

Addendum No. 1 for:

Specifications for:

WEST DEPTFORD FIRE HOUSE CONVERSION TO A LIBRARY

611 Academy Avenue
West Deptford, New Jersey 08096

ACKNOWLEDGEMENT OF ADDENDUM NO. 1

Contractor shall sign and acknowledge receipt of this Addendum No. 1 with (21) pages and (2) drawings.

Please return this confirmation sheet via email to michelle@mckernanarchitects.com.

Firm Name: _____

Signature: _____

Title: _____

Date: _____

Prepared By:

Joseph F. McKernan Jr., Architects & Associates

100 Dobbs Lane, Suite 204
Cherry Hill, New Jersey 08034
(856) 616-2960 / (856) 616-2963 fax

Architect Project No. 1214A

December 11, 2023



WEST DEPTFORD TOWNSHIP
Firehouse Conversion to a Library

Addendum No. 1

December 11, 2023

Project No. 1214A

This Addendum forms a part of the Contract Documents and modifies / clarifies the original Bidding Documents dated November 21, 2023 as noted below. Acknowledge receipt of the Addendum in the space provided on the Form of Proposal for Addendum. Failure to do so may subject the Bidder to disqualification.

Except as herein modified / clarified, all other provisions of the Contract Documents shall remain in full force as originally set forth. Additional Work called for herein, unless otherwise described in the Addendum, shall comply with the requirements originally specified for similar Work.

QUESTIONS RECEIVED FROM BIDDERS:

- A. The deadline for questions was set as Friday, December 8, 2023 at 1:00 pm.
- B. The following table lists the questions, in their received order, prior to the deadline. Included in the questions below are those questions asked during the Pre-Bid Meeting, which required input from the Owner.

1	The website, from which we obtained notice of this bidding opportunity, identified the Bid Opening Date as December 20, 2023. However, the Specifications identify the Bid Opening Date as December 21, 2023. Which date is correct? <i>RESPONSE: The Bid Opening Date identified in the Specifications is correct.</i>
2	Should the required Bid Bond be 5% or 10%? <i>RESPONSE: The Bid Bond shall be raised to 10 percent.</i>
3	Will the Township waive the permit fees? <i>RESPONSE: Yes, the permit fees will be waived.</i>
4	Regarding the portion of the work associated with the Civil Engineering Drawings, will it be added onto this contract, or will it be a Separate Concurrent Contract? <i>RESPONSE: The Civil Contract shall be a Separate Concurrent Contract.</i>
5	<i>Which company is the current Fire Alarm Vendor? RESPONSE: Vector Security.</i>
6	Can you get some clarity on the basis of design for 20 & 21? HW set is for alum door. But door schedule is calling out as flush hollow metal door. <i>RESPONSE: The Door Schedule erroneously identified the door and frame material. For Doors 20 & 21, the door and frame material has been corrected as Aluminum.</i>
7	Where portions of the concrete paving and asphalt paving must be removed to accommodate construction of the window alcoves, will paving replacement be part of this contract or the Civil Contract? <i>RESPONSE: Replacement of paving, or introduction of vegetation, will be part of the Civil Contract.</i>

8	There also isn't a specific system selected as basis of design for the storefront or curtain wall systems listed in spec. I see the larger windows have a what appears to be 6" Curtain wall in the details on A-5.3. Based on some preliminary engineering we can use 4 ½" deep, front-set storefront (YKK 45TU Front-set) and it can handle the wind load. This would be the same system you are utilizing at the entrances, based on detail at A5.1. It would be more cost effective. <i>RESPONSE: Spec Section 084113 has been revised to include the Basis-Of-Design Kawneer models. The 6-inch deep frames were selected to 1) Span the gap between the wall framing system and the brick veneer; and 2) Provide sufficient overlap between the wall framing and aluminum frame to sufficiently secure the aluminum frame to the wall framing system.</i>
9	Please confirm fire alarm notification devices are not voice evacuation. <i>RESPONSE: Voice Evacuation is not required in this building.</i>
10	On Sheet A-1.1, near the existing Kitchen, two hexagon symbols contain an "X". Please indicate intended demolition note. <i>RESPONSE: Sheet A-1.1 has been revised, with this question addressed.</i>

CHANGES / CLARIFICATIONS TO SPECIFICATIONS: Sections identified below are attached.

- A. Section "BID FORM"; Paragraph 1.6: The Bid Guarantee amount has been raised to 10 percent.
- B. Section 011000 "Summary"; Paragraph 1.6.A.2 has been added.
- C. Section 084113 "Aluminum-Framed Entrances and Storefronts"; Paragraph 2.3.A has been revised.

CHANGES / CLARIFICATIONS TO DRAWINGS: Drawings identified below are attached.

- A. Drawing Sheet A-1.1 has been modified, with all revisions clouded.
- B. Drawing Sheet A-5.1 has been modified, with all revisions clouded.

Attachments not identified above: Pre-Bid Meeting Minutes.

END OF ADDENDUM NO. 1



WEST DEPTFORD TOWNSHIP
Firehouse Conversion to a Library

Pre-Bid Meeting Minutes

December 4, 2023

Project No. 1214A

ATTENDEES:

- Anthony Ferriola, Deputy Fire Chief West Deptford Township
- Joe Marino Marino General Construction, Inc.
- Chris Jensen Michael Riesz & Company
- William Gross W.J. Gross Inc.
- Josh Levy Levy Construction Company
- Michael F. Foley, RA Joseph F. McKernan Jr., Architects & Associates, LLC

ITEMS DISCUSSED:

1. The Architect explained that this project is the first part of a larger Township project.
 - a. Part One: This project allows the library to vacate its current facility.
 - b. Part Two: Once the current library is renovated, the Police Department can relocate from the Municipal Building into the former library.
 - c. Part Three: Once the Police Department vacates the Municipal Building, renovations can begin, allowing the Township Administration to occupy the entire Municipal Building.
2. The Architect explained that the civil engineering drawings will be ready in the spring of 2024. One of the reasons for the delay is the civil engineering scope of work also includes upgrades to Hessian Park, which is adjacent to the firehouse property on three sides. The Architect will contact the Township Project Manager to determine if the civil engineering contractor will be added to this contract or hold a separate concurrent contract.
3. The Architect gave a brief explanation of the scope of work for this project.
 - a. The Township is required to hold the 2024 Presidential Primary and 2024 General Elections on the Firehouse Property. When that time arrives, the Township Construction Code Official shall determine if the election activities can occur within the building. If not, the Township shall rent trailers and a temporary handicap ramp to accommodate those elections. The contractor shall not be held responsible for the expenses associated with the equipment rentals; however, the contractor must cooperate with the Township to provide ample maneuvering space for the equipment delivery and retrieval.
4. The Architect confirmed that all RFI's should be directed to the Architect.
5. All questions asked during this meeting are addressed in Addendum 1.

If there are any deletions, corrections and/or additions to these minutes, the Architect shall be notified within seven (7) days of receipt of same, or the minutes shall stand as noted.

END OF MEETING MINUTES

BID FORM - STIPULATED SUM (SINGLE-PRIME CONTRACT)

1.1 BID INFORMATION

- A. Bidder: _____.
- B. Project Name: West Deptford Fire House Conversion to a Library.
- C. Project Location: 611 Academy Avenue, West Deptford, NJ 08096.
- D. Owner: Township of West Deptford.
- E. Owner Phone Number: (856) 845-4004.
- F. Architect: Joseph F. McKernan Jr., Architects & Associates.
- G. Architect Project Number: 1214A.

1.2 CERTIFICATIONS AND BASE BID

- A. Base Bid, Single-Prime (All Trades) Contract: The undersigned Bidder, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Specifications, and all subsequent Addenda, as prepared by Joseph F. McKernan, Jr. Architects & Associates and Architect's consultants, having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment and services, including all scheduled allowances, necessary to complete the construction of the above-named project, according to the requirements of the Procurement and Contracting Documents, for the stipulated sum of:
 - 1. _____ Dollars (\$ _____).
 - 2. The above amount may be modified by amounts indicated in Paragraphs 1.3 "Alternate Bids"; Paragraph 1.4 "Quantity Allowances"; and Paragraph 1.5 "Unit Prices."

1.3 ALTERNATE BIDS

- A. Add Alternate Bid No. 1: Refer to Section 012300 "Alternates."
 - 1. _____ Dollars (\$ _____).
- B. Add Alternate Bid No. 2: Refer to Section 012300 "Alternates."
 - 2. _____ Dollars (\$ _____).

1.4 QUANTITY ALLOWANCES

- A. Lump Sum Allowance No. 1: Refer to Section 012100 "Allowances."
 - 1. _____ Dollars (\$ _____).
- B. Lump Sum Allowance No. 2: Refer to Section 012100 "Allowances."

1. _____ Dollars (\$ _____).

1.5 UNIT PRICES

A. Unit Price No. 1: Refer to Specification Section 012200 "Unit Prices".

1. _____ Dollars (\$ _____).

B. Unit Price No. 2: Refer to Specification Section 012200 "Unit Prices."

1. _____ Dollars (\$ _____).

1.6 BID GUARANTEE

A. The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within 10 days after a written Notice of Award, if offered within 60 days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, or bid bond, as liquidated damages for such failure, in the following amount constituting **ten percent (10%)** of the Base Bid amount above:

1. _____ Dollars (\$ _____).

B. In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond.

1.7 SUBCONTRACTORS AND SUPPLIERS

A. The following companies shall execute subcontracts for the portions of the Work indicated:

1. Mechanical Work: _____.

2. Electrical Work: _____.

3. Plumbing Work: _____.

4. Fire Protection Work: _____.

1.8 TIME OF COMPLETION

A. The undersigned Bidder proposes and agrees hereby to commence the Work of the Contract Documents on a date specified in a written Notice to Proceed to be issued by Architect, and shall fully complete the Work within 300 calendar days.

1.9 ACKNOWLEDGEMENT OF ADDENDA

- A. The undersigned Bidder acknowledges receipt of and use of the following Addenda in the preparation of this Bid:
 - 1. Addendum No. 1, dated _____.
 - 2. Addendum No. 2, dated _____.
 - 3. Addendum No. 3, dated _____.

1.10 BID SUPPLEMENTS

- A. The following supplements are a part of this Bid Form.
 - 1. Bid Form Supplement - Bid Bond Form (AIA Document A310-2010).

1.11 CONTRACTOR'S LICENSE

- A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in State of New Jersey, and that all fees, permits, etc., pursuant to submitting this proposal have been paid in full.

1.12 SUBMISSION OF BID

- A. Respectfully submitted this ____ day of _____, 2023.
- B. Submitted By: _____ (Name of bidding firm or corporation).
- C. Authorized Signature: _____ (Handwritten signature).
- D. Signed By: _____ (Type or print name).
- E. Title: _____ (Owner/Partner/President/Vice President).
- F. Witnessed By: _____ (Handwritten signature).
- G. Attest: _____ (Handwritten signature).
- H. By: _____ (Type or print name).
- I. Title: _____ (Corporate Secretary or Assistant Secretary).
- J. Street Address: _____.
- K. City, State, Zip: _____.
- L. Phone: _____.
- M. License No.: _____.
- N. Federal ID No.: _____ (Affix Corporate Seal Here).

SECTION 011000 - SUMMARY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Project information.
 - 2. Owner's use of the property and building.
 - 3. Work covered by Contract Documents.
 - 4. Work under Owner's separate contracts.
 - 5. Owner-furnished / Owner-installed (OFOI) products.
 - 6. Contractor's use of site and premises.
 - 7. Work restrictions.
 - 8. Specification and Drawing conventions.
- B. Related Requirements:
 - 1. Section 015000 "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities.
 - 2. Section 017300 "Execution" for coordination of Owner-installed products.

1.3 PROJECT INFORMATION

- A. Project Identification: West Deptford Fire House Conversion to a Library.
 - 1. Project Location: 611 Academy Avenue, West Deptford, NJ 08096.
- B. Owner: West Deptford Township; 400 Crowne Point Blvd., West Deptford, NJ 08096.
 - 1. Owner's Representative: Tyler Rost; Special Project Manager.
 - 2. Owner's Representative: Bill Gigliotti; Public Works Manager.
- C. Architect: Joseph F. McKernan, Jr., Architects and Associates, LLC.
 - 1. Architect's Representative: Michael F. Foley, RA, LEEDapBD+C.
- D. Architect's Consultants: Architect has retained the following design professionals, who have prepared designated portions of the Contract Documents:
 - 1. Mechanical, Electrical, Plumbing & Fire Protection Engineers: Holstein-White; 3000 Horizon Blvd. – Suite 503, Trevoze, PA, 19053.
 - 1. Mechanical Engineering Representative: Jamie Boles, PE.
 - 2. Electrical Engineering Representative: Jeffrey Cook.
 - 3. Plumbing Engineering Representative: Jamie Boles, PE.
 - 4. Fire Protection Engineering Representative: Jamie Boles, PE.

1.4 OWNER'S USE OF THE PROPERTY AND BUILDING

- A. Throughout demolition and construction activities, the Property and Building shall be unoccupied by the Owner, except for the following dates:
 - 1. Primary for Presidential Election Day; June 4, 2024.
 - 2. Presidential Election Day; November 5, 2024.

- B. Colonial Manor Firehouse is a designated polling location within West Deptford Township. The Township does not have permission to relocate the polling location. Therefore, on both days noted above, one of two scenarios shall occur:
 - 1. If the Construction Code Official deems the building structure is safe for public access, a Temporary Certificate of Occupancy shall be issued for Election Day related activities only.
 - 2. If the Construction Code Official deems the building structure is unsafe for public access, the Contractor shall provide a clear area within the rear parking lot to accommodate the following:
 - a. Two office trailers. Each office trailer can be as large as 12 feet wide by 48 feet long. Owner shall inform Contractor of actual trailer dimensions, when rental is finalized.
 - b. Handicap accessible ramp, providing access to both trailers.
 - c. Minimum of six temporary accessible handicap parking spaces.
 - d. As many typical parking spaces as is technically feasible.
 - e. Sufficient clear area for the delivery truck driver to drop-off and pick-up the trailers.

