



**TECHNICAL SPECIFICATIONS
FOR
2022 SIDING REPLACEMENT PROJECT**

PREPARED FOR:

**OCEAN FRONT
CONDOMINIUM ASSOCIATION**



**CITY OF BRIGANTINE
ATLANTIC COUNTY, NEW JERSEY**

CARE OF:

**THOMPSON REALTY
1613 ATLANTIC AVENUE, P.O. Box 57
ATLANTIC CITY, NEW JERSEY 08404**

**OCTOBER 2021
PROJECT NUMBER: 4467.0003**

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The Engineer may furnish additional drawings as may be required for further explanation of details for work under this Contract, but these drawings will not include shop drawings. Shop Drawings shall be completed and submitted for Engineer's review for compliance with the contract documents prior to the starting of work by the Contractor, as specified herein.

SECTION 001110
ADVERTISEMENT FOR BIDS
NOTICE TO BIDDERS:

Ocean Front Condominium Association
City of Brigantine, Atlantic County, New Jersey

Sealed bids shall be called for, and shall be received at: **FWH Associates, 1856 Route 9, Toms River, New Jersey 08755 on October 27, 2021.** The work shall include siding replacement and other related work to begin on or about **Spring 2022** located in the City of Brigantine, Atlantic County, New Jersey. The breakdown of the three (3) buildings

Building 100

Building 200, 400, 500 and 600 (to be considered one (1) building)

Building 300

Work consists of furnishing all supervision, labor, material and equipment necessary to perform the work outlined in the Specifications. The work will include and shall not necessarily be limited to the following scope of work:

1. Mobilization and acquisition of building permits.
2. Removal, storage, protection and reinstallation of existing downspouts
3. Replacement of all deteriorated wood components (i.e., sheathing, framing, etc.) as required (Extra Work).
4. Removal of existing stucco and installation of new Portsmouth 7” Shake vinyl siding. Shall include Tyvek WRB, flashings, J-channels, mount blocks, sealants at dissimilar materials and associated components.
5. Installation of new PVC trim (with integrated “conceal” J-channels) at window/door perimeters, PTAC sleeve perimeters, inside/outside corners, floor lines (east/west elevations only), frieze boards, mount blocks, door kickplates and paneling per FWH’s renderings and these specifications.
6. Installation of PVC mount blocks at wall mounted utilities, unit numbers fire extinguisher housing, railings, etc.
7. Installation of new building and unit designation numbers.
8. Removal of existing stucco soffits at roof overhangs and underside of balconies and installation vented vinyl soffit panels. Shall include additional measures required to secure the new soffit panels.
9. Replacement of existing wall and ceiling mounted light fixtures with new LED bulkhead light fixtures.
10. Installation of new flood/security lighting at existing locations.
11. Replacement of PTAC HVAC sleeves. All associated interior finish work shall be the responsibility of the unit owner.
12. Replacement of existing exterior wall-mounted fire extinguishers. Shall include housing enclosure.
13. Replacement of existing fire alarm speaker-strobe and manual pull. Shall include all associated exterior electrical lines/conduct. All electrical work shall be completed by a licensed electrician.
14. Replacement of shed roof at rear of building 100. Shall include necessary framing, sheathing, roofing, flashings and associated components. Side (gable) ends shall be clad with PVC trim/sheets and soffit shall be fully perforated (vented) soffit panels.
15. Replacement of common area exterior doors and windows (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.

16. Removal and replacement of existing utility enclosures. Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.
17. Replacement of exterior storage enclosures and doors at north and partial east elevation of building 400. Shall include all necessary hardware. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing. The existing framing shall remain.
18. Replacement of exterior shower and associated components at east elevation of building 400. Shall include replacement of sheathing, roofing, flashing, hardware and associated components (framing to remain). Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing and roofing shall be replaced with asphalt shingles, flashings and associated components atop CDX sheathing (new roof framing to provide min. 2:12 slope). The replacement of all shower piping, fixtures and associated components shall be completed by a licensed plumber.
19. Replacement of existing crawlspace hatch with new PVC hatch to match dimensions of existing at building 100.
20. Installation of new stainless steel Smart Vent foundation flood vents at existing locations at building 100.
21. Replacement of existing hose bibbs to match depth of new siding. All work shall be completed by a licensed plumber.
22. Replacement of exterior outlet with GFI protected exterior outlet in UL certified outlet box with clear bubble cover (installed by licensed electrician).
23. Removal/reinstallation of wall-mounted HVAC split-system heat pump and bracket. Existing bracket to be reinstalled atop a PVC mount block. All associated HVAC work shall be completed by a licensed HVAC contractor.
24. Replacement of existing decking and railing with Fiberon composite decking and PVC railing at rear of building 100 (Alternate Bid).
25. Clean-up of buildings and site, including removal of all removed and surplus material, and construction debris.

***Note: All fasteners and connectors shall be marine grade 316 stainless steel.**

Specifications and forms of bids for the proposed work may be inspected at FWH Associates, P.A., 1856 Route 9, Toms River, New Jersey 08755. Bidders are furnished with one (1) copy of the Specifications attached herein.

END OF SECTION 001110

SECTION 002110 INSTRUCTIONS TO BIDDERS

This Specification will be emailed to the contact person for the contractor. The email will contain this entire Specification booklet as a “form” style PDF file. This file will have openings where required information is to be filled out by the Contractor. ALL of the fields that are highlighted in light blue are REQUIRED to be filled out in order for the bid to be valid. Once completed with filling out this file and checking the numbers to ensure accuracy, **save the file on your computer**. Attach the completed and saved bid file in an email back to FWH Associates.

In order to properly fill out, save and submit this PDF form, respondents must use **Adobe Reader or Acrobat 8.0 or greater**. Adobe Reader is free and is downloadable from: <http://get.adobe.com/reader/>

Bidders must follow all instructions in the Bid Solicitation, the Instructions to Bidders issued by FWH Associates, P.A., and any other documents issued by FWH Associates, P.A. (FWH) with this solicitation (collectively, “Bid Documents”). Bidders must examine the bids documents carefully before bidding. The Bidder must contact the **Project Manager: Jon McAvoy; jmcavoy@fwhassociates.com**, and the **Office Administrator; Patt Azurak; pazurak@fwhassociates.com** **in writing (via email) with any Requests for Information (RFI) for any interpretation and/or correction of any apparent ambiguity, inconsistency, or apparent error therein (whose error)**. If necessary, an interpretation or correction to these specifications shall be issued by FWH in response to inquiries and/or an Addendum shall be emailed. RFI’s or correction shall be considered on if received no later than **five (5) days prior** to the Bid closing date.

Bidders shall examine the Specifications and project site, to determine all factors and conditions affecting the required work. The information herein is not guaranteed as being complete and correct. Each bidder should include all factors and conditions necessary to complete the intended work in accordance with these Specifications.

Bidders who OBTAIN the bid documents upon the issuance of and Addendum by FWH shall include any and or all Addendums in the submission of said bid documents and therefore become part of the specifications.

The submission bid shall constitute the Bidder’s full and complete acknowledgement of the required scope of work in these specifications. The Bidder is fully aware of the conditions, requirements and details as stated in these Bid Documents.

If the Bidder, prior to submitting a Bid fails to notify FWH of the existence of an ambiguity or inconsistency in the Bid Documents, the bid shall be conclusively presumed to have been submitted based upon FWH’s interpretation of such ambiguity or inconsistency.

Bids containing any conditions, omissions, alterations or items not called for in these specifications or irregularities of any kind, may be rejected by FWH, in its sole discretion. **The Bidder shall not attach any conditions, limitations or provisos to the Bid Documents.**

The description of materials and methods described and defined as “Specifications”, shall be accepted by the Contractors submitting bids and shall become part of the Contract to be executed by the selected Contractor.

Each Bidder must submit a dollar amount for every Pay Item on the Bid Proposal Form. Proposals must be submitted on the forms contained herein, or photocopies of same, and be completed in ink. All blank spaces must be filled in.

Incomplete proposals (i.e., missing pay items – incomplete required documents) will not be considered for review/consideration by the Owners.

Payments shall be made, for the work completed at the unit prices indicated on the Bid Proposal Form, regardless of the actual quantities or price of materials required to be constructed or installed. **Additional quantities must be accompanied by a fully executed Change Order, signed by the Owner with consent by the Engineer and a separate invoice with a full description, including locations.** It is possible that additional work, not indicated in the Specifications may be directed in the field by the Owner to be compensated for as Extra Work, in accordance with the Specifications herein.

The Owner will have the right to reject any and all Bids and reserves the right to select a Contractor whose bid may not be the lowest submitted.

Any bids submitted that do not utilize the included bid solicitation sheets and all other requested forms within this document will not be accepted for consideration.

All bidders shall sign this document upon completing the bid proposal forms which includes the specifications outlined for construction.

Upon acceptance, signatures of the board president will be furnished to form a binding contract between Contractor and Owner.

If, for any reason, the Contractor cannot submit the bid with this process, the Contractor shall contact FWH Associates for a hard copy of the specification. The Contractor is then responsible for completing the specification book, signed on page 133 and mailing or delivering in an envelope marked “**Ocean Front Condominium Association – 2022 Siding Replacement Project**” to:

**FWH Associates, P.A.
1856 Route 9
Toms River, New Jersey 08755**

Bids due to the FWH office by October 27, 2021 by the end of the business day.

Bidders shall examine the Specifications and project site, to determine all factors and conditions affecting the required work. The information herein is not guaranteed as being complete and correct. Each bidder should include all factors and conditions necessary to complete the intended work in accordance with these Specifications.

The description of materials and methods described and defined as “Specifications”, shall be accepted by the Contractors submitting bids and shall become part of the Contract to be executed by the selected Contractor.

This solicitation is for the removal and re-siding of three (3) buildings within the **Ocean Front Condominium** community. The bid solicitation sheets must be completed and submitted.

The time allocation for completion of each phase of the construction including punchlist items is:

- **Three (3) residential buildings – ninety (90) working days.**

Construction will commence in **Spring 2022**, or as directed by the property manager.

END OF SECTION 002110

**SECTION 004110
FORM OF BID PROPOSAL**

Please note that this Section contains pages 10 to 31 which request specific information from the Contractor.

All questions must be answered in full within this Section to be considered acceptable for bidding.

Please return the **entire document (signed on page 133)** to FWH Associates, P.A. as specified on page 7 “Instruction to Bidders”.

Note:

All required permits for this project must be obtained by the Contractor. The permits must be approved and confirmation of said approval must be sent to the Owner’s Representative (FWH Associates, P.A.) *before* work can proceed.

**PROJECT: OCEAN FRONT CONDOMINIUM ASSOCIATION
2022 SIDING REPLACEMENT PROJECT**

LOCATION: CITY OF BRIGANTINE, ATLANTIC COUNTY, NEW JERSEY

BID SUBMITTED ON (Date): _____

BIDDER: Name: _____

Contact Person: _____

Address: _____

Phone Number: _____

Email: _____

SUBMISSION REQUIREMENTS

(Submit Signed Copy with Bid Documents)

REQUIRED

Failure to submit any of the following documents will result in rejection of the bid and elimination of further consideration (N.J.S.A. 40A:11-23.1b)

Initial Each Required Entry and Submit Required Document

<input type="checkbox"/>	A statement of corporation ownership, pursuant to N.J.S.A. 54:24-24.2 Stockholder Statement _____
<input type="checkbox"/>	New Jersey " Business Registration" contractor and sub-contractors _____
<input type="checkbox"/>	Acknowledgement of receipt any/all notices(s), revisions(s), addendum (s) to these specifications _____
<input type="checkbox"/>	A list of Subcontractors as required by N.J.S.A. 40A:11-16 (Subcontractor's Declaration) _____
<input type="checkbox"/>	Bid Solicitation Sheets _____
<input type="checkbox"/>	Affirmation of Site Visit _____
<input type="checkbox"/>	Form of Non-Collusion Affidavit _____
<input type="checkbox"/>	Signature Pages _____ (pages 11 & 133)

Contractor: _____

Signed By: _____

Printed Name: _____

THIS SHEET MUST BE RETURNED WITH ALL BID DOCUMENTS

1.01 BIDDER STATEMENT

- A. The bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with the Owner in the form included in the Contract Documents to complete all work as specified or indicated in the Contract Documents for the Contract Price and within the Contract Time indicated in this Bid and in accordance with the Contract Documents.
- B. Bidder shall be familiar with the Drawings, Project Manual and other documents that will form parts of the Contract and shall have investigated the site of the Project prior to submitting Proposal. Said examination shall be as necessary to satisfy the Bidder regarding the character and amount of work involved. The Bidder shall also have satisfied itself that the necessary labor and equipment can be secured and that the materials it proposes to use will comply with the requirements therefore and can be obtained by the Bidder in the quantities and at the time required.
- C. Bidder accepts all of the terms and conditions of the Instructions to Bidders. This Bid shall remain applicable for sixty (60) calendar days after the day of Bid opening. Bidder shall sign the Agreement and submit the other documents required by the Contract Documents within the time period so specified after the date of Owner's Notice of Award.

1.02 VERIFICATION BY CONTRACTOR

Contractor to Check Drawings and Schedules: *The Contractor shall check all dimensions and quantities on the drawings or schedules given to him by the Engineer and shall notify the Engineer of all errors therein which may be discovered by examination and checking. He/she shall not take advantage of any error or omission in these Specifications, or in the drawings or schedules, and full instructions will be furnished by the Engineer whenever such error or omission is discovered.* The Contractor shall carry out such instructions as if originally specified. If the Contractor feels that a change in Contract price or time of completion may result for any discrepancy found, the Contractor must make this clear at the time of notification that the discrepancy is found.

In submitting this Bid, Bidder represents, as more fully set forth in the Agreement, that:

Bidder has examined the site and locality where the work is to be performed, the legal requirements (federal, state and local laws, ordinances, rules and regulations) and the conditions affecting cost, progress or performance of the Work and has made such independent investigations as Bidder deems necessary;

This Bid is genuine and not made in the interest of or on behalf of any undisclosed person, firm or corporation and is not submitted in conformity with any agreement or rules of any group, association, organization or corporation; Bidder has not directly or indirectly included or solicits any other Bidder to submit a false or sham Bid; refrain from bidding; and Bidder has not sought by collusion to obtain for himself any advantage over any other Bidder or over Owner.

Bidder has examined copies of all Contract Documents and of the following Addenda:

<u>Addenda No.</u>	<u>Addenda Date</u>
_____	_____
_____	_____

(Receipt of all of which is hereby acknowledged) and also copies of the Advertisement or Invitation to Bid and the Instructions to Bidders.)

Starting/Completing of Work: Contractor shall commence the work agreed to hereunder within five (5) working days of receipt of written notice to proceed from the property manager. By executing this Agreement, Contractor confirms that the Completion Schedule included on the bid form (exclusive of weather delays) is a reasonable period for performing the work, and that the “Completion Schedule” must be adhered to in the performance of the work covered under this Agreement.

END OF SECTION 004110

**SECTION 004143
 BID SOLICITATION SHEET
 Ocean Front Condominium Association
 2022 Siding Replacement project
 Base Bid: Building 100**

Bid Date: _____

Contractor: _____

The base bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
A	Removal of existing stucco and installation of new Portsmouth 7" Shake vinyl siding. Shall include Tyvek WRB, flashings, J-channels, mount blocks, utility vents, sealants at dissimilar materials and associated components.	_____/SQ	\$_____/SQ	\$ _____
B	Installation of new PVC trim (with integrated "conceal" J-channels) at window/door perimeters, PTAC sleeve perimeters, inside/outside corners, floor lines, frieze boards, mount blocks, door kickplates and paneling per FWH's renderings and these specifications.	_____/SF	\$_____/SF	\$ _____
C	Installation of PVC mount blocks at wall mounted utilities, unit numbers fire extinguisher housing, railings, etc.	_____/SF	\$_____/SF	\$ _____
D	Installation of new building and unit designation numbers.	_____/LS	\$_____/LS	\$ _____
E	Removal of existing stucco soffits at roof overhangs and underside of balconies and installation vented vinyl soffit panels. Shall include additional measures to secure the new soffit panels.	_____/SF	\$_____/SF	\$ _____
F	Replacement of existing wall and ceiling mounted light fixtures with new LED bulkhead light fixtures	_____/EA	\$_____/EA	\$ _____
G	Installation of new flood/security lighting at existing locations.	_____/EA	\$_____/EA	\$ _____
H	Replacement of PTAC HVAC sleeves. All associated interior finish work shall be the responsibility of the unit owner.	_____/EA	\$_____/EA	\$ _____

(continued)

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Base Bid: Building 100

Bid Date: _____

Contractor: _____

The base bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
I	Replacement of existing exterior wall-mounted fire extinguishers. Shall include housing enclosure.	_____/EA	\$_____/EA	\$_____
J	Replacement of existing fire alarm speaker-strobe and manual pull. Shall include all associated exterior electrical lines/conduct. All electrical work shall be completed by a licensed electrician.	_____/LS	\$_____/LS	\$_____
K	Replacement of shed roof at rear of building. Shall include necessary framing, sheathing, roofing, flashings and associated components. Side (gable) ends shall be clad with PVC trim/sheets and soffit shall be fully perforated (vented) soffit panels.	_____/LS	\$_____/LS	\$_____
L	Replacement of 2'6" exterior door at the rear elevation serving the water heater enclosure (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	1 EA	\$_____/EA	\$_____
M	Removal and replacement of existing utility enclosure at rear of building 100 (4'-5" wide x 8'-0" height x 2'-0" deep). Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.	_____/LS	\$_____/LS	\$_____
N	Removal and replacement of existing utility enclosure at rear of building 100 (4'-0" wide x 7'-0" height x 1'-4" deep). Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.	_____/LS	\$_____/LS	\$_____

(continued)

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Base Bid: Building 100

Bid Date: _____

Contractor: _____

The base bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
O	Replacement of existing crawlspace hatch with new PVC hatch to match dimensions of existing.	_____/EA	\$_____/EA	\$_____
P	Installation of new stainless steel Smart Vent foundation flood vents at existing locations.	_____/EA	\$_____/EA	\$_____
Q	Replacement of existing hose bibb to match depth of new siding. All work shall be completed by a licensed plumber.	_____/EA	\$_____/EA	\$_____
R	Replacement of exterior outlet with GFI protected exterior outlet in UL certified outlet box with clear bubble cover (installed by licensed electrician).	_____/EA	\$_____/EA	\$_____
S	Removal/storage/protection/reinstallation of the existing downspouts.	_____/LF	\$_____/LF	\$_____
TOTAL BASE BID COST: BUILDING 100				\$_____

Alternate Bid: Building 100

The alternate bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
1	Replacement of existing decking and railing with Fiberon composite decking and PVC railing at rear of building 100.	Lump Sum	\$_____/LS	\$_____

***Note: All fasteners shall be marine grade 316 stainless steel.**

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Building 200, 400, 500, and 600 (to be considered one (1) building)

Bid Date: _____

Contractor: _____

The base bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
A	Removal of existing stucco and installation of new Portsmouth 7" Shake vinyl siding. Shall include Tyvek WRB, flashings, J-channels, mount blocks, utility vents, sealants at dissimilar materials and associated components.	_____/SQ	\$_____/SQ	\$ _____
B	Installation of new PVC trim (with integrated "conceal" J-channels) at window/door perimeters, PTAC sleeve perimeters, inside/outside corners, floor lines, frieze boards, mount blocks, door kickplates and paneling building 100 per FWH's renderings and these specifications.	_____/SF	\$_____/SF	\$ _____
C	Installation of PVC mount blocks at wall mounted utilities, unit numbers fire extinguisher housing, railings, etc.	_____/SF	\$_____/SF	\$ _____
D	Installation of new building and unit designation numbers.	_____/LS	\$_____/LS	\$ _____
E	Removal of existing stucco and vinyl soffits at roof overhangs and underside of balconies and installation vented vinyl soffit panels. Shall include additional measures to secure the new soffit panels.	_____/SF	\$_____/SF	\$ _____
F	Replacement of existing wall and ceiling mounted light fixtures with new LED bulkhead light fixtures	_____/EA	\$_____/EA	\$ _____
G	Installation of new flood/security lighting at existing locations.	_____/EA	\$_____/EA	\$ _____
H	Replacement of PTAC HVAC sleeves. All associated interior finish work shall be the responsibility of the unit owner.	_____/EA	\$_____/EA	\$ _____

(continued)

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Building 200, 400, 500, and 600 (to be considered one (1) building)

Bid Date: _____

Contractor: _____

The base bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
I	Replacement of existing exterior wall-mounted fire extinguishers. Shall include housing enclosure.	_____/EA	\$_____/EA	\$_____
J	Replacement of existing fire alarm speaker-strobe and manual pull. Shall include all associated exterior electrical lines/conduct. All electrical work shall be completed by a licensed electrician.	_____/LS	\$_____/LS	\$_____
K	Removal and replacement of existing utility enclosure at north elevation of building 200. (4'-0" wide x 7'-0" height x 2'-0" deep). Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.	_____/LS	\$_____/LS	\$_____
L	Removal and replacement of existing utility enclosure at north elevation of building 200. (6'-0" wide x 7'-0" height x 2'-0" deep). Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.	_____/LS	\$_____/LS	\$_____
M	Removal and replacement of existing utility enclosure at north elevation of building 200. (6'-6" wide x 6'-0" height x 2'-0" deep). Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.	_____/LS	\$_____/LS	\$_____

(continued)

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Building 200, 400, 500, and 600 (to be considered one (1) building)
Bid Date: _____

Contractor: _____

The base bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
N	Removal and replacement of existing utility enclosure at west elevation of building 500. (6'-8" wide x 6'-0" height x 2'-0" deep). Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.	_____/LS	\$_____/LS	\$_____
O	Removal and replacement of existing utility enclosure at west elevation of building 400 below staircase. (5'-0" wide x 8'-0" tapered height x 2'-0" deep). Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.	_____/LS	\$_____/LS	\$_____
P	Replacement of exterior storage enclosures and doors at north and partial east elevation of building 400. Shall include all necessary hardware. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing. The existing framing shall remain.	_____/LS	\$_____/LS	\$_____
Q	Replacement of exterior shower and associated components at east elevation of building 400. Shall include replacement of sheathing, roofing, flashing, hardware and associated components (framing to remain). Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing and roofing shall be replaced with asphalt shingles, flashings and associated components atop CDX sheathing (new roof framing to provide min. 2:12 slope). The replacement of all shower piping, fixtures and associated components shall be completed by a licensed plumber.	_____/LS	\$_____/LS	\$_____

(continued)

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Building 200, 400, 500, and 600 (to be considered one (1) building)

Bid Date: _____

Contractor: _____

The base bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
R	Replacement of 3 ⁰ 6 ⁸ exterior door at the laundry room at building 400 (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	1 EA	\$_____/EA	\$_____
S	Replacement of 6 ¹⁰ 6 ⁶ exterior door at the storage room/alarm at building 400 (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	1 EA	\$_____/EA	\$_____
T	Replacement of 2 ⁴ 6 ⁸ exterior door at the storage room at building 200 (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	1 EA	\$_____/EA	\$_____
U	Replacement of 3 ⁰ 6 ⁸ exterior door at the meeting room at building 200 (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	1 EA	\$_____/EA	\$_____
V	Replacement of 3 ¹⁰ 3 ⁶ exterior slider window at the laundry room at building 400. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	1 EA	\$_____/EA	\$_____
W	Replacement of 5 ⁸ 4 ⁰ exterior slider window at the meeting room at building 200. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	2 EA	\$_____/EA	\$_____
X	Replacement of 3 ⁸ 3 ¹⁰ exterior slider window at the meeting room at building 200. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	2 EA	\$_____/EA	\$_____

(continued)

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Building 200, 400, 500, and 600 (to be considered one (1) building)

Bid Date: _____

Contractor: _____

The base bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
Y	Removal/reinstallation of wall-mounted HVAC split-system heat pump and bracket. Existing bracket to be reinstalled atop a PVC mount block. All associated HVAC work shall be completed by a licensed HVAC contractor.	_____/LS	\$_____/LS	\$_____
Z	Replacement of exterior outlet with GFI protected exterior outlet in UL certified outlet box with clear bubble cover (installed by licensed electrician).	_____/EA	\$_____/EA	\$_____
AA	Removal/storage/protection/reinstallation of the existing downspouts.	_____/LF	\$_____/LF	\$_____
TOTAL BASE BID COST: BUILDING 200, 400, 500, AND 600				\$_____

***Note: All fasteners shall be marine grade 316 stainless steel.**

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Base Bid: Building 300

Bid Date: _____

Contractor: _____

The base bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
A	Removal of existing stucco and installation of new Portsmouth 7" Shake vinyl siding. Shall include Tyvek WRB, flashings, J-channels, mount blocks, utility vents, sealants at dissimilar materials and associated components.	_____/SQ	\$_____/SQ	\$ _____
B	Installation of new PVC trim (with integrated "conceal" J-channels) at window/door perimeters, PTAC sleeve perimeters, inside/outside corners, floor lines (at non-balcony locations), frieze boards, mount blocks, door kickplates and paneling per FWH's renderings and these specifications.	_____/SF	\$_____/SF	\$ _____
C	Installation of PVC mount blocks at wall mounted utilities, unit numbers fire extinguisher housing, railings, etc.	_____/SF	\$_____/SF	\$ _____
D	Installation of new building and unit designation numbers.	_____/LS	\$_____/LS	\$ _____
E	Removal of existing stucco and vinyl soffits at roof overhangs and underside of balconies and installation vented vinyl soffit panels. Shall include additional measures to secure the new soffit panels.	_____/SF	\$_____/SF	\$ _____
F	Replacement of existing wall and ceiling mounted light fixtures with new LED bulkhead light fixtures	_____/EA	\$_____/EA	\$ _____
G	Installation of new flood/security lighting at existing locations.	_____/EA	\$_____/EA	\$ _____
H	Replacement of PTAC HVAC sleeves. All associated interior finish work shall be the responsibility of the unit owner.	_____/EA	\$_____/EA	\$ _____

(continued)

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Base Bid: Building 300

Bid Date: _____

Contractor: _____

The base bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
I	Replacement of existing exterior wall-mounted fire extinguishers. Shall include housing enclosure.	_____/EA	\$_____/EA	\$_____
J	Replacement of existing fire alarm speaker-strobe and manual pull. Shall include all associated exterior electrical lines/conduct. All electrical work shall be completed by a licensed electrician.	_____/LS	\$_____/LS	\$_____
K	Removal and replacement of existing utility enclosure at south elevation of building 300. (5'-6" wide x 6'-0" height x 2'-0" deep). Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.	_____/LS	\$_____/LS	\$_____
L	Removal and replacement of existing utility enclosure at east elevation of building 300. (8'-0" wide x 7'-0" height x 2'-0" deep). Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.	_____/LS	\$_____/LS	\$_____
M	Removal and replacement of existing refuse enclosure at east elevation of building 300. (3'-6" wide x 4'-0" height x 3'-0" deep). Shall include replacement of framing, sheathing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.	_____/LS	\$_____/LS	\$_____

(continued)

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Base Bid: Building 300

Bid Date: _____

Contractor: _____

The base bid includes the cost of materials, labor, disposal and all related work and costs as indicated in the Divisions and Sections provided as part of these Specifications.

		Quantity	Unit Cost	Total
N	Replacement of 2 ² 3 ² exterior door at the storage of building 300 (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	1 EA	\$_____/EA	\$_____
O	Replacement of 2 ⁷ 6 ⁸ exterior door at the storage of building 300 (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	1 EA	\$_____/EA	\$_____
Q	Replacement of existing hose bibb to match depth of new siding. All work shall be completed by a licensed plumber.	_____/EA	\$_____/EA	\$_____
R	Removal/storage/protection/reinstallation of the existing downspouts.	_____/LF	\$_____/LF	\$_____
TOTAL BASE BID COST: BUILDING 300				\$_____

***Note: All fasteners shall be marine grade 316 stainless steel.**

END OF SECTION 004143

**SECTION 004321
 BID SOLICITATION SHEET
 Ocean Front Condominium Association
 2022 Siding Replacement project
 Accepted Extras**

Bid Date: _____

Contractor: _____

Unit Pricing on Items Not in Base Bid

Includes the cost of materials, labor, disposal and all related work as indicated in the applicable Sections of these Specifications.

A	Replacement of deteriorated wall sheathing with CDX plywood sheathing (per 4'x8' sheet). Depth to match existing. Invoiced at full and half sheets. Doug Fir 4-ply to match existing thickness (per Sheet*).	\$_____ Full \$_____ Half
	*Note: Random sheet payment will be based on Half and Full sheets only.	
B	Replacement of interior gypsum panels with ½" sheetrock. Shall include level 2 tape/spackle. Interior finish shall be the responsibility of the unit owner.	\$_____ Full \$_____ Half
	*Note: Random sheet payment will be based on Half and Full sheets only.	
C	Installation of R-13 Kraft faced batten insulation.	\$_____/SF
D	Installation of R-19 Kraft faced batten insulation.	\$_____/SF
E	Replacement of exterior outlet with GFI protected exterior outlet in UL certified outlet box with clear bubble cover (installed by licensed electrician).	\$_____/EA
F	Replacement of 1" x 4" wood trim.	\$_____/LF
G	Replacement of 1" x 6" wood trim.	\$_____/LF
H	Replacement of 1" x 8" wood trim.	\$_____/LF
I	Replacement of 1" x 10" wood trim.	\$_____/LF
J	Removal/reinstallation of window to install pan flashing.	\$_____/EA
K	Removal/reinstallation of exterior entrance door to install pan flashing.	\$_____/EA
L	Removal/reinstallation of exterior sliding patio door to install pan flashing.	\$_____/EA
M	Replacement of 2" x 4" wood framing members.	\$_____/LF
N	Replacement of 2" x 6" wood framing members.	\$_____/LF
O	Replacement of 2" x 8" wood framing members.	\$_____/LF
P	Replacement of 2" x 10" wood framing members.	\$_____/LF
Q	Replacement of 2" x 12" wood framing members.	\$_____/LF
R	Replacement of 2" x 4" pressure treated wood framing members.	\$_____/LF

(continued)

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Accepted Extras

Bid Date: _____

Contractor: _____

Unit Pricing on Items Not in Base Bid

Includes the cost of materials, labor, disposal and all related work as indicated in the applicable Sections of these Specifications.

