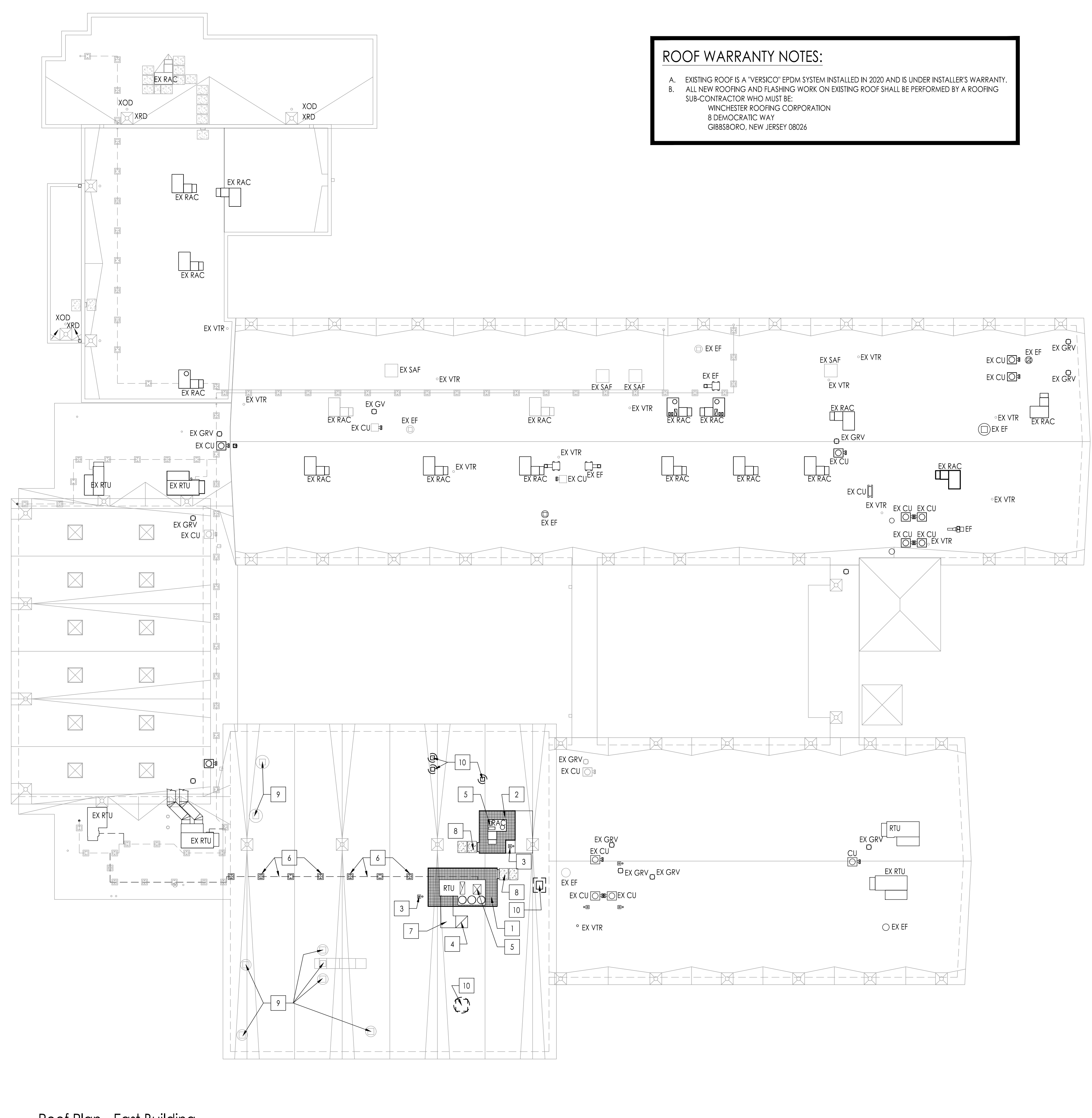
7 TYPICAL PIPE SUPPORT DETAIL
Scale: 1-1/2" = 1'-0"



8 TYPICAL NEW CURB FLASHING
Scale: 3" = 1'-0"



9 TYPICAL BASE FLASHING DETAIL
Scale: 3" = 1'-0"



Roof Plan - East Building
Scale: 1" = 20'-0"

CONSTRUCTION NOTES

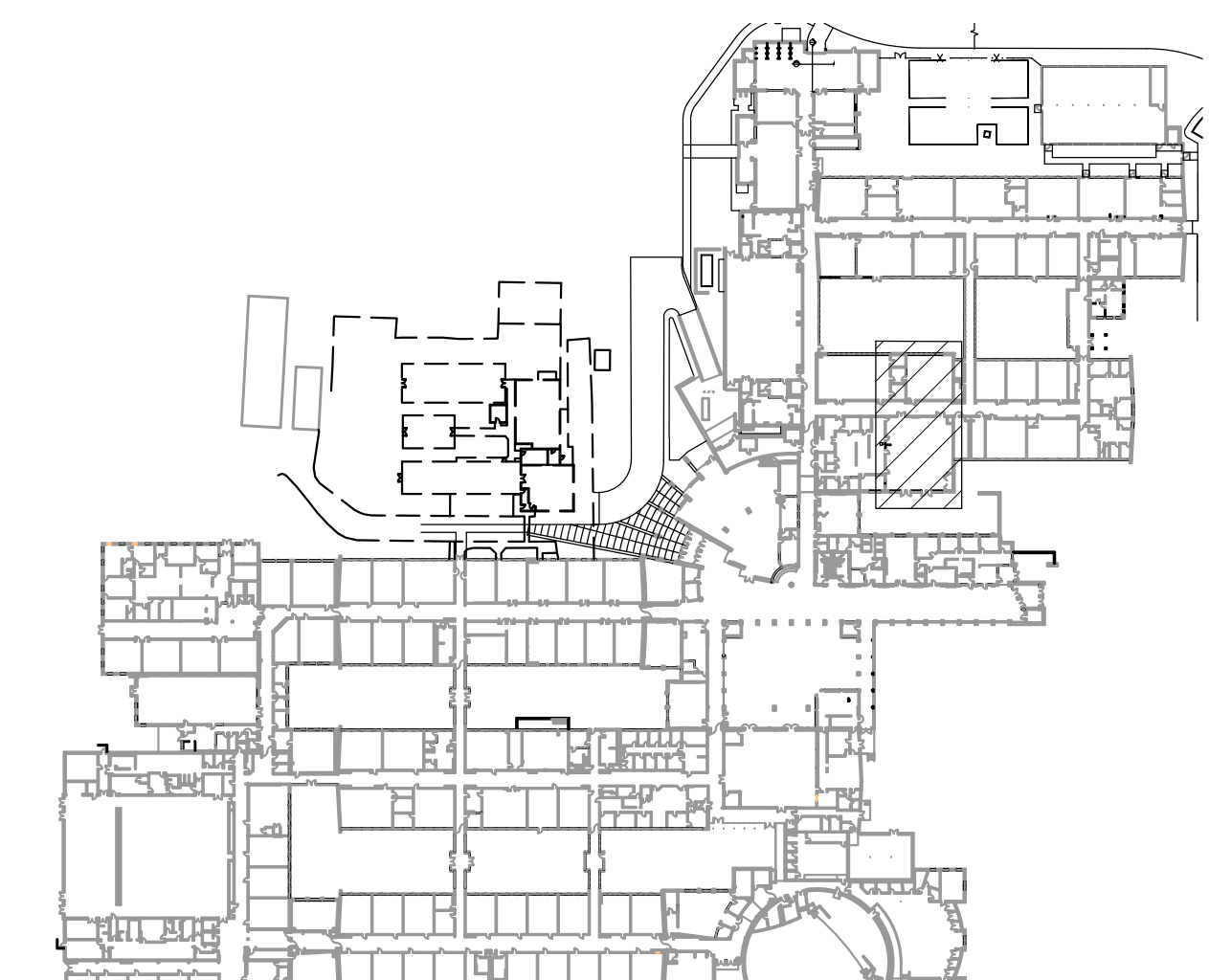
- CONSTRUCT DUNNAGE PLATFORM AT NEW ROOFTOP UNIT - SEE DETAIL 1 ON THIS DRAWING.
- CONSTRUCT DUNNAGE PLATFORM AT NEW ROOFTOP AC UNIT - SEE DETAIL 2 ON THIS DRAWING.
- NEW PIPE CURBS - SEE DETAIL 5 ON THIS DRAWING. COORDINATE FINAL LOCATION WITH PLUMBING / HVAC / ELECTRICAL PRIME CONTRACTORS UNDER SEPARATE CONTRACTS FOR ALL LOCATIONS. PIPING, CONDUIT, ETC. BY OTHERS UNDER SEPARATE CONTRACTS. SEE ROOFING AND FLASHING RESPONSIBILITY NOTES ON THIS DRAWING.
- EXISTING CURBS TO REMAIN - CURB WAS FLASHED AND CAPPED DURING SUMMER 2020 ROOFING REPLACEMENT PROJECT. NEW DUCT CONNECTION TO EXISTING CURB BY HVAC PRIME CONTRACTOR UNDER SEPARATE CONTRACT. SEE ROOFING AND FLASHING RESPONSIBILITY NOTES ON THIS DRAWING.
- NEW CURBS, AT ALL NEW FULLY ENCLOSED CURBS, INSTALL NEW FRT WOOD BLOTTING TO ACHIEVE / MAINTAIN 8" MINIMUM FLASHING HEIGHT FROM THE SURFACE OF THE ROOF. APPLY EPDM ROOFING MEMBRANE UP CURB USING SECUREMENT STRIP AT BASE OF CURB AND FASTEN ALONG TOP EDGE. INSTALL TWO PIECE COUNTER FLASHING UP UNDER THE UNITS / DUCTS COUNTER FLASHING WITH CONTINUOUS CORNERS. SEE DETAIL 8 ON THIS DRAWING AND FOLLOW MANUFACTURER'S LATEST INSTALLATION REQUIREMENTS. ALL COLORS ARE SELECTED BY ARCHITECT. SEE GENERAL CONSTRUCTION NOTE "C" FOR CURBS AT EXISTING ROOF. SEE GENERAL CONSTRUCTION NOTE "C" FOR REQUIRED CHECKS AT HIGH EDGE OF LINE. SEE ROOFING AND FLASHING RESPONSIBILITY NOTES ON THIS DRAWING.
- ROOF TOP PIPE SUPPORT - SEE DETAIL 7 ON THIS DRAWING. GAS PIPES AND PIPES SUPPORT BY PLUMBING PRIME CONTRACTOR UNDER SEPARATE CONTRACT. SEE ROOFING AND FLASHING RESPONSIBILITY NOTES ON THIS DRAWING.
- ROOF TOP DUCTWORK - DUCTWORK AND SUPPORT FROM NEW DUNNAGE BY HVAC PRIME CONTRACTOR UNDER SEPARATE CONTRACT. SEE ROOFING AND FLASHING RESPONSIBILITY NOTES ON THIS DRAWING.
- WALKWAY PADS - INSTALL AT GAS PIPE SUPPORTS, DUCT SUPPORTS AND ROOF ACCESS POINTS SUCH AS ACCESS LADDERS FROM DUNNAGE. MODIFY WALKWAY PADS AS REQUIRED SO THAT THE PAD DOES NOT IMPED THE FREE FLOW OF WATER TO THE DRAINAGE POINTS. SEE DETAIL 6 ON THIS DRAWING.
- EXISTING ROOFTOP EQUIPMENT TO REMAIN - NO WORK AT THESE LOCATIONS.
- EXISTING ROOFTOP EQUIPMENT TO BE REMOVED - EXISTING EQUIPMENT WILL BE REMOVED AND EXISTING CURB CAPPED BY HVAC PRIME CONTRACTOR UNDER SEPARATE CONTRACT. SEE ROOFING AND FLASHING RESPONSIBILITY NOTES ON THIS DRAWING.