- C. The costs associated with trailer and ramp rentals, shall be the responsibility of the Owner, and shall not be included within the Contractor's Schedule of Values.

1.5 WORK COVERED BY CONTRACT DOCUMENTS

- A. The Work of Project is defined by the Contract Documents and includes, but is not limited to, the following: Colonial Manor Firehouse is a decommissioned firehouse, which has been purchased by West Deptford Township for the purpose of conversion to a Media Center, and other Work indicated in the Contract Documents.

- B. Type of Contract: Single Prime Contract.

1.6 WORK COVERED BY OWNER'S SEPARATE CONTRACTS

- A. The Owner has retained Remington-Vernick for Civil Engineering Services.
 - 1. The Civil Engineering Contract Documents will become available during Spring of 2024.
 - a. The Architect has provided an "Architectural Site Plan" as a stand-in until Spring 2024.
 - b. The Contractor for this Contract is responsible for contacting the Utility Companies serving the site, and having them mark-out their respective underground service lines.
 - 1) Water and Sewer Service: West Deptford Township.
 - 2) Electric and Gas Service: Public Service Electric and Gas.
 - 2. The Contractor who is awarded the Civil Contract, shall operate under a "Separate Concurrent Contract", and shall not be a Subcontractor to the General Contractor.

1.7 OWNER-FURNISHED / OWNER-INSTALLED (OFOI) PRODUCTS

- A. Owner-Furnished/Owner-Installed (OFOI) Products:
 - 1. Door Hardware: Lock Cylinders will be provided and installed by Owner's Locksmith, J.C. McGee Security Solutions.

1.8 CONTRACTOR'S USE OF SITE AND PREMISES

- A. Unrestricted Use of Site: Contractor shall have full use of Project site for construction operations during construction period. Contractor's use of Project site is limited only by Owner's right to perform work or to retain other contractors on portions of Project.
- B. Limits on Use of Site: Limit use of Project site to interior work within the building and exterior work on the property indicated. Do not disturb portions of Project site beyond the designated property lines.
 - 1. Driveways, Walkways and Entrances: Keep driveways and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or for storage of materials.
 - a. Schedule deliveries to minimize use of driveways and entrances by construction operations.
 - b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
- C. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.
- D. Condition of Existing Grounds: Maintain portions of existing grounds, landscaping, and hardscaping affected by construction operations throughout construction period. Repair damage caused by construction operations.

1.9 WORK RESTRICTIONS

- A. Comply with restrictions on construction operations. Comply with limitations on use of public streets, work on public streets, rights of way, and other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit work to between 7:00 a.m. to 4:00 p.m., Monday through Friday, unless otherwise indicated. Work hours may be modified to meet Project requirements if approved by Owner and authorities having jurisdiction.
 - 1. Weekend Hours: Allowed with Owner's written permission.
 - 2. Early Morning Hours: Not permitted.
- C. Smoking and Controlled Substance Restrictions: Use of tobacco products, alcoholic beverages, and other controlled substances on Owner's property is not permitted.
- D. Employee Identification: Provide identification tags for Contractor personnel working on Project site. Require personnel to use identification tags at all times.
- E. Employee Screening: Comply with Owner's requirements for drug screening of Contractor personnel working on Project site. Maintain list of approved screened personnel with Owner's representative.

1.10 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 - 1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.

2. Text Color: Text used in the Specifications, including units of measure, manufacturer and product names, and other text may appear in multiple colors or underlined as part of a hyperlink; no emphasis is implied by text with these characteristics.
 3. Hypertext: Text used in the Specifications may contain hyperlinks. Hyperlinks may allow for access to linked information that is not residing in the Specifications. Unless otherwise indicated, linked information is not part of the Contract Documents.
 4. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 00 Contracting Requirements: General provisions of the Contract, including General and Supplementary Conditions, apply to all Sections of the Specifications.
- C. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.
- D. Drawing Coordination: Requirements for materials and products identified on Drawings are described in detail in the Specifications. One or more of the following are used on Drawings to identify materials and products:
1. Terminology: Materials and products are identified by the typical generic terms used in the individual Specifications Sections.
 2. Abbreviations: Materials and products are identified by abbreviations scheduled on Drawings.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 011000

SECTION 084113 - ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Aluminum-framed storefront systems.
 - 2. Aluminum-framed entrance door systems.
 - 3. Manual and electrified door hardware for aluminum-framed entrance door systems.

1.2 ACTION SUBMITTALS

- A. Product Data: For each type of product. Include construction details, material descriptions, dimensions of individual components and profiles, and finishes.
- B. Shop Drawings: For aluminum-framed entrances and storefronts. Include plans, elevations, sections, full-size details, and attachments to other work.
 - 1. Include details of provisions for assembly expansion and contraction and for draining moisture occurring within the assembly to the exterior.
 - 2. Include full-size isometric details of each type of vertical-to-horizontal intersection of aluminum-framed entrances and storefronts, showing the following:
 - a. Joinery, including concealed welds.
 - b. Anchorage.
 - c. Expansion provisions.
 - d. Glazing.
 - e. Flashing and drainage.
 - 3. Show connection to and continuity with adjacent thermal, weather, air, and vapor barriers.
 - 4. Include point-to-point wiring diagrams showing the following:
 - a. Power requirements for each electrically operated door hardware.
 - b. Location and types of switches, signal device, conduit sizes, and number and size of wires.
- C. Samples for Initial Selection: For units with factory-applied color finishes.
- D. Entrance Door Hardware Schedule: Prepared by or under supervision of supplier, detailing fabrication and assembly of entrance door hardware, as well as procedures and diagrams. Coordinate final entrance door hardware schedule with doors, frames, and related work to ensure proper size, thickness, hand, function, and finish of entrance door hardware.

1.3 INFORMATIONAL SUBMITTALS

- A. Sample warranties.

1.4 CLOSEOUT SUBMITTALS

- A. Operation and Maintenance Data: For aluminum-framed entrances and storefronts.

1.5 QUALITY ASSURANCE

- A. Qualifications:
- B. Product Options: Information on Drawings and in Specifications establishes requirements for aesthetic effects and performance characteristics of assemblies. Aesthetic effects are indicated by dimensions, arrangements, alignment, and profiles of components and assemblies as they relate to sightlines, to one another, and to adjoining construction.
 - 1. Do not change intended aesthetic effects, as judged solely by Architect, except with Architect's approval. If changes are proposed, submit comprehensive explanatory data to Architect for review.

1.6 WARRANTY

- A. Special Warranty: Manufacturer agrees to repair or replace components of aluminum-framed entrances and storefronts that do not comply with requirements or that fail in materials or workmanship within specified warranty period.
 - 1. Failures include, but are not limited to, the following:
 - a. Structural failures, including, but not limited to, excessive deflection.
 - b. Noise or vibration created by wind and thermal and structural movements.
 - c. Deterioration of metals and other materials beyond normal weathering.
 - d. Water penetration through fixed glazing and framing areas.
 - e. Failure of operating components.
 - 2. Warranty Period: Five years from date of Substantial Completion.
- B. Special Finish Warranty, Factory-Applied Finishes: Standard form in which manufacturer agrees to repair finishes or replace aluminum that shows evidence of deterioration of factory-applied finishes within specified warranty period.
 - 1. Deterioration includes, but is not limited to, the following:
 - a. Color fading more than 5 Delta E units when tested in accordance with ASTM D 2244.
 - b. Chalking in excess of a No. 8 rating when tested in accordance with ASTM D 4214.
 - c. Cracking, checking, peeling, or failure of paint to adhere to bare metal.
 - 2. Warranty Period: 10 years from date of Substantial Completion.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Source Limitations: Obtain all components of aluminum-framed entrance and storefront system, including framing and accessories, from single manufacturer.

2.2 PERFORMANCE REQUIREMENTS

- A. General Performance: Comply with performance requirements specified, as determined by testing of aluminum-framed entrances and storefronts representing those indicated for this Project without failure due to defective manufacture, fabrication, installation, or other defects in construction.
1. Aluminum-framed entrances and storefronts shall withstand movements of supporting structure, including, but not limited to, twist, column shortening, long-term creep, and deflection from uniformly distributed and concentrated live loads.
 2. Failure also includes the following:
 - a. Thermal stresses transferring to building structure.
 - b. Glass breakage.
 - c. Noise or vibration created by wind and thermal and structural movements.
 - d. Loosening or weakening of fasteners, attachments, and other components.
 - e. Failure of operating units.
- B. Structural Loads: Wind Loads: As indicated on Drawings.
- C. Deflection of Framing Members Supporting Glass: At design wind load, deflection Normal to Wall Plane: Limited to 1/175 of clear span for spans of up to 13 feet 6 inches (4.1 m).
- D. Structural: Test in accordance with ASTM E330/E330M as follows:
1. When tested at positive and negative wind-load design pressures, storefront assemblies, including entrance doors, do not evidence deflection exceeding specified limits.
 2. When tested at 150 percent of positive and negative wind-load design pressures, storefront assemblies, including entrance doors and anchorage, do not evidence material failures, structural distress, or permanent deformation of main framing members exceeding 0.2 percent of span.
 3. Test Durations: As required by design wind velocity, but not less than 10 seconds.
- E. Water Penetration under Static Pressure: Test in accordance with ASTM E331 as follows:
1. No evidence of water penetration through fixed glazing and framing areas, including entrance doors, when tested in accordance with a minimum static-air-pressure differential of 20 percent of positive wind-load design pressure, but not less than 6.24 lbf/sq. ft. (300 Pa).
- F. Energy Performance: Certified and labeled by manufacturer for energy performance as follows:
1. Thermal Transmittance (U-factor):
 - a. Fixed Glazing and Framing Areas: U-factor for the system of not more than 0.41 Btu/sq. ft. x h x deg F (2.33 W/sq. m x K) as determined in accordance with NFRC 100.
 - b. Entrance Doors: U-factor of not more than 0.68 Btu/sq. ft. x h x deg F (3.86 W/sq. m x K) as determined in accordance with NFRC 100.
 2. Solar Heat-Gain Coefficient (SHGC):
 - a. Fixed Glazing and Framing Areas: SHGC for the system of not more than 0.35 as determined in accordance with NFRC 200.
 - b. Entrance Doors: SHGC of not more than 0.33 as determined in accordance with NFRC 200.
 3. Air Leakage:
 - a. Fixed Glazing and Framing Areas: Air leakage for the system of not more than 0.06 cfm/sq. ft. (0.30 L/s per sq. m) at a static-air-pressure differential of 1.57 lbf/sq. ft. (75 Pa) when tested in accordance with ASTM E283.

- b. Entrance Doors: Air leakage of not more than 1.0 cfm/sq. ft. (5.08 L/s per sq. m) at a static-air-pressure differential of 1.57 lbf/sq. ft. (75 Pa).
- G. Thermal Movements: Allow for thermal movements resulting from ambient and surface temperature changes.
 - 1. Temperature Change: 120 deg F (67 deg C), ambient; 180 deg F (100 deg C), material surfaces.

2.3 STOREFRONT SYSTEMS

- A. Basis-Of-Design Manufacturer: Kawneer; 1600 System 1 (6-inches deep) and 451T (4.5-inches deep).
- B. Acceptable alternate manufacturers include, and are limited to: EFCO and YKK.
- C. Framing Members: Manufacturer's extruded- or formed-aluminum framing members of thickness required and reinforced as required to support imposed loads.
 - 1. Exterior Framing Construction: Thermally broken.
 - 2. Interior Vestibule Framing Construction: Nonthermal.
 - 3. Glazing System: Retained mechanically with gaskets on four sides.
 - 4. Glazing Plane: As indicated on Drawings.
 - 5. Finish: Dark Bronze Anodized finish.
 - 6. Fabrication Method: Field-fabricated stick system.
 - 7. Aluminum: Alloy and temper recommended by manufacturer for type of use and finish indicated.
 - 8. Steel Reinforcement: As required by manufacturer.
- D. Backer Plates: Manufacturer's standard, continuous backer plates for framing members, if not integral, where framing abuts adjacent construction.
- E. Brackets and Reinforcements: Manufacturer's standard high-strength aluminum with nonstaining, nonferrous shims for aligning system components.

2.4 ENTRANCE DOOR SYSTEMS

- A. Basis-Of-Design Manufacturer: Kawneer.
- B. Acceptable alternate manufacturers include, and are limited to: EFCO and YKK.
- C. Entrance Doors: Manufacturer's standard glazed entrance doors for manual-swing operation.
 - 1. Door Construction: 1-3/4-inch (44.5-mm) overall thickness, with minimum 0.125-inch- (3.2-mm-) thick, extruded-aluminum tubular rail and stile members. Mechanically fasten corners with reinforcing brackets that are deeply penetrated and fillet welded or that incorporate concealed tie rods.
 - a. Thermal Construction: High-performance plastic connectors separate aluminum members exposed to the exterior from members exposed to the interior.
 - 2. Door Design: Wide stile; 5-inch (127-mm) nominal width.
 - 3. Glazing Stops and Gaskets: Beveled, snap-on, extruded-aluminum stops and preformed gaskets.
 - a. Finish: Match adjacent storefront framing finish.

