AERIAL VIEW

RS

SEPTEMBER 6, 2022

PREPARED FOR: **OWNER**

WILLIAMSTOWN, NJ 08094 **125 VIRGINIA AVE**

PROJECT-LOCATION LOCATION MAP

DRA WING INDEX

DRAWING NO

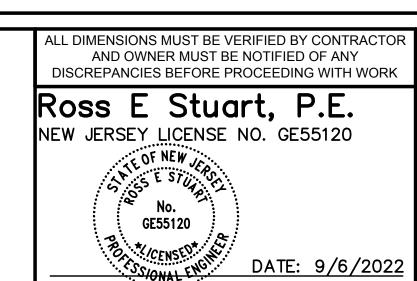
GENERAL CS S-01 S-02 S-1 S-2 S-3 COVER SHEET
GENERAL STRUCTURAL NOTES
GENERAL STRUCTURAL NOTES
FLOOR PLAN
BUILDING SECTION AND EXTERIOR ELEVATIONS
SECTIONS AND DETAILS

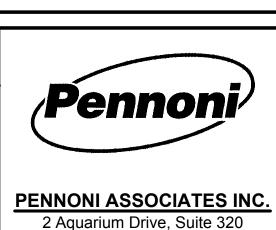
SHEET	C	APPROVED BY	DRAWN BY	DRAWING SCALE	DATE	PROJECT	ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.				
1 OF	S			AS		MTS	ED BY PENNONI, FAVICE IN RESPECTIVE IN RESPECTIVE IN RESPECTIVE OF RESEASED OF RESEASED WILL BE AND OF THE AND				
6		RES	0115	NOTED	9/6/2022	MTSPX20186	ASSOCIA CT OF T PRESET OTHER O	9/6/2022	1	ISSED FOR BID	RES/KGM
		:S	15	D	22	36	ATES HE VITED SON HER ATION HE RS RS RS SES SES	DATE	NO.	REVISIONS	BY

PFEIFFER COMMUNITY CENTER STRUCTURAL REPAIRS 301 BLUE BELL ROAD MONROE TOWNSHIP, NJ

COVER SHEET

TOWNSHIP OF MONROE 125 VIRGINIA AVE WILLIAMSTOWN, NJ 08094





Camden, NJ 08103

T 856.668.8600 NJ COA NO. GA280333300

ALL WORK SHALL CONFORM TO THE "2018 INTERNATIONAL BUILDING CODE" AND TO ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS. ALL SUBCODES REFERENCED IN THE GENERAL NOTES HEREAFTER ARE THE LATEST EDITIONS REQUIRED BY THE REFERENCED GOVERNING CODE. ALL CODES AND STANDARDS REFERENCED IN THESE NOTES INCLUDING SPECIFICATIONS REFERENCED WITHIN, AND ALL FEDERAL, STATE, AND LOCAL REGULATIONS APPLY TO THE DESIGN, CONSTRUCTION, DEMOLITION, QUALITY CONTROL, AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT. USE THE LATEST ADOPTED EDITIONS OF THE CODES AND STANDARDS. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES AND DETAILS, THE MOST RIGID REQUIREMENTS SHALL GOVERN. GENERAL STRUCTURAL AND CONSTRUCTION NOTES

WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED AND PROVIDED AT NO ADDITIONAL COST. MINOR DETAILS OR INCIDENTAL ITEMS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR A PROPER AND COMPLETE INSTALLATION, SHALL BE INCLUDED IN THE WORK.

JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL COSTS OF INVESTIGATION, REDESIGN AND/OR RE-INSTALLATION DUE TO CONTRACTOR IMPROPER INSTALLATION OF STRUCTURAL ELEMENTS OR OTHER ITEMS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.

'n

THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, ETC.) AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO FABRICATION OF ANY STRUCTURAL COMPONENT.

THE CONTRACTOR SHALL VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. FAILURE TO NOTIFY ENGINEER OF UNSATISFACTORY CONDITIONS.

Ġ

THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK ACCORDANCE MITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE IGINEER IMMEDIATELY AND PROVIDE A SKETCH OF THE CONDITION MITH HIS ROPOSED MODIFICATION OF THE DETAILS GIVEN ON THE CONTRACT DOCUMENTS.

O NOT COMMENCE WORK UNTIL CONDITION IS RESOLVED AND MODIFICATION IS PROVED BY THE ARCHITECT.

WHERE ALTERATIONS INVOLVE THE EXISTING SUPPORTING STRUCTURE, THE CONTRACTOR SHALL PROVIDE SHORING AND PROTECTION REQUIRED TO ENSURE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE.

THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, STAGINGS, BRACING, SHEETING, AND SHORING, ETC.

SHOP DRAMINGS FOR ALL STRUCTURAL MATERIALS TO BE SUBMITTED TO ENGINEER FOR REVIEW PRIOR TO THE START OF FABRICATION OR COMMENCEMENT OF WORK. REVIEW PERIOD SHALL BE A MINIMUM OF TWO (2) WEEKS.
REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.

 $\overline{\omega}$

OP DRAMINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL MHICH ALL CONSTITUTE CERTIFICATION THAT THE CONTRACTOR HAS VERIFIED ALL NSTRUCTION CRITERIA, MATERIALS, AND SIMILAR DATA AND HAS CHECKED EACH AMING FOR COMPLETENESS, COORDINATION, AND COMPLIANCE MITH THE NTRACT DOCUMENTS.

THE SHOP DRAMINGS SHALL INCLUDE DIMENSIONED FLOOR EDGES, OPENINGS AND SLEEVES AT ALL FLOORS REQUIRED FOR ALL TRADES.

THE DRAMINGS HAVE BEEN PRODUCED ENTIRELY ON PENNONI CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE MITHOUT THE AUTHORIZATION OF PENNONI ARE INVALID.

<u>ō</u>

্র

INSPECTION IS REQUIRED OF ALL CONSTRUCTION DELINEATED ON THE STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS. THE OWNER SHALL EMPLOY A TESTING/INSPECTION AGENCY WHICH SHALL PROVIDE PERSONNEL WITH THE FOLLOWING MINIMUM QUALIFICATIONS:

CERTIFIED BY INSTITUTE OF CERTIFIED ENGINEERING TECHNICIANS, OR OTHER RECOGNIZED COMPARABLE ORGANIZATION, AND,

FOR INSPECTION, SAMPLING, TESTING CONCRETE AND MASONRY: ACICERTIFIED CONCRETE FIELD-TESTING TECHNICIAN, GRADE I; AND CONSTRUCTION INSPECTOR, LEVEL II.

