

BIG BROTHERS BIG SISTERS OFFICE RENOVATION

General Notes

1. Verify existing conditions and dimensions and review the drawings prior to bidding. Work shall be performed in accordance with these plans, including but not limited to the following notes:
2. All construction shall be in accordance with applicable local and state regulations, building codes, ordinances and good construction practices. If the Contractor feels a conflict exists between what is considered good construction practice and these plans, he shall state in writing all objections prior to submitting quotations.
3. Maintain the stability and integrity of existing structures and the protection of adjacent property and public until completion of the work.
4. Bring to the attention of the Owner any deleterious conditions discovered where not previously identified.
7. Submit all alternate materials, methods of construction details to the Owner for approval, prior to submitting quotations.
8. Contractor is responsible for the accuracy of all measurements, estimates of material quantities and sizes, and site conditions that will affect work.

Construction Notes

LEAVE THE CONSTRUCTION SITE IN A SAFE AND SECURE CONDITION AT THE END OF EACH WORK DAY. REMOVE ALL DEBRIS AND RUBBISH FROM THE SITE AT FINISH OF PROJECT OR WHEN IT BECOMES EXCESSIVE. PROTECT ALL STORED EQUIPMENT AND MATERIALS FROM WEATHER AND VANDALISM. PROVIDE SECURITY FENCING AT CONTRACTOR'S OPTION.

PROVIDE TEMPORARY STABILIZATION OF SOIL ON SITE AND ADJACENT TO THE WORK AREA. PROVIDE CLEAN FILL, TOPSOIL, FERTILIZER, SEEDING AND MULCHING FOR THE REGRADED AREAS.

PROTECT ALL SERVICE LINES, UTILITIES, TREES, SHRUBS, ETC., SCHEDULED TO REMAIN ON THE SITE. COORDINATE CHANGES TO UTILITIES WITH UTILITY COMPANIES.

EXCAVATE TO DEPTH REQUIRED. AVOID OVER-EXCAVATION. NO LOOSE BACKFILL IS ALLOWED AT FOUNDATIONS AND SLABS.

FRAMING LUMBER TO BE MINIMUM #2 STRUCTURAL GRADE HEM - FIR WITH A REPETITIVE VALUE OF FB - 1150 PSI AND E= 1.4X10⁶. PLATES, BLOCKING, NAILERS, ETC SHALL BE UTILITY GRADE. ROUGH CARPENTRY SHALL COMPLY WITH AMERICAN LUMBER STANDARDS FOR SOFTWOOD FRAMING. MOISTURE CONTENT SHALL BE 19% OR LESS AT TIME OF INSTALLATION. DO NOT USE WET OR WARPED LUMBER. STRUCTURAL WOOD EXPOSED TO WEATHER SHALL BE PRESERVATIVE-TREATED. PROVIDE SIMPSON OR TECO TYPE HANGERS TO SUPPORT ALL SUPERIMPOSED LOADS.

DOUBLE WALL STUDS AT ALL HEADERS AND BEAM BEARING POINTS. A MINIMUM OF 3-1/2" SUPPORT SHALL BE PROVIDED FOR ALL ITEMS TO BE ANCHORED OR HUNG ON STUD WALLS.

SEAL ALL EXTERIOR JOINTS AT DOORS, UTILITY PENETRATIONS, AT MEETING WALLS, FLOORS, ROOFS AND SILL PLATES. SEAL AND INSULATE AREAS OF AIR INFILTRATION , EXCEPT WHERE VENTILATION IS DESIRED.

ALL BUILDING INSULATION SHALL COMPLY WITH U.L. 25 SPECIFICATIONS.

PROVIDE FLASHING WHERE CONCRETE COMES IN CONTACT WITH WOOD FRAMING, WALL FLASHING, BASE, CAP, THRU-WALL AND/OR COUNTER FLASHING, ETC., TO BE PROVIDED AS REQUIRED TO PREVENT THE ENTRANCE OF WATER OR MOISTURE.

PROVIDE VENTILATION AS INDICATED USING CONTINOUS SOFFIT VENTS ON TWO SIDES. PROVIDE INSECT SCREENING AT ALL VENTS.

ALL INTERIOR FINISHES SHALL HAVE AN APPROVED FLAME SPREAD RATING OF 25 OR LESS AND SMOKE GENERATION FACTOR OF 450 OR LESS.

PAINT ALL EXTERIOR WOODWORK WITH PRIMER AND TWO COATS FINISH SEMI-GLOSS EXTERIOR PAINT. BACK PRIME EXTERIOR WOODWORK.

FINISH INTERIOR WOOD TRIM WITH PRIMER AND TWO COATS LATEX PAINT. TAPE, SPACKLE AND SAND GWB WALLS AND CEILING. FINISH WITH SEALER AND PRIMER AND TWO COATS LATEX FLAT PAINT.

ELECTRICAL INFORMATION IS DIAGRAMMATIC; BUILDER IS TO PROVIDE ADDITIONAL DESIGN INFORMATION FOR THOSE SUBCODE PERMITS.

CONSEAL PIPING AND CONDUITS WITHIN WALLS AND/OR CEILINGS IN ALL FINISHED AREAS, WHERE APPLICABLE.

PROVIDE ELECTRICAL POWER ROUGH-IN AND LIGHTING CONTROL WIRING AND DEVICES AS REQUIRED.

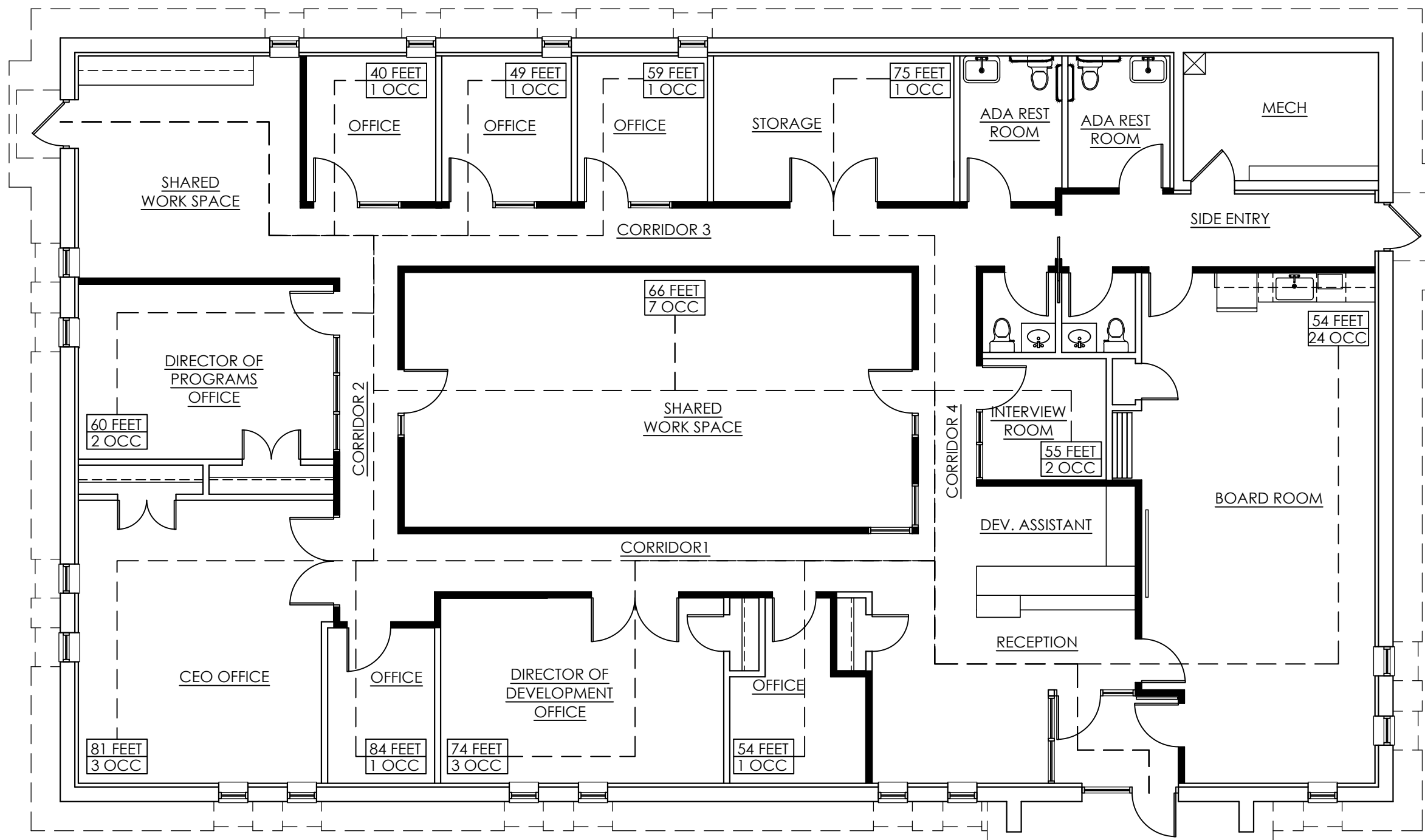
1 HR FIRE RATED WALL UL U419

Gypsum Board - 5/8 in. thick gypsum board applied horizontally or vertically
Steel Studs -3-5/8 in. deep 25 ga. spaced max. 24 in. OC
Batts and Blankets -Min. 3 in. thick mineral wool batt insulation
Gypsum Board -5/8 in. thick gypsum board applied horizontally or vertically



FIRE RATED WALLS KEY

SCALE: NTS



EGRESS PLAN

SCALE: 1/8" = 1'

Sheet List

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FU1.1	FURNITURE PLANS

Code Summary

BUILDING CODE SUMMARY				
INTERNATIONAL BUILDING CODE 2021, NEW JERSEY EDITION NJ UNIFORM CONSTRUCTION CODE NJ BARRIER FREE SUBCODE (REFERENCES ANSI I 117.1 - 2017) 2021 NATIONAL STANDARD PLUMBING CODE 2020 NATIONAL ELECTRIC CODE 2021 INTERNATIONAL FUEL GAS CODE 2021 INTERNATIONAL MECHANICAL CODE ASHRAE 90.1-2009				
SUMMARY	RENOVATION			REFERENCE
USE GROUP	B BUSINESS			IBC CHAPTER 3
CONSTRUCTION TYPE	IIIB - EXTERIOR WALLS NON-COMBUSTIBLE, INTERIOR ELEMENTS ANY PERMITTED BY CODE			IBC 602.2
FIRE PROTECTION SYSTEM	AUTOMATIC SPRINKLER SYSTEM: NOT REQUIRED MANUAL FIRE ALARM SYSTEM: NOT REQUIRED			IBC 903.2 IBC 907.2.2
MAXIMUM HEIGHT ALLOWABLE (NOT SPRINKLERED)	B: 55', 3 STORIES			IBC 504.4
ACTUAL HEIGHT	ACTUAL STORIES: LESS THAN 55', 1 STORY			
MAXIMUM AREA ALLOWABLE	B: 19,000 SF			IBC 506.2
ACTUAL AREA	FIRST FLOOR: 4,789 SF			
BUILDING OCCUPANCY LOAD	FUNCTION	OCCUPANT LOAD FACTOR	FUNCTION SF	REQUIRED MAX OCCUPANT #
	BUSINESS	100 GROSS	4,789 SF	47 PEOPLE
	TOTAL		4789 SF	47 PEOPLE
PLUMBING FIXTURE REQUIREMENTS WATER CLOSET LAVATORY DRINKING FOUNTAIN SERVICE SINK	B BUSINESS (47 OCCUPANTS) 2 M, 2 F 1 M, 1 F 1 PER 100 1 PER FLOOR			NSPC 7.21.1
MINIMUM NUMBER OF EXITS	B: (1) EXIT PERMITTED WITH 49 OCCUPANCY MAX PLUS 100' TRAVEL DISTANCE MAX.			IBC 1006.2.1
EXIT ACCESS SEPARATION (NOT SPRINKLERED)	1/4 THE DIAGONAL LENGTH OF THE BUILDING (MEASURED FROM ANY POINT ON DOORWAY) DIAGONAL LENGTH: 102'-7"; REQUIRED SEPARATION: 51'-3 1/2" PROVIDED SEPARATION: 89'-0"			IBC 1007.1.1
MAX. DISTANCE TO EXITS	B: 200' (NOT SPRINKLERED)			IBC 1017.2
CORRIDOR WIDTH	36" MIN (OCCUPANT LOAD LESS THAN 50)			IBC 1020.3
STAIR WIDTH	N/A			IBC 1011.2
FIRE RATING: CORRIDOR B USE	1 HR (NOT SPRINKLERED)			IBC 1020.2
DEAD END CORRIDOR	B USE: 20' MAX (NOT SPRINKLERED)			IBC 1020.5
ACCESSIBLE MEANS OF EGRESS	(2) REQUIRED			IBC 1009.1
ELEVATOR	NOT REQUIRED (4 STORIES OR LESS)			IBC 1009.2.1



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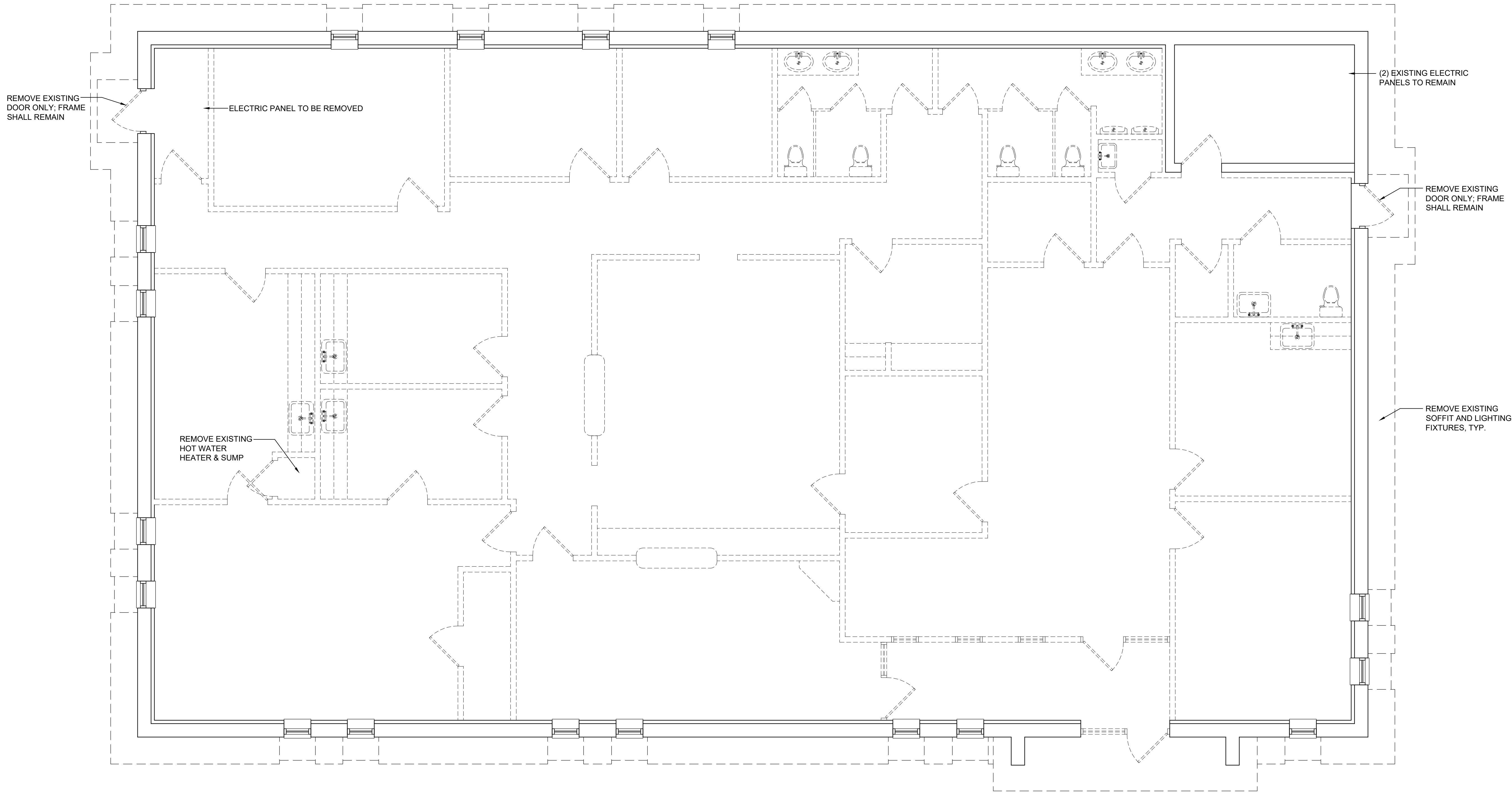
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Date	Issue
01/16/23	Issue for Permit