2.5 ENTRANCE DOOR HARDWARE

- A. Items prefixed with the $\not\{/$ symbol, are electrified. Those items specified below are provided by Kawneer, the Basis-Of-Design aluminum frame manufacturer. If an alternate manufacturer is selected, the Contractor is responsible for providing “or equal” products, and ensuring those products are acceptable to alternate manufacturer.
- B. General: Provide entrance door hardware and entrance door hardware sets indicated in door and frame schedule for each entrance door, to comply with requirements in this Section.
 - 1. Entrance Door Hardware Sets: Provide quantity, item, size, finish or color indicated, and products complying with BHMA standard referenced.
 - 2. Opening-Force Requirements:
 - a. Egress Doors: Not more than 15 lbf (67 N) to release the latch and not more than 30 lbf (133 N) to set the door in motion.
 - b. Accessible Interior Doors: Not more than 5 lbf (22.2 N) to fully open door.
- C. Designations: Requirements for design, grade, function, finish, quantity, size, and other distinctive qualities of each type of entrance door hardware are indicated in "Entrance Door Hardware Sets" Article. Products are identified by using entrance door hardware designations as follows:
 - 1. References to BHMA Standards: Provide products complying with these standards and requirements for description, quality, and function.
- D. Offset Pivot Hinges: Manufacturer’s standard; Dark Bronze Anodized Finish.
- E. Panic Exit Devices:
 - 1. Concealed Rods: Kawneer Paneline (or equal); Concealed Rod Device; CPN Pull; Cylinder Guard; Dark Bronze Finish.
 - a. $\not\{/$ Provide MEL Option at electrified panic exit devices.
 - 2. Rim Device: Von Duprin; 99X9; CPN Pull; Cylinder Guard; Dark Bronze Finish
- F. $\not\{/$ Power Transfer Device: Von Duprin EPT-2; or equal, and acceptable to aluminum frame manufacturer.
- G. $\not\{/$ Electric Strike: Adams Rite 7130; or equal, and acceptable to aluminum frame manufacturer.
- H. $\not\{/$ Request-To-Exit Push Button: Securitron PB5; Illuminated Push Button Control.
- I. $\not\{/$ Power Supply: Kawneer; SP-1000X; Input 115VAC, 60Hz, 6.3Amp; Output 24VDC.
- J. $\not\{/$ Proximity Reader: CDVI; K1BT Reader.
- K. Cylinders: Medeco; X4; A2 Pinning System; Manufacturer’s Standard Finish.
 - 1. Keying: Master key system. Permanently inscribe each key with a visual key control number and include notation "DO NOT DUPLICATE".
- L. Strikes: Provide strike with black-plastic dust box for each latch or lock bolt; fabricated for aluminum framing.
- M. Closers: Norton; 1601 Series; Parallel Arm; #40 Bronze Finish.

- N. Weather Stripping: Manufacturer's standard replaceable components. Compression type made of ASTM D2000 molded neoprene or ASTM D2287 molded PVC.
- O. Weather Sweeps: Manufacturer's standard exterior-door bottom sweep with concealed fasteners on mounting strip.
- P. Thresholds: BHMA A156.21 raised thresholds beveled with a slope of not more than 1:2, with maximum height of 1/2 inch (12.7 mm).

2.6 GLAZING

- A. Glazing: Comply with Section 088000 "Glazing."

2.7 MATERIALS

- A. Sheet and Plate: ASTM B209 (ASTM B209M).
- B. Extruded Bars, Rods, Profiles, and Tubes: ASTM B221 (ASTM B221M).
- C. Structural Profiles: ASTM B308/B308M.
- D. Steel Reinforcement:
 - 1. Structural Shapes, Plates, and Bars: ASTM A36/A36M.
 - 2. Cold-Rolled Sheet and Strip: ASTM A1008/A1008M.
 - 3. Hot-Rolled Sheet and Strip: ASTM A1011/A1011M.
- E. Steel Reinforcement Primer: Manufacturer's standard zinc-rich, corrosion-resistant primer complying with SSPC-PS Guide No. 12.00; applied immediately after surface preparation and pretreatment. Select surface preparation methods in accordance with recommendations in SSPC-SP COM, and prepare surfaces in accordance with applicable SSPC standard.

2.8 ACCESSORIES

- A. Fasteners and Accessories: Manufacturer's standard corrosion-resistant, nonstaining, nonbleeding fasteners and accessories compatible with adjacent materials.
 - 1. Use self-locking devices where fasteners are subject to loosening or turning out from thermal and structural movements, wind loads, or vibration.
 - 2. Reinforce members as required to receive fastener threads.
 - 3. Use exposed fasteners with countersunk Phillips screw heads, finished to match framing system, fabricated from 300 series stainless steel.
- B. Anchors: Three-way adjustable anchors with minimum adjustment of 1 inch (25.4 mm) that accommodate fabrication and installation tolerances in material and finish compatible with adjoining materials and recommended by manufacturer.
 - 1. Concrete and Masonry Inserts: Hot-dip galvanized cast-iron, malleable-iron, or steel inserts complying with ASTM A123/A123M or ASTM A153/A153M requirements.
- C. Bituminous Paint: Cold-applied asphalt-mastic paint containing no asbestos, formulated for 30-mil (0.762-mm) thickness per coat.

- D. Rigid PVC filler.

2.9 FABRICATION

- A. Form or extrude aluminum shapes before finishing.
- B. Weld in concealed locations to greatest extent possible to minimize distortion or discoloration of finish. Remove weld spatter and welding oxides from exposed surfaces by descaling or grinding.
- C. Fabricate components that, when assembled, have the following characteristics:
 - 1. Profiles that are sharp, straight, and free of defects or deformations.
 - 2. Accurately fitted joints with ends coped or mitered.
 - 3. Physical and thermal isolation of glazing from framing members.
 - 4. Accommodations for thermal and mechanical movements of glazing and framing to maintain required glazing edge clearances.
 - 5. Provisions for field replacement of glazing from exterior.
 - 6. Fasteners, anchors, and connection devices that are concealed from view to greatest extent possible.
- D. Mechanically Glazed Framing Members: Fabricate for flush glazing without projecting stops.
- E. Entrance Door Frames: Reinforce as required to support loads imposed by door operation and for installing entrance door hardware.
- F. Entrance Doors: Reinforce doors as required for installing entrance door hardware.
 - 1. At pairs of exterior doors, provide sliding-type weather stripping retained in adjustable strip and mortised into door edge.
 - 2. At exterior doors, provide weather sweeps applied to door bottoms.
- G. Entrance Door Hardware Installation: Factory install entrance door hardware to the greatest extent possible. Cut, drill, and tap for factory-installed entrance door hardware before applying finishes.
- H. After fabrication, clearly mark components to identify their locations in Project in accordance with Shop Drawings.

2.10 ALUMINUM FINISHES

- A. Color Anodic Finish: AAMA 611, AA-M12C22A42/A44, Class I, 0.018 mm or thicker.
 - 1. Color: Manufacturer's standard dark bronze.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine areas, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION, GENERAL

- A. Comply with manufacturer's written instructions.
- B. Do not install damaged components.
- C. Fit joints to produce hairline joints free of burrs and distortion.
- D. Rigidly secure nonmovement joints.
- E. Install anchors with separators and isolators to prevent metal corrosion and electrolytic deterioration and to prevent impeding movement of moving joints.
- F. Seal perimeter and other joints watertight unless otherwise indicated.
- G. Metal Protection:
 - 1. Where aluminum is in contact with dissimilar metals, protect against galvanic action by painting contact surfaces with materials recommended by manufacturer for this purpose or by installing nonconductive spacers.
 - 2. Where aluminum is in contact with concrete or masonry, protect against corrosion by painting contact surfaces with bituminous paint.
- H. Set continuous sill members and flashing in full mastic bed.
- I. Install joint filler behind sealant as recommended by sealant manufacturer.
- J. Install components plumb and true in alignment with established lines and grades.

3.3 INSTALLATION OF OPERABLE UNITS

- A. Install operable units level and plumb, securely anchored, and without distortion. Adjust weather-stripping contact and hardware movement to produce proper operation.

3.4 INSTALLATION OF GLAZING

- A. Install glazing as specified in Section 088000 "Glazing."

3.5 INSTALLATION OF ALUMINUM-FRAMED ENTRANCE DOORS

- A. Install entrance doors to produce smooth operation and tight fit at contact points.
 - 1. Exterior Doors: Install to produce weathertight enclosure and tight fit at weather stripping.
 - 2. Field-Installed Entrance Door Hardware: Install surface-mounted entrance door hardware in accordance with entrance door hardware manufacturers' written instructions using concealed fasteners to greatest extent possible.

3.6 ERECTION TOLERANCES

- A. Install aluminum-framed entrances and storefronts to comply with the following maximum tolerances:

1. Plumb: 1/8 inch in 10 feet (3.2 mm in 3 m); 1/4 inch in 40 feet (6.35 mm in 12.2 m).
2. Level: 1/8 inch in 20 feet (3.2 mm in 6 m); 1/4 inch in 40 feet (6.35 mm in 12.2 m).
3. Alignment: Where surfaces abut in line or are separated by reveal or protruding element up to 1/2 inch (12.7 mm) wide, limit offset from true alignment to 1/16 inch (1.6 mm).
4. Location: Limit variation from plane to 1/8 inch in 12 feet (3.2 mm in 3.6 m); 1/2 inch (12.7 mm) over total length.

3.7 FIELD QUALITY CONTROL

- A. Testing Agency: Engage a qualified testing agency to perform tests and inspections.
- B. Tests and Inspections: Perform the following tests on representative areas of aluminum-framed entrances and storefronts.
 1. Water-Spray Test: Before installation of interior finishes has begun, areas designated by Architect shall be tested in accordance with AAMA 501.2 and shall not evidence water penetration.
 - a. Perform a minimum of three tests in areas as directed by Architect.
 2. Air Leakage: ASTM E783 at 1.5 times the rate specified for laboratory testing in "Performance Requirements" Article but not more than 0.09 cfm/sq. ft. (0.45 L/s per sq. m) at a static-air-pressure differential of 1.57 lbf/sq. ft. (75 Pa).
 - a. Perform a minimum of three tests in areas as directed by Architect.
 3. Water Penetration: ASTM E1105 at a minimum uniform static-air-pressure differential of 0.67 times the static-air-pressure differential specified for laboratory testing in "Performance Requirements" Article, but not less than 6.24 lbf/sq. ft. (300 Pa), and shall not evidence water penetration.
 4. Egress Door Inspections: Inspect each aluminum-framed entrance door equipped with panic hardware, each aluminum-framed entrance door located in an exit enclosure, each electrically controlled aluminum-framed egress door, and each aluminum-framed entrance door equipped with special locking arrangements, in accordance with NFPA 101, Section 7.2.1.15.
- C. Aluminum-framed entrances and storefronts will be considered defective if they do not pass tests and inspections.
- D. Prepare test and inspection reports.

3.8 MAINTENANCE SERVICE

- A. Entrance Door Hardware Maintenance:
 1. Maintenance Tools and Instructions: Furnish a complete set of specialized tools and maintenance instructions as needed for Owner's continued adjustment, maintenance, and removal and replacement of entrance door hardware.
 2. Initial Maintenance Service: Beginning at Substantial Completion, provide six months' full maintenance by skilled employees of entrance door hardware Installer. Include quarterly preventive maintenance, repair or replacement of worn or defective components, lubrication, cleaning, and adjusting as required for proper entrance door hardware operation at rated speed and capacity. Use parts and supplies that are the same as those used in the manufacture and installation of original equipment.

3.9 ENTRANCE DOOR HARDWARE SETS

- A. Door Hardware Set AL-01-E. Each dual leaf, non-fire-rated, door to have the following:
Function = Front entry door. Door: 18.
- 2 Top Pivot Hinge: Kawneer; Standard Top Offset Pivot; #40 Bronze Finish.
 - 2 Inter. Pivot Hinge: Kawneer; Standard Intermediate Offset Pivot; #40 Bronze Finish.
 - 2 Bottom Pivot Hinge: Kawneer; Standard Bottom Offset Pivot; #40 Bronze Finish.
 - ✓ 1 Proximity Reader: CDVI; K1BT Reader.
 - ✓ 1 Exit Device: For Active Leaf; Kawneer; Paneline; Concealed Rod Device w/ MEL option; CPN Pull; Cylinder Guard; Dogging Feature; Dark Bronze Finish.
 - ✓ 1 Power Transfer: Kawneer; Von Duprin EPT-2, Dark Bronze Anodized.
 - ✓ 1 Power Supply: Kawneer; SP-1000X; Input 115VAC, 60Hz, 6.3Amp; Output 24VDC.
 - ✓ 1 Request-to-Exit:
 - 1 Exit Device: Securitron; PB5; Illuminated Push Button.
For Inactive Leaf; Kawneer; Paneline; Concealed Rod Device; CPN Pull; Dogging Feature; Dark Bronze Finish.
 - 1 Cylinder: For Active Leaf; Medeco; X4 Series; Dark Bronze Finish.
 - 2 Closers: Kawneer; Low Energy Closer; Standard Arm, Dark Bronze Anodized.
 - 1 Threshold: Kawneer; for Offset Pivot; 4" wide; Alum. Mill Finish.
- B. Door Hardware Set AL-02. Each dual leaf, non-fire-rated, door to have the following:
Function = Front vestibule door. Door: 17.
- 2 Top Pivot Hinge: Kawneer; Standard Top Offset Pivot; #40 Bronze Finish.
 - 2 Inter. Pivot Hinge: Kawneer; Standard Intermediate Offset Pivot; #40 Bronze Finish.
 - 2 Bottom Pivot Hinge: Kawneer; Standard Bottom Offset Pivot; #40 Bronze Finish.
 - 2 sets Push/Pull Bars: Kawneer; CP-II (push); CO-12 (pull); Dark Bronze Finish
 - 2 Closers: Norton; 1601 Series; Parallel Arm; #40 Bronze Finish.
- C. Door Hardware Set AL-03-E. Single leaf, non-fire-rated, door to have the following:
Function = Rear entry door. Door: 01.
- 1 Top Pivot Hinge: Kawneer; Standard Top Offset Pivot; #40 Bronze Finish.
 - 1 Inter. Pivot Hinge: Kawneer; Standard Intermediate Offset Pivot; #40 Bronze Finish.
 - 1 Bottom Pivot Hinge: Kawneer; Standard Bottom Offset Pivot; #40 Bronze Finish.
 - 1 Exit Rim Device: Von Duprin; 99X9; CPN Pull; Cylinder Guard; Dogging Feature; Dark Bronze Finish.
 - ✓ 1 Electric Strike: Adams Rite 7130; or equal.
 - ✓ 1 Proximity Reader: CDVI; K1BT Reader.
 - ✓ 1 Power Supply: Kawneer; SP-1000X; Input 115VAC, 60Hz, 6.3Amp; Output 24VDC.
 - 1 Cylinder: Medeco; X4 Series; Dark Bronze Finish.
 - 1 Closer: Norton; 1601 Series; Parallel Arm; #40 Bronze Finish.
 - 1 Threshold: Kawneer; for Offset Pivot; 4" wide; Alum. Mill Finish.
- D. Door Hardware Set AL-04. Single leaf, non-fire-rated, door to have the following:
Function = Side emergency exit door. Doors: 20 and 21.
- 1 Top Pivot Hinge: Kawneer; Standard Top Offset Pivot; #40 Bronze Finish.
 - 1 Inter. Pivot Hinge: Kawneer; Standard Intermediate Offset Pivot; #40 Bronze Finish.
 - 1 Bottom Pivot Hinge: Kawneer; Standard Bottom Offset Pivot; #40 Bronze Finish.