STRUCTURAL STEEL INSPECTION: AMS CERTIFIED MELDING INSPECTOR.

SUBMIT PERIODIC REPORTS MITHIN ONE BUSINESS DAY AFTER RECEIPT BY THE CONTRACTOR TO ENGINEER AND THE CONSTRUCTION CODE OFFICIAL DURING CONSTRUCTION. SUBMIT FINAL INSPECTION REPORT SUMMARY FOR EACH DIVISION OF MORK, CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER, THAT INSPECTIONS MERE PERFORMED AND THAT MORK MAS PERFORMED IN ACCORDANCE MITH CONTRACT DOCUMENTS.

 \overline{o}

THE OWNER SHALL ENGAGE A TESTING AGENCY TO PROVIDE TESTING SERVICES INDICATED IN EACH SECTION OF THESE GENERAL NOTES.

ALL MATERIALS SHALL BE STORED TO PROTECT THEM FROM EXPOSURE TO THE

<u>6</u>

ALL MATERIALS ELEMENTS.

CAST-IN-PLACE CONCRETE CONCRETE SHALL BE DESIGNED AND DETAILED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI-318), AND CONSTRUCTED IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE.

CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE 28-DAY STRENGTH OF 4,000 PSI. AIR ENTRAINMENT 4% TO 6% IN ALL EXPOSED CONCRETE MORK. MAXIMUM MATER/CEMENT RATIO OF 0.45.

PLOTSTYLE: —- PROJECT STATUS: -—

2.0

REINFORCING STEEL: ASTM A615 GRADE 60.

w 4 n

EPOXY COATED REINFORCING STEEL: ASTM A775

MELDED WIRE REINFORCEMENT: (MWR) ASTM A-185.
LEVELING GROUT SHALL BE NON-SHRINK, NON-METALLIC TYPE, FACTORY PRE-MIXED GROUT IN ACCORDANCE MITH CE-CRD-C621 OR ASTM CIO9, MITH A MINIMUM COMPRESSIVE 28-DAY STRENGTH OF 5,000 PSI.

PLOTTED: 9/2/2022 9:16 AM, BY: Kenneth Musser

REINFORCING : OTHERWISE: AS FOLLOWS UNLESS NOTED

3/4"	SLAB AND WALL REINFORCING NOT EXPOSED TO SOIL OR MEATHER
2	#6 BARS AND LARGER
- 1/2	#5 BARS AND SMALLER
	REINFORCING STEEL IN CONCRETE EXPOSED TO SOIL OR MEATHER
а	CAST AGAINST SOIL

U:\Accounts\MTSPX\MTSPX20186 - Pfeiffer Center\DESIGN\S\S-01.dwg

SPLICES IN REINFORCING STEEL SHALL BE MADE SPLICES ARE SHOWN ON THE STRUCTURAL DRAWI WHERE SPLICES HAVE BEEN DETAILED ON THE REDRAWINGS THAT HAVE BEEN REVIEWED BY THE SHALL BE CLASS "B" TENSION LAP SPLICES (SEE WHERE INDICATED OTHERWISE ON THE STRUCTURA COUPLERS CAPABLE OF DEVELOPING 125% OF TREINFORCING STEEL MAY BE USED INSTEAD OF TOWNER OF THE SPECIFICALLY INDICATED. STAGGER SPLICES WHE SPECIFICALLY INDICATED. STAGGER SPLICES WHE CLEAR SPACING BETWEEN REINFORCING STEEL A

 $\boldsymbol{\omega}$

				<u> </u>	60 KS			REINFORCING STEEL (FY)			
# -	- #	<i>t</i>					£		BAR SIZE		
	TOP BARS	OTHER BARS	TOP BARS	OTHER BARS	TOP BARS	OTHER BARS	TOP BARS	OTHER BARS	TOP BARS		BAR LOCATION
	5'-10"	3'-I"	4'-0"	2'-7"	3'-4"	2'- "	2'-8"	l'-6"	2'-0"	4 KSI	CONCRETE STRENGTH

PLICE LOCATION 2 DIAMETER

NOTES:

A. SPLICE LENGTHS SHOWN IN TABLE ABOVE ARE APPLICABLE FOR SPLICES: OCCURRING UNDER THE FOLLOWING CONDITIONS:

• GRADE 60 REINFORCING STEEL (U.N.O.)

• NORMAL WEIGHT CONCRETE

• MINIMUM BAR SPACING REQUIREMENTS:

• CLEAR SPACING BETWEEN BARS AT SPLICE LOCATION > DIAMETER AND CLEAR COVER TO BARS OCCURRING PER CODE SPACING WITHIN LENGTH OF SPLICE

• CLEAR SPACING BETWEEN BARS AT SPLICE > 2X BAR DIAMETER AND CLEAR COVER > BAR DIAMETER.

B. INDICATED SPLICE LENGTHS SHALL BE INCREASED BY THE FOLLOWING FACTORS WHERE THE FOLLOWING CONDITIONS OCCUR:

TARIF 9 REASED BY THE FOLLOWING ONS OCCUR:

TABLE 2	
CONDITION	SPLICE LENGTH
	MULTIPLIER
BAR SPACING OR CLEAR COVER LESS THAN REQUIRED PER NOTE #1	1.5
EPOXY COATED REINFORCING WITH COVER < 3X DIAMETER AND CLEAR SPACING < 6X DIAMETER	5
ALL OTHER EPOXY COATED BARS	-i

* WHERE MULTIPLE CONDITIONS OCCUR, API EACH OF THE APPLICABLE FACTORS TO TI TENSION LAP SPLICE LENGTHS TO OBTAIN REQUIRED SPLICE LENGTH.

ALL REINFORCEMENT SHALL BE SECURELY HEL CONCRETE. IF REQUIRED, ADDITIONAL BARS, 9 PROVIDED BY THE CONTRACTOR TO FURNISH 9

PROVIDE PLASTIC TIPPED BOLSTERS AND CHAIR CONCRETE SURFACE IN CONTACT MITH THE BOLS PLACING OF CONCRETE SHALL NOT START UNTIL HAS BEEN APPROVED BY THE INSPECTION AGENC BONDING AGENT SHALL BE USED WHERE NEW CONEXISTING CONCRETE. THE PLACEMENT OF REINFORCING

=

<u>ō</u>

ONCRETE IS PLACED AGAINST

EPOXY ADHESIVE SHALL BE USED WHERE DOW EXISTING CONCRETE. SUBMIT MANUFACTURER INFORMATION FOR ENGINEER REVIEW.

