

APPROVED BY PLANNING BOARD OF THE BOROUGH OF HADDONFIELD

APPLICATION #: _____ RESOLUTION ADOPTED: _____

BOARD CHAIRMAN _____ DATE _____

BOARD SECRETARY _____ DATE _____

BOROUGH ENGINEER _____ DATE _____

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE BOND HAS BEEN POSTED IN ACCORDANCE WITH THE TOWNSHIP ORDINANCES

BOROUGH CLERK _____ DATE _____

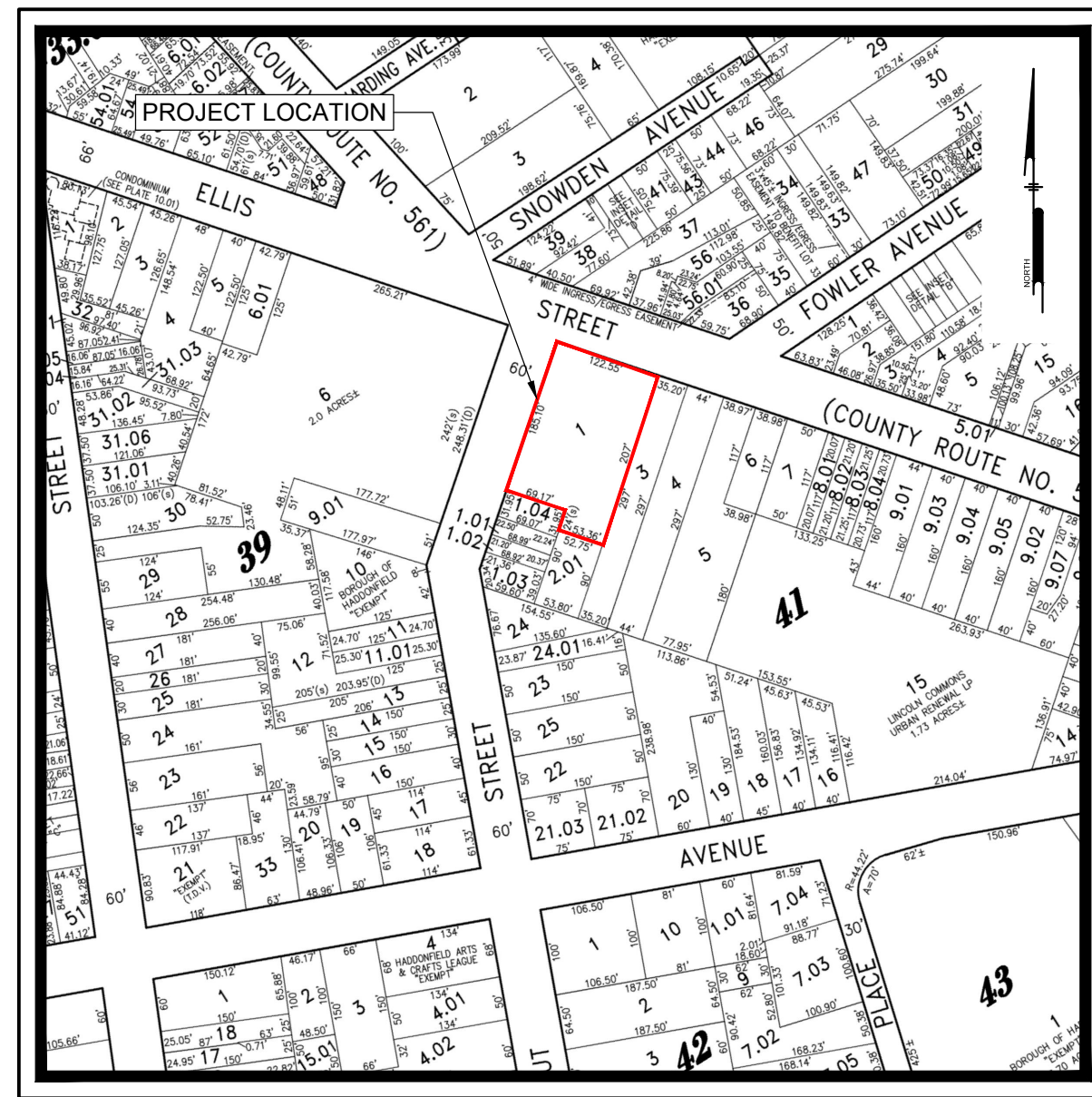
HADDONFIELD POLICE COMPLEX

PRELIMINARY AND FINAL SITE PLAN

BLOCK 41, LOT 1
CAMDEN COUNTY, NEW JERSEY
FEBRUARY 23, 2024

PREPARED FOR:
 OWNER/DEVELOPER
BOROUGH OF HADDONFIELD
 242 KINGS HIGHWAY EAST
 HADDONFIELD, NEW JERSEY 08033

PREPARED BY:
 OWNER/DEVELOPER



SOILS MAP
 Scale: 1" = 200'