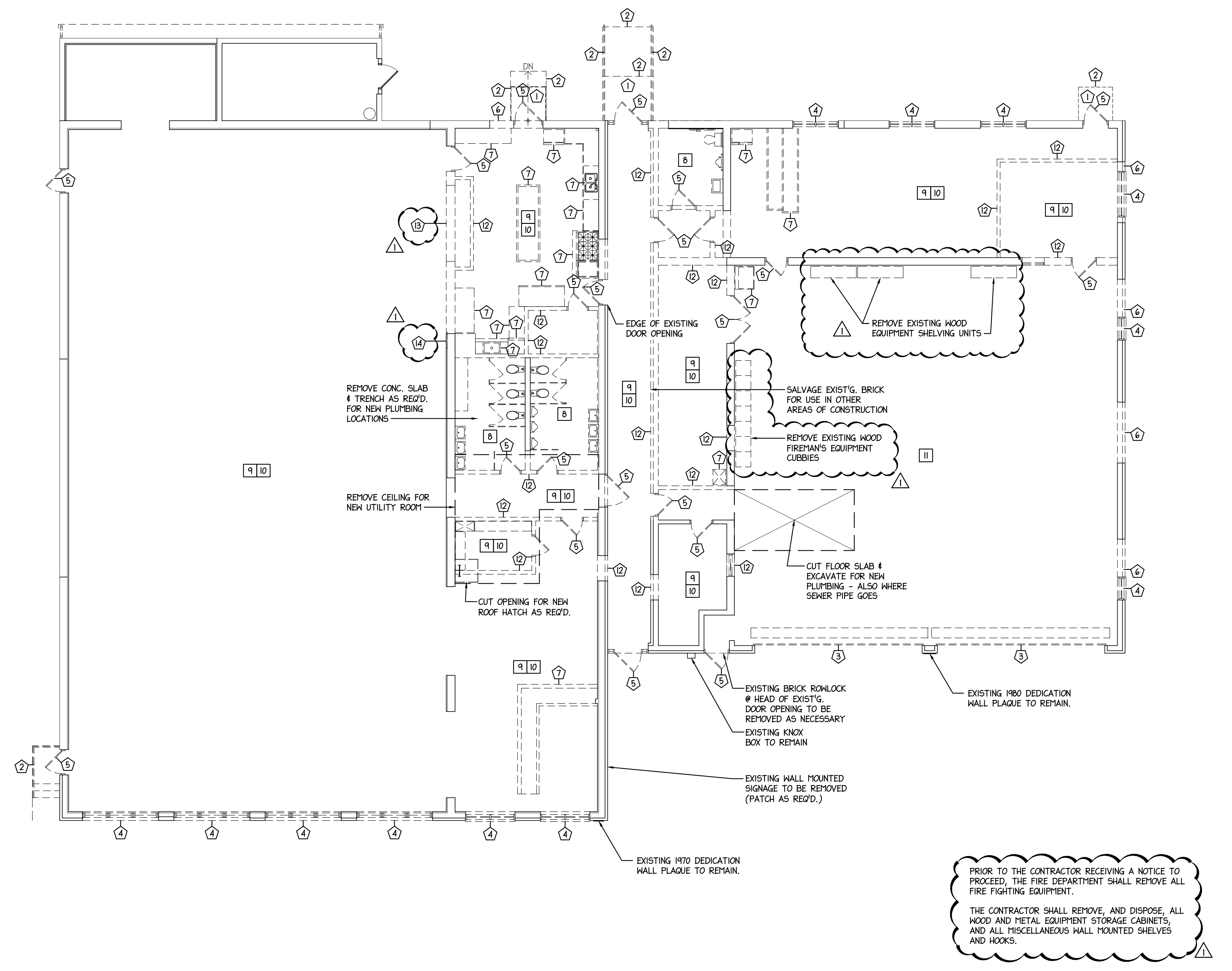
(Revisions are indicated with a vertical line in the right-hand margin.)

Addendum-1

1 Exit Rim Device: Von Duprin; 99X9; No Exterior Trim; Dark Bronze Finish.
1 Closer: Norton; 1601 Series; Parallel Arm; #40 Bronze Finish.
1 Threshold: Kawneer; for Offset Pivot; 4" wide; Alum. Mill Finish.

END OF SECTION 084113

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SPECIFIC DEMOLITION NOTES

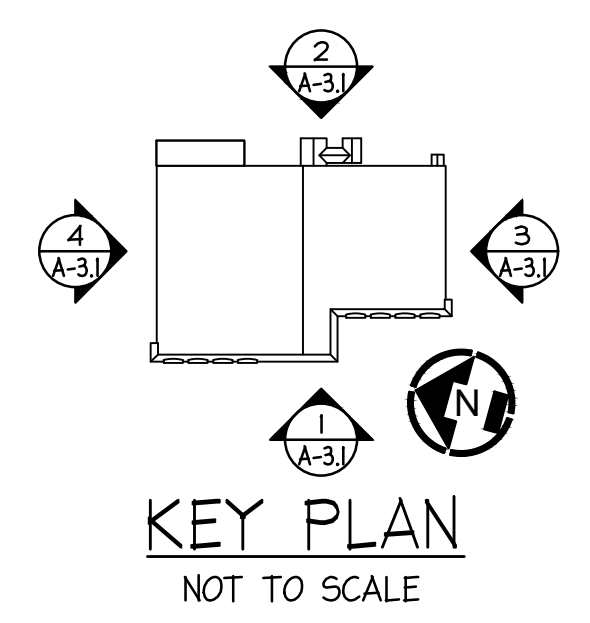
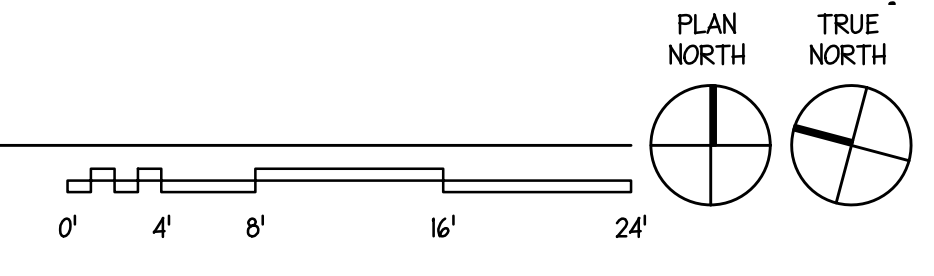
1. REMOVE EXISTING NON-STRUCTURAL, PREFABRICATED METAL ROOF ASSEMBLIES, WHERE MECHANICAL ANCHORS REMAIN WITHIN THE EXTERIOR WALL ASSEMBLY, CUT BACK AND GRIND DOWN TO FLUSH CONDITION WITH EXISTING WALL SURFACE.
2. REMOVE EXISTING CONCRETE RAMP, SLAB, OR STAIR, ASSEMBLY, AND ASSOCIATED FOUNDATIONS.
3. REMOVE EXISTING SECTIONAL, OVERHEAD, APPARATUS BAY DOORS.
4. REMOVE EXISTING EXTERIOR WINDOW ASSEMBLY, AND ALL ASSOCIATED INTERIOR WINDOW TREATMENTS.
5. REMOVE EXISTING DOOR & FRAME ASSEMBLY.
6. REMOVE PORTION OF EXISTING EXTERIOR WALL TO ACCOMMODATE NEW DOOR OR WINDOW ASSEMBLY, AND HEADER.
7. REMOVE EXISTING CASEWORK, WHERE MECHANICAL ANCHORS REMAIN, CUT BACK AND GRIND DOWN TO FLUSH CONDITION WITH EXISTING FLOOR OR WALL SURFACE.
8. WITHIN EXISTING RESTROOMS, REMOVE THE FOLLOWING:
 - ALL PLUMBING FIXTURES (SEE PLUMBING DRAWINGS).
 - ALL PRIVACY PARTITIONS.
 - ALL RESTROOM ACCESSORIES.
 - ALL FLOOR FINISHES. NOTIFY ARCHITECT IF CERAMIC MOSAIC FLOOR TILE WAS INSTALLED WITH A TRADITIONAL MUD BASE.
 - ALL CERAMIC WALL AND BASE TILE.
 - ALL SUSPENDED ACOUSTICAL CEILING ASSEMBLIES, INCLUDING HANGER WIRE.
9. REMOVE EXISTING VINYL TILE, ASSOCIATED WALL BASE, AND ALL FLOORING ADHESIVE / MASTIC.
10. REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING SYSTEM, INCLUDING ALL FIXTURES WITHIN, AND ALL HANGER WIRES.
11. REMOVE EXISTING INSULATION MATERIAL, SECURED TO ROOF FRAMING SYSTEM, ABOVE APPARATUS BAYS.
12. REMOVE PORTION OF EXISTING PARTITION ASSEMBLY AS SHOWN, WHERE NEW DOORS ARE SHOWN ON THE CONSTRUCTION PLANS WITHIN EXISTING MASONRY PARTITIONS, REMOVE ADDITIONAL PARTITION MATERIAL TO ACCOMMODATE THE NEW HEADERS.
13. REMOVE EXISTING WALL FINISHES, COUNTERTOP AND CURTAIN, INCLUDING TRACK AND HARDWARE, AT KITCHEN SERVERY COUNTER.
14. REMOVE EXISTING HVAC WALL GRILLE. REFER TO MECHANICAL DEMOLITION DRAWINGS FOR ADDITIONAL ASSOCIATED DEMOLITION WORK.

