

# PFEIFFER COMMUNITY CENTER STRUCTURAL

## REPAIRS

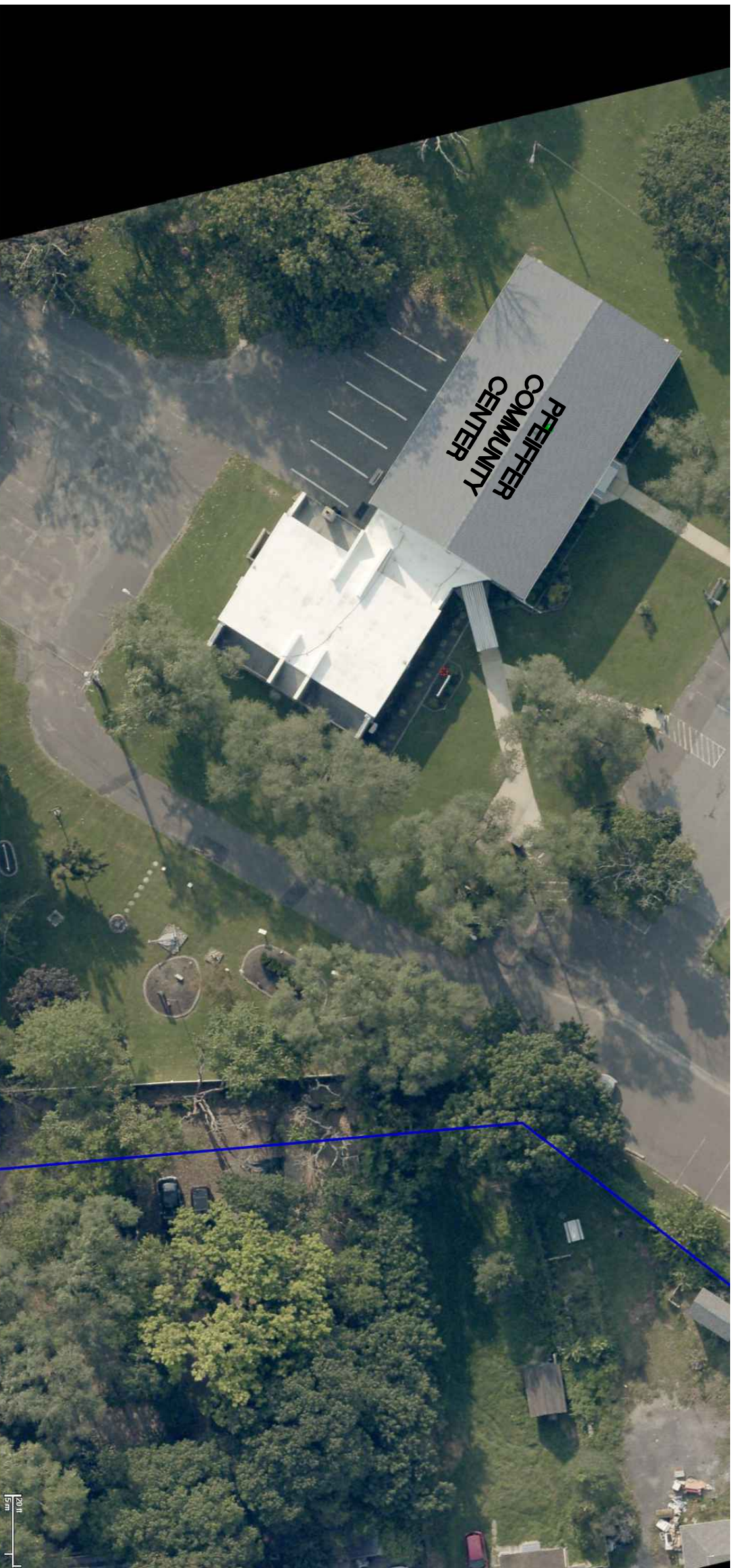
### 301 BLUE BELL ROAD MONROE TOWNSHIP, NJ

SEPTEMBER 6, 2022

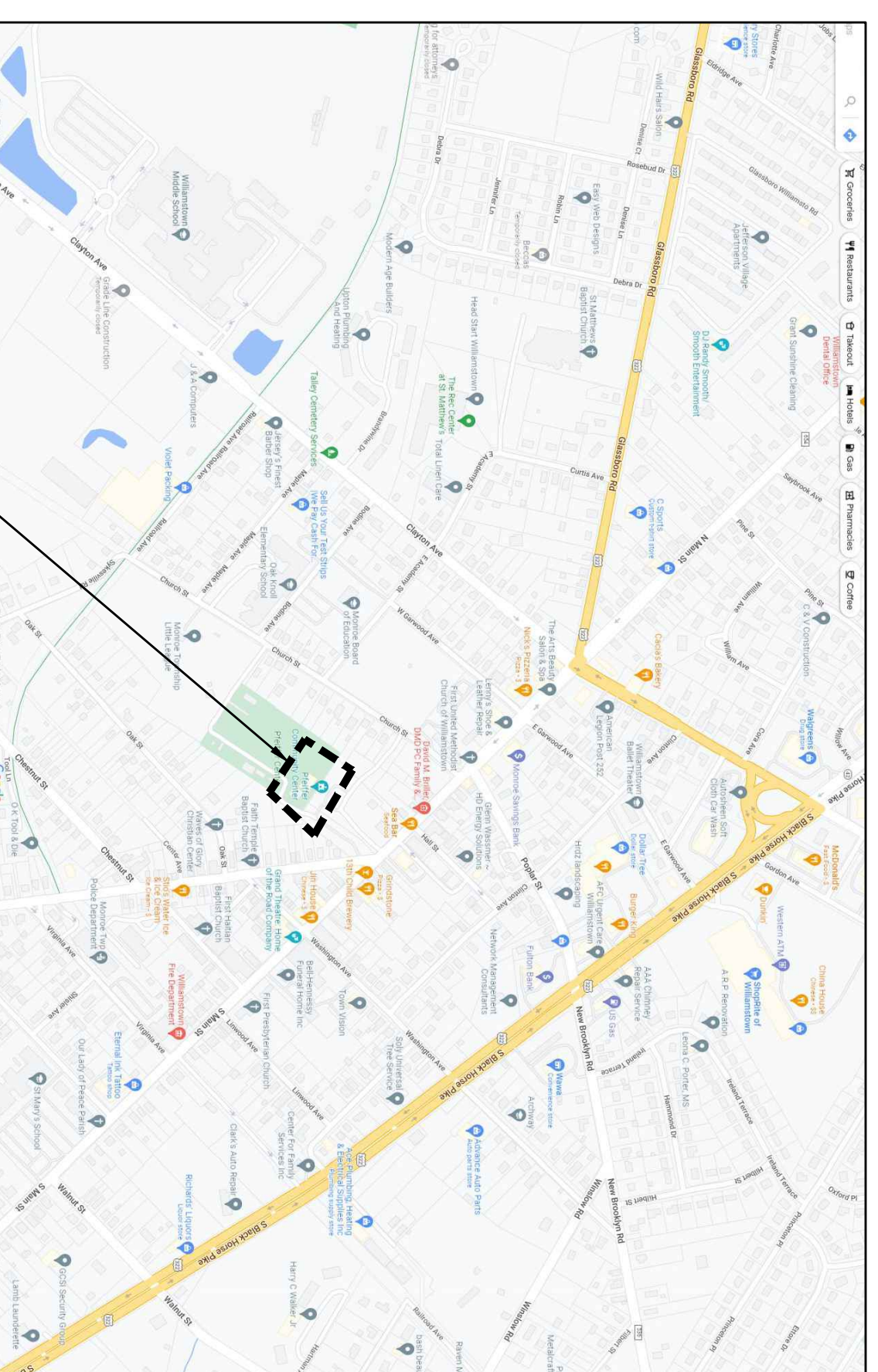
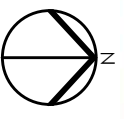
PREPARED FOR:  
OWNER

## TOWNSHIP OF MONROE

125 VIRGINIA AVE  
WILLIAMSTOWN, NJ 08094

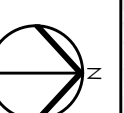


AERIAL VIEW



PROJECT  
LOCATION

LOCATION MAP



### DRAWING INDEX

DRAWING NO	SHEET NAME
GENERAL	COVER SHEET
CS	GENERAL STRUCTURAL NOTES
S-01	GENERAL STRUCTURAL NOTES
S-02	FLOOR PLAN
S-1	BUILDING SECTION AND EXTERIOR ELEVATIONS
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PROJECT	MTSPX20186
DATE	9/6/2022
DRAWING SCALE	AS NOTED
DESIGNED BY	0115
APPROVED BY	RES

PFEIFFER COMMUNITY CENTER  
STRUCTURAL REPAIRS  
301 BLUE BELL ROAD  
MONROE TOWNSHIP, NJ  
COVER SHEET  
TOWNSHIP OF MONROE  
125 VIRGINIA AVE  
WILLIAMSTOWN, NJ 08094

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**Ross E Stuart, P.E.**  
NEW JERSEY LICENSE NO. GE55120

STATE OF NEW JERSEY  
ROSS E STUART  
No. GE55120  
LICENSED PROFESSIONAL ENGINEER

DATE: 9/6/2022

**Pennoni**

PENNONI ASSOCIATES INC.  
2 Aquarium Drive, Suite 320  
Camden, NJ 08103  
T 856.668.8600  
NJ COA NO. GA28033300

DATE	NO.	REVISIONS	BY
9/6/2022	1	ISSUED FOR BID	RES/KGM



10 GENERAL

- 1. ALL WORK SHALL CONFORM TO THE 2018 INTERNATIONAL BUILDING CODE AND TO ALL OTHER APPLICABLE CODES... 2. ALL CODES AND STANDARDS REFERENCED IN THESE NOTES INCLUDING SPECIFICATIONS REFERENCED MINIM AND ALL FEDERAL, STATE, AND LOCAL... 3. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES AND DETAILS, THE MOST RIGID REQUIREMENTS SHALL GOVERN...

TABLE 1: REINFORCING STEEL (FY) vs BAR SIZE vs BAR LOCATION vs CONCRETE STRENGTH. Includes columns for #3, #4, #5, #6, #7 and bar locations like TOP BARS, OTHER BARS, etc.