NO SLEEVE SHALL BE PLACED THROUGH ANY OTHE APPROVED SHOP DRAWINGS OR SPECIFIC STRUCTURAL ENGINEER.

PRIOR TO CONCRETE PLACEMENT, THE CONTRASTRUCTURAL ENGINEER FOR REVIEW, CONCRET ACCORDANCE WITH THE SPECIFICATIONS AND GENERAL NOTES. SUBMIT TO THE
S PREPARED IN
THE

ALL INSERTS AND SLEEVES SHALL BE CAST-IN-FIDRILLED OR POWDER DRIVEN FASTENERS WILL ISATISFACTION OF THE STRUCTURAL ENGINEER THE CONCRETE AND HAVE THE SAME CAPACITY CONCRETE SHALL NOT BE PUMPED THROUGH A PLACED IN CONTACT WITH ALUMINUM FORMS, M CONVEYORS OR OTHER EQUIPMENT MADE OF A UMINUM PIPES AND SHALL NOT BE XING DRUMS, BUGGIES, CHUTES, LUMINUM. PLACE WHENEVER FEASIBLE.

3E PERMITTED WHEN PROVEN TO THE HAT THE FASTENERS WILL NOT SPALL AS CAST-IN-PLACE INSERTS.

WHEN INSTALLING EXPANSION BOLTS OR ADHERSHALL TAKE MEASURES TO AVOID DRILLING OR REINFORCING AND DESTRUCTION OF CONCRETE PRIOR TO PLACING BOLTS OR ADHESIVE ANCH

 \overline{o}

<u>ā</u>

CONCRETE CORNERS

UNLESS NOTED OTHERWISE ON THE

CHAMFER / DRAWINGS. EARLY DRYING OUT OF CONCRETE, ESPECIALL BE CAREFULLY GUARDED AGAINST. ALL SURF PROTECTED USING A MEMBRANE CURING AGENT IS US REMOVED. IF MEMBRANE CURING AGENT IS US Y DURING THE FIRST 24 HOURS, SHALL ACES SHALL BE MOIST CURED OR I APPLIED AS SOON AS FORMS ARE ED, EXERCISE CARE NOT TO DAMAGE

COLD MEATHER CONCRETING SHALL BE IN ACCURDANTER CONCRETING SHALL BE IN ACCORDA CORDANCE WITH ACI-306. HOT NCE WITH ACI-305R.

2. THROUGHOUT CONSTRUCTION, THE CONCRETE WOR PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE EQUIPMENT, MATERIALS OR METHODS, ICE, RAIN, SEREEZING TEMPERATURES.

3. PREPARE CONCRETE TEST CYLINDERS FROM EACH BE PROPERLY CURED AND STORED. SAMPLE FROM ITH ASTM CIT2. ACH DAY'S POUR. CYLINDERS SHALL RESH CONCRETE IN ACCORDANCE 3E ADEQUATELY 5, CONSTRUCTION ESSIVE HEAT, AND

RATORY TO PROVIDE TESTING SI ASTM C231 OR C173, CYLINDER TO CYLINDERS FOR EACH 50 CUBIC ALL TESTS TO BE SUBMITTED TO RVICE. SLUMP PER ASTM 143 AIR ESTS PER ASTM C31 AND C39. ONE YARDS FOR EACH MIX USED. THE ARCHITECT.

MASONRY HAS BEEN DESIGNED IN ACCORDANCE REQUIREMENTS FOR MASONRY STRUCTURES (ACICONSTRUCTURED IN ACCORDANCE MITH THE SPECIESTRUCTURES (ACI 530.1/ASCE 6), EXCEPT MHERE GENERAL NOTES AND SPECIFICATIONS.

Ö

LOCATIONS WHERE SE LOCATIONS T SPLICES

AL SPLICE

THE

GROUT SHALL CONFORM TO ASTM C476 AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. SLUMP OF GROUT SHALL BE 8 TO 10 INCHE AND THE MAXIMUM AGGREGATE SIZE SHALL BE 3/8" (AGGREGATE GRADED TO PRODUCE FINE GROUT IN CONFORMANCE WITH ASTM C476 AND C404).

SOLID AND HOLLOW LOAD BEARING UNITS PER ASTM C90, TYPE N-1, AS REQUIRED PROVIDE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF MASONRY, F'M = 1,500 PSI, UNLESS NOTED OTHERWISE.

FULL BED AND HEAD JOINTS SHALL BE PROVIDED.

LAP SPLICES FOR DEFORMED REINFORCING BARS USED IN MASONRY CONSTRUCTION SHALL BE 50 BAR DIAMETERS.

FILL ALL CELLS IN TOP TWO COURSES BELOW BEAM BEARINGS SOLID WITH GROUT.

ALLATION ENVIRONMENT (DRY

SATURATED

CONCRETE;

PROCEDURE FOR THE SELECTED

ANCHOR

AN A

SIZE

RANGE

<u>-IN-PLACE CONCRETE ANCHORS</u> ALL HEADED CONCRETE ANCHORS SHALL BE MANUFACTURED FROM MATERIAL WHICH CONFORMS TO ASTM AIOB FOR LOW CARBON STEEL.

THE SPACING, MINIMUM EMBEDMENT, AND INSTALLATION OF IN ACCORDANCE WITH ACIBIO AND THE MANUFACTURER'S RPROCEDURES.

CONFORM TO ASTM AIOB

EXISTING REINFORCING BARS IN THE CONCRETE OR MASONRY MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS INDICATED ON THE STRUCTURAL DRAWINGS. UNLESS NOTED OTHERWISE, THE REINFORCING BARS MAY NOT BE CUT. THE CONTRACTOR SHALL REVIEW THE EXISTING STRUCTURAL DRAWINGS (IF AVAILABLE) AND SHALL TAKE STEPS TO LOCATE THE POSITION OF THE REINFORCING BARS AT THE LOCATIONS OF THE CONCRETE ANCHORS USING NON-DESTRUCTIVE TESTING (FERROSCAN, GPR, X-RAY, OR OTHER APPROVED METHOD).

CONTRACTOR 5
REQUIREMENTS I
CONSTRUCTION.

MODIFICATIONS EXISTING STRUC

TO THE CONTRACT DRAWINGS MAY BE REQUIRED, IF TURE IS NOT IN CONFORMANCE WITH THE EXISTING DRA

T DOES NOT INCLUDE THE REQUIRED SURVEY SUBMISSIONS, REI'S AND SHOP DRAWINGS.