S	Replacement of 2" x 6" pressure treated wood framing members.	\$_____/LF
T	Removal and replacement of existing roof shingles with GAF® "Timberline HDZ" laminated architectural asphalt shingles (includes step/rolled flashings, aluminum eave/rake drip edges, synthetic roofing felt paper, ice and water shield membrane, removal/reinstallation of siding, as necessary, to install membranes).	\$_____/SQ
U	Installation of 0.024" aluminum trim coil at locations in addition to those specified in the Base Bid.	\$_____/SF
V	Replacement of interior door/window wood trim casing to match existing profile and finish.	\$_____/LF
W	Replacement of existing wood 4" x 4" posts. To include vinyl clad wrap.	\$_____/LF
X	Replacement of existing wood 6" x 6" posts. To include vinyl clad wrap.	\$_____/LF
Y	Installation of new five (5") inch K-style aluminum gutters.	\$_____/LF
Z	Installation of new six (6") inch K-style aluminum gutters.	\$_____/LF
AA	Installation of new 2" x 3" aluminum downspouts.	\$_____/LF
BB	Installation of new 3" x 4" aluminum downspouts.	\$_____/LF
CC	Replacement of existing concrete slab with new 4" Portland cement, minimum 4,500 psi.	\$_____/SF
DD	Replacement of 2 ⁸ 6 ⁸ exterior door (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$_____/EA
EE	Replacement of 3 ⁰ 6 ⁸ exterior door (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$_____/EA
FF	Replacement of 6 ⁰ 6 ⁸ exterior sliding patio door (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$_____/EA
GG	Replacement of 3 ¹⁰ 3 ⁴ exterior slider window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$_____/EA

(continued)

BID SOLICITATION SHEET
Ocean Front Condominium Association
2022 Siding Replacement project
Accepted Extras

Bid Date: _____

Contractor: _____

Unit Pricing on Items Not in Base Bid

Includes the cost of materials, labor, disposal and all related work as indicated in the applicable Sections of these Specifications.

HH	Replacement of 3 ¹⁰ 3 ⁴ exterior double hung window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$ _____/EA
II	Replacement of 3 ² 1 ² exterior slider window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$ _____/EA
JJ	Replacement of 1 ⁴ 1 ¹⁰ exterior slider window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$ _____/EA
KK	Replacement of 2 ⁰ 2 ⁰ exterior double hung window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$ _____/EA
LL	Replacement of 2 ⁴ 3 ² exterior double hung window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$ _____/EA
MM	Replacement of 6 ⁰ 1 ⁴ exterior slider window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$ _____/EA
NN	Replacement of 5 ⁷ 3 ⁵ exterior twin double hung window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$ _____/EA
OO	Replacement of 3 ¹⁰ 3 ¹¹ exterior double hung window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$ _____/EA
PP	Replacement of 5 ⁸ 3 ³ exterior triple slider window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.	\$ _____/EA
QQ	Installation of new wall-mounted vinyl utility vents at locations in addition to existing.	\$ _____/EA
RR	Hourly rate of laborer for other additional work, if required.	\$ _____/HR

Note: A through QQ must include materials and labor.

All fasteners shall be marine grade 316 stainless steel.

END OF SECTION 004321

**SECTION 004500.01
DISCLOSURES STATEMENT**

**OWNERSHIP DISCLOSURES STATEMENT
STATEMENT SETTING FORTH THE NAMES AND ADDRESSES OF STOCKHOLDERS
OR PARTNERS OWNING MORE THAN 10% OF:**

(Name of Organization)

IN COMPLIANCE WITH CHAPTER 33 OF THE LAWS OF 1977.

The following constitute the names and addresses of all stockholders in the corporation if the corporation is a bidder, or partners if the bidder is a partnership who own 10% or more of the corporate stock of the bidder of any classes of all individual partners in the partnership who own 10% or greater interest therein.

In the event no stockholder or partner owns 10% or greater, please so indicate at the appropriate space on this form.

If one or more such stockholder or partner is itself a corporation or is a partnership, the stockholders holding 10% or more of that corporation's stock or the individual partners owning 10% or greater interest in that partnership are as follows:

Name	Address	Percentage of Ownership

NO STOCKHOLDER OR PARTNER OWNS 10% OR MORE OF THE CORPORATE STOCK OR OWNERSHIP OF THE BIDDER.

INITIAL HERE _____

END OF SECTION 004500.01

SECTION 004513
BIDDER'S QUALIFICATIONS

The signatory of this Bid Proposal guarantees the truth and accuracy of all answers and statements concerning experience, equipment and financial information requested below.

1. Years in business under your present company name? _____

2. List 5 recent similar projects completed by your company.
Indicate: Contact Person, Phone Number, Location, Project Type,
Date, Contract Amount.

A. _____

B. _____

C. _____

D. _____

E. _____

3. Has your company, or any company of which you have been an officer, ever:
Failed to complete a contract; Defaulted on a Contract;
Been adjudged bankrupt; Subject to a receivership or an order of the Court?

4. Indicate the names of banks and other financial references from whom can be determined
the characters and financial ability of the Bidder to carry out this Contract:

5. List all equipment which will be used to execute this contract.
(Such as pneumatic nailing guns, power lifts, etc.)

6. List your manpower allocation to execute this contract including supervisors.
(A minimum of one full-time “English” speaking supervisor is required **on-site** at all times.)

Workers _____ Supervisors _____

7. Will all workers and supervisors allocated for this contract be properly covered by workers compensation: _____

If not, why? _____

8. Weather permitting, how many days will be needed to complete the outlined work schedule specified in this contract. (If less than specified time frame of: _____).

List **proposed** schedule per building including manpower per building.
(If individual units are being sided, specify manpower per unit).

9. List all names of material suppliers.

10. Please list all insurance companies and types of insurance.

11. List all subcontractors including phone numbers and addresses.

END OF SECTION 004513

SECTION 004525
FORM OF NON-COLLUSION AFFIDAVIT

NON-COLLUSION AFFIDAVIT:

STATE OF NEW JERSEY }
 } ss.
COUNTY OF }

I, _____ of the Municipality of _____
in the County of _____ and the State of _____

of full age, being duly sworn according to law on my oath depose and say that:

I am _____ of the firm of _____,
the Bidder making the Proposal for the above named project and that I executed the said Proposal with full authority; that said Bidder has not, directly or indirectly, entered into any Agreement, participated in any collusion, or otherwise taken any action in restraint of free competitive bidding, in connection with the above-named project; and that all statements contained in said Proposal and in this affidavit are true and correct and made with full knowledge that the State of New Jersey and the Owner relies upon the truth of the statements contained in this affidavit in awarding the Contract for said project.

I further warrant that no person or selling agency has been employed or retained to solicit or secure such Contract upon an Agreement or understanding for a commission, percentage brokerage, or contingent fee, except bona fide employees or bona fide established commercial or selling agencies maintained by:

(Name of Contractor)
(N.J.S.A. 52:34-15).

Subscribed and sworn to: _____

(Also type or print name of affiant under signature)

before me on this _____ day of _____, 20 ____

_____ Notary Public of _____.

County, State of _____.

My commission expires _____, 20 ____.

END OF SECTION 004525

SECTION 007100
DEFINITIONS

1.01 **DEFINITIONS**

Throughout these Specifications, unless otherwise indicated herein, the following definitions shall apply:

SPECIFICATIONS, shall refer to these Specifications and all material contained herein as part of the Contract, including but not limited to any manufacturer's specifications and recommendations, and published Federal, State and Industry Standards. In the case of published standards, the latest issue, including all official amendments and revisions shall apply unless otherwise indicated.

CONTRACT shall refer to these Specifications, Bid Proposal Forms, and all else referred to or implied herein.

OWNER shall refer to **Ocean Front Condominium Association**, their designated agent, employees, Manager, Management Company, Attorney or Engineer which may provide construction supervision and/or represent the Association, in any matters relating to this construction project.

CONTRACTOR shall refer to the Bidder (Contractor) who is engaged by the Owner, under the conditions set forth in these Specifications, to perform the construction indicated herein, including its agents, officers, employees, subcontractors or servants in connection with this Contract.

MANAGEMENT COMPANY shall refer to **Thompson Realty**, herein after referred to as the Management Company, with a mailing address of: **1613 Atlantic Avenue, P.O. Box 57, Atlantic County, New Jersey One Nature Boulevard, Jackson, New Jersey 08404.**

ENGINEER shall refer to the Engineering Company or individual engaged by the Owner to act as his agent and representative in matters relative to this construction project which may include construction management and/or inspection.

INSPECTOR shall refer to any individual engaged by the Owner to act as his agent and representative in matters relative to the proper construction and workmanship of the work indicated herein.

BUILDINGS shall refer to those buildings at the project to be repaired under these Specifications. Each building is composed of a varying composition of unit styles.

UNITS shall refer to the individual dwelling units, which in various combinations comprise the buildings. Different style units have been constructed at the site. All unit styles may not be represented in each building.

IBC shall refer to the International Building Code, 2018 New Jersey Edition by the International Code Council, Inc., Falls Church, Virginia.

ORPHAN OR RANDOM FIRE RETARDANT TREATED PLYWOOD shall refer to sheets of FRT located in an area where they are not required by the building code (IBC, 2018 New Jersey Edition).

WORKDAY shall refer to a normal calendar weekday where weather conditions are not inclement to the point where normal and routine tasks cannot be accomplished in accordance with these Specifications.

SHALL, designates an obligation of the Contractor unless otherwise indicated herein.

OSHA shall refer to the United States Occupational Safety and Health Administration.

AA, shall refer to The Aluminum Association, Washington, D.C.

AAMA, shall refer to the American Architectural Manufacturers Association, Palatine, Illinois.

APA shall refer to the American Plywood Association, Tacoma, Washington.

ASTM shall refer to the American Society for Testing and Materials, Philadelphia, Pennsylvania.

WRB, shall refer to Weather Resistive Barrier.

SAF, shall refer to Self-Adhered Flashing.

LS shall refer to Lump Sum.

LF, shall refer to Linear Feet.

SF shall refer to Square Feet.

SQ, shall refer to Squares (100 square feet).

EA shall refer to Each.

HR shall refer to Hour.

END OF SECTION 007100

SECTION 007316
INSURANCE REQUIREMENTS

1.01 **INSURANCE**

- A. The Contractor hereby agrees to assume the entire responsibility and liability for any and all injuries or death of any and all person and any and all losses or damage to property caused by or resulting from actions arising out of any act, neglect, negligence, omission or agreement on the part of the Contractor, its agents, officers, employees, subcontractors or servants in connection with this Agreement or with the prosecution of the work hereunder, whether covered by the insurance specified herein or not. Contractor shall indemnify, defend, and save harmless the Owner, its agents, officers, employees, affiliated entities, Owner's members and residents of the project, FWH Associates, P.A. and its affiliated corporations, officers, directors and employees from any and all claims, losses, damages, fines or penalties, legal suits or actions including reasonable attorney's fees, expenses and costs which may arise out of any and all such claims, losses, damages, legal suits or actions for the injuries, deaths, losses and/or damages to persons or property.
- B. Without any limitation to the obligations set forth in the latter paragraph, Contractor further agrees that Contractor's indemnification to Owner hereunder shall extend to and include any imputed or vicarious liability of Owner arising from any acts, negligence, omission or agreement of Contractor. By way of example, and not of limitation, if any acts, negligence, omission or agreement on the part of the Contractor, its agents, officers, employees, subcontractors or servants in connection with this Agreement or with the prosecution of the work hereunder or otherwise causes or operates as a violation of the Federal Occupational Safety and Health Act 29, U.S.C. 651 *et seq.* ("OSHA") or similar or related laws, rules, regulations, codes, standards or requirements (regardless of whether the Owner, the Contractor or others whether jointly or severally are named as parties in any suit or proceeding relating thereto or actually receive a citation, summons, complaint, fine, violation or notice of violation for same, etc.), Contractor shall indemnify, defend and save harmless the Owner, its agents, officers, employees, or affiliated entities, Owner's members and residents of the project, FWH Associates, P.A. and its affiliated corporations, officers, directors and employees from any and all claims, losses, damages, fines or penalties, legal suits or actions including reasonable attorney's fees, expenses and costs which may be brought relative thereto be they for injuries, deaths, losses or damages to persons or property be they related to or in any way involving claims based on or arising from actual or alleged violations of OSHA or similar or related laws, codes, standards, regulations, rules or requirements with which Owner becomes directly or indirectly involved.
- C. The Contractor shall procure and maintain at his own expense, until acceptance and at all times thereafter when the Contractor may be correcting, removing or replacing defective work or completing plantings, insurance for liability for damages imposed by law and assumed under this Contract, of the kinds and in the amounts hereinafter provided, with insurance companies authorized to do business in the State.

Before commencing the work, the Contractor shall furnish to the Management Company, Ocean Front Condominium Association, a certificate or certificates of insurance together with declaration pages, in form satisfactory to the Association, showing that he has complied with this Subsection. Insurance binders are not acceptable as a form of insurance certificate. All of the policies of insurance required to be purchased and maintained and the certificates, declaration pages or other evidence thereof shall contain a provision or endorsement that the coverage afforded is not to be canceled, materially changed or renewal refused until at least thirty (30) days prior written notice has been given to the Engineer by certified mail. All certificates, and notices or declaration pages shall be mailed to the Association's Management Company whose name and address appear above. Upon request, the Contractor shall furnish the Owner with a certified copy of each policy itself, including the provisions establishing premiums.

The types of insurance and minimum limits of liability are as follows:

- a) *Comprehensive General Liability Insurance:* The minimum limit of liability shall be \$2,000,000 per occurrence as a combined single limit for bodily injury and property damage. In the event that an annual aggregate applies to this policy, said aggregate shall be at least \$2,000,000. This insurance shall cover at least the following hazards:
- a) Contactor's Premises and Operations;
 - b) Independent Contractor's Coverage;
 - c) Contractual; and
 - d) Completed Operations.

The above required Comprehensive General Liability policy shall name the 60 Acre Reserve Condominium Association, its officers and employees, FWH Associates, P.A., and its officers, directors and employees, and managing agent and its officers, directors, and employees as additional named insured's.

The coverage to be provided under this policy shall be at least as broad as that provided by the standard, basic, unamenable and unendorsed comprehensive general liability coverage forms currently in use in the State of New Jersey, which shall not be circumscribed by any endorsement limiting the breadth of coverage. Moreover, such policy shall be endorsed so as to delete any exclusions applying to property damage liability arising from underground hazards relating to underground utilities, explosion and collapse of foundations.

The insurance policy shall be endorsed to include contractual liability coverage; premises/operations coverage; product/completed operations coverage; broad form property damage coverage; independent contractor's coverage and personal injury coverage. In addition, the Contractor shall maintain completed operations insurance for at least two (2) years after final payment and furnish the Engineer with evidence of continuation of such insurance at final payment and one (1) year thereafter.

Umbrella coverage with the same terms and conditions as the primary underlying coverage (following form) will be acceptable in lieu of the higher aggregate limit provided the umbrella policy is in the minimum amount of \$2,000,000. and provided said umbrella policy contains a clause stating that it takes effect (drops down) in the event the primary aggregate is impaired or exhausted.

The Contractor shall provide documentation from the insurance company which indicates the cost of naming the Association, its officers and employees as named insured's.

- b) *Comprehensive Automobile Liability Insurance:* The policy shall cover owned, non-owned and hired vehicles with minimum limits of liability in the amount of \$1,000,000 per occurrence as a combined single limit for bodily injury and property damage.
- c) *Worker's Compensation and Employer's Liability Insurance:* Worker's Compensation Insurance shall be provided in accordance with the requirements of the laws of this State and shall include an all state endorsements to extend coverage to any state which may be interpreted to have legal jurisdiction. Employer's Liability Insurance shall be provided with the following minimum limits:
 - * \$ 1,000,000 each accident
 - * \$ 1,000,000 Disease - each employee
 - * \$ 1,000,000 Disease - aggregate limit
- d) Should a project require trenching or excavation; the Contractor must provide a certificate to indicate underground and collapse coverage.

- D. Insurance coverage in the minimum amount set forth herein shall not be construed to relieve the Contractor for liability in excess of such coverage, nor does it preclude the Owner from taking such other actions as are available to it under any other provisions of this Contract or otherwise in law.

All proof of insurance submitted to the Owner shall clearly set forth all exclusions and deductible clauses. The Engineer may allow certain deductible clauses which he does not consider excessive, overly broad or harmful to the interests of the Owner. Standard exclusions will be allowed provided they are not inconsistent with the requirements of this Subsection. Allowance of any additional exclusion is at the discretion of the Engineer. Regardless of the allowance of exclusions or deductions by the Engineer, the Contractor shall be responsible for the deductible limit of the policy and all exclusions consistent with the risks he assumes under this Contract and as imposed by law.

In the event that the Contractor provides evidence of insurance in the form of certificates of insurance, valid for a period of time less than the period during which the Contractor is required by the terms of this Contract to maintain insurance, said certificates are acceptable, but the Contractor shall be obligated to renew its insurance policies as necessary and to provide new certificates of insurance so that the Owner is continuously in possession of evidence of the Contractor's insurance in accordance with the foregoing provisions.

In the event the Contractor fails or refuses to renew its insurance policy, or the policy is canceled, terminated, or modified so that the insurance does not meet the requirements of this Subsection, the Owner may refuse to make payment of any further monies due under this Contract or refuse to make payment of monies due or coming due under other contracts between the Contractor and the Owner. The Owner may use retained under this paragraph to renew the Contractor's insurance for the periods and amount referred to above. Alternately, the Owner may default the Contractor and direct the surety to complete the project. During any period when the required insurance is not in effect, the Engineer may suspend performance of the Contract. If the Contract is so suspended, additional compensation or extension of Contract Time is not due on account thereof.

END OF SECTION 007316

**SECTION 011000
SUMMARY**

PART 1 – GENERAL REQUIREMENTS

1.01 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.02 SUMMARY

- A. Section Includes:

1. Project information.
2. Work covered by Contract Documents.
3. Access to site.
4. Coordination with occupants.
5. Work restrictions.
6. Specification and drawing conventions.
7. Miscellaneous provisions.

1.03 PROJECT INFORMATION

- A. **Project Identification:** Ocean Front Condominium Association
2022 Siding Replacement Project
1. **Project Location:** City of Brigantine, Atlantic County, New Jersey 08203

- B. **Owner:** Ocean Front Condominium Association

1. **Owner's Representative:** Dennis Thompson, Community Manager
(609) 348-3188
thompsonrealty@comcast.net

Engineer: FWH Associates, P.A.
1856 Route 9
Toms River, NJ 08755
(732) 797-3100

1.04 REGULATIONS AND LAWS

- A. The Contractor, its employees and Subcontractors, shall observe and comply with all Federal, State, and Local Laws, rules, statues, ordinances and regulations, Occupational Health and Safety Regulations that affect the work or those engaged in the performance of the work described herein, and the materials, methods or equipment used.
- B. No workers under the age of eighteen (18) years shall be allowed on the construction site.

- C. The Contractor shall be aware that all applicable Federal and State laws, municipal ordinances and codes, and the rules and regulations of all authorities jurisdiction over construction of the Project shall apply to the Contract throughout, and they are deemed to be included in the Contract.
- D. The Contractor sustains that it has instructed each of its employees and subcontractors who will be involved in the performance of work described or implied herein, in the requirements of the Occupational Safety and Health Regulations, OSHA 29 CFR particularly Parts CFR 1926.10 to CFR 1926.59 including Material Safety Data Sheets (MSDS) requirements.

1.05 MANUFACTURER'S RECOMMENDATIONS

Unless otherwise specified herein, all materials and products shall be transported, handled, stored constructed, fastened, installed and finished in accordance with the respective manufacturer's recommendations. If differences exist between the manufacturer's recommendations and these Specifications, the Contractor shall advise the Owner and the Owner will make the final determination to which methods will govern.

1.06 STANDARD SPECIFICATIONS

All work shall be conducted in accordance with the materials and methods set forth in the following Specifications:

- A. New Jersey Uniform Construction Code, New Jersey Administrative Code, Title 5, Chapter 23.
- B. International Building Code, 2018 New Jersey Edition, published by the International Code Council, Inc., Falls Church, Virginia.
- C. National Standard Plumbing Code, 2018 New Jersey Edition (NJAC 5:23-3.15).
- D. National Electrical Code (NFPA 70), 2017 Edition (NJAC 5:23-3.16).
- E. Vinyl Siding Installation Manual, VSI, Washington, DC, Website: www.vinylsiding.org
- F. NRCA Steep Roofing Manual, latest edition, published by the National Roofing Contractors Association, Rosemont, Illinois.
- G. APA Design/Construction Guide, June 1994, Form No. E30N, published by the American Plywood Association, Tacoma, Washington.
- H. Standard Specifications for Aluminum Siding, Soffit and Fascia, 1402 86, published by The American Architectural Manufacturers Association, Palatine, Illinois.
- I. Occupational Health and Safety Regulations, applicable documents.
- J. Architectural Sheet Metal Manual, Seventh Edition, published by the Sheet Metal and Air Contractors' National Association.

1.07 **GENERAL CONDITIONS**

All bids submitted must follow the list of general Specifications as attached.

1.08 **INFORMATION PROPOSALS**

The OWNER may consider informal any proposal not prepared and submitted in accordance with the provisions hereof and may waive any informalities or reject any or all Proposals.

1.09 **EXAMINATION OF SITE AND CONTRACT DOCUMENTS**

Each bidder shall visit the site of the proposed work, fully acquaint and familiarize themselves with conditions as they exist and the character of the operations to be carried under the proposed contract and make such investigation as they may see fit so that they shall fully understand the facilities, difficulties and restrictions attending the work under the contract. Each bidder shall also thoroughly examine and become familiar with all Contract Documents, including the Drawings, Plans, Specifications, Addenda if any, and the site and that from their own investigations they have satisfied themselves to the nature and locations of the work or its performance, and that as a result of such examination they fully understand the intent and purpose thereof and their obligations thereunder, and that they will not make any claims for or have any right to damages because of any misinterpretation or misunderstanding of the contract or because of any lack of information.

1.10 **VARIATIONS FROM MATERIALS SPECIFIED**

Materials or products specified by name of manufacturer, brand, trade name or catalogue reference shall be the basis of the Bid and shall be furnished under the contract. Where two (2) or more materials are named, the choice of these shall be optional with the Owner.

1.11 **QUALIFICATIONS OF BIDDERS**

Bidders must be experienced and certified in the kind of work required by the manufacturer to be performed, have the equipment required and/or have the means to secure it, and sufficient capital to properly execute the work within the time allowed. Proposals received from bidders who have performed similar work in an unsatisfactory manner, may be rejected.

1.12 **INDEMNIFICATION AGAINST CLAIMS**

The successful bidder shall indemnify and save **Ocean Front Condominium Association**, their agents, servants and employees harmless from and against all suits, claims, actions or judgments for any injury or damage sustained or alleged to have been sustained by any party or parties by reason of the use of defective materials hereunder or by or on account of any act or omission of or by any Contractor, his, its, or their agents or employees and in case any such action shall be brought against **Ocean Front Condominium Association**, the Contractor shall immediately take charge of and defend same at his, its, or their own cost and expense. **Ocean Front Condominium Association**, if they desire, may defend such action and charge the expense of same of the Contractor.

1.13 BIDDER'S ACCESS TO SITE

Bidder understands that it is entering upon the premises in question at its own risk. Bidder shall indemnify and save **Ocean Front Condominium Association**, their agents, servants and employees harmless from and against all suits, claims, actions, judgments for any injury or damage sustained or alleged to have been sustained by any party or parties as a result of alleged contract by said party or parties with known or unknown hazardous or toxic materials at, upon or within the site, by or on account of any omission of or by any Contractor, Subcontractor, his, it's or their own expense. **Ocean Front Condominium Association** and private unit owners, if they so desire, may defend such action and charge the expenses of same to the Contractor.

1.14 RIGHT TO REJECT AND AWARD PROPOSALS

The right is reserved to reject any or all Proposals in whole or part, to make awards item by item, by parts or in bulk, and to cancel the Contract at any time if the terms thereof or instructions contained therein are not complied with or for any good and sufficient reasons, if deemed in the interest of **Ocean Front Condominium Association**.

1.15 PERMITS TO BE SECURED BY CONTRACTOR

The CONTRACTOR shall secure any, and all permits, licenses and bonds required for the project. Payment for such fees associated with the permit process or construction project, shall be paid by the Contractor and the Owner shall reimburse the Contractor for paid fess upon submittal of proof of payment.

1.16 SUBMISSION OF PROPOSALS

Each bid must be submitted on a Standard Proposal Form as supplied in the Specifications and signed by the bidder or principal thereof and shall contain the name, address, and telephone number of the bidder. All prices and amounts must be written in ink or preferably typewritten. All erasures or corrections must be initialed by each signatory to the proposal. Each bid shall either be emailed back per the instructions as stated in the email or submitted to this office in a sealed envelope, addressed to: **Ocean Front Condominium Association – 2022 Siding Replacement Project c/o FWH Associates, 1856 Route 9, Toms River, New Jersey 08755** and said envelope shall specify the item for which the bid is submitted and must be delivered at the place and date required. Bids received after the date herein described or in unsealed envelopes or without the bidder's name on the outside thereof, will not be considered.

1.17 RELEASE OF FINAL PAYMENT

The Final Payment by Owner shall be released and final acceptance of entirety of the work performed shall be acknowledged only upon satisfaction of all liens or claims and upon execution and approval by the Owner of the requisite maintenance.

1.18 REQUIREMENTS BEFORE CONTRACT SIGNING

Within ten (10) days from notice of award of contract, the successful bidders shall furnish four (4) copies of: Certificates of Insurance as specified under Section 101.09, Contractors Liability Insurance of the Supplementary General Conditions to the office of the Property Manager.

1.19 ERRORS, OMISSIONS AND CONFLICTS

Prior to proceeding with any work, and during the course of work, the Contractor shall carefully check the Specifications and buildings, and shall be responsible for notifying the Owner immediately of any conflicts, omissions and discrepancies contained therein. Should there be any conflicting information given in the Specifications, or differences between the Specifications, Standard Specifications, Manufacturer's recommendations, or as-built conditions, the Owner shall be notified of same. The final decision which shall govern, or to the correct interpretation of the Specifications, will be determined by the Owner.

Any adjustment or changes made by the Contractor without prior approval by the Owner in writing shall be at his own risk.

1.20 INSURANCE

The Contractor shall provide and maintain insurance as specified under the Section 007316 Insurance, during execution of the contract:

A Certificate of Insurance shall be issued to the Owner which shall include that the Owner shall receive ninety (90) days written notice prior to any changes or cancellation of the Contractor's insurance policies.

The Owner, Manager, Attorney and Engineer shall be included as Additional Named Insured.

The insurance certificate shall waive the carrier's rights of subrogation as to the Owner.

In the event of any claim made against the Owner, the Owner may withhold from the Contractor any payment due.

Failure to maintain insurance coverage in accordance herein shall constitute a breach of this agreement and shall entitle the Owner to withhold payments required hereunder and to suspend or terminate the Contractor.

1.21 CONTRACT REQUIREMENTS

The Contractor shall furnish and perform everything, as provided herein, necessary to complete the work in accordance with the terms and requirements of this Contract. These requirements include furnishing all tools and equipment, labor and materials, and all else necessary to complete a satisfactory quality of work within the requirements of the Specifications.

All costs associated with the performance of such work will be considered to be **included** in the various Pay Items on the Bid Proposal Forms, with the exception of items to be compensated for as Extra Work.

1.22 EXECUTION OF WORK

The Contract shall not be deemed executed until all information required by these Specifications has been received by the property manager. Any work performed or materials purchased by the Contractor prior to the receipt of the above required information by the property manager, shall be at the Contractor's risk.

1.23 AID TO INJURED

Each Contractor shall keep in their possession, vehicle or field office, ready for immediate use, all articles necessary for giving first aid to any personnel on the site.

1.24 SANITARY PROVISIONS

The Contractor will supply all necessary sanitary provisions for all workers. Said facility will be kept in sanitary condition. The Property Manager/Association will designate the location at which the port-o-john will be located.

1.25 WARRANTY

The Contractor shall provide an unconditional warranty in a form satisfactory to the Owner for all materials and workmanship, and warranty against water infiltration for a period of five (5) years. No material used during this contract shall void the warranty of another material used. The guarantees shall cover any and all work done under this contract, either by the Contractor or Subcontractors. All guarantees shall be the endorsement of the Contractor in writing.

The Contractor shall provide to the Owner copies of warranties and guarantees for **all** materials used.

The following warranties must be supplied by manufacturers:

- Limited lifetime warranty on vinyl siding/soffit assemblies and associated components.
- Limited lifetime warranty on asphalt shingles and associated component.
- Limited lifetime warranty for window vinyl components and a 20-year warranty on hardware, screens and glass.
- limited lifetime warranty for exterior door vinyl components, hardware and glazing.
- Limited 5-year warranty on PVC railings
- Limited 10-year warranty on PVC decking.
- Limited 5-year warranty on lighting.
- Limited 5-year warranty on hose bib.
- Limited 2-year warranty on unit and building number/letter designations.
- Limited one (1) year warranty on Smart Vent foundation vents.
- Lifetime warranty on fasteners and flashings.
- 25-year warranty on sealants.

1.26 START OF WORK AND TIMES FOR COMPLETIONS

After execution of the Contract by the Owner, work shall start as indicated in the Bid Proposal and progress in accordance with the completion schedule in the “Overview” of this document.

END OF SECTION 011000

**SECTION 011100
SUMMARY OF WORK**

This is on an outline for general reference. Please refer to each Section for specific information.

1.01 GENERAL DESCRIPTION OF WORK (BASE CONTRACT)

The Contractor shall provide all materials, labor, equipment and appurtenances, and all else necessary and required to complete the work of this Contract in accordance with the Specifications. The work shall be compensated for in accordance with these Specifications at the bid prices or as Extra Work. The work shall include, but not be limited to the following:

1. Mobilization and acquisition of building permits.
2. Removal, storage, protection and reinstallation of existing downspouts
3. Replacement of all deteriorated wood components (i.e., sheathing, framing, etc.) as required (Extra Work).
4. Removal of existing stucco and installation of new Portsmouth 7" Shake vinyl siding. Shall include Tyvek WRB, flashings, J-channels, mount blocks, sealants at dissimilar materials and associated components.
5. Installation of new PVC trim (with integrated "conceal" J-channels) at window/door perimeters, PTAC sleeve perimeters, inside/outside corners, floor lines (east/west elevations only), frieze boards, mount blocks, door kickplates and paneling per FWH's renderings and these specifications.
6. Installation of PVC mount blocks at wall mounted utilities, unit numbers fire extinguisher housing, railings, etc.
7. Installation of new building and unit designation numbers.
8. Removal of existing stucco soffits at roof overhangs and underside of balconies and installation vented vinyl soffit panels. Shall include additional measures required to secure the new soffit panels.
9. Replacement of existing wall and ceiling mounted light fixtures with new LED bulkhead light fixtures.
10. Installation of new flood/security lighting at existing locations.
11. Replacement of PTAC HVAC sleeves. All associated interior finish work shall be the responsibility of the unit owner.
12. Replacement of existing exterior wall-mounted fire extinguishers. Shall include housing enclosure.
13. Replacement of existing fire alarm speaker-strobe and manual pull. Shall include all associated exterior electrical lines/conduct. All electrical work shall be completed by a licensed electrician.
14. Replacement of shed roof at rear of building 100. Shall include necessary framing, sheathing, roofing, flashings and associated components. Side (gable) ends shall be clad with PVC trim/sheets and soffit shall be fully perforated (vented) soffit panels.
15. Replacement of common area exterior doors and windows (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
16. Removal and replacement of existing utility enclosures. Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.