GENERAL DEMOLITION NOTES

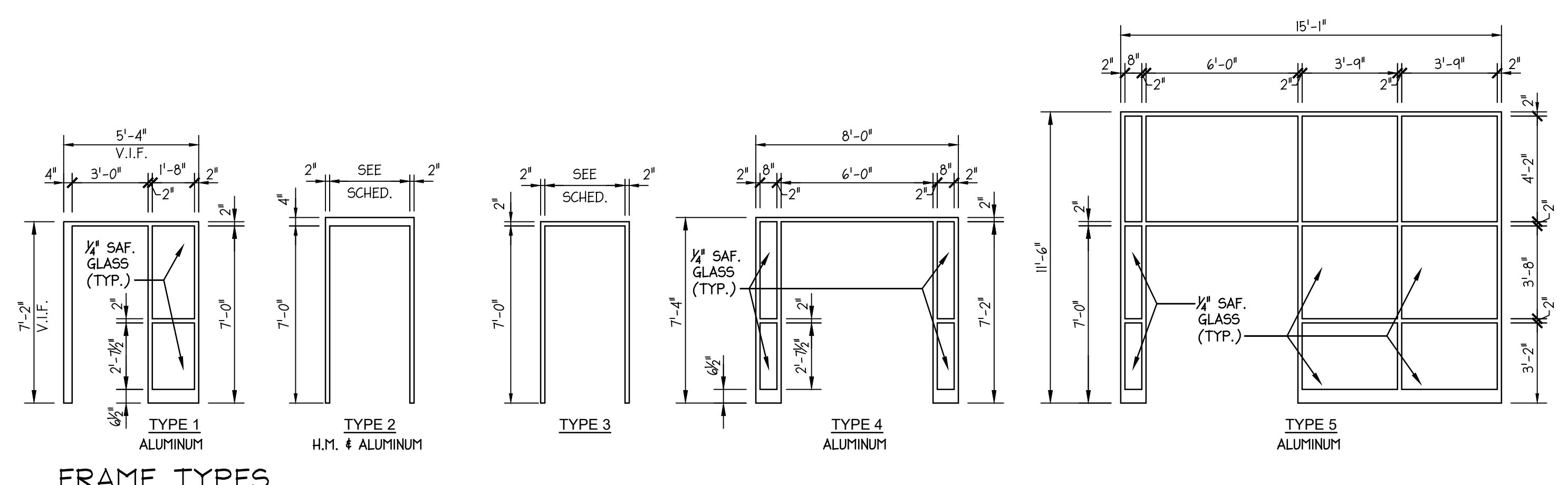
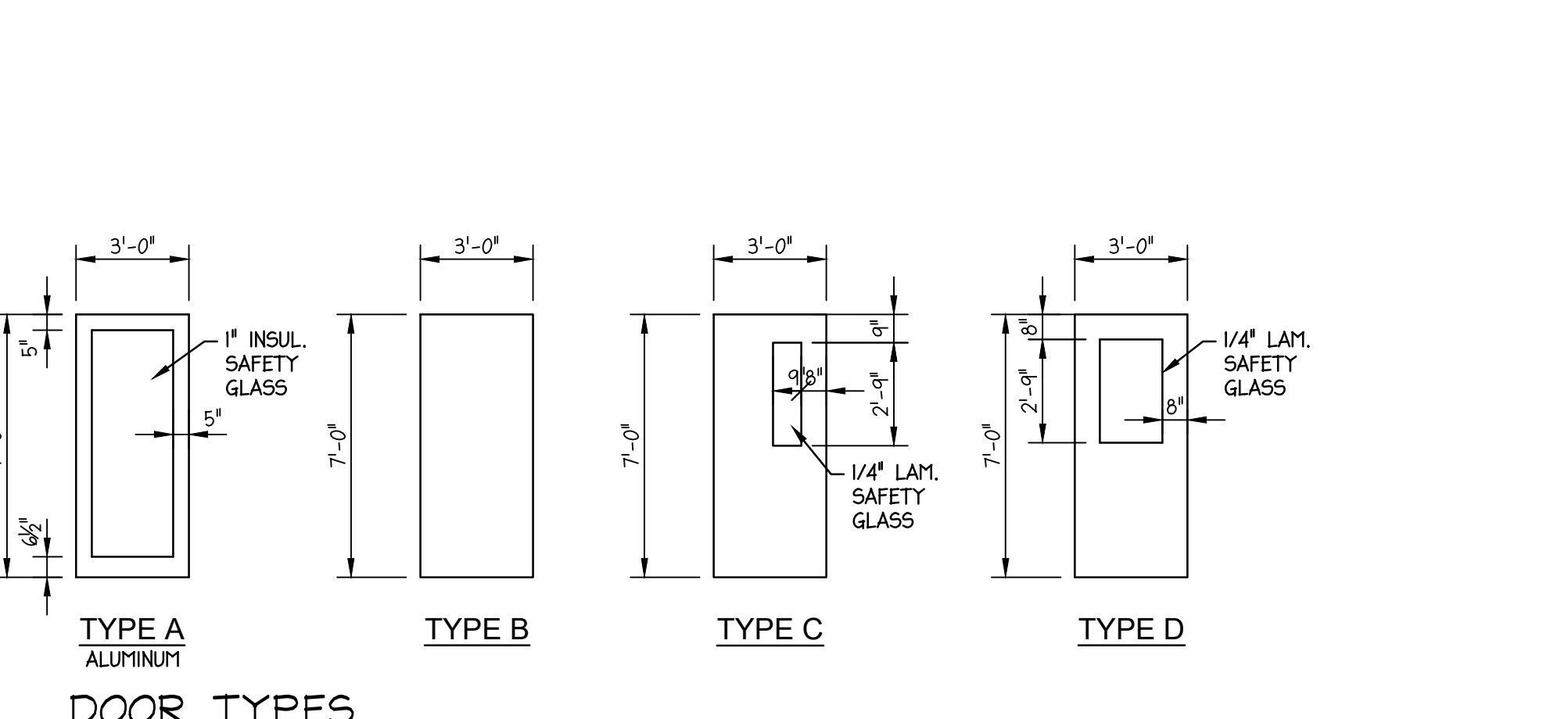
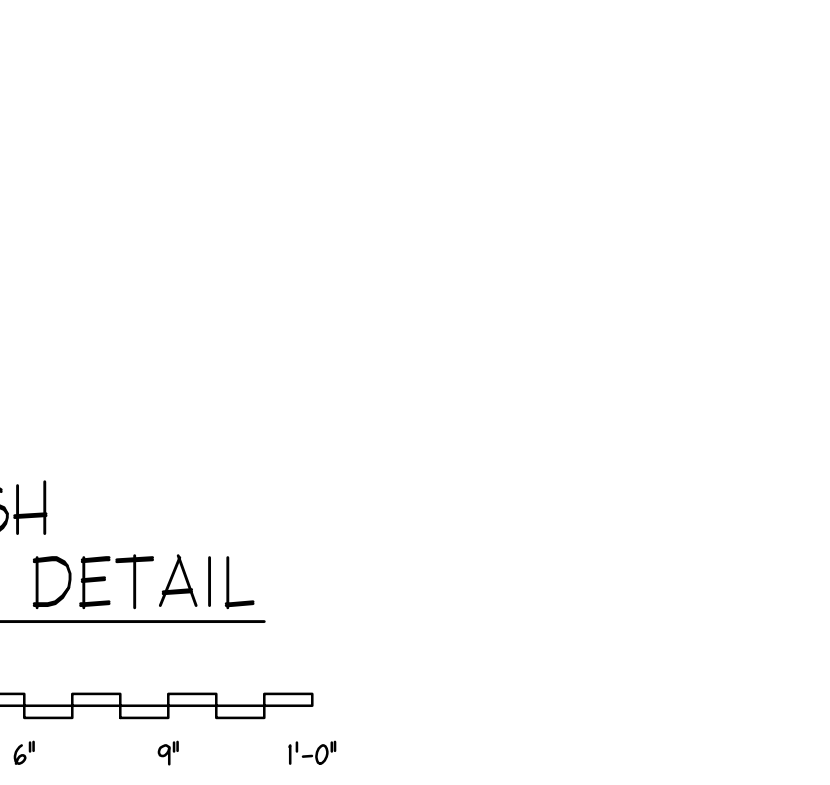
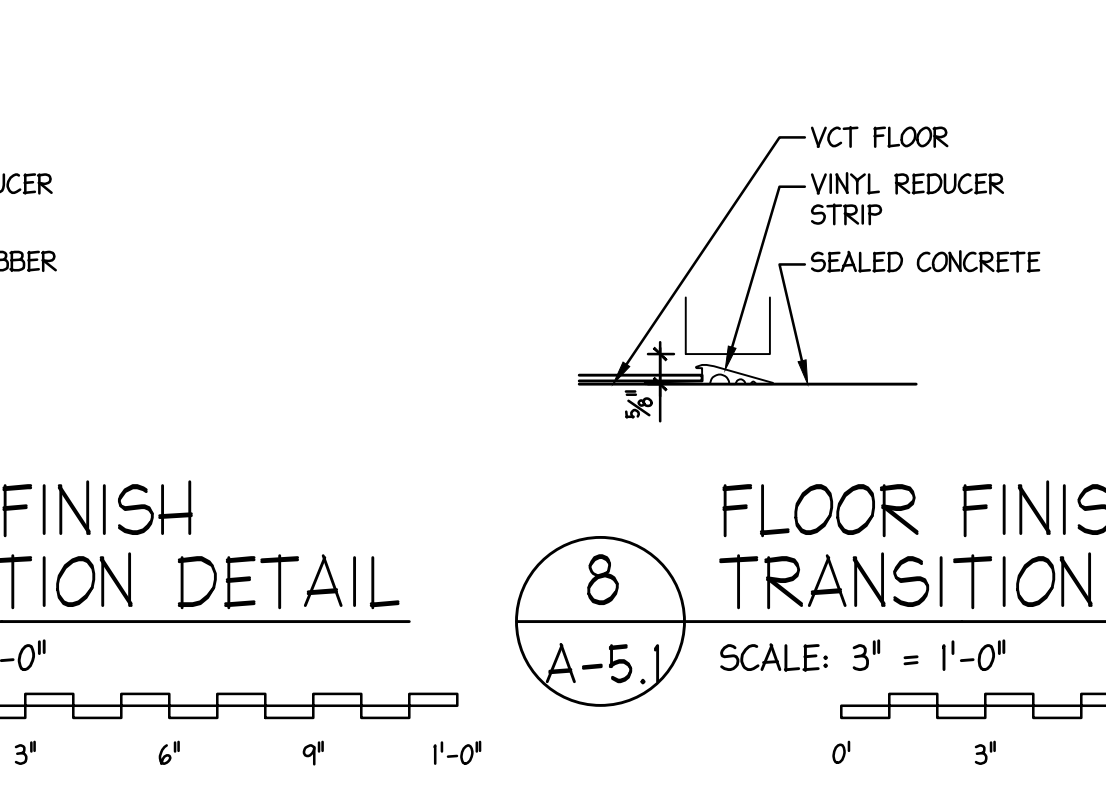
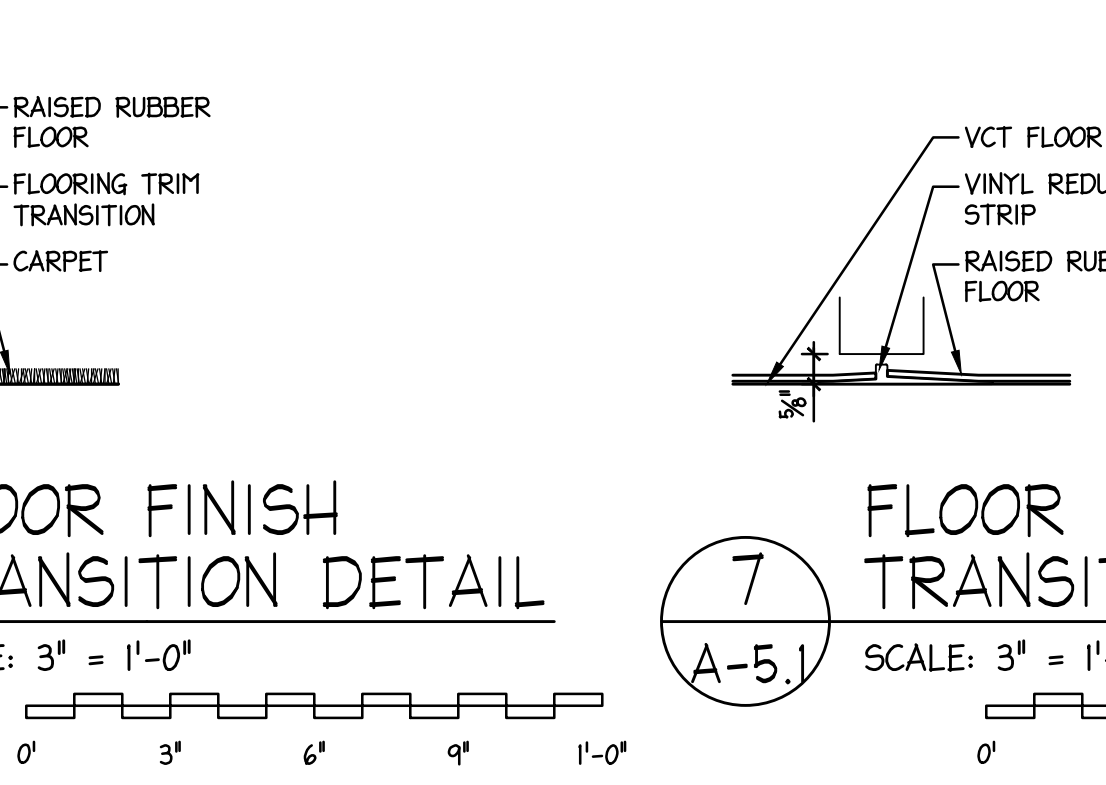
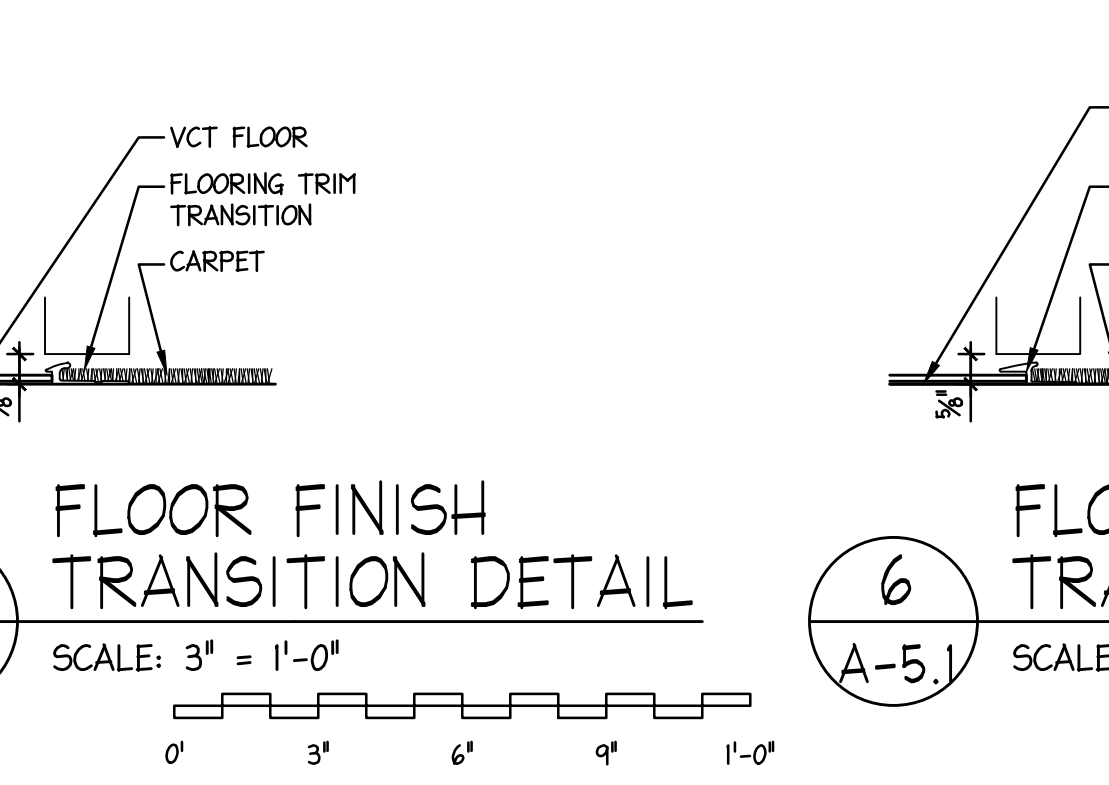
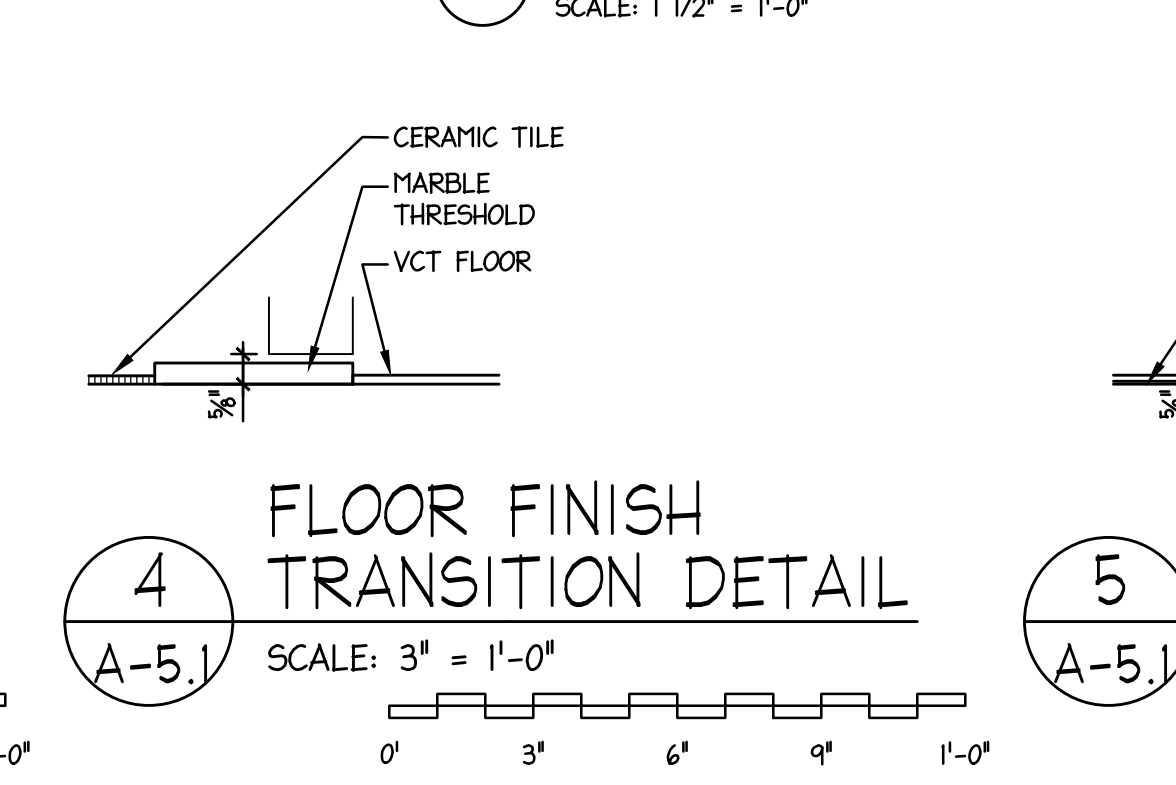
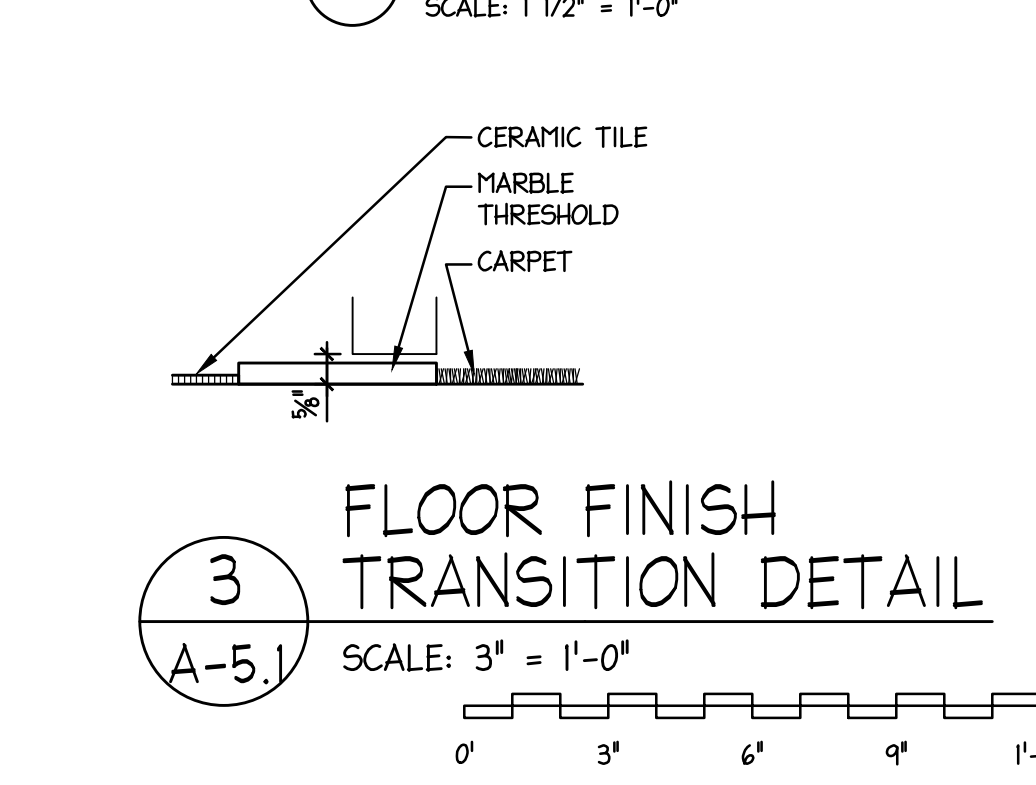
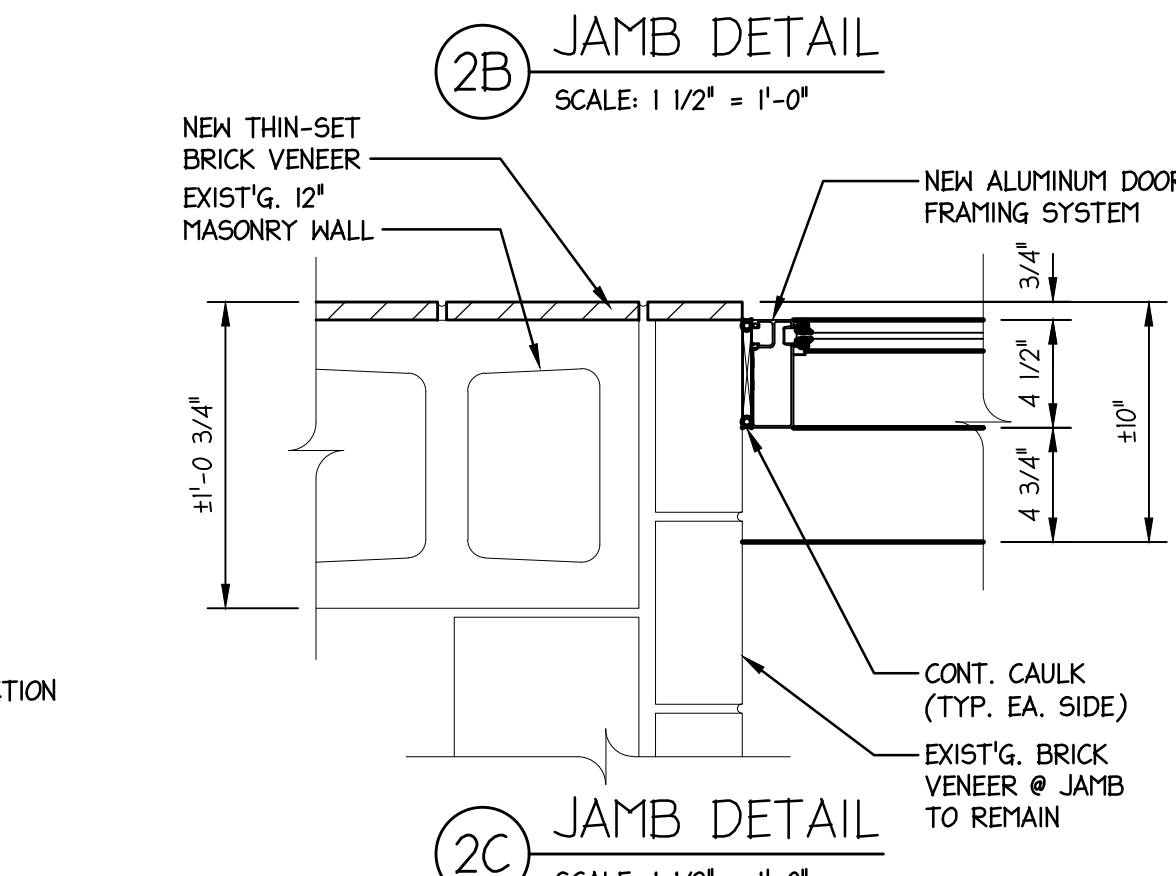
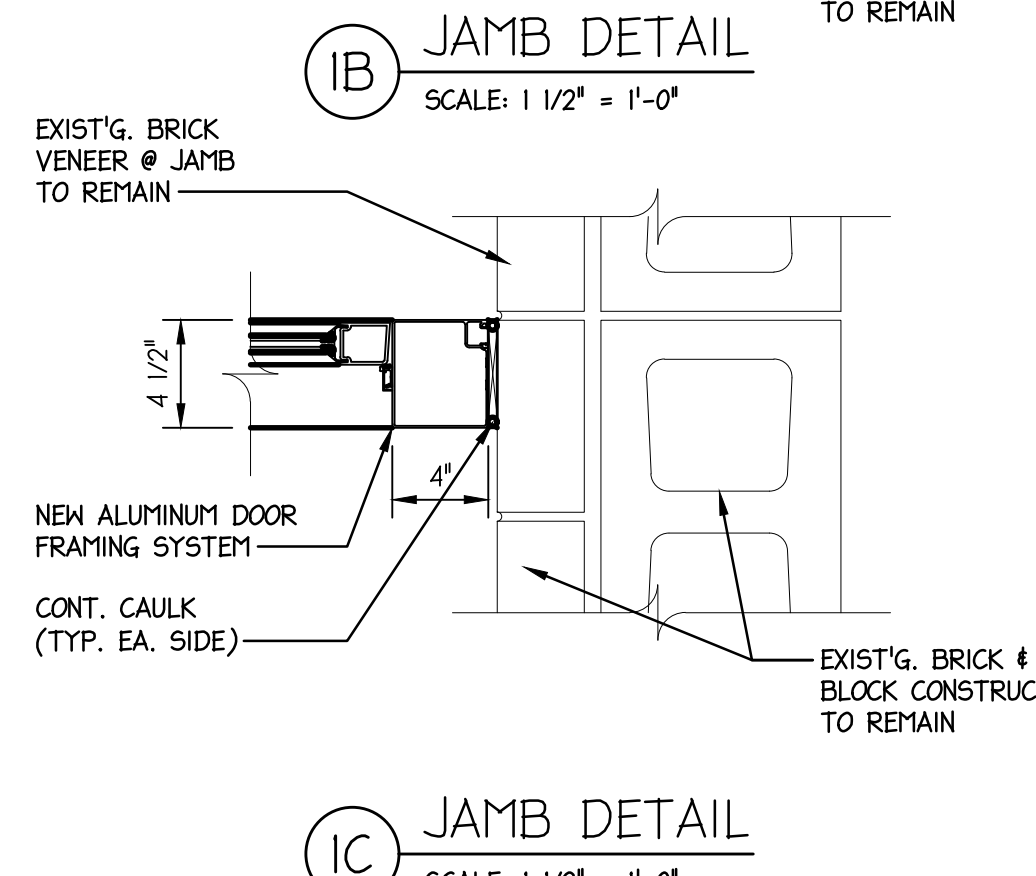
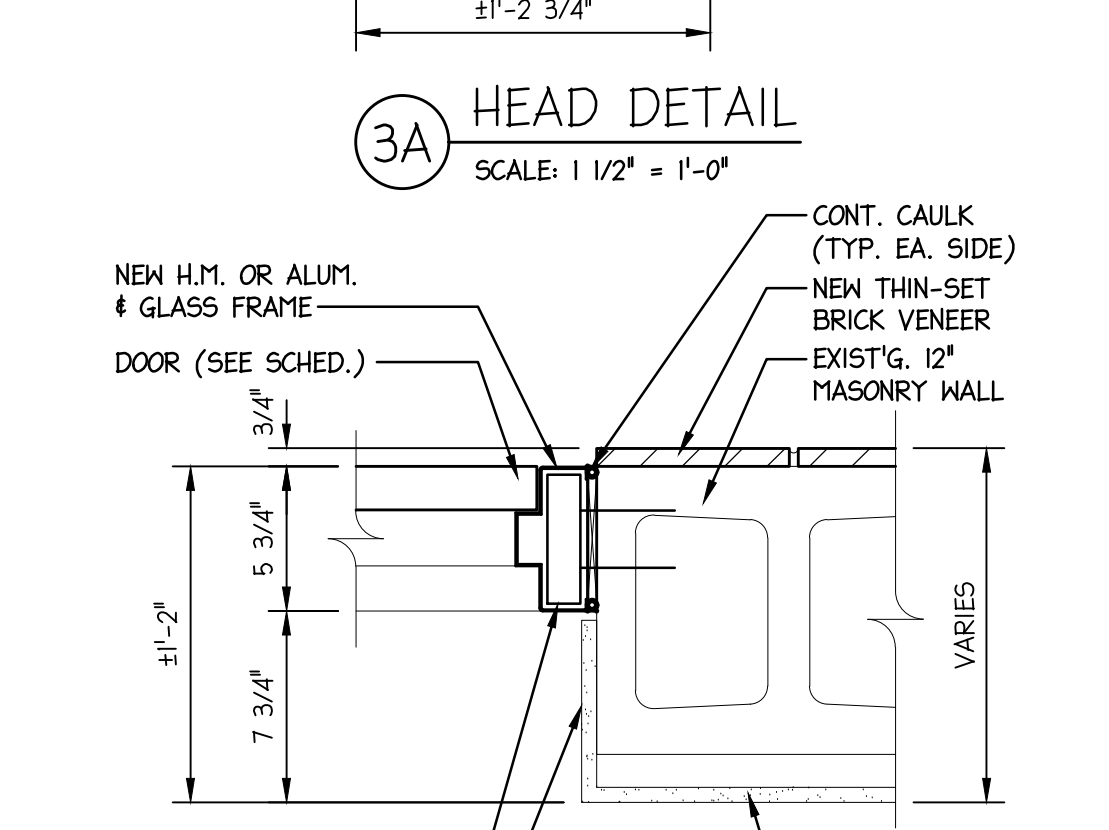
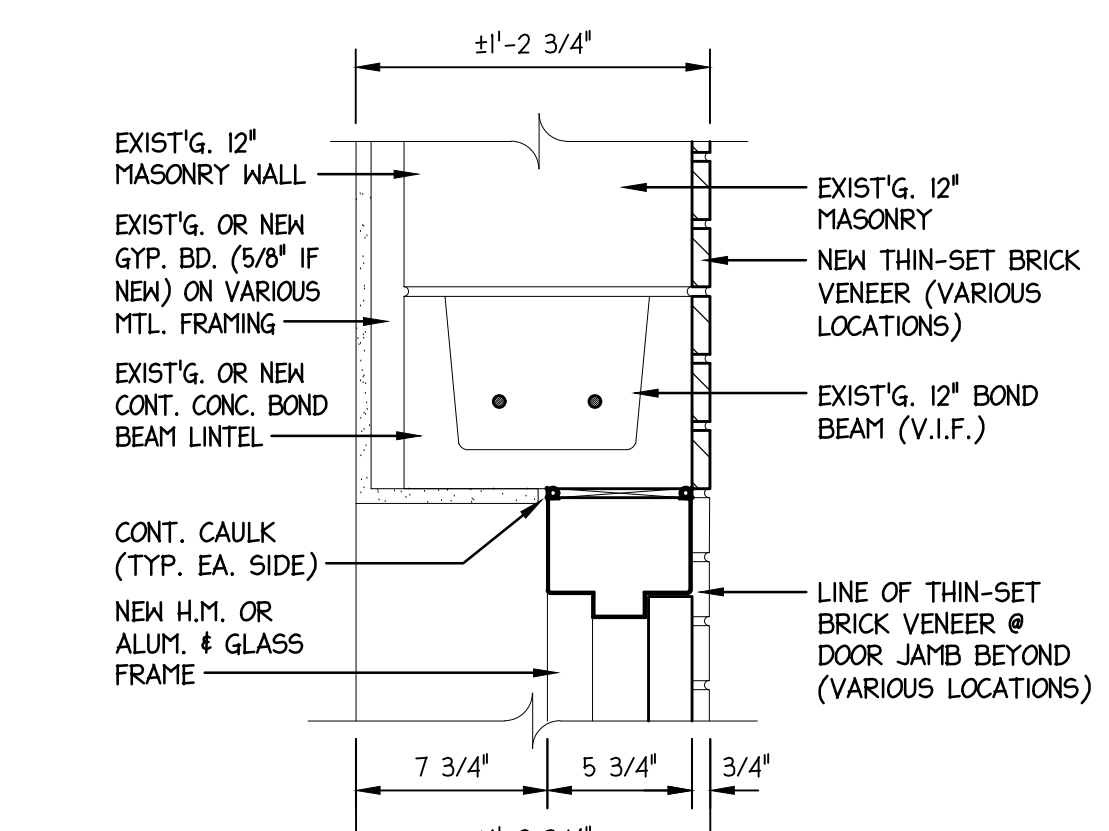
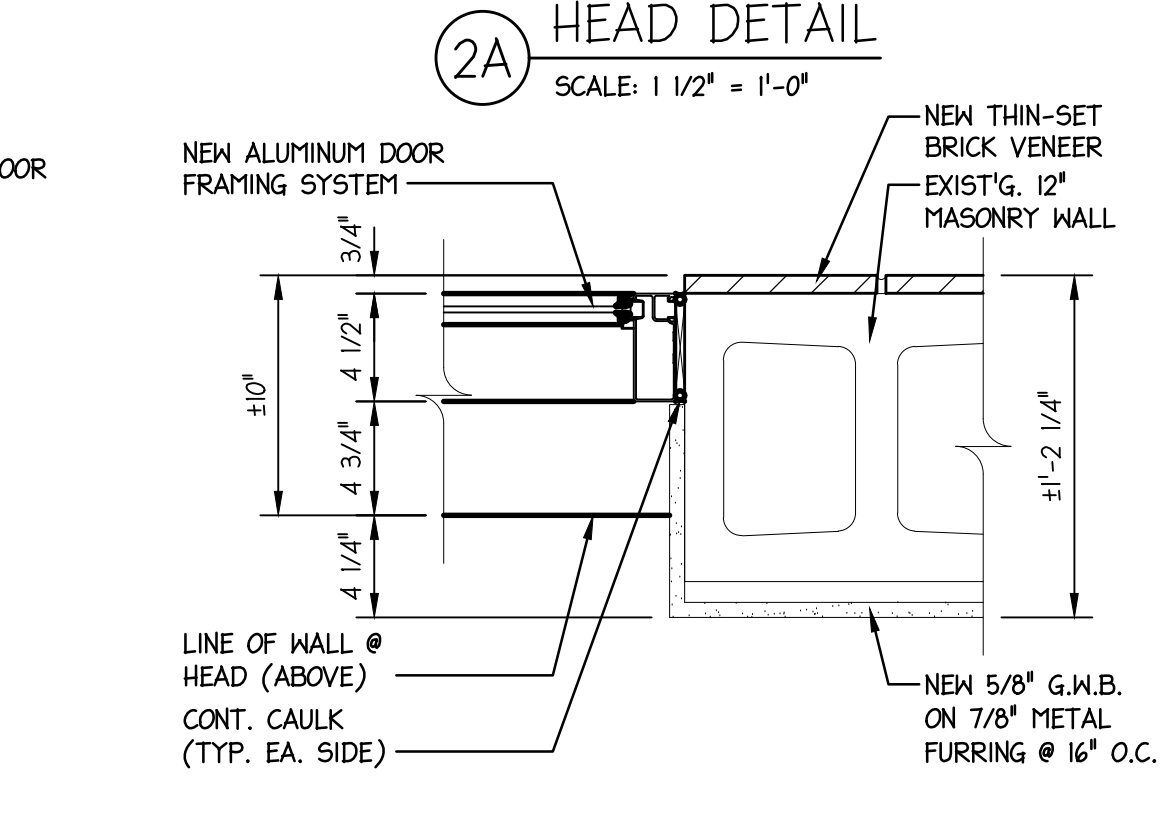
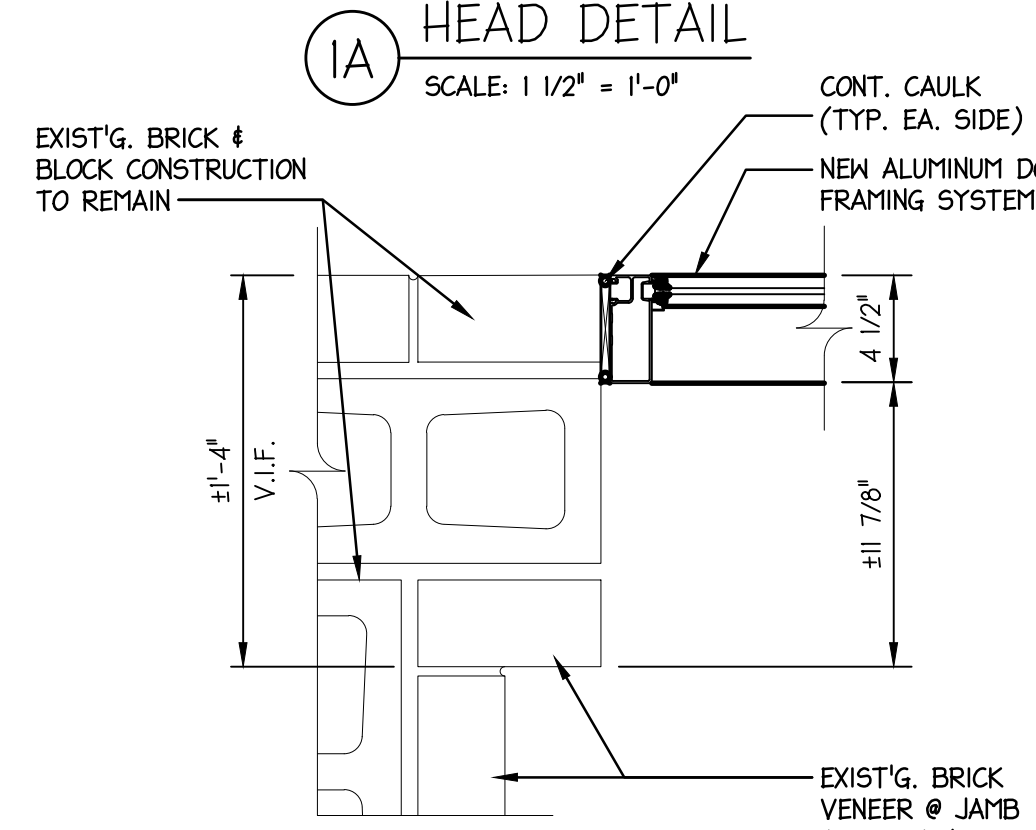
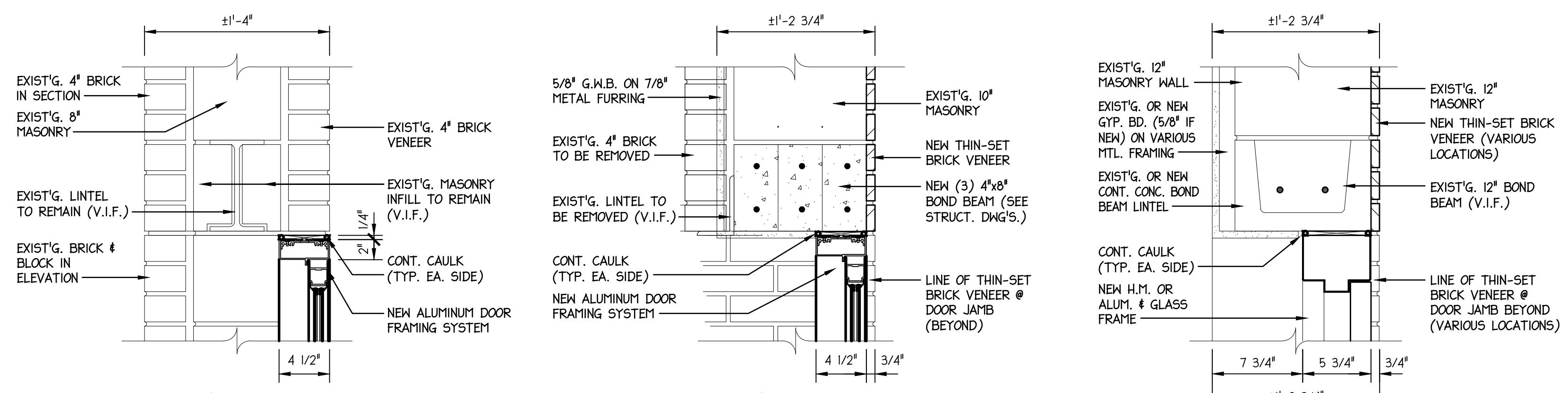
- A. DEMOLITION NOTES FOR DIFFERENT TRADES OCCUR ON OTHER DRAWINGS AND ARE INDICATED IN THE PROJECT MANUAL. THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS FOR THE EXTENT OF THE WORK TO BE COMPLETED AND COORDINATED.
- B. CONTRACTOR WILL VERIFY ALL CONDITIONS PRIOR TO COMMENCING DEMOLITION. SHOULD QUESTIONS ARISE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH DEMOLITION.
- C. ITEMS TO BE SALVAGED OR RELOCATED SHALL BE AS INDICATED. SPECIAL CARE SHALL BE TAKEN SO AS NOT TO DAMAGE THESE ITEMS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE STORAGE OF ALL SALVAGED ITEMS TO BE EITHER RELOCATED OR REINSTALLED.
- D. LOCATIONS AND/OR ELEVATIONS OF EXISTING ITEMS, AS SHOWN ON THE DRAWINGS, ARE APPROXIMATE. ALL TRADES SHALL FIELD VERIFY ALL LOCATIONS.