Project Number: 22-012
Sheet Name:
CODE SHEET & EGRESS PLAN

Sheet Number:

CS.1
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1
D1.1 DEMO FLOOR PLAN
SCALE: 1/4" = 1'

DEMOLITION NOTES

- ALL INTERIOR PARTITIONS, FLOORING AND CEILING TO BE REMOVED.
- EXTERIOR WALL PERIMETER DRYWALL, FURRING STRIPS, AND INSULATION SHALL BE INSPECTED BY THE GC AND REPLACED IF REQUIRED.
- EXISTING CONDITIONS ILLUSTRATED AS OF AUGUST 2022. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS FOR SIZES, QUANTITIES, AND LOCATIONS. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY.
- ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- IN AREAS OF WORK, AT EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
- ALL EXISTING WALLS SHALL BE REPAINTED AS SCHEDULED.
- CONTRACTOR RESPONSIBLE FOR PREPARING WALLS AND MINOR PATCHING (IN ADDITION TO SPECIFIC PATCHING AS NOTED). ALL EXISTING DOOR FRAMES SHALL BE REPAINTED. PREPARE EXISTING FRAMES PRIOR TO PAINTING.
- GC SHALL COORDINATE WITH MECHANICAL CONTRACTOR AND ELECTRICAL CONTRACTOR TO DETERMINE THE EXTENT OF DEMOLITION AS THOSE DISCIPLINES ARE DESIGN/BUILD
- REMOVAL OF EXISTING PLUMBING FIXTURES AND EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION.
- ALL DRAINED PIPING RISERS AND MAINS SHALL BE REFILLED WITH PROPER FLUID AND PROPERLY VENTED BY THIS CONTRACTOR, ONCE NEW WORK HAS BEEN INSTALLED.
- EXISTING PIPING AND EQUIPMENT, ETC., NOT TO BE UTILIZED IN THE COMPLETED BUILDING SHALL BE DISCONTINUED OR REMOVED AS REQUIRED. ALL ENDS OF DISCONTINUED PIPING SHALL BE CAPPED IN THE NEAREST WALL, CEILING OR FLOOR SO THAT THEY ARE COMPLETELY CONCEALED. OPENINGS LEFT IN WALLS, CEILINGS, ETC., WHERE

DEMOLITION NOTES (CONT'D)

- EQUIPMENT AND PIPE, ETC., ARE REMOVED AND NOT REPLACED, SHALL BE PATCHED NEATLY WITH SIMILAR MATERIAL TO ADJACENT CONSTRUCTION.
- EXISTING PIPING, FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
 - ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
 - WHERE EXISTING PIPING AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE.
 - ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY DISPOSED OF.



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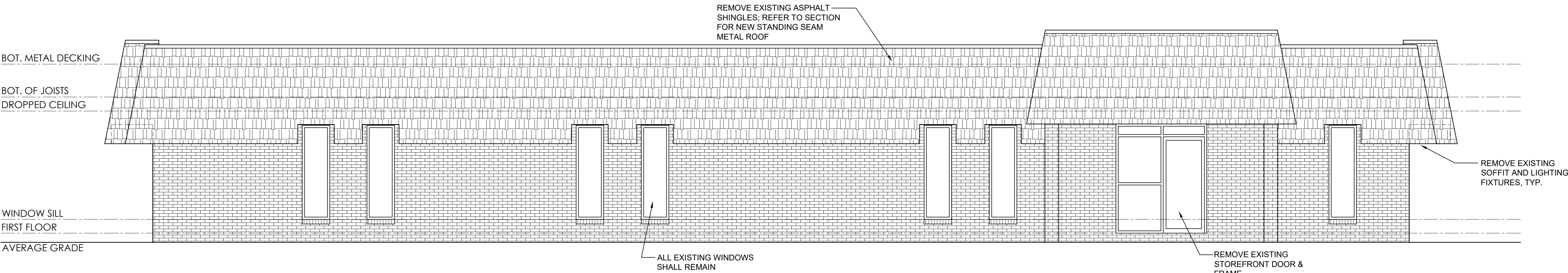
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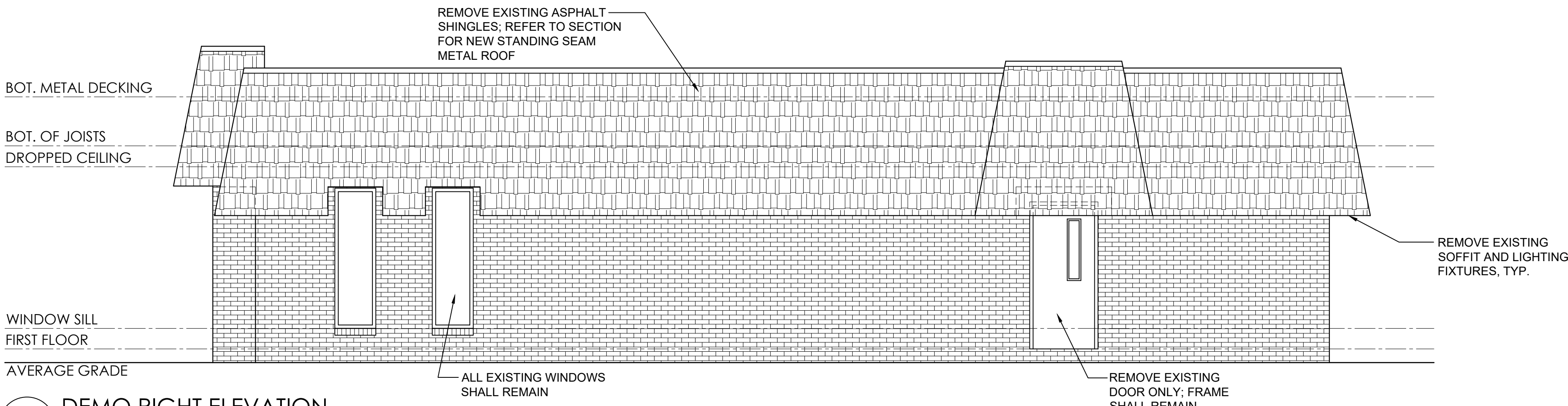
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DEMO PLAN

Sheet Number:

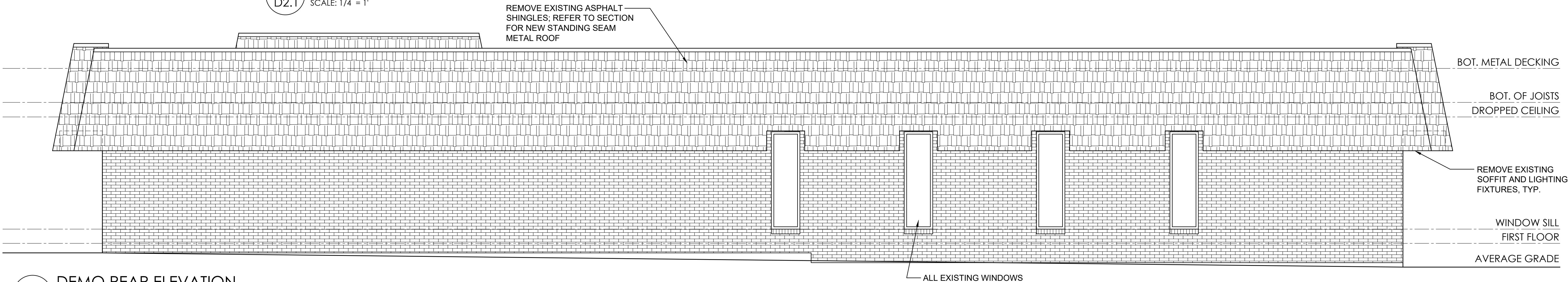
D1.1



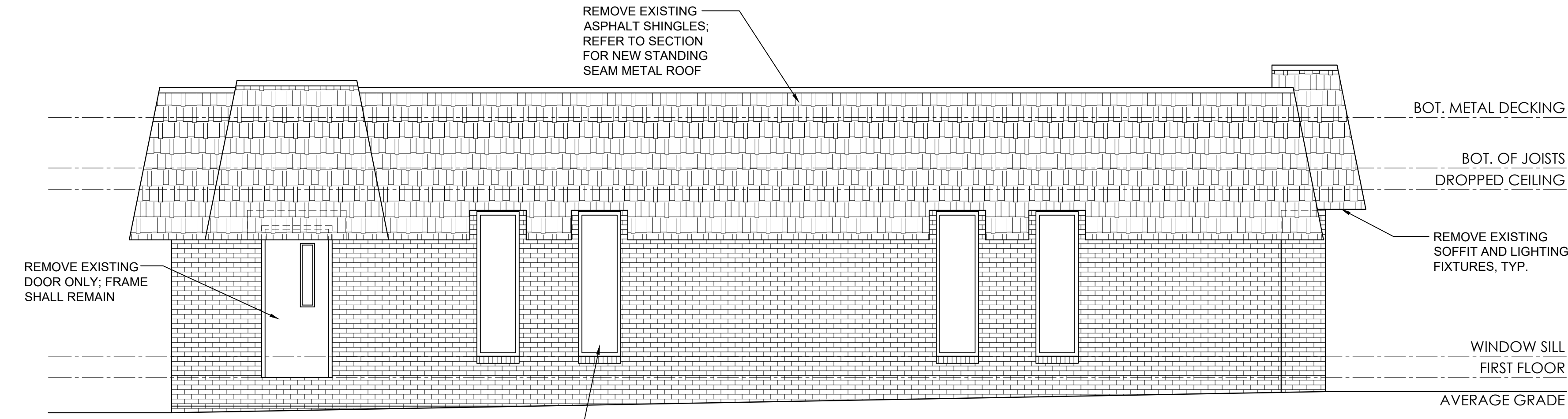
1 DEMO FRONT ELEVATION
D2.1 SCALE: 1/4" = 1'



2 DEMO RIGHT ELEVATION
D2.1 SCALE: 1/4" = 1'



3 DEMO REAR ELEVATION
D2.1 SCALE: 1/4" = 1'



4 DEMO LEFT ELEVATION
D2.1 SCALE: 1/4" = 1'



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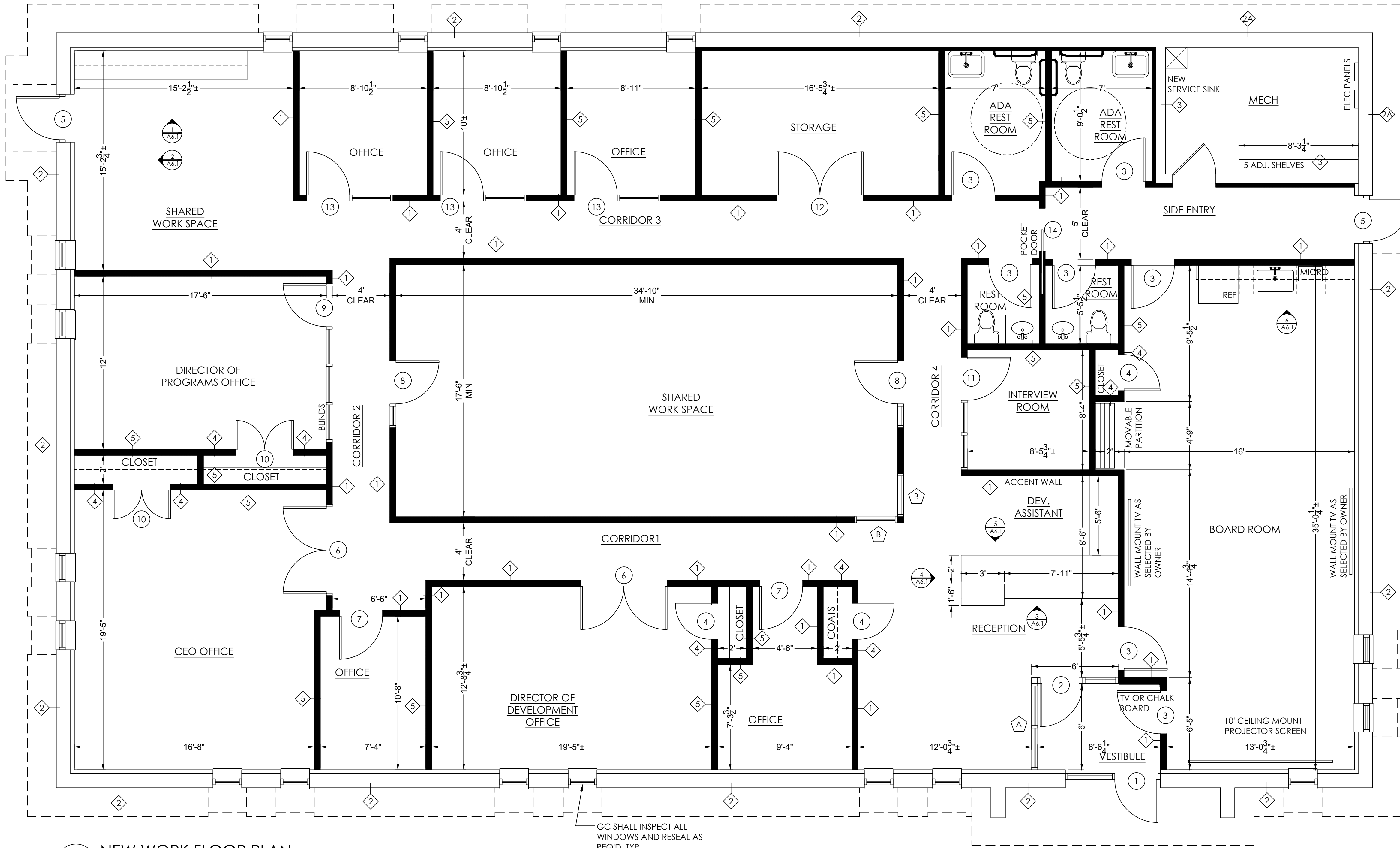
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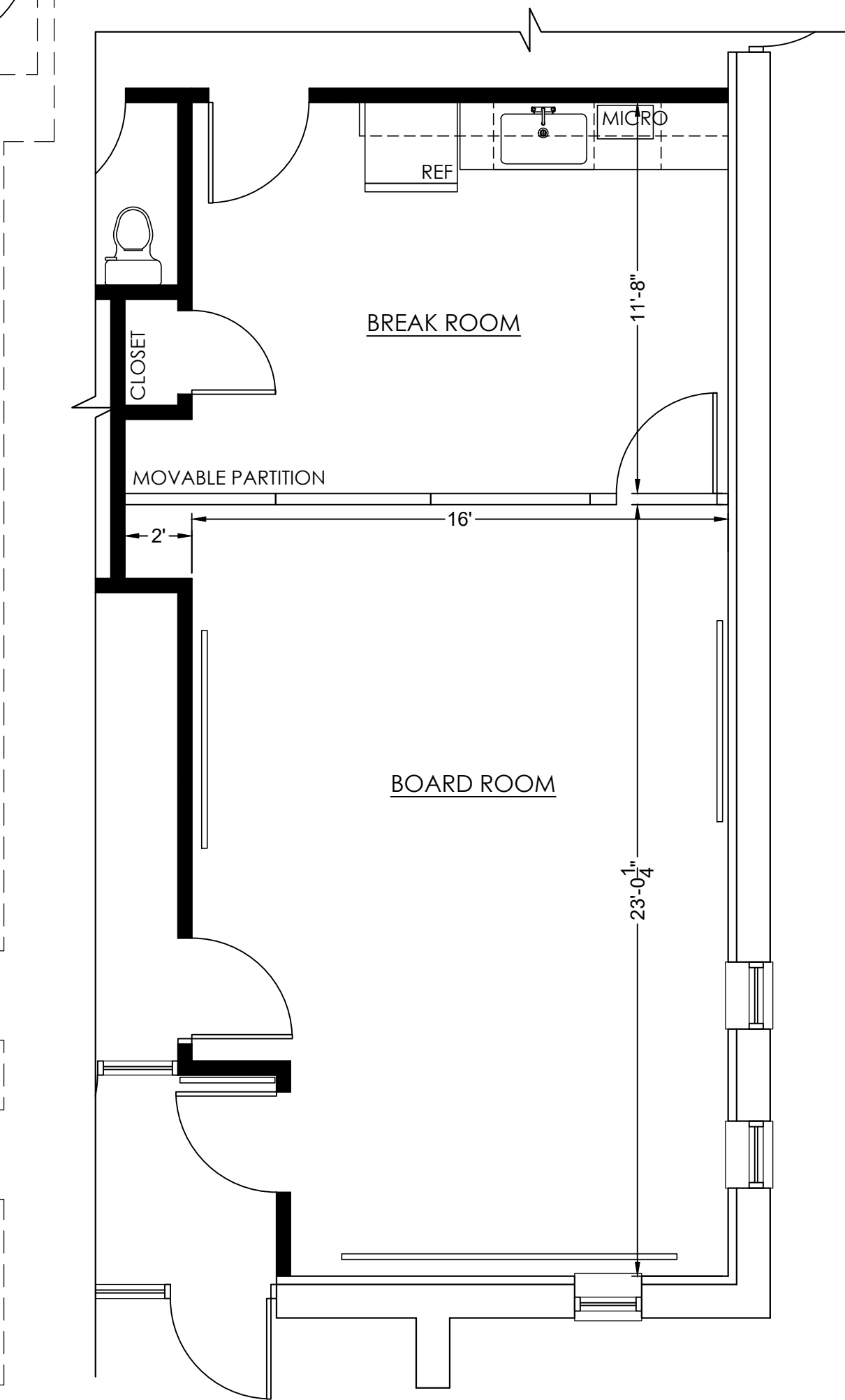
Sheet Name:
DEMO ELEVATIONS