17. Replacement of exterior storage enclosures and doors at north and partial east elevation of building 400. Shall include all necessary hardware. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing. The existing framing shall remain.
18. Replacement of exterior shower and associated components at east elevation of building 400. Shall include replacement of sheathing, roofing, flashing, hardware and associated components (framing to remain). Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing and roofing shall be replaced with asphalt shingles, flashings and associated components atop CDX sheathing (new roof framing to provide min. 2:12 slope). The replacement of all shower piping, fixtures and associated components shall be completed by a licensed plumber.
19. Replacement of existing crawlspace hatch with new PVC hatch to match dimensions of existing at building 100.
20. Installation of new stainless steel Smart Vent foundation flood vents at existing locations at building 100.
21. Replacement of existing hose bibbs to match depth of new siding. All work shall be completed by a licensed plumber.
22. Replacement of exterior outlet with GFI protected exterior outlet in UL certified outlet box with clear bubble cover (installed by licensed electrician).
23. Removal/reinstallation of wall-mounted HVAC split-system heat pump and bracket. Existing bracket to be reinstalled atop a PVC mount block. All associated HVAC work shall be completed by a licensed HVAC contractor.
24. Replacement of existing decking and railing with Fiberon composite decking and PVC railing at rear of building 100 (Alternate Bid).
25. Clean-up of buildings and site, including removal of all removed and surplus material, and construction debris.

1.02

ACCEPTED EXTRAS

- A Replacement of deteriorated wall sheathing with CDX plywood sheathing (per 4'x8' sheet). Depth to match existing. Invoiced at full and half sheets. Doug Fir 4-ply to match existing thickness.
- B Replacement of interior gypsum panels with ½" sheetrock. Shall include level 2 tape/spackle. Interior finish shall be the responsibility of the unit owner.
- C Installation of R-13 Kraft faced batten insulation.
- D Installation of R-19 Kraft faced batten insulation
- E Replacement of exterior outlet with GFI protected exterior outlet in UL certified outlet box with clear bubble cover (installed by licensed electrician).
- F Replacement of 1" x 4" wood trim.
- G Replacement of 1" x 6" wood trim.
- H Replacement of 1" x 8" wood trim.
- I Replacement of 1" x 10" wood trim.
- J Removal/reinstallation of window to install pan flashing.
- K Removal/reinstallation of exterior single door to install pan flashing.
- L Removal/reinstallation of exterior sliding patio door to install pan flashing.
- M Replacement of 2" x 4" wood framing members.
- N Replacement of 2" x 6" wood framing members.
- O Replacement of 2" x 8" wood framing members.
- P Replacement of 2" x 10" wood framing members.

- Q Replacement of 2" x 12" wood framing members.
- R Replacement of 2" x 4" pressure treated wood framing members.
- S Replacement of 2" x 6" pressure treated wood framing members.
- T Removal and replacement of existing roof shingles with GAF® "Timberline HDZ" laminated architectural asphalt shingles (includes step/rolled flashings, aluminum eave/rake drip edges, synthetic roofing felt paper, ice and water shield membrane, removal/reinstallation of siding, as necessary, to install membranes).
- U Installation of 0.024" aluminum trim coil at locations in addition to those specified in the Base Bid.
- V Replacement of interior door/window wood trim casing to match existing profile and finish.
- W Replacement of existing wood 4" x 4" posts. To include vinyl clad wrap.
- X Replacement of existing wood 6" x 6" posts. To include vinyl clad wrap.
- Y Installation of new five (5") inch K-style aluminum gutters.
- Z Installation of new six (6") inch K-style aluminum gutters.
- AA Installation of new 2" x 3" aluminum downspouts.
- BB Installation of new 3" x 4" aluminum downspouts.
- CC Replacement of existing concrete slab with new 4" Portland cement, minimum 4,500 psi.
- DD Replacement of 2⁸6⁸ exterior door (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- EE Replacement of 3⁰6⁸ exterior door (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- FF Replacement of 6⁰6⁸ exterior sliding patio door (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- GG Replacement of 3¹⁰3⁴ exterior slider window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- HH Replacement of 3¹⁰3⁴ exterior double hung window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- II Replacement of 3²1² exterior slider window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- JJ Replacement of 1⁴1¹⁰ exterior slider window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- KK Replacement of 2⁰2⁰ exterior double hung window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- LL Replacement of 2⁴3² exterior double hung window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- MM Replacement of 6⁰1⁴ exterior slider window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- NN Replacement of 5⁷3⁵ exterior twin double hung window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- OO Replacement of 3¹⁰3¹¹ exterior double hung window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- PP Replacement of 5⁸3³ exterior triple slider window. Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
- QQ Installation of new wall-mounted vinyl utility vents at locations in addition to existing.
- RR Hourly rate of laborer for other additional work, if required.

END OF SECTION 011100

SECTION 012636
SITE WORK – SUPPLEMENTAL INSTRUCTIONS
GENERAL CONDITIONS

1.01 **AVOIDANCE OF DELAY**

The Contractor shall make every attempt to have all materials, equipment and manpower on the job site that will be needed to complete the work. All delays in the project will increase the construction observation costs which must be paid for by the Contractor. The Contractor shall be responsible for notifying the Owner and engineering service of all delays incurred.

1.02 **MANPOWER TO COMPLY WITH MASTER SCHEDULE**

Contractor agrees to supply sufficient and competent manpower to pursue the work required hereunder in a diligent manner so as to complete the work required hereunder within the time frame of the “Completion Schedule” which shall govern the sequencing and scheduling of all work performed on the project. Owner reserves the right to modify the “Completion Schedule” from time to time. Owner may demand that the Contractor work overtime at no additional cost to Owner if Owner determines that such work is necessary because Contractor’s work is behind schedule. Owner shall have the further option of awarding all or a portion of the work to others and charge the cost of same to the Contractor. If the Contractor is delayed through no fault of its own, it shall within twenty-four (24) hours of the commencement of the condition causing the delay so to advise the Owner in writing. The Owner may grant Contractor an extension of time for such reasonable time if the Owner determines Contractor was delayed through no fault of its own. An extension of time is the Contractor's sole and exclusive remedy for delay. Contractor shall make no claim for and is not entitled to any damages due to delay. Failure to comply with the “Completion Schedule” or Owner’s directives relating thereto shall be considered a material breach of this Agreement. The Contractor shall hold harmless and indemnify the Owner for all losses caused by the acts, omission, interferences or delays of the Contractor. If the Contractor delays the work causing damages to the Owner, the Contractor shall reimburse the Owner for all such damages. Any agreement by the Owner to the delayed completion of the work shall not be construed as a waiver by the Owner of the obligations of the Contractor to make good all damages caused by its delay. Periodic meetings will be held in the field and attendance from the Contractor's on-site Representative is mandatory. Owner also reserves the right to require a principal of the Contractor to attend these meetings. Any and all safety related concerns, problems or ideas as well as weekly progress shall be discussed at this meeting held with the Contractor’s on-site Representative and run by Owner’s Representative. Advance notice shall be given to the Contractor’s on-site Representative informing him of the time, date and location of the periodic progress meetings so Contractor can attend.

1.03 **INSPECTION**

- A. All work shall be inspected by an Inspector who is authorized by and working for the Owner.
- B. Problems which may require sound field judgment, in lieu of strict interpretation of the engineering standards, shall be resolved by the Inspector and the Contractor to the satisfaction of the Engineer.

- C. The Inspector shall have access to all work and shall arrange with the Contractor to be present during testing as well as any other phases of construction as the Inspector may deem necessary. **Any work done in the absence of the Inspector, unless otherwise directed by the Inspector, shall remain visible for inspection until the Inspector's return.**
- D. All work shall be performed in accordance with accepted workmanship practices and these standards. Any work not accepted by the Inspector shall be redone until compliance with these standards is achieved. **The Inspector shall not supervise, nor shall he undertake any of the responsibilities of the Contractor, Subcontractors or Contractor's Superintendent.**
- E. All materials used shall be subject to the inspection and approval of the Inspector at all times. All material lists must be signed by the Engineer before use of the material is granted. The Inspector has the right to perform any testing deemed necessary to ensure compliance of the materials with the previously mentioned standards. No material shall be used before being inspected and approved by the Inspector. **Failure or neglect on the part of the Inspector to condemn or reject inferior materials or work shall not be construed to imply their acceptance should their inferiority become evident at any time prior to one (1) year after final acceptance of the work.** Materials rejected by the Inspector shall be immediately removed from the job site at the Contractor's expense.

1.04 NOTIFICATION OF OWNER

- A. The Contractor shall be responsible for notifying the Engineer at least forty-eight (48) hours prior to start of any construction. If work is suspended for any period of time after initial start-up, the Contractor must notify the Engineer forty-eight (48) hours prior to re-start.

1.05 EXTRA WORK

- A. The Owner reserves the right to require Extra Work as needed for the satisfactory completion of the project. Such work will be designated as Extra Work when it is determined by the Engineer that such work is not covered by any of the various items for which there is a bid price or by combinations of such items. In the event portions of such work are determined to be covered by some of the various items for which there is a bid price or combinations of such items, the remaining portion of such work will be designated as Extra Work. Extra work also includes work specifically designated as Extra Work in the Contract Documents.
- B. The Contractor shall do such Extra Work and furnish labor, material and equipment therefore upon receipt of a Change Order, Field Order or Supplementary Agreement, and in the absence of such he shall not perform nor be entitled to payment for such Extra Work.
- C. Payment for Extra Work required pursuant to the provisions in this Subsection, will be made as provided in the bid proposal, or as agreed to in a Supplementary Agreement.

- D. If the Contractor and the Engineer cannot agree on a Supplementary Agreement for Extra Work and the Engineer, in his sole discretion, deems it inadvisable to have such work completed on a Force Account basis, the Owner may elect to have such work completed by others, and the Contractor shall not interfere therewith nor have any claim for additional compensation as the result of such election.

1.06 CUTTING AND PATCHING

The Contractor shall do all cutting, fitting or patching of his work that may be required to make its several parts come together properly and fit it to receive or be received by other work shown, or reasonably implied, by the Specifications.

1.07 COOPERATION BY CONTRACTOR

- A. The Contractor shall give the work the constant attention necessary to facilitate the progress thereof, and shall cooperate with the Engineer, his inspectors and other Contractors in every way possible.

When the Contractor is comprised of two or more persons, firms, partnerships or corporations functioning on a joint venture basis, said Contractor shall designate in writing, before starting work, the name of one individual who shall have the authority to represent and act for the joint venture.

- B. The Contractor shall designate in writing, before starting work, a competent, English speaking Superintendent capable of reading and thoroughly understanding the Contract Documents and thoroughly experienced in the type of construction being performed. Said Superintendent shall have the authority to represent and act for the Contractor. An alternate to the Superintendent, with equal authority, may also be designated.
- C. Said Superintendent or his alternate shall be present at the site of the project at all times while work is actually in progress on the Contract irrespective of the amount of work subcontracted. He shall have full authority to execute orders or directions by the Engineer, without delay, and to promptly supply such materials, equipment, tools, labor and incidentals as may be required. When work is not in progress and during periods when work is suspended, arrangements, acceptable to the Engineer, shall be made for any emergency work which may be required.
- D. The Contractor's on-site supervisor shall ensure safe working conditions are maintained at all times. The Contractor shall notify the Owner in writing of any and all personal injury or property damage within twenty-four (24) hours of occurrence. The Contractor shall notify verbally the Owner immediately of any and all personal injury or accidents that may occur.
- E. Whenever the Superintendent or his alternate is not present on the site or at the location of any particular part of the work where it may be desired to give direction, the Engineer may suspend all of the work or the particular work in reference until said Superintendent or his alternate is present.

Such suspension shall not be the basis of any claim against the Owner.

THE CONTRACTOR SHALL NOT, WITHOUT THE WRITTEN CONSENT OF OWNER, REMOVE, ALTER, MODIFY, OR CHANGE ANY STRUCTURAL COMPONENT OR EQUIPMENT AND/OR INSTALLATION OF OTHER SUBCONTRACTORS. IN THE EVENT CONTRACTOR SHALL REMOVE, ALTER, MODIFY OR CHANGE ANY STRUCTURAL COMPONENT OR EQUIPMENT AND/OR INSTALLATION OF ANY OTHER SUBCONTRACTOR, CONTRACTOR SHALL INDEMNIFY, DEFEND, REIMBURSE, AND HOLD HARMLESS OWNER FOR ANY AND ALL INJURIES AND CLAIMS, WHETHER DIRECT OR CONSEQUENTIAL, RESULTING FROM SUCH NON-AUTHORIZED REMOVAL, ALTERATION, MODIFICATION OR CHANGE.

1.08 **WRITTEN NOTIFICATION OF INJURY/ACCIDENT**

Contractor shall notify the Owner, in writing, of any and all personal injury within twenty-four (24) hours of such personal injury resulting from the Contractor's performance hereunder. The written notification shall include, at a minimum, the following information:

Name of injured party;
Social Security number of injured parties;
Address of injured party;
Employer name and address;
Telephone number of injured parties;
Date and time of accident;
Location where injury occurred;
Description of injury;
Action taken with respect to injury;
Name, address and telephone number of witnesses to injury;
Name, address and telephone number of people making report and date report made;
On-site Representative name; (Contractor)
On-site Representative's signature; (Contractor)

1.09 **SUBCONTRACTORS**

The Contractor shall not change or replace a Subcontractor previously listed without written approval by the Engineer. The Contractor must request, in writing, such change or changes stating their reasons for the change request and giving the name and address of the Subcontractor proposed to replace the one previously listed.

1.010 **FINAL INSPECTION**

A. Contractor shall submit written declaration to Owner and Engineer that:

1. All aspects of Contract Documents have been complied with.
2. All items on substantial completion punch list have been completed.
3. All tools, construction equipment, and surplus materials have been removed from site.

- B. The Owner, Engineer and Contractor will make final inspection to ensure completion of all contract requirements.
- C. When the Engineer considers that work is finally complete in accordance with Contract Document requirements, the Engineer will process close-out documents prior to issuance of final Certificate of Payment.

1.011 GUARANTEES AND WARRANTIES

- A. In addition to the Contractor's warranties and guarantees, Contractor shall submit manufacturer's guarantees, warranties, service or maintenance and similar contracts with direct obligations running from the manufacturer to the Owner. Such guarantees or warranties, as applicable, shall be subject to the approval of the Owner.
- B. The guarantees shall cover any and all work done under this contract, either by the Contractor or Subcontractors. All guarantees shall bear the endorsement of Contractor in writing.
- C. The correction of such work shall include without additional charge, all additional expenses and damages in connection with such removal, replacement of any, or part, of the work which may be damaged or disturbed thereby.

1.012 PROJECT CLOSE-OUT DOCUMENTATION

- A. Prior to final payment, the Contractor shall submit to the Engineer the following documents in an original and one (1) copy unless otherwise noted:
 - 1. A listing of manufacturers of major materials, equipment and systems installed in the work.
 - 2. **Payment of Debts and Claims and Consent of Surety:** Adequate evidence that he has paid all obligations arising out of the Construction Contract. He shall submit Contractor's Affidavit of Payment of Debts and Claims, Consent of Surety, indicating written consent of the surety to final payment.
 - 3. **Release of Liens:** Each Contractor shall also submit Contractor's Affidavit of Release Liens, indicating that the release for waivers submitted are complete to the best of his knowledge, information and belief and, if there are any exceptions that they be so stated, specifically in this form. Contractor and all Subcontractors and suppliers shall in addition submit any other release documentation required by the Owner.
 - 4. All warranties, guarantees, maintenance agreements and similar provisions of the contract documents.

1.013 TIME OF COMPLETION

The Contractor shall begin work within seven (7) working days of receipt of written notice to proceed from the Owner. All Contract work shall be completed within a number of consecutive working days agreed upon by the Owner and the approved Contractor, weather permitting.

1.014 **CONSTRUCTION SCHEDULE**

The Contractor shall provide the Owner with a Construction Schedule for the work as specified in the bid documents. The Owner shall approve any deviation to the schedule.

If it is determined that the Contractor's work is behind schedule the Owner reserves the right to modify the Schedule and may demand the Contractor work overtime, at no additional cost to the Owner. The Owner shall have the option of awarding all or portion of the work to others and charge the cost of same to the Contractor.

Any extension of time by the Owner to the Contractor shall not be deemed a waiver by the Owner of its right to terminate the Contract for abandonment or delay and/or damages. All cost incurred by the Owner due to delay in completion of the work shall be the responsibility of the Contractor, with the exception of delay as a result of weather conditions or resulting from acts of the Owner. An extension of time is the Contractor's exclusive remedy for delay through no fault of its own.

On days when inclement weather causes a delay in work or a day when work will not proceed, the Owner's Representative (FWH Associates, P.A.) must be notified by 6:00 a.m. of the day when work will be delayed at (732) 797-3100; please leave a message. During the siding process, the inspectors may furnish their personal phone numbers to the Contractors for early morning cancellations.

1.015 **LABOR DISPUTES**

The presence of picket lines of any kind or form or the occurrence of labor disputes or union activity of any nature shall not excuse the Contractor of its obligation to perform the work required under this Agreement, including but not limited to the furnishing of labor, materials and equipment as specified in the Agreement. Failure or refusal to perform said work for Owner because of a labor dispute or union activity of any kind (whether or not the dispute relates to the Contractor, the Owner or a third party) shall result in the cancellation of this contract at the discretion of the Owner without any prior notice to the Contractor. Upon cancellation by the Owner, the Contractor shall be liable for all damages including consequential damages, including but not limited to, any additional expense incurred by Owner to perform the work for the of any such labor dispute or union activity or in replacing Contractor after cancellation of the contract by the Owner or for loss of any revenue caused by the Contractor's failure or refusal to perform the work called for under this Agreement. Damages may be deducted by the Owner at any time of cancellation. Contractor shall employ labor and purchase materials pursuant to terms and conditions that foster good and harmonious labor relations at the site.

1.016 **SUBSTANTIAL COMPLETION**

Substantial Completion of the herein specified work is defined as that stage when the materials, installations, appurtenant items and all else included under this Contract have been installed, completed, and ready for permanent use. However, there may still remain limited clean up, or punch list work. Substantial completion shall be judged completed when the remaining work and Punch List items can be completed by two (2) workmen in a normal workday as specified by the Owner's Representative.

1.017 **FINAL COMPLETION**

Final Completion is the point, at which all provisions of the Contract, including all Punch Lists items, clean-up and restoration are complete and accepted by the Owner, and any written Warranty(s) required by these Specifications has been provided to the Owner in satisfactory form.

1.018 **CONSTRUCTION ADMINISTRATION**

All instructions shall be issued by the Owner to the Contractor, who shall convey such instructions to any employees or Subcontractors. All inquiries shall be conveyed at the discretion of the Owner with Contractors On-Site Representative.

The Owner shall, at any time including during the project, make alterations, additions or omissions that it may desire to the work or material required under the Specifications herein. This shall not be a basis for the termination of this contract. If changes are made, the value of same must be agreed upon in writing between the Owner and the Contractor.

The Owner reserves the right to delete from the contract any portion of the work bid and/or awarded, and to make the appropriate monetary reduction in the Bid Proposal Amount.

1.019 **EQUIPMENT STAGING AREA**

The Owner shall provide the Contractor with an area for material and equipment storage and staging.

The Contractor shall be responsible for the security of the area and materials. Any area used for storage and staging shall be returned to its original condition when work is substantially complete, to the satisfaction of the Owner.

Contractor shall be responsible for maintaining its supply or storage area in a neat, safe and sanitary condition and shall vacate said supply or storage area upon ten (10) days written notice from Owner. If the location of the supply area is changed by Owner, for reasonable cause, the Contractor shall relocate such trailers, materials, refuse, etc., within forty-eight (48) hours of receipt of written notice to relocate.

All materials shall be stored on pavement or concrete areas. No materials shall be permitted to be stored on grassed areas.

1.020 **JOB-SITE PRECAUTIONS**

The Contractor shall be responsible during its performance of the work required herein, for initiating, maintaining and supervising all safety precautions and programs required so as to prevent injury to all persons, property and the work. Contractor shall be responsible for protecting against damage, injury or loss to all persons involved in the work and all other persons who may be in any way affected. All gas operated compressors and generators shall be kept a minimum of thirty (30') feet away from any structure.

1.021 PROTECTION OF SITE AND PROPERTY

Written notice to the individual homeowner's seventy-two (72) hours prior to the construction start date plus instruction for property preservation and damage contact information will be supplied by FWH Associates.

It is understood by the Contractor that throughout the period of this Contract, the buildings of the Ocean Front Condominium Association community shall be continuously occupied. The Contractor shall perform the work in such a manner as to provide safe and continuous access to each building and protect the security and privacy of the occupants.

Excluding the restrictions set forth below, the Contractor shall be responsible to repair any damage that occurs as a result of the construction process, whether to the buildings, building components and appurtenances, or any vehicles, to the satisfaction of the Owner's Representative (FWH Associates, P.A.).

WATER AND GAS VALVES, FIRE ALARM BOXES, ELECTRIC METERS AND HYDRANTS IN THE VICINITY OF THE WORK MUST BE MAINTAINED, AND IN CASE OF DAMAGE, THEY MUST BE RESTORED IMMEDIATELY BY THE CONTRACTOR WITHOUT COMPENSATION, TO A SIMILAR CONDITION AS THEY EXISTED BEFORE WORK BEGAN, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE (FWH ASSOCIATES, P.A.).

THE CONTRACTOR SHALL PROTECT ALL DOORS, WINDOWS, SIDING, VENTS, STAIRWAYS, BALCONIES, RAILINGS, LAWN AREAS, BUSHES, TREES AND ANY OTHER COMMON ELEMENTS, DURING ANY WORK IN, OR NEAR ANY BUILDINGS. ANY AND ALL DAMAGE WHICH OCCURS DURING THE COURSE OF THIS CONTRACT, AS RESULT OF ANY ACTIONS OR NEGLIGENCE BY THE CONTRACTOR, SHALL BE REPLACED, REPAIRED, PAINTED OR REFINISHED AT THE DISCRETION OF THE ENGINEER TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE (FWH ASSOCIATES, P.A.).

- All buildings being sided must be marked as a construction area. This must include defining the area with highly visible tape or appropriate signage. Within this area, no vehicles may remain except for those of the Contractor and Engineer.
- Commonly, the construction area will include the parking area in front of the building and forty (40') feet surrounding the building.
- All resident's or visitor's vehicles that remain within the defined construction area during construction are not the responsibility of the Contractor or Engineer.
- All window and door screens must be removed prior to construction. Any screens that are still present during construction are not the responsibility of the Contractor or Engineer.

- All delicate and/or removable items must be relocated away from the work site. This would include barbecues, potted plants, small border type fences, children's toys, bicycles, ornaments, etc. The Contractor is not responsible for the damage to such items that remain within the enclosed construction site. All items within the attic space must be removed.
- The unit occupant must remove all delicate items that hang on interior and exterior walls and ceilings due to the possibility of damage due to normal construction vibration. Any internal items that become dislodged or broken due to common siding practices necessary to perform the outlined tasks are not the responsibility of the Contractor.
- The Contractor is not responsible for nail pops and drywall cracks resulting from common siding practices.
- All damages must be inspected by the On-Site Construction Supervisor and Owner's Representative. The Contractor must document the damages and furnish a copy of said document to the Engineer. All unit occupants must report all damages to the management company if repair is desired.
- The Contractor has seven (7) days to repair internal damages and fifteen (15) days to repair exterior damages from the time it was reported by the resident.

If repairs are unresolved beyond the time limits specified above, the community board reserves the rights to hire a Contractor to complete all outstanding repairs and charge the siding Contractor for said repairs.

Regardless of weather conditions, or any other factors, the Contractor shall be completely responsible to conduct the work in such a manner to prevent any damage or water infiltration into the buildings.

- The Contractor shall furnish a twenty-four (24) hour emergency phone number to the Association, Management Company and Engineer.
- The Contractor shall conduct the work to minimize interference with pedestrian and vehicular traffic. The Contractor shall not interfere with any fire lanes, building entrances and exits, alarm systems, or emergency equipment.
- The Contractor should be aware that various utilities may exist within the attic spaces and building structure the location of which are unknown to the Owner. All work shall proceed with the knowledge that such utilities may exist, and the Contractor shall take all necessary measures to secure, protect or temporarily relocate such utilities.

In case of damage, the effected utility must be restored immediately by the Contractor at his own expense, and the Owner must be immediately notified.

- The Contractor shall protect existing trees, shrubs, vegetation, lawn areas and Common Elements. Items which are damaged by the Contractor shall be replaced or corrected, at his expense, to the satisfaction of the Owner's Representative, FWH Associates, P.A.

1.022 **AVAILABLE UTILITIES**

The Contractor shall make arrangements for all electrical power supply, water and other utilities required to complete the work required in these Specifications. The Contractor shall not use the utilities at private residences.

1.023 **WORK PERIODS**

The Contractor shall conduct his work at the site between the hours of 8:00 a.m. and 6:00 p.m., Monday through Friday, excluding Holidays.

Work on Saturdays, Sundays and Holidays or extended work hours, may be permitted if approved by the Owner, and shall be conducted at no additional cost to the Owner.

1.024 **RECORDATION**

The Contractor shall not record this contract, nor file Mechanics or Materialman's lien, Mechanics Notice of Intention or take any other action which may result in the attachment of a lien on the property. The Contractor shall obtain a written agreement from all its Subcontractors if allowed by the Owner of same.

The Contractor shall pay promptly when due, for all labor and material used or fabricated in connection with the work performed by the Contractor herein. Failure to comply with this shall be deemed a breach of this contract, for which Owner may immediately terminate this contract and exercise any other of Owner's remedies hereunder.

1.025 **DISPUTE RESOLUTION**

Any disputes between the Owner and Contractor concerning this contract shall be governed by the laws of New Jersey. Considering their rights under New Jersey laws, the parties hereby agree to stipulate that any disputes arising under the terms of these Specifications shall be venued in the Courts of **The County of Atlantic**, New Jersey.

END OF SECTION 012636

**SECTION 012976
PROGRESS PAYMENT PROCEDURES**

1.01 PAYMENTS TO CONTRACTOR

Payment shall be made for the Pay Items indicated on the Bid Proposal Form for the actual amount installed in the field. Payment for Extra Work shall be made at an agreed upon amount, between the Contractor and Owner.

Payments will be made to the Contractor after inspection and approval by the Owner, and in accordance with the following:

Payment terms are based on receiving invoices for all buildings completed during the prior week that have been inspected by FWH Associates, P.A. It will be the responsibility of the Contractor to provide access for the personnel to the siding in order to do this inspection. Once these invoices have been approved, which will occur within five (5) working days of submittal, ninety (90%) percent payment will be released to the Contractor within fifteen (15) working days. A ten (10%) percent retainage will be withheld for the duration of the job and will be released at the completion of all punchlist work as directed by the Engineer.

Each application for payment shall be accompanied by an Affidavit of Payment of Debts and Claims through the date of preceding payment.

Payment to the Contractor by the Owner is not evidence of acceptance of non-conforming or defective work by the Owner.

Payment of retainage to the Contractor by the Owner shall not be interpreted that the Contractor has performed all of his obligations under these Specifications.

In accordance with the ST-8 form, Certificate of Capital Improvement, New Jersey Division of Taxation, the Contractor must certify that all sales and use taxes due will be paid by the Contractor on purchases for materials incorporated or consumed in the performances of the work required under these Specifications.

END OF SECTION 012976

**SECTION 017413
PROGRESS CLEAN UP**

1.01 CLEAN UP

All removed building materials and rubbish must be removed by the Contractor from the site as the work progresses. Materials shall be removed at the completion of each workday to the satisfaction of the Owner.

At regular intervals throughout the workday, all crews shall utilize a magnetic nail collector throughout their worksite in order to minimize the hazards associated with loose fasteners on walkways, lawns, flower beds, driveways and streets.

The Contractor shall provide his own dumpsters with a capacity of forty (40 C.Y.) cubic yards each or less. Dumpsters shall be immediately removed from the site when they are filled. The location of all dumpsters shall be approved by the Owner prior to placement.

The Contractor shall be responsible to maintain dumpsters and adjacent area in a safe and sanitary condition and the Contractor shall be responsible for the security of the dumpster. If the Contractor fails to clean up the site after notification from the Owner, the Owner reserves the right to have the cleanup work performed by others and to deduct these charges from what is due to the Contractor.

If for any reason, the Contractor suspends or terminates work prior to the end of a normal workday, he shall clean up the area of any refuse, materials, and/or equipment and store such materials and equipment as specified herein. Before leaving the site, the Contractor must restore all areas of the work site to the satisfaction of the Owner.

END OF SECTION 017413

SECTION 018319
PERFORMANCE REQUIREMENTS
GENERAL WORK REQUIREMENTS

1.01 **SCOPE OF WORK**

It is the intent of these Specifications to provide a basis to perform removal of the existing siding and replacement with vinyl siding and related components including the repair of any damaged wall components.