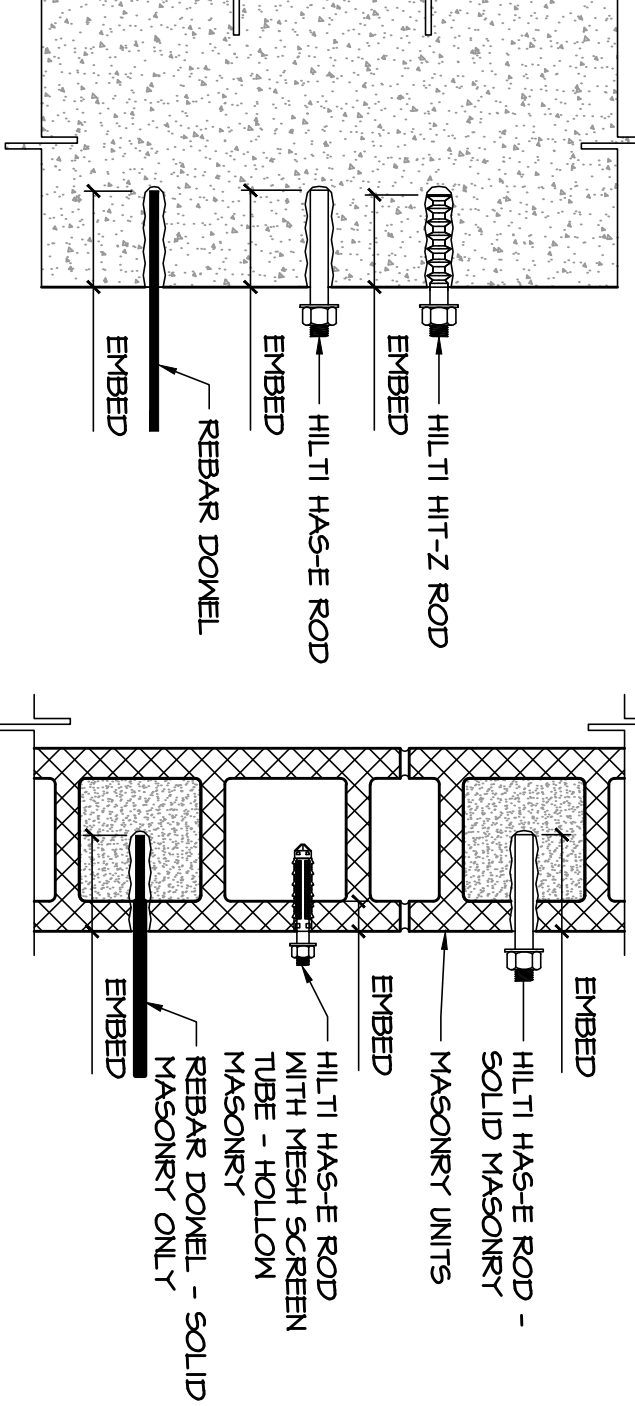
TABLE 2: CONDITION vs SPALCE LENGTH vs SPALCE WIDTH vs SPALCE DEPTH vs SPALCE AREA vs SPALCE PERCENTAGE

- 11. INSPECTION IS REQUIRED OF ALL CONSTRUCTION DELINEATED ON THE STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS... 12. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE DESIGN AND CONSTRUCTION OF... 13. SHOP DRAWINGS FOR ALL STRUCTURAL FABRICATIONS TO BE SUBMITTED TO ENGINEER FOR REVIEW PRIOR TO THE START OF FABRICATION OR COMPLETION OF WORK...

- 9. SPACES IN REINFORCING STEEL SHALL BE MADE ONLY AT THOSE LOCATIONS WHERE SPACES ARE SHOWN ON THE STRUCTURAL DRAWINGS AND AT THOSE LOCATIONS WHERE SPACES HAVE BEEN DETAILED BY THE REINFORCING STEEL PLACING DRAWINGS... 10. ALL REINFORCING SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE... 11. PLACING OF CONCRETE SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS BEEN APPROVED BY THE INSPECTION AGENCY...

- 2. MORTAR SHALL CONFORM TO ASTM C270, TYPE M OR S... 3. COMPRESSIVE STRENGTH OF 3000 PSI... 4. SOLID AND HOLLOW LOAD BEARING UNITS PER ASTM C90... 5. FILL BED AND HEAD JOINTS SHALL BE PROVIDED... 6. HORIZONTAL JOINT REINFORCING... 7. WALLS DURING CONSTRUCTION AND UNTIL ERECTION OF ATTACHED STRUCTURAL FRAMING IS COMPLETED... 8. LAP SPACES FOR DEFORMED REINFORCING BARS USED IN MASONRY CONSTRUCTION SHALL BE 50 BAR DIAMETERS... 9. MASONRY WORK TO BE EXECUTED IN WET WEATHER SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS FOR MASONRY CONSTRUCTION... 10. ALL MASONRY WORK TO BE EXECUTED IN WET WEATHER SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS FOR MASONRY CONSTRUCTION... 11. ALL POST-INSTALLED AND SPECIALTY ANCHORS, INSTALLATION AND INSPECTIONS SHALL BE IN ACCORDANCE WITH ALL GOVERNING LOCAL MUNICIPAL REGULATIONS... 12. ALL MECHANICAL AND EPOXY POST INSTALLED ANCHORS (IN CONCRETE OR MASONRY) ARE TO BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTION (MPI) AS INCLUDING, BUT NOT LIMITED TO, DRILL BIT TYPE AND SIZE, PROPER CLEANING AND HOLE PREPARATION, INSTALLATION TORQUE, EMBEDMENT DEPTH, CONCRETE TEMPERATURE RANGES, CONCRETE AGE, MOISTURE CONDITION, ETC.

- 11. ALL ANCHOR RODS, WASHERS, AND NUTS SHALL HAVE THE FOLLOWING CORROSION PROTECTION, UNLESS NOTED OTHERWISE... 12. ALL ADHESIVE ANCHORS INSTALLED HORIZONTALLY OR UPWARDLY INCLINED (OVERHEAD) TO SUPPORT SUSTAINED TENSION LOADS SHALL BE PERFORMED BY CERTIFIED PERSONNEL... 13. THE ANCHOR MANUFACTURER SHALL MAKE A REPRESENTATIVE AVAILABLE TO PROVIDE ON-SITE INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS... 14. THE ANCHOR TESTING AGENCY SHALL OBSERVE THE INITIAL INSTALLATION OF EACH ANCHOR TYPE AND DURING CONSTRUCTION AT INTERVALS IN ACCORDANCE WITH THE MPI AND ACI 308... 15. THE ANCHOR MANUFACTURER'S REPRESENTATIVE SHALL BE PRESENT DURING THE INITIAL INSTALLATION OF EACH ANCHOR TYPE... 16. THE ANCHOR TESTING AGENCY SHALL OBSERVE THE INITIAL INSTALLATION OF EACH ANCHOR TYPE AND DURING CONSTRUCTION AT INTERVALS IN ACCORDANCE WITH THE MPI AND ACI 308...



- 1. DRILL & EPOXY ANCHORS IN ACCORDANCE WITH THE MPI... 2. REFER TO PLANS AND DETAILS FOR QUANTITY, ANCHOR TYPE, DIAMETER, AND MINIMUM EMBEDMENT DEPTH... 3. REFER TO THE MPI FOR INFORMATION NOT PROVIDED, INCLUDING BUT NOT LIMITED TO, MINIMUM EDGE DISTANCE, MINIMUM ANCHOR SPACING, CLEANING PROCEDURES, AND INSTALLATION TORQUE REQUIREMENTS BASED ON THE SELECTED ANCHOR TYPE, DIAMETER, APPLICABLE EPOXY SERIES AND CONSTRUCTION TYPE... 4. EXISTING DRAWINGS FOR THE ORIGINAL BUILDING ARE NOT AVAILABLE, ALL EXISTING CONDITIONS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO DEVELOPING AND SUBMITTING SHOP DRAWINGS... 5. CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING TO DISCUSS REQUIREMENTS WITH STRUCTURAL ENGINEER PRIOR TO BEGINNING CONSTRUCTION... 6. EXISTING DRAWINGS FOR THE ORIGINAL BUILDING ARE NOT AVAILABLE, ALL EXISTING CONDITIONS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO DEVELOPING AND SUBMITTING SHOP DRAWINGS... 7. CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING TO DISCUSS REQUIREMENTS WITH STRUCTURAL ENGINEER PRIOR TO BEGINNING CONSTRUCTION...

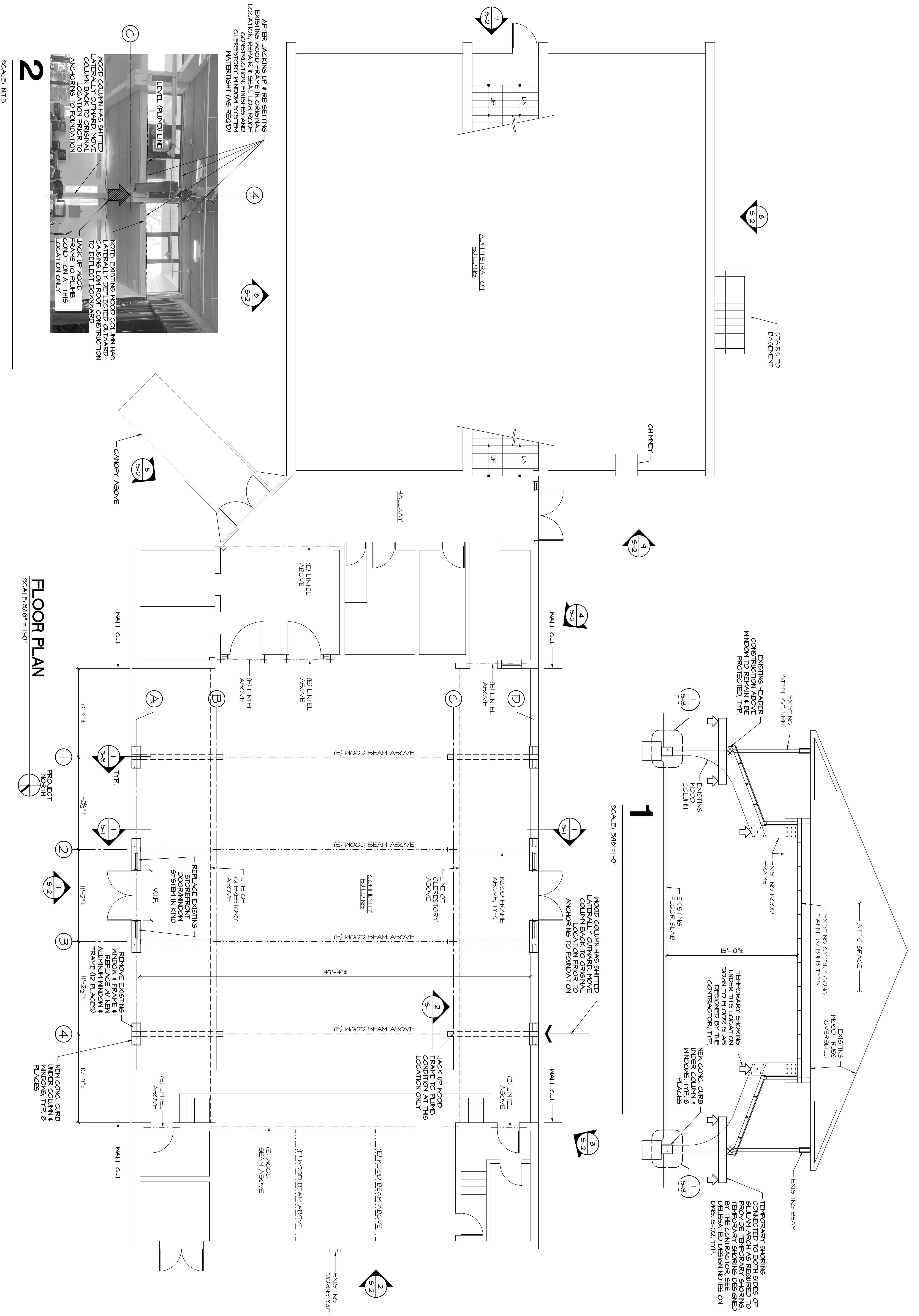
ROSS E STUART, P.E. NEW JERSEY LICENSE NO. GE55120. PENNONI ASSOCIATES INC. 2 Aquarium Drive, Suite 320 Camden, NJ 08103 T 856.668.8600