LOCATION MAP
 Scale: 1" = 500'



USGS MAP
 Scale: 1" = 2000'

PREPARED BY:
PENNONI ASSOCIATES INC.



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NJ CERTIFICATE OF AUTHORIZATION NO. GA28033390

| Sheet List Table | | | | |
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| Sheet No. | Drawing Number | Sheet Title | Drawing Date | Last Revised Date |
| 1 | CS0001 | COVER SHEET | 2024-02-23 | 2024-05-24 |
| 2 | CS0002 | INFORMATION SHEET | 2024-02-23 | 2024-05-24 |
| 3 | CS0501 | DEMOLITION PLAN- BASE BID | 2024-02-23 | 2024-05-24 |
| 4 | CS0502 | DEMOLITION PLAN- ADD ALT AND BASE BID | 2024-02-23 | 2024-05-24 |
| 5 | CS1001 | SITE PLAN- BASE BID | 2024-02-23 | 2024-05-24 |
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| 7 | CS1501 | GRADING AND UTILITY PLAN- BASE BID | 2024-02-23 | 2024-05-24 |
| 8 | CS1502 | GRADING AND UTILITY PLAN- ADD ALT AND BASE BID | 2024-05-24 | -- |
| 9 | CS2001 | LANDSCAPE PLAN | 2024-02-23 | 2024-05-24 |
| 10 | CS2201 | LIGHTING PLAN | 2024-02-23 | 2024-05-24 |
| 11 | CS6001 | CONSTRUCTION DETAILS | 2024-02-23 | 2024-05-24 |
| 12 | CS6002 | COUNTY CONSTRUCTION DETAILS | 2024-02-23 | 2024-05-24 |
| 13 | CS6003 | CONSTRUCTION DETAILS | 2024-05-24 | -- |
| 14 | CS8001 | SOIL EROSION AND SEDIMENT CONTROL PLAN | 2024-02-23 | 2024-05-24 |
| 15 | CS8501 | SOIL EROSION AND SEDIMENT CONTROL NOTES | 2024-02-23 | 2024-05-24 |
| 16 | CS8502 | SOIL EROSION AND SEDIMENT CONTROL DETAILS | 2024-02-23 | 2024-05-24 |

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
 ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY ON LEGAL EXPOSURE TO PENNONI ASSOCIATES. PENNONI ASSOCIATES INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

CODE REVIEW:

CERTIFICATE:

 SPIEZZE ARCHITECTURAL GROUP INC.
 121 MARKET STREET
 CAMDEN, NJ 08102
 PHONE: (856) 974 7666
 SIGNATURE:
 THOMAS S. PERRINO 21401505400
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 ANGELO ALBERTO 21400154000
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 SPIEZZE ARCHITECTURAL GROUP, INC. 21400160000

SEAL:
JACQUELINE R BERENATO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE 56262

Jacqueline Berenato 2/23/24

FOR BID
 06/25/2024

PROJECT:
HADDONFIELD POLICE STATION
 1 WALNUT STREET
 HADDONFIELD, NEW JERSEY 08033
 FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
 520 MARKET STREET, 6TH FLOOR
 CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

| REVISIONS: | REVISION NAME | DATE |
|------------|---------------|------|
| A | | |

FOR BID: 05/30/24

DRAWING TITLE:
COVER SHEET

COMMISSION NUMBER:
23M014

DRAWING NUMBER:
CS0001



CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE REQUIREMENTS OF THE NEW JERSEY ONE-CALL DAMAGE PREVENTION SYSTEM AS STATED IN THE "UNDERGROUND FACILITY PROTECTION ACT". TICKET NUMBER(S):

GENERAL NOTES:

- G-1. THE LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES SHOWN ON THE CONTRACT DRAWINGS ARE APPROXIMATE AND ARE BASED UPON BEST AVAILABLE INFORMATION PROVIDED TO THE ENGINEER. THE FOLLOWING SHALL BE PERFORMED:
A) VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES WITHIN THE WORK AREA PRIOR TO CONSTRUCTION.
B) EXERCISE EXTREME CAUTION WHEN WORKING TO EXISTING POWER, COMMUNICATIONS, WATER OR GAS LINES TO PREVENT DAMAGE TO THESE LINES.
C) IMMEDIATELY REPAIR ANY DAMAGE TO EXISTING UTILITIES IN A MANNER APPROVED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
G-2. IT IS THE OBLIGATION OF THE CONTRACTOR AT HIS COST TO MAKE HIS OWN SITE EXAMINATION AND DETERMINE THE ACTUAL NATURE AND EXTENT OF EXISTING CONDITIONS PRIOR TO UNDERTAKING WORK. ALL DIMENSIONS, QUANTITIES AND EXISTING PHYSICAL CHARACTERISTICS OF THE WORK AREA SHALL BE REVIEWED AND FIELD VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING A BID, MATERIAL ORDERING OR FABRICATION OF ANY PART OF THE WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
G-3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE OWNER AND OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR ERRORS HE DISCOVERS ON THE PLAN. APPARENT CONTRADICTIONS IN CONTRACT DOCUMENTS SHALL BE RESOLVED WITH THE OWNER AND ENGINEER BEFORE AFFECTED WORK PROCEEDS.
G-4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, OWNER'S REPRESENTATIVE AND/OR THE DESIGN ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
G-5. ALL TOPSOIL SHALL BE STRIPPED, STOCKPILED AND REUSED ON SITE AND MAY NOT BE TRANSPORTED OFF-SITE WITHOUT WRITTEN REQUEST AND RESPONSE FROM THE OWNER AUTHORIZING SAME.
G-6. EXISTING SANITARY SEWERS THAT ARE TO REMAIN IN SERVICE SHALL REMAIN IN ACTIVE OPERATION AT ALL TIMES. EXISTING WATER MAINS SHALL REMAIN IN ACTIVE OPERATION EXCEPT AS NECESSARY FOR CONNECTIONS. PROVIDE A MINIMUM OF TWO WEEKS NOTICE TO THE ENGINEER AND OWNER PRIOR TO SERVICE DISRUPTIONS.
G-7. UTILIZE A MOBILE SWEEPER AND WATER TRUCK DAILY FOR DUST CONTROL ALONG HAUL ROUTES AND IN AREAS MADE AVAILABLE FOR CONSTRUCTION.
G-8. PREVENT WATER PONDING RESULTING FROM CONSTRUCTION OPERATIONS. PROMPTLY REMOVE ANY PONDED WATER TO THE SATISFACTION OF THE ENGINEER.
G-9. CONTRACTOR SHALL WORK TO MINIMIZE EXCESS SOIL GENERATED. IF IT IS NECESSARY TO REMOVE SOIL FROM THE SITE, IT SHOULD BE DISPOSED OF AT A PERMITTED DISPOSAL FACILITY. PROVIDE THE NAME OF THE DISPOSAL FACILITY AND SOIL SAMPLE RESULTS 7 DAYS PRIOR TO HAULING SOIL. COPIES OF ALL BILLS-OF-LADING SHALL BE PROVIDED TO THE ENGINEER WITHIN 24 HOURS OF SOIL LEAVING THE SITE. CONTRACTOR SHALL ASSUME OWNERSHIP/RESPONSIBILITY OF EARTH OR CONCRETE SPOILS AND/OR DEBRIS GENERATED DURING CONSTRUCTION.
G-10. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER AT NO ADDITIONAL COST TO THE OWNER.
G-11. AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR IS REQUIRED TO INSPECT, TEST, AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS.
G-12. THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
G-13. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
G-14. AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR IS REQUIRED TO INSPECT, TEST, AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, AND THE CONSTRUCTION MANAGER, AND SHALL PROMPTLY NOTIFY THE CONSTRUCTION MANAGER AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
G-15. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
G-16. ALL TRAFFIC CONTROL DEVICES TO BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION. SIGN POSTS SHALL BE GALVANIZED STEEL AND ALL SIGN MATERIALS SHALL BE MADE OF REFLECTIVE SHEETING ON ALUMINUM BLANKS IN ACCORDANCE WITH NJDOT STANDARD SPECIFICATIONS.
G-17. ALL DIMENSIONING IS TO CURB OR BUILDING FACE, UNLESS OTHERWISE NOTED.
G-18. UNLESS OTHERWISE INDICATED, ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2007, AS AMENDED AND SUPPLEMENTED TO DATE.
G-19. ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, UNLESS OTHERWISE NOTED.
G-20. ALL NEW CONCRETE PAVING AND CURBING SHALL MEET FLUSH WITH EXISTING.
G-21. SHOP DRAWINGS FOR PROPOSED CAST-IN-PLACE AND/OR PRECAST CONCRETE STRUCTURES SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION OR PROCUREMENT.
G-22. ALL UTILITIES TO BE INSTALLED UNDERGROUND EXCEPT WHERE NOTED.
G-23. THE CONTRACTOR SHALL NOTIFY THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT A MINIMUM OF 72 HOURS BEFORE THE BEGINNING OF CONSTRUCTION.
G-24. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
G-25. UPON COMPLETION OF THE WORK, REMOVE ALL DEBRIS, EQUIPMENT AND UNUSED MATERIALS FROM OWNER PROPERTY AND RESTORE THE AREAS TO THEIR ORIGINAL CONDITION, AS APPROVED BY THE ENGINEER.
G-26. ADA ACCESSIBLE PARKING SPACES SHALL HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS. ALL ADA ACCESSIBLE SIDEWALKS SHALL HAVE 2% MAX. CROSS SLOPE AND 5% MAX. LONGITUDINAL SLOPE.
G-28. ALL AREAS TO RECEIVE PERMANENT BITUMINOUS PAVEMENT SHALL BE PROOF-ROLLED AND TESTED FOR 95% COMPACTION.
G-30. TRAFFIC MARKINGS SHALL BE LONG-LIFE THERMOPLASTIC.