Sheet Number:

D2.1



1
A1.1 NEW WORK FLOOR PLAN
SCALE: 1/4" = 1'



2
A1.1 PARTIAL FLOOR PLAN: PARTITION CLOSED
SCALE: 1/4" = 1'

WALL SCHEDULE (REFER TO A5.1)

- 1 CORRIDOR:
1 HR FIRE RATED UL U419
- 2 EXISTING EXTERIOR:
EXISTING BRICK ON CMU WITH FURRING STRIPS,
- 2A EXISTING EXTERIOR:
EXISTING BRICK ON CMU
- 3 MECHANICAL ROOM
EXISTING CMU W/ NEW FURRING STRIPS AND
GWB
- 4 CLOSETS
GWB BOTH SIDES TO UNDERSIDE OF CEILING
- 5 OFFICES/BATHROOMS:
GWB BOTH SIDES TO UNDERSIDE OF JOISTS

NOTE: REFER TO A5.1 FOR SECTION DETAILS OF
WALL TYPES

ARCHITECTURAL NOTES

- PROVIDE 12" ON PUSH SIDE AND 18" CLEAR ON PULL SIDE @ ALL DOORS
- REFER TO FINISH PLAN FOR FLOOR FINISHES
- ALL GYPSUM BOARD CONSTRUCTION SHALL BE SMOOTH AND FREE FROM ABRASIONS, TOOL MARKS, ETC. ON ALL EXPOSED SURFACES. ALL EXPOSED GYPSUM BOARD TO HAVE LEVEL 4 FINISH.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. NOTIFY DESIGN TEAM OF ANY DISCREPANCIES FOUND DURING SITE SURVEY.
- WHERE OVERHEAD CABINETS, SHELVING, COUNTERS, ETC. ARE TO BE INSTALLED, CONCEALED 16 GA. METAL BACKING IS TO BE PROVIDED INSIDE THE SUPPORTING PARTITION, UNLESS NOTED OTHERWISE. BACKING AND FASTENERS ARE TO BE PROVIDED TO SUPPORT A MINIMUM OF 80 LBS. PER LINEAR FT. OF SHELVING OR COUNTER.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING.
- ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR ABUTTING. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
- ALL GYPSUM BASE AT WET WALLS OF POWDER ROOM SIDE OF STUDS SHALL BE MOISTURE RESISTANT WITH 1/8" SKIM COAT PLASTER FINISH.
- INTERIOR PAINTING SHALL INCLUDE ALL PREP WORK, ONE COAT PRIMER, AND TWO COATS FINISH. WALLS SHALL BE LATEX, U.N.O.
- ALL BATHROOM ACCESSORIES SHALL BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY G.C. ALL MIRRORS CABINETS SHOWN SHALL BE CARRIED IN BASE BID (U.N.O.). G.C. TO PROVIDE BLOCKING BEHIND FIXTURES (TYP.)
- ALL PLUMBING FIXTURES SHALL BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY G.C.
- ALL APPLIANCES SHALL BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY G.C.

ARCHITECTURAL NOTES (CONT'D)

- ALL MILLWORK AND SOLID SURFACE COUNTERS SHALL BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY G.C.
- MOVABLE PARTITION SHALL BE HUFOR SERIES 642 PAIRED PANELS, TOP SUPPORTED, CENTER STACKED ON ONE SIDE, MANUALLY OPERATED WITH OPTIONAL PASS DOOR.
- AT ALL CLOSETS AND COAT CLOSETS, DASHED LINE INDICATES SHELF WITH ROD UNLESS OTHERWISE DETAILED.
- G.C. IS RESPONSIBLE FOR REPAIRS FOR ANY DAMAGE TO NEW OR EXISTING ITEMS DUE TO CONSTRUCTION WORK, TYPICAL.
- ALL CLOSETS SHALL BE 2'-0" DEEP UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, DOOR JAMBS SHALL BE
- LOCATED 6" FROM ADJACENT WALL AND DOOR JAMBS.
- DIMENSIONS:
- ALL DIMENSIONS ARE TO FACE OF GWB UNLESS OTHERWISE NOTED.
- DRAWINGS ARE NOT TO BE SCALED-VERIFY ANY MISSING OR CONFLICTING DIMENSIONS WITH THE ARCHITECT/DESIGNER PRIOR TO CONSTRUCTION.
- NOTIFY ARCHITECT OF CONDITIONS WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET.



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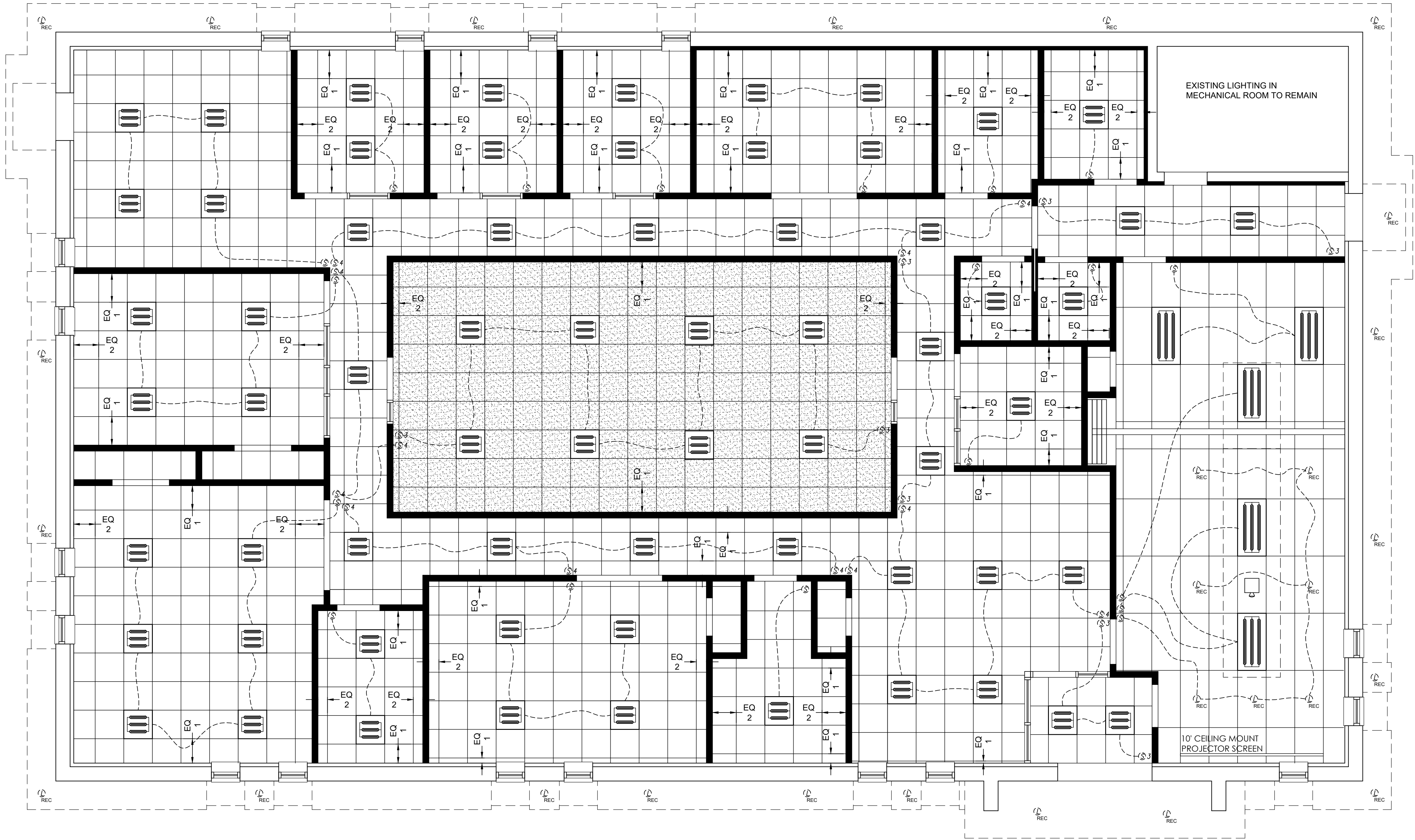
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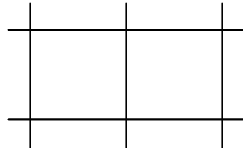
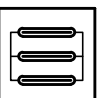
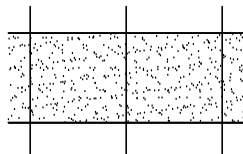
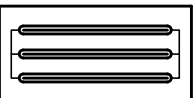
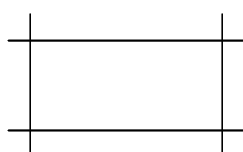




Sheet Name:
NEW WORK FLOOR PLAN

Sheet Number:

A1.1



1 FLOOR PLAN
A2.1 SCALE: 1/4" = 1'

REFLECTED CEILING KEY	REFLECTED CEILING KEY (CONT'D)	REFLECTED CEILING NOTES	Date	Issue
<div><div></div><div>2'x2' CEILING SPEC: USG MARS HEALTHCARE CEILING PANELS, FLB EDGE, CENTRICITEE DXT GRID PROFILE</div></div>	<div><div></div><div>2'x2' LIGHT FIXTURE SPEC: OKTLIGHTING 2x2 LED TROFFER LIGHT FIXTURE TR22-DM-TWTP</div></div>	<div>1. NO CEILING IN MECHANICAL ROOM</div> <div>2. ALL CORRIDOR LIGHTS SHALL BE MOTION ACTIVATED</div> <div>3. ALL OFFICE AND BOARD ROOM LIGHTS SHALL BE DIMMABLE</div> <div>4. PROJECTOR, PROJECTOR SCREEN, AND TVS SHALL BE AS SELECTED BY OWNER</div>	01/16/23	Issue for Permit
<div><div></div><div>2'x2' CEILING SPEC: USG DANOLINE LAY IN PANEL, ACOUSTICAL PERFORATED GYPSUM, RECESSED EDGE WITH RECESSED (FL) DXT GRID PROFILE</div></div>	<div><div></div><div>2'x4' LIGHT FIXTURE SPEC: OKTLIGHTING 2x2 LED TROFFER LIGHT FIXTURE TR24-DM-TWTP</div></div>			
<div><div></div><div>2'x4' CEILING SPEC: USG MARS HEALTHCARE CEILING PANELS, FLB EDGE, CENTRICITEE DXT GRID PROFILE</div></div>	<div><div></div><div>RECESSED LED LIGHT FIXTURE SPEC: OKTLIGHTING 40W LED COMMERCIAL DOWNLIGHT CPS-D40W-35T (WATERPROOF WHERE OUTSIDE)</div></div>			
	<div><div></div><div>SINGLE POLE SWITCH</div></div> <div><div></div><div>THREE WAY SWITCH</div></div> <div><div></div><div>FOUR WAY SWITCH</div></div>			
Project Number: 22-012			Sheet Name: REFLECTED CEILING PLAN	
Sheet Number:			A2.1	
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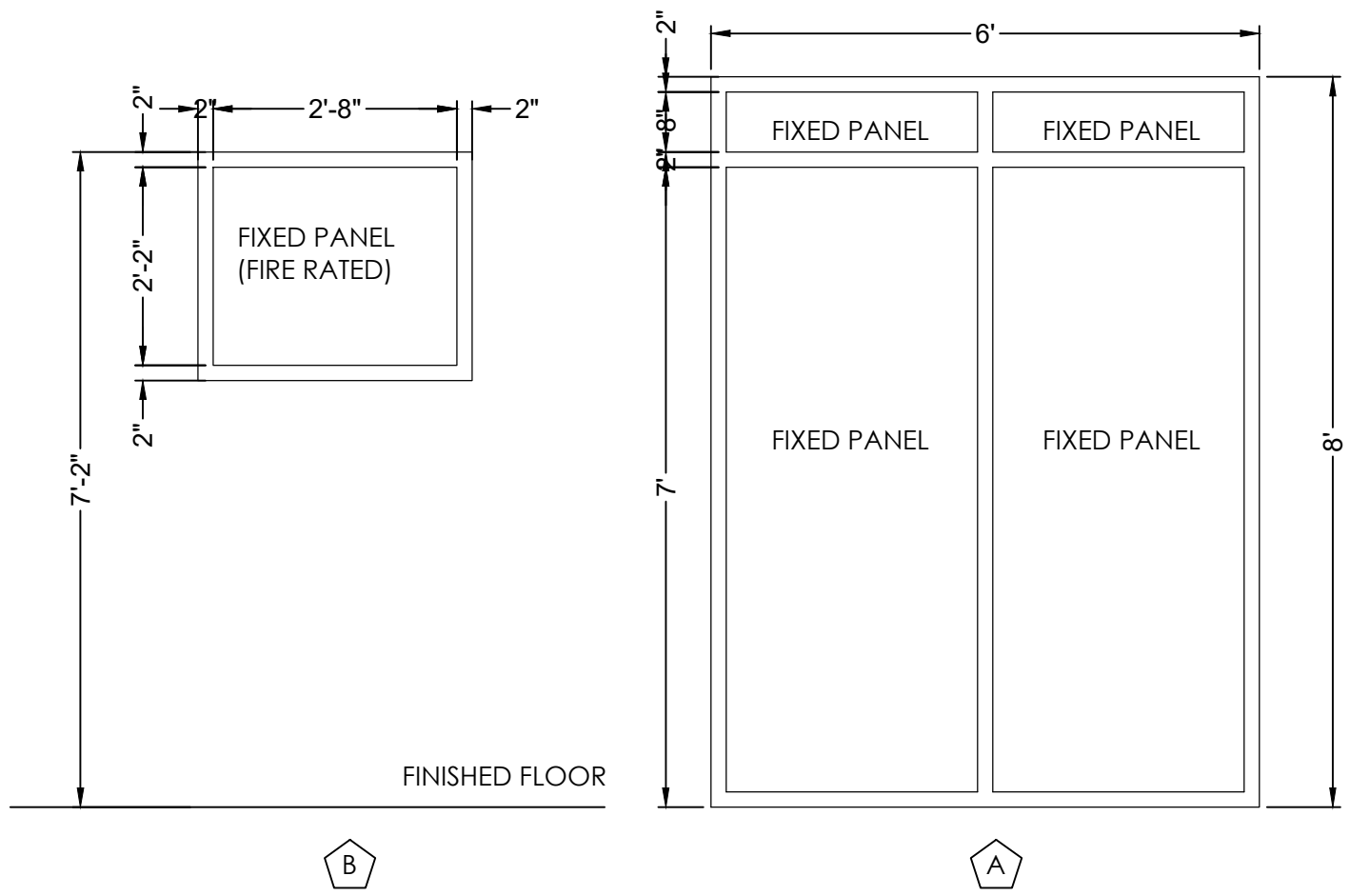
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DOOR SCHEDULE							
DOOR #	DOOR TYPE	FRAME TYPE	DOOR FINISH	FRAME FINISH	COMMENTS	FIRE RATING	COUNT
1	STOREFRONT	STOREFRONT	ANOD.	ANOD.	STOREFRONT ENTRY DOOR	-	1
2	STOREFRONT	STOREFRONT	ANOD.	ANOD.	STOREFRONT ENTRY DOOR	-	1
3	WOOD	H. METAL	STAIN	PAINT	3' X 7' SOLID WOOD	45 MIN.	7
4	WOOD	H. METAL	STAIN	PAINT	2' X 7' CLOSET DOOR	-	3
5	METAL	H. METAL	STAIN	PAINT	3' X 7' EXTERIOR W/ VISION PANEL- W/ EXISTING FRAME	-	2
6	WOOD + GLASS	H. METAL	STAIN	PAINT	3' X 7' DOUBLE ENTRY DOOR WITH GLASS PANELS	45 MIN.	2
7	WOOD + GLASS	H. METAL	STAIN	PAINT	3' X 7' OFFICE DOOR WITH GLASS PANEL	45 MIN.	2
8	WOOD + GLASS	H. METAL	STAIN	PAINT	3' X 7' OFFICE DOOR WITH GLASS PANEL & SIDE GLASS PANEL	45 MIN.	2
9	WOOD + GLASS	H. METAL	STAIN	PAINT	3' X 7' OFFICE DOOR WITH GLASS PANEL & 3 SIDE GLASS PANELS	45 MIN.	1
10	WOOD	H. METAL	STAIN	PAINT	2' X 7' DOUBLE CLOSET DOORS	-	2
11	WOOD + GLASS	H. METAL	STAIN	PAINT	3' X 7' INTERVIEW ROOM DOOR WITH GLASS PANEL & 2 SIDE GLASS PANELS	45 MIN.	1
12	WOOD	H. METAL	STAIN	PAINT	3' X 7' DOUBLE STORAGE ROOM DOORS	45 MIN.	1
13	WOOD + GLASS	H. METAL	STAIN	PAINT	3' X 7' OFFICE DOOR WITH GLASS PANEL & SIDE GLASS PANEL	45 MIN.	3
14	WOOD	H. METAL	STAIN	PAINT	3' X 7' POCKET DOOR W/ VISION PANEL	45 MIN.	1