PFEIFFER COMMUNITY CENTER STRUCTURAL REPAIRS. 301 BLUE BELL ROAD MONROE TOWNSHIP, NJ. GENERAL STRUCTURAL NOTES. TOWNSHIP OF MONROE. 125 VIRGINIA AVENUE WILLIAMSTOWN, NJ 08094

PROJECT: MTSPX20186 DATE: 9/6/2022 SHEET: S-01 2 OF 6. REVISIONS table with columns: NO., DATE, REVISIONS, BY. Includes drawing scale and approval signature area.

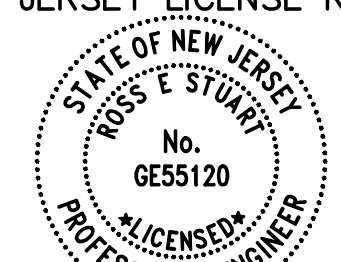






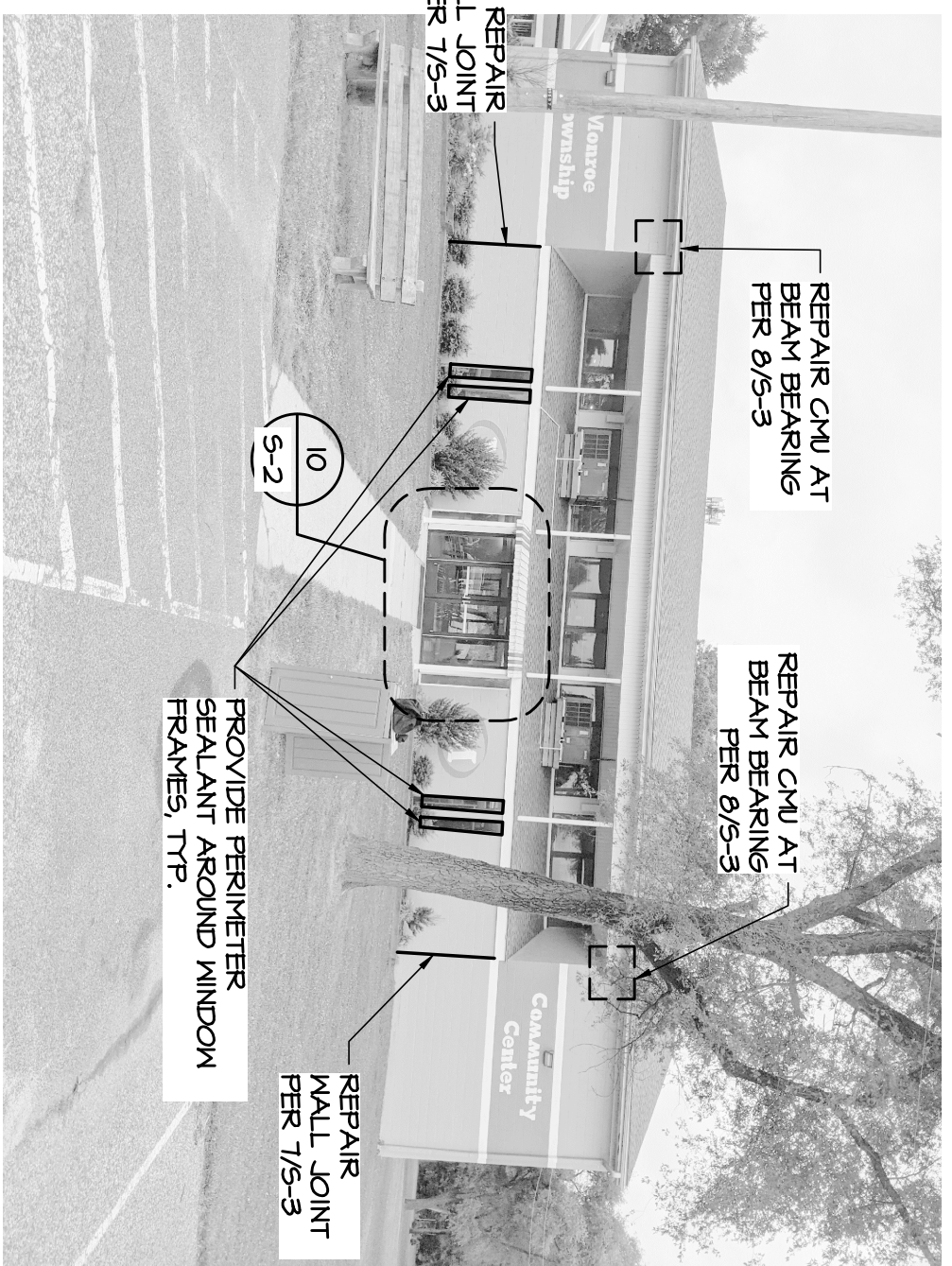
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**PFEIFFER COMMUNITY CENTER**  
**STRUCTURAL REPAIRS**  
 301 BLUE BELL ROAD  
 MONROE TOWNSHIP, NJ  
  
**FLOOR PLAN AND BUILDING SECTION**  
  
 TOWNSHIP OF MONROE  
 125 VIRGINIA AVE  
 WILLIAMSTOWN, NJ 08094

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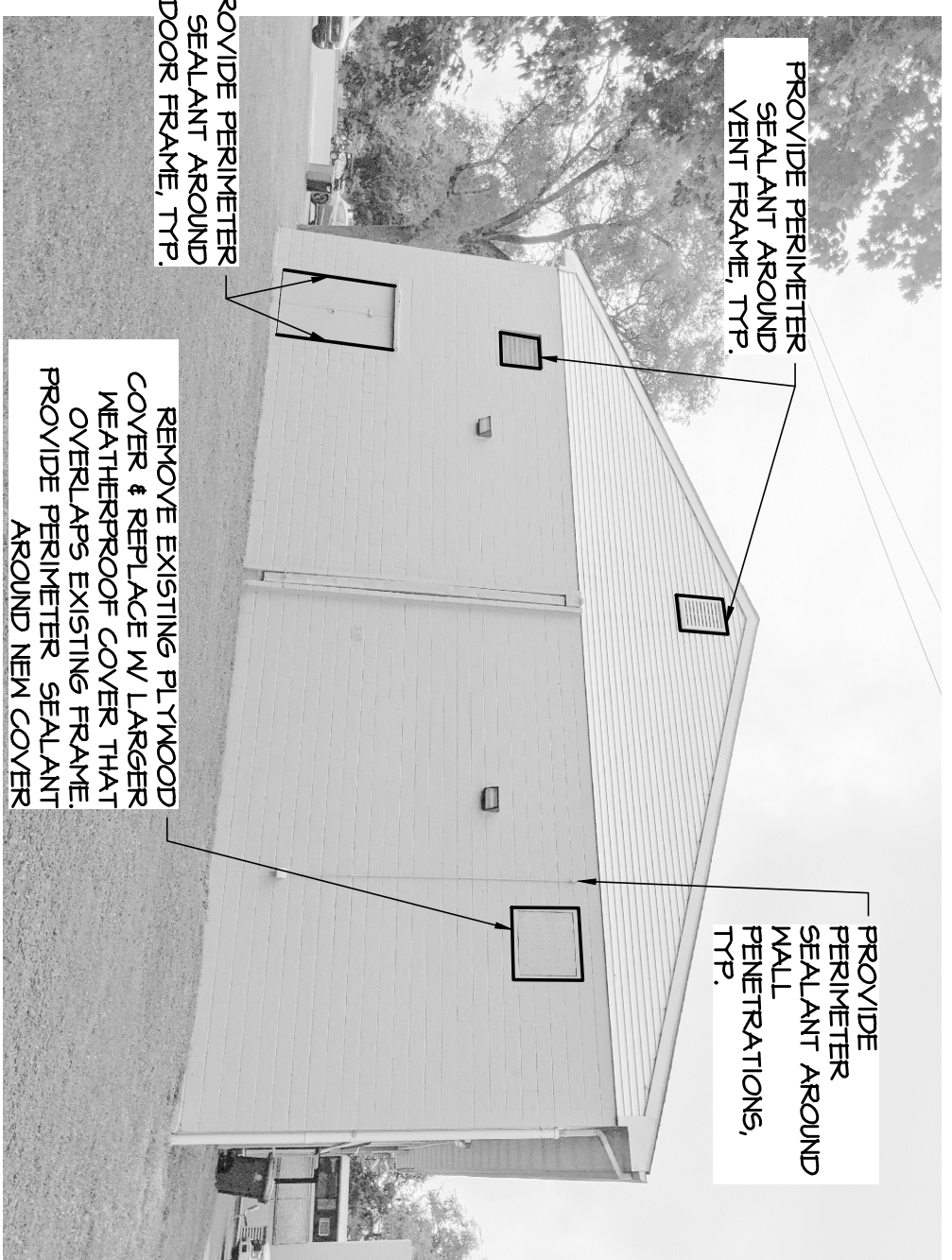
  