- E. DEMOLITION WORK INCLUDES, BUT IS NOT LIMITED TO THE WORK INDICATED HEREWITH, AS COORDINATED WITH WORK OF ALL OTHER TRADES, AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- F. DEMOLITION DRAWINGS ARE ONLY FOR GENERAL INDICATION OF SCOPE OF WORK. ACTUAL CONDITIONS MAY VARY. CONTRACTOR SHALL VERIFY ACTUAL EXISTING CONDITIONS.
- G. ITEMS TO REMAIN ARE INDICATED ON THE DRAWINGS AND/OR AS SPECIFICALLY NOTED. HOWEVER, THE DRAWINGS AND NOTES ARE NOT TOTALLY INCLUSIVE. ITEMS TO REMAIN SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE PROJECT. REPAIR TO ALL DAMAGE INFLICTED TO ITEMS TO REMAIN SHALL BE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- H. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OWNER'S REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL RUBBISH AND WASTE AS REQUIRED, THROUGHOUT THE COURSE OF CONSTRUCTION, ACCUMULATED ON THE SITE FROM WORK BY ITS OWN EMPLOYEES AND SUBCONTRACTORS. ALL DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION SITE DAILY AND IN ACCORDANCE WITH OWNERS' REQUIREMENTS AND DIRECTION.
- I. ALL AREAS ADJACENT TO AREA OF WORK SHALL BE PROTECTED AND BE RESTORED IF DAMAGED IN THE COURSE OF DEMOLITION TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED FOR THESE DAMAGES.
- J. WHERE PARTITIONS ARE INDICATED FOR DEMOLITION, ALL OPENING COMPONENTS WITH THEIR ASSOCIATED HARDWARE, AND UTILITIES ATTACHED TO THE PARTITION SURFACES, SHALL ALSO BE DEMOLISHED.
- K. WHEN DEMOLISHING EXISTING UTILITIES, DEMOLISH BACK TO NEAREST JUNCTION WHERE SAID UTILITY SHALL REMAIN.
- L. GENERAL CONTRACTOR TO PROVIDE PHOTOGRAPHS, SUFFICIENTLY DETAILED, OF EXISTING CONDITIONS, OF ADJOINING CONSTRUCTION AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY SELECTIVE DEMOLITION OPERATIONS PRIOR TO THE START OF DEMOLITION.