NOTE: ALL DOORS AND HARDWARE MUST BE ADA-COMPLIANT

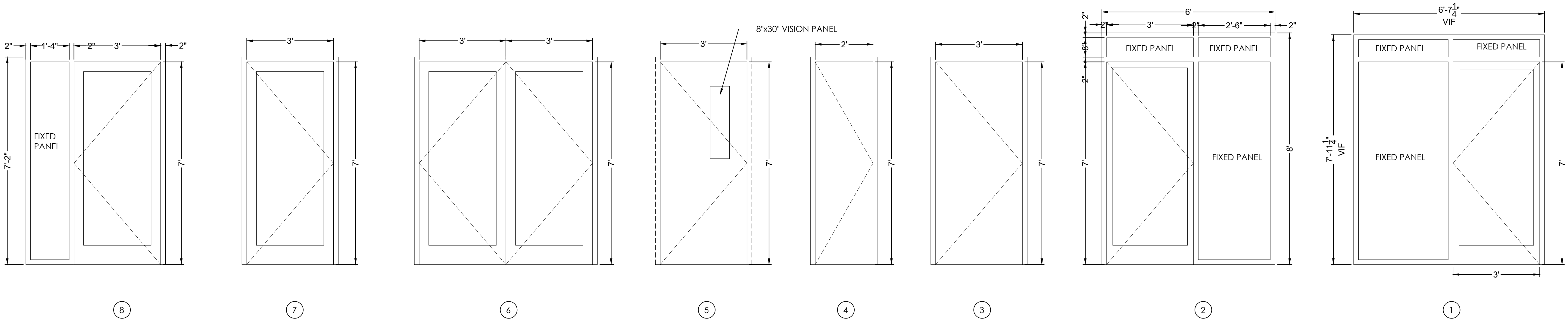
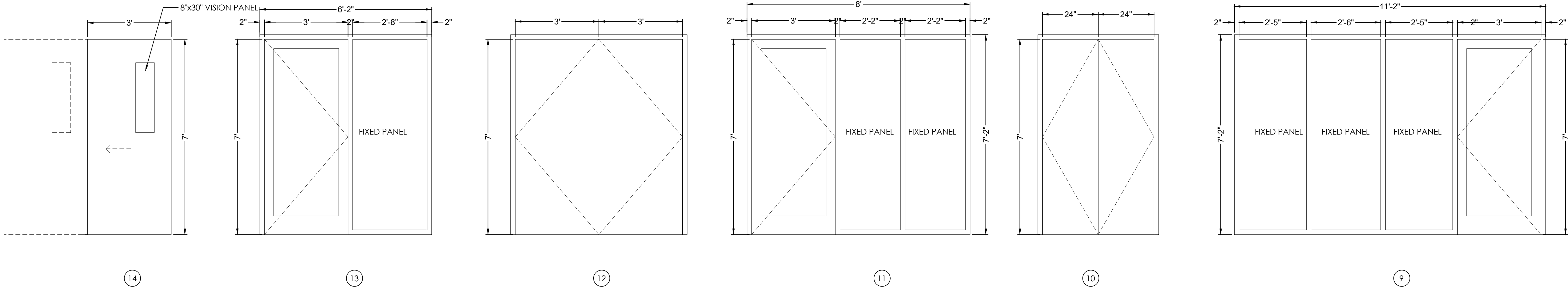


2

A3.1

WINDOW ELEVATIONS

SCALE: 1/2" = 1'



1

A3.1

DOOR ELEVATIONS

SCALE: 1/2" = 1'

NOTE: GC SHALL VERIFY STOREFRONT OPENINGS

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856-692-0916

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Bridgeton, NJ

Seal:

Ruth M. Barreiro
New Jersey License: 21A101919500
Cert. of Authorization: 21AC00087900

Date	Issue
01/16/23	Issue for Permit

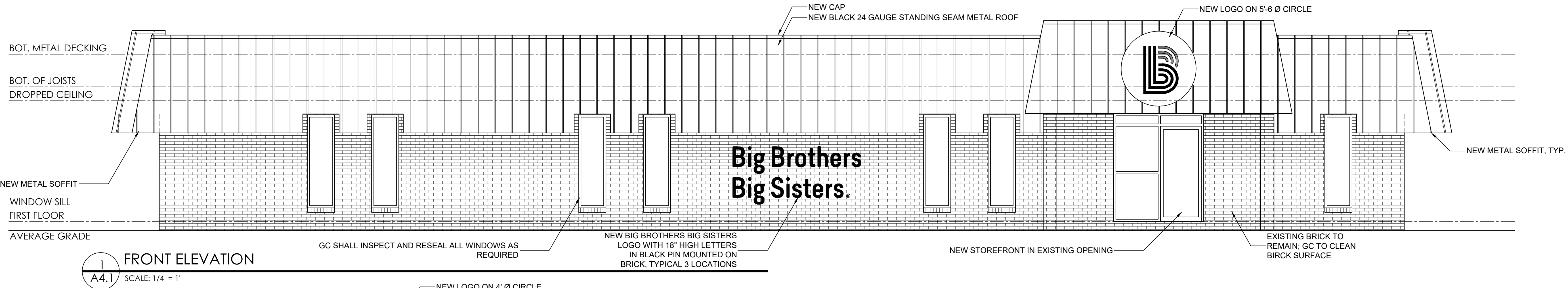
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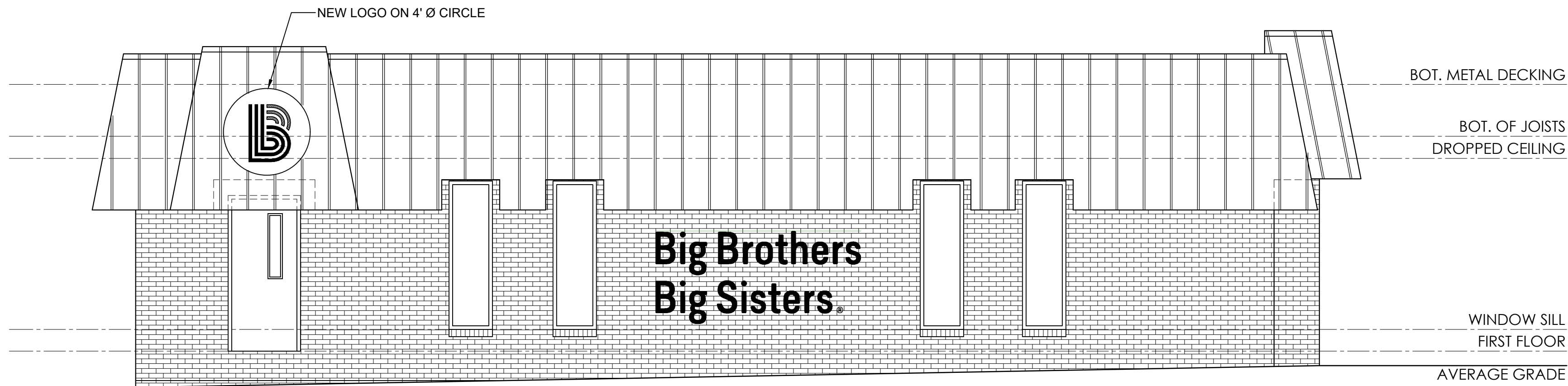
DOOR & WINDOW SCHEDULE

Sheet Number:

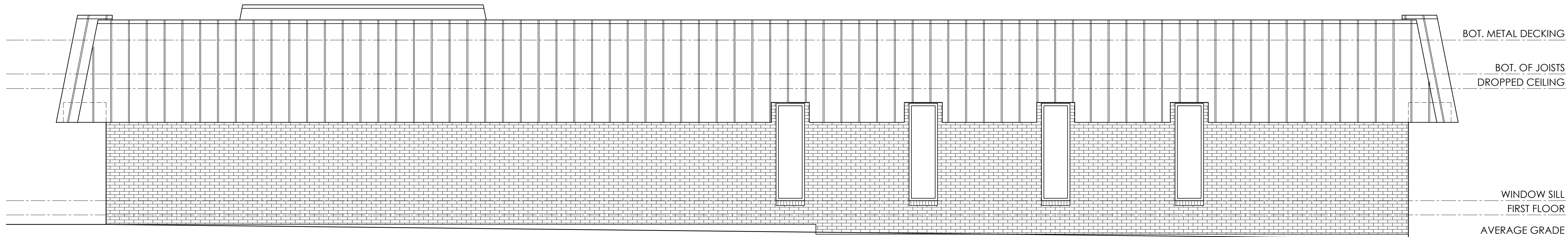
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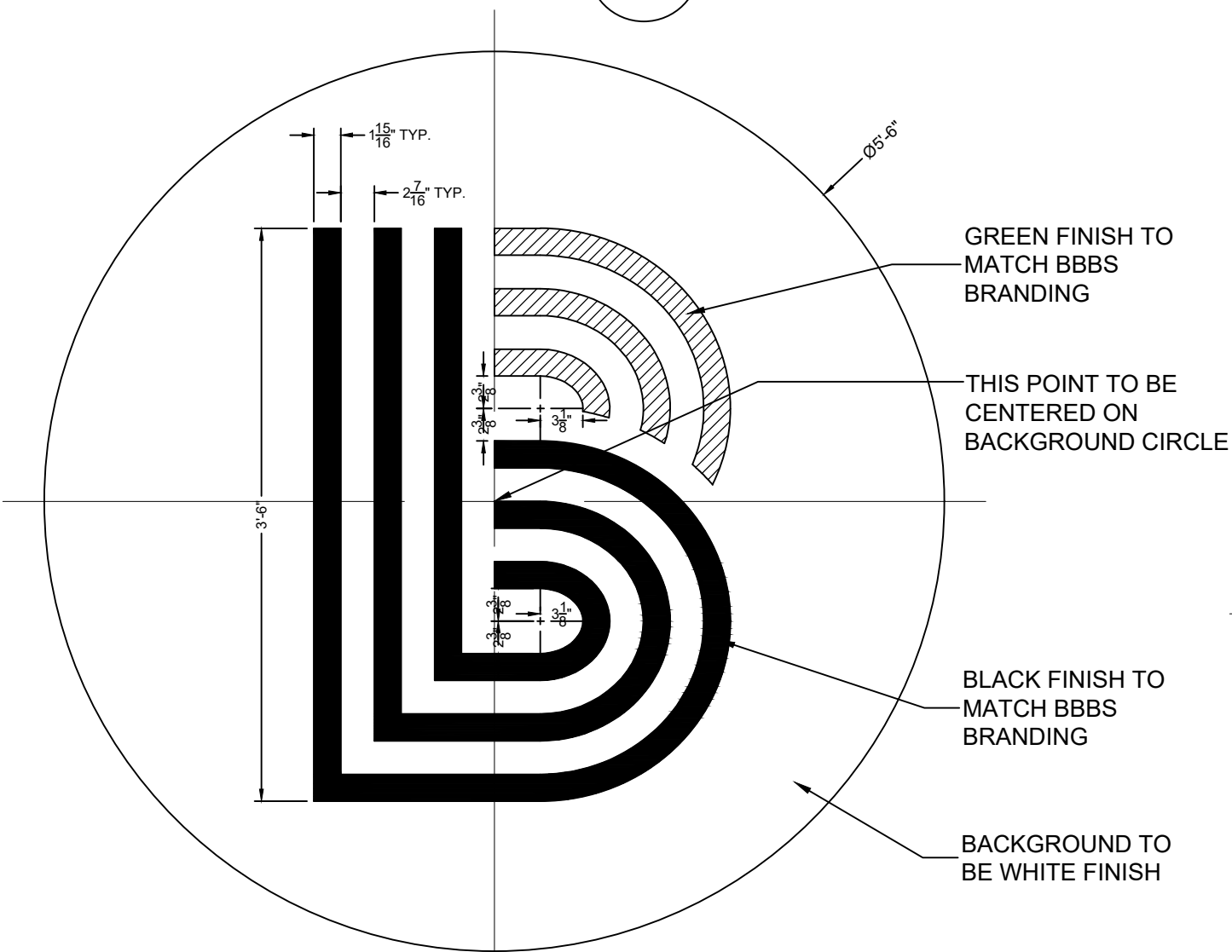
1 FRONT ELEVATION
A4.1 SCALE: 1/4" = 1'



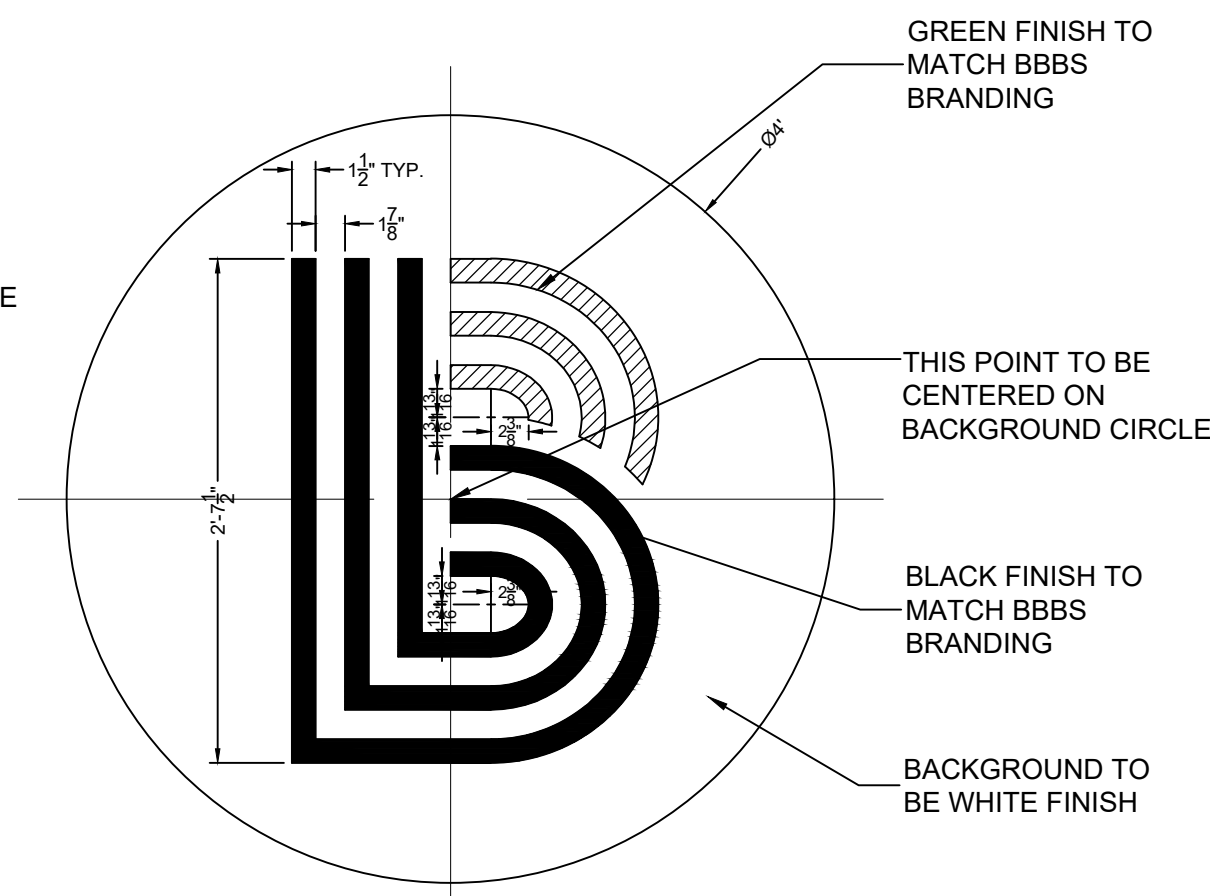
2 LEFT ELEVATION
A4.1 SCALE: 1/4" = 1'