HALL HOLD A PRE-CONSTRUCTION MEETING TO DISCUSS WITH STRUCTURAL ENGINEER PRIOR TO BEGINNING

	בעהבטואב בועכהטאט
SUBSTRATE	APPROVED SPECIFIED ADHESIVE AND ANCHOR
ORACKED AND	HILTI HIT-HY 200 SAFE SET SYSTEM WITH HAS-E ROD, HIT-Z ROD, OR REBAR PER ICC ESR-3187
CONCRETE	HILTI HIT-HY 500 V3 SAFE SET SYSTEM MITH HAS-E ROD, HIT-Z ROD, OR REBAR PER ICC ESR-3614
MASONRY	HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM MITH HAS-E ROD OR REBAR PER ICC

MORTAR SHALL CONFORM TO ASTM C270, TYPE M OR S. ALL PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE I. LIME SHALL CONFORM TO ASTM C207 AND MASONRY CEMENT SHALL CONFORM TO ASTM C91. ALL ANCHOR RODS, WASHERS, AND NUTS SHALL HAVE THE FOLLOWING CORROSION PROTECTIONS, UNLESS NOTED OTHERWISE:

MEATHER OR IN CONTA MENTS - MECHANICALLY MENTS - MECHANICALLY

CONTACT WITH I

IBER OR CORROSIVE

ORROSIVE CONDITION -

ATER OR EXTERIOR CORROSIVE ENVIRONMENTS

STAINLESS

HORIZONTAL JOINT REINFORCING: ASTM A82; 9-GAGE TRUSS-TYPE, GALVANIZED ROVIDE AND INSTALL TEMPORARY BRACING REQUIRED INSURING S IALLS DURING CONSTRUCTION AND UNTIL ERECTION OF ATTACHED RAMING IS COMPLETED.

PROVIDE GALVANIZED HORIZONTAL JOINT REINFORCEMENT IN ALL WALLS AND PARTITIONS AT 16"O.C. UNLESS OTHERWISE SHOWN OR NOTED. PROVIDE ONE (I) PIECE PREFABRICATED UNITS AT 8"O.C. AT ALL WALL CORNERS AND INTERSECTIONS.

 $\overline{\omega}$

SUBMIT GROUT MIX DESIGN AND MASONRY UNIT CERTIFICATIONS TO THE ARCHITECT FOR REVIEM.

GROUT PLACEMENT SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS BEEN APPROVED BY THE INSPECTION AGENCY.

ALLOW GROUT IN REINFORCED CMU WALLS TO CURE A MINIMUM OF 48 HOURS BEFORE IMPOSING CONCENTRATED OR OTHER LOADS FROM ABOVE.

ALL MASONRY WORK TO BE EXECUTED IN COLD MEATHER SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS FOR COLD MEATHER CONSTRUCTION FOUND IN THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-05/ASCE 5-05) AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1-05/ASCE 6-05) WITH THE FOLLOWING ADDITIONS: FOR ALL CONDITIONS WHEN TEMPERATURES FALL BELOW 40 DEGREES F, THE TEMPERATURE OF THE NEWLY LAID MASONRY OR NEWLY GROUTED MASONRY SHALL BE MAINTAINED ABOVE 32 DEGREES F FOR A MINIMUM OF 24 HOURS USING THE METHODS DESCRIBED IN ACI 530.1.

ALL WELDS SHALL BE MADE IN ACCORDANCE WITH THE STRUCTURAL WELDING ANSI/AWS DI.I, LATEST EDITION AND WITH THE RECOMMENDATIONS OF THE STUD MANUFACTURER.

EMBED

HILTI HAS-

HILTI HAS-E ROD SOLID MASONRY

MASONRY UNITS

- HILTI HAS-E ROD WITH MESH SCREEN TUBE - HOLLOW MASONRY

ALL POST-INSTALLED AND SPECIALTY ANCHORS, INSTALLATION, AND INSPECTIONS SHALL BE IN ACCORDANCE WITH ALL GOVERNING LOCAL MUNICIPAL REGULATIONS, ACI 318, IBC, RELEVANT ICC-ESR REPORTS AND ALL ANCHORS SHALL BE PREQUALIFIED PER ACI 355 TESTING.

ALL MECHANICAL AND EPOXY POST INSTALLED ANCHORS (IN CONCRETE OR MASONRY) ARE TO BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURE'S PRINTED INSTALLATION INSTRUCTION (MPII) AS INCLUDED IN THE ANCHOR PACKAGING AND THE APPLICABLE ICC-ESR REPORT INCLUDING, BUT NOT LIMITED TO, DRILL BIT TYPE AND SIZE, PROPER CLEANING AND HOLE PREPARATION, INSTALLATION TORQUE, EMBEDMENT DEPTHS, CONCRETE TEMPERATURE RANGES, CONCRETE AGE, MOISTURE CONDITION, ETC.

CONCRETE ANCH

MASONRY

ANCHORS IN ACCORDANCE WITH THE MPII.
I HIT-HY 200 IN CRACKED AND UNCRACKED CONCRETE
ION, UNLESS NOTED OTHERWISE ON PLANS AND DETAILS.
IS AN ACCEPTABLE SUBSTITUTION.

ĦĽŢ

S AND DETAILS FOR QUANTITY, ANCHOR TYPE, IENT DEPTH.

DIAMETER, AND

ORMATION NOT

INCLUDING BUT

HIT-HY 270 IN MASONRY AND MULTI-WYTHE CONSTRUCTION. PROPRIATELY SIZED SCREEN TUBES IN HOLLOM AND MULTI-WYTHE INSTRUCTION ONLY.

ANCHOR CAPACITY USED IN DESIGN SHALL BE BASED ON THE TECHNICAL DATA PUBLISHED BY HILTI OR SUCH OTHER METHOD AS APPROVED BY THE EOR. SUBSTITUTION REQUEST FOR ALTERNATE PRODUCTS MUST BE APPROVED IN WRITING BY THE EOR PRIOR TO USE. THE CONTRACTOR SHALL PROVIDE SIGNED AND SEALED CALCULATIONS, FROM A PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION, DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT IS CAPABLE OF ACHIEVING WILL BE EVALUATED BY THEIR HAVING AN ICC ESR SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE FOR SEISMIC USES, LOAD RESISTANCE, INSTALLATION CATEGORY AND AVAILABILITY OF COMPREHENSIVE INSTALLATION INSTRUCTIONS. ADHESIVE ANCHOR EVALUATION WILL ALSO CONSIDER CREEP, IN-SERVICE TEMPERATURE AND INSTALLATION TEMPERATURE.