1.02 **GENERAL**

The Contractor shall provide all materials, labor, equipment and appurtenances, and all else necessary and required to complete the work of this Contract in accordance with the Specifications. The work shall be compensated for in accordance with these Specifications at the bid prices or as Extra Work. The work shall include, but not be limited to the following at all walls at each unit:

1. Mobilization and acquisition of building permits.
2. Removal, storage, protection and reinstallation of existing downspouts
3. Replacement of all deteriorated wood components (i.e., sheathing, framing, etc.) as required (Extra Work).
4. Removal of existing stucco and installation of new Portsmouth 7” Shake vinyl siding. Shall include Tyvek WRB, flashings, J-channels, mount blocks, sealants at dissimilar materials and associated components.
5. Installation of new PVC trim (with integrated “conceal” J-channels) at window/door perimeters, PTAC sleeve perimeters, inside/outside corners, floor lines (east/west elevations only), frieze boards, mount blocks, door kickplates and paneling per FWH’s renderings and these specifications.
6. Installation of PVC mount blocks at wall mounted utilities, unit numbers fire extinguisher housing, railings, etc.
7. Installation of new building and unit designation numbers.
8. Removal of existing stucco soffits at roof overhangs and underside of balconies and installation vented vinyl soffit panels. Shall include additional measures required to secure the new soffit panels.
9. Replacement of existing wall and ceiling mounted light fixtures with new LED bulkhead light fixtures.
10. Installation of new flood/security lighting at existing locations.
11. Replacement of PTAC HVAC sleeves. All associated interior finish work shall be the responsibility of the unit owner.
12. Replacement of existing exterior wall-mounted fire extinguishers. Shall include housing enclosure.
13. Replacement of existing fire alarm speaker-strobe and manual pull. Shall include all associated exterior electrical lines/conduct. All electrical work shall be completed by a licensed electrician.
14. Replacement of shed roof at rear of building 100. Shall include necessary framing, sheathing, roofing, flashings and associated components. Side (gable) ends shall be clad with PVC trim/sheets and soffit shall be fully perforated (vented) soffit panels.

15. Replacement of common area exterior doors and windows (to match existing). Shall include all necessary hardware. Existing interior casing trim shall be removed/reinstalled.
16. Removal and replacement of existing utility enclosures. Shall include replacement of framing, sheathing, roofing, flashing, hardware and associated components. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing.
17. Replacement of exterior storage enclosures and doors at north and partial east elevation of building 400. Shall include all necessary hardware. Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing. The existing framing shall remain.
18. Replacement of exterior shower and associated components at east elevation of building 400. Shall include replacement of sheathing, roofing, flashing, hardware and associated components (framing to remain). Enclosure and doors shall be clad with PVC composite trim and paneling to match profile of existing and roofing shall be replaced with asphalt shingles, flashings and associated components atop CDX sheathing (new roof framing to provide min. 2:12 slope). The replacement of all shower piping, fixtures and associated components shall be completed by a licensed plumber.
19. Replacement of existing crawlspace hatch with new PVC hatch to match dimensions of existing at building 100.
20. Installation of new stainless steel Smart Vent foundation flood vents at existing locations at building 100.
21. Replacement of existing hose bibbs to match depth of new siding. All work shall be completed by a licensed plumber.
22. Replacement of exterior outlet with GFI protected exterior outlet in UL certified outlet box with clear bubble cover (installed by licensed electrician).
23. Removal/reinstallation of wall-mounted HVAC split-system heat pump and bracket. Existing bracket to be reinstalled atop a PVC mount block. All associated HVAC work shall be completed by a licensed HVAC contractor.
24. Replacement of existing decking and railing with Fiberon composite decking and PVC railing at rear of building 100 (Alternate Bid).
25. Clean-up of buildings and site, including removal of all removed and surplus material, and construction debris.

END OF SECTION 018319

TECHNICAL SPECIFICATIONS

The Technical Specifications below, are provided for informational purposes to assist the Contractor during the performance of the work required under these Specifications. These Technical Specifications are not intended to be complete or to cover all materials or methods that may be required to complete the work.

The Contractor will be solely responsible to ensure that all materials are installed and constructed in compliance with the Manufacturer's Recommendations Standard Specifications, and all else contained herein.

**SECTION 061633
WOOD SHEATHING INSTALLATION**

1.01 **SCOPE OF WORK**

This Section addresses the installation of plywood sheathing where existing sheathing is deteriorated and requires replacement (as required).

1.02 **GENERAL**

All sheathing shall be transported, stored, and installed in accordance with the requirements set forth in APA Form E30N, I.R.C. Chapter 6 and these Specifications.

Install panels continuous across two (2) or more studs with the strength axis perpendicular to framing. Provide one-eighth (1/8") gap between adjacent panel edges and ends. All panel ends shall be across framing members.

Panels shall be fastened to supports with, 6d common smooth or deformed shank nails, installed six (6") inches on-center along all edges, and twelve (12") inches on-center along intermediate supports.

Oriented Strand Board shall not be permitted for use for replacement sheathing.

All fasteners shall be marine grade 316 stainless steel.

1.03 **MATERIALS**

Plywood sheathing shall be APA Rated Sheathing, Span Rated 32/16, 15/32" thick or of equal thickness to existing plywood. The plywood shall be 4-ply (minimum), Exposure 1, Grade CDX.

1.04 **COMPENSATION**

Replacement of deteriorated sheathing shall be considered Extra Work.

Payment shall be made at the Unit Price indicated in the Bid Proposal Form for the actual amount installed as measured per sheet. Payment shall be made for full and half sheets only.

END OF SECTION 061633

**SECTION 064550
PVC TRIM**

1.01 GENERAL

This Section covers the installation of new PVC trim boards, conceal trim, sheets and column wraps at various locations as part of the siding replacement project.

1.02 SCOPE OF WORK

PVC trim boards and associated flashings shall be installed at select locations as stated within these specifications.

Allow 1/8" gaps for expansion and contraction where applicable.

All fasteners shall be marine grade 316 stainless steel.

1.03 MATERIALS

A. **PVC Trim Boards:** Trim boards, conceal trim, sheets, column wraps to be expanded rigid poly-vinyl-chloride as manufactured by Royal Building Products, 10 Roybridge Gate, Suite 201, Vaughan, Ontario L4H 3M8, or approved equal. Color and finish shall be approved by the Owner in writing.

Trim boards/sheets shall be utilized, but not limited to, at the following locations:

- Window/door perimeters
- PTAC sleeve perimeters
- Inside/outside corners
- Utility enclosures
- Storage sheds
- Exterior shower enclosure
- Shed roof gable sides
- Frieze boards
- Floor lines
- Utility mount blocks
- Railing wall-mount blocks
- Paneling between 1st/2nd floor windows at the west elevation of building 200
- Column wraps
- Door kickplates (common doors, individual unit entrance doors, sliding patio doors)

Upon approval by the Owner, PVC trim board and sheets shall be installed at additional locations.

B. **Building Wrap:** Tyvek HomeWrap and DrainWrap as manufactured by DuPont.

C. **Flashings:** Flashings shall be installed per the applicable sections and figures of these Specifications.

- D. **Fastening:** Nails and screws shall be as follows:
 - a. 8d nails with annular or spiral thread shanks.
 - b. 15 ga. stainless steel trim nails (decorative mouldings, e.g. crown moulding).
 - c. Screw and Plug System: Starborn Pro Plug System for Royal with no cam-out auto-stop mechanism, stainless steel screws (marine grade 316), 2", 2-1/2", 2-3/4" and 3" lengths, plugs and grain to match trim color.
- E. **Glue:** Royal PVC Cement, 1 part, thermoplastic elastomer base, MEK/acetone/toluene solvent, white in color, 8lbs. per gallon, 4 oz, 8 oz and 16 oz cans with brush-cap applicators and 8 oz squeeze bottles

1.04 EXECUTION

I. Installation

- A. **General:** Installation shall be performed in strict compliance with the manufacturer's recommendations. Trim to be secured with two (2) fasteners every twelve (12") inches on center and nail into framing wherever possible.
- B. **Preparation:** All substrate flaws and defects shall be corrected prior to the trim installation. Walls must be plane and clear to receive underlayments and PVC trim.

Exposed horizontal edges of new trim boards to be beveled at two (2%) percent to provide drainage of water.
- C. **Underlayments:** All underlayments shall be installed per the requirements in the applicable section(s) of this Specification.
- C. **Trim Fasteners:**
 - a. Place fasteners approximately no less than 3/4" or more than two (2") inches from each edge.

Trim Board Fastening Schedule	
Board Width	Fasteners/Width 16" O.C. Max.
4"-6"	2
8"-10"	3
12"	4

- b. Pre-drilling is required at temperatures of forty (40°F) degrees Fahrenheit or below.
- c. Trim can also be installed using a pneumatic nailer, with stainless steel or painted head screws.

- d. Use fasteners designed for wood trim and wood siding (thinner shank, blunt head, full round head) with trim board. Use only fasteners intended for exterior use, such as stainless steel or hot-dipped galvanized.
- e. DO NOT USE staples, small brads and wire nails. The fasteners should be long enough to penetrate the substrate a minimum of 1-1/2".
- f. Use two (2) fasteners per every framing member for trim board applications.
- g. Fasteners must be installed no more than two (2") inches from the end of each board.
- h. Fastening trim boards into hollow or uneven areas must be avoided.

D. Gluing

- a. Temperature variations will cause PVC trim boards to expand and contract. To prevent open miter joints, glue all joints on PVC trim using a quality instant glue or PVC cement.
- b. When assembling, splice and return miters by gluing the trim boards together before installation.
- c. Always test adhesive brands before using.
- d. Apply glue between temperatures of negative thirty (-30°F) degrees Fahrenheit and one hundred fifty (150°F) degrees Fahrenheit.
- e. Glue to be applied with brush or roller.

E. Painting

- a. Trim boards require no painting for protection, but if the Association chooses to paint the trim boards, a 100% acrylic latex paint shall be utilized.
- b. Scuff sanding will optimize paint adhesion but is not required.
- c. A second coat may be needed to achieve desired color.
- d. To maintain warranty for custom colors in darker shades, use heat-reflective paint with VinylSafe™ Technology from Sherwin-Williams. (Dark colors are considered any color that falls within the lightness (L) value of 56 to 0, with 100 being white and 0 being black).
- e. Touch-up for exterior trim:
 - i. Dap® “All Purpose” Painter’s Putty®.

- ii. Minwax High Performance Wood Filler®.
 - iii. Elmer's Fill-N-Finish Light Wood Filler®.
 - iv. Sherwin-Williams Shrink Free Spackling®.
- f. After installation is complete, caulk and/or putty all gaps and nail holes.

1.05

COMPENSATION

All costs associated with the installation PVC trim boards, conceal trim, sheets and column wraps shall be installed at bottom of chimney chase, above the two (2) chimney chase shoulder wall shed roofs and above the roof plane shall be considered to be a Base Bid item as noted on the Bid Proposal Form of this Specification.

END OF SECTION 064550

**SECTION 067300.1
COMPOSITE DECKING AND RAILINGS**

1.01 SCOPE OF WORK

This section covers the installation of composite decking and railings.

1.02 MATERIALS

All existing wood decking and railing at the rear of building 100 shall be removed and replaced with composite decking, railings and associated components.

1.03 GENERAL

Railing to be installed in accordance with the IBC, 2018 New Jersey Edition and per the manufacturer's requirements.

Railing to finish at minimum forty-two (42") inches high.

Railings shall be able to resist a single concentrated load of two-hundred (200 lbs.) pounds, applied in any direction at any point along the top, and to transfer this load through the supports to the structure.

At no instance shall a four (4") inch sphere be able to pass between any two (2) components of the railing assembly.

Contractor to clean all rail components before considered being complete.

1.04 MATERIALS

Composite decking, railings and associated components shall be manufactured by Fiberon®, 181 Random Drive, New London, North Carolina, 28127, or approved equal.

A. Railing:

- a. Model: HavenView CountrySide
 - i. Top rail dimensions: 2.95" x 2.95"
 - ii. Bottom rail dimensions: 2.5" x 2"
 - iii. Post: Beveled 5" x 5" post sleeve (45" length)
 1. Pyramid cap
 2. Base cove moulding
 - iv. Balusters (beveled): 1.25" x 1.25" x 35.5"
 - v. Material: Premium quality composite railing with permanent bonded finish.
 - vi. Rails available in six (6') foot lengths and eight (8') foot lengths.
 - vii. Deck Mount: Post sleeve surface mount kit with associated components manufactured by Fiberon® with 4" x 4" wood inserts (as needed). Install per manufacturer's requirements.
 - viii. Color shall be approved by the Owner in writing.

B. Decking

- a. Model: Paramount
 - i. Dimensions: 1" H x 5.5" W x 12', 16' and 20' lengths
 - ii. Grooved edge for use with hidden deck fasteners.
 - iii. Hidden deck clips: EDGEX® Hidden Deck Clips
 - 1. T-15 head
 - 2. 2-1/4" length
 - 3. 410 stainless steel screw
 - 4. 304 stainless steel gusset
 - 5. Wings fit into board's groove

1.05 **COMPENSATION**

All costs associated with the installation of composite decking and railings shall be considered to be included as part of the base bid as outlined in the Bid Proposal portion of these specifications.

END SECTION 067300.1

**SECTION 072116
INSULATION INSTALLATION**

1.01 SCOPE OF WORK

This section addresses the installation of stud wall batt insulation where deteriorated or missing and the installation of fanfold siding underlayment over existing Thermo-ply sheathing. It shall be the Contractor's responsibility to identify which buildings have Thermo-ply sheathing.

1.02 GENERAL

Deteriorated sections of stud wall batt insulation shall be replaced by the Contractor (as required) upon the removal of the deteriorated exterior wood sheathing. All removed material shall be placed in containers for disposal at the conclusion of each workday.

1.03 MATERIALS

A. **Stud Wall Batt Insulation**: The Contractor shall install kraft faced batt insulation, R-13 or R-19 or as specified in work write up, between wall studs by pressure fitting in place and securing in stud bay by stapling batt facing flange toward the top edge of batt (facing toward heated area). Any cavity around door and window framing shall be packed with loose insulation when exposed.

1.04 COMPENSATION

All costs associated with the replacement of deteriorated batt insulation shall be considered Extra Work as outlined in the bid proposal section of these Specifications.

END OF SECTION 072116

SECTION 072500
INSTALLATION OF WEATHER BARRIER HOUSE WRAP

1.01 **SCOPE OF WORK**

This Section addresses the recommended installation of the building's weather barrier wrap system and general clean up after work.

1.02 **MATERIALS**

1. Tyvek House Wrap
2. Tyvek Seam Tape
3. Grace Vycor Flashing

1.03 **GENERAL REQUIREMENTS**

Install Tyvek House Wrap system as per manufacturer's installation instructions.

Wall openings, penetrations, junctions, connections, windowsills, headers, and jambs must incorporate appropriately installed Grace Vycor Flashing and seam tape along with other metal flashings to effectively prevent water intrusion into the building.

Do not install Tyvek House Wrap onto saturated sheathing.

1.04 **INSTALLATION**

Begin by affixing weather barrier, extending at least six (6") inches around building corner, unroll horizontally (print side facing outward) around the building.

Fasten to studding or nailable sheathing with galvanized construction staples maximum distance of eighteen (18") inches apart, vertically and horizontally. Attach so that it is taut and flat.

Vertical overlaps must be a minimum of six (6") inches and be taped with seam tape.

Bottom edge of barrier to extend two (2") inches below sill plate and foundation interface.

Horizontal courses of weather barrier to overlap minimum of six (6") inches. Tape the horizontal seams.

At roof to wall intersection (or wall to deck), affix wrap to the wall such that it overlaps any step flashing already on the wall by two (2") inches.

Grace Vycor to be utilized at windows, doors, junctions and penetrations and must be installed in conjunction with Tyvek House Wrap.

Windows to be weather proofed by first installing four (4") inch aluminum trim stock underneath lower window nailing flange and extend six (6") inches beyond each window edge. Next seal both vertical edges with pro-flashing to extend six (6") inches over top window edge and overlap aluminum trim stock. Lastly, install pro flashing across window head to overlap both side applications.

Install drip cap over Ex-Cel head trim. Overlap drip cap with Tyvek House Wrap and seal down with Tyvek Seam Tape.

Seal all utility wall penetrations (electric, plumbing, gas) with Grace Vycor as per manufacturers' recommended installation instructions.

1.05

COMPENSATION

All costs associated with the installation of Tyvek House Wrap, Tyvek Seam Tape and Grace Vycor SAF shall be considered to be part of the Base Bid as set forth in the Bid Proposal portion of these Specifications.

END OF SECTION 072500

**SECTIONS 073113.13
ASPHALT SHINGLES
SHINGLE REPLACEMENT**

1.01 SCOPE OF WORK

This Section shall cover the installation of asphalt roof shingles and associated roof system materials.

1.02 GENERAL

All materials and methods shall be in accordance with The National Roofing Contractors Association Roofing and Waterproofing Manual, the standards set forth in Section 101.02 & 101.03-Standard Specifications herein and in accordance with the Manufacturer's Specifications.

All roof surfaces shall be covered with a single layer of horizontally installed underlayment. Underlayment shall be lapped a minimum of two (2") inches over the lower course, and a minimum of six (6") inches at end laps. All underlayment shall extend up vertical walls at least six (6") inches. Double-layer underlayment shall be installed on roof slopes below four on twelve (4:12).

Eave edges shall have drip metal edges installed as provided in **Section 077000 Flashings**.

Shingles shall overhang eave metal drip edge three-quarters to one inch (3/4" to 1") along the lower edge of the roof plane. A similar overhang shall be installed along the rake board drip edge.

A starter course must run along all rakes and eaves. The shingles used for the starter course should be trimmed in such a manner as to maintain the seal strip one (1") inch or less from the edge of the one (1") inch overhanging shingle.

1.03 METHODS

Nail with six (6) nails approximately 6-7/8" from the bottom of the shingle in nailing area (strike zone).

Nails must not be exposed.

For first course of shingle at eave, nails **MUST** be located on the lower nailing zone line at nominal six (6") inches from the bottom of the shingle. Shingle exposure should be 5-5/8".

1.04 COLD WEATHER SEALING

To hand-seal shingles and to ensure immediate sealing, Apply four (4) quarter-sized dabs of shingle tab adhesive on the back of the shingle one (1") inch and thirteen (13") inches in from each side and one (1") inch up from bottom of the shingle. Press shingle firmly into the adhesive. Apply only a thin uniform layer of asphalt plastic cement less than 1/8" (3mm) thick. Excess amounts can cause blistering of the shingles and may soften the asphalt in underlayments and leak barriers, resulting in the asphalt dripping and staining.

The Contractor shall be responsible for ensuring that the shingle tabs properly seal.

If conditions for proper sealing will or may not develop, the Contractor shall use the following procedure:

Apply two (2) dabs of asphalt plastic roof cement, about the size of a quarter under each shingle tab, approximately one (1") inch from the end and one (1") inch up from the bottom of each shingle tab. The shingle tab must be pressed firmly into the adhesive. All asphalt plastic cement must conform with ASTM D4586. Application of excessive tab adhesive can cause blistering of the shingle.

1.05

MATERIALS

Roof felt shall be FeltBuster™ high-traction UV-stabilized polypropylene synthetic roofing felt underlayment.

The ice and water shield shall be GAF "Weatherwatch" ice and water barrier. The approximate thickness shall be 60 mils. The width of the rolls shall be thirty-six (36") inches and meet ASTA specification D1970.

Shingles shall be: **GAF Corporation "Timberline HDZ" High Definition Lifetime Shingles, asphalt laminated type with a limited lifetime warranty and 130 MPH wind warranty. The color shall be approved in writing by the Owner.**

Starter strip to be GAF WeatherBlocker™ eave/rake starter strip. Ridge cap shingles to be GAF Timbertex® to match roofing.

Shingle's fasteners shall be corrosion resistant, Type 316 stainless steel roofing nails, Hand Drive, Ring Shank, with a head diameter of 3/8", 1/8" shank and 1-1/4" length. **Shingles shall be fastened to roof deck with six (6) nails per shingle.** Contractor should be aware that special nailing procedures may be necessary to meet the 110 mph minimum wind speed for region.

Staples shall not be permitted for the installation of shingle panels.

1.06

COMPENSATION

All costs associated with the installation of roof shingles and associated components shall be considered to be included in the Base Bid as noted on the Bid Proposal Form.

All costs associated with the installation of roof shingles and associated components at additional locations shall be considered to be an Extra Item as noted on the Bid Proposal Form.

END OF SECTIONS 073113.13

**SECTION 074601
REMOVAL OF EXISTING CLADDING**

1.01 SCOPE OF WORK

This Section covers removal of the existing cladding, trim and various components of the system, located on all walls.

1.02 GENERAL

All existing cladding, trim stucco/vinyl soffit panels, underlayment and membranes, window wraps, deteriorated wall sheathing, common doors/windows, utility/storage enclosures, exterior shower, PTAC sleeves, light fixtures, electrical outlets, hose bibbs, fire extinguishers/alarms/manual pulls, flashings, fasteners, and other materials shall be removed by the Contractor by methods which shall not damage any portions of the building that is not be removed, using accepted procedures. The Contractor also shall not damage any portions of the site as a result of this process. The Contractor shall identify and confirm quantities of deteriorated wood framing and sheathing with the Engineer.

All removed materials shall be placed in containers for disposal on a daily basis and site shall be free from debris at the conclusion of each workday. All loose debris shall be removed from around the building, roofs and landscaped areas.

The top surface of remaining sheathing shall be clean and free of protruding fasteners prior to the reinstallation of any materials.

1.03 SHEATHING REMOVAL

If any wall sheathing is found to be in a deteriorated condition, the Owner's Representative shall be notified immediately so that extent of necessary remedial work may be determined.

1.04 DISPOSAL

The Contractor shall dispose of all removed materials off-site, at an approved location. The municipality may have special requirements, and or require specific documentation or receipts concerning disposal methods or locations. The Contractor must supply the Management Company of copies of all permits required for the disposal of all materials removed from the buildings.

1.05 COMPENSATION

All costs associated with removal of existing siding materials, including any and all disposal transportation, fees or permits will be considered to be included in the section price as noted on the Bid Proposal Form.

Replacement of wall sheathing, and framing shall be considered to be an "Extra Item" as noted on the Bid Proposal Form.

END OF SECTION 074601

**SECTION 074616.1
PAINTED ALUMINUM TRIM COIL**

1.01 GENERAL

This Section addresses the cladding of various building components with aluminum trim coil.

1.02 SCOPE OF WORK

Furnish all labor, materials and equipment necessary for the complete installation of aluminum trim coil on various building components within these specifications.

1.03 MATERIALS

- A. Mastic TS24 Aluminum Coil, Product #61020030, 24" x 50" (painted). Color shall be approved in writing by Owner. Submit samples of available colors to Owner for approval prior to purchase and installation of trim sheet.
- B. Aluminum coil stock to be .024" gauge.
- C. All drip edges to be .024" gauge. *Custom drip caps over windows to be fabricated so as to shed water. All irregular connections to receive clear caulk to seal.*
- D. Aluminum trim coil to be factory enameled with a smooth finish. Submit samples of available colors to Owner for approval prior to installation of trim coil.

1.04 METHODS

Width of aluminum trim coil to be one continuous piece. Required breaks are to be done on site on approved aluminum breaking machine. Secure aluminum with color matched trim nails at two (2) every thirty (30") inches on center.

Do not install nails on very end of aluminum section to allow underlying aluminum ability to expand/contract.

- A. Before starting work, verify governing dimensions at building; examine, clean and repair if necessary, any adjoining work on which this work is in any way dependent for its proper installation.
- B. Install in accordance with Aluminum Installation Planner and Sheet Metal and Air Conditioning Contractors' National Association Architectural Sheet Metal Manual, latest edition.
- C. Contractor to provide sample of available colors of trim coil to Owner for approval, prior to commencement of work.
- D. Upon completion, the Contractor shall clean all fingerprints, dirt, grease marks from aluminum work.

E. Dissimilar materials:

- 1) Care must be exercised in placing aluminum in contact with metals or materials not compatible with aluminum.
- 2) Dissimilar materials shall be painted or otherwise protected when they are in contact with aluminum or when drainage from them passes over aluminum.

1.05

COMPENSATION

All costs associated with the cladding of various building components with aluminum trim coil shall be considered to be included in the Base Bid Contract as noted in the Bid Proposal Form, unless otherwise noted.

END OF SECTION 074616.1

**SECTION 074634
VINYL SIDING INSTALLATION**

1.01 SCOPE OF WORK

This Section addresses the installation of the vinyl siding system, various components of the system, and general clean-up after completion of work.

Contractor shall furnish all necessary labor, material, and equipment for the complete installation of vinyl siding where specified in the scope of work and bid proposal pages.

1.02 GENERAL

Contractor shall furnish all necessary labor, material, and equipment for the complete installation of vinyl siding where specified in the scope of work and bid proposal pages.

Contractor shall not be responsible for the configuration of existing cable/telephone lines, utilities, etc. located at the exterior of the buildings. Contractor shall be responsible for contacting and arranging for any associated utility disconnects, reconfigurations, etc. as necessary to complete the siding replacement project.

The new building and unit designation numbers/signage shall be selected and approved by the Owner.

1.03 SUBMITTALS

- A. Submit siding samples showing profile, size and color for approval prior to commencement of work.
- B. Submit shop drawings for building corners, wall capping and trim around windows and doors and other areas required by Engineer prior to the pre-construction meeting.

1.04 QUALITY ASSURANCE

- A. Siding and underlayment to be installed in conformance with the International Building Code, 2018 New Jersey Edition.
- B. Installer qualifications: Provide installer with not less than five (5) years of experience with products specified.
- C. Panels to be installed as per IBC Section 1405.15, manufacturer's installation instructions and the Vinyl Siding Institutes (VSI) recommendations, whichever is more stringent.

1.05 DELIVERY, STORAGE AND HANDLING

- A. Store materials in their original packaging, off the ground, and under additional cover. Protect from damage and deterioration. Any material that becomes saturated must be left to completely dry before it is installed.

- B. Handle material to prevent damage to all surfaces and edges. Damaged materials shall not be installed and shall be discarded. Lag siding, trim and soffit should always be carried on edge.

1.06 **WARRANTY**

Provide manufacturer's written lifetime limited warranty for siding, soffit and accessories against manufacturing defect for the life of the installation.

1.07 **MATERIALS**

I. Manufacturer

Siding, soffit, and related vinyl accessories to be manufactured by Royal Building Products

II. Siding

- a. Portsmouth D7 Cedar Shake Vinyl Siding, 4.48', ¾" pocket accessories. Color choice to be approved by Owner in writing subsequent to color submittals by Contractor.

Length: 4.48'

Design: Double seven (7") inch; true-milled finish.

Exposure: Fourteen (14") inches.

Lock: Molded to nailing track and bottom lock.

Panel Projection: ¾ inch.

Color: Color choice to be approved by Owner in writing subsequent to color submittals by Contractor.

III. Accessories

A. Soffit:

- i. Vented: Triple 4 soffit, fully perforated, RST4M, Fully vented (forated) tr 12" exposure, ½" panel projection, 0.042" nominal thickness, 12' lengths, matte finish. Color to be approved by Owner in writing. Blocking shall be installed as necessary to provide support for the soffit panels.

- B. **Mount Blocks:** Use appropriate Mid America mounting blocks at all hose bibbs, electrical outlets, gas penetrations, etc. Color to match siding.

Contractor to bore holes or notch blocks to accept utility and finish caulk connection/penetration where necessary.

C. Unit and Building Designation Numbers/Lettering:

Unit Designation: Four (4") inch height

Building Designation: Two (2") inch height (lettering) and Eight (8") inch height (numbering).

Material: Aluminum

Finish: Matte black

Fasteners: To be fastened to mount blocks via stainless steel screws. Owner to confirm flush mount or elevated mouth with spacer Screw heads to be black.

Manufacturer: Montague Metal, 4101 W. Fruitvale Road, Montague, Michigan 49437, or approved equal.

D. Installation Components:

1. Vinyl starter strips
2. J-channels – 3/4" (siding), 1/2" (soffit).
3. Trim and molding: under sill trim, F-trim, drip cap.
4. Corners: Inside and outside corner posts -4" (if chosen in lieu of PVC trim boards).

Note: "J" channels shall not be utilized as a substitute for inside or outside corner posts.

5. Trim coil: PVC coated aluminum, 0.024" gauge.
6. Building Wrap: "Tyvek" home wrap manufactured by DuPont with seaming tape and approved fasteners, "Vycor" self-adhered flashings.

1.08

EXECUTION

I. Installation

- A. General:** Installation shall be performed in compliance with the manufacturer's recommendations. Siding to be secured to provide for expansion and contraction. Allow one-quarter (1/4") inch gap wherever siding butts accessories.
- B. Preparation:** All substrate flaws and defects to be corrected prior to siding installation. Walls must be plane and clear to receive siding and underlayment.
- C. Building Wrap:** Install new "Tyvek" Home Wrap on all exposed surfaces of wall sheathing, as an underlayment for vinyl siding. Tyvek to be secured with galvanized nails or 1/2" crown staples at 12"-18" o.c. Overlap joints minimum six (6") inches. Seal and secure Tyvek at all openings in wall and on Tyvek seams with Tyvek tape. Tyvek wrap not to be left exposed to weather for long periods of time.

Tyvek to be overlapped at interface with windows by Grace Vycor self-adhering membrane in a weatherproofing fashion. Windows to be capped with aluminum head flashing where not existing.
- D. Soffit:** All existing soffits at venting/non-venting soffit locations and stucco soffits, including the underside of the walkways, to be removed and replaced.
- E. Siding Fasteners:** Nails to be corrosion resistant galvanized steel or aluminum roofing nails with a head diameter of 3/8", 1/8" shank and 1-1/4" length.

F. **Installation Components:** Install per manufacturer's recommendations.

G. **Cutting/Trimming Methods:** Utilize double action aviator snips, hack saw and power saw with abrasive or fine-toothed blade for cutting and utility knife for scoring.

II. Field Inspection

Upon completion of installation, visually inspect for defective installation and manufacturing defects. Repair, as necessary.

III. Clean Up

Upon inspection and repairs of defects, remove all construction related debris. Remove all packaging and remaining material from site. Clean soiled areas of construction with manufacturer approved cleaning products.

1.09

COMPENSATION

All costs associated with the installation of vinyl siding, vented soffits, mounting blocks, underlayment and various required components shall be considered to be a Base Bid item as noted on the Bid Proposal Form of this Specification.

END OF SECTION 074634

SECTION 077000
ROOF & WALL SPECIALTIES AND ACCESSORIES
FLASHINGS

1.01 **SCOPE OF WORK**

This Section covers the replacement or correction of various flashings at the interface with roof coverings, wall coverings and building components.

1.02 **GENERAL**

All existing window trims shall be removed to provide for the installation of underlayment and Vycor Self Adhering Flashing in compliance with these Specifications.

Drip cap material to be installed over each window/door location.

The Contractor shall immediately notify the Engineer of problems noted from water infiltration, improper flashings and details associated with the damaged siding installation. The Engineer, at his discretion, shall direct the Contractor to correct the aforementioned items at the laborers per hour rate.

1.03 **METHODS**

All drip cap material to be installed over the head component of Ex-Cel trim window/door detail.