ROOFING AND FLASHING RESPONSIBILITY NOTES:

- EXISTING ROOFING SYSTEMS:
 - ALL PROJECT PRIME CONTRACTORS, INCLUDING SEPARATE CONTRACTS, ARE REQUIRED TO COORDINATE TIMING OF CONSTRUCTION TO CREATE AND MAINTAIN WEATHERTIGHT CONDITIONS.
 - SEE ROOF WARRANTY NOTES ON THIS DRAWING.
 - AT NEW DUNNAGE PLATFORMS:
 - NEW DUNNAGE PLATFORMS SHALL BE CONSTRUCTED BY THE GENERAL PRIME CONTRACTOR UNDER THIS CONTRACT.
 - ALL ROOFING, FLASHING AND PATCHING WORK SHALL BE PERFORMED BY GENERAL PRIME CONTRACTORS ROOFING SUBCONTRACTOR UNDER THIS CONTRACT.
 - AT NEW CURBS:
 - ALL CURBS SHALL BE PROVIDED / INSTALLED BY HVAC PRIME CONTRACTOR UNDER SEPARATE CONTRACT.
 - NEW OPENING IN EXISTING ROOF DECK, INCLUDING STRUCTURAL STEEL SUPPORT, SHALL BE CONSTRUCTED BY HVAC PRIME CONTRACTOR UNDER SEPARATE CONTRACT.
 - ALL ROOFING AND FLASHING WORK, INCLUDING PATCHING AND REPAIR OF EXISTING ROOFING, NEW BASE FLASHING, ETC. SHALL BE THE RESPONSIBILITY OF THE HVAC PRIME CONTRACTOR UNDER SEPARATE CONTRACT AND SHALL BE PERFORMED BY THE ROOFING SUBCONTRACTOR.
 - AT EXISTING OR ADAPTED CURBS:
 - ALL MODIFICATIONS TO EXISTING CURBS SHALL BE BY HVAC PRIME CONTRACTOR UNDER SEPARATE CONTRACT.
 - ALL ROOFING AND FLASHING WORK, INCLUDING PATCHING AND REPAIR OF EXISTING ROOFING, EXISTING BASE FLASHING, ETC. SHALL BE THE RESPONSIBILITY OF THE HVAC PRIME CONTRACTOR UNDER SEPARATE CONTRACT AND SHALL BE PERFORMED BY THE ROOFING SUBCONTRACTOR.
 - AT ROOFTOP DUCTS:
 - ALL DUCT WORK, INCLUDING DUCT SUPPORTS, SHALL BE PROVIDED / INSTALLED BY HVAC CONTRACTOR UNDER SEPARATE CONTRACT.
 - ALL REQUIRED WALKWAY PADS AND OTHER ROOFING AND FLASHING WORK SHALL BE THE RESPONSIBILITY OF THE HVAC PRIME CONTRACTOR UNDER SEPARATE CONTRACT AND SHALL BE PERFORMED BY THE ROOFING SUBCONTRACTOR. PRIME CONTRACTORS SHALL COORDINATE ROUTE OF NEW DUCTWORK.
 - AT GAS PIPING:
 - ALL GAS PIPING, INCLUDING PIPE SUPPORTS, SHALL BE PROVIDED / INSTALLED BY PLUMBING CONTRACTOR UNDER SEPARATE CONTRACT.
 - ALL WALKWAY PADS AND OTHER ROOFING AND FLASHING WORK SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR UNDER SEPARATE CONTRACT AND SHALL BE PERFORMED BY THE ROOFING SUBCONTRACTOR.
 - AT PIPE CURBS:
 - PIPE CURBS SHALL BE PROVIDED / INSTALLED BY GENERAL PRIME CONTRACTOR UNDER THIS CONTRACT.
 - ALL ROOFING, FLASHING AND PATCHING WORK SHALL BE PERFORMED BY GENERAL PRIME CONTRACTORS ROOFING SUBCONTRACTOR UNDER THIS CONTRACT.
 - ALL PLUMBING PIPES, ETC. THAT PASS THRU PIPE CURBS SHALL BE PROVIDED / INSTALLED BY PLUMBING CONTRACTOR UNDER SEPARATE CONTRACT.
 - ALL REFERENCED LINES AND OTHER HVAC RELATED PIPES, CONDUITS, ETC. THAT PASS THRU PIPE CURBS SHALL BE PROVIDED / INSTALLED BY HVAC PRIME CONTRACTOR UNDER SEPARATE CONTRACT.
 - ALL ELECTRICAL CONDUITS, ETC. THAT PASS THRU PIPE CURBS SHALL BE PROVIDED / INSTALLED BY ELECTRICAL PRIME CONTRACTOR UNDER SEPARATE CONTRACT.
 - PRIME CONTRACTORS SHALL COORDINATE FINAL LOCATIONS OF PIPE CURBS.
 - EXISTING EQUIPMENT TO BE REMOVED:
 - DISCONNECTION AND REMOVAL OF INDICATED ROOFTOP EQUIPMENT AND CAPPING OF EXISTING CURB OPENING TO REMAIN SHALL BE BY HVAC CONTRACTOR UNDER SEPARATE CONTRACT.
 - ANY ROOFING AND FLASHING WORK, INCLUDING PATCHING AND REPAIR OF EXISTING ROOFING, EXISTING BASE FLASHING, ETC. SHALL BE THE RESPONSIBILITY OF THE HVAC PRIME CONTRACTOR UNDER SEPARATE CONTRACT AND SHALL BE PERFORMED BY THE ROOFING SUBCONTRACTOR.

GENERAL CONSTRUCTION NOTES

- PROVIDE ROOFING MATERIALS THAT COMPLY WITH A CLASS "M" SYSTEM.
- ALL WORK PERTAINING TO THESE DRAWINGS SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND WITH ALL AGENCIES HAVING JURISDICTION.
- INSTALL WATER DRAINING CRACKERS ON HIGH SIDE OF ROOF AT NEW ROOFTOP CURBS.
- FRT WOOD BLOTTING SHOWN ON DRAWINGS IS DIAGRAMMATIC. PROVIDE FIRE RESISTANT TREATED WOOD BLOTTING CONSTRUCTION IN THICKNESS AND HEIGHT TO MATCH THICKNESS OF INSULATION AND/OR TAPERED INSTALLATION AS RECOMMENDED BY ROOFING MANUFACTURER AND TO MAINTAIN A CONSTANT ROOF EDGE ELEVATION IN A HORIZONTAL PLANE UNLESS NOTED OTHERWISE.
- ALL CONDITIONS MEETING THE ROOF SURFACE PERPENDICULAR MUST HAVE A MINIMUM 8" FLASHING HEIGHT.
- DO NOT SCALE THE DRAWINGS.
- NOT USED.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL GOOD ROOFING PRACTICES INCLUDING THOSE SET FORTH BY THE ROOFING MATERIALS MANUFACTURER. THE SHACMA SHEET METAL MANUAL, FACTORY MUTUAL UNDERWRITERS LABORATORIES, AND THE WICKS ROOFING AND WATERPROOFING MANUAL.
- THE CONTRACTOR IS RESPONSIBLE FOR FLASHING ALL ROOF TOP PENETRATIONS, UNITS, AND CURBS ON THE ROOFS TO A WATER TIGHT CONDITION TO BE INCLUDED IN THE MANUFACTURER'S WARRANTY. REVIEW ALL DRAWINGS INCLUDED IN THE SET FOR ROOFTOP PENETRATIONS.
- NOT USED.
- NOT USED.
- PRIME ALL SURFACES WHICH ARE TO RECEIVE BITUMINOUS ROOFING.
- INSTALL ENVELOPE EDGES TO ELIMINATE THE POTENTIAL FOR BRIMEN AND ADHESIVE DRIPPAGE INTO THE BUILDING.
- ALL WOOD BLOTTING TO BE FIRE (RE-REMARKET) LUMBER.
- CONTRACTOR SHALL AT ALL TIMES HAVE A FULL SET OF DRAWINGS AND SPECIFICATIONS ON ROOF TOP WHILE WORK IS IN PROGRESS.
- CONTRACTOR RESPONSIBLE TO RECTIFY ANY PONDING WATER ON FINISHED ROOF SURFACE THAT REMAINS AFTER 48 HOURS AT NO ADDITIONAL COST.
- DETAILS NOTED TYPICAL "TYP" ONLY. ALL SUCH CONDITIONS BE TREATED SIMILARLY.
- THE SUBCONTRACTOR SHALL VERIFY THE EXACT LOCATION, DIMENSION, AND QUANTITY OF ALL ROOFTOP EQUIPMENT AND APPURTENANCES WHICH INCLUDES, BUT ARE NOT LIMITED TO: HVAC CURBS, DUNNAGE, GAS PIPING, ROOFTOP DUCTWORK, BASE FLASHING AND OTHER PENETRATIONS AND WORK ASSOCIATED WITH THIS ROOF PROJECT. INCORPORATE SAME IN THE ROOF INSULATION SHOP DRAWING SUBMITTAL.
- DETAILS NOTED TYPICAL "TYP" ONLY. ALL SUCH CONDITIONS BE TREATED SIMILARLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM THE DEMOLITION CAREFULLY CAUSING NO DAMAGE TO EXISTING MATERIALS. ANY EXISTING FINISHES OR CONSTRUCTION DAMAGED BY THE SATISFACTION OF THE ARCHITECT WILL BE HIS RESPONSIBILITY TO REPAIR AT NO ADDITIONAL COST TO OWNER. PRIOR TO THE COMMENCEMENT OF WORK, ARCHITECT A CONTRACTOR WILL INSPECT PROJECT AND NOTE EXISTING DAMAGES TO FINISHES OR CONSTRUCTION. REPAIR SHALL BE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL MAKE NECESSARY TRENCHES AND ALTERATIONS TO EXISTING ROOF IN ACCORDANCE WITH ORIGINAL ROOF MANUFACTURER REQUIREMENTS, SO AS TO MAINTAIN ORIGINAL WARRANTY ON EXISTING ROOF.
- NOT USED.
- ALL TAGGED DETAILS ARE TYPICAL FOR THE ITEM OR SYSTEM INDICATED. THE SCOPE OF WORK INDICATED AS PART OF THE TAG OR DETAIL MARKS SHALL APPLY TO ALL OTHER SIMILAR SYMBOLS OR ITEMS.
- THE EXISTING BUILDING IS OCCUPIED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND FOR THE SAFETY OF ALL PERSONS AT THE PROJECT SITE.
- FOR PURPOSES OF THIS PROJECT, REMOVE SHALL MEAN REMOVE AND DISPOSE OF SAME OFF SITE IN AN APPROVED AND LEGAL MANNER.
- THE TERM TYP FOLLOWING A NOTE, TAG, OR DETAIL FLAG INDICATED THAT ALL LIKE, SIMILAR, OR INDICATED ITEMS SHALL BE PROVIDED WITH THE SPECIFIED DETAIL, NOTE, OR SPECIFICATION.
- NOT USED.
- NOT USED.
- NOT USED.
- AT ALL LOCATIONS OF NEW ROOFTOP EQUIPMENT ON EXISTING ROOFS, UNITS SHALL NOT BE PLACED SUCH THAT THE FREE FLOW OF WATER TO THE DRAINS IS IMPAIRED, SUCH AS CURBS ADJACENT TO THE VALLEY LINES OF EXISTING CRACKERS / GUSSETS. IF A UNIT CANNOT BE PLACED IN COMPLIANCE WITH THE ABOVE FOR STRUCTURAL REASONS, THE CONTRACTOR SHALL OBTAIN DIRECTION FROM THE ARCHITECT FOR CORRECTIVE MEASURES TO EXISTING ROOFING.



Key Plan
Scale: N.T.S.