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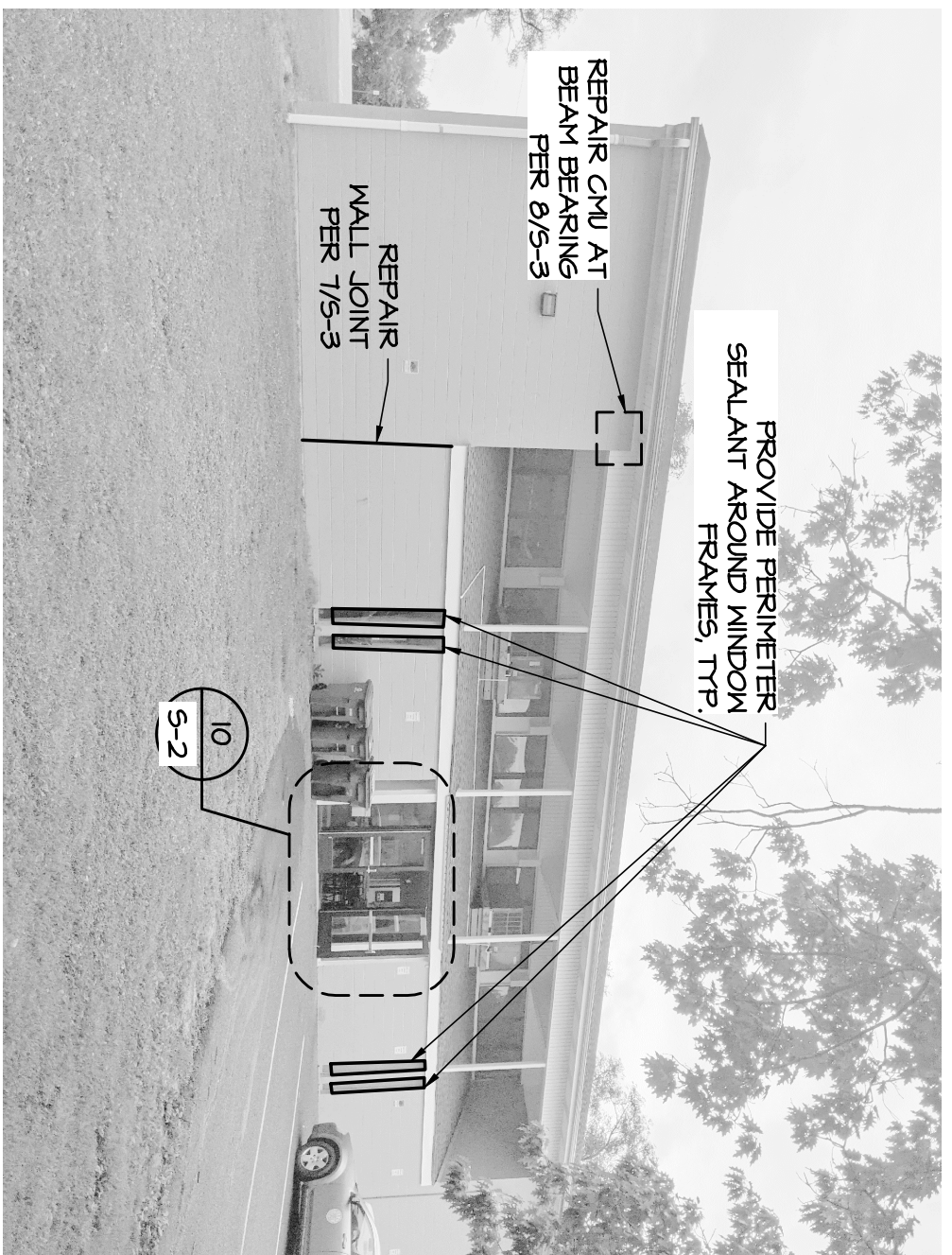
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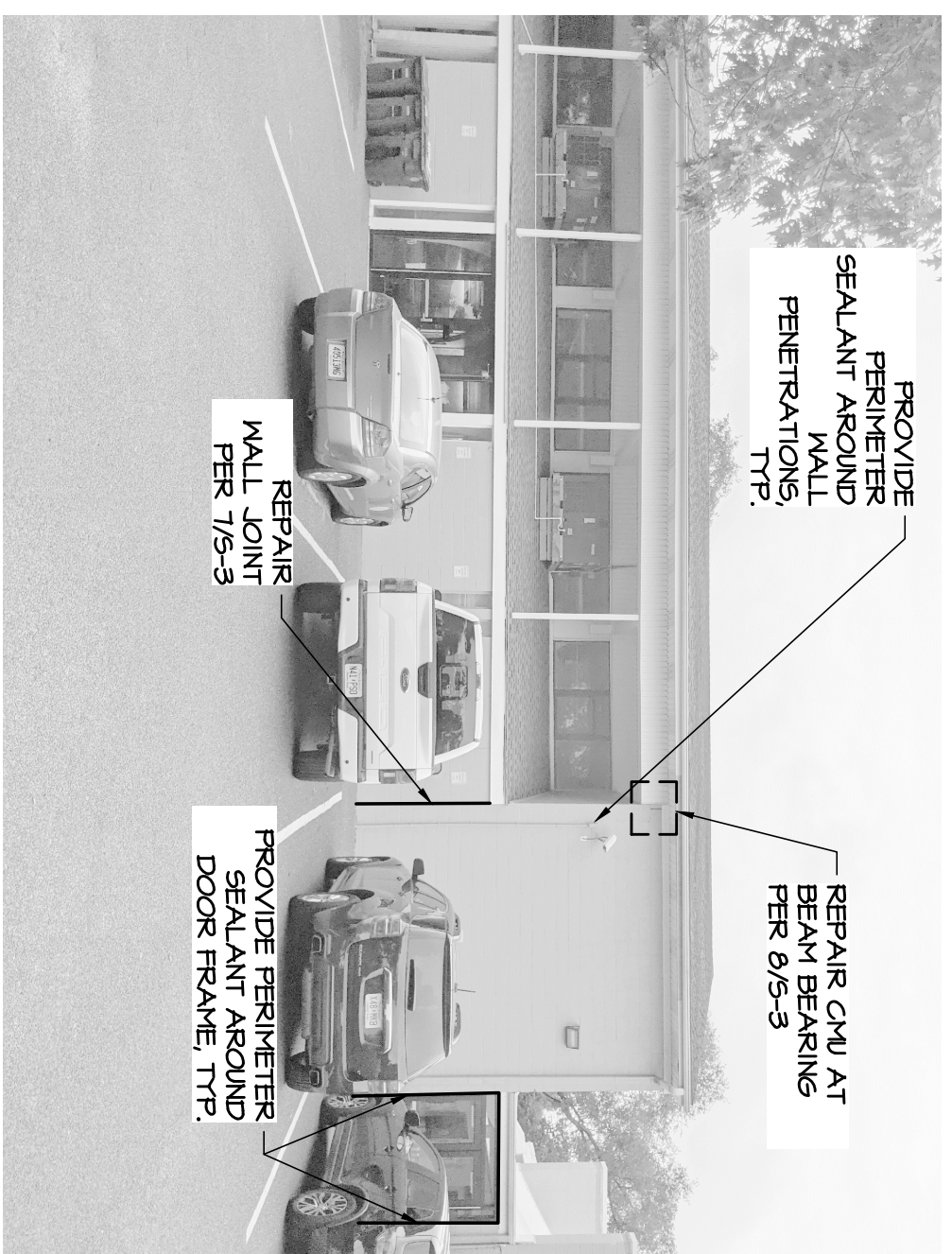
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SCALE: N.T.S.



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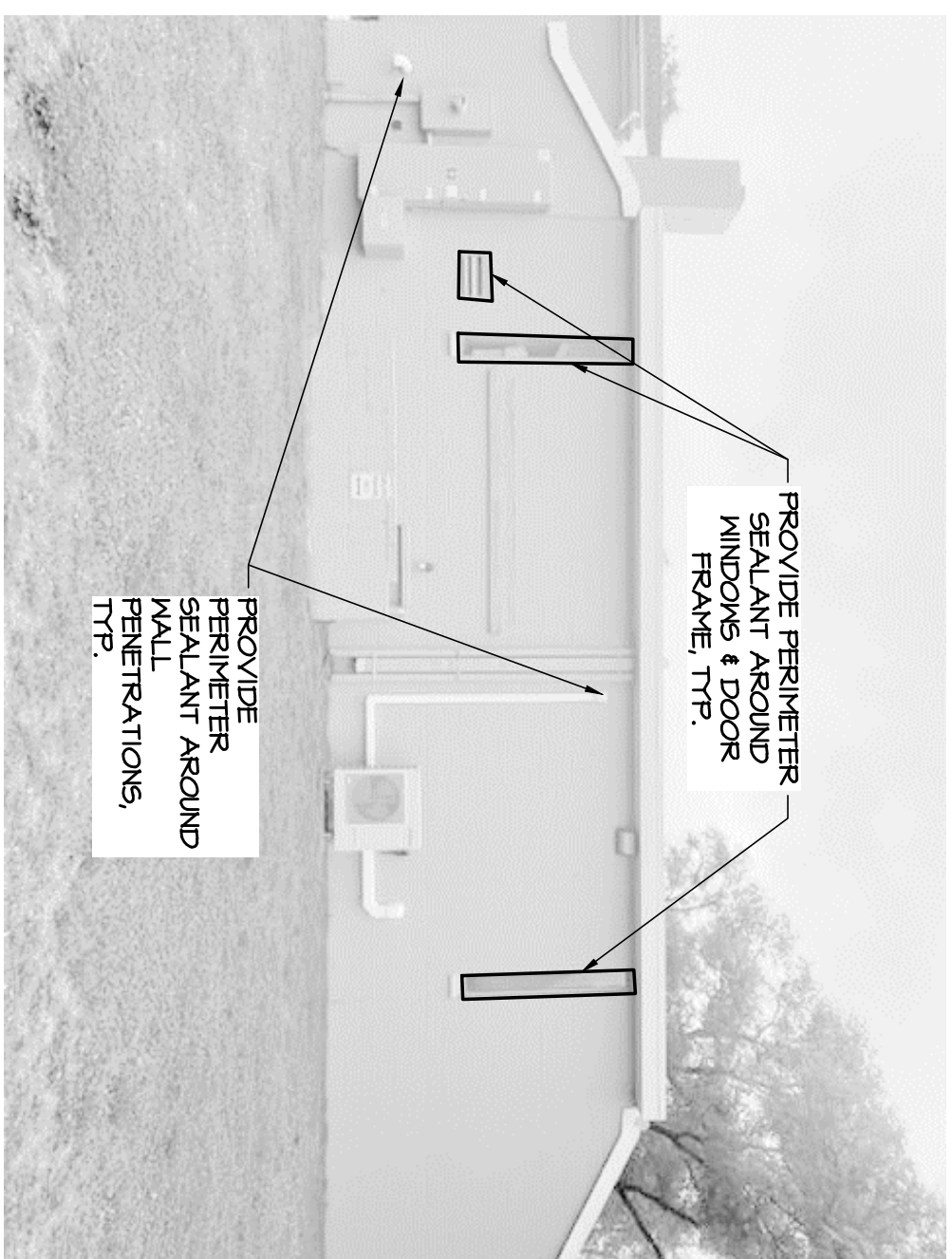
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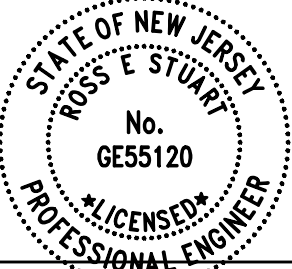