- M. DO NOT CLOSE, BLOCK, OR OTHERWISE OBSTRUCT EXIT WAYS OF THE BUILDING.
- N. SURVEY THE CONDITION OF THE BUILDING(S) TO DETERMINE WHETHER REMOVING AN ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE DURING SELECTIVE DEMOLITION.
- O. REMOVE ELECTRICAL SWITCHES, RECEPTACLES, AND WIRES LOCATED WITHIN PARTITIONS TO BE REMOVED.
- P. REMOVE FROM BUILDING SITE: DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OFF SITE. NOTIFY OWNER IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS.
- Q. EXISTING STRUCTURE TO REMAIN SHALL NOT BE DISTURBED. CONSULT WITH OWNER AND ARCHITECT REGARDING AREAS OF CONFLICT.
- R. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION.
- S. LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND SEAL OR CAP OFF UTILITY SERVICES SERVING EQUIPMENT LOCATED IN THE DEMOLITION AREA.
- T. PROVIDE TEMPORARY WEATHER PROTECTION, DURING INTERVAL BETWEEN DEMOLITION AND NEW CONSTRUCTION TO ENSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS.
- U. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO ADJOINING CONSTRUCTION TO REMAIN IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.
- V. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT, AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTION AND LEAVE INTERIOR AREAS BROOM CLEAN.
- W. COORDINATE OPENINGS FOR MECH, ELEC., AND PLUMB'G.
- X. EXISTING WALLS TO REMAIN SHALL BE PATCHED TO MATCH EXIST'G, WHERE ANY INTERSECTING WALLS ARE DEMOLISHED.