ROOF WARRANTY NOTES:
 A. EXISTING ROOF IS A 'VERICO' EPDM SYSTEM INSTALLED IN 2020 AND IS UNDER INSTALLERS WARRANTY.
 B. ALL NEW ROOFING AND FLASHING WORK ON EXISTING ROOF SHALL BE PERFORMED BY A ROOFING SUB-CONTRACTOR WHO MUST BE:
 WINCHESTER ROOFING CORPORATION
 816 MONROE WAY
 GIBBSBORO, NEW JERSEY 08026

WILLIAM D. HOPKINS III, AIA, LEED AP
 No. 000000171-0000000000
 GEORGE R. DUTHIE, JR., AIA, PP
 No. 000000000000000000000000
 5/26/2021
 Date
 William D. Hopkins
 Architect

F. V. H. D. P. C. O. M.

GFVHD architects
 planners
 Fraytak Veisz Hopkins Duthie P.C.
 Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
 Pennsylvania: 140 Whitaker Ave. - Mont Clare - Pennsylvania 19453

Project Name
 Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name
 Northern Burlington County Regional School District

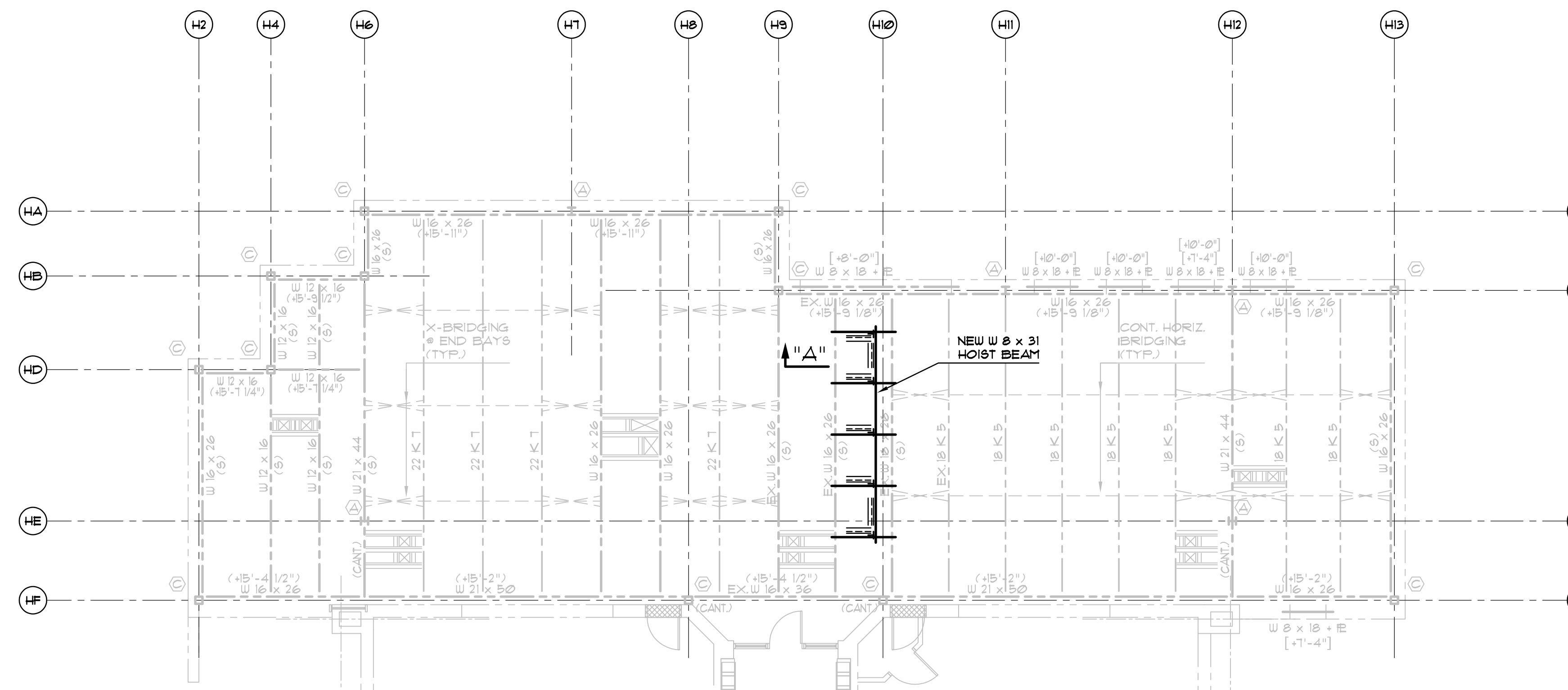
Project Location
 160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
 5086.9
 Project Date
 03.26.2021
 Checked by
 W.D.H.
 Drawn by
 NEH
 Scale
 As Noted

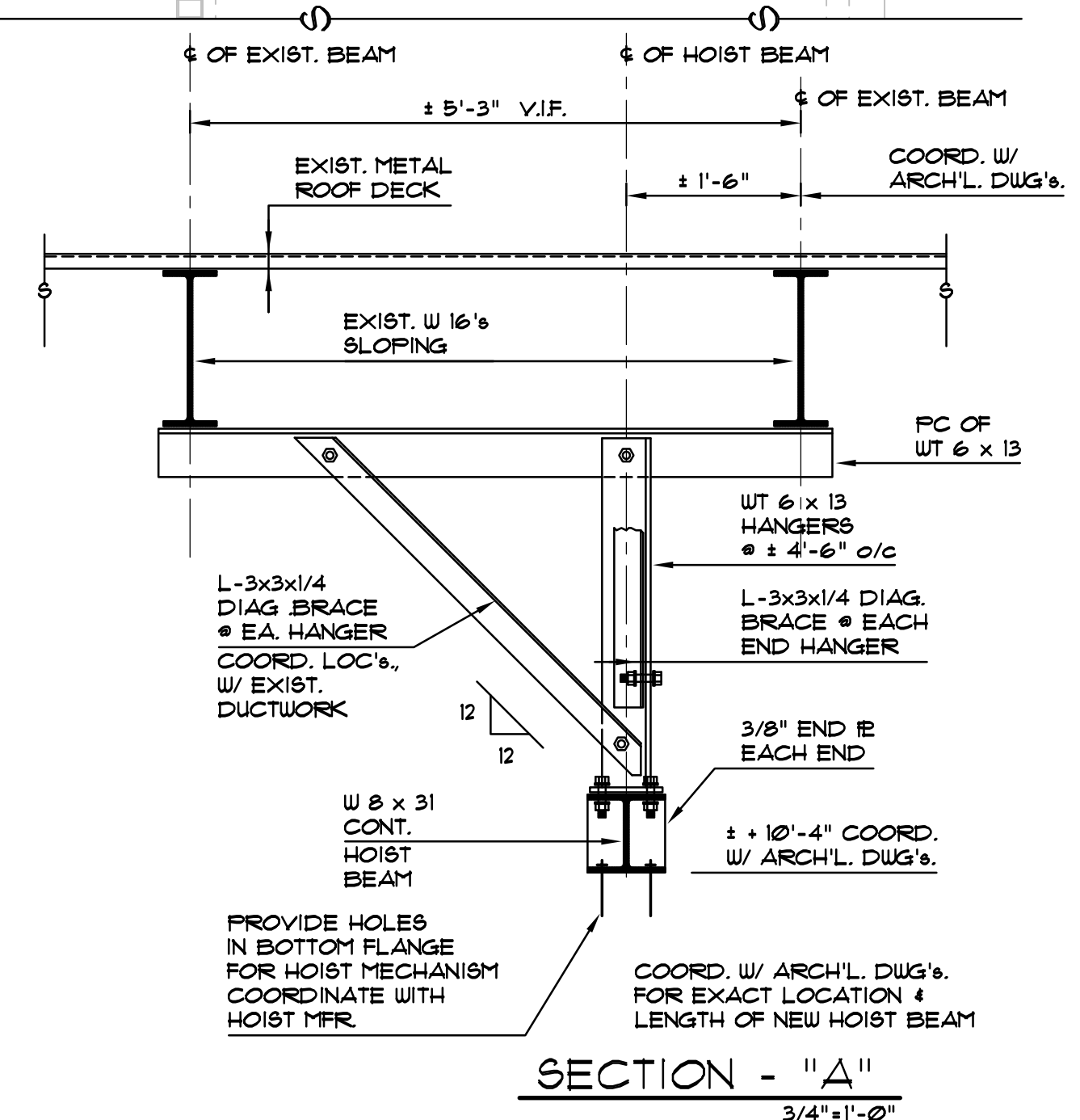
Drawing Name
 Steel Dunnage at RTU-16 & RAC-20

Revisions		
No.	Date	Description

Drawing Number
 A105

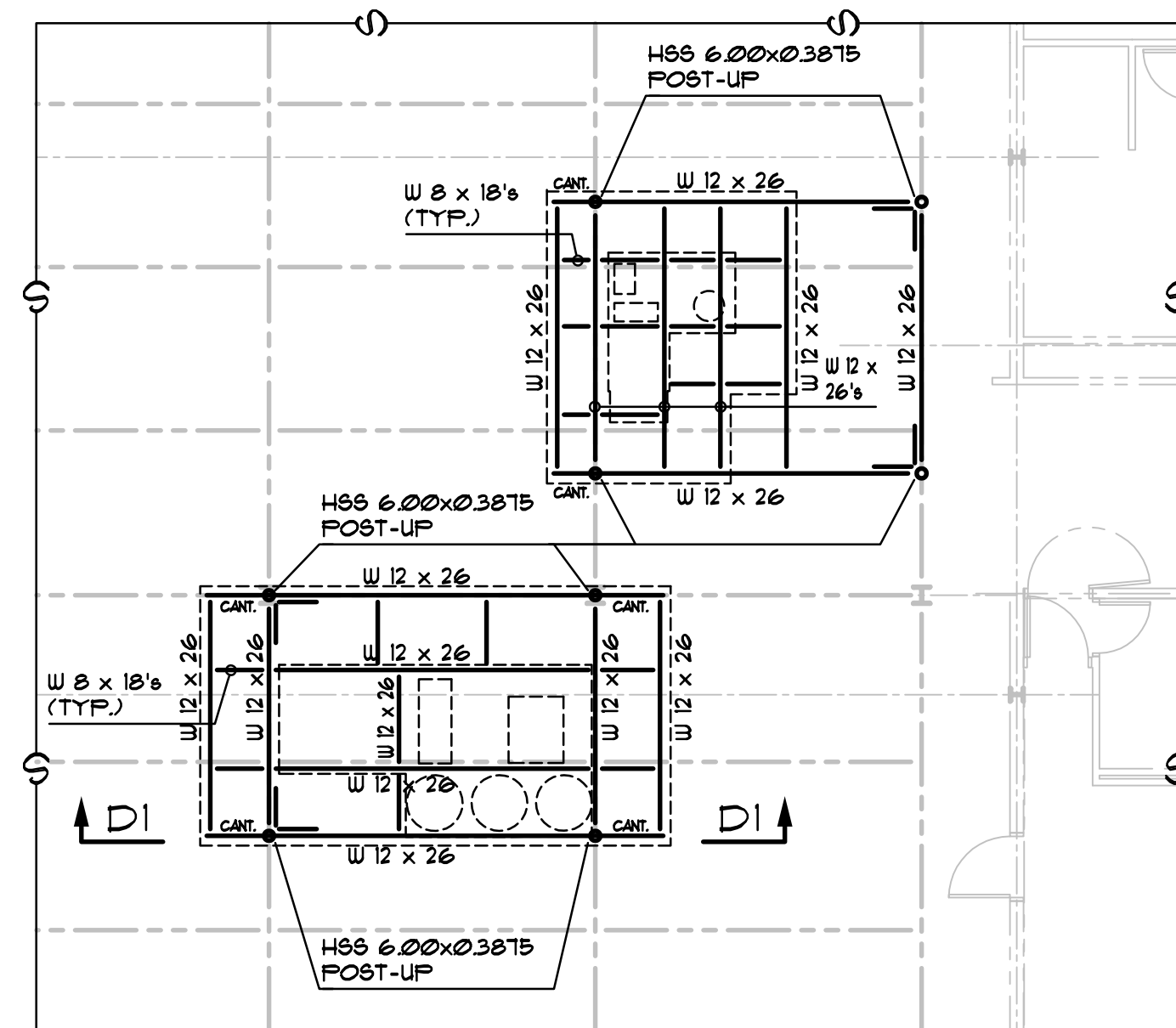


BLOCK "H"
EXISTING
ROOF FRAMING PLAN
1/8" = 1'-0"