DRILL AND GROUT/EPOXY REINFORCING BAR DOWELS AS SHOWN ON THE PLANS, DETAILS AND AS APPROVED. UNLESS NOTED OTHERWISE, EMBED BARS AS REQUIRED TO DEVELOP THE FULL TENSION CAPACITY OF THE BAR.

	ACHIBIVE ANCEONS
SUBSTRATE	APPROVED SPECIFIED ADHESIVE AND ANCHOR
CRACKED AND	HILTI HIT-HY 200 SAFE SET SYSTEM WITH HAS-E ROD, HIT-Z ROD, OR REBAR PER ICC ESR-3187
CONCRETE	HILTI HIT-HY 500 V3 SAFE SET SYSTEM MITH HAS-E ROD, HIT-Z ROD, OR REBAR PER ICC ESR-3614
MASONRY	HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM MITH HAS-E ROD OR REBAR PER ICC

EPOXY CARTRIDGES SHALL UTILIZE THE CORRECT MIXING NOZZLE AS THE MANUFACTURER. THE CONTRACTOR SHALL NOT RE-USE, MODIFY (REMOVE THE MIXING NOZZLE. S SUPPLIED BY

ALL EPOXY ANCHORS THAT ARE TO BE INSTALLED HORIZONTALLY OR UPWARDLY INCLINED (OVERHEAD) ARE TO BE INSTALLED UTILIZING THE HILTI "PISTON-PLUG" ACCESSORY, REGARDLESS OF THE EPOXY MANUFACTURER OR MODEL. USING AN EXTENSION TUBE AND RETAINING CAP IS NOT AN ACCEPTABLE METHOD AND SHALL BE REJECTED BY THE INSPECTOR.

SHEET

6

MTSPX20186

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

CTOR SHALL S. THE

AVAILABLE TO ANCHORING PRODUCTS BE AT THE THE CONTRACTOR E CONTRACTOR OR E PRESENT DURING AND APPROVE THE

NCE WITH THE

CED

Ross E Stuart, P.E. NEW JERSEY LICENSE NO. GE55120 TE OF NEW JEPO

DATE: 9/6/2022

NINCLINED
REORMED BY
D PERFORMANCE
ALLER
NTRACTOR SHALL

ANCHOR

PENNONI ASSOCIATES INC. 2 Aquarium Drive, Suite 320 Camden, NJ 08103 T 856.668.8600 NJ COA NO. GA28033300

Pennoni

9/6/2022 SSED FOR BID NO. BY DATE **REVISIONS**

MONROE TOWNSHIP, NJ **GENERAL STRUCTURAL NOTES**

PFEIFFER COMMUNITY CENTER

STRUCTURAL REPAIRS

301 BLUE BELL ROAD

125 VIRGINIA AVE

TOWNSHIP OF MONROE

WILLIAMSTOWN, NJ 08094

50 0.0 ARCHITECTURAL AND MEP FIELD VERIFY AND/OR ESTABLISH THE ALL EXISTING CONDITIONS, LOCATIONS, DIMENSIONS, ELEVATIONS, CONDITIONS, AND CLEARANCES OF EXISTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: ARCHITECTURAL ELEMENTS, INCLUDING EXISTING CONSTRUCTION AND FINISHES, AND MEP CONSTRUCTION INCLUDING HVAC EQUIPMENT, DUCTWORK, LIGHTING, ELECTRICAL, CONDUIT, DUCTWORK, AND PIPING WHICH MAY BE AFFECTED BY THE REPAIR WORK.

THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS REQUIRED TO PROTECT THE EXISTING CONSTRUCTION FROM DAMAGE DURING THE REPAIR WORK. IN THE EVENT THAT THE EXISTING CONSTRUCTION IS DAMAGED, THE CONTRACTOR SHALL RESTORE THE EXISTING CONSTRUCTION TO ITS ORIGINAL CONDITION. SHEETING, SHORING, AND ASSOCIATED EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH OSHA GUIDELINES. FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE "STEE CONSTRUCTION MANUAL", AMERICAN INSTITUTE OF STEEL CONSTRUCTION (LRFD) INCLUDING SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS, AND AISC CODE OF STANDARD PRACTICE. THE CONTRACTOR SHALL REVIEW THE EXISTING CONDITIONS IN THE FIELD PRIOR TO BIDDING. THE PRICE SUBMITTED FOR THE PROPOSED REPAIRS SHALL INCLUDE ALL COSTS ASSOCIATED WITH PROVIDING TEMPORARY SHORING AND PROTECTION, TEMPORARY AND/OR PERMANENT REMOVAL OR RELOCATION AND REINSTALLATION OF ARCHITECTURAL FINISHES, HVAC EQUIPMENT, DUCTWORK, PIPING, LIGHTING, CONDUIT, ETC, AS REQUIRED TO COMPLETE THE DESIGNATED REPAIRS. GUYS AND OTHER BRACING REQUIRED TO PROVIDE LATERAL STABILITY TO STEEL FRAME SHALL BE ADEQUATELY SIZED AND ANCHORED. THIS BRACING SHALL REMAIN UNTIL PERMANENT BRACING ELEMENTS AND ATTACHED CONSTRUCTION IS INSTALLED. VISUALLY INSPECT ALL FILLET WELDS. 10% OF ALL FIELD FILLET WELDS IN PRIMARY CONNECTIONS AND MULTI-PASS WELDS SHALL BE TESTED BY THE MAGNETIC PARTICLE METHOD, COMPLYING WITH EIOR, PERFORMED ON THE ROOT PASS AND ON THE FINISHED WELDS. FIELD WELDED EXPOSED GALVANIZED SURFACES WITHIN FOUR (4) INCHES OF WELD SHALL BE CLEANED AND GROUND SMOOTH. AFTER WELDING COAT THE EXPOSED AREA WITH GALVANIZING REPAIR PAINT. GALVANIZING REPAIR PAINT SHALL BE A HIGH ZINC DUST CONTENT PAINT COMPLYING WITH FEDERAL SPECIFICATIONS DOD-P-21035A OR SSPC-PAINT-20, COLD GALVANIZING COMPOUND BY ZRC PRODUCTS CO. OR EQUAL. FIELD WELDED SURFACES WITHIN FOUR (4) INCHES OF WELD SHALL BE CLEANED AND GROUND SMOOTH. AFTER WELDING COAT THE EXPOSED AREA WITH APPROPRIATE PRIMER/PAINTS AS SPECIFIED. EXISTING FRAMING REQUIRING WELDING SHALL BE THOROUGHLY CLEANED TO ENSURE PROPER WELDING. PROVIDE TEMPORARY SHORING WHEN WELDING TO EXISTING STEEL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING REQUIRED CLEARANCES FOR EXISTING EQUIPMENT, PIPING, DUCTWORK AND RELATED COMPONENTS. IF EXISTING MEP SYSTEMS ARE TO BE TERMINATED, CAPPED, OR CUT OFF, INSTALL CAP, VALVE OR PLUG AND SEAL REMAINING PORTIONS AS REQUIRED TO PROTECT EXISTING SYSTEMS AND CONSTRUCTION. REMOVE PORTIONS OF MEP SYSTEMS AS REQUIRED FOR THE REPAIR WORK PRIOR TO THE COMMENCEMENT OF REPAIRS. COORDINATE AND SCHEDULE THE TEMPORARY SHUT OFF AND/OR INTERRUPTION OF UTILITIES AND SERVICES AS REQUIRED WITH THE OWNER. STORE AND PROTECT EXISTING MATERIALS AS REQUIRED. REINSTALL MEP SYSTEMS AFTER COMPLETION OF REPAIR WORK, MATCHING ORIGINAL CONSTRUCTION. REPAIR OF REPLACE ANY DAMAGED MATERIALS OR CONSTRUCTION AND INSTALL NEW ANCHORS OR SUPPORTS AS REQUIRED. ALL DISSIMILAR METALS SHALL BE TREATED OR PROPERLY SEPARATED TO PREVENT GALVANIC AND/OR CORROSIVE EFFECTS. ALL STRUCTURAL STEEL AND FASTENERS SHALL BE HOT-DIPPED GALVANIZED PER ASTM AI23. ALL MELDING SHALL BE PERFORMED BY CERTIFIED WELDERS AND SHALL CONFORM TO "STRUCTURAL MELDING CODE ANSI/AMS DI.I", AMERICAN MELDING SOCIETY. COORDINATE WITH THE OWNER WHERE NECESSARY TO ADJUST, MOVE, OR RELOCATE EXISTING MEP SERVICES, LINES, OR UNITS AND APPURTENANCES LOCATED IN, OR AFFECTED BY THE REPAIR WORK. MATERIALS: WHERE EXISTING MEP SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE TEMPORARY BYPASS FOR SUCH SERVICES TO MINIMIZE NTERRUPTION OF SERVICES TO ADJACENT AND/OR OCCUPIED AREAS OF THE MELDING ELECTRODES (MINIMUM MELD SIZE SHALL BE 3/16" UNLESS NOTED OTHERWISE) STRUCTURAL SHAPES & PLATES: ALVANIZED STRUCTURAL BOLTS, FASTENERS AND HARDWARE PROVIDE SIGNED AND SEALED CALCULATIONS FOR ALL CONNECTION DESIGNS NOT INDICATED ON THE DRAWINGS. THE FABRICATOR IS RESPONSIBLE FOR THE SELECTION, DESIGN, AND DETAILING OF ALL CONNECTIONS NOT FULLY DETAILED IN THE CONTRACT DOCUMENTS. TYPICAL CONNECTION DETAILS HAVE BEEN INDICATED ON THE DRAWINGS FOR DESIGN INTENT ONLY. THE FABRICATOR SHALL HAVE A REGISTERED PROFESSIONAL ENGINEER LICENSED IN PROJECT'S JURISDICTION PREPARE AND/OR REVIEW THE CONNECTION DESIGNS PRIOR TO SUBMITTING THE SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL. THE INITIAL SHOP DRAWINGS SUBMITTAL SHALL INCLUDE PROPOSED CONNECTION DETAILS AND JOB STANDARDS. CALCULATIONS SHALL SHOW DESIGN CAPACITIES FOR ALL CONNECTIONS. SHOP DRAWINGS SHALL DIRECTLY REFERENCE CONNECTION DETAILS ON SUBMITTAL. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. HOWEVER, THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTANCE AND THE CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF SUCH ALTERNATE DETAILS WHICH HE PROPOSES. ALL BOLTED CONNECTIONS SHALL BE WITH ASTM A325 HIGH STRENGTH BOLTS 3/4" MINIMUM DIAMETER, UNLESS NOTED OTHERWISE. ALL BOLTS SHALL BE NOTED OTHERWISE IN CONTRACT DOCUMENTS OR CONNECTIONS SHALL BE "FRAMED BEAM CONNECTIONS" DESIGNED IN ORDANCE WITH THE AISC MANUAL FOR THE ULTIMATE FACTORED (LRFD) CTIONS SHOWN ON PLAN, BUT NOT LESS THAN 12 KIPS. MINIMUM TWO (2) I CONNECTIONS (REINFORCING BARS) ETOXX (FOR MANUAL ARC WELDING) FTX-EXXX (FOR SUBMERGED ARC WELDING) E90-XX ELECTRODE ASTM A325 HIGH STRENGTH BOLTS 3/4" MINIMUM DIAMETER, UNLESS NOTED OTHERWISE. ASTM A36, A572 OR A992. SPECIFICATION TEETS" BOLTS

> SPECIAL INSPECTIONS, TESTING AND OBS ERVATIONS

7.0

ACTING AS THE SPECIAL INSPECTION C RECORD (SER) WILL SUBMIT A STATEME BUILDING OFFICIAL AS REQUIRED TO CO OF THE 2018 INTERNATIONAL BUILDING INSPECTION AND MATERIAL TESTING WII SYSTEMS IN COMPLIANCE WITH THE APPL A STATEMENT OF RESPONSIBILITY FOR INDICATED BELOW. CIAL INSPECTION COORDINATOR, THE STRUCTURAL ENGINEER OF SUBMIT A STATEMENT OF SPECIAL INSPECTIONS (SSI) TO THE AS REQUIRED TO COMPLY MITH CHAPTER IT (SPECIAL INSPECTIONS) ATIONAL BUILDING CODE (IBC).

TERIAL TESTING MILL BE REQUIRED FOR THE FOLLOMING BUILDING ANCE MITH THE APPLICABLE REFERENCED CODE SECTION. SUBMITESPONSIBILITY FOR MIND OR SEISMIC SITES AND PROJECTS IF

DING SYSTEM, ELEMENT OR	INSPECTION
ONENT	REQUIRED
RETE	YES
	∀ ⊭6

UNLESS OTHERWISE NOTED, SPECIAL INSPECTIONS ARE OWNER FURNISHED AS REQUIRED BY CHAPTER IT OF THE IBC.

TO THE WORK FOR REQUIRED SPECIAL FREQUIRED SPECIAL INSPECTIONS AND

THE SER IS NOT RESPONSIBLE FOR CONSTRUCTION SITE SAFETY AND IS NOT REQUIRED TO INSPECT THE WORK FOR COMPLIANCE WITH OSHA REGULATIONS. AFTER COMPLETION OF THE WORK.