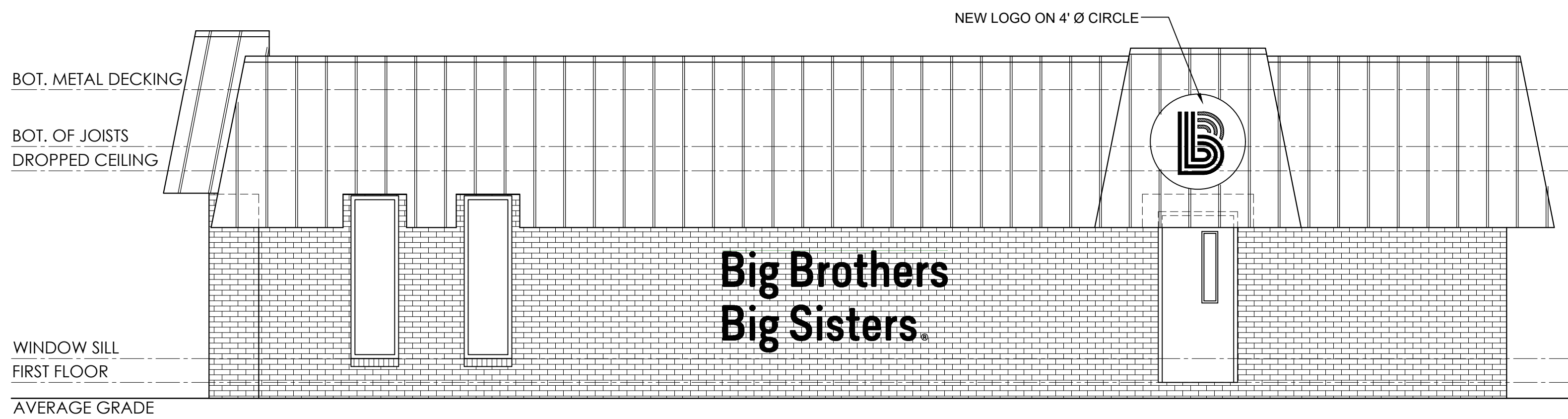
3 REAR ELEVATION
A4.1 SCALE: 1/4" = 1'



6 ENLARGED ELEVATION FRONT SIGN
A4.1 SCALE: 1/4" = 1'



5 ENLARGED ELEVATION SIDE SIGNS
A4.1 SCALE: 1/4" = 1'



4 RIGHT ELEVATION
A4.1 SCALE: 1/4" = 1'



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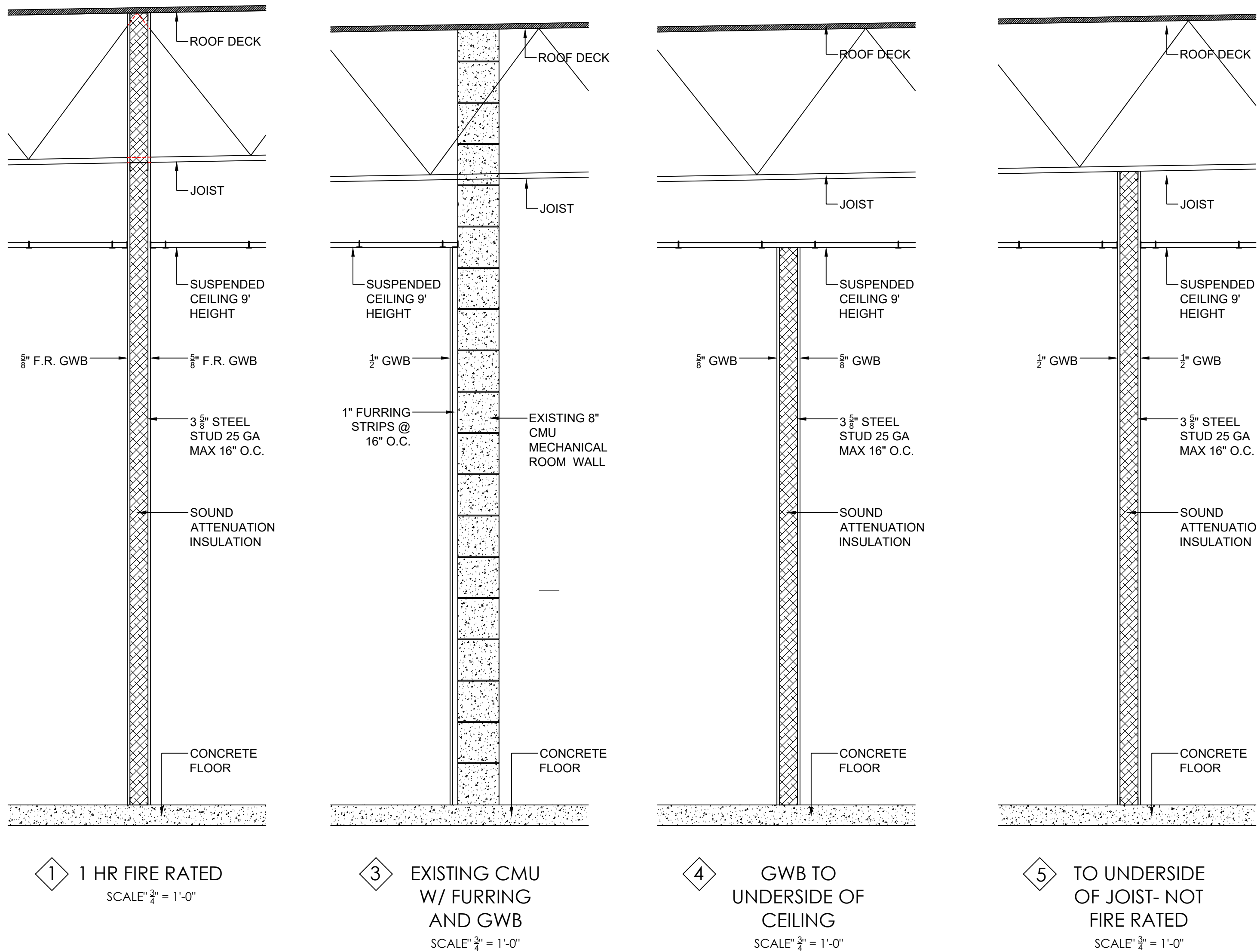
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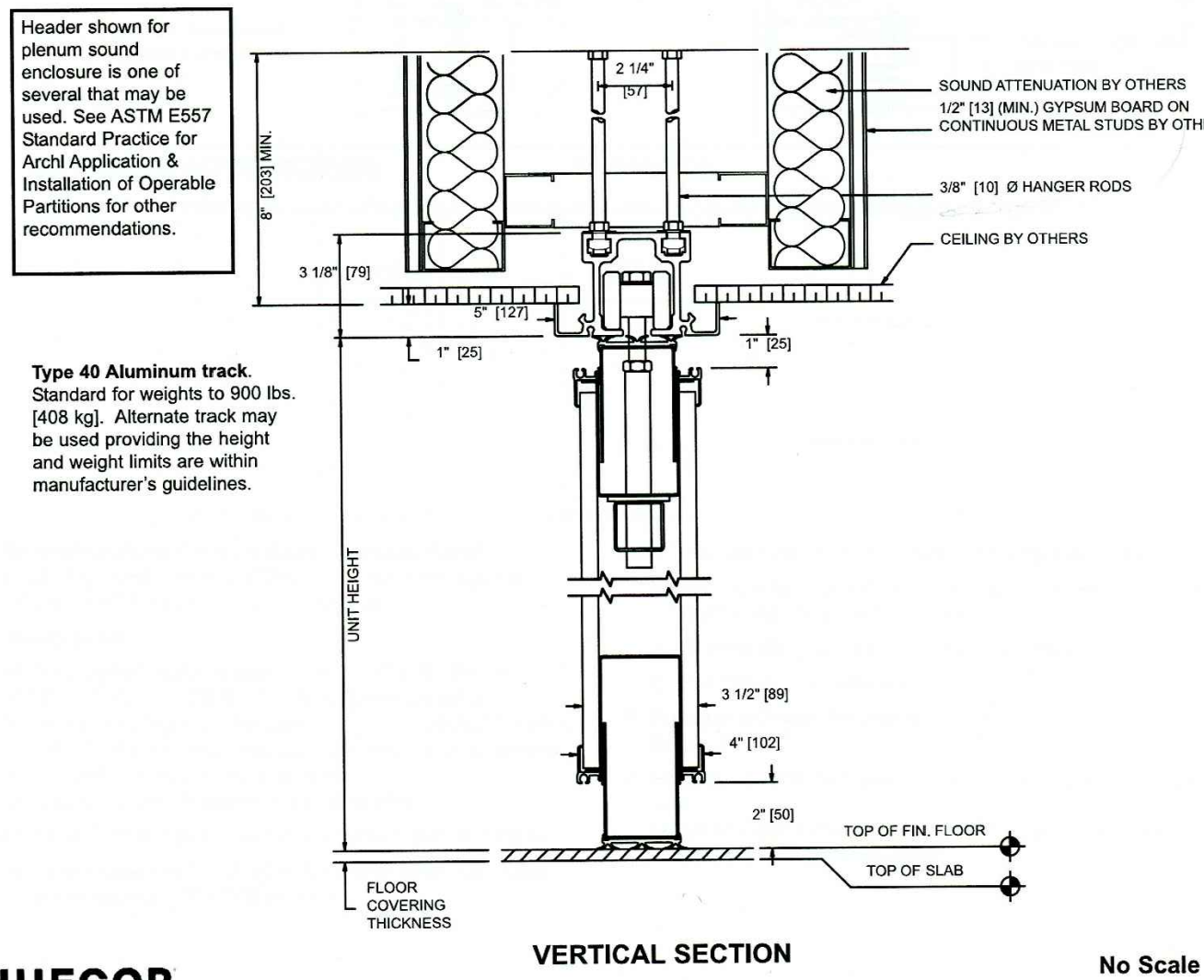
Date	Issue
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Project Number: 22-012
Sheet Name:
NEW WORK ELEVATIONS
Sheet Number:

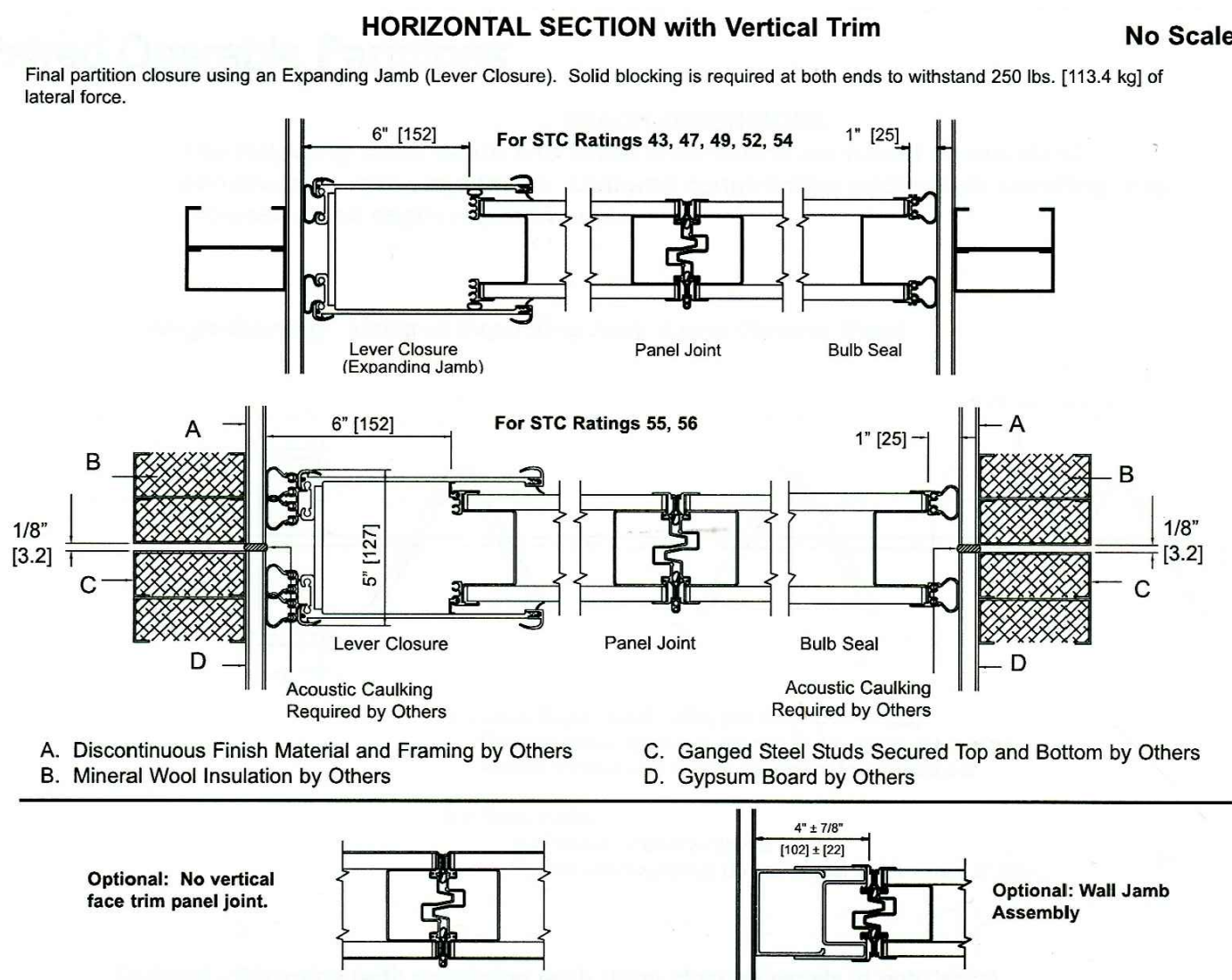
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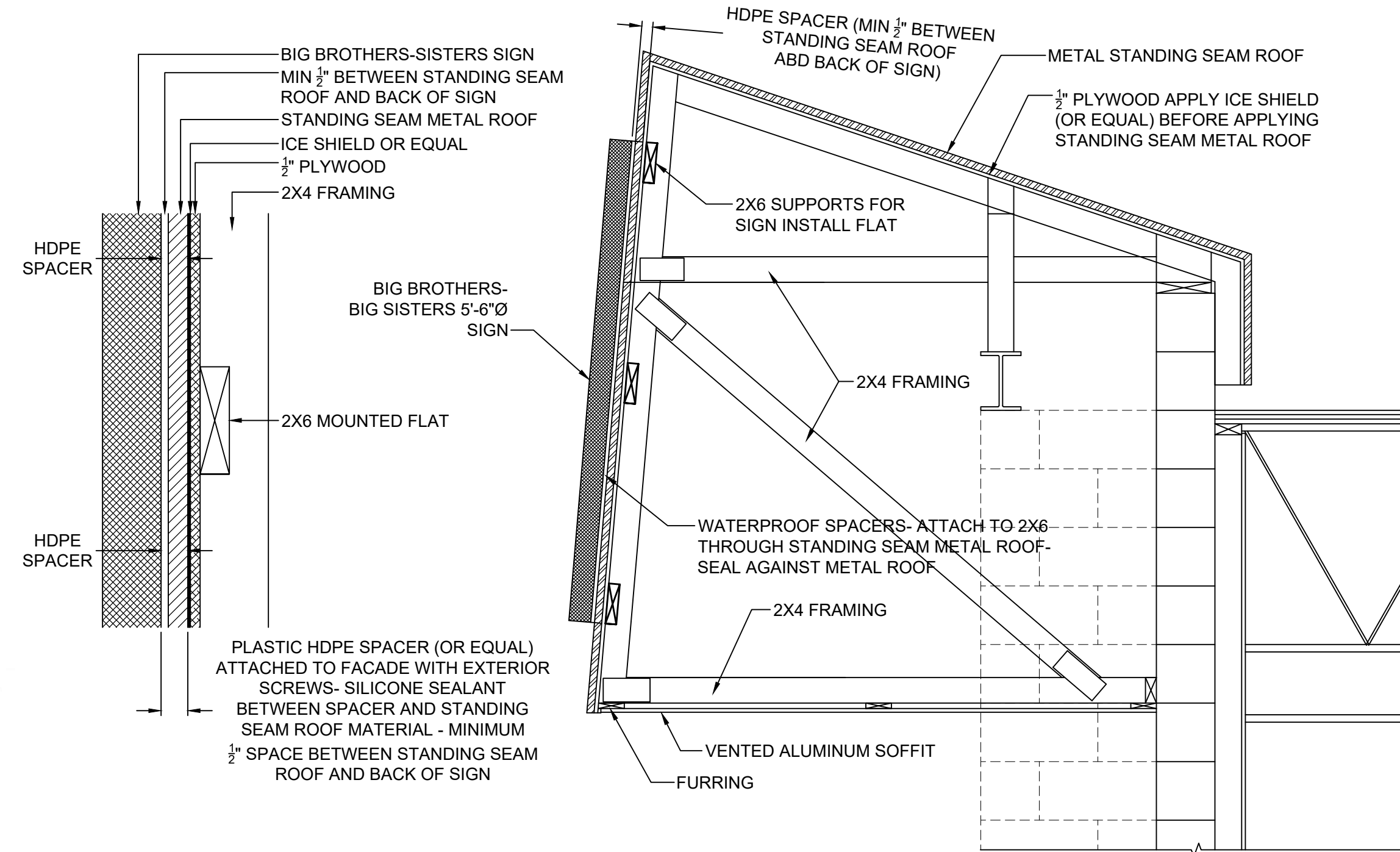
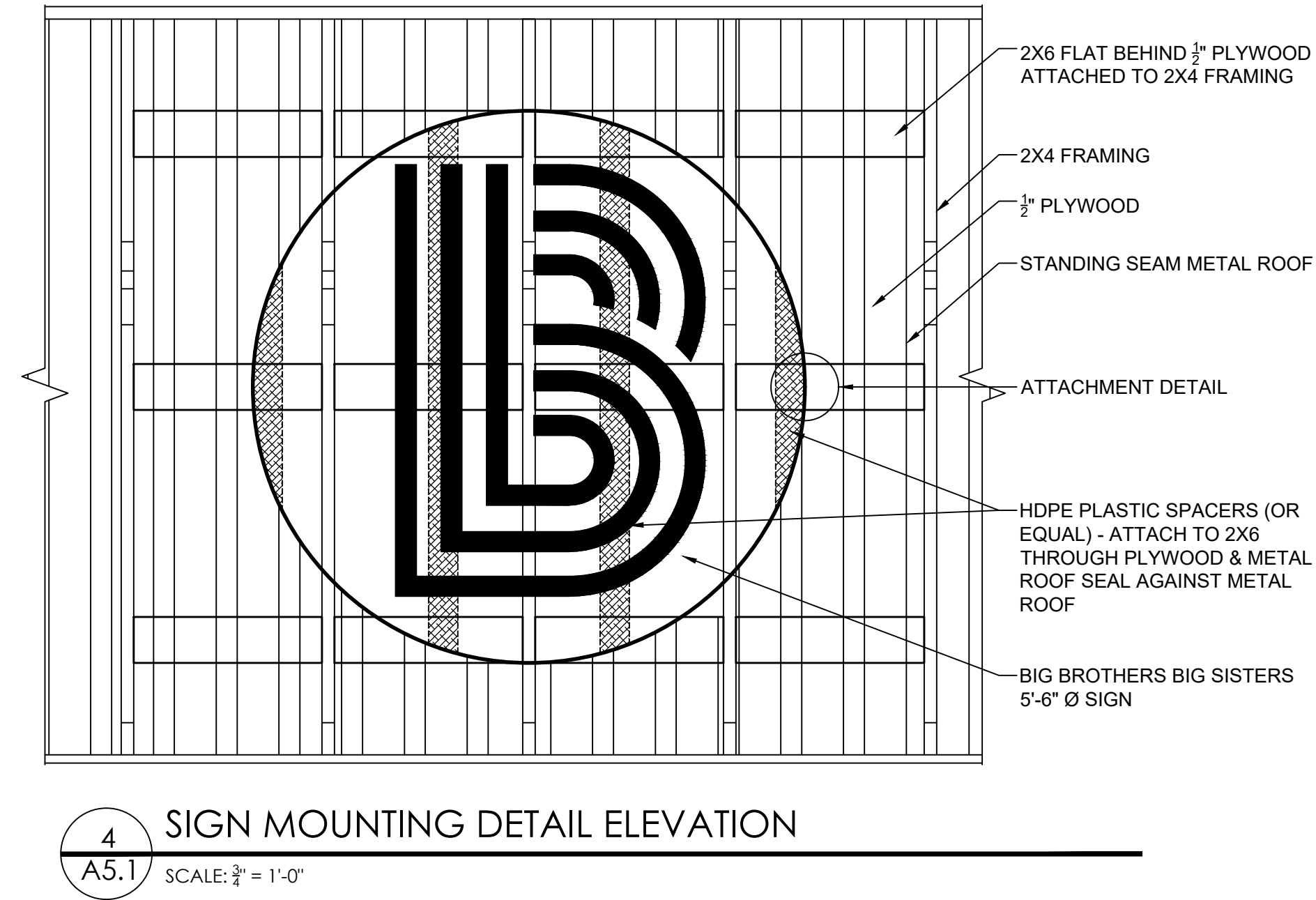
3 WALL SECTIONS
A5.1 SCALE: NONE