Drip Caps: Various drip cap shall be appropriately sized for the width and depth per application and have side flaps and returns to drain water outside of window vertical edge. Drip cap to be 0.024" aluminum, color to be approved by the Owner in writing and pitched to shed water away from wall.

Balcony Surfacing Drip Cap: The drip cap at the vertical wall extension of the balcony surfacing shall be appropriately sized for the depth of the surfacing/substrate have end dams to direct water away from termination abutments. Drip cap to be 0.024" aluminum, color to be approved by the Owner in writing and pitched to shed water away from wall.

Electric Meter Box: The siding J-channel must surround the meter box. The meter box must be flashed over the top with 0.024" aluminum trim sheet with hem bend 1-1/2" bottom flange and four (4") inch vertical flange. Vertical flange to be overlapped with Tyvek House Wrap and sealed down with Tyvek seam tape. SAF shall be installed around penetrations within the WRB and beneath the drip cap. Caulk at J-channel electric box connection.

Eave Flashing & Drip Edge

All eave areas shall be flashed with supplemental eave flashing material (membrane flashing) and metal drip edge. The metal drip edge shall extend back from the roof edge at least three (3") inches and bend down over the fascia aluminum wrap behind the gutter at least one (1") inch. The installation of the supplemental eave flashing material shall extend along the entire length of all lower edges of all roof planes over the metal drip edge. Contractor may field bend drip edge material at gutter with coil stock aluminum.

The supplemental eave flashing (membrane flashing) material shall extend from the forward edge of the metal drip edge onto the roof sheathing for a horizontal distance of twenty-four (24") inches beyond the inside edge of the interior wall. The material shall be installed parallel to the ridge line of the roof segment. The ends of all membrane flashing material/roof felt shall be overlapped by the metal rake edge.

Drip Cap Flashings at Rake and Vertical Wall Trims

All trims installed at roof/vertical wall interfaces to be capped with a drip cap flashing. Flashing to have vertical leg that extends three (3") inches up wall and tightly bends over 5/4" trim board. Contractor to ensure that vertical aluminum flashings is installed underneath existing wall waterproofing membrane.

1.04

COMPENSATION

All costs associated with flashing shall be considered to be included in the Base Contract as noted on the Bid Proposal Form.

END OF SECTION 077000

SECTION 079200
SEALANTS

1.01 **SCOPE OF WORK**

This Section shall cover the installation of sealant between all dissimilar materials.

1.02 **GENERAL**

As required in these Specifications or as required due to field conditions, it may be necessary for the Contractor to utilize sealants (caulk).

Contractor should realize that caulk is not a substitute for building materials, and as such, shall use the material sparingly or as required in these Specifications.

The use of caulk to mitigate improper installation of building materials shall not be accepted by the Owner.

Sealant shall be applied to all sides of the abutment of cladding to door and window openings **except for the head abutment to allow water to drain from the cladding assembly via the drip cap flashing.**

1.03 **METHODS**

The maximum depth of sealant shall not exceed one-half (½”) inch. For deeper joints, foam backer rod shall be used.

The sealant shall be applied sparingly and in a neat manner.

Three point joints shall not be permitted.

Sealants shall not be applied when the ambient temperature is below forty (40°F), or any contact surfaces are moist, unless approved by the manufacturer.

1.04 **MATERIALS**

- a. Silicone: Sikasil®-N Plus US one –component, non-sag, elastomeric, 100% RTV neutral cure silicone sealant as manufactured by Sika Corporation, 201 Polito Avenue, Lyndhurst, NJ 07071.
- b. Polyurethane: Sikaflex® 15LM low modulus, high performance, 1-component, polyurethane-based, non-sag elastomeric sealant as manufactured by Sika Corporation, 201 Polito Avenue, Lyndhurst, NJ 07071.
- c. Adhesive: SikaBond® Construction Adhesive, one-component, gun grade, adheasing and sealing compound of permanent elasticity as manufactured by Sika Corporation, 201 Polito Avenue, Lyndhurst, NJ 07071.

1.05

COMPENSATION

All costs associated with the installation of sealant shall be considered to be included in the applicable Base Bid section of the Bid Proposal Forms.

END OF SECTION 079200

**SECTION 085313
VINYL WINDOWS**

1.01 GENERAL

The following section shall cover the proper removal of existing windows of various dimensions and replacement with “new construction” windows (with nailing fin), extension jambs and associated components.

1.02 SCOPE OF WORK

The following section shall cover the proper removal and replacement of the common exterior windows.

All provisional components shall be installed to sufficiently accept the new vinyl windows.

The replacement of the exterior windows serving the individual units shall be the financial responsibility of the unit owner.

Installation shall be performed in conformance with the IBC, 2018 NJ Edition and in strict compliance with the manufacturer’s requirements.

Existing interior casing trim and sill shall be removed and reinstalled to allow for the replacement of the window.

The interior finish shall be the responsibility of the association of the individual unit owner.

The contractor shall be responsible for confirming the measurement of the windows to be replaced prior to ordering window.

All replaced windows shall be “new construction-type” windows with integrated nailing flange to be integrated/flushed into the weather resistive barrier in a shingle fashion.

1.03 QUALITY ASSURANCE

- A. **Installer qualifications:** The installer shall be a company specializing in the installation of vinyl or wood windows with a minimum of five (5) years of experience.
- B. **Manufacturer qualifications:** manufacturer shall be capable of providing field service representation during construction, approving acceptable installer and approving application method.
- C. **To assure the performance specified.** The window manufacturer shall test for air infiltration, water resistance and structural requirements in accordance with ANSI/AAMA 101.93

Provide insulating glass units permanently marked with certification label I of Insulating Glass Certification Council (IGCC) indicating compliance with ASTM E2190.

1.04 **SUBMITTALS**

- A. **Product Data:** submit product data for each type of product specified.
- B. **Shop Drawings:** Submit shop drawings showing layout, profiles, and product components, including anchorage, accessories, finish and colors.
- C. **Samples:** Submit verification samples for window types and finish.
- D. **Quality Control Submittals**
 - 1. **Design Data:** All windows shall meet or exceed AAMA/WDMA/CSA 101/I.S.2/A440-05, Standard / Specification for Windows, Doors, and Unit Skylights.
 - 2. **Test Reports:** Submit certified test reports, showing compliance with specified performance characteristics and physical properties.
 - 3. **Certificates:** Submit product certificates signed by manufacturer certifying materials comply with specified performance characteristics and physical requirements.
 - 4. **Manufacturer's Installation Instructions.**

1.05 **WARRANTY**

- A. **Manufacturer's Warranty:** Submit for Owner's acceptance, manufacturer's standard warranty document executed by authorized company official. Manufacturer's Warranty is in addition to and not a limitation of other rights Owner may have under the Contract Documents.

Provide manufacturer's limited lifetime warranty for window vinyl components and a 20-year warranty on hardware, screens and glass.

1.06 **DELIVERY, STORAGE, AND HANDLING**

Deliver materials in manufacturer's original unopened, undamaged containers with identification labels intact.

Store materials protected from exposure to harmful environmental conditions and at temperature and humidity conditions recommended by the manufacturer.

Store materials and accessories off ground, under cover, and protected from weather and construction activities.

1.07

MATERIALS

Simonton Series ProFinish Brickmould 600 DP50 Windows with low-E glass, argon blend filled insulating glass units, reinforced frame and sash with associated components as manufactured by Simonton® Windows & Doors, 3948 Townsfair Way, Suite 200, Columbus, Ohio 43219, or approved equal. Dimensions and window operation shall match existing. Exterior/interior color(s) and hardware finish shall be approved by Owner in writing.

Extension jambs to be one (1”) nominal finger jointed pine to tightly fill remainder of window rough opening.

Existing interior casing trim and sill shall be removed and reinstalled to allow for the replacement of the window.

All replaced windows shall be “new construction-type” windows with integrated nailing flange to be integrated/flashed into the weather resistive barrier in a shingle fashion.

A. **Vinyl Cladding:** Rigid vinyl (PVC) complying with requirement of ASTM D4216. Color shall be white and approved by Owner in writing.

B. **Weatherstripping:**

- i. Head Weatherstripping: Dual Flexible PVC bulb.
- ii. Jamb Weatherstripping: Flexible PVC leaf and bulb.
- iii. Check Rail Interlock Weatherstripping: Flexible PVC bulb, with gasket type covered foam between bottom rail and sill cover.
- iv. Vertical Weatherstripping Compressible PVC profiles installed inside jamb liners contacting sash edges with flexible fin assisting contact along lower sash edges. Provide fin-pile plug attached to jamb liner at check rail area of side jamb between sash runs. Seal lower jamb liner with two (2) silicone closed cell foam bulbs.

C. **Hardware**

- i. Sash Locks and Keepers: Cam-operated injection molded glass reinforced polyester sash locks. Color shall be white and approved by Owner in writing.
- ii. Balances: Fit top and bottom sash with concealed sash mounted balances consisting of spring power with block and tackle. Design balances to ensure easy operation of double hung units.

D. **Fasteners**

- i. Fasteners, where exposed, shall be stainless steel.

E. **Glazing:** Insulating glass units certified through the Insulating Glass Certification Council as conforming to the requirements of IGCC. Provide dual sealed units consisting of polyisobutylene primary seal and silicone secondary seal. Provide metal spaces with bent or soldered corners.

F. **Glazing Material:**

- i. **Low-E Glass, Argon Blend Filled Insulating Glass Units:** Insulating glass units consisting of an outboard lite of clear annealed glass conforming to ASTM C1036, Type 1, Class 1, q3 and an inboard lite of clear heat strengthened glass conforming to ASTM C1048, Type 1, Class 1, q3, Kind HS.

G. **Joining Systems (Mullion)**

- i. The reinforced mullion is comprised of an aluminum reinforcing bar and a base plate assembly. The reinforcing bar increases the strength of the mullion to minimize deflection under wind loads. The base plate assembly ties the reinforcing bar to the opening and MUST be used for proper installation. Brackets, with an “L” shaped design, are attached to the reinforcing bar to secure it to the window unit.
- ii. Gusset Plates/Joining Strips/End Bracket: Galvanized steel plates that attach to wood frame.
- iii. Exterior Trim Strips: As recommended by window manufacturer for each joining method used.
- iv. Color: Match window unit exterior color.

H. **Grilles**

- i. Removable Interior Grilles: Color and pattern shall be approved by owner in writing.

I. **Extension Jamb:** 0.0008 (0.2mm) vinyl wrapped wood members machined from clear material or veneered finger joined material approved in ANSI/AAMA/NWWDA 101/I.S.2. Pre-drill extension jambs. Provide extension jambs for wall thickness.

J. **Insect Screen:** Provide venting sash with an insect screen, including attachment hardware.

- i. **Frames:** 0.024 inch (0.61mm) rolled aluminum frame with chromate conversion coating. Provide matching corner locks and latch retainers.
- ii. **Insect Screen Cloth:** 18 by 16 aluminum mesh, gunmetal finish.
- iii. **Frame Finish:** High-bake polyester finish, color shall be approved by Owner in writing.

K. Jamb Clip

Attach jamb clip in kerf on back of side jamb spaced twelve (12") inches apart on center starting six (6") inches from corners using 5/8" fasteners. Jamb clip shall be bent into position.

L. Finish

All existing interior window casing trim and sill shall be removed, stored, protected and reinstalled. All interior finish shall be the responsibility of the unit owner.

1.08

EXECUTION

A. **General:** Installation shall be performed in strict compliance with the manufacturer's instructions and recommendations.

B. **Preparation:** Verify that site conditions are acceptable for installation of window units.

Verify actual measurements/openings by field measurements before fabrication: show recorded measurements on shop drawings. Coordinate field measurements, fabrication schedule with construction progress to avoid construction delays.

C. **General:**

1. Remove unit components, parts, accessories, and installation guides from carton.
2. Install all necessary flashings at windowsill rough opening and at nailing flanges. Flashing shall be incorporated into WRB assembly.
3. Inspect unit components and verify that components are not damaged and that parts are included before disposing of carton.
4. Shop-assemble multiple units before installation in accordance with manufacturer's installation guides.
5. Field-assemble multiple units before installation in accordance with manufacturer's installation guides.

D. **Interface With Other Work**

1. Perform installation in accordance with manufacturer's instructions.
2. Install units level, plumb, square, true to line, without distortion, anchored securely in place to structural support, and in proper relation to wall flashing and other adjacent construction.
3. Separate aluminum and other corrodible surfaces from sources of corrosion or electrolytic action at points of contact with other materials.

4. Install insulation in shim space around unit perimeter to maintain continuity of building insulation. Do not overfill.
5. Finish interior units to match existing prior to removal of window. Removed trim shall be reinstalled.
6. Install hardware and unit accessories after cleaning.

1.09

COMPENSATION

All costs associated with the removal and replacement of common exterior windows and associated components shall be considered to be a Base Bid item as noted on the bid proposal for of these specifications.

All costs associated with the removal and replacement of individual unit windows and associated components shall be considered to be an Extra Item as noted on the bid proposal of these specifications.

The existing interior casing trim shall be removed and reinstalled, as required. All interior finishes shall be the responsibility of the Unit Owner.

Custom trim, stain grade trim and custom colors are the responsibility of the Unit Owner. The upcharge of the custom treatment shall be in agreeance with the contractor and invoiced to the individual Unit Owner.

END OF SECTION 085313

**SECTION 086100
EXTERIOR DOORS**

1.01 GENERAL

This Section covers the removal and replacement of exterior doors.

1.02 SCOPE OF WORK

The following section shall cover the proper removal and replacement of the common exterior doors.

The replacement of the exterior entrance doors and sliding patio doors serving the individual units shall be the financial responsibility of the unit owner.

Installation shall be performed in conformance with the IBC, 2018 NJ Edition and in strict compliance with the manufacturer's requirements.

Existing casing shall be removed and reinstalled to allow for the replacement of the door.

The interior finish shall be the responsibility of the association of the individual unit owner.

The contractor shall be responsible for confirming the measurement of the doors to be replaced prior to ordering doors.

1.03 QUALITY ASSURANCE

A. **Installer qualifications:** The installer shall be a company specializing in the installation of doors with a minimum of five (5) years of experience.

B. **Manufacturer qualifications:** Manufacturer shall be capable of providing field service representation during construction, approving acceptable installer and approving application method.

C. **To assure the performance specified.** The door manufacturer shall test for air infiltration, water resistance and structural requirements in accordance with ANSI/AAMA 101.93.

Provide insulating glass units permanently marked with certification label I of Insulating Glass Certification Council (IGCC) indicating compliance with ASTM E2190.

1.04 SUBMITTALS

A. **Product Data:** Submit product data for each type of product specified.

B. **Shop Drawings:** Submit shop drawings showing layout, profiles, and product components, including anchorage, accessories, finish and colors.

C. **Samples:** Submit verification samples for door types and finish.

D. **Quality Control Submittals**

- a. **Design Data:** All doors shall meet or exceed AAMA/WDMA/CSA 101/I.S.2/A440-05, Standard / Specification for Windows, Doors, and Unit Skylights.
- b. **Test Reports:** Submit certified test reports, showing compliance with specified performance characteristics and physical properties.
- c. **Certificates:** Submit product certificates signed by manufacturer certifying materials comply with specified performance characteristics and physical requirements.
- d. **Manufacturer's Installation Instructions.**

1.05

WARRANTY

A. **Manufacturer's Warranty:** Submit for Owner's acceptance, manufacturer's standard warranty document executed by authorized company official. Manufacturer's Warranty is in addition to and not a limitation of other rights Owner may have under the Contract Documents.

Provide manufacturer's limited lifetime warranty for exterior door vinyl components, hardware and glazing. Note: there is no ongoing warranty for screens or glass breakage.

1.06

DELIVERY, STORAGE, AND HANDLING

Deliver materials in manufacturer's original unopened, undamaged containers with identification labels intact.

Store materials protected from exposure to harmful environmental conditions and at temperature and humidity conditions recommended by the manufacturer.

Store materials and accessories off ground, under cover, and protected from weather and construction activities.

1.07

MATERIALS

A. **Sliding Patio Door:**

1. Simonton "Inovo" Sliding Patio Door, new construction type (with flanges), 2-panel, 3/16" tempered glass with low-E, argon blend filled insulating glass units, non-metallic foam "SuperSpacer®", and associated components as manufactured by Simonton® Windows & Doors, 3948 Townsfair Way, Suite 200, Columbus, Ohio 43219. Dimensions and door operating panel shall match existing, exterior/interior color(s) and hardware finish shall be approved by Owner in writing.

B. Entry Door:

- a. Smooth-Pro™ Fiberglass Exterior Door, prehung with associated hardware. Panel/profile, dimensions and door operation shall match existing, to be manufactured by Jeld-Wen, 440 South Church Street, Suite 400, Charlotte, North Carolina 28202, or approve equal. Exterior/interior color(s) and hardware finish shall be approved by Owner in writing.
- b. Dead Bolt and Entry Knob: 991CN 15 SMT Cameron knob with single cylinder deadbolt and smartkey combo pack as manufactured by Kwikset Corporation, 19701 DaVinci, Lake Forest, California 92610. Meets ANSI/BHMA grade 2 security.

1.08

EXECUTION

A. General:

- a. Installation shall be performed in strict compliance with the manufacturer's instructions and recommendations.

B. Preparation:

- a. Remove existing door panels, insect screens, jambs, hardware, etc. Interior casing trim to be removed and reinstalled.
- b. Verify that site conditions are acceptable for installation of door units.
- c. Verify actual measurements/openings by field measurements before fabrication. Show recorded measurements on shop drawings.
- d. Clean opening of all debris. Remove any protruding fasteners. Insulate any large areas as needed. Cover or fill all holes.
- e. Remove unit components, parts, accessories, and installation guides from carton.
- f. Inspect unit components and verify that components are not damaged and that parts are included before disposing of carton.
- g. Shop-assemble multiple units before installation in accordance with manufacturer's installation guides.
- h. Field-assemble multiple units before installation in accordance with manufacturer's installation guides.

C. Interface With Other Work

- a. Perform installation in accordance with manufacturer's instructions.
- b. Separate aluminum and other corrodible surfaces from sources of corrosion or electrolytic action at points of contact with other materials.

- c. Removed trim shall be replaced.
- d. Required flashings/underlayments to be integrated into the rough opening and door assembly to prevent moisture intrusion and allow for moisture to drain from the assembly.
- e. Install hardware and unit accessories after cleaning.

D. Installation

- a. Perform installation in accordance with the manufacturer's requirements.
- b. Door assembly and associated flashings to be integrated into the siding assembly.
- c. Install a drip cap above the door and integrate into the WRB in a shingle fashion.
- d. Install pan flashing with end dams prior to installation of door jamb threshold and associated components.
- e. Install units level, plumb, square, true to line, without distortion, anchored securely in place to structural support, and in proper relation to wall flashing.
- f. Removed trim shall be replaced.
- g. Install hardware and unit accessories after cleaning.

1.09

COMPENSATION

All costs associated with the removal and replacement of common exterior doors and associated components shall be considered to be a Base Bid item as noted on the bid proposal for of these specifications.

All costs associated with the removal and replacement of individual unit sliding patio doors and associated components shall be considered to be an Extra Item as noted on the bid proposal of these specifications.

All costs associated with the removal and replacement of individual unit exterior doors and associated components shall be considered to be an Extra Item as noted on the bid proposal of these specifications.

The existing interior casing trim shall be removed and reinstalled, as required. All interior finishes shall be the responsibility of the Unit Owner.

Custom trim, stain grade trim and custom colors are the responsibility of the Unit Owner. The upcharge of the custom treatment shall be in agreeance with the contractor and invoiced to the individual Unit Owner.

END OF SECTION 083200

**SECTION 089516
WALL-MOUNTED UTILITY VENTS**

1.01 SCOPE OF WORK

This Section covers the replacement of wall-mounted vents for bathroom exhausts or clothes dryer exhaust.

1.02 GENERAL

Any bathroom exhaust ducts, or clothes dryer vents mounted on the exterior wall of the selected building shall be replaced.

The clothes dryer exhaust vent fixture shall be wall-mounted type with weather louver/damper, of the size to accommodate the diameter of the existing duct.

1.03 MATERIALS

Utility vent fixtures for exhausting clothes dryer exhaust and bathroom vent exhaust shall be manufactured by Mid America Components, manufactured for this purpose and approved by the Owner. Vinyl utility vents shall either be standard or insulated depending on the adjacent vinyl siding assembly and be sized accordingly to the diameter of the existing vent duct. Color to match siding and guard. Duct material shall be galvanized steel and flexible (solid) aluminum type.

1.04 COMPENSATION

Utility and dryer vent cover replacements shall be considered part of the Base Bid Contract.

All costs associated with the installation of utility and dryer vent covers at additional locations shall be considered to be an Extra Item as noted in the Bid Proposal Forms.

END OF SECTION 089516

**SECTION 104416
FIRE EXTINGUISHERS**

1.01 SCOPE OF WORK

This Section covers the replacement of wall-mounted fire extinguishers.

1.02 GENERAL

The existing fire extinguishers and cabinets shall be removed and replaced with new wall-mounted fire extinguishers and cabinets.

The contractor shall be responsible for contacting the fire department to determine if additional inspections are required.

1.03 MATERIALS

A. Extinguisher: ABC dry chemical, model B456, 10 lbs., 20" high x 7.75" wide x 5" deep, multi-purpose extinguisher, fluidized and siliconized mono ammonium phosphate dry chemical, stored pressure design, drawn-steel cylinders, high-gloss polyester powder paint, all-metal valve construction, stainless-steel handle and level, size to match existing, as manufactured by Amerex, 7595 Gadsden Highway, Trussville, Alabama 35173, or approved equal.

B. Cabinet: Surface mount, plastic enclosure, model H-7269, plastic, 7" wide x 6" deep x 20" high, as manufactured by Uline, 12575 Uline Drive, Pleasant Prairie, Wisconsin 53158, or approved equal.

1.04 COMPENSATION

All costs associated with the replacement of wall-mounted fire extinguishers shall be considered to be a Base Bid item as noted on the Bid Proposal Form of these Specifications.

END OF SECTION 104416

SECTION 224000.1
HOSE BIBBS

1.05 **SCOPE OF WORK**

This Section covers the replacement of the exterior hose bibbs.

1.06 **GENERAL**

The existing exterior-wall mounted hose bibbs shall be replaced with new anti-siphon, frost protected hose bibbs.

All work shall be completed by a licensed plumber.

An approved mount block shall be utilized to integrate the installation of the new hose bibb with the new siding assembly.

All penetrations and integrations shall be flashed accordingly in a fashion to prevent moisture infiltration.

1.07 **MATERIALS**

Woodford Model 17 12" x 1/2" diameter, 1-1/4" inlet copper sweat brass anti-siphon push/pull sillcock with anti-siphon protection, integral backflow device, EPDM rubber packing as manufactured by Woodford Manufacturing Company, 2121 Waynoka Road, Colorado Springs, Colorado 80915, or approved equal. Handle style shall be approved by the Owner in writing.

1.08 **COMPENSATION**

All costs associated with the replacement of the exterior hose bibbs shall be considered to be a Base Bid item as noted on the Bid Proposal Form of these Specifications.

END OF SECTION 224000.1

SECTION 238116.1
PTAC WALL SLEEVES

1.01 **SCOPE OF WORK**

This Section shall cover the replacement of the through-wall HVAC PTAC wall sleeves.

1.02 **GENERAL**

All existing HVAC wall PTAC sleeves shall be removed and replaced.

The Contractor shall be responsible for removal/reinstallation of the HVAC unit at each sleeve in a manner as to not damage. Any damage to the HVAC units incurred by the removal/reinstallation shall be the financial responsibility of the Contractor to replace.

The Contractor shall be responsible for confirming the measurement of each PTAC sleeve throughout the community prior to acquisition of the sleeves.

1.03 **METHODS**

Any associated electrical work deemed necessary by the Engineer to replace the PTAC sleeves shall be completed by a licensed electrical contractor. Follow the electrical connector manufacturer's recommended procedure.

The interior casing trim (if present) shall be removed and reinstalled by the Contractor. Any associated interior finish work shall be the responsibility of the Unit Owner.

Any interior/wall modifications required to install the new PTAC sleeves shall be considered to be Extra Work. Any associated interior finish work shall be the responsibility of the Unit Owner.

Do not distort the cabinet shape to fit the wall opening. The unit chassis must fit snugly and uniformly into the wall sleeve.

For proper drainage, the sleeve should be level from side to side and one-quarter (1/4) bubble in the sight glass sloping to the outside.

Two holes will need to be drilled in both sides of the wall sleeve for mounting into the wall. Drill holes of proper size and in the proper location so the screws will engage into strong supporting members of the wall. Do not drill through the bottom of the sleeve.

Seal around the rough outside perimeter of the entire sleeve with an approved sealant.

1.04 **MATERIALS**

WS900SC seacoast triple protected insulated galvanized steel PTAC HVAC sleeve with drain kit, 42" W x 16-1/16" H x 14-1/8" (standard dimensions), as manufactured by Amana®, 19001 Kermier Road, Waller, Texas 77484, or approved equal. Color shall be approved by the Owner in writing

1.05 COMPENSATION

All costs associated with the replacement of the through-wall HVAC PTAC wall sleeves shall be considered to be part of the Base Bid as noted on the Bid Proposal Form.

Any interior/wall modifications required to install the new PTAC sleeves shall be considered to be Extra Work.

END SECTION 238116.1

**SECTION 260150.81
LIGHTING**

1.01 GENERAL

This Section covers the replacement of the existing exterior light fixtures.

1.01 SCOPE OF WORK

Provide all material and labor necessary to replace the existing wall-mounted light fixtures, soffit-mounted light fixtures and security/flood lighting in the same locations.

1.02 GENERAL

Replacement of the lighting should be completed by a licensed electrician.

Fixture to finish flush and square with the associated mount block to provide a weather resistive assembly.

Caulk to finish light edge is unacceptable.

All necessary material(s) shall be installed to properly support the new light fixtures to the exterior structures.

1.03 MATERIALS

A. Wall-Mounted Light Fixture:

- i. Nautical bulkhead outdoor lighting, S771WF, LED, 10-3/4" wide x 6" high x 4-1/2" depth, frosted polycarbonate diffuser, 12-watt built-in LED, 800 lumens, photocell option available, as manufactured by Wave Lighting, PO Box 300494, Saint Louis, Missouri, or approved equal. Color shall be approved by the Owner in writing.

B. Ceiling-Mounted Light Fixture (Soffit):

- i. Nautical wall/ceiling mount (round) bulkhead outdoor lighting, S772WF, LED, 10.375" wide x 10.375" high x 5.25" depth, frosted polycarbonate diffuser, 12-watt built-in LED, 800 lumens, photocell option available, as manufactured by Wave Lighting, PO Box 300494, Saint Louis, Missouri, or approved equal. Color shall be approved by the Owner in writing.

C. Flood/Security Lighting:

- i. OLFL 14 PE DDB, LED floodlight, dusk-to-dawn photocell, rugged cast-aluminum, corrosion-resistant housing, tempered glass, 1900 lumens, as manufactured by Lithonia Lighting, One Lithonia Way, Conyers, Georgia 30012, or approved equal. Color shall be approved by the Owner in writing.

1.04 COMPENSATION

All costs associated with the replacement of the existing exterior light fixtures shall be considered to be a Base Bid item as noted on the bid proposal forms of these specifications.

END OF SECTION 260150.81

**SECTION 262726
WIRING DEVICES**

1.01 SCOPE OF WORK

This Section covers the replacement of exterior wall-mounted electric receptacles.

1.02 GENERAL

The existing exterior electric receptacles shall be replaced with a ground-fault circuit interrupter (GFCI) receptacle and enclosure.

Electrical components, devices, and accessories shall be listed and labeled as defined in NFPA 70, by UL and marked for intended location and application.

All installation shall comply with NFPA 70, IBC 2018 NJ Edition and manufacturer requirements.

Straight blade, non-feed through type.

The following tests shall be performed:

- A. GFCI Trip: Test for tripping values specified in UL 1436 and UL 943.
- B. Using the test plug, verify that the device and its outlet box are securely mounted.
- C. Tests shall be diagnostic, indicating damaged conductors, high resistance at the circuit breaker, poor connections, inadequate fault current path, defective devices, or similar problems. Correct circuit conditions, remove malfunctioning units and replace with new ones, and retest as specified above.

All electrical work shall be completed by a licensed electrician.

1.03 MATERIALS

- A. Receptacle: Comply with NEMA WD 1, NEMA WD 6 Configuration 5-20R, UL 498, and UL 943, Class A., include trip/reset buttons and include correct wiring/trip indicator LED light, weather and tamper-resistant, amperage to match existing, color shall be approved by Owner in writing, as manufactured by Leviton, 201 North Service Road, Melville, New York 11747, or approved equal.
- B. Enclosure: 6-in-1 weatherproof in-use outdoor recessed wall outlet enclosure with cover, 1-gang, horizontal/vertical, nonmetallic, model MR420, flat profile (recessed), integrated J-channel siding flange, electrical box, UL listed, NEC (2014 compliant) extra duty rated, clear cover, enclosure color to be approved by owner in writing, 7" length x 6.40" width x 7.80" height, 2-3/4" depth, as manufactured by TayMac®, 2520 E. University Drive, Suite 105, Tempe, Arizona 85281, or approved equal.

1.04 COMPENSATION

All costs associated with the replacement of exterior wall-mounted electric receptacles shall be considered to be a Base Bid item as noted on the Bid Proposal Form of these Specifications.

END OF SECTION 262726

SECTION 283153.13
FIRE ALARM PULL STATIONS

1.05 **SCOPE OF WORK**

This Section covers the replacement of wall-mounted fire alarm pull stations.

1.06 **GENERAL**

The existing pull stations shall be removed and replaced with new wall-mounted fire alarm pull stations

New pull stations shall meet the standards set forth in UL 38; “Standard for Manually Actuated Signaling Boxes”.

Pull stations shall be installed per the requirements of NFPA 72

The manual fire alarm pull station shall be securely mounted not less than forty-two (42”) inches and not more than fifty-four (54”) inches above floor level.

All electrical work shall be completed by a licensed electrician.

The contractor shall be responsible for contacting the fire department to determine if additional inspections are required.

1.07 **MATERIALS**

BG-12LO non-coded manual pull station with key lock reset, exterior gasket, 5.5” high x 4.121” wide x 1.39” deep, as manufactured by Fire-Lite, 1 Fire-Lite Place, Northford, Connecticut, 06472, or approved equal.