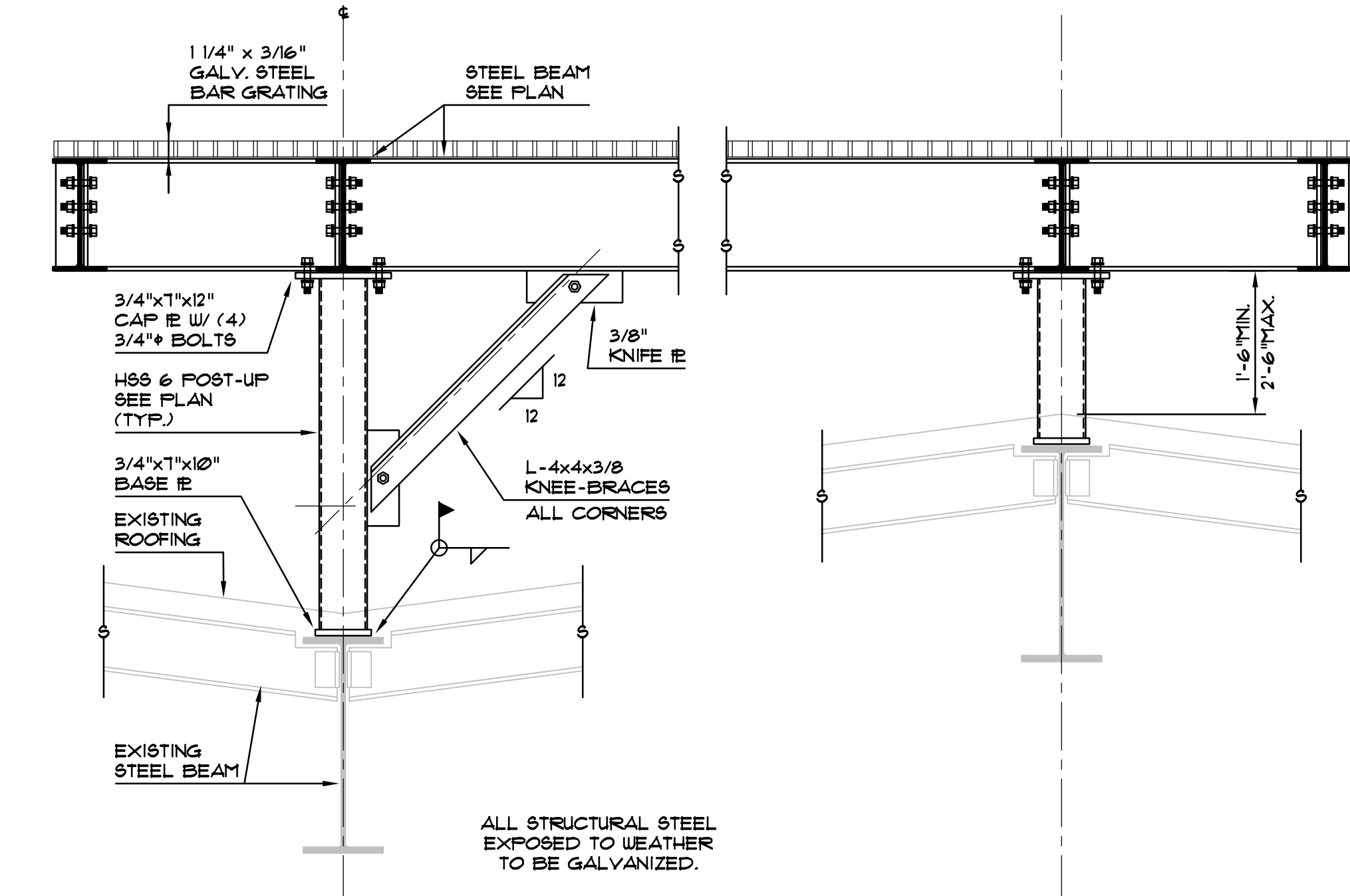
SECTION - "A"
3/4" x 1'-0"

NOTE:
THIS ASSEMBLY HAS A
MAX. (5) TON CAPACITY.

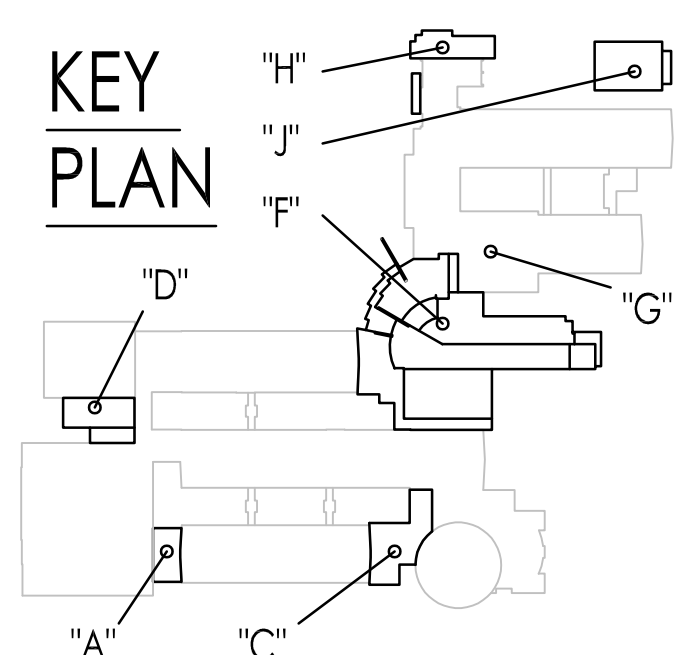


BLOCK "G"
RTU DUNNAGE
FRAMING PLAN
1/8" = 1'-0"

G.C. TO COORDINATE WITH MECHANICAL CONTRACTOR TO DETERMINE
ALL PLAN DIMENSIONS & ELEVATION OF DUNNAGE PRIOR TO
FABRICATION OF STEEL
G.C. TO FIELD VERIFY DIMENSIONS OF EXISTING STEEL PRIOR TO
FABRICATION OF STEEL
ALL STEEL EXPOSED TO WEATHER TO BE GALVANIZED.



SECTION - D1
3/4" x 1'-0"



Harrison - Hamnett, P.C.
Consulting Structural Engineers
40 Boyles Street, Princeton, New Jersey 08540
Ph: 609-818-1608 www.hhpcc.com

Donald M. Hamnett
DONALD M. HAMNETT R.I.P.E. #17979 DATE

GENERAL NOTES
STRUCTURAL STEEL

- All structural steel details shall be designed in accordance with the latest issue of the American Institute of Steel Construction (AISC) "Specification for Structural Steel Buildings - Allowable Stress Design and Plastic Design".
- Connections shall be designed to develop the full strength of the member over the required span, 1 1/2 times for composite members.
- Provide double angle connections at all beam to wide flange columns and beam to beam connections whenever possible. The steel fabricator must notify the Structural Engineer if there are to be any changes. See Typical Tru-Pi Detail for beam to tube column connection.
- Field connections shall be made by high strength bolts 3/4" minimum in diameter or unless as shown on drawings.
- All pipe end caps shall be ASTM A53, Grade B, Fy 35 KSI.
- All tube end caps shall be ASTM A500, Grade B, Fy 46 KSI.
- All structural wide flange shapes to be ASTM A-320/A315, Grade 508.
- All steel plates, angles, channels to be ASTM A-36 unless indicated otherwise.

MISCELLANEOUS

- Contractor shall verify all dimensions, sections and elevations on the job.
- Consult the Architectural, Mechanical and Electrical drawings for verification of location and dimensions of chases, inserts, openings, sleeves, dashes, drips, reveals, depressions, equipment pads and other product requirements.
- All walls shall be braced during construction until permanently restrained.
- Reproductions of contract documents are not acceptable as shop drawings and will be rejected.

WILLIAM D. HOPKINS III, AIA, LEED AP
No. 2740750001 PA No. 04012020
GEORGE R. DUTHIE JR., AIA, PP
No. 2740750020

William D. Hopkins
Architect

4/19/22
Date

FVHHD architects planners
Fraytak Veisz Hopkins Duthie P.C.
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08628
Pennsylvania: 140 Whittaker Ave - North Clay - Pennsylvania 19453

F V H D P C O O M

Project Name
Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name
Northern Burlington County Regional School District

Project Location
160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
5086.9

Project Date
04.30.2021

Checked By
S.J.R.

Drawn By
J.D.H.

Scale
AS NOTED

Drawing Name
NEW HOIST BEAM AT AGRI./MECH. ROOM H146 & NEW DUNNAGE AT RTU-16 & RAC-20

Revisions

No.	Date	Description

Drawing Number
S-101

PLUMBING LEGEND AND ABBREVIATIONS			
SYMBOL & DESCRIPTION	ABBREVIATIONS		REFERENCE SYMBOLS
	AAV	AUTOMATIC AIR VENT	
	AD	AREA DRAIN	
	ANT	ACID NEUTRALIZATION TANK	
	AF	ABOVE FINISHED FLOOR	
	AHU	AIR HANDLING UNIT	
	AW	ADD WASTE	
	BFF	BELOW FINISHED FLOOR	
	BFG	BELOW FINISHED GRADE	
	BFP	BACK FLOW PREVENTER	
	BLK	BELOW	
	BV	BALANCING VALVE	
	BT	BATH TUB	
	CA	COMPRESSED AIR	
	CD	CONDENSATE DRAIN	
	CO	CLEANOUT	
	CP	CIRCULATING PUMP	
	CFH	CUBIC FEET PER HOUR	
	CONT.	CONTINUATION	
	CW	COLD WATER	
	DCW	DOMESTIC COLD WATER	
	DF	DRINKING FOUNTAIN	
	DFU	DRAINAGE FIXTURE UNIT	
	DHW	DOMESTIC HOT WATER	
	DIA.	DIAMETER	
	DN	DOWN	
	DW	DISHWASHER	
	DWG	DRAWING	
	DW	PIPE RISER	
	(E)	EXISTING	
	EA	EACH	
	E.C.	ELECTRICAL CONTRACTOR	
	ELV.	ELEVATION	
	ESEW	EMERGENCY EYE WASH/SHOWER	
	EMV	EMERGENCY MIXING VALVE	
	EW	EMERGENCY EYE WASH	
	EW	ELECTRIC WATER COOLER	
	EW	ELECTRIC WATER HEATER	
	EXT	EXPANSION TANK	
	FR.	FROM	
	FOO	FLOOR CLEANOUT	
	FD	FLOOR DRAIN	
	F.F.	FINISHED FLOOR	
	FLR.	FLOOR	
	FM	FORCED MAIN	
	FP	FIRE PROTECTION	
	FPC	FIRE PROTECTION CONTRACTOR	
	FS	FLOOR SINK	
	FWG	FOOD WASTE GRINDER	
	G	NATURAL GAS	
	G.C.	GENERAL CONTRACTOR	
	G	GREASE INTERCEPTOR	
	GM	NATURAL GAS METER	
	GPM	GALLONS PER MINUTE	
	GPH	GALLONS PER HOUR	
	GW	GAS WATER HEATER	
	HB	HOSE BIBB	
	HW	HOT WATER	
	HWR	HOT WATER RETURN	
	HWCP	HOT WATER CIRCULATOR PUMP	
	IG	INTERBURSTIBLE GAS	
	IN.	INCH	
	INV.	INVERT	
	IWD	INDIRECT WASTE DRAIN	
	IWH	INSTANTANEOUS WATER HEATER	
	LAV	LAVATORY	
	LPG	LIQUID PETROLEUM GAS (PROPANE)	
	M.C.	MECHANICAL CONTRACTOR	
	MAX	MAXIMUM	
	MIN.	MINIMUM	
	MR	MOP RECEPTOR	
	MV	MIXING VALVE	
	(N)	NEW	
	OD	OVERFLOW ROOF DRAIN	
	P.C.	PLUMBING CONTRACTOR	
	POI	PLUMBING & DRAINAGE INSTITUTE	
	PRESS.	PRESSURE	
	PRV	PRESSURE REDUCING VALVE	
	(R)	REMOVE	
	RD	ROOF DRAIN	
	RPZ	REDUCED PRESSURE ZONE	
	RWC	RAIN WATER CONDUCTOR	
	S	SANITARY	
	SA	SHOCK ABSORBER	
	SH	SHOWER	
	SK	SINK	
	SFP	SEWAGE EJECTOR PUMP	
	SP	SUMP PUMP	
	TEMP.	TEMPERATURE	
	TP	TRAP PRIMER	
	TW	TEMPERED WATER	
	TYP	TYPICAL	
	YH	YARD HYDRANT	
	UR	URINAL	
	V	VENT	
	VTR	VENT THRU ROOF	
	W	WASTE	
	W/	WITH	
	WMB	WASHER MACHINE BOX	
	WC	WATER CLOSET	
	WCO	WALL CLEANOUT	
	WV	WHELPPOOL FILL VALVE	
	WH	WALL HYDRANT	
	WSFU	WATER SUPPLY FIXTURE UNIT	