2 FOLDING DOOR VERTICAL SECTION
A5.1 SCALE: NONE



1 FOLDING DOOR HORIZONTAL SECTION
A5.1 SCALE: NONE



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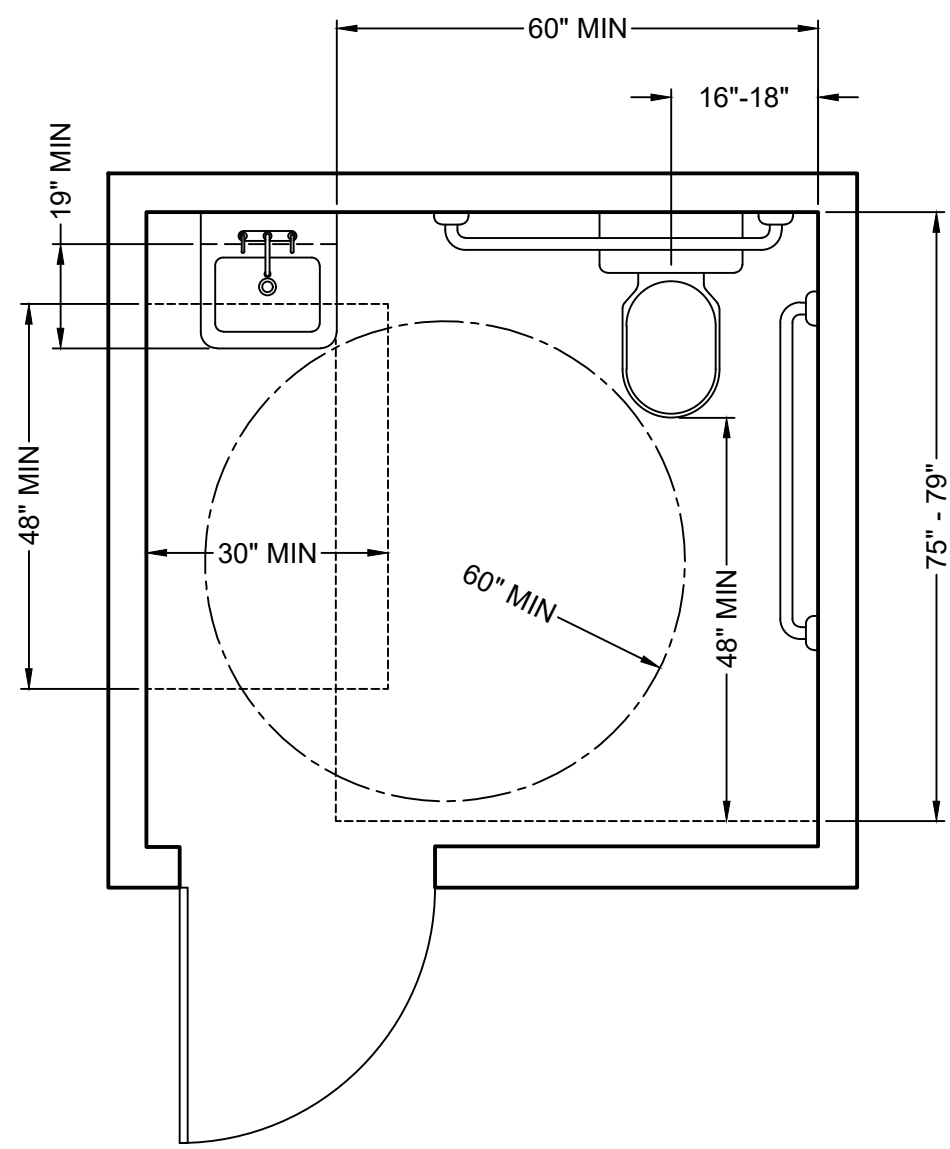
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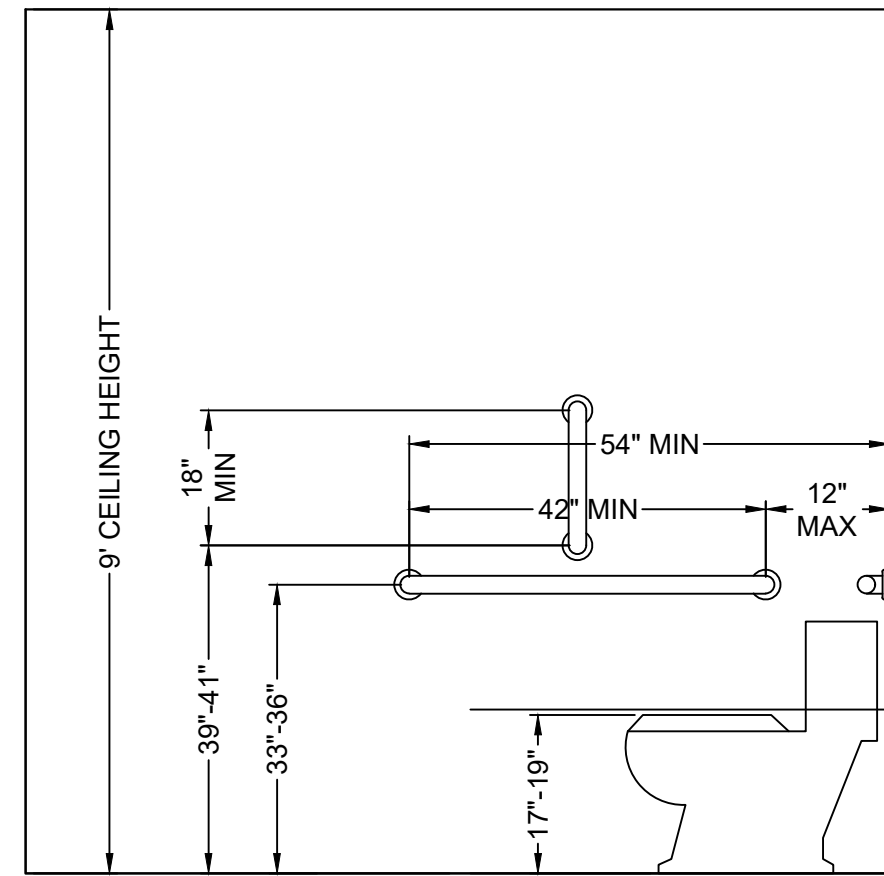
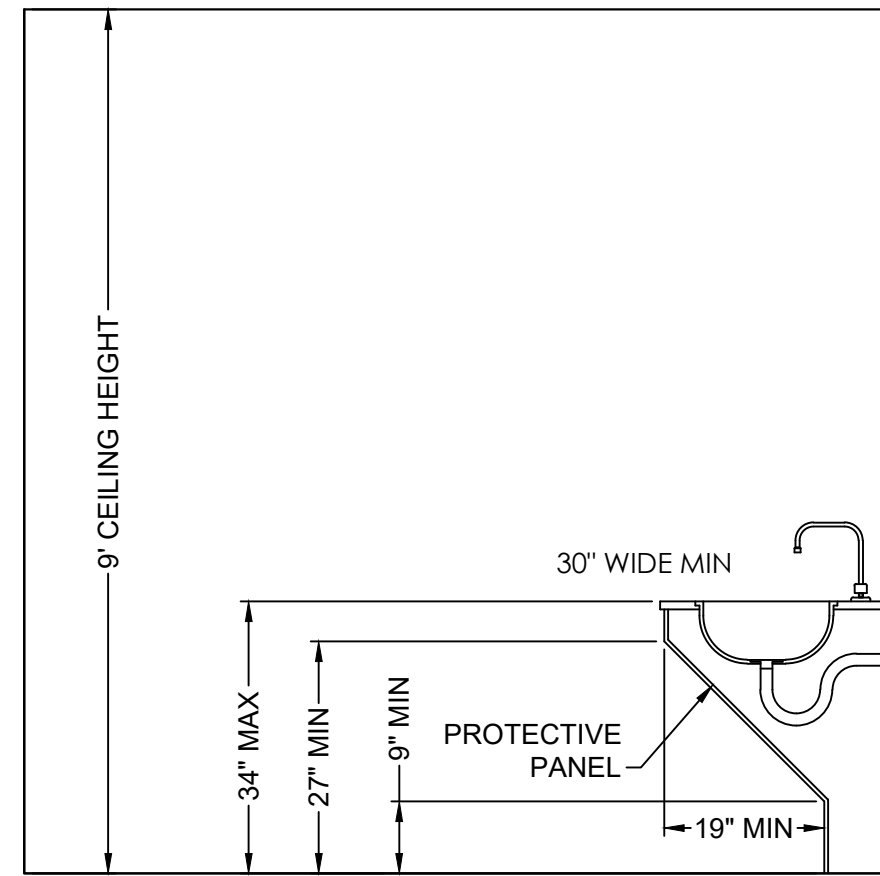
Date	Issue
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Project Number: 22-012
Sheet Name:
SECTIONS & DETAILS
Sheet Number:

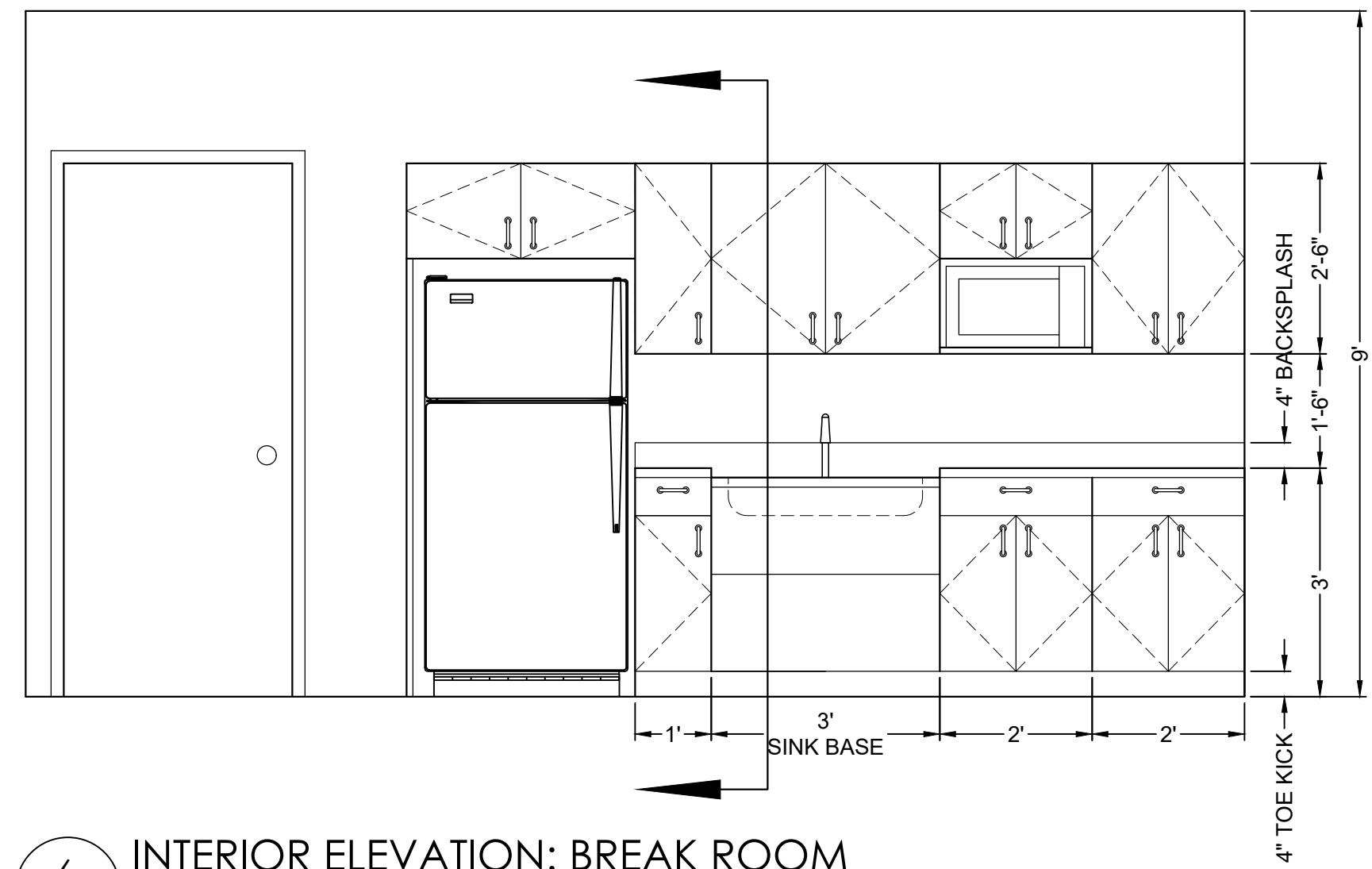
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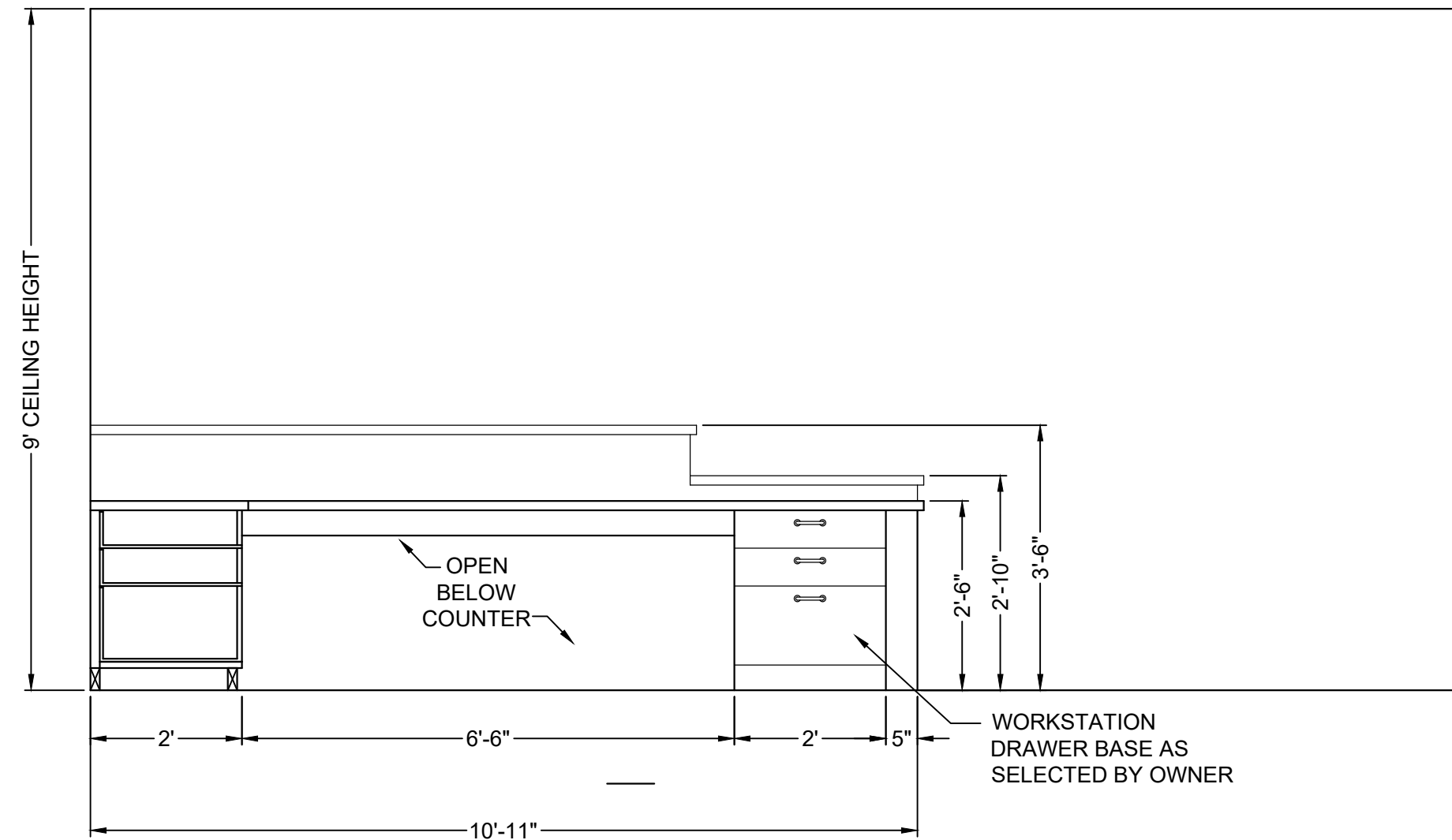
4 TYP. A.D.A. REST ROOM DETAILS
A6.1 SCALE: 1/2" = 1'



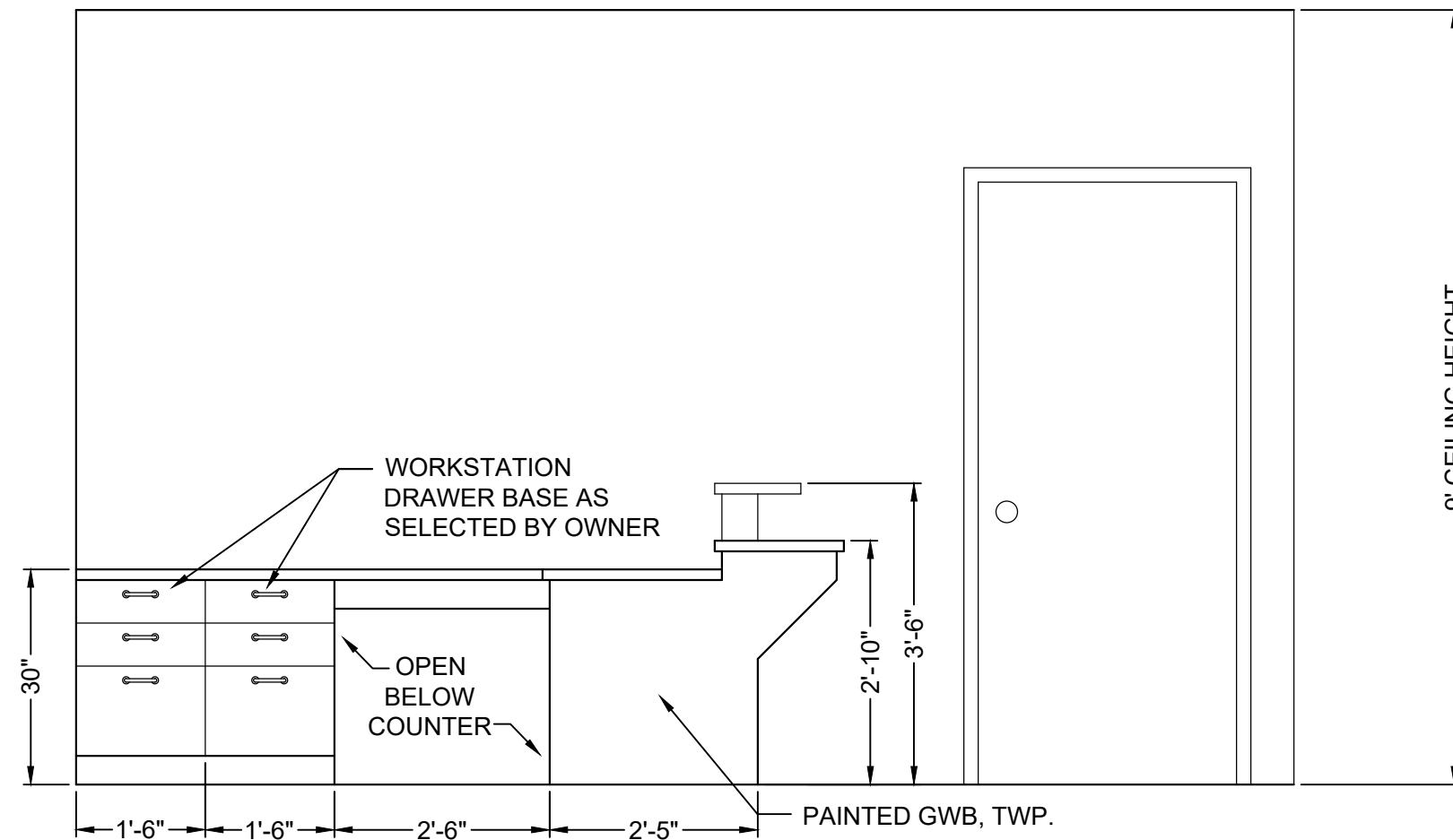
7 BREAK ROOM SECTION
A6.1 SCALE: 1/2" = 1'



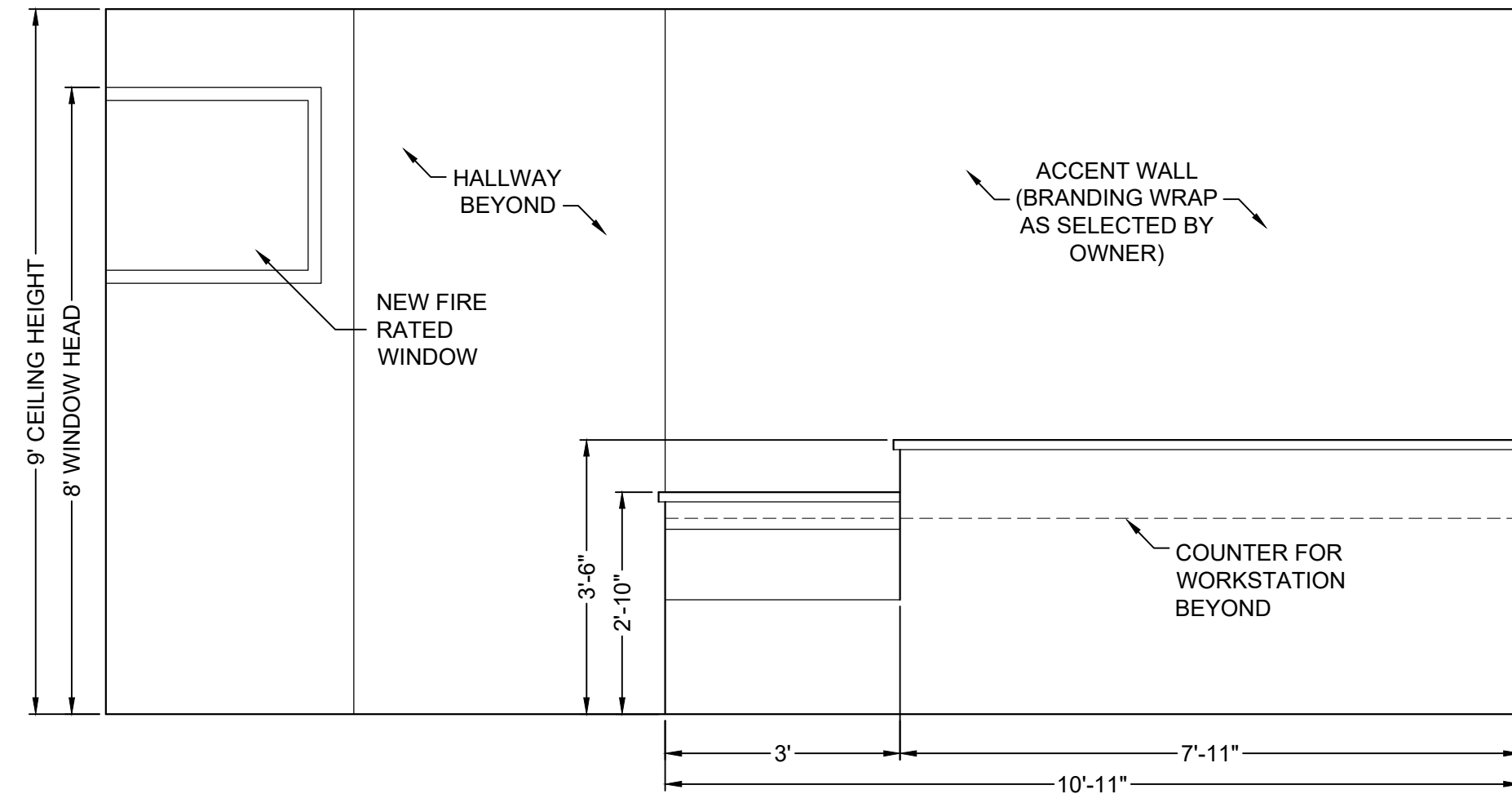
6 INTERIOR ELEVATION: BREAK ROOM
A6.1 SCALE: 1/2" = 1'



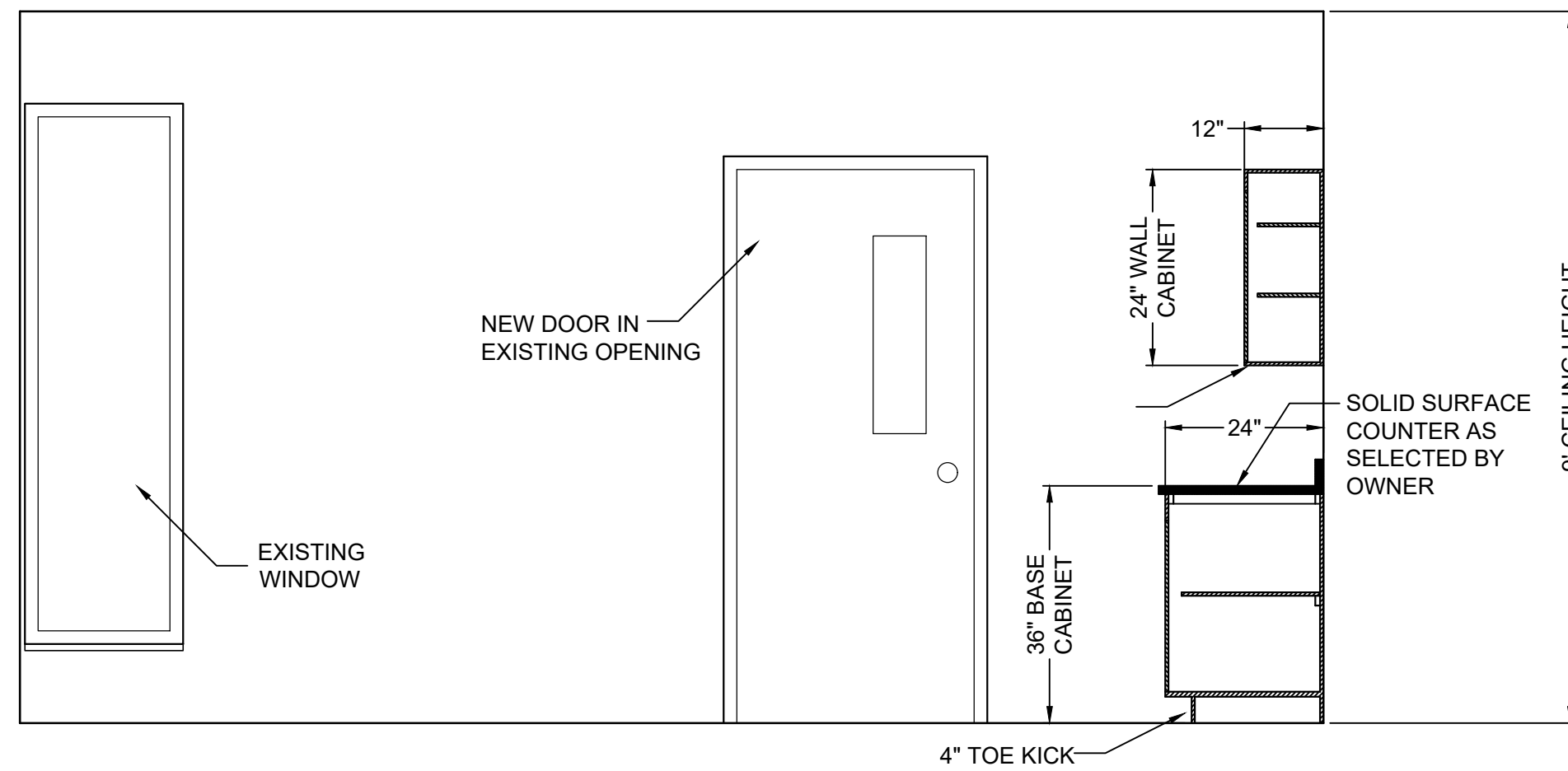
5 INTERIOR ELEVATION: RECEPTION
A6.1 SCALE: 1/2" = 1'