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301 BLUE BELL ROAD  
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**BUILDING SECTION AND EXTERIOR ELEVATIONS**

TOWNSHIP OF MONROE  
125 VIRGINIA AVE  
WILLIAMSTOWN, NJ 08094

DATE	NO.	REVISIONS	BY
9/6/2022	1	ISSUED FOR BID	RES/KGM

PROJECT: MTSPX20186

DATE: 9/6/2022

DRAWING SCALE: AS NOTED

DESIGNED BY: 0115

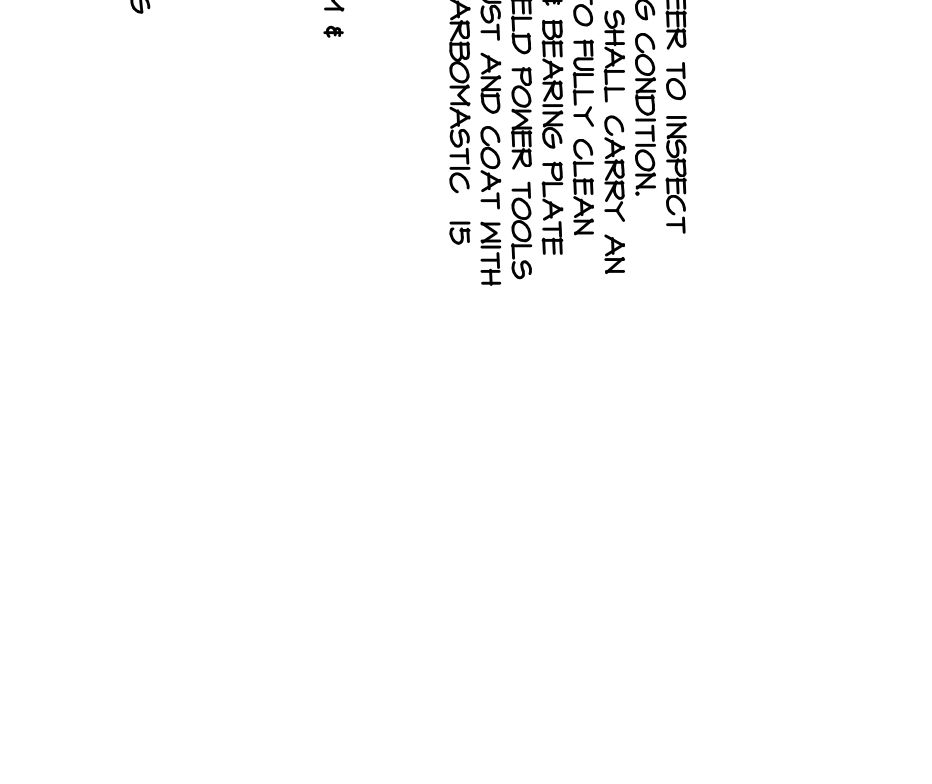
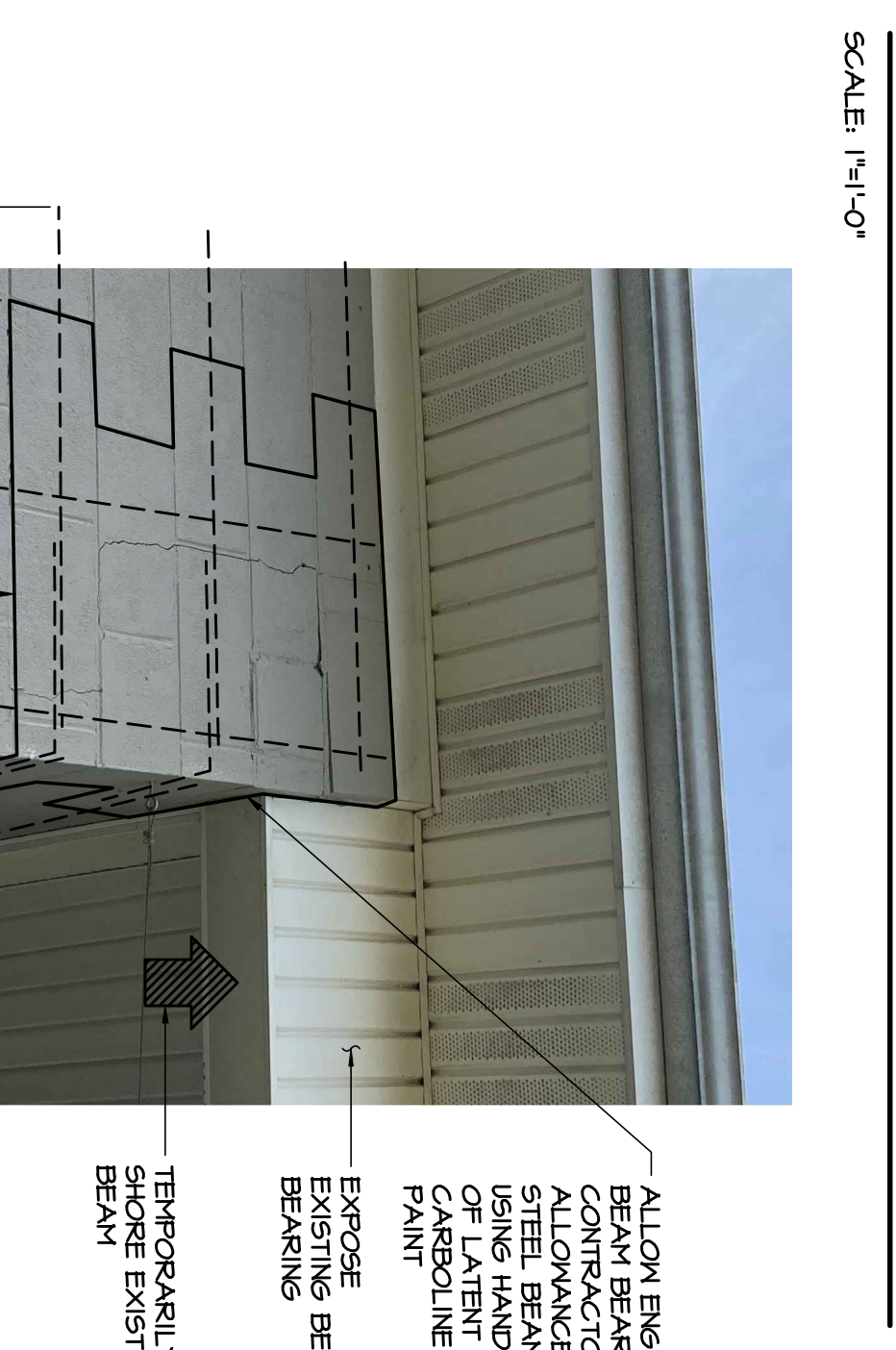
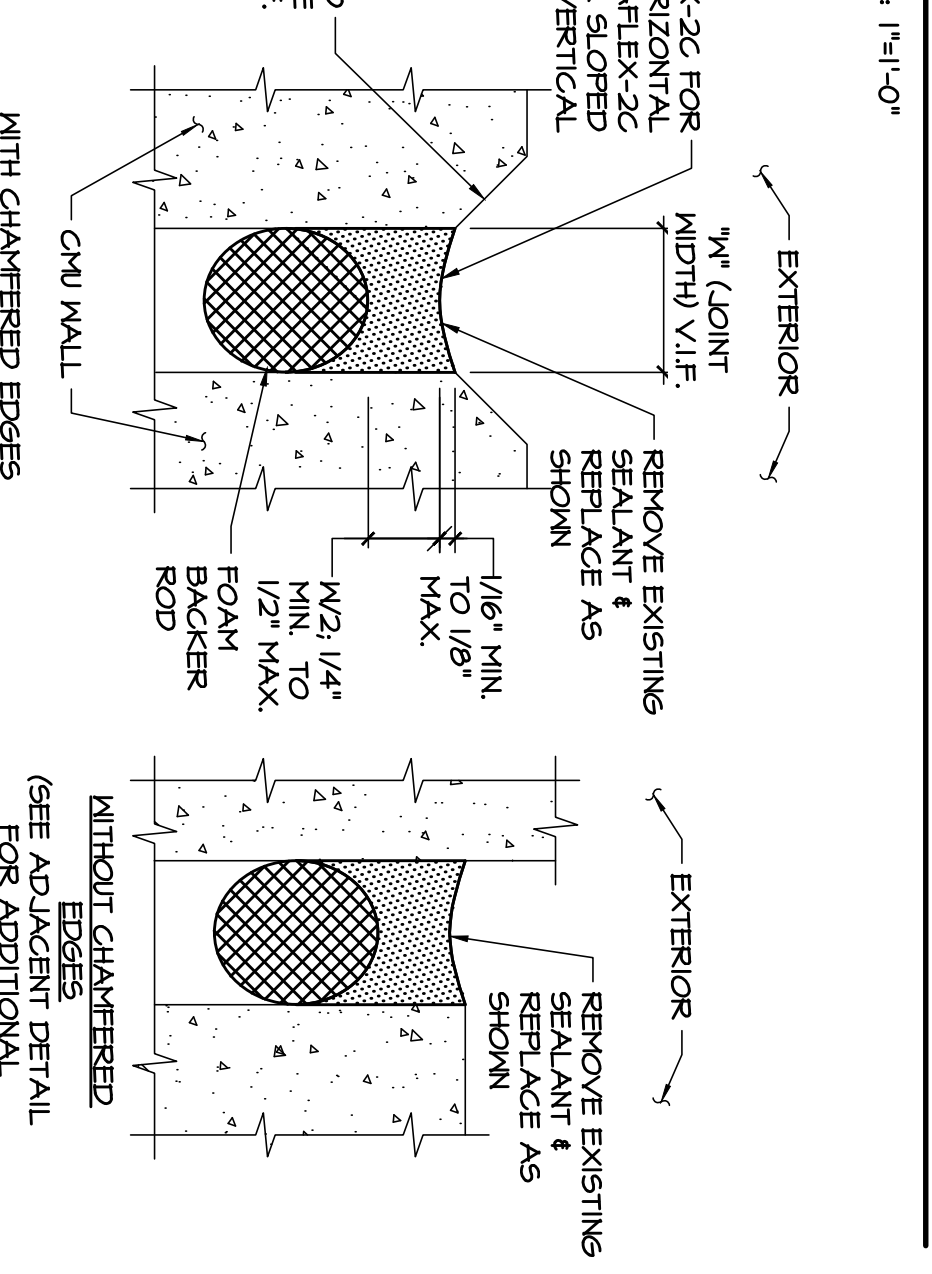
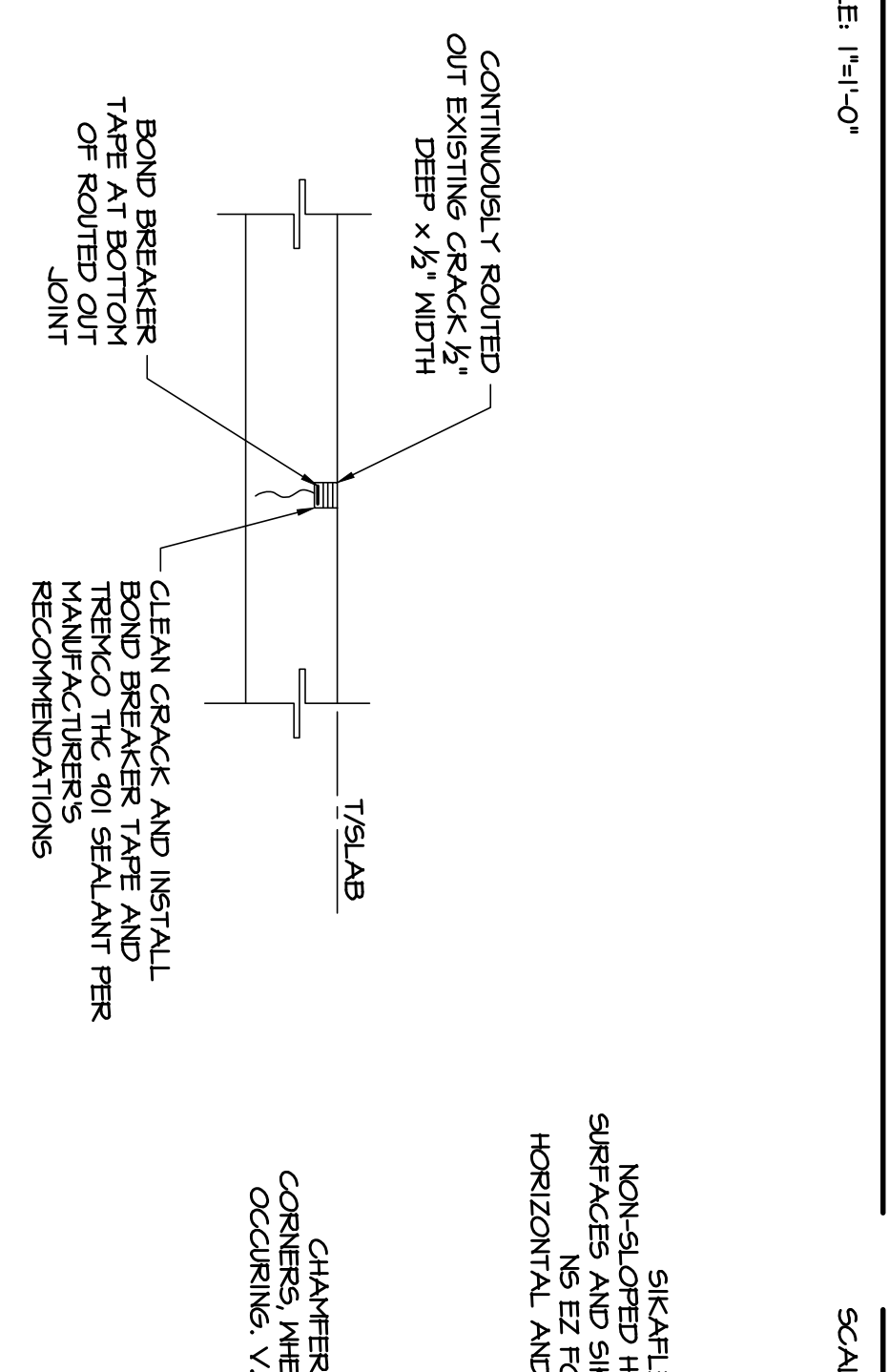
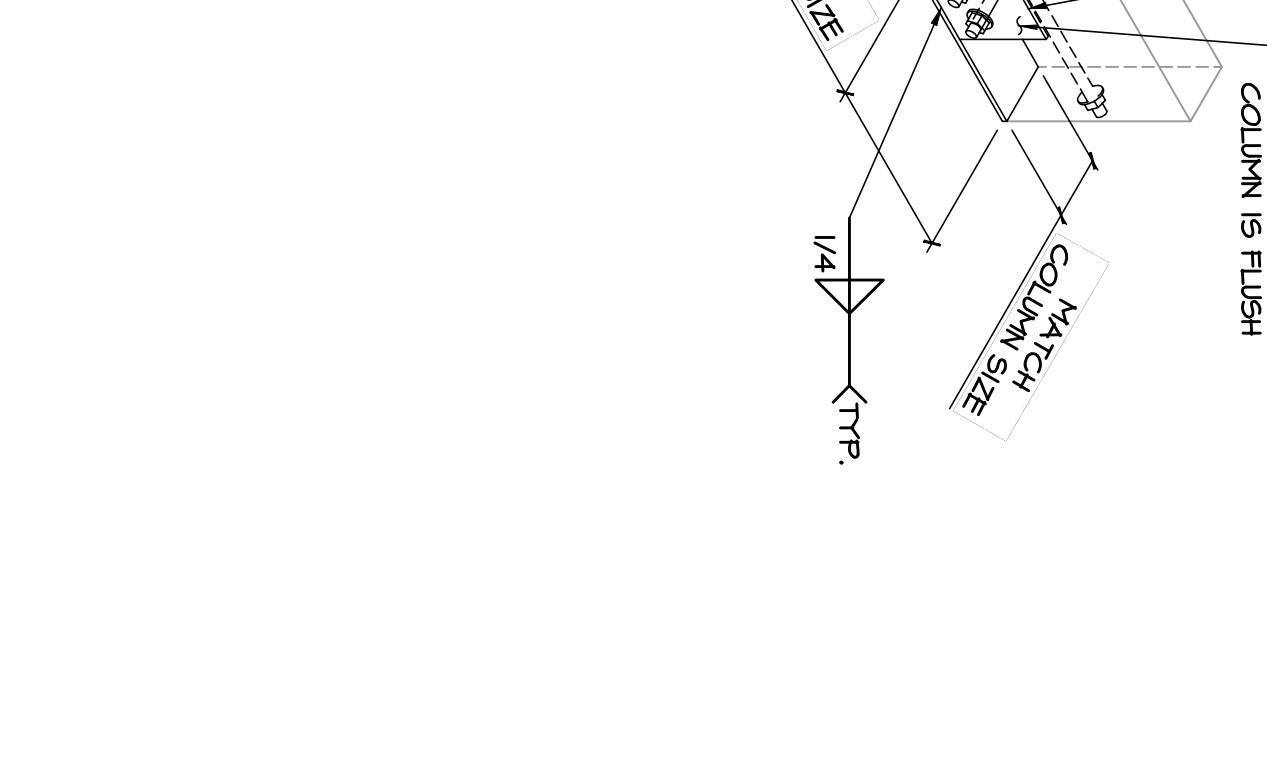
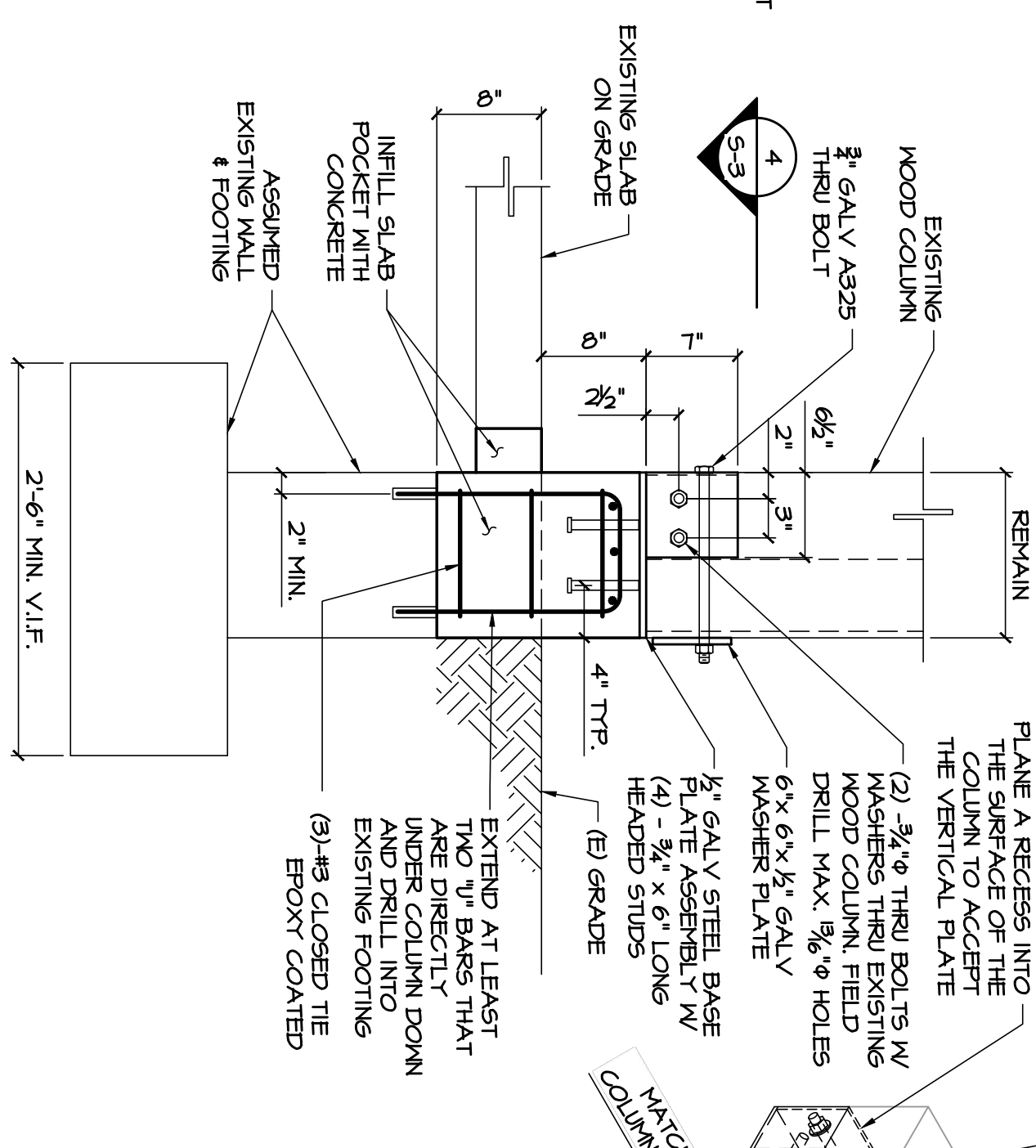
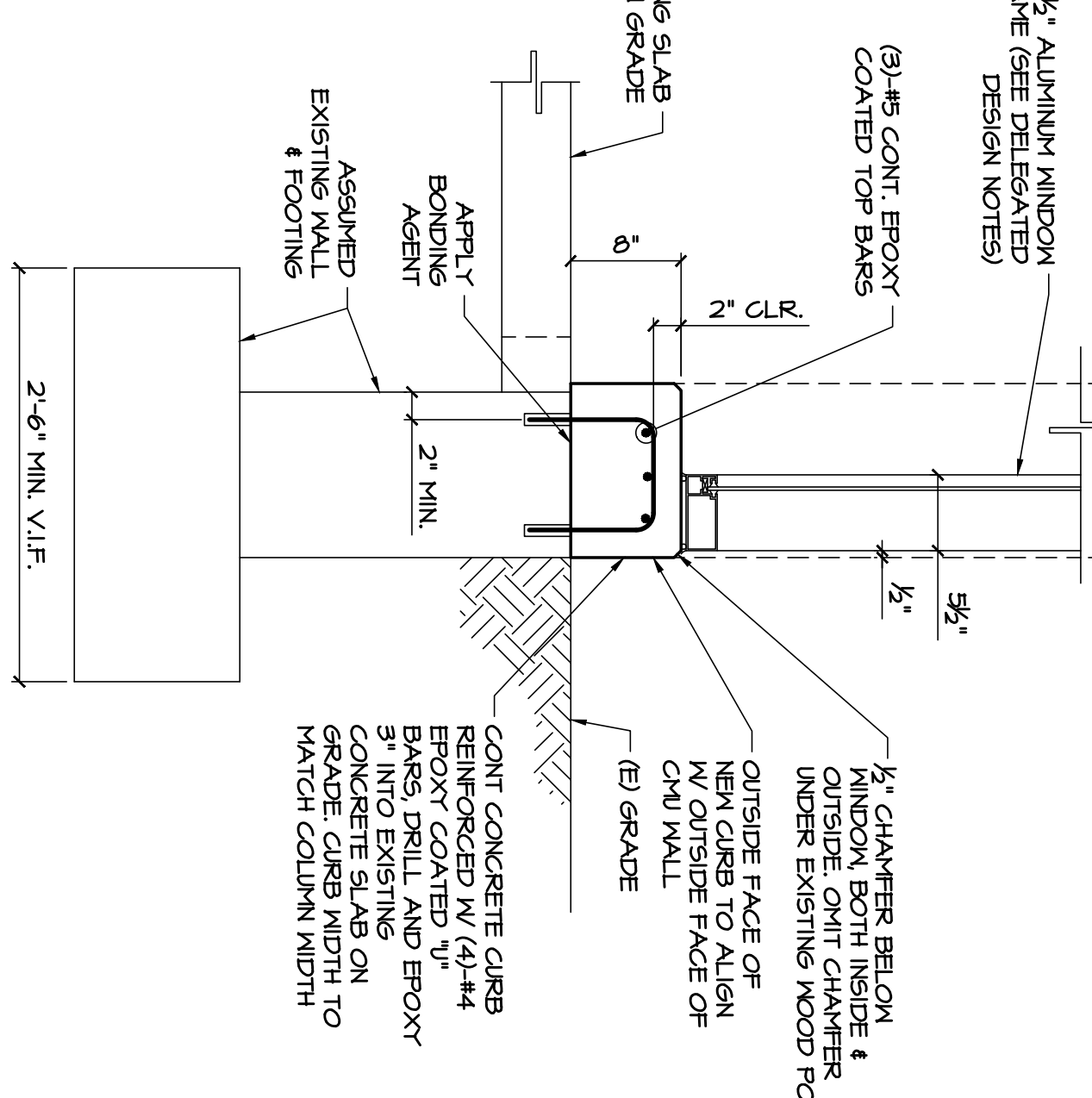
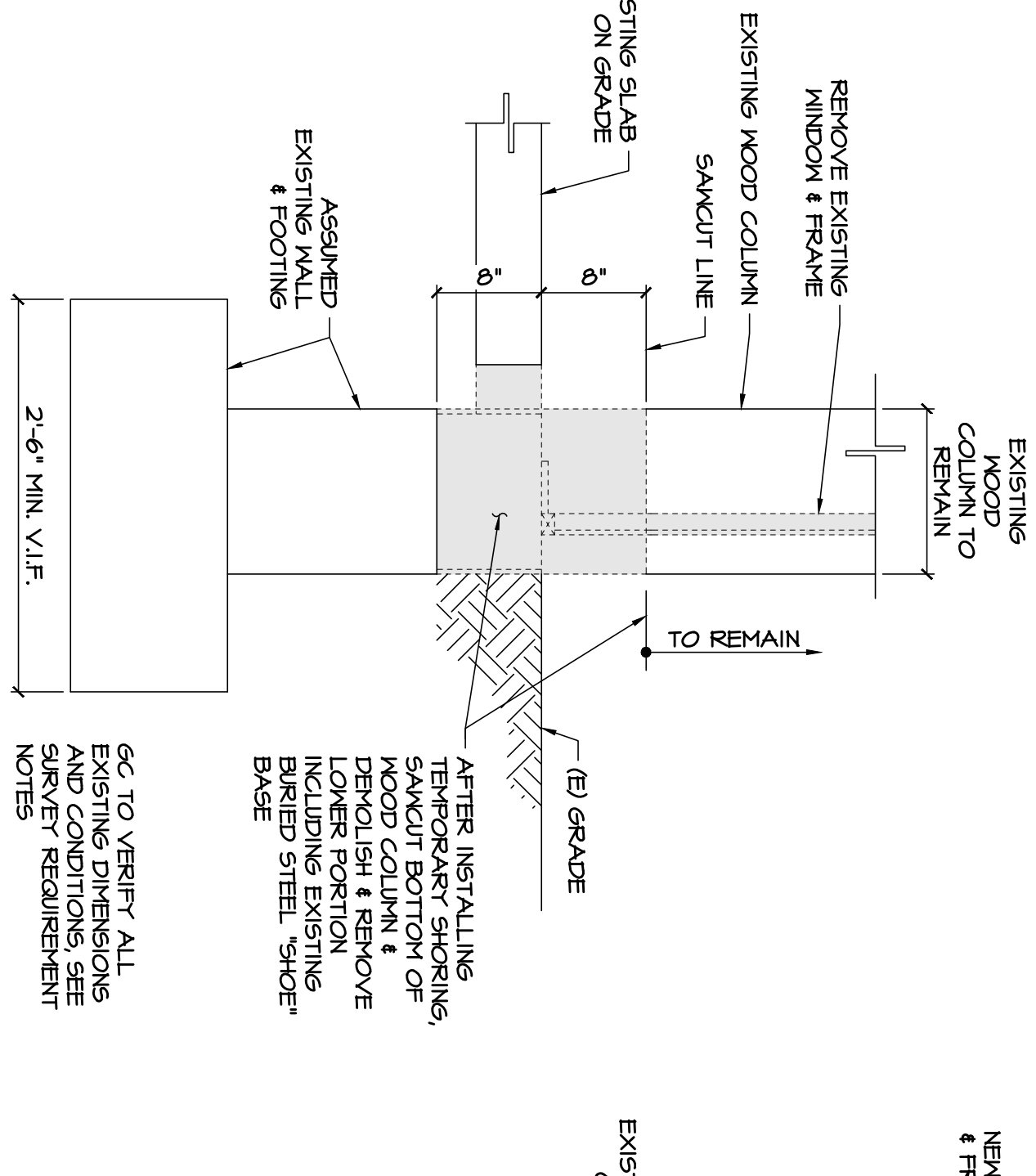