ENVIRONMENTAL NOTES:

- E-1. ALL MATERIAL BROUGHT ON SITE SHALL BE CLEAN FILL, SAMPLED, AND ANALYZED IN ACCORDANCE WITH STANDARD NJDEP QUALITY ASSURANCE STANDARDS AND PRACTICES AT A MINIMUM, AS SPECIFIED IN N.J.A.C. 7:26E, TO FULLY CHARACTERIZE THE CONTAMINANTS IN THE LATEST SOIL CLEANUP CRITERIA (SCC). THE CONTRACTOR SHALL SUBMIT TO THE OWNER WRITTEN DOCUMENTATION FROM A LABORATORY CERTIFIED IN NEW JERSEY ENVIRONMENTAL LABORATORY CERTIFICATION PROGRAM (ELCP) AND IN ACCORDANCE WITH N.J.A.C. 7:18 PRIOR TO PLACEMENT OF THE MATERIAL ON SITE. THE MATERIAL MUST NOT CONTAIN CONTAMINANTS ABOVE THE MOST RESTRICTIVE DIRECT CONTACT OR IMPACT TO GROUNDWATER (IGW) SCC.
E-2. ALL HAZARDOUS OR REGULATED MATERIALS SHOULD BE DISPOSED OF IN ACCORDANCE WITH THE USEPA'S RESOURCE CONSERVATION AND RECOVERY ACT (RCRA) AND TRANSPORTED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.