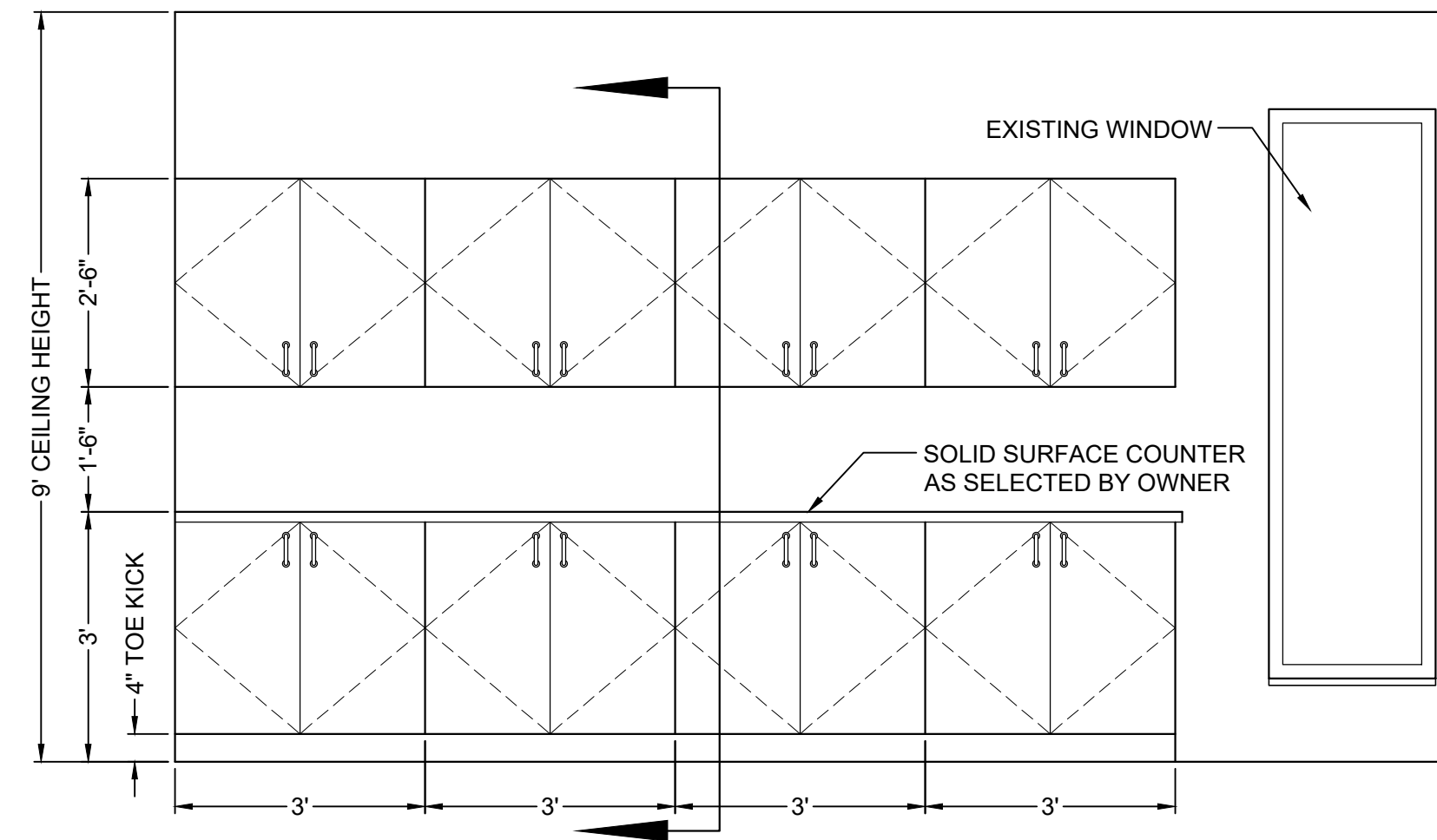
4 INTERIOR ELEVATION: RECEPTION
A6.1 SCALE: 1/2" = 1'



3 INTERIOR ELEVATION: RECEPTION
A6.1 SCALE: 1/2" = 1'



2 SHARED WORK SPACE SECTION
A6.1 SCALE: 1/2" = 1'



1 INTERIOR ELEVATION: SHARED WORK SPACE
A6.1 SCALE: 1/2" = 1'

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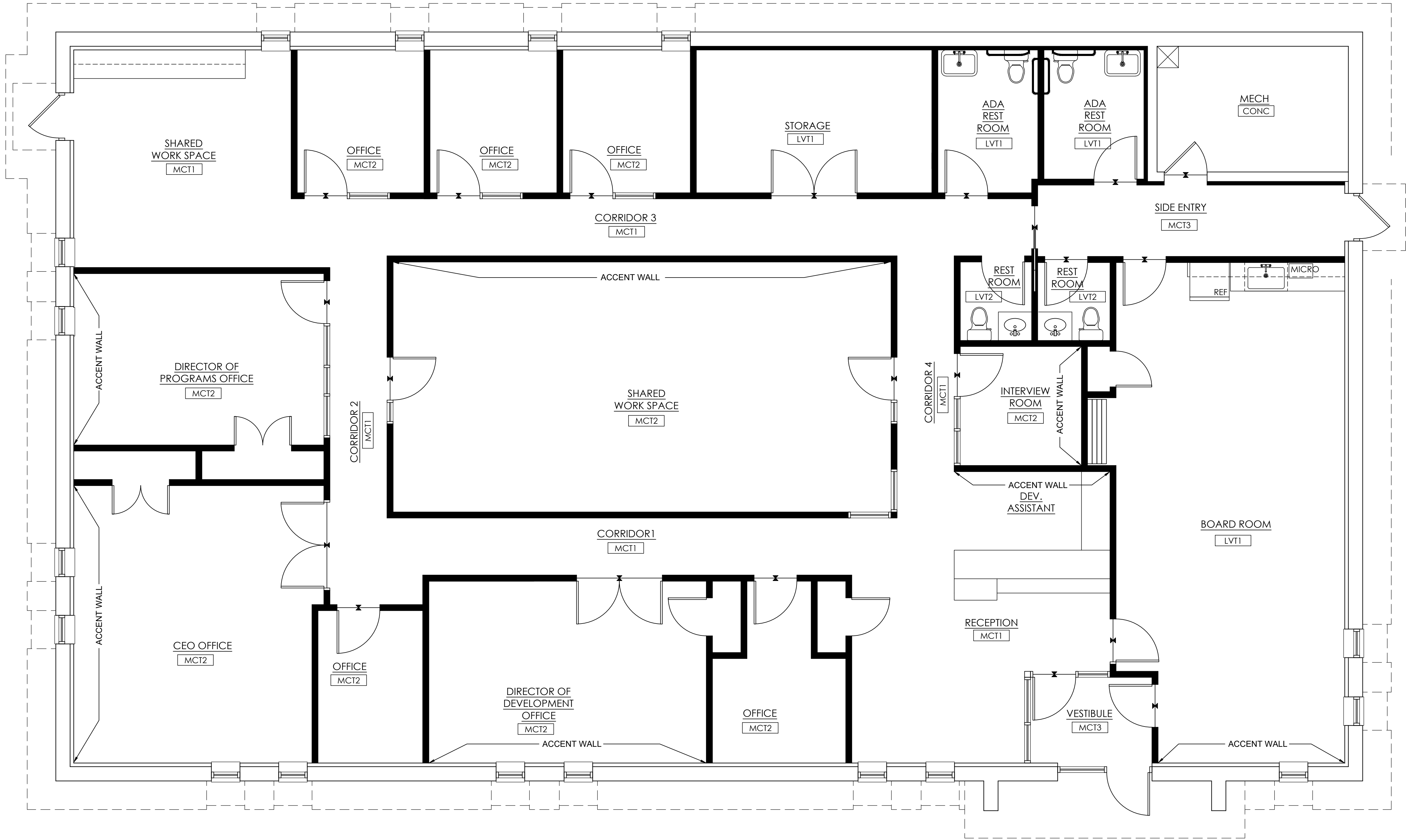
Date	Issue
01/16/23	Issue for Permit

Project Number: 22-012

Sheet Name:
INTERIOR ELEVATIONS

Sheet Number:

A6.1



1 FLOOR PLAN
A1.1 SCALE: 1/4" = 1'

FINISH TAGS	
LVT1	MANNINGTON LVT SPEC COLLECTION: SPACIA STYLE: STONE COLOR: LINEAR STONE SHALE (SS5S3606) SIZE: 12"x18"
MCT1	MANNINGTON MODULAR CARPET TILE SPEC COLLECTION: GOOGIE STYLE: TELEJECTOR COLOR: PHANTOMIC SIZE: 24"x24" INSTALLATION METHOD: MONOLITHIC
MCT2	MANNINGTON MODULAR CARPET TILE SPEC COLLECTION: EXCHANGE 2 STYLE: DISPATCH COLOR: DIAL TONE SIZE: 24"x24" INSTALLATION METHOD: VERTICAL ASHLAR
MCT3	MANNINGTON MODULAR ENTRY TILE SPEC COLLECTION: LIAISON STYLE: RUFFIAN II COLOR: EBONY EARTH SIZE: 24"x24"

- FINISH NOTES**
- WALL BASE TO BE MANNINGTON TYPE TP/TV 173 SILVER SCREEN IN ALL LOCATIONS
 - PAINT SPECS:
 - WALL PAINT: SHERWIN WILLIAMS 7008 ALABASTER 255-C2
 - ACCENT PAINT: SHERWIN WILLIAMS 9038 CUCUZZA VERDE 155-C4
 - DOOR FRAMES: SHERWIN WILLIAMS 7069 IRON ORE 251-C7
 - OWNER SHALL APPROVE FINAL PAINT COLOR SELECTIONS
 - ALL ACCENT WALLS SHALL BE EITHER PAINT OR BBBS BRANDED WRAP AS SELECTED AND LOCATED BY OWNER

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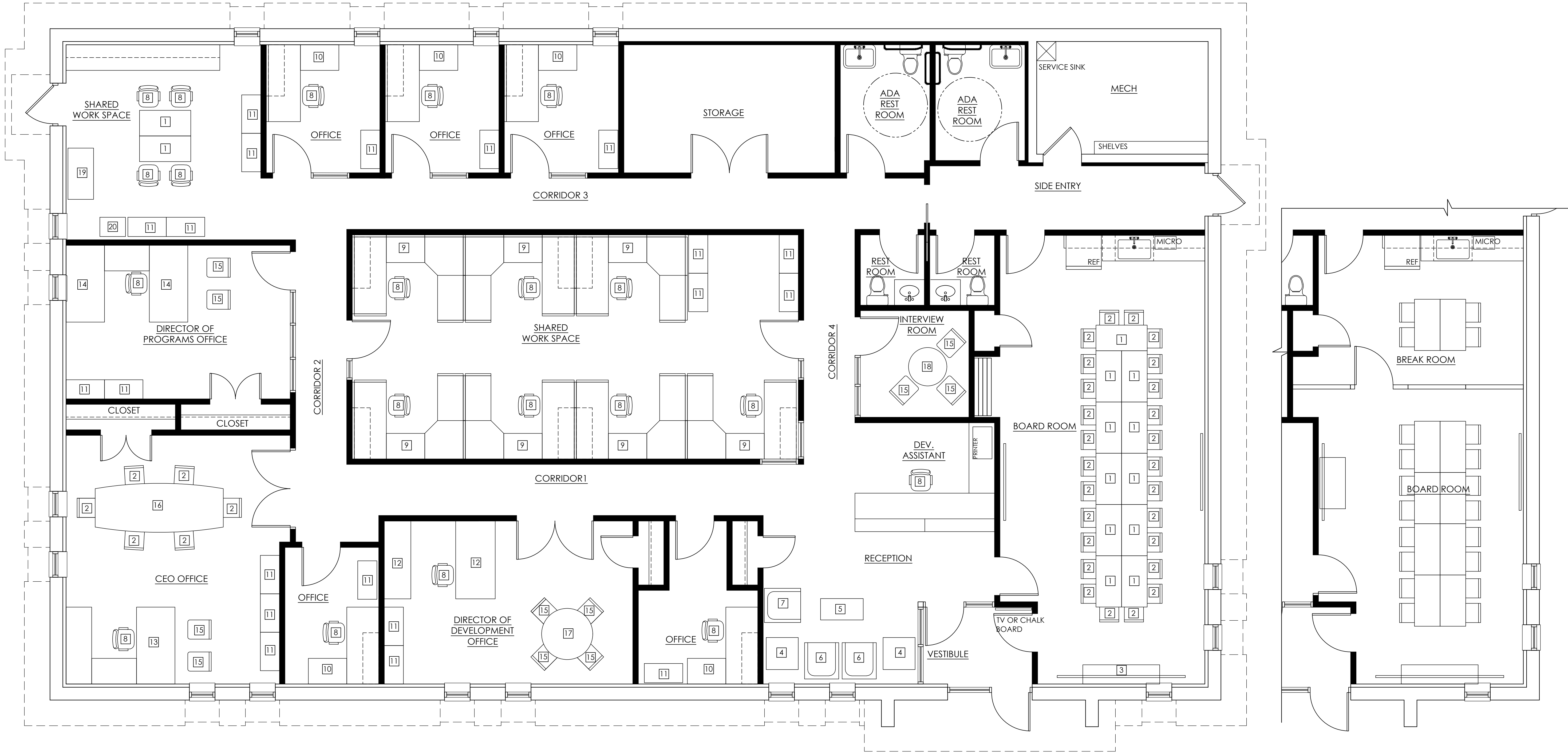
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Project Number: 22-012
Sheet Name:
FINISH PLANS

Sheet Number:
F11.1
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1 FURNITURE PLAN
FU1.1 SCALE: 1/4" = 1'

FURNITURE TAGS

- 1 2x4' TABLE WITH ELEC (NEW)
- 2 BOARD CHAIR (32 CURRENTLY STORED AT WWGR)
- 3 CREDENZA (NEW)
- 4 END TABLE (2 CURRENTLY STORED AT WWGR)
- 5 COFFEE TABLE (CURRENTLY STORED AT WWGR)
- 6 CHAIR (CURRENTLY STORED AT WWGR)
- 7 CHAIR (NEW)
- 8 OFFICE CHAIR (NEW)
- 9 6'-8"x8'-8" WORK STATION (CURRENTLY STORED AT WWGR)
- 10 WORK STATION BROUGHT OVER FROM EXISTING BBBS FACILITY

FURNITURE TAGS

- 11 TALL FILE CABINET (DONATED)
- 12 EXECUTIVE DESK & CREDENZA (DONATED)
- 13 EXECUTIVE DESK & CREDENZA (FROM BBBS)
- 14 EXECUTIVE DESK & CREDENZA (FROM BBBS)
- 15 EXECUTIVE CHAIR (NEW)
- 16 CONFERENCE TABLE (FROM BBBS, MODIFIED FOR ELECTRIC IN CENTER OF TABLE)
- 17 4' DIA TABLE (NEW)
- 18 3' DIA TABLE (NEW)
- 19 COPY MACHINE (FROM BBBS)
- 20 SHRED BIN (FROM BBBS)

FURNITURE NOTES

- FURNITURE PLAN SHOWN FOR REFERENCE ONLY
- OWNER WILL COORDINATE WITH GC FOR ALL FINAL FURNITURE SELECTIONS AND CONFIRMATION OF THE REUSE OF EXISTING BBBS FURNITURE

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Project Number: 22-012
Sheet Name:
FURNITURE PLANS

Sheet Number:
FU1.1



1 ELECTRICAL FLOOR PLAN
E1.1 SCALE: 1/4" = 1'

ELECTRICAL KEY

ϕ_{GF}	GROUND FAULT RECEPTACLE
ϕ	WALL RECEPTACLE
\oplus	QUAD RECEPTACLE
ϕ_{FL}	FLOOR RECEPTACLE
∇	ETHERNET CONNECTION - 2 CONNECTIONS PER LOCATION
\circ	SECURITY CAMERAS

ELECTRICAL NOTES

1. ELECTRICAL LAYOUT PROVIDED FOR SCHEMATIC DESIGN ONLY. ELECTRICAL CONTRACTOR SHALL REVIEW WITH OWNER TO CONFIRM POWER REQUIREMENTS AND LOCATIONS.
2. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR FOR MECHANICAL ROOM REQUIREMENTS.
3. SECURITY TO BE DESIGNED AND PROVIDED BY DNS SOLUTIONS, INCLUDING KEYLESS ENTRY SYSTEMS. ELECTRICAL CONTRACTOR SHALL CONSULT WITH DNS SOLUTIONS FOR ELECTRICAL REQUIREMENTS
4. ALL HALLWAY LIGHTING SHALL INCLUDE MOTION SENSORS
5. GC SHALL COORDINATE ELECTRICAL REQUIREMENTS FOR PROJECTOR AND PROJECTOR SCREEN



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02/19/23	Rev Per Client

Project Number: 22-012

Sheet Name:

ELECTRICAL PLANS

Sheet Number:

E1.1