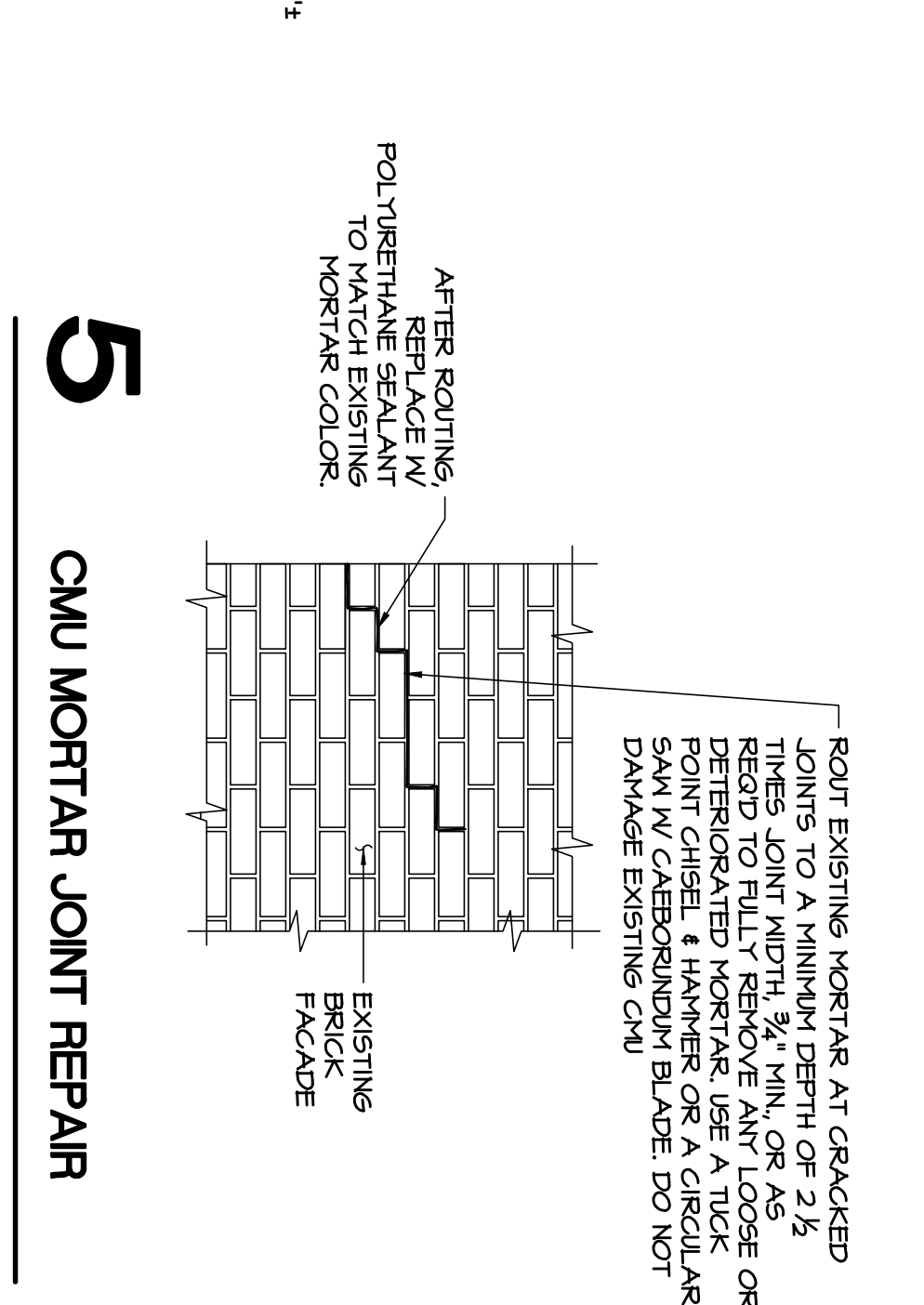
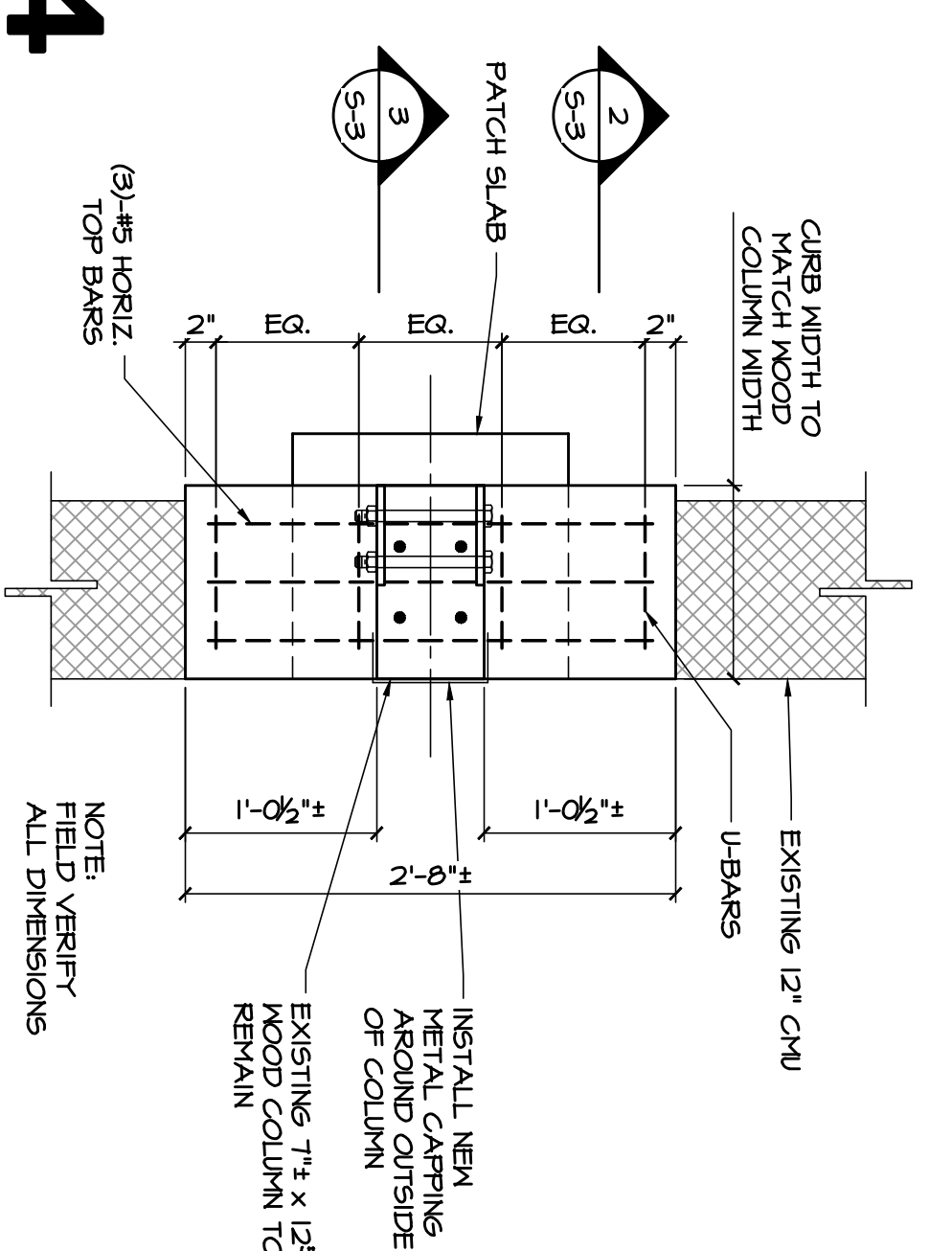
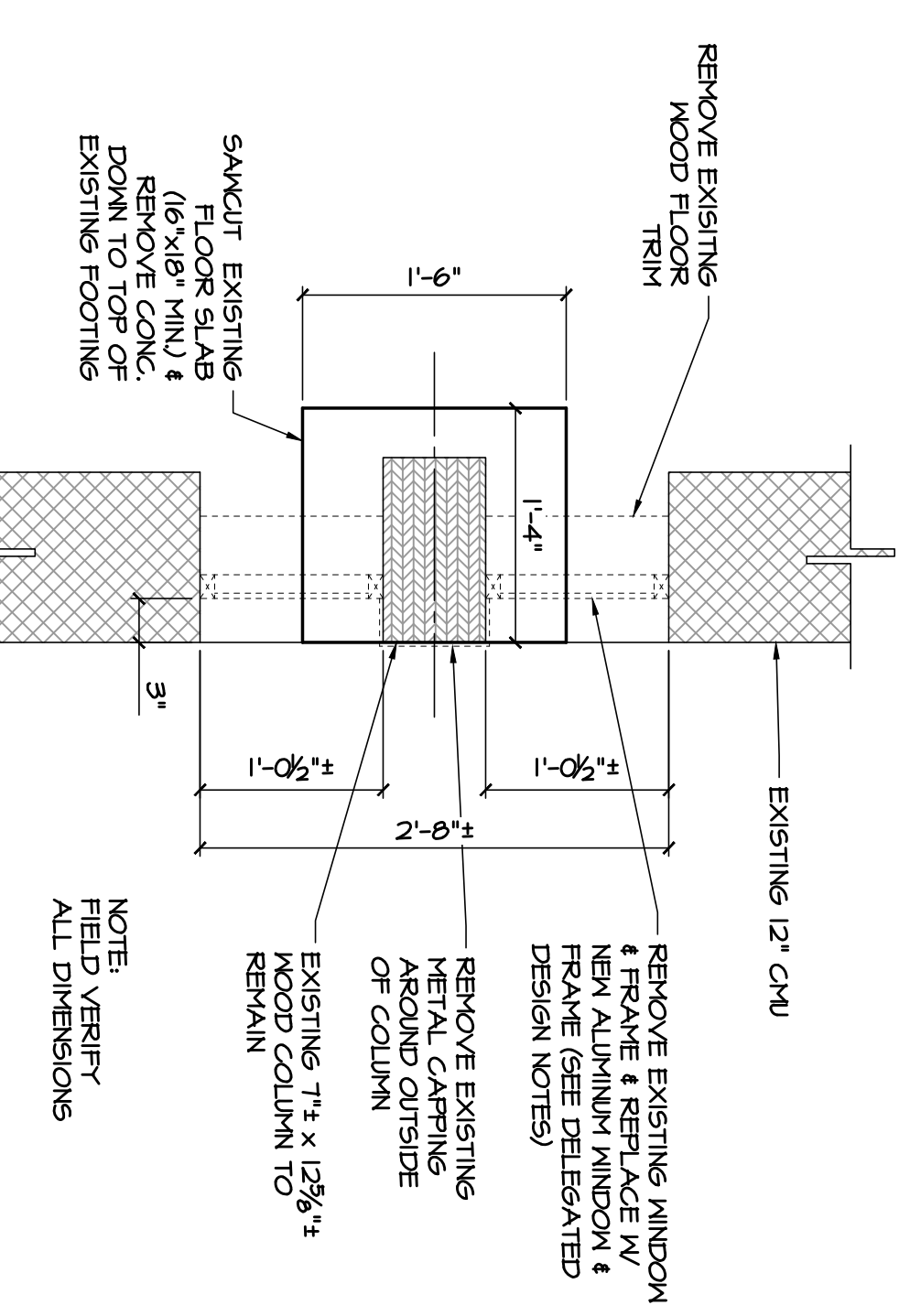
APPROVED BY: RES

SHEET 5 OF 6

**S-2**

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6 EXISTING CRACK REPAIR DETAIL SCALE: NTS

7 VERTICAL WALL SEALANT JOINT DETAILS SCALE: NTS

8 REMOVE AND REPLACE CMU FOLLOWING JOINT PATTERN BACK TO SOUND CMU AT ALL NEW 1/4\"/>

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**PFEIFFER COMMUNITY CENTER**  
**STRUCTURAL REPAIRS**  
 301 BLUE BELL ROAD  
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**SECTIONS AND DETAILS**  
 TOWNSHIP OF MONROE  
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