PRIOR TO THE CONTRACTOR RECEIVING A NOTICE TO PROCEED, THE FIRE DEPARTMENT SHALL REMOVE ALL FIRE FIGHTING EQUIPMENT.
 THE CONTRACTOR SHALL REMOVE, AND DISPOSE, ALL WOOD AND METAL EQUIPMENT STORAGE CABINETS, AND ALL MISCELLANEOUS WALL MOUNTED SHELVES AND HOOKS.

1 FLOOR DEMOLITION PLAN
 A-1.1 SCALE: 1/8" = 1'-0"

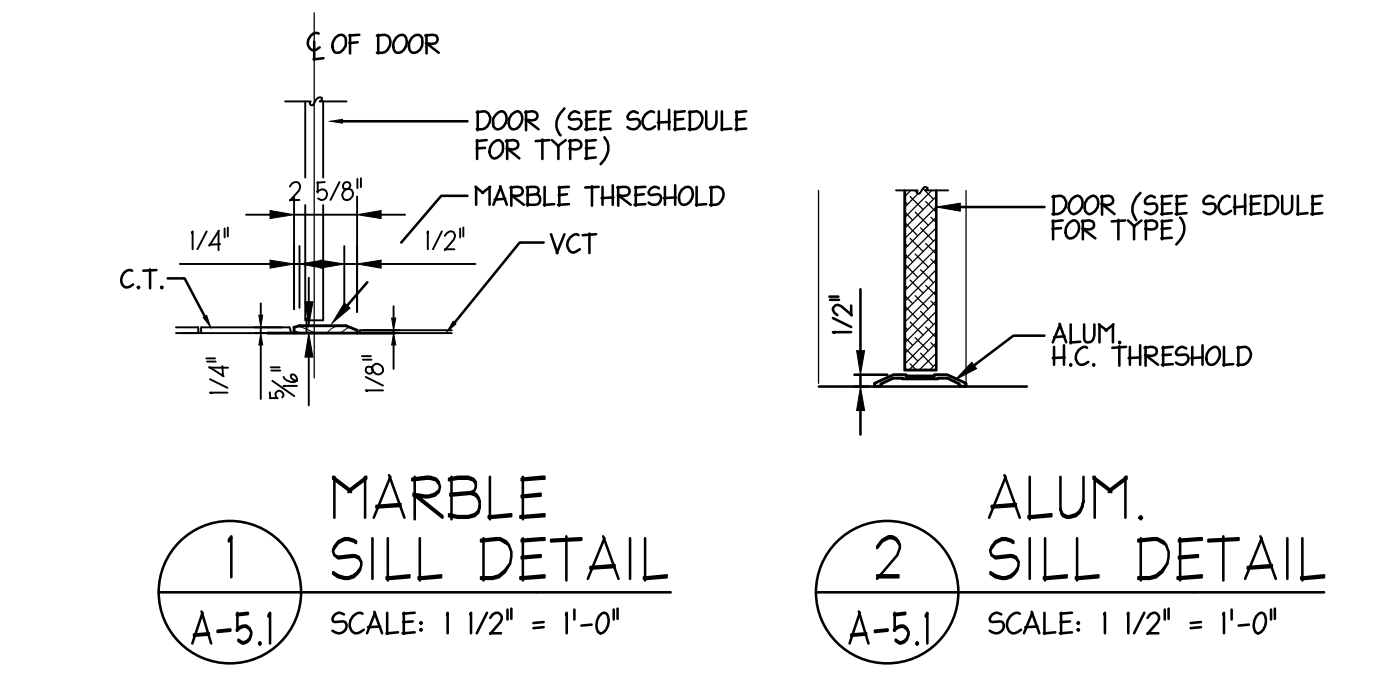


DEC. 11, 2023	ADDENDUM #1	MFF & JFM
NOV. 21, 2023	ISSUE FOR BID	DF & JFM
No.	DATE	REVISIONS
APPROVAL:		PROJECT:
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		WEST DEPTFORD FIRE HOUSE CONVERSION TO A LIBRARY 611 ACADEMY AVENUE WEST DEPTFORD, NEW JERSEY 08096
JOSEPH F. MCKERNAN JR., R.A. <small>NO. 0000181000 - PA. 0000181000-1 - CT. 000017000</small>		TITLE: FLOOR DEMOLITION PLAN
SCALE: AS NOTED	DATE: 12/08/23	DRAWING NO: A-1.1
DATE: 12/08/23	REV'D: GFS	
DRAWN BY: GFS	CHK'D BY: MFF/JFM	
REVISIONS	DATE	DESCRIPTION



DOOR NO.	OPENING SIZE	TYPE	THICK	MAT.	FRAME					LABEL	REMARKS	
					TYPE	MAT.	HEAD	JAMB	SILL			HDW. SET
01	3'-0" x 7'-0"	A	1 3/4"	ALUM.	1	ALUM.	1A/A-5.1	1B/C/A-5.1	2	AL-03-E	-	METAL THRESHOLD
02	3'-0" x 7'-0"	B	1 3/4"	WD.	2	H.M.	5A/A-5.2	5B/A-5.2	-	HM-01-E	-	
03	3'-0" x 7'-0"	B	1 3/4"	WD.	2	H.M.	4A/A-5.2	4B/A-5.2	-	HM-02	-	
04	3'-0" x 7'-0"	B	1 3/4"	WD.	3	H.M.	6A/A-5.2	6B/A-5.2	-	HM-01-E	-	
05	3'-0" x 7'-0"	B	1 3/4"	WD.	2	H.M.	4A/A-5.2	4B/A-5.2	-	HM-03	1 HR.	
06	3'-0" x 7'-0"	B	1 3/4"	WD.	3	H.M.	6A/A-5.2	6B/A-5.2	1	HM-01	-	3/4" UNDERCUT - MARBLE THRESHOLD
07	3'-0" x 7'-0"	B	1 3/4"	WD.	3	H.M.	6A/A-5.2	6B/A-5.2	1	HM-01	-	3/4" UNDERCUT - MARBLE THRESHOLD
08	3'-0" x 7'-0"	B	1 3/4"	WD.	3	H.M.	7A/A-5.2	7B/A-5.2	-	HM-04	-	
09	3'-0" x 7'-0"	B	1 3/4"	WD.	3	H.M.	6A/A-5.2	6B/A-5.2	-	HM-01-E	-	
10	3'-0" x 7'-0"	C	1 3/4"	WD.	3	H.M.	6A/A-5.2	6B/A-5.2	-	HM-01-E	-	
11	3'-0" x 7'-0"	B	1 3/4"	WD.	3	H.M.	6A/A-5.2	6B/A-5.2	1	HM-01-E	-	3/4" UNDERCUT - MARBLE THRESHOLD
12	3'-0" x 7'-0"	B	1 3/4"	WD.	3	H.M.	6A/A-5.2	6B/A-5.2	1	HM-02	-	3/4" UNDERCUT - MARBLE THRESHOLD
13	3'-0" x 7'-0"	B	1 3/4"	WD.	3	H.M.	6A/A-5.2	6B/A-5.2	1	HM-05	-	3/4" UNDERCUT - MARBLE THRESHOLD
14	3'-0" x 7'-0"	D	1 3/4"	WD.	3	H.M.	8A/A-5.2	8B/A-5.2	-	HM-01-E	-	
15	3'-0" x 7'-0"	C	1 3/4"	WD.	3	H.M.	6A/A-5.2	6B/A-5.2	-	HM-01	-	
16	3'-0" x 7'-0"	C	1 3/4"	WD.	3	H.M.	6A/A-5.2	6B/A-5.2	-	HM-01-E	-	
17	(2)3'-0" x 7'-0"	A	1 3/4"	ALUM.	5	ALUM.	9A/A-5.1	2B/C/A-5.1	2	AL-02	-	NO THRESHOLD
18	(2)3'-0" x 7'-0"	A	1 3/4"	ALUM.	4	ALUM.	2A/A-5.1	2B/C/A-5.1	2	AL-01-E	-	METAL THRESHOLD
19	(2)3'-0" x 7'-0"	B	1 3/4"	H.M.	2	H.M.	7A/A-5.2	7B/A-5.2	-	HM-06	-	
20	3'-0" x 7'-0"	B	1 3/4"	ALUM.	2	ALUM.	3A/A-5.1	3B/A-5.1	2	AL-04	-	METAL THRESHOLD
21	3'-0" x 7'-0"	B	1 3/4"	ALUM.	2	ALUM.	3A/A-5.1	3B/A-5.1	2	AL-04	-	METAL THRESHOLD

NOTES:
 1. IF ALUMINUM THRESHOLDS ARE HIGHER THAN 1/2" CONTRACTOR SHALL PROVIDE ALUMINUM THRESHOLD EXTENSIONS.
 2. EXTERIOR EXIT DOORS (NOT ALUMINUM) SHALL BE INSULATED METAL DOORS.
 3. HARDWARE SETS WITH THE PREFIX "AL" CAN BE FOUND IN SPECIFICATION SECTION 08413 "ALUMINUM ENTRANCES AND STOREFRONTS".
 4. HARDWARE SETS WITH THE PREFIX "HM" CAN BE FOUND IN SPECIFICATION SECTION 08700 "DOOR HARDWARE".
 5. HARDWARE SETS ENDING WITH THE SUFFIX "E" CONTAIN ELECTRIFIED HARDWARE.



DEC. 11, 2023	ADDENDUM #1	MTF & JFM
NOV. 21, 2023	ISSUE FOR BID	DF & JFM
No.	DATE	REVISIONS
APPROVAL:		PROJECT:
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		WEST DEPTFORD FIRE HOUSE CONVERSION TO A LIBRARY 611 ACADEMY AVENUE WEST DEPTFORD, NEW JERSEY 08096
JOSEPH F. MCKERNAN JR., R.A. NJ ARCHITECT 10964 - PA ARCHITECT 04402 - CT ARCHITECT		TITLE: DOOR SCHEDULE, TYPES & DETAILS SCALE: AS NOTED DRAWING NO: A-5.1
DIMENSIONS MUST BE VERIFIED BY CONTRACTOR. VERIFY THE EXISTING CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. WHAT IS NOT SCALE DRAWING.		DATE: 1/11/23 REVD: GES DRAWN BY: GES CHECKED BY: MTF/DF

PLOT DATE & TIME: Dec 07, 2023 - 2:01pm
 FILE PATH: J:\1214A\CAD\1214 A-5.1.dwg