- ### GENERAL NOTES
- ALL PLUMBING EQUIPMENT AND INSTALLATIONS SHALL CONFORM WITH THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE (UCC) OF THE STATE OF NEW JERSEY, INCLUDING THE FOLLOWING, AS ADOPTED AND AMENDED BY THE UCC: 2018 NATIONAL STANDARD PLUMBING CODE, 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, 2018 FUEL GAS CODE, UNDERWRITERS LABORATORIES (UL), AND ALL APPLICABLE LOCAL CODES ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
 - PRIOR TO PURCHASING ANY MATERIALS OR COMMENCING WORK, PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, PIPING SIZES AND LOCATIONS, EQUIPMENT, ETC. SHOWN ON THE DRAWINGS OR AFFECTING THIS WORK AND SHALL REPORT ANY DEVIATIONS TO THE ENGINEER.
 - PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT COMPLETELY TO PROVIDE FULLY OPERATIONAL SYSTEMS.
 - PERFORM ALL CUTTING AND PATCHING NECESSARY TO PERFORM WORK MATCH EXISTING MATERIALS, FINISHES, FIRE RATINGS, PAINT COLORS, ETC. IN ALL AREAS OF PATCHING.
 - REFER TO ARCHITECTURAL DRAWINGS FOR CONSTRUCTION DETAILS.
 - PLUMBING PIPING LAYOUTS ARE SCHEMATIC IN NATURE. CONTRACTOR IS REQUIRED TO PROVIDE ALL OFFSETS AND FITTINGS AS REQUIRED TO ACCOMMODATE FIELD CONDITIONS.
 - ATTENTION BIDDERS - PROJECT CONSTRUCTION SCHEDULE REQUIREMENTS AND PHASING - INCORPORATE IN BID THE COST TO ACCOMMODATE ALL CONSTRUCTION SCHEDULE REQUIREMENTS AND PHASING AS REQUIRED BY SCHEDULING OF WORK DEFINED ON ARCHITECTURAL DRAWINGS AND IN DIVISION 1 SPECIFICATIONS. SUBMISSION OF BID INDICATES COMPLIANCE WITH LISTED DOCUMENTS.
 - GENERAL NOTES APPLY TO ALL DRAWINGS, PLANS AND SCHEDULES.



- #### GENERAL SHEET KEY NOTES
- ALL DEMOLITION WORK TO BE PERFORMED IN ACCORDANCE TO NATIONAL, STATE AND LOCAL STANDARDS AND CODES.
 - REFER TO ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES FOR ADDITIONAL REQUIRED WORK AND COORDINATION.
 - PLUMBING CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF REMOVAL OF ALL EQUIPMENT, SYSTEM COMPONENTS, SUPPORTS, ETC. FROM INTERIOR OF BUILDING TO ALLOW FOR ACCESS AND OTHER DEMOLITION TO OCCUR.
 - SCHEDULE AND OBTAIN APPROVAL FOR ALL SYSTEM SHUTDOWNS WITH OWNER PRIOR TO COMMENCING WITH DEMOLITION WORK.
- #### DEMOLITION KEY NOTES
- DISCONNECT AND REMOVE EXISTING PLUMBING FIXTURES AND PIPING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, TRAP AND ACCESSORIES. REMOVE ALL SANITARY, VENT, DOMESTIC HOT AND COLD WATER PIPING COMPLETE IN ITS ENTIRETY BACK TO MAIN OUTSIDE OF GREENHOUSE AND CAP. MAKE SAFE, VALVE OFF, DISCONNECT, AND REMOVE ALL EXISTING GAS PIPING IN ITS ENTIRETY BACK TO SOURCE.
 - MAKE SAFE, VALVE OFF, DISCONNECT, AND REMOVE EXISTING GAS METER, PRV AND UNDERGROUND GAS PIPING SERVING THE GREENHOUSE COMPLETE IN ITS ENTIRETY TO EXTENTS INDICATED ON PLAN AND CAP. PROVIDE ALL EXCAVATION AND BACKFILLING TO FACILITATE THE REMOVAL OF EXTERIOR PIPING.

1 P101 PLUMBING - DEMOLITION WORK - GREENHOUSE
SCALE: 1/8" = 1'-0"

SHARPE ENGINEERING, INC.
MECHANICAL ENGINEERS
1000 Highway 202, Suite 200, Trenton, NJ 08611
609.392.2122 Fax: 609.392.2121 www.sharpe-eng.com
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WILLIAM D. HOPKINS III, AIA, LEED AP
NJ-214078000 | P.A. #0212024
GEORGE R. DUTHE JR., AIA, FP
NJ-214078920

GFVHD architects planners
Fraytak Veisz Hopkins Duthe P C
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave - Mont. Clear - Pennsylvania 19453

F V H D P C O M

Project Name
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Project Owner Name
Northern Burlington County Regional School District

Project Location
160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
5086.9

Project Date
03.26.2021

Checked By
JRS

Drawn By
JRM

Scale
AS NOTED

Drawing Name
PLUMBING DEMOLITION GREENHOUSE

Revisions
No. Date Description

Drawing Number
P101

MECHANICAL LEGEND AND ABBREVIATIONS				
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	ABBREVIATIONS
DUCTWORK				
	SUPPLY AIR DUCT UP		LOW PRESSURE STEAM	AP ACCESS PANEL
	SUPPLY AIR DUCT DOWN		LOW PRESSURE CONDENSATE	APF ABOVE FINISHED FLOOR
	RETURN AIR DUCT UP		HIGH PRESSURE STEAM	AHU AIR HANDLING UNIT
	RETURN AIR DUCT DOWN		HIGH PRESSURE CONDENSATE	BDD BACKDRAFT DAMPER
	EXHAUST AIR DUCT UP		HEATING WATER SUPPLY	CD CONDENSATE DRAIN
	EXHAUST AIR DUCT DOWN		HEATING WATER RETURN	CMV CUBIC FEET PER MINUTE
	FLEX DUCTWORK		CHILLED WATER SUPPLY	CHWS CHILLED WATER SUPPLY
	DUCT WIDTH X DEPTH		CHILLED WATER RETURN	CHWR CHILLED WATER RETURN
	ROUND TO RECTANGULAR TRANSITION		REFRIGERANT SUCTION & LIQUID	CO CONDENSING UNIT
	90° ELBOW WITH TURNING VANES		COOLING COIL/FURNACE CONDENSATE	DB DRY BULB
	90° RADIUS ELBOW (NO VANES)		FURNACE COMBUSTION AIR	DN DOWN
	45° ELBOW (NO VANES)		FURNACE COMBUSTION EXHAUST	DWG DRAWING
	MOTOR OPERATED DAMPER		PIPE DROP	(E) EXISTING
	MANUAL VOLUME DAMPER		PIPE BOTTOM TAKEOFF	E/A EXHAUST AIR
	TRANSITION (DIVERGING FLOW)		45° PIPE ROLL DOWN	EAT ENTERING AIR TEMPERATURE
	TRANSITION (CONVERGING FLOW)		UNION	EC ELECTRICAL CONTRACTOR
	VERTICAL FIRE DAMPER		DIRECTION OF PIPE FLOW	EF EXHAUST FAN
	VERTICAL SMOKE DAMPER		NORMALLY CLOSED	ECH ELECTRIC CABINET HEATER
	HORIZONTAL FIRE DAMPER		NORMALLY OPEN	ER EXHAUST REGISTER
	HORIZONTAL SMOKE DAMPER		BALL VALVE	EUH ELECTRIC UNIT HEATER
	HORIZONTAL FIRE/SMOKE DAMPER		OS&Y VALVE	EMH ELECTRIC WALL HEATER
DIFFUSERS / AIRFLOW				
	4-WAY BLOW SUPPLY DIFFUSER		THERMOSTAT	FDU FAN COIL UNIT
	1, 2, OR 3-WAY SUPPLY DIFFUSER		HUMIDISTAT	FDZ FAN DAMPER
	RETURN AIR GRILLE/REGISTER		CARBON MONOXIDE SENSOR	FD/AP FAN DAMPER WITH ACCESS PANEL
	EXHAUST AIR GRILLE/REGISTER	REFERENCE SYMBOLS		
	RETURN/EXHAUST AIRFLOW		EQUIPMENT DESIGNATION	FLR FLOOR
	SUPPLY AIRFLOW		DEMOLITION NOTE DESIGNATION	F/S/D COMBINATION FIRE & SMOKE DAMPER
	3/4" DOOR UNDERCUT		KEY NOTE DESIGNATION	GC GENERAL CONTRACTOR
	DIFFUSER/REGISTER TAG		EXTENT OF DEMOLITION	HP HEAT PUMP
			EXTENT OF NEW WORK	HWS HEATING WATER SUPPLY
			REVISION NOTE DESIGNATION	HWR HEATING WATER RETURN
			PLAN/DRAWING DESIGNATION	LAT LEAVING AIR TEMPERATURE
				MC MECHANICAL CONTRACTOR
				MBH THOUSAND BRITISH THERMAL UNITS
				MOD MOTOR OPERATED DAMPER
				NEW NEW
				N.C. NORMALLY CLOSED
				N.O. NORMALLY OPEN
				N.T.S. NOT TO SCALE
				OA OUTSIDE AIR
				PC PLUMBING CONTRACTOR
				PRV PRESSURE REDUCING VALVE
				R/A RETURN AIR
				RAR RETURN AIR REGISTER
				RS/RL REFRIGERANT SUCTION & LIQUID
				S/A SUPPLY AIR
				SAR SUPPLY AIR REGISTER
				SD SMOKE DAMPER
				SF SUPPLY FAN
				TA TRANSFER AIR
				TC TRANSFER GRILLE
				TYP TYPICAL
				WB WET BULB