1.08 **COMPENSATION**

All costs associated with the replacement of wall-mounted fire alarm pull stations shall be considered to be a Base Bid item as noted on the Bid Proposal Form of these Specifications.

END OF SECTION 283153.13

**SECTION 283163.13
FIRE ALARMS AND HORN STROBES**

1.09 SCOPE OF WORK

This Section covers the replacement of wall-mounted fire alarms and horn strobes.

1.010 GENERAL

The existing alarms and horn strobes pull stations shall be removed and replaced with new wall-mounted fire alarms and horn strobes.

The horn strobe shall be listed to UL 1971 and UL 464 and shall be approved for fire protective service.

The horn strobe shall be wired as a primary-signaling notification appliance and comply with the Americans with Disabilities Act requirements for visible signaling appliances, flashing at 1 Hz over the strobe's entire operating voltage range.

The horn shall have three (3) audibility options and an option to switch between a temporal three pattern and a non-temporal (continuous) pattern. These options shall be set by a multiple position switch.

On four-wire products (if necessary), the strobe shall be powered independently of the sounder. The horn or horn strobe models shall operate on a coded or non-coded power supply.

The strobe light shall consist of a xenon flash tube and associated lens/reflector system.

The horn strobe must be installed with its weatherproof back box in order to remain outdoor approved per UL. The horn strobe shall be suitable for use in wet environments.

All electrical work shall be completed by a licensed electrician.

The contractor shall be responsible for contacting the fire department to determine if additional inspections are required.

1.011 MATERIALS

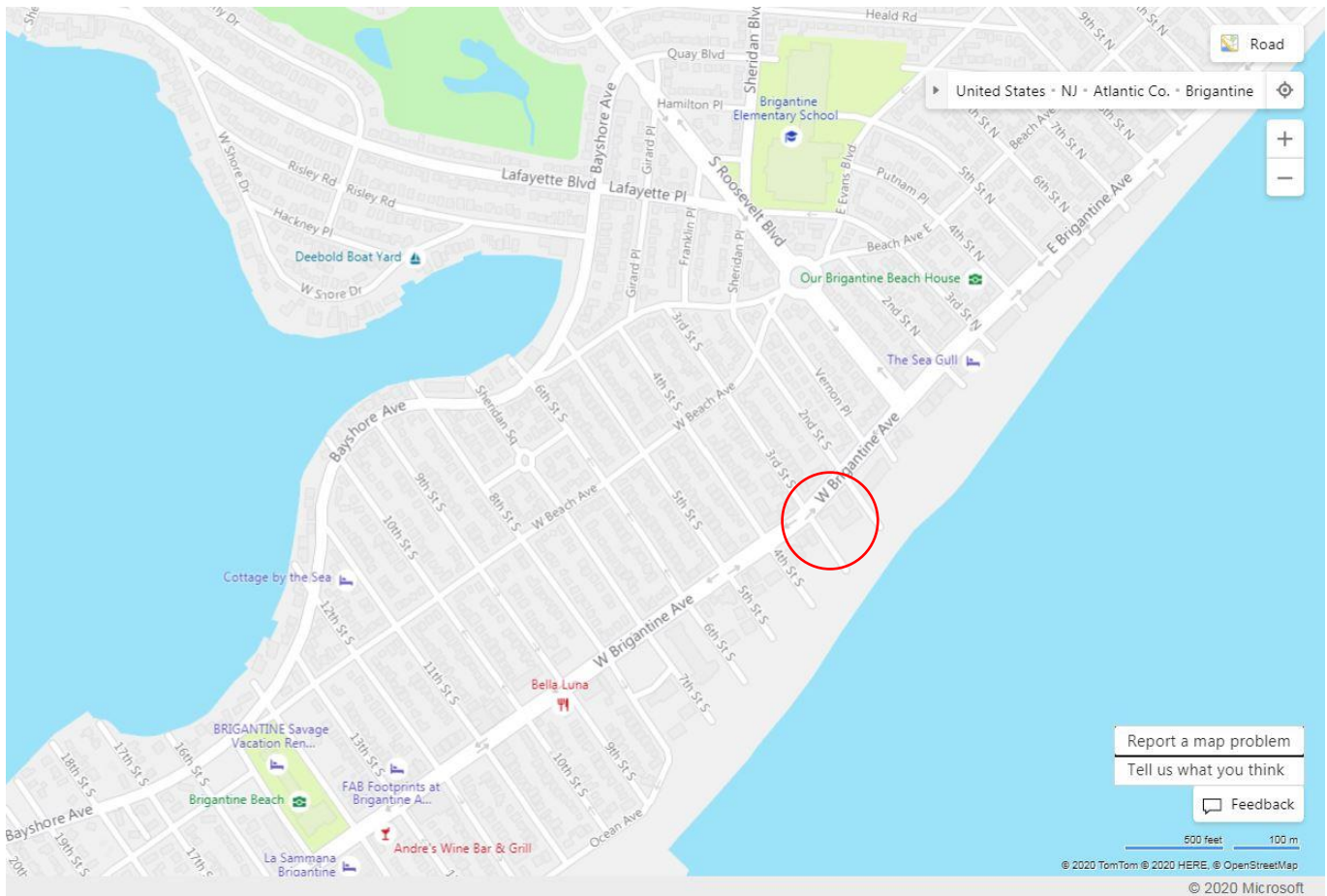
P2RK (or P4RK if 4-wire is required), standard, 2-wire clear lens with "FIRE" marking, weatherproofed back box as manufactured by System Sensor®, 3825 Ohio Avenue, St. Charles, Illinois, 60174, or approved equal.

1.012 COMPENSATION

All costs associated with the replacement of wall-mounted fire alarms and horn strobes shall be considered to be a Base Bid item as noted on the Bid Proposal Form of these Specifications.

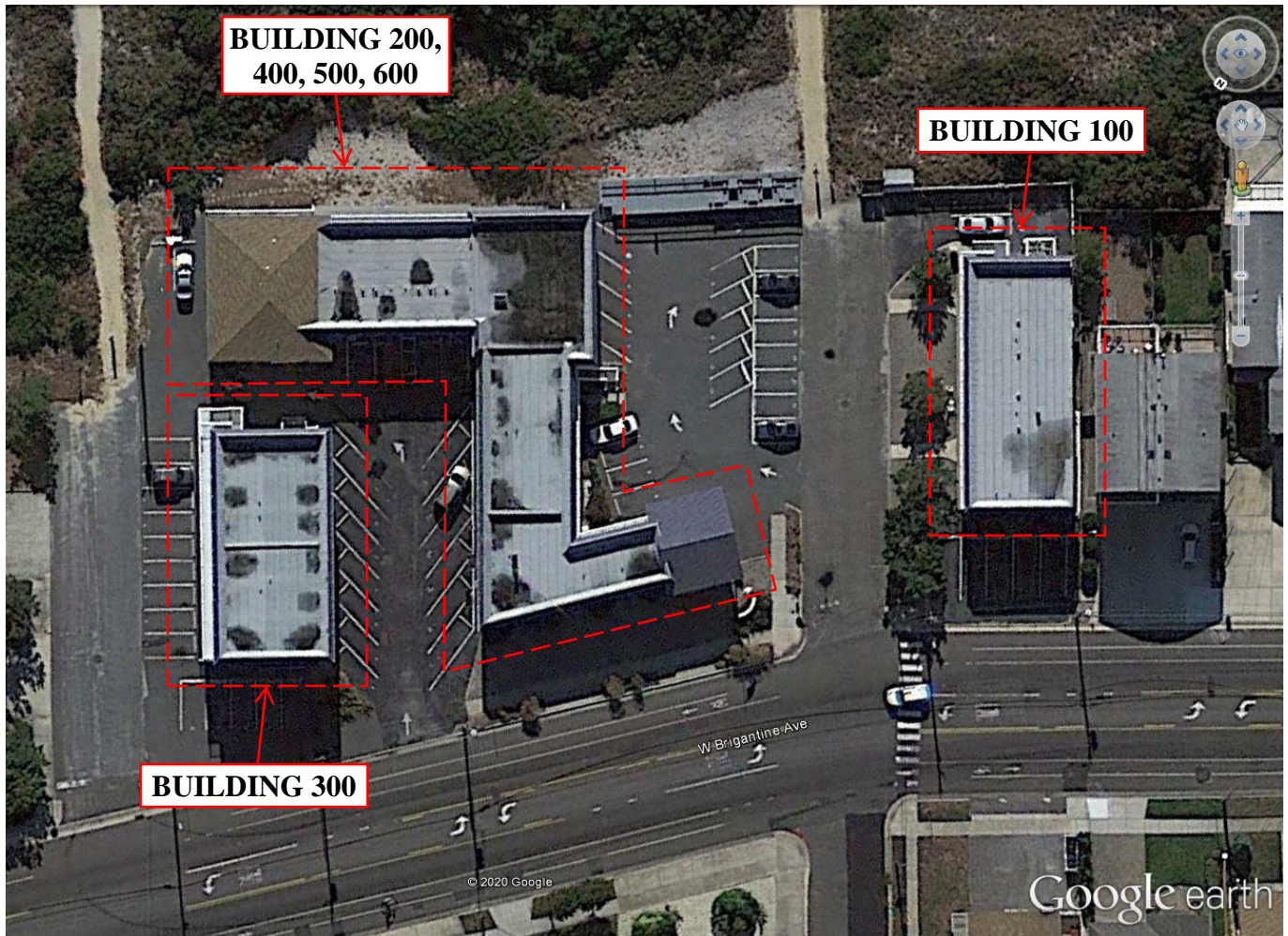
END OF SECTION 283163.13

FIGURE 1 – SITE MAP



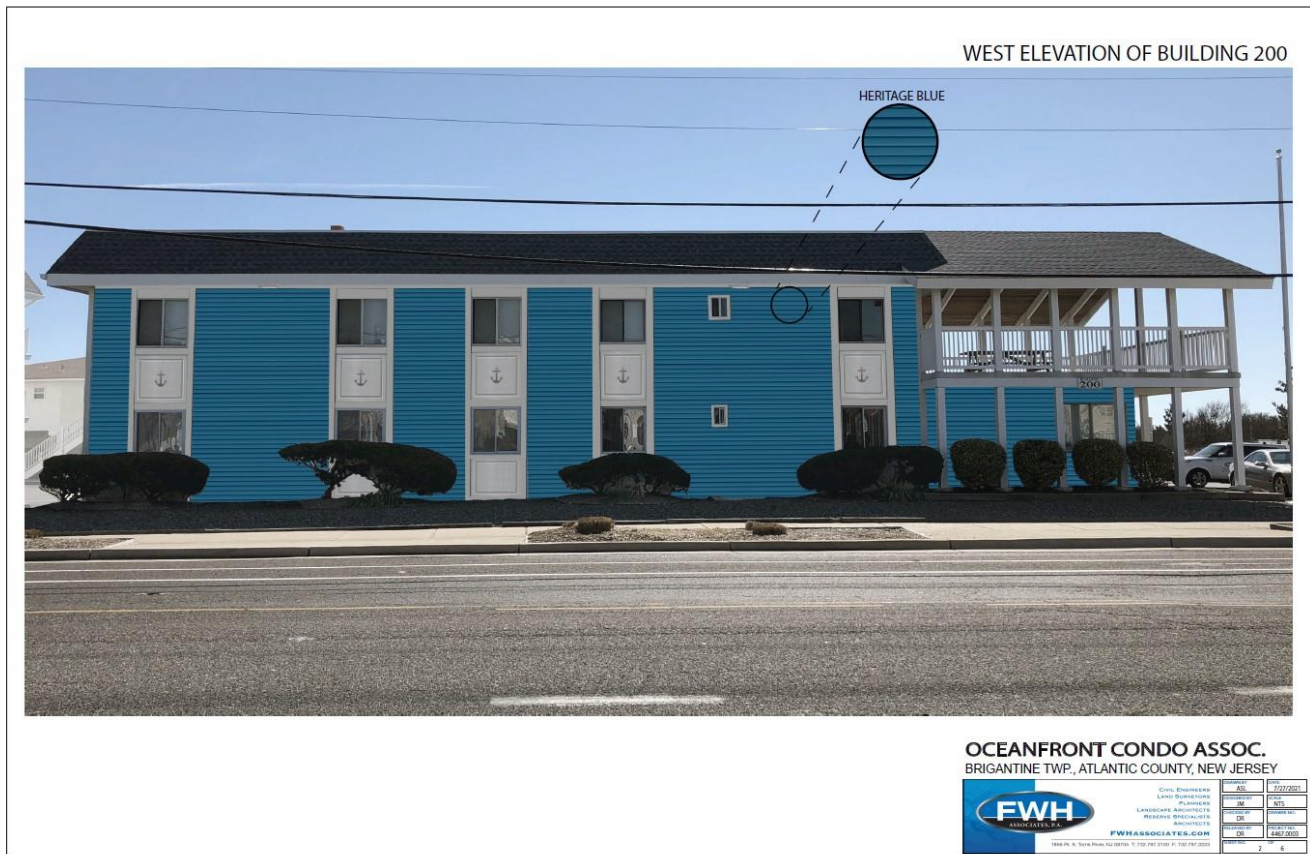
**Ocean Front Condominium Association,
City of Brigantine, Atlantic County, New Jersey**