SHOP INSPECTIONS OF ANY APPROVED FABRICATORS MAY BE WAIVED BY THE BUILDING OFFICIAL OR SER. IF SHOP INSPECTIONS ARE WAIVED A FABRICATOR'S CERTIFICATE OF COMPLIANCE SHALL BE SUBMITTED TO THE SER.

SPECIAL INSPECTIONS AND TESTS

SPECIAL INSPECIAL INSPECTIONS AND TESTS

SPECIAL INS

SPECIAL INSPECTIONS AND TESTS WILL COMPLY WITH CHAPTER IT OF THE IBC TOGETHER WITH LOCAL AND STATE AMENDMENTS AND THE PROJECT SPECIFICATIONS.

SPECIAL INSPECTIONS WILL BE PROVIDED FOR EACH SYSTEM AND/OR MATERIAL. TESTING WILL BE PERFORMED BY AN APPROVED AND ACCREDITED AGENCY AND SUBJECT TO APPROVAL BY THE BUILDING OFFICIAL.

UNLESS OTHERWISE NOTED THE OWNER WILL SECURE AND PAY FOR THE SERVICES OF THE AGENCY TO PERFORM ALL SPECIAL INSPECTION AND ASSOCIATED TESTS.

THE SPECIAL INSPECTOR WILL OBSERVE THE INDICATED WORK FOR COMPLIANCE WITH THE APPROVED CONTRACT DOCUMENTS AND SUBMIT RECORDS OF INSPECTION. ALL DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR FOR CORRECTION.

ID TESTING REPORTS WILL BE SUBMITTED TO THE FICIAL AND OWNER WITHIN ONE WEEK OF TEST COMPLETION.

IN ADDITION TO THE SUBMISSION OF ONGOING INSPECTION REPORTS, THE APPROVED INSPECTION AND TESTING AGENCIES SHALL SUBMIT AN AGENT'S FINAL REPORT OF SPECIAL INSPECTIONS TO THE SER. THE SER WILL SUBMIT A FINAL REPORT OF VERIFICATION OF SPECIAL INSPECTIONS AFTER REVIEW AND APPROVAL OF THE AGENT'S FINAL REPORT OF SPECIAL INSPECTIONS AFTER COMPLETION OF THE WORK...

CONTINUOUS INSPECTION IS DEFINED AS FULL-TIME OBSERVATION OF MORK REQUIRING SPECIAL INSPECTION BY AN APPROVED SPECIAL INSPECTOR MHO IS PRESENT IN THE AREA MHERE THE MORK HAS BEEN OR IS BEING PERFORMED. PERIODIC INSPECTION IS DEFINED AS PART-TIME OR INTERMITTENT OBSERVATION OF MORK REQUIRING SPECIAL INSPECTION BY AN APPROVED SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA MHERE THE MORK IS BEING PERFORMED.

EQUIREMENTS OF IBC SECTION 1704.6 FOR

DELEGATED DESIGN / DEFERRED SUBMITTALS

ALL DESIGN REQUIREMENTS, LOADING, PERFORMANCE CRITERI, STANDARDS AND ANY OTHER APPLICABLE INFORMATION IS LONOTES, DESIGN DATA, PLANS, SECTIONS, DETAILS AND SPECIFIC DOCUMENTS) FOR THE DELEGATED DESIGN OF THE COMPONENT ON THIS PROJECT, THE CONTRACTOR ACCEPTS RESPONSIBILIT THE COMPONENTS DELEGATED BY THESE CONTRACT DOCUMENTHERE IS ADEQUATE INFORMATION SHOWN ON THE CONTRACT THE DELEGATED DESIGN. ITERIA, SUBMISSION
IS LOCATED IN THE GENERAL
ECIFICATIONS (CONSTRUCTION
ONENTS NOTED. BY BIDDING
IBILITY FOR THE DESIGN OF
JUMENTS AND ACCEPTS THAT
ACT DOCUMENTS TO PERFORM

A BID SUBMISSION THAT DOES NOT INCLUDE THE REQUIRED RESULT IN THE RELECTION OF ANY AND ALL CONSTRUCTION AND SHOP DRAWINGS.

THE ARCHITECTURAL AND STRUCTURAL DRAWINGS MAY SHOP DELEGATED DESIGN COMPONENTS, INCLUDING MINIMUM OR MAREQUIREMENTS (I.E. DEPTH, GAGE, LENGTH, SPAN OR SPACING ATTACHMENT METHODS. THESE DETAILS AND INFORMATION SCHEMATIC IN NATURE, AND ARE NOT INTENDED TO BE USED CONTRACTOR SHALL MAKE ALLOWANCES IN THEIR BID TO A OF THE ACTUAL ASSEMBLIES AFTER DELEGATED DESIGN IS

THE DESIGN OF DELEGATED COMPONENTS IS THE RESPONSIBIL CONTRACTOR'S ENGINEER, WHO MUST BE REGISTERED IN THE PALL SUBMITTALS SHALL BEAR THIS ENGINEER'S SEAL AND SIGN MUST BE QUALIFIED TO DESIGN THE DESIGNATED ASSEMBLY A DEMONSTRATE PRIOR EXPERIENCE WITH THE DESIGN OF THE A SHALL BE FOR GENERAL CONFORMANCE WITH THE PROJECT RINDICATED ON THE DRAWINGS AND IN THE GENERAL NOTES.

THE CONTRACTOR SHALL SUBMIT, FOR REVIEW, DRAWINGS AND ALL PERFORMANCE ASSEMBLIES IDENTIFIED BELOW.

CALCULATIONS FOR

DELEGATED DESIGNS SHALL ALSO BE SUBMITTED TO THE A JURISDICTION AS DEFERRED SUBMITTALS AS PART OF THE PROCESS. UTHORITY HAVING
PERMIT APPROVAL

BRACING, SHEETING, SHORING, ETC.: REQUIRED TO ENSINTEGRITY OF THE EXISTING BUILDINGS SHALL BE DESINE ENGINEER ENGAGED BY THE CONTRACTOR. DETAILED DRAWINGS SHALL BE PREPARED INDICATING ALL WOR SUBMIT THE SHOP DRAWINGS IN ACCORDANCE WITH THREQUIREMENTS.