GENERAL NOTES	
<p>1. ALL MECHANICAL EQUIPMENT AND INSTALLATIONS SHALL CONFORM WITH THE REQUIREMENTS OF THE CURRENT ADOPTED VERSIONS OF THE INTERNATIONAL MECHANICAL CODE, INTERNATIONAL BUILDING CODE, INTERNATIONAL ENERGY CONSERVATION CODE, INTERNATIONAL FUEL GAS CODE, NFPA 90A, UNDERWRITERS LABORATORIES (UL), AND ALL APPLICABLE LOCAL CODES ENFORCED BY THE AUTHORITY HAVING JURISDICTION.</p> <p>2. PRIOR TO PURCHASING ANY MATERIALS OR COMMENCING WORK, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DUCTWORK SIZES AND LOCATIONS, EQUIPMENT, ETC. SHOWN ON THE DRAWINGS OR AFFECTING THIS WORK AND SHALL REPORT ANY DEVIATIONS TO THE ENGINEER.</p> <p>3. PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT COMPLETELY TO PROVIDE FULLY OPERATIONAL SYSTEMS.</p> <p>4. ALL MECHANICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.</p> <p>5. LONG LINE REFRIGERANT PIPING APPLICATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE UNIT MANUFACTURER'S RECOMMENDATIONS.</p> <p>6. DUCTWORK VISIBLE THROUGH AIR DEVICES SHALL BE PAINTED FLAT BLACK.</p> <p>7. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL MECHANICAL EQUIPMENT, DUCTWORK, PIPING, ETC. TO FIT WITHIN THE SPACE ALLOWED BY THE ARCHITECTURAL AND STRUCTURAL CONDITIONS. CUTTING OR ALTERING ANY STRUCTURAL MEMBERS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT OR STRUCTURAL ENGINEER.</p> <p>8. ALL PIPE AND DUCT PENETRATIONS OF FIRE AND/OR SMOKE RATED ASSEMBLIES SHALL BE FIRE-STOPPED TO RESTORE ASSEMBLY TO ORIGINAL INTEGRITY. FIRESTOP PRODUCTS SHALL BE MANUFACTURED BY 3M COMPANY AS RECOMMENDED BY MANUFACTURER FOR SPECIFIC APPLICATION AND APPROVED BY LOCAL AUTHORITY HAVING JURISDICTION. ALL FIRE PENETRATIONS MUST BE PROTECTED.</p> <p>9. EXTERNAL STATIC PRESSURE DOES NOT INCLUDE COIL, CASING, OR FILTER PRESSURE DROP.</p> <p>10. ALL THERMOSTATS INSTALLED IN PUBLIC AREAS TO BE FURNISHED WITH CLEAR, LOOKABLE TYPE COVERS.</p> <p>11. PROVIDE CUTTING, PATCHING AND REINFORCEMENT STEEL TO FACILITATE INSTALLATION OF ALL NEW ROOFTOP EQUIPMENT AND ASSOCIATED ROOFCOURB ASSEMBLIES. PRIOR TO FINAL FLASHING OR INSTALLATION/PLACEMENT OF MECHANICAL EQUIPMENT OR ROOFCOURB ASSEMBLIES, CONTRACTOR IS TO PROVIDE SECURE WEATHERPROOF SEALING OF ANY ROOF OPENINGS. SEALING IS TO BE SAFE AND SECURE AND WATER TIGHT TO PREVENT ANY DAMAGE TO INTERIOR PORTIONS. CONSTRUCTION AND FINISHES WITHIN THE BUILDING ENVELOPE. IF ANY DAMAGE OCCURS TO ANY INTERIOR SPACES, CONSTRUCTION OR FINISHES DURING TEMPORARY PATCHING, DEMOLITION AND NEW WORK, CONTRACTOR IS RESPONSIBLE TO FULLY RESTITUTE AND/OR REPLACE/REPAIR DAMAGED AREAS AND ITEMS AT NO COST TO THE OWNER.</p> <p>12. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF REMOVAL OF ALL EQUIPMENT, SYSTEM COMPONENTS, PIPING, VALVING ETC. FROM INTERIOR OF BUILDING TO ALLOW FOR ACCESS AND OTHER REMOVAL TO OCCUR.</p> <p>13. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIRED WORK.</p> <p>14. REFER TO ARCHITECTURAL DRAWINGS FOR CONSTRUCTION DETAILS.</p> <p>15. MAINTAIN MINIMUM 10"-0" CLEARANCE BETWEEN ALL OUTSIDE AIR INTAKE AND EXHAUST AIR DISCHARGE OPENINGS.</p> <p>16. MAINTAIN MINIMUM 10"-0" CLEARANCE FROM ROOFTOP MECHANICAL EQUIPMENT AND ROOF OFFSETS GREATER THAN OR EQUAL TO 30". TYPICAL FOR ALL ROOFTOP EQUIPMENT REQUIRING MAINTENANCE.</p> <p>17. MAINTAIN FURNISHED RTU MANUFACTURER'S REQUIRED CLEARANCES FOR PROPER EQUIPMENT OPERATION AND FOR ACCESS/MAINTENANCE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.</p> <p>18. PROVIDE TURNING VANES IN ALL ELBOWS. PROVIDE FLEXIBLE CONNECTIONS AT ALL DUCTWORK TO EQUIPMENT CONNECTIONS. PROVIDE ALL SUPPORTS NECESSARY TO FACILITATE INSTALLATION OF DUCTWORK.</p> <p>19. MECHANICAL DUCTWORK LAYOUTS ARE SCHEMATIC IN NATURE, CONTRACTOR IS REQUIRED TO PROVIDE OFFSETS AND FITTINGS AS REQUIRED TO ACCOMMODATE FIELD CONDITIONS.</p> <p>20. REFER TO ARCHITECTURAL DRAWINGS AND CODE REVIEW SHEETS FOR REQUIRED FIRE RATED CONSTRUCTION AND PROVIDE ALL FIRE DAMPERS AND/OR REQUIRED PENETRATION ASSEMBLIES AS REQUIRED BASED ON ACTUAL ROUTING OF DUCTWORK IN ACCORDANCE PENETRATED SYSTEM RATINGS.</p> <p>21. PROVIDE BALANCING/VOLUME DAMPERS AT ALL TAKE-OFFS TO AIR DEVICES, AT ALL BRANCH MAIN CONNECTIONS AND AS INDICATED FOR AIR SYSTEM BALANCING.</p> <p>22. GENERAL NOTES APPLY TO ALL DRAWINGS, PLANS AND SCHEDULES.</p> <p>23. PROVIDE PLACARD (BLACK WITH WHITE ETCHED LETTERING) FOR EACH PIECE OF HVAC EQUIPMENT AT A VISIBLE LOCATION INDICATING THE DESIGNATION AND EQUIPMENT NUMBER FOR FUTURE REFERENCING. EXAMPLE: _____</p>	
<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">RTU-2</div>	
<p>MECHANICAL/ELECTRICAL COORDINATION</p> <p>1. CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL MECHANICAL EQUIPMENT WITH ELECTRICAL DRAWINGS & ELECTRICAL CONTRACTOR PRIOR TO ORDERING OR INSTALLING EQUIPMENT. CONTRACTOR SHALL FURNISH EQUIPMENT COMPATIBLE FOR THE VOLTAGES SHOWN ON THE ELECTRICAL DRAWINGS.</p> <p>2. ALL MECHANICAL EQUIPMENT REQUIRING ELECTRICAL POWER SHALL BE INSTALLED WITH DISCONNECT SWITCHES AT EACH PIECE OF EQUIPMENT. COORDINATE SWITCH TYPE (FUZED OR NON-FUZED) WITH EQUIPMENT CHARACTERISTICS, MANUFACTURER'S RECOMMENDATIONS, AND THE ELECTRICAL DRAWINGS.</p> <p>3. INDOOR FAN COIL DISCONNECTS SHALL BE PER SCHEDULES, OUTDOOR CONDENSING UNIT DISCONNECTS SHALL BE BY THE E.C.</p> <p>4. ALL REQUIRED CONTROL WIRING (INCLUDING WIRING FOR TEMPERATURE CONTROL PANELS, DEVICES, ETC.) NOT SHOWN ON THE DRAWINGS SHALL BE INCLUDED AS PART OF THE MECHANICAL WORK.</p>	
<p>CONTROL LEGEND & ABBR.</p> <p>◀ CONTROL SIGNAL - ANALOG INPUT</p> <p>◀ CONTROL SIGNAL - ANALOG OUTPUT</p> <p>◀ CONTROL SIGNAL - DIGITAL INPUT (BINARY)</p> <p>◀ CONTROL SIGNAL - DIGITAL OUTPUT (BINARY)</p> <p>⊞ AIRFLOW MONITOR</p> <p>⊞ CURRENT SENSOR</p> <p>⊞ DAMPER MOTOR</p> <p>⊞ DIFFERENTIAL PRESSURE TRANSMITTER</p> <p>⊞ FRIEZESTAT</p> <p>⊞ HUMIDITY SENSOR</p> <p>⊞ SMOKE DETECTOR</p> <p>⊞ STATIC PRESSURE SENSOR</p> <p>⊞ TEMPERATURE TRANSMITTER</p> <p>⊞ TEMPERATURE SWITCH</p> <p>○ CONTROL VALVE</p> <p>⊞ NORMALLY OPEN</p> <p>⊞ NORMALLY CLOSED</p> <p>⊞ CARBON DIOXIDE SENSOR</p> <p>⊞ MOTOR</p>	
<p>NOTES:</p> <p>NOT ALL SYMBOLS AND ABBREVIATIONS APPLY</p>	

WILLIAM D. HOPKINS III AIA, LEED AP
 NJ-2140700001 PA-14072004
 GEORGE R. DUTHIE, JR., AIA, FP
 NJ-214070000

FVHHD architects
 planners
 Fraytak Veisz Hopkins Duthie P C
 1515 Lower Ferry Road - Trenton - New Jersey 08618
 Pennsylvania: 140 Whitaker Ave - North Clar - Pennsylvania 19403

Project Name
 Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name
 Northern Burlington County Regional School District

Project Location
 160 Mansfield Rd. East, Columbus, NJ 08022

Project Number
 5086.9

Project Date
 03.26.2021

Checked By
 JRS

Drawn By
 WRC

Scale
 AS NOTED

Drawing Name
 MECHANICAL COVER SHEET

Revisions
 No. Date Description

Drawing Number
 H001



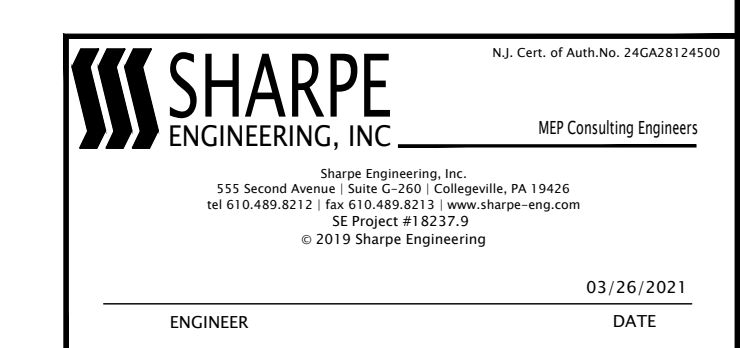
1 H101 MECHANICAL - DEMOLITION WORK - GREENHOUSE & ASSOCIATED BUILDINGS
SCALE: 1/8" = 1'-0"

GENERAL SHEET KEY NOTES:

- COORDINATE ALL REMOVAL WORK WITH PROJECT PHASING. CONTRACTOR TO PROVIDE ALL NECESSARY DEVICES, VALVES, PIPING, ETC. TO MAINTAIN OPERATION OF ALL SYSTEMS REQUIRED TO REMAIN OPERATING DURING DEMOLITION WORK PHASES AS NECESSARY DUE TO BUILDING USAGE AND OVERALL PROJECT PHASING. REFER TO PHASING PROJECT SCOPE IN DETAIL PRIOR TO WORK COMMENCING.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF REMOVAL OF ALL EQUIPMENT, SYSTEM COMPONENTS, PIPING, VALVING, ETC. FROM INTERIOR OF BUILDING TO ALLOW FOR ACCESS AND OTHER DEMOLITION TO OCCUR.
- REMOVE ENTIRE CONTROL SYSTEM ASSOCIATED WITH EQUIPMENT MARKED FOR DEMOLITION IN ITS ENTIRETY INCLUDING PNEUMATIC TUBING, WIRING, CONTROLS, CONTROL PANELS, AND ALL ASSOCIATED APPURTENANCES. REFER TO CONTROL SPECIFICATION SECTION FOR ADDITIONAL COORDINATION AND NOTES PRIOR TO DEMOLITION WORK COMMENCING.
- REMOVE ALL STEEL FRAME SUPPORTS ASSOCIATED WITH MECHANICAL EQUIPMENT/COMPONENTS IN ITS ENTIRETY.
- AT LOCATIONS WHERE REMOVAL OF ANY SYSTEM COMPONENT LEAVES AN OPENING IN THE EXTERIOR OF THE BUILDING WALL, ANY AND ALL UNITS OR STRUCTURAL SUPPORT OF SUCH OPENINGS ARE TO REMAIN IN PLACE.
- ALL DEMOLITION WORK TO BE PERFORMED IN ACCORDANCE TO NATIONAL, STATE AND LOCAL STANDARDS AND CODES.
- PROVIDE PRIME CERTIFIED TPO INSTALLER TO PERFORM ALL ROOFING WORK TO MAINTAIN EXISTING ROOFING SYSTEM WARRANTY. VERIFY EXISTING ROOFING SYSTEM WARRANTY AND MANUFACTURER'S SPECIAL REQUIREMENTS TO ENSURE WARRANTY IS MAINTAINED THROUGHOUT DEMOLITION WORK PROCESS ASSOCIATED WITH EQUIPMENT REMOVAL AND CAPPING WORK.
- COORDINATE ALL ROOF WORK WITH ROOFING CONTRACTOR ROOF WORK. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL NOTES AND COORDINATION OF ROOF WORK.
- VERIFY EXISTING ROOFING SYSTEM WARRANTY AND MANUFACTURER'S SPECIAL REQUIREMENTS TO ENSURE WARRANTY IS MAINTAINED THROUGHOUT DEMOLITION WORK PROCESS ASSOCIATED WITH EQUIPMENT REMOVAL WORK.
- MAINTAIN MINIMUM 10'-0" CLEARANCE FROM ROOF EDGE OR OFFSETS IN ROOF GREATER THAN 30' FOR ALL MECHANICAL EQUIPMENT BEING PROVIDED ON EXISTING AND/OR NEW ROOF SYSTEMS.
- VERIFY AND REMOVE ALL EQUIPMENT MARKED FOR DEMOLITION CONTAINING REFRIGERANT IN ITS ENTIRETY INCLUDING COILS, HANGERS, SUPPORTS, PIPING AND ASSOCIATED APPURTENANCES. DISCONNECT REFRIGERANT LINES IN SUCH A MANNER AS TO CAPTURE REFRIGERANT. REMOVE EQUIPMENT WITHOUT RELEASING REFRIGERANT TO THE ATMOSPHERE. COMPLY WITH ALL APPLICABLE CURRENT CODES, REGULATIONS AND PROVISIONS OF THE CLEAN AIR ACT REGULATIONS CONCERNING THE USE, RECOVERY AND RECYCLING OF REFRIGERANTS. THIS REFRIGERANT REMOVAL WORK APPLIES TO ALL EXISTING BUILDINGS AND ALL AREAS OF EXISTING BUILDINGS.
- COORDINATE ALL REMOVAL WORK WITH INTERIOR CEILING DEMOLITION WORK. COORDINATE AND VERIFY EXTENT OF G.C. CEILING DEMOLITION WORK PRIOR TO REMOVAL WORK COMMENCING.
- SCHEDULE AND OBTAIN APPROVAL FOR ALL SYSTEM SHUTDOWNS WITH OWNER PRIOR TO COMMENCING WITH DEMOLITION WORK. COORDINATE WITH ALL REMOVAL WORK WITH PROJECT PHASING. REFER TO ITEM 1 ABOVE.
- FOR ALL EXTERIOR WALL OPENINGS WITH LOUVERS TO REMAIN AT COMPLETION OF DEMOLITION WORK, PATCH INTERIOR SIDE OF EXTERIOR WALL AT COMPLETION OF REMOVAL. PROVIDE 2" BOARD INSULATION AND SHEET METAL BLANKING TO COVER EXTERIOR LOUVER REMAINING ON INTERIOR OF EXTERIOR WALL. PATCH REMAINING WALL OPENING FLUSH TO INTERIOR WALL FINISH AND MATCH EXISTING CONSTRUCTION, INSULATION AND MATERIALS. SEAL WALL PATCHING TO MAKE WEATHERTIGHT. EXISTING EXTERIOR GRILLE TO REMAIN. NO EXTERIOR BRICKWORK TO OCCUR.
- PIPING DROPS LOCATED IN EXISTING WALLS OR CHASES ARE TO BE ABANDONED IN PLACE WHERE EXISTING EQUIPMENT IS REMOVED AND NEW EQUIPMENT WILL NOT NEED TO UTILIZE CHASE OR EXISTING WALL PIPING DROPS. ABANDONED PIPE DROPS ARE TO BE CUT, DRAINED, CAPPED AND SUPPORTED ABOVE CEILING. PIPING DROPS IN EXISTING WALLS OR CHASES SHALL BE RELEASD WHERE EXISTING EQUIPMENT IS REPLACED IN KIND WITH NEW AND EXISTING PIPE ROUTING CAN BE UTILIZED.
- REFER TO ALL ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES FOR ADDITIONAL REQUIRED WORK.

DEMOLITION WORK NOTES:

- REMOVE ALL MECHANICAL EQUIPMENT AND ASSOCIATED COMPONENTS LOCATED THROUGHOUT INDICATED AREAS OF WORK IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO AIR HANDLING UNITS, FLUES, DUCTWORK, PIPING, HANGERS, SUPPORTS, INSULATION, VALVES, VIBRATION DEVICES, POWER VENTILATORS, VENTS, UNIT HEATERS, LOUVERS, A/C COMPONENTS AND WIRING. PNEUMATIC TUBING, AIR COMPRESSORS, CONNECTORS, FINED TUBE, RADIATORS, AIR DEVICES, TERMINAL UNITS, PUMPS, TANKS, DUCT COILS, CONCRETE HOUSE KEEPING PADS, ETC. COORDINATE WITH ASSOCIATED POWER/FUEL CONNECTIONS AND DEMOLITION OF SUCH SYSTEMS FOR VERIFICATION SYSTEMS ARE MADE SAFE PRIOR TO DEMOLITION OF ASSOCIATED EQUIPMENT.
- REMOVE ALL WALL MOUNTED THERMOSTATS IN THEIR ENTIRETY INCLUDING SUPPORTS, WIRING, AND PNEUMATIC TUBING.



WILLIAM D. HOPKINS III, AIA, LEED AP
NJ: 210700001 PA: 040700004
GEORGE R. DUTHIE, JR., AIA, FP
NJ: 210700000

FVHHD architects
planners

Fraytak Veisz Hopkins Duthie P C
1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave - North Clar - Pennsylvania 19463

1/16/2021
Date

F V H D P C . C O M

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JRS

Drawn By
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Scale
AS NOTED

Drawing Name
MECHANICAL DEMOLITION GREENHOUSE & ASSOCIATED BUILDINGS

Revisions	No.	Date	Description

Drawing Number
H101

ELECTRICAL LEGEND AND ABBREVIATIONS

Main table containing abbreviations, descriptions, and symbols for various electrical components like lighting, power, systems, and fire alarm.

GENERAL NOTES

- List of 12 general notes regarding electrical equipment, conformance, and installation requirements.

MOUNTING HEIGHTS

Table listing mounting heights for various electrical components like exit signs, fire alarm appliances, and panelboards.

Professional stamp for FVH D architects planners, including name, address, and contact information.

Project Name: Site Work, Existing Building & Greenhouse Demolition and Miscellaneous Renovations at Northern Burlington County Regional High School

Project Owner Name: Northern Burlington County Regional School District

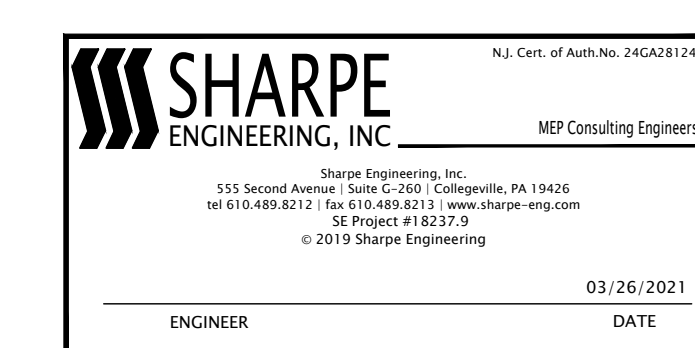
Project Location: 160 Mansfield Rd. East, Columbus, NJ 08022

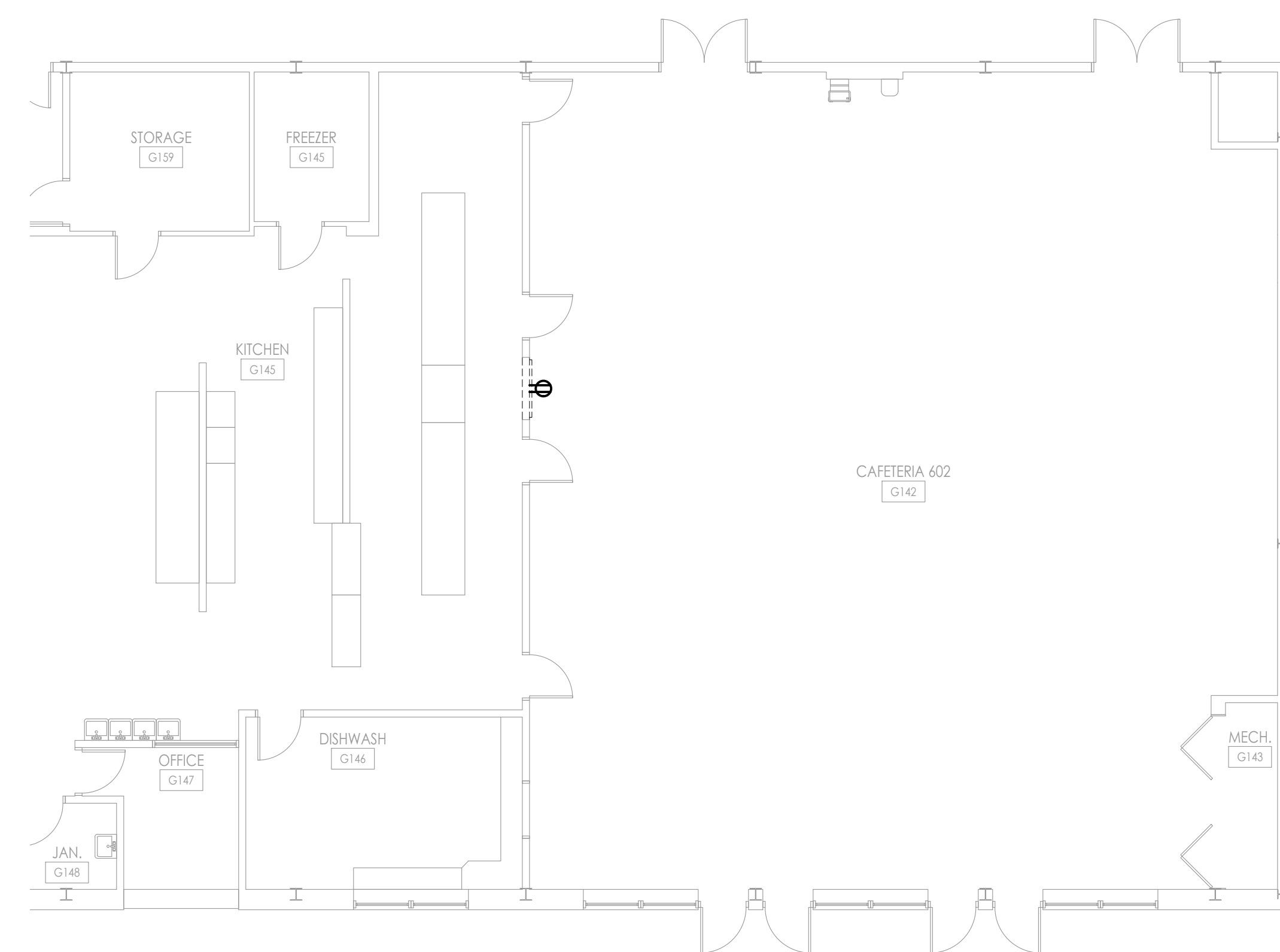
Project Number: 5086.9
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Checked By: RDF
Drawn By: RDF
Scale: AS NOTED

Drawing Name: ELECTRICAL COVER SHEET

Revisions table with columns for No., Date, and Description.