FIGURE 2 – COMMUNITY MAP



**Ocean Front Condominium Association,
City of Brigantine, Atlantic County, New Jersey**

FIGURE 3 – RENDERING OF SIDING INSTALLATION AT WEST ELEVATION OF BUILDING 200



Note: Final color selection to be approved by the Owner in writing

FIGURE 6 – TYPICAL VINYL SIDING INSTALLATION DETAIL

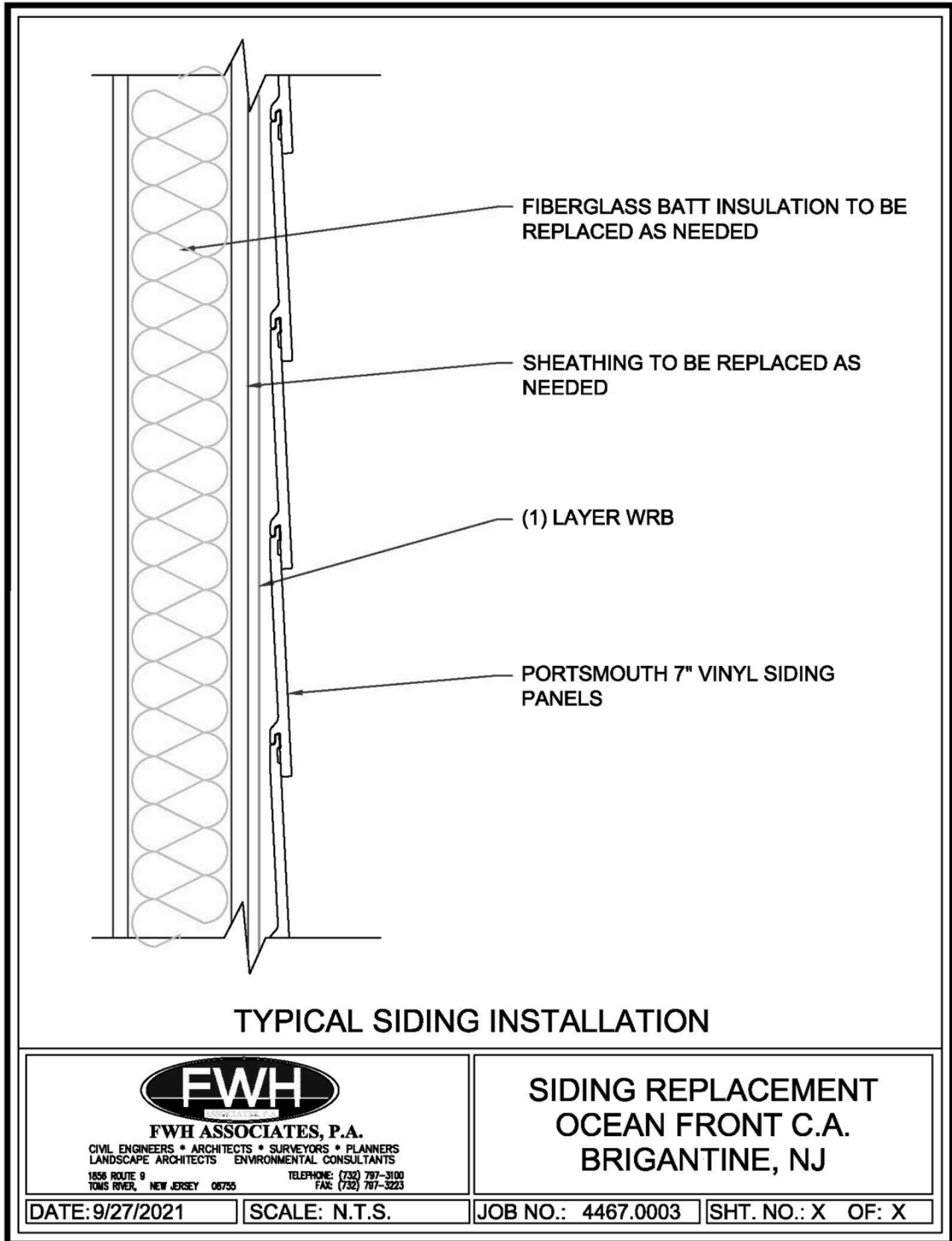


FIGURE 7 – TYPICAL PVC TRIM/MOUNT BLOCK INSTALLATION DETAIL

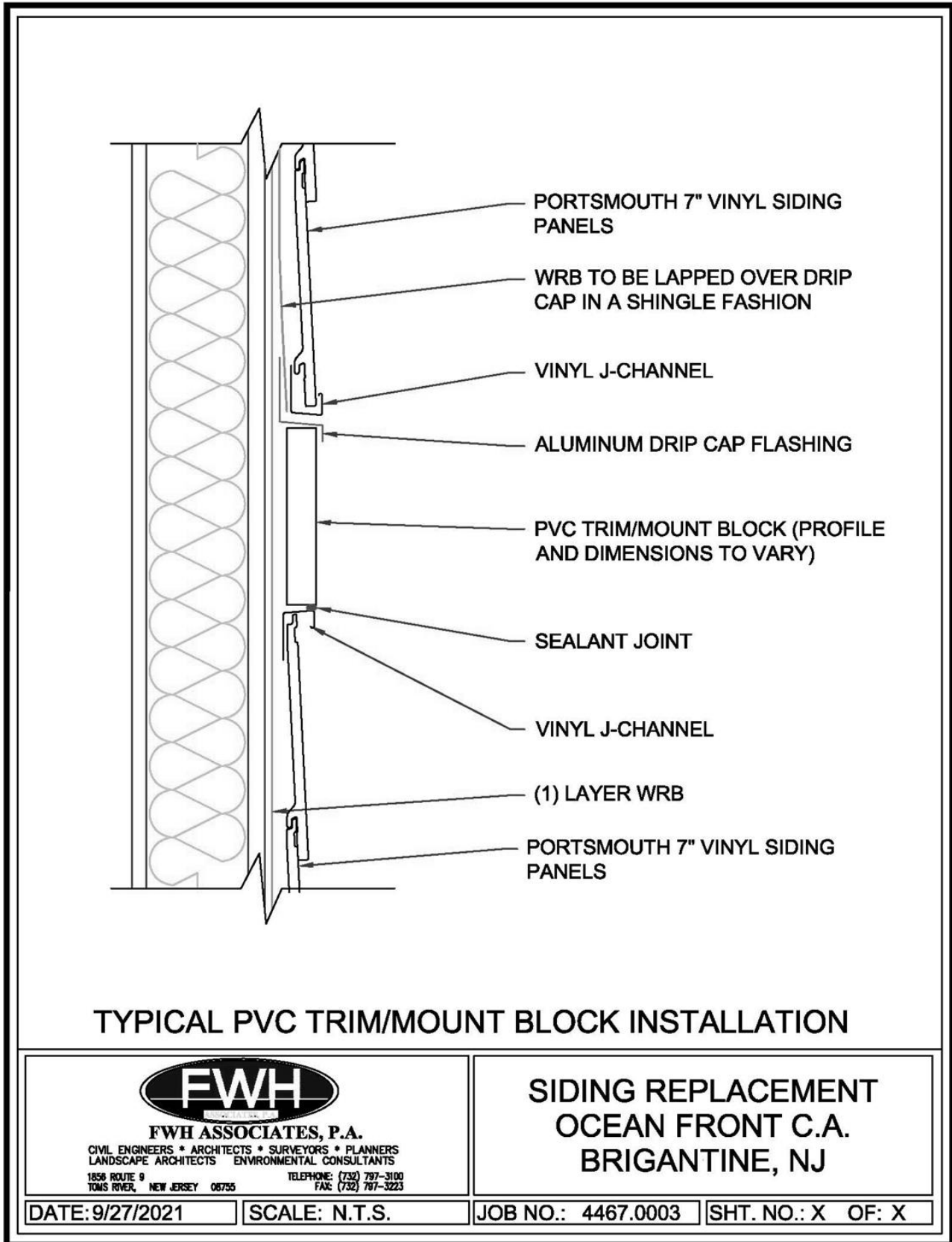


FIGURE 8 – TYPICAL UTILITY VENT INSTALLATION DETAIL

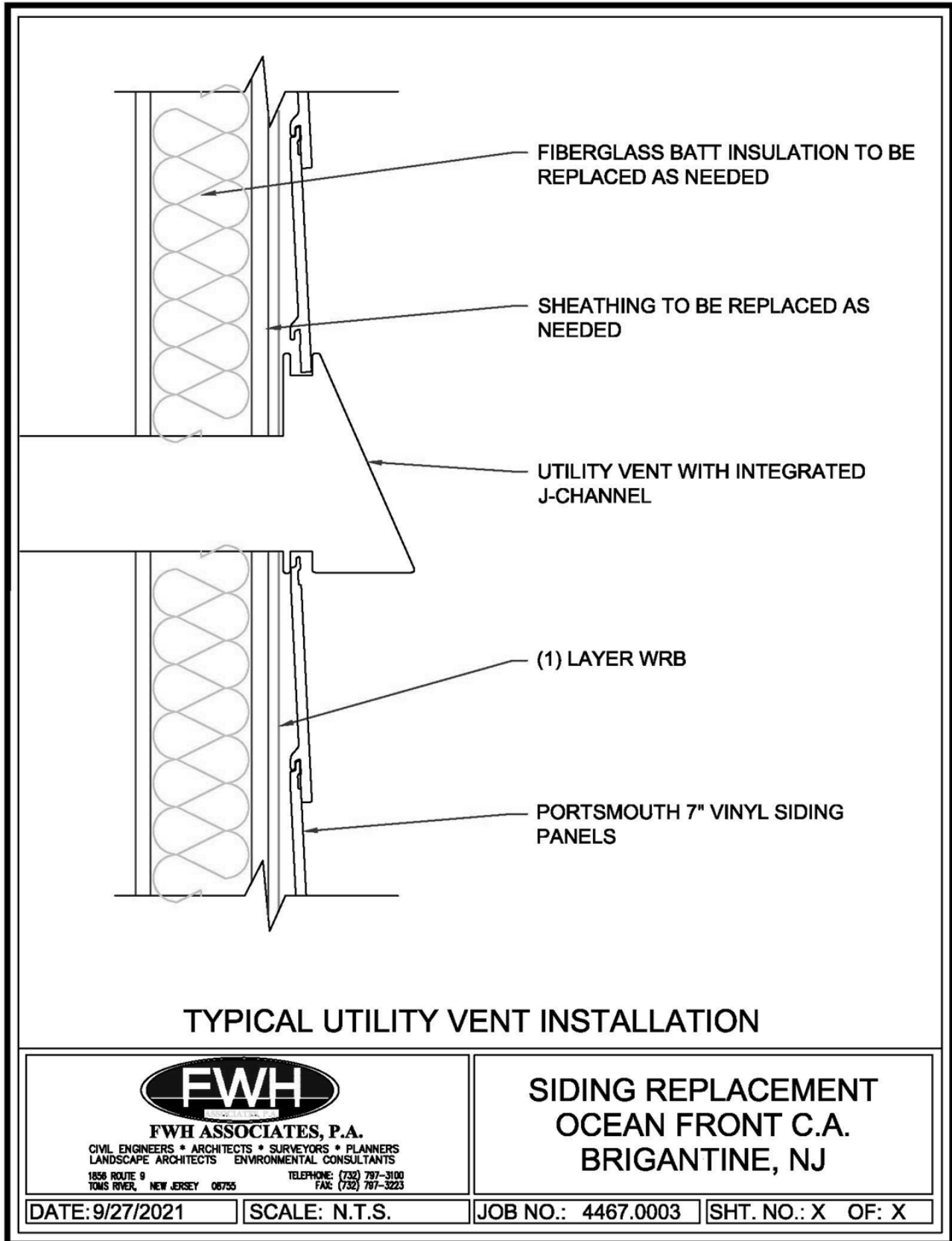


FIGURE 9 – TYPICAL ELECTRIC RECEPTACLE INSTALLATION DETAIL

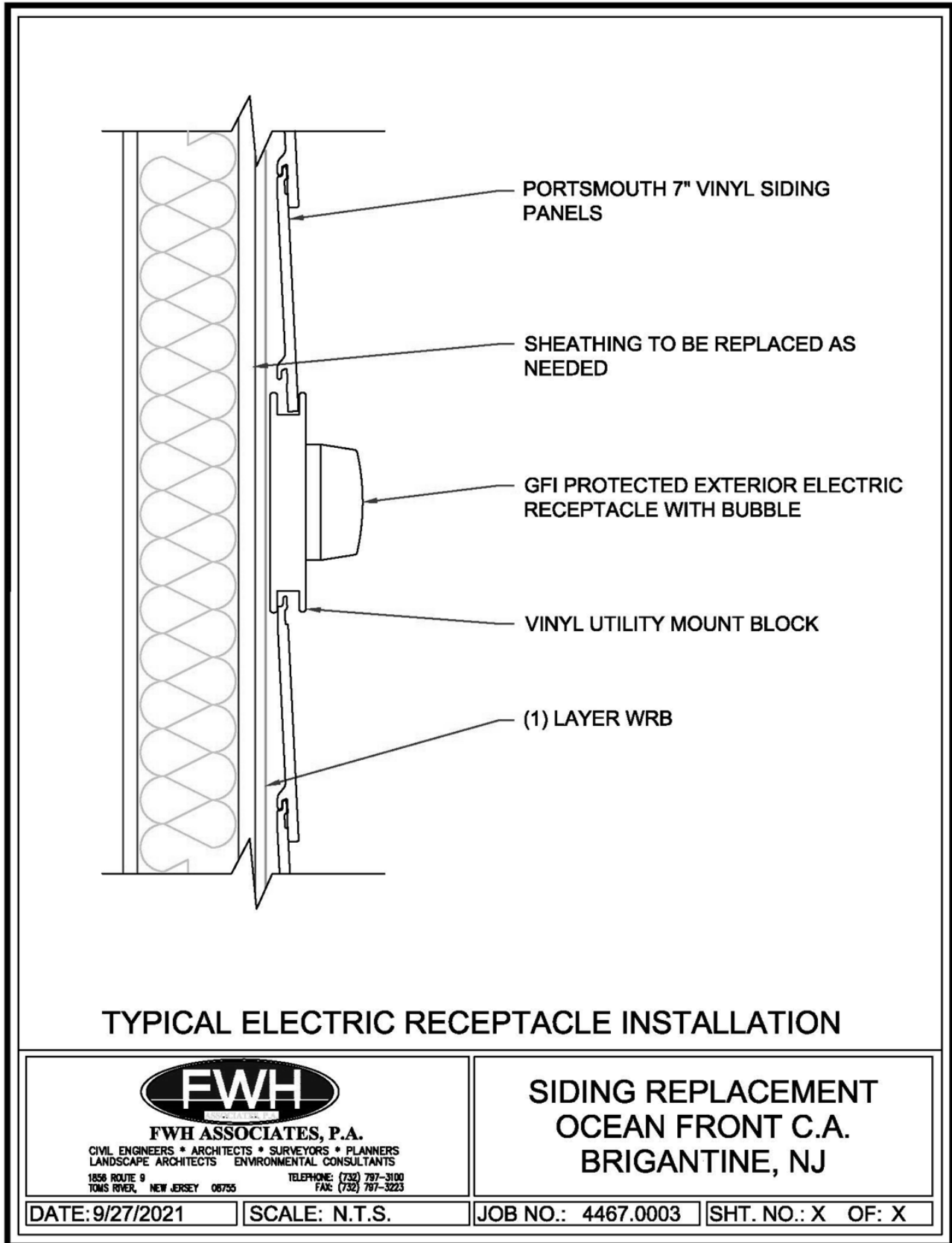


FIGURE 10 – TYPICAL HOSE BIBB INSTALLATION DETAIL

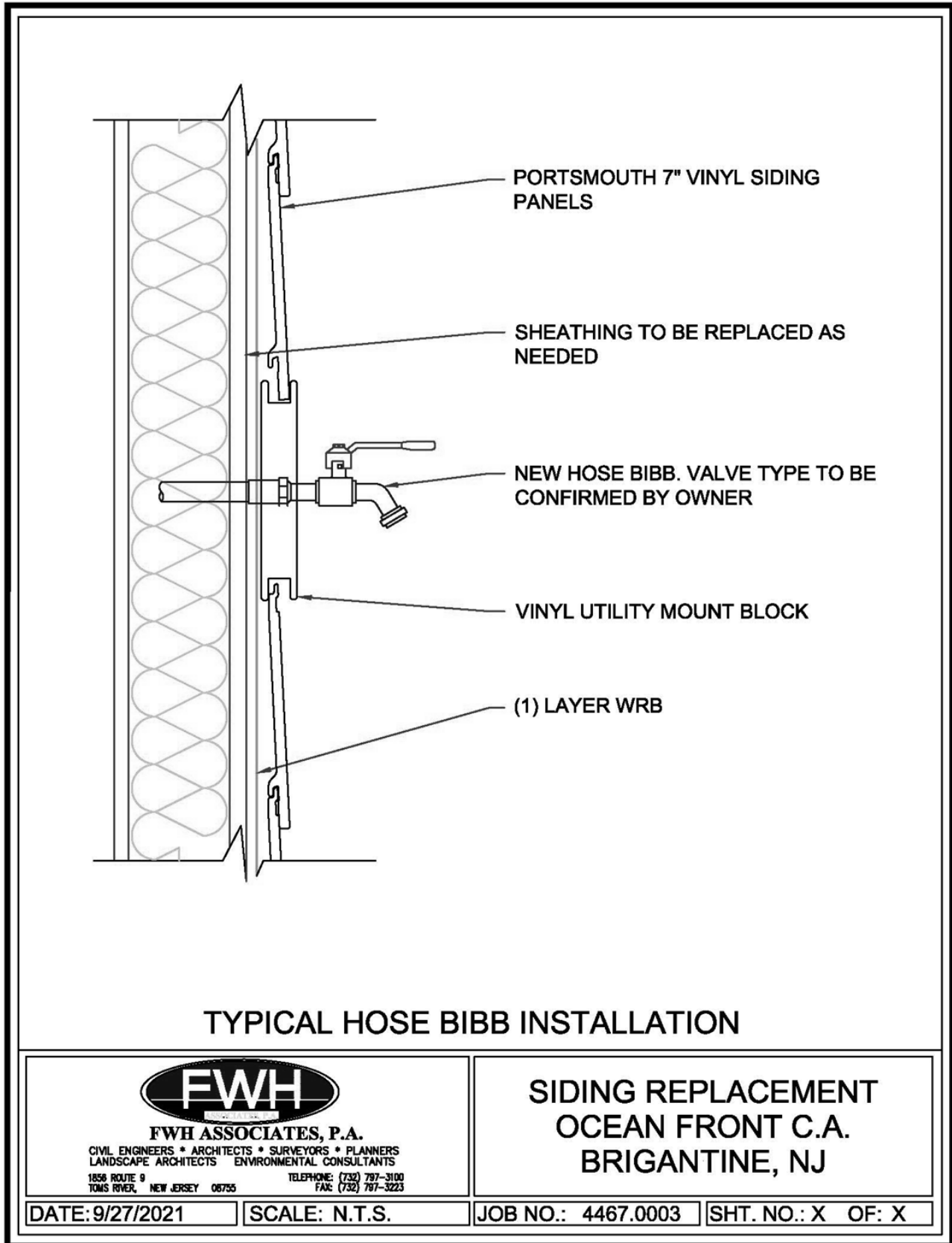


FIGURE 11 – TYPICAL PTAC HVAC SLEEVE INSTALLATION DETAIL

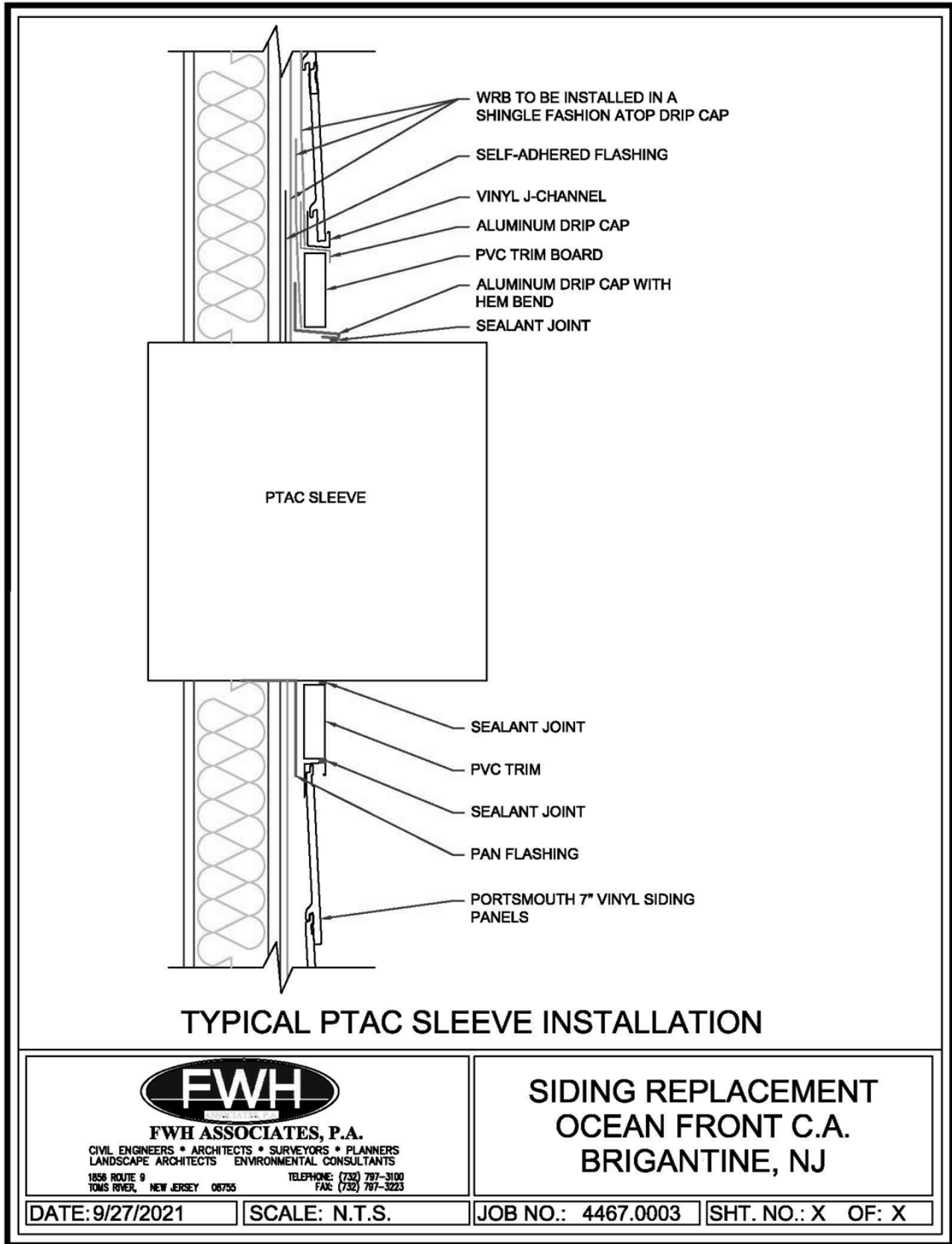
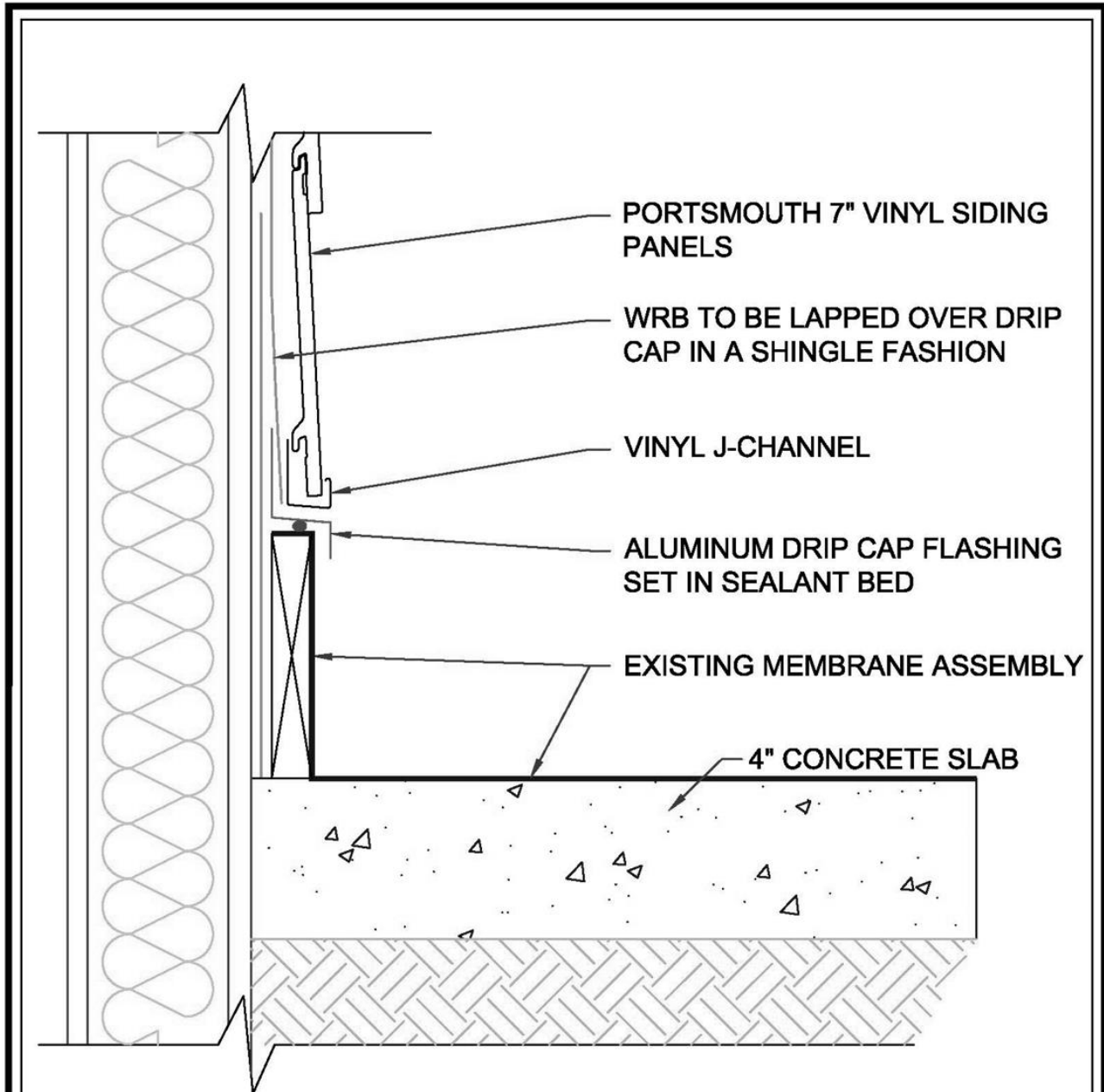


FIGURE 12 – SIDING TERMINATION AT BALCONY/SLAB DETAIL



SIDING TERMINATION AT BALCONY/SLAB



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CIVIL ENGINEERS * ARCHITECTS * SURVEYORS * PLANNERS
LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS

1858 ROUTE 9
TOMS RIVER, NEW JERSEY 08755

TELEPHONE: (732) 797-3100
FAX: (732) 797-3223

**SIDING REPLACEMENT
OCEAN FRONT C.A.
BRIGANTINE, NJ**

DATE: 9/27/2021

SCALE: N.T.S.

JOB NO.: 4467.0003

SHT. NO.: X OF: X

FIGURE 13 – SIDING TERMINATION AT ROOF DETAIL

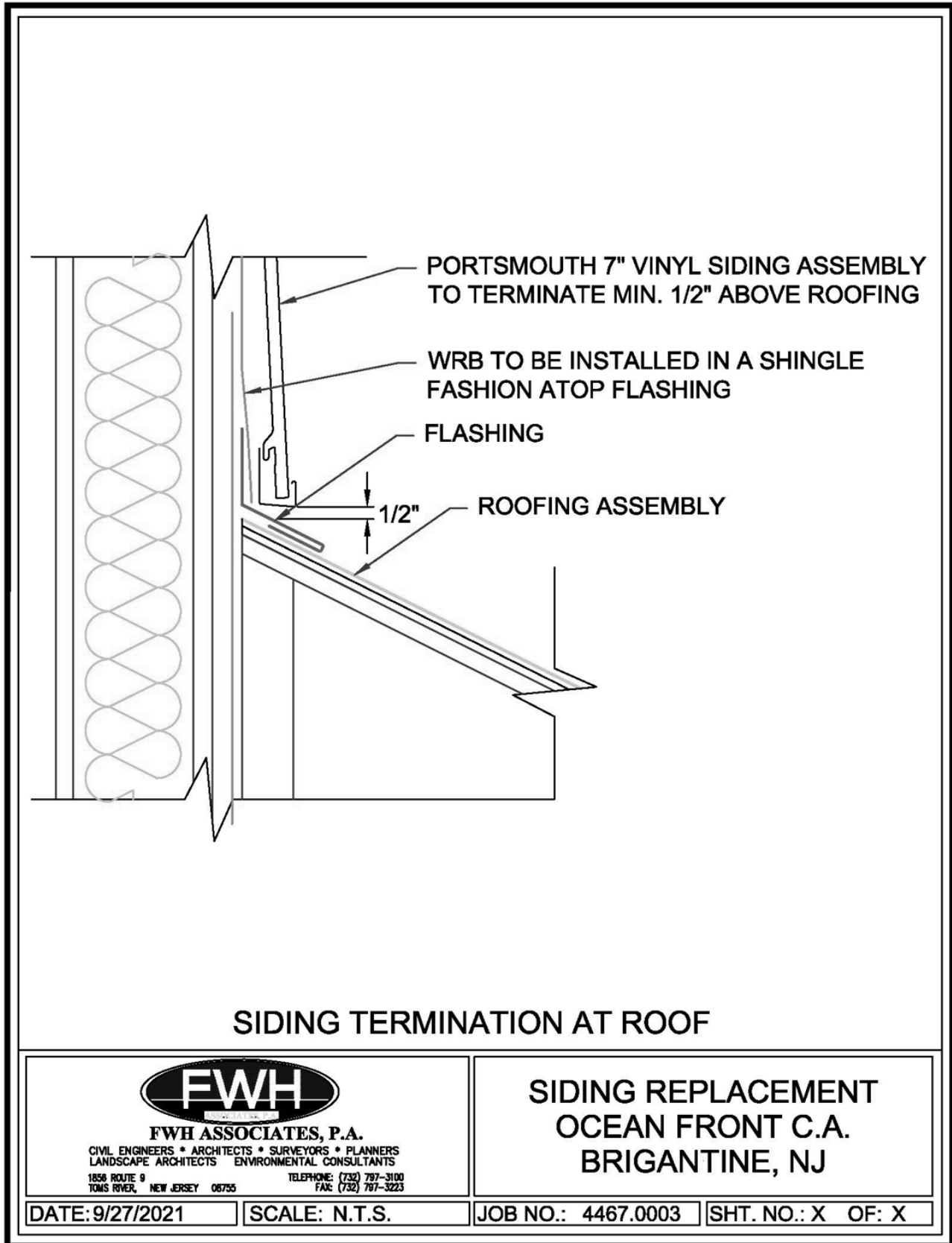
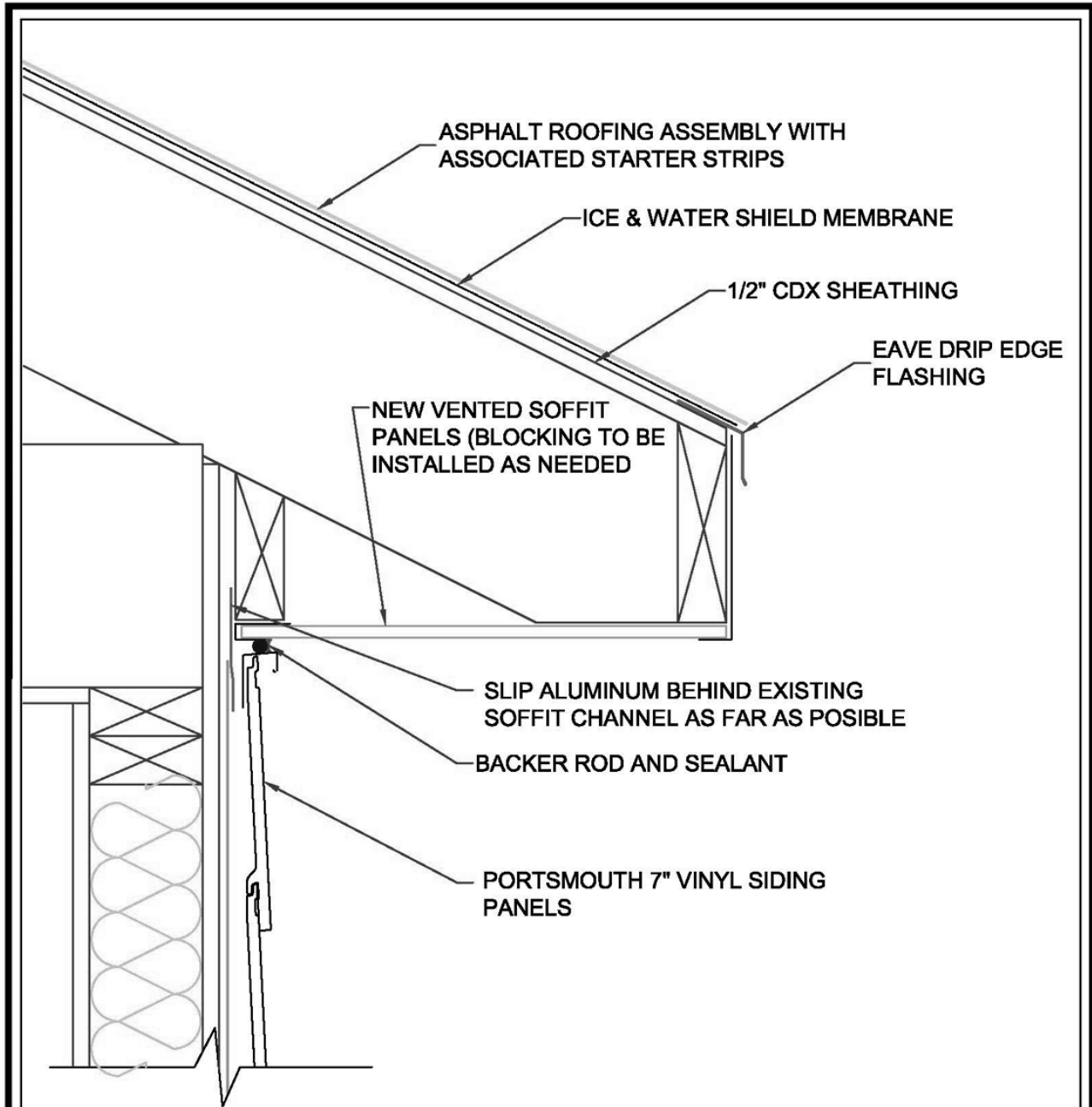


FIGURE 14 – TYPICAL ROOFING AND SOFFIT INSTALLATION DETAIL



TYPICAL ROOFING AND SOFFIT INSTALLATION

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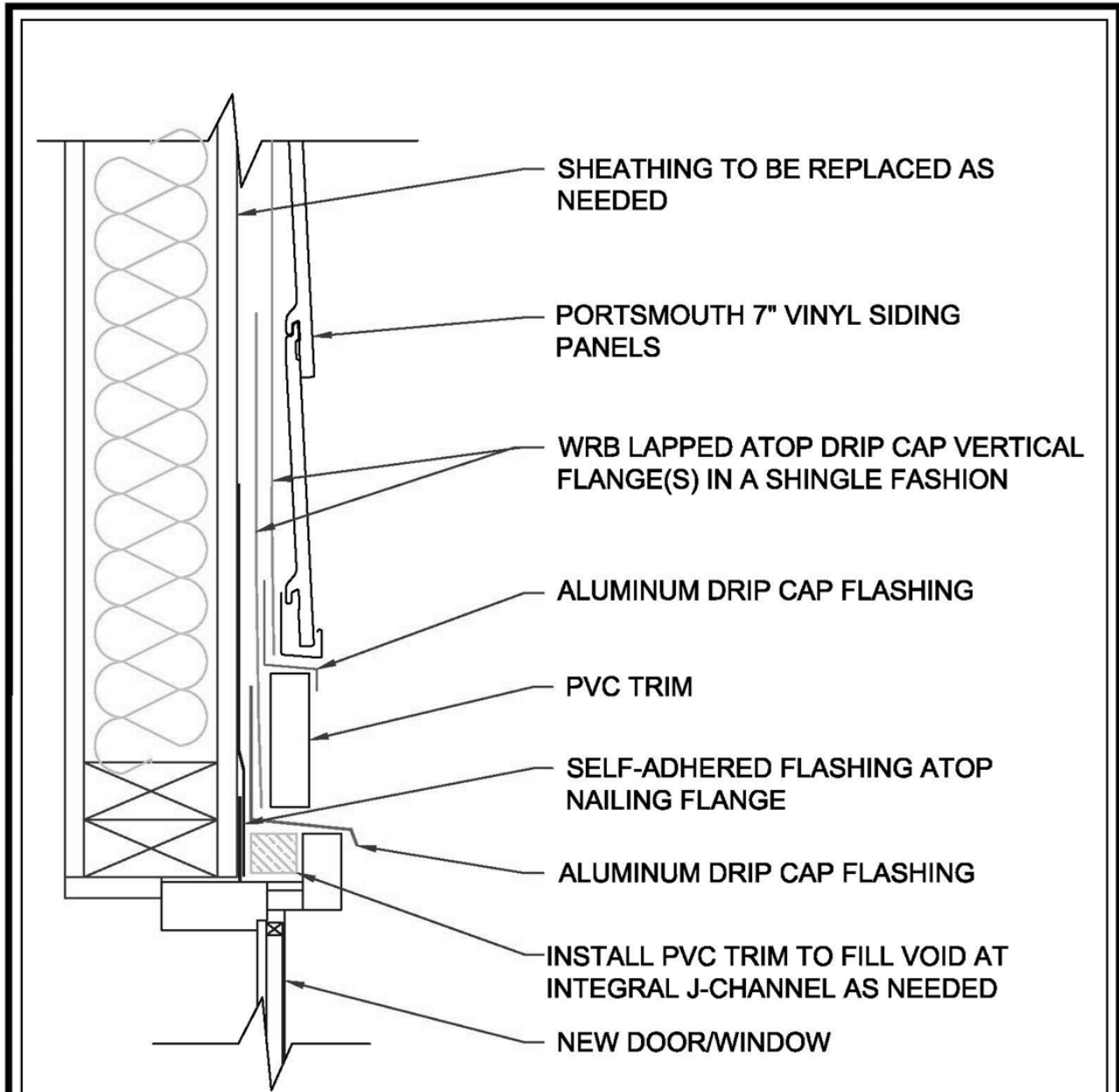
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**SIDING REPLACEMENT
 OCEAN FRONT C.A.
 BRIGANTINE, NJ**

DATE: 9/27/2021	SCALE: N.T.S.	JOB NO.: 4467.0003	SHT. NO.: X OF: X
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FIGURE 15 – SIDING TERMINATION ATOP DOOR/WINDOW DETAIL



SIDING TERMINATION ATOP DOOR/WINDOW


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 LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS
 1858 ROUTE 9 TOMS RIVER, NEW JERSEY 08755 TELEPHONE: (732) 797-3100
 FAX: (732) 797-3223

SIDING REPLACEMENT
OCEAN FRONT C.A.
BRIGANTINE, NJ

DATE: 9/27/2021	SCALE: N.T.S.	JOB NO.: 4467.0003	SHT. NO.: X OF: X
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FIGURE 16 – SIDING TERMINATION AT WINDOWSILL DETAIL