MINDOWSTOREFRONT SYSTEMS AND RELATED CONNECTAKE INTO ACCOUNT ALL VERTICAL AND LATERAL LOYAPPLICABLE BUILDING CODES. BACK UP SYSTEM AND SPESIGNED FOR A MAXIMUM DEFLECTION OF 1/600 OF THE MHICHEVER IS LESS, AT THE APPLICABLE DESIGN MINDAPPLIED REDUCTION FACTORS. SHALL

DDITIONAL	DET.	DETAIL	NFO	INFORMATION	PROJ.	PROJECTION
NCHOR ROD	<u>D</u> .	DIAMETER	. <u>Z</u>		ar.	QUANTITY
でなっくにひ			ī <u>-</u>	ISOLATION JOINT) 70 1	TADUS, KISHK
YOUNG THE		DOUBLE SIDE ROD	<u> </u>			
A TERNATE	בל ה ה		۲ /۲ 2	Z II CNEW CN	K T T T T T T T T T T T T T T T T T T T	
THRICAN INSTITUTE OF	TT 20.	TACH FACE	Χ <i>7</i> 3	KNEE BRACE		REVISION
STEEL CONSTRUCTION	Σ	EACH WAY	KPa	KILOPASCAL	υς: Ξ:	SCHEDULE SCHEDULE
YERICAN SOCIETY FOR	ELEC.	ELECTRICAL	F	LIVE LOAD	SECT.	SECTION
ESTING AND MATERIAL	Ë	ELEVATION	E#	LONG LEG HORIZONTAL	SER	STRUCTURAL ENGINEER OF RECORD
RCHITECT; ARCHITECTURAL	ELEVIR	ELEVATOR	TT/	LONG LEG VERTICAL	S.F.	OTING
3ASE PLATE; BRG. PLATE	EMBIT	EMBEDMENT	<u> </u>	2101	SHT.	SHEET
3ASEMENT	ENGR.	ENGINEER	 סיי	LOW POINT	75 25	SHORT SLOTTED
HAM	EO.R.	ENGINEER OF RECORD	LBS.	POUNDS	<u>N</u>	SIMILAR
SHARING	EQ.	EQUAL	ΪΣ	LIGHTMEIGHT	SOE, SSOE	SUPPORT OF EXCAVATION, SHEETING &
OTH FACES	EQUIPT	EQUIPMENT	¥FZ.	MANUFACTURER		SUPPORT OF EXCAVATION
OTH SIDES	EXIST., EX.	EXISTING	<u> </u>	MANUFACTURER'S PRINTED	5.0.6.	SLAB ON GRADE
	п п - Х	TXTANGON CONT	ב ק	NSTALLATION INSTRUCTIONS	ης. ΤΑ.	STACE
COTTOM OF FOOTING	S II II		Σ <u>:</u> × .	MAXIMIX		STANDARD
	FT.	FEET	MH.	MITAL .	STL.	STEEL
ANTILEVER	ĦZ.	FINISH(ED)	AHCH'L	MICHANICAL	<u></u>	STEEL JOIST INSTITUTE
OLD FORMED METAL FRAMING	i <u>.</u>	FLANGE	I	METER	STIFFIX	STIFFENER
ENTER	11 K	FLOOR	mm	MILLIMETER.	STIR.	STIRRUP
HINTER LINE	Į,	FLOOR DRAIN	M.	ک	SYM.	SYMMETRICAL
LEAR	FT6.	FOOTING(S)	<u>⊀</u> 180.	MISCELLANEOUS	STRUCT.	
OLUMN OLUMN	FDN.	FOUNDATION	<u>국</u>	MOMENT CONNECTION	SUE.	SUBSURFACE UTILITY INVESTIGATION
CATANT	GALY.	GALVANIZED	Z S S S S S S S S S S S S S S S S S S S	NEAR SIDE		
	O.A.		Σ	-	년 등 등 등 등 등 등 등 등 등 등 등 등 등 등 등 등 등 등 등	ロミてのスピスコ
CNUTCH CANAGER	9.C.	OFFICE CONTRACTOR	XIO.	NOT IN CONTRACT	芸	
CNOXELL MADONAT ONL) ,	の大学とけ		NOT TO SCALE	1 7 7	TONGOT AND GROOVE
	9K.0.	GKA ING	? <u>5</u>		, g	
CONTROL CONSTRUCTION TOINT	# ? ? ? ? ? ? ? ? ? ? ? ? ? ? ? ? ? ? ?	HANDICAR TARE	; ; ;	ON CENTER FACE	T こ のこ	TOP OF SI AB: TOP OF STEE!
ONTINUOUS	10 K	HANGER	0 0		7/	
ONTRACTOR	ָב. סי	HIGH POINT	OPNG.	OPENING	-	TREAD
YLINDER	HORIZ.	HORIZONTAL	OSHA AH3O	OCCUPATIONAL SAFETY #	TYP.	_
	ij. <u></u>			HEALTH ADMINISTRATION	UNO.	UNLESS NOTED OTHERWISE
HAU LOAU	Ē. Ŧ		מודער.	TERTENDICULAR	∠∏₹	
STATE OF THE STATE	<u> </u>		, t	יייי לייייי הייייייייייייייייייייייייייי	\ 	
THYOLITON, DHYOLIUH	NC.	INCOXTOXA INC	i <u>- 1</u>		Σ	
			ט ת יי יי		Σ Σ Σ Σ	ב מ
			<u>.</u>		Σ Σ Τί Σ,	MILTER ANGE

9/6/2022

DATE

NO.

SSED FOR BID

BELDE BENEROLE BENERO

ASTM

U:\Accounts\MTSPX\MTSPX20186 - Pfeiffer Center\DESIGN\S\S-01.dwg

PATCH, REPAIR, OR REPLACE EXISTING CONSTRUCTION AND MATERIALS DISTURBED DURING REPAIR MORK OR OTHER CONSTRUCTION ACTIVITIES. ALL REPAIR OR REPLACEMENT SHALL MATCH ADJACENT EXISTING QUALITY, FINISHES, AND MATERIALS

SHEET

유

6

PLOTSTYLE: -- PROJECT STATUS: --

PLOTTED: 9/2/2022 9:16 AM, BY: Kenneth Musser

RES/KGN BY REVISIONS

PFEIFFER COMMUNITY CENTER STRUCTURAL REPAIRS 301 BLUE BELL ROAD

MONROE TOWNSHIP, NJ

GENERAL STRUCTURAL NOTES

TOWNSHIP OF MONROE 125 VIRGINIA AVE WILLIAMSTOWN, NJ 08094

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK Ross E Stuart, P.E. NEW JERSEY LICENSE NO. GE55120 COF NEW JEP

DATE: 9/6/2022



Camden, NJ 08103 T 856.668.8600 NJ COA NO. GA28033300