Drawing Number: E001





1 ELECTRICAL - NEW WORK - EAST CAFETERIA SERVING LINE
SCALE: 1/8" = 1'-0"

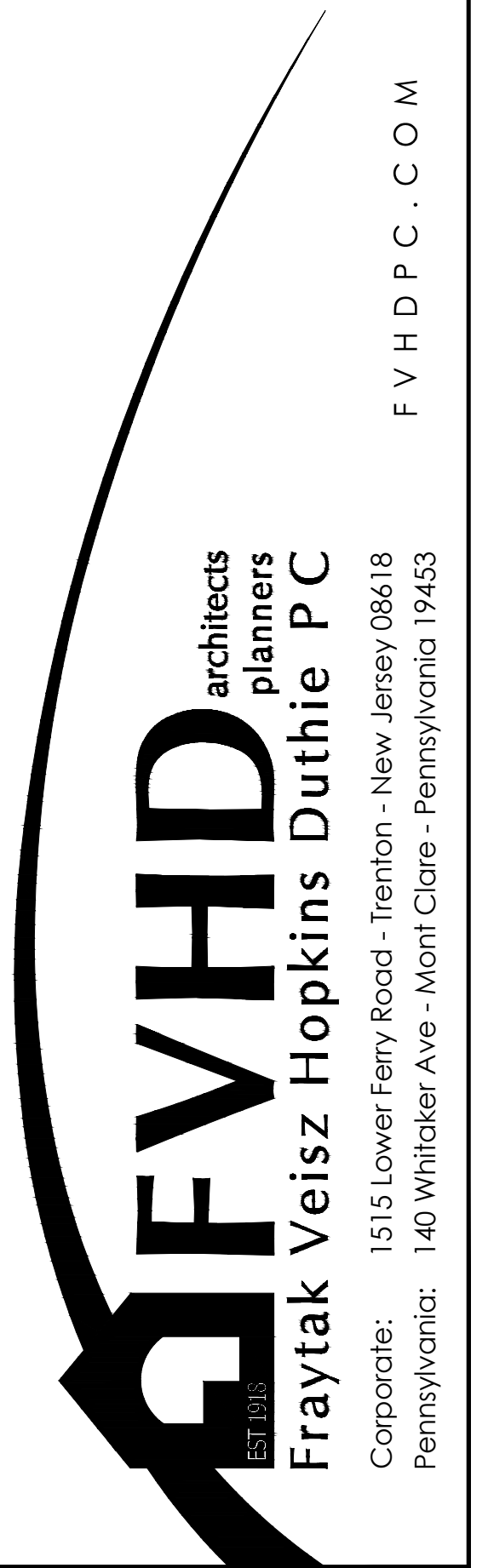


2 ELECTRICAL - DEMOLITION WORK - GREENHOUSE & ASSOCIATED BUILDINGS
SCALE: 1/8" = 1'-0"

KEY NOTES
1 REMOVE ALL ELECTRICAL EQUIPMENT IN HATCHED AREA IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FEEDERS, BRANCH CIRCUITS, CONDUIT, WIRING DEVICES, BOXES, HANGERS, SUPPORTS, LIGHT FIXTURES, PANELBOARDS AND ALL ASSOCIATED APPURTENANCES. DISCONNECT AND REMOVE POWER SUPPLIES FOR ALL HVAC AND PLUMBING EQUIPMENT.

WILLIAM D. HOPKINS III, AIA, LEED AP
NJ: 2140700001 PA: 140720004
GEORGE R. DUTHIE, JR., AIA, FP
NJ: 2140700000

William D. Hopkins
Architect



F V H D P C . C O M

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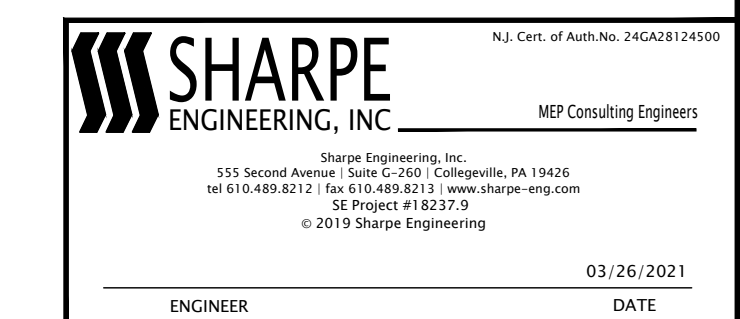
Scale
AS NOTED

Drawing Name
ELECTRICAL DEMOLITION WORK

Revisions	No.	Date	Description

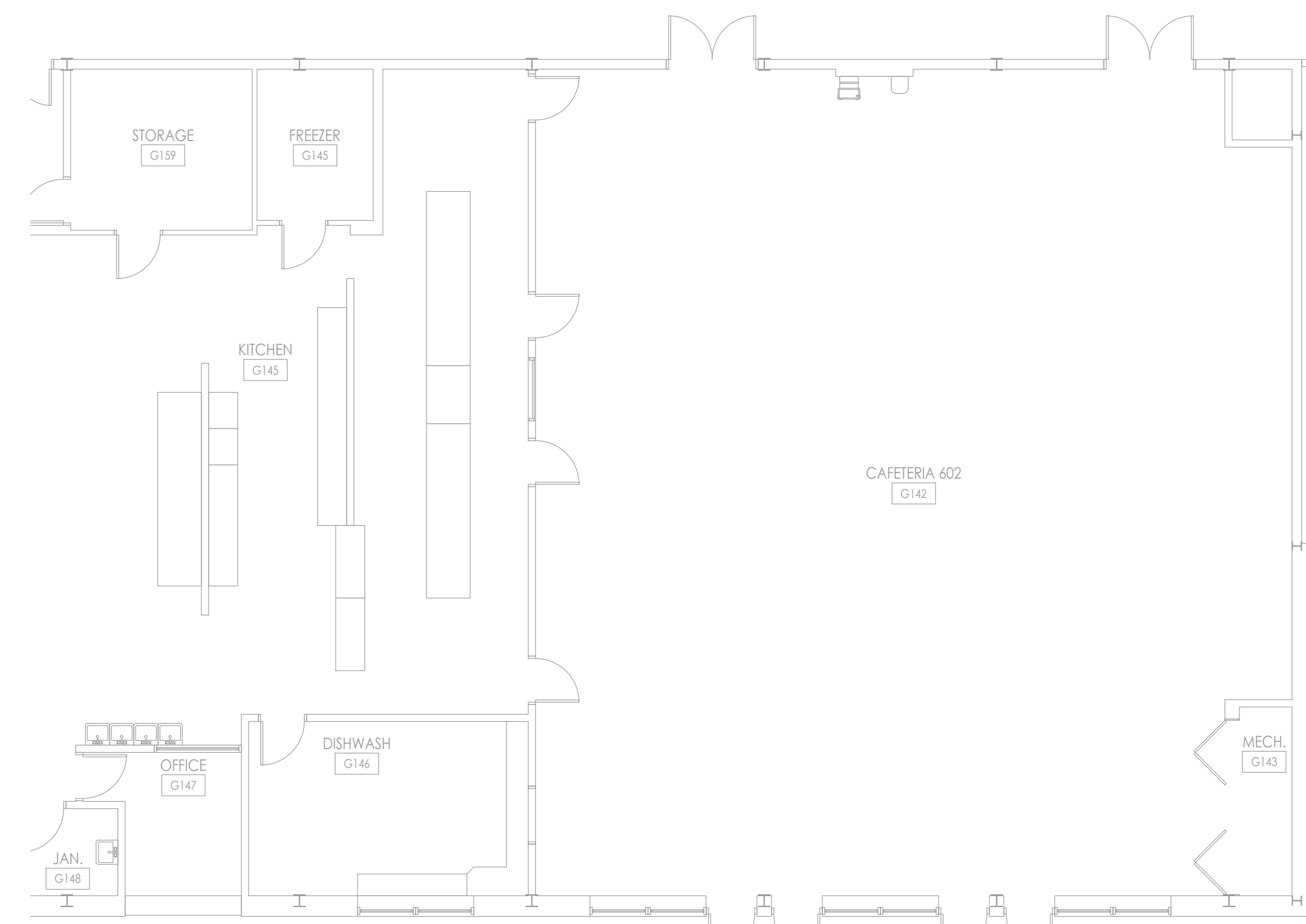
Drawing Number

E101

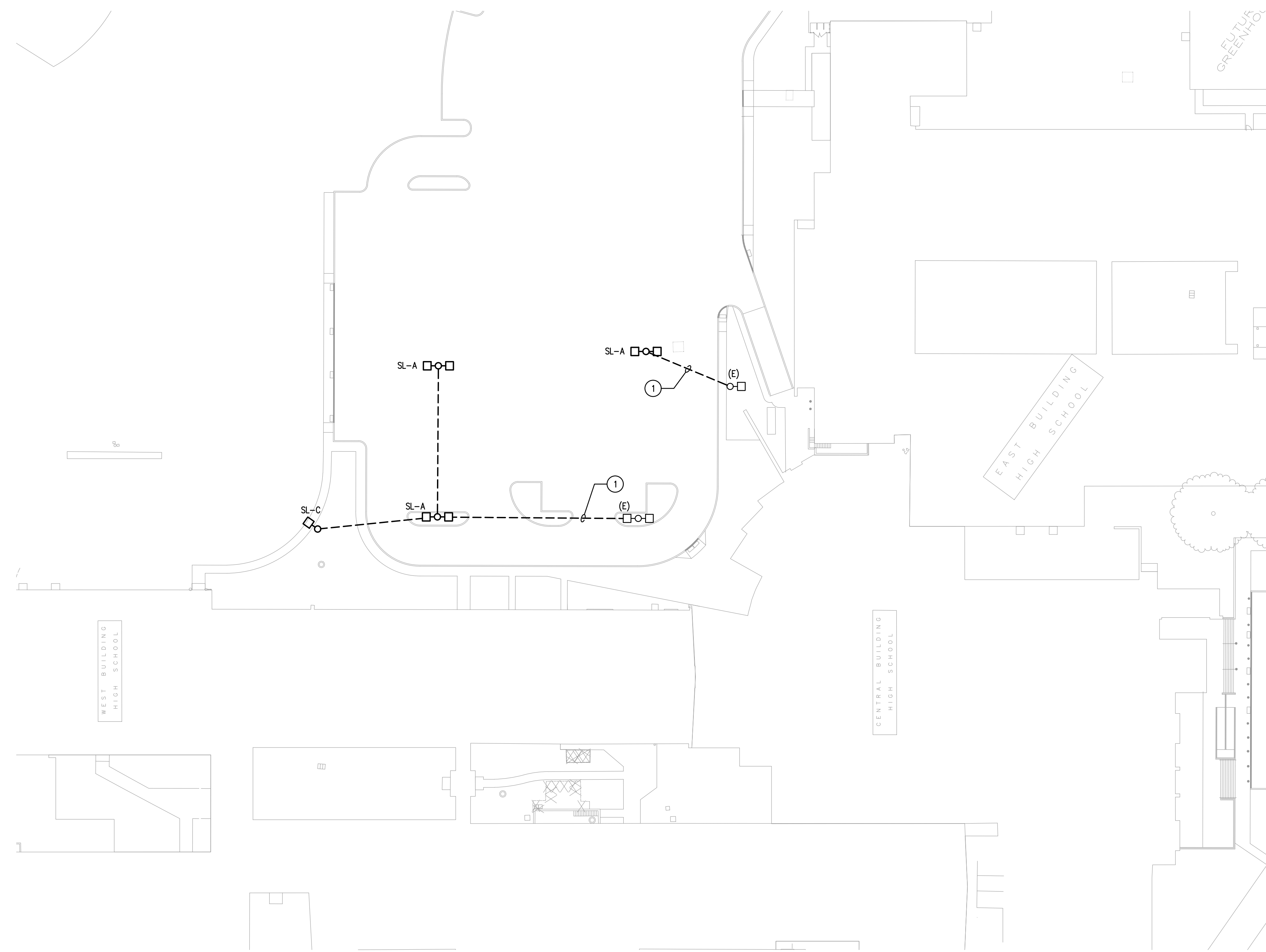


SITE LIGHTING FIXTURE SCHEDULE								
TYPE	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	VOLTS	LIGHTING SYSTEM	LAMPS	MOUNTING	INPLT WATTS	NOTES
SL-A	DUAL-HEAD, POLE-MOUNTED SITE LIGHT	REFER TO SITE/CIVIL PLANS	277V	LED	LED	POLE	356W	
SL-C	SINGLE-HEAD, POLE-MOUNTED SITE LIGHT	REFER TO SITE/CIVIL PLANS	277V	LED	LED	POLE	178W	

KEY NOTES
 ① CONNECT NEW SITE LIGHT FIXTURE(S) TO EXISTING SITE LIGHTING CIRCUIT.



1
E201
ELECTRICAL - NEW WORK - EAST CAFETERIA SERVING LINE
SCALE: 1/8" = 1'-0"



2
E201
ELECTRICAL - NEW WORK - PARTIAL SITE PLAN
SCALE: 1" = 80'

WILLIAM D. HOPKINS III, AIA, LEED AP
 NJ-2140700001 PA-14072004
 GEORGE R. DUTHIE, JR., AIA, FP
 NJ-214070000

William D. Hopkins
 Architect

FVHHD architects
 planners
Fraytak Veisz Hopkins Duthie P C
 1515 Lower Ferry Road - Trenton - New Jersey 08618
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Drawing Name
 ELECTRICAL NEW WORK

Revisions	No.	Date	Description

Drawing Number
E201

SHARPE
 ENGINEERING, INC.
 MEP Consulting Engineers

315 Laurel Avenue, Suite 201, Philadelphia, PA 19104
 Tel: 215-381-1111 Fax: 215-381-1112
 www.sharpe-engineering.com

03-26-2021
 DATE