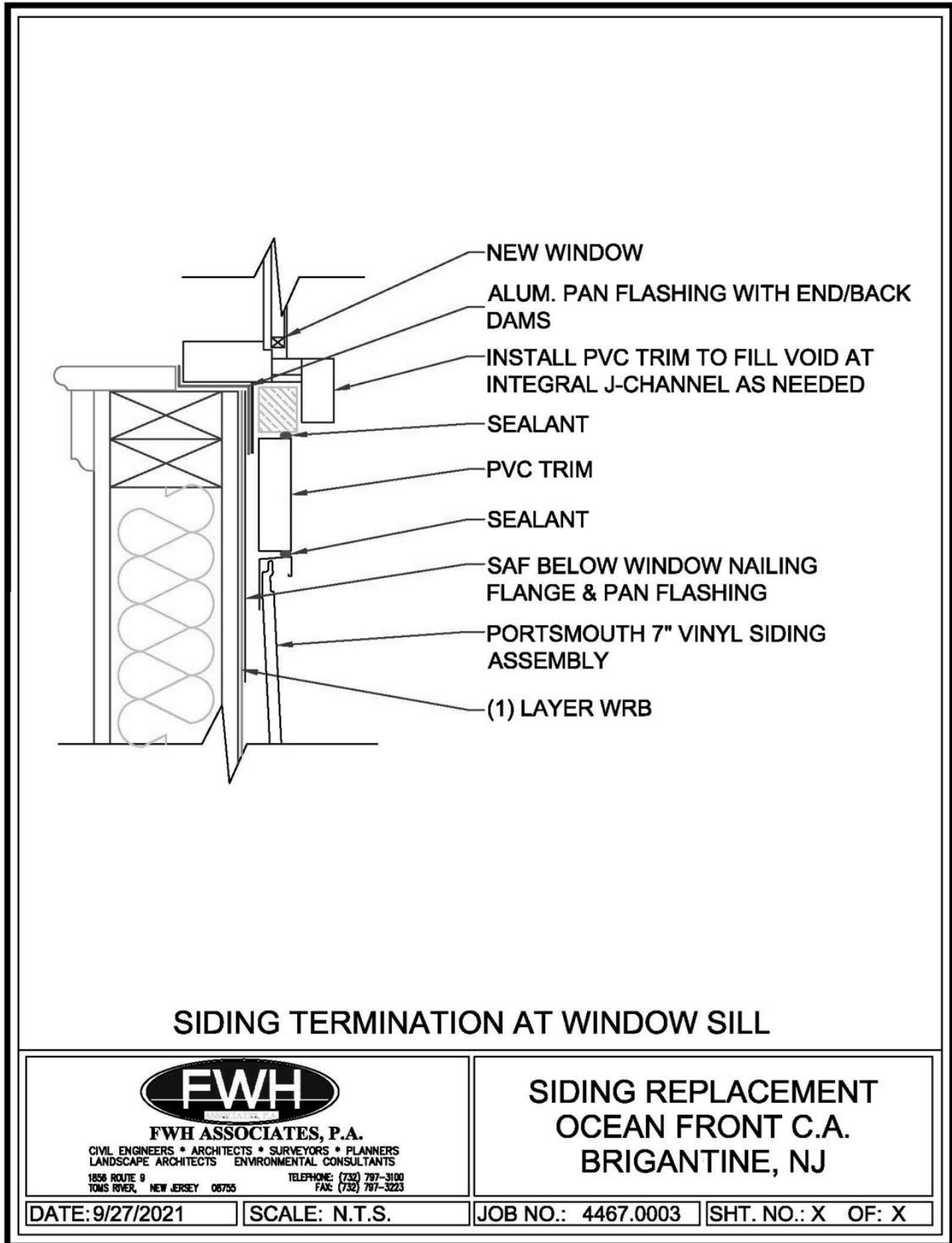


FIGURE 17 – SIDING TERMINATION AT DOOR/WINDOW JAMB DETAIL

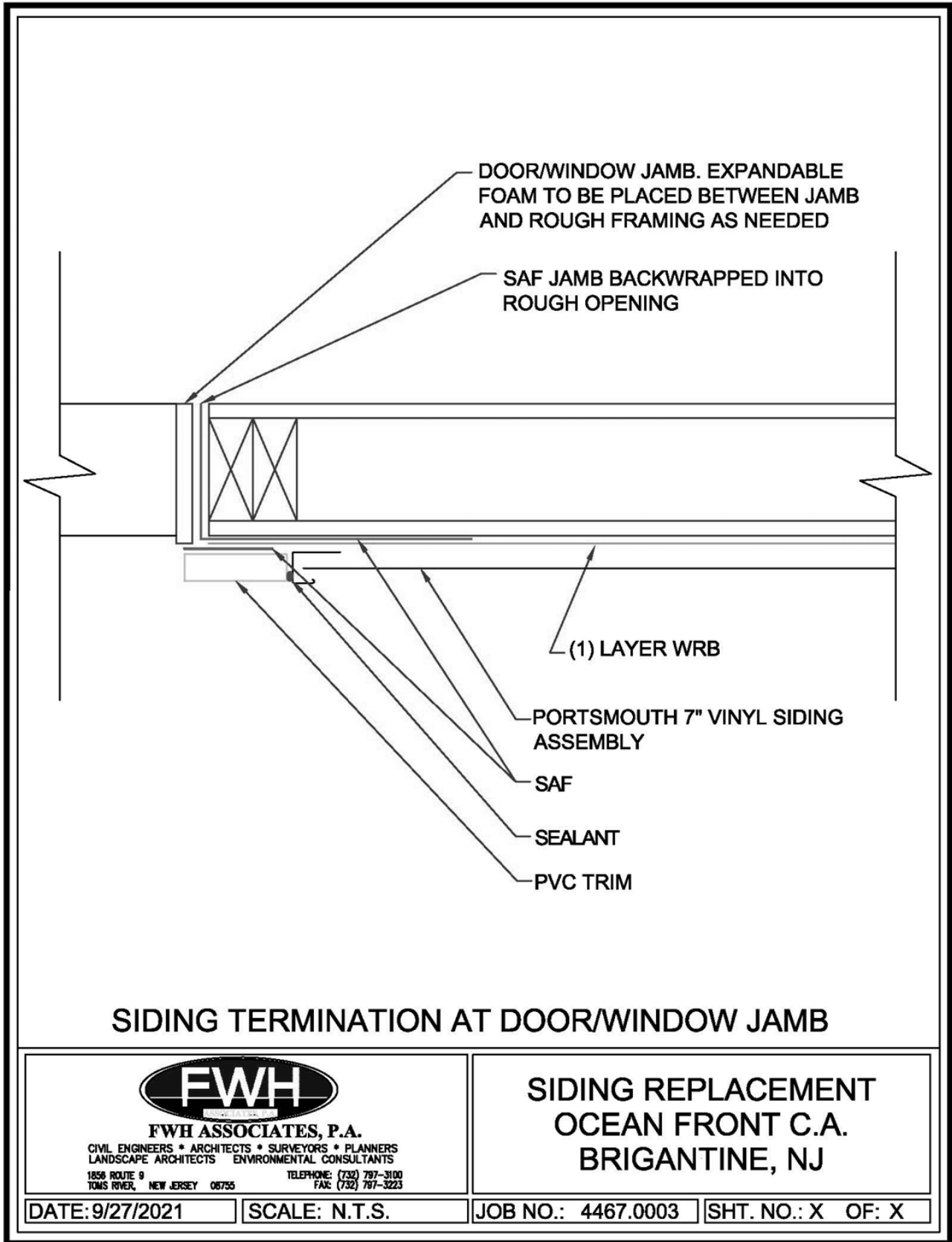


FIGURE 18– VINYL SIDING J-CHANNEL TERMINATION AT ROOFING DETAIL

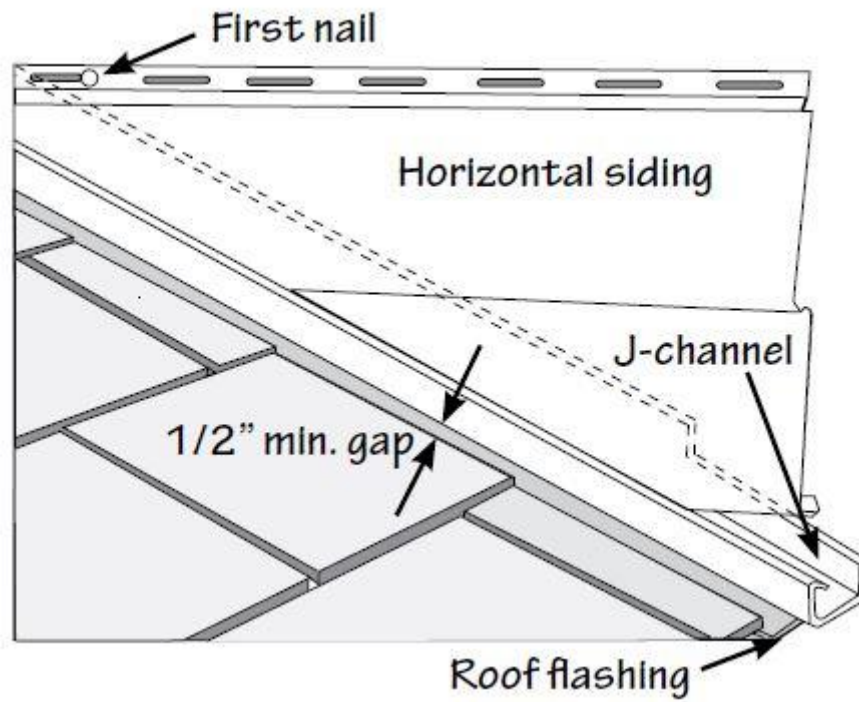


FIGURE 19 – KICKOUT DIVERTER FLASHING DETAIL

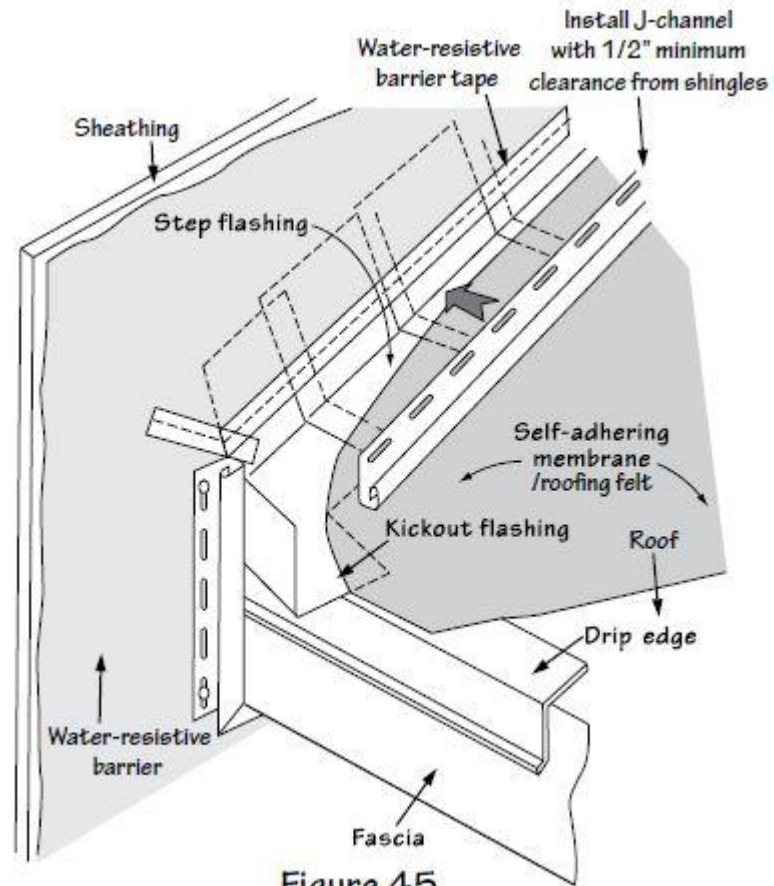


FIGURE 20- UTILITY PENETRATION FLASHING DETAIL

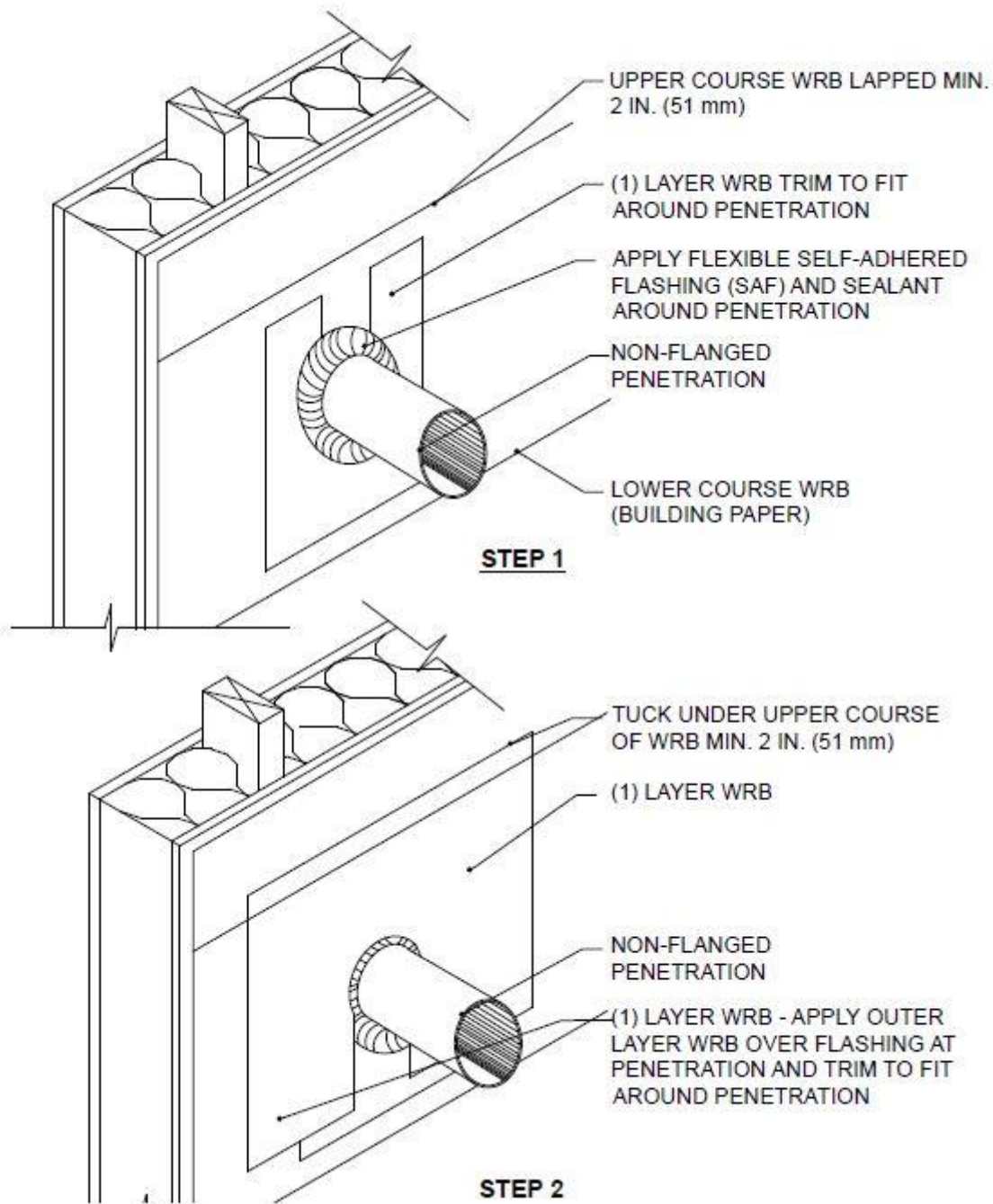


FIGURE 21 – WINDOW FLASHING DETAIL #1

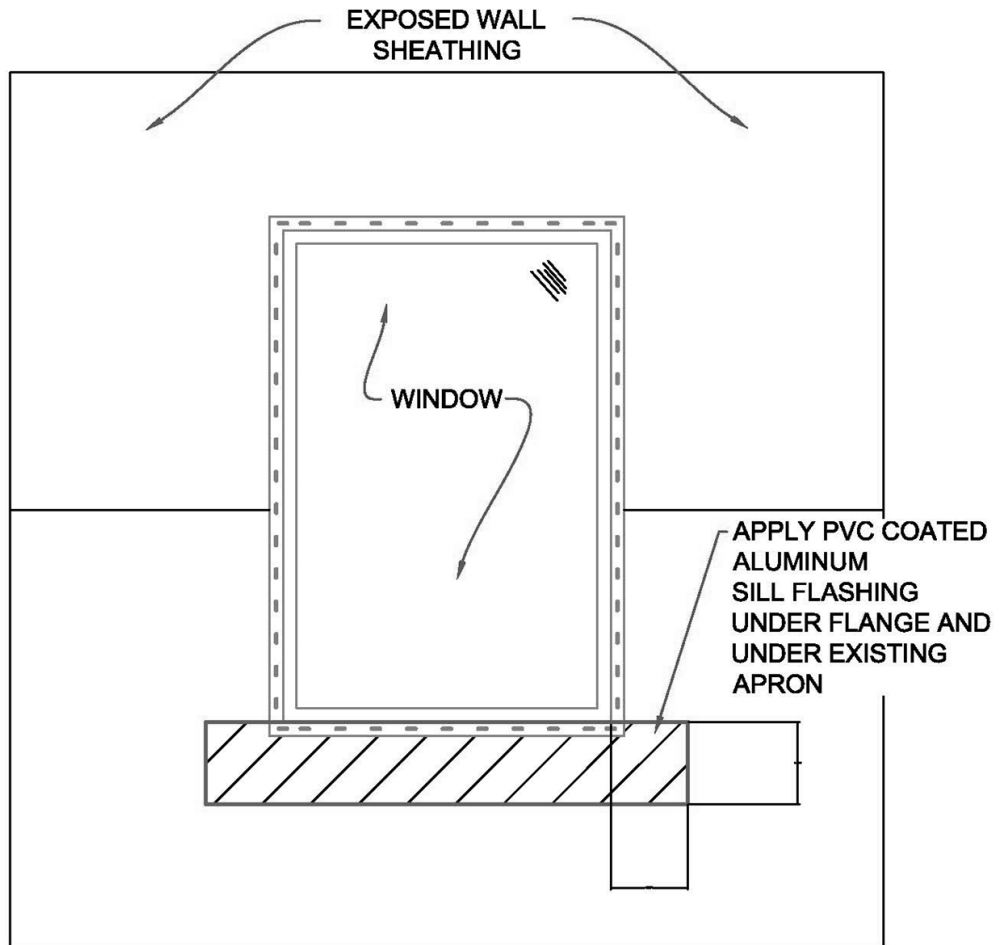
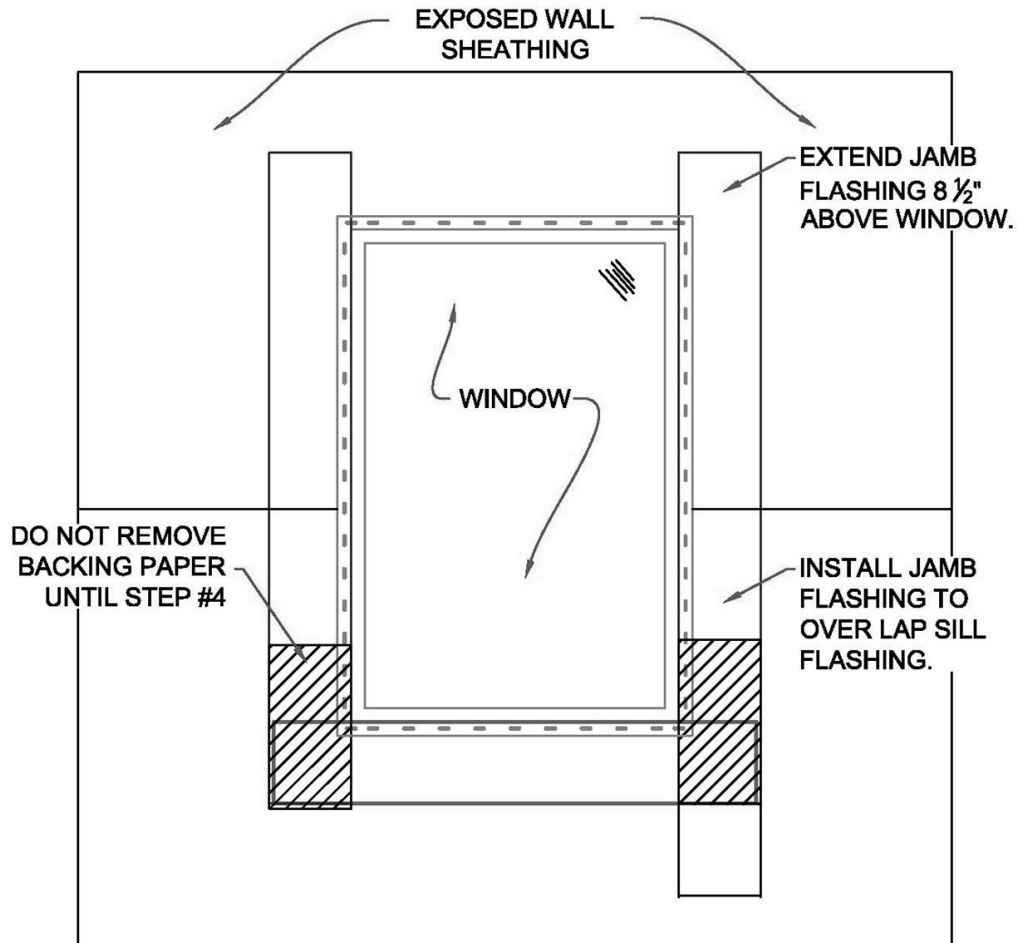
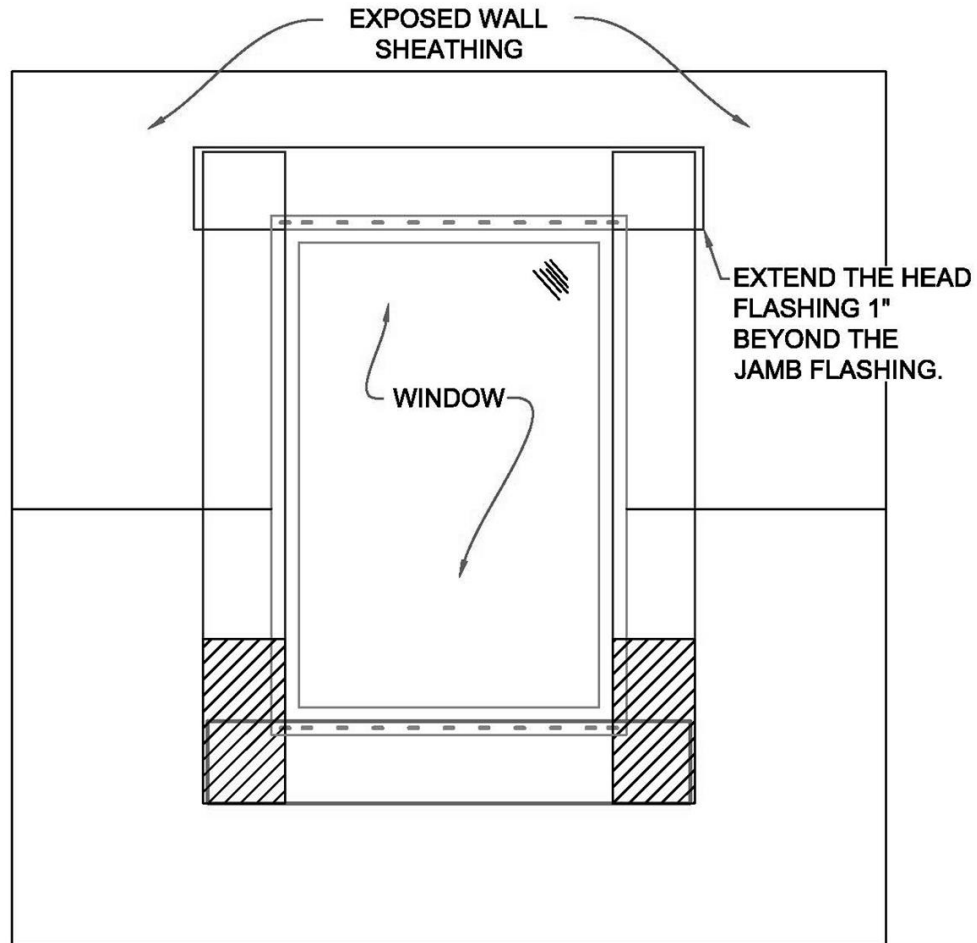


FIGURE 22 – WINDOW FLASHING DETAIL #2



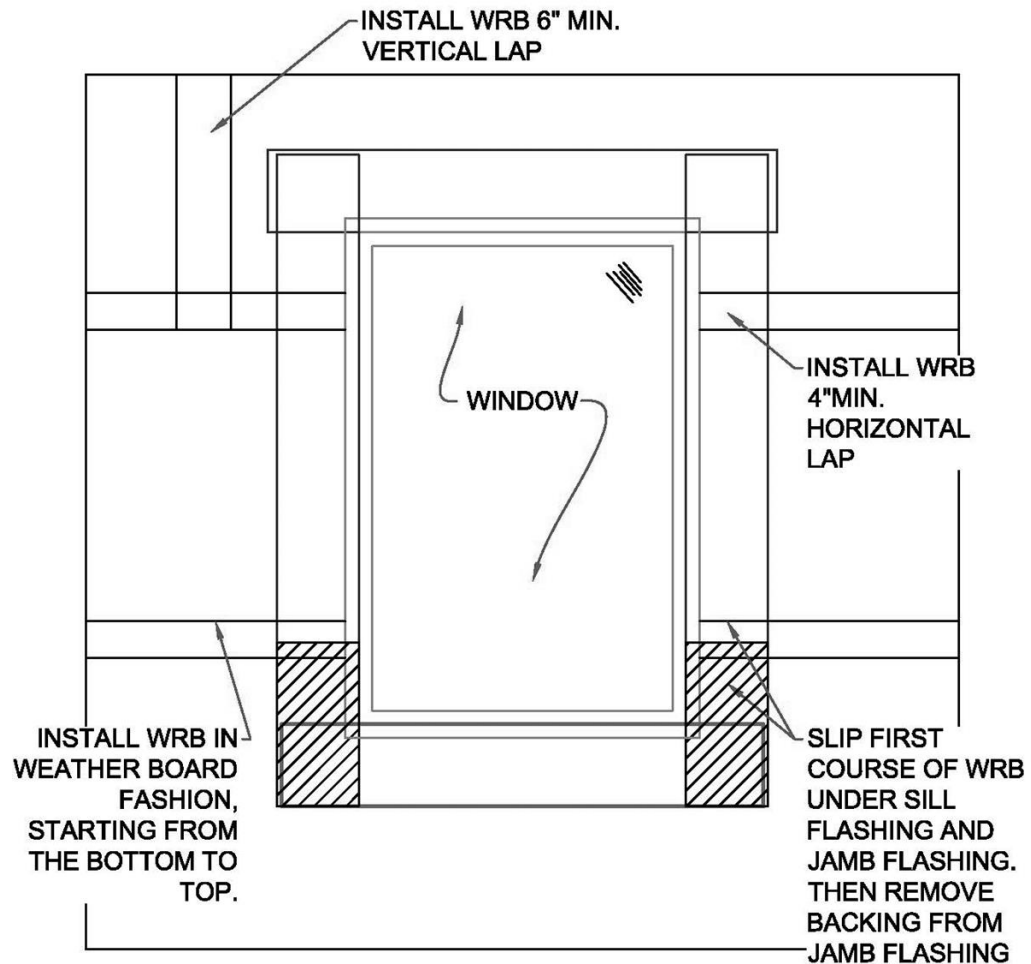
WINDOW FLASHING DETAIL #2

FIGURE 23 – WINDOW FLASHING DETAIL #3



WINDOW FLASHING DETAIL #3

FIGURE 24 – WINDOW FLASHING DETAIL #4



WINDOW FLASHING DETAIL #4

FIGURE 25 – PAN FLASHING DETAIL

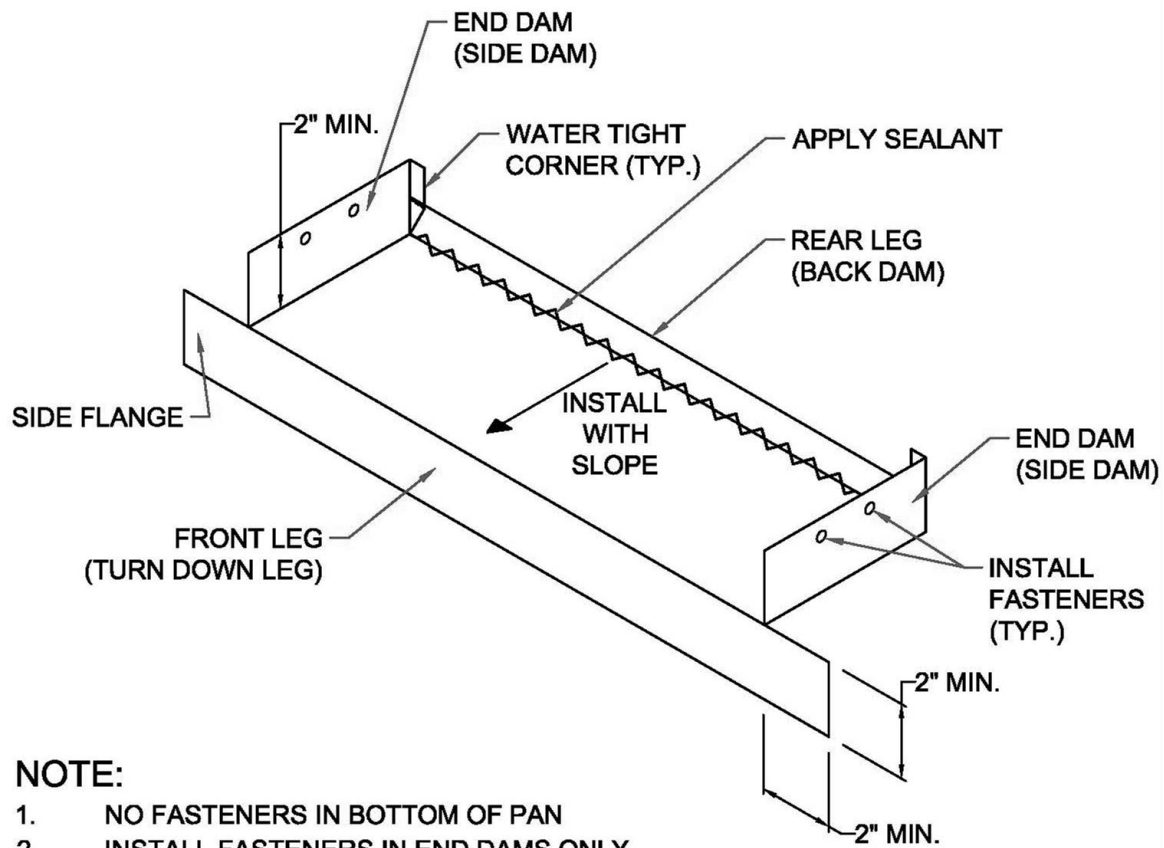


FIGURE 26 – SMART VENT DETAIL

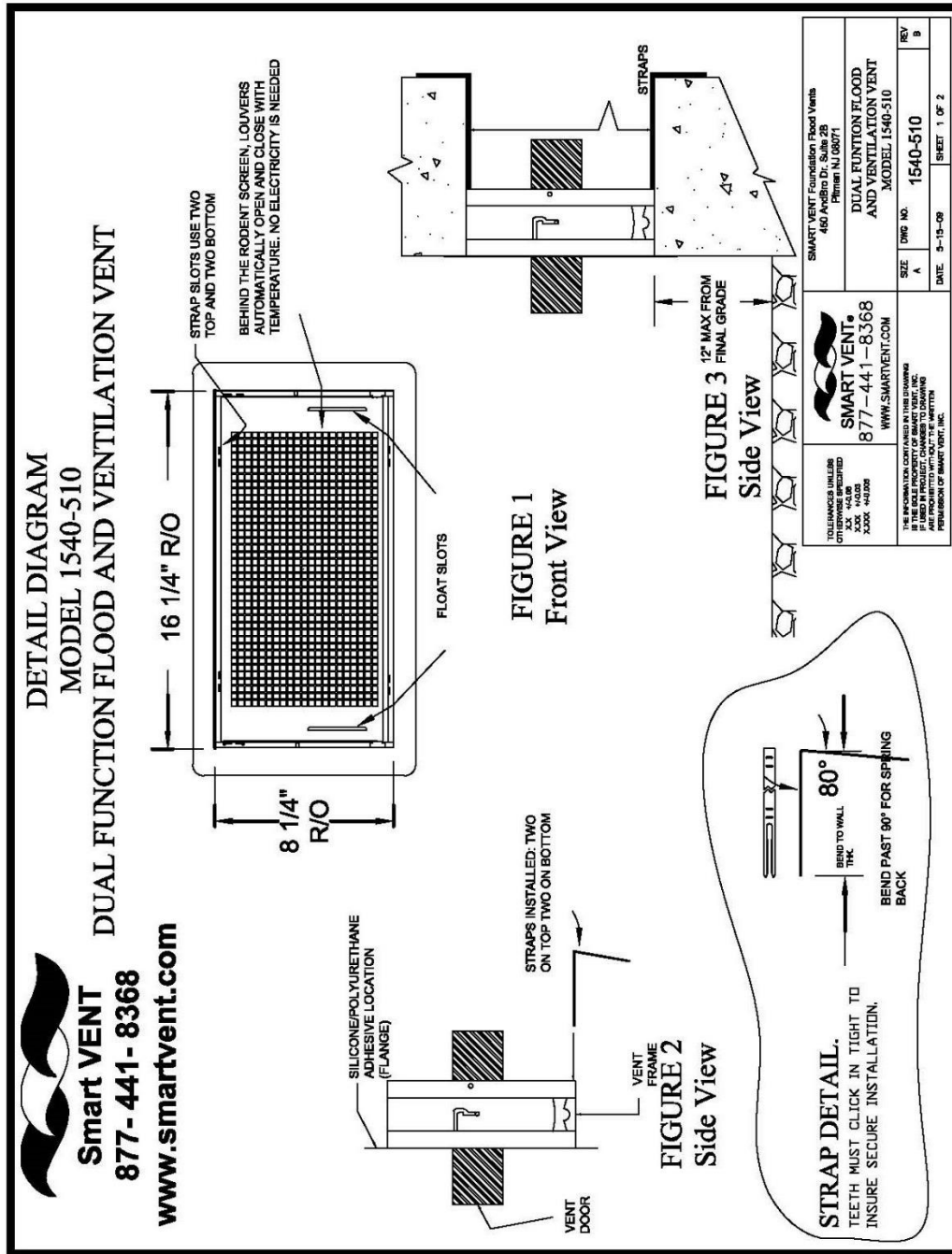


FIGURE 27 – SMART VENT INSTALLATION NOTES



**INSTALLATION INSTRUCTIONS
& DETAILS**
MODEL 1540-510
DUAL FUNCTION FLOOD AND VENTILATION VENT
REV. 5-15-09

INSTALLATION INSTRUCTIONS

1. Remove vent door from vent frame. (Turn upside down, rotate bottom of door outward and slide out)
2. Prepare a CLEAN 16.25" wide by 8.25" high rough opening (approx. 1 block wide X 1 block high) for each vent. Ensure the bottom of the rough opening is no more than 12" above the finished grade.
3. Apply a bead of silicone or polyurethane adhesive around the back of the flange on the vent frame. (FIG. 2)
4. Bend the 4 steel straps to the thickness of the wall measuring from the end with the teeth (see STRAP DETAIL)
5. Insert the top straps into the top two strap slots about two clicks.
6. Insert the vent frame in the cut opening. The bent strap ends go in then up behind the inside of the wall.
Push the frame tight against the face of the wall. Ensure the frame is flush and square in the opening. (FIG. 3)
7. Reach through the vent opening and click the two straps in while holding the front of the vent against the wall face. The sharp point of the straps should not extend past the front of the vent face. Install the two remaining bottom straps.
8. Re-check that frame is square and slots are clear of debris, and caulk.
9. Install the door into frame by grasping the bottom of door (with float pins down) and front (small screen in front). Slide door into frame and rotate until it is latched.
10. To open the door insert two credit cards into the float slots as shown in the diagram. This will unlatch the door for removal and cleaning.

DETAILED SPECIFICATIONS:

MATERIAL: STAINLESS STEEL
OPERATION FLOOD: AUTOMATIC NON-POWERED ACTIVATION AND OPERATION
VENT REMAINS CLOSED AND LOCKED UNTIL ACTIVATED
OPERATION AIR: AUTOMATIC LOUVERS FULLY OPEN AT 75 DEG. FULLY CLOSED AT 35 DEG. NO POWER REQUIRED

INSTALLATION:
SECURED W/ 4 STAINLESS STEEL STRAPS SUPPLIED
HYDROSTATIC RELIEF: 200 Sq. Ft per Vent
VENTILATION: 51 Sq. In. per Vent NOTE: VAPOR BARRIER ALLOWS FOR REDUCED VENTILATION
REQUIREMENTS FLOOD: MINIMUM OF 2 VENTS PER ENCLOSED AREA MOUNTED ON AT LEAST TWO DIFFERENT WALLS
COLORS: STAINLESS (STANDARD)
EXTERIOR POWDER COATED WHITE, WHEAT, GRAY, AND BLACK (AVAILABLE)

MEETS THE REQUIREMENTS FOR ENGINEERED OPENINGS AS SET FORTH BY:
FEMA, NFIP, ICC, & ASCE
SUPPORTIVE DOCUMENTS, TB 1-08, 44CFR 60.3(C)(5), ASCE 24-05
ICC EVALUATION # ESR-2074

This agreement sets forth the entire understanding of the parties hereto and supersedes all other agreements and understandings among or between any of the parties hereto relating to the subject matter hereof and may not be contradicted by evidence of prior, contemporaneous or subsequent agreements of the parties.

In witness whereof, the parties have hereunto fixed their hands and seals on the date specified by both parties.

Contractor:

President:

Date:

Attested By:

Date:

Community Board
President of the:
**Ocean Front
Condominium Association**

President:

Date:

Attested By:

Date:

Please Note: The Property Manager/Board President, Contractor and FWH Associates, P.A. must all receive original signed copies of this contract/specifications.

JM/jm/pa