DEMOLITION NOTES

- D-1. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 241 AND OSHA STANDARDS.
D-2. ALL HOLES AND TRENCH AREAS REMAINING AFTER DEMOLITION SHALL BE BACKFILLED TO MATCH EXISTING GRADE IN ACCORDANCE WITH APPLICABLE SPECIFICATIONS.
D-3. WHERE A PIPE BEING REMOVED IS CONNECTED TO AN EXISTING STRUCTURE, EITHER REMOVE THE PIPE AND FILL THE WALL OPENING WITH CONCRETE, OR CUT THE PIPE WITHIN 12 FEET FROM THE END OF THE PIPE WITHIN 6" FROM THE OUTSIDE FACE OF THE STRUCTURE AND FILL THE REMAINING LENGTH OF PIPE WITH CONCRETE.
D-4. THE REMOVAL OF ANY EXISTING BOLLARDS, GUIDE RAIL POSTS & FOOTINGS SHALL INCLUDE THE PIPE/ POST AND CONCRETE FOOTING IN ITS ENTIRETY.
D-5. ALL EXISTING CATCH BASINS AND MANHOLES SHALL BE FIELD LOCATED PRIOR TO WORK AND THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PERTAINING TO LOCATIONS SHOWN ON THE CONTRACT DRAWINGS.
D-6. CONTRACTOR SHALL NOTIFY OWNER AND THE ENGINEER 72 HRS. PRIOR TO INITIATING UTILITY ABANDONMENT.
D-7. ALL UTILITIES SHALL BE REMOVED TO A MINIMUM OF FOUR (4) FT BELOW EXISTING GROUND SURFACE. DEMOLISH FIRE HYDRANT THRUST BLOCKS IF ENCOUNTERED.
D-8. ELECTRICAL UTILITIES SHALL BE DISCONNECTED PRIOR TO BEGINNING ANY DEMOLITION WORK. DEMOLITION SHALL INCLUDE THE REMOVAL OF BURIED AND EXPOSED CONDUIT IN THE AREA DESIGNATED FOR DEMOLITION, SEALING ENDS OF ALL BURIED CONDUIT ABANDONED IN PLACE AND REMOVING ALL POWER AND CONTROL WIRING BETWEEN THE DEMOLISHED FACILITY AND THE TERMINAL JUNCTION BOX, CIRCUIT BREAKER, OR METER CONTROL CENTER SUPPLYING POWER TO THE FACILITY.
D-9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE DISCONNECTION AND/OR REMOVAL OF ANY SERVICE UTILITIES ATTACHED/CONNECTED/RECEIVING/ SUPPLYING, ETC. TO ANY BUILDING AND/OR STRUCTURE NOTED HEREIN TO BE DEMOLISHED. CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS OR APPROVALS ASSOCIATED WITH SAME.
D-10. ALL ACTIVE CONSTRUCTION SITES AND LOCATIONS SHALL BE PROVIDED WITH NON-COMBUSTIBLE REFUSE CONTAINER(S) IN SUCH NUMBERS AS SHALL BE NECESSARY TO CONTAIN ALL COMBUSTIBLE REFUSE GENERATED BY THE CONSTRUCTION ACTIVITIES. ALL COMBUSTIBLE REFUSE, RUBBISH AND DEBRIS SHALL BE COLLECTED UP AND DEPOSITED IN THE CONTAINER(S) ON A DAILY BASIS. REFUSE CONTAINER(S) SHALL BE LOCATED A MINIMUM OF 20 FEET AWAY FROM ANY BUILDING, STRUCTURE, LOT LINE OR COMBUSTIBLE MATERIAL STORAGE LOCATION.
D-11. WHILE CONSTRUCTION ACTIVITIES ARE IN PROGRESS, AT LEAST FOUR(4) PORTABLE FIRE EXTINGUISHERS HAVING A RATING OF AT LEAST 10-A, 60-BC SHALL BE PROVIDED, AND SHALL BE MAINTAINED IN A LOCATION APPROVED BY THE FIRE OFFICIAL. PERSONNEL NORMALLY ON THE CONSTRUCTION SITE SHALL BE INSTRUCTED IN THE USE OF THE FIRE EXTINGUISHERS PROVIDED.
D-12. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING EXISTING STRUCTURES AS IDENTIFIED ON THE DEMOLITION PLAN, CS0501. THE CONTRACTOR MUST NOTIFY THE ENGINEER IF ANY DAMAGE OCCURS TO THESE ITEMS. THE ENGINEER/ OWNER WILL DETERMINE WHETHER THE DAMAGED ITEMS CAN BE REPAIRED, OR SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
D-13. PRIOR TO REMOVAL OF EXISTING FULL-DEPTH ASPHALTIC AND/OR CONCRETE PAVEMENT, CONTRACTOR SHALL SAWCUT TO FULL DEPTH TO PROVIDE A CLEAN STRAIGHT EDGE. CONCRETE SIDEWALK AND/OR CURB SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

UTILITY NOTES:

- C-1. BEFORE STARTING WORK, CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE TO THE BOROUGH OF HADDONFIELD, ALL UTILITY COMPANIES AND INTERESTED PARTIES AND THE OWNER PRIOR TO CONSTRUCTION. SCHEDULE SHALL DETAIL ALL ITEMS ASSOCIATED WITH CARRYING OUT CONTRACT, ON A DAILY BASIS. CONSTRUCTION SHALL BE SEQUENCED SUCH THAT NOT MORE THAN ONE HYDRANT IS OUT OF SERVICE AT ANY GIVEN TIME. CONTRACTOR SHALL COORDINATE DIRECTLY WITH FIRE MARSHALL WITH REGARD TO HYDRANT SERVICE INTERRUPTIONS NOT LESS THAN 3 DAYS PRIOR TO INTERRUPTION.
C-2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
C-3. BEFORE EXCAVATING THE PROJECT AREA THE CONTRACTOR IS TO VERIFY THE LOCATION OF ANY UNDERGROUND UTILITY (GAS MAINS, WATER MAINS, SEWER LINES, TELEPHONE LINES, ETC.). SHOULD ANY UNDERGROUND UTILITY INTERFERE WITH PROJECT CONSTRUCTION THE ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES THREE (3) DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION FOR ACCURATE FIELD LOCATIONS. FOR UTILITY MARKOUT CALL 1-800-272-1000.
C-4. SEWERS AND WATER MAINS GENERALLY SHALL BE SEPARATED A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPE SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN; OR SUCH OTHER SEPARATION AS APPROVED BY DEPARTMENT SHALL BE MADE. IN GENERAL, THE VERTICAL SEPARATION AT A CROSSING OF SEWER AND WATER LINE SHALL BE AT LEAST 18 INCHES. WHERE THIS IS NOT POSSIBLE, THE SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FT ON EITHER SIDE OF THE CROSSING OR OTHER SUITABLE PROTECTION SHALL BE PROVIDED.
C-5. PIPE BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
C-6. BACKFILL IN THE TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR MAY BE REQUIRED BY THE TOWNSHIP INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
C-7. CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH TO INSTALL NEW UTILITY AND BACKFILL BY THE END OF EACH WORK DAY. OPEN TRENCH SHALL NOT BE PERMITTED AT ANY TIME UNLESS THE CONTRACTOR IS NOT ACTIVELY WORKING ON PORTION OF UTILITY REQUIRING OPEN EXCAVATION.
C-8. EXISTING MAINS TO BE ABANDONED IN PLACE SHALL BE CAPPED AND FILLED WITH AN APPROVED CONTROLLED LOW STRENGTH MATERIAL (CLSM).
C-9. ALL SANITARY SEWER FORCEMAIN PIPING SHALL BE PVC CLASS 150 (DR18) AWWA C900 UNLESS OTHERWISE NOTED. ALL GRAVITY SANITARY SEWER SHALL BE SDR 26 UNLESS OTHERWISE NOTED.

- C-10. TRENCH DETAILS ARE INTENDED TO PROVIDE INFORMATION REGARDING BACKFILLING MATERIALS AND GENERAL MATERIAL DEPTH AND PAVEMENT LIMITS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND SHALL PROVIDE APPROPRIATE SAFETY MEASURES, SHEETING, AND BRACING AS MAY BE REQUIRED DUE TO FIELD CONDITIONS. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA STANDARDS AND DETAILS FOR TRENCH EXCAVATION. THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR FIELD CONDITIONS, TRENCHING OR BACKFILLING OPERATIONS DURING CONSTRUCTION.
C-11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND PRECLUDING ANY PONDING OF WATER IN ALL AREAS.
C-12. CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES FOR CONSTRUCTION.
C-13. GAS, ELECTRIC, TELEPHONE AND CABLE TV LINES MAY BE INSTALLED BY THE RESPECTIVE UTILITY. THE EXACT LOCATION OF EACH MAIN SHALL BE COORDINATED BY THE GENERAL CONTRACTOR AND SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW PRIOR TO INSTALLATION.
C-14. EXISTING STREET SURFACES AND OTHER SURFACES DISTURBED BY THE CONSTRUCTION OF FACILITIES FOR THIS PROJECT SHALL BE RESTORED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE COUNTY ENGINEER.
C-15. RESET ALL WATER VALVES BOXES, SANITARY CLEANOUTS OR VENTS, GAS VALVES, SANITARY RIMS, INLET GRATES AND ALL OTHER UTILITY BOXES OR RIMS TO NEW GRADES AS REQUIRED.
C-16. NEW JERSEY AMERICAN WATER (NJAW) MUST BE GIVEN 48 HOURS ADVANCE NOTICE OF SANITARY SEWER/WATERMAIN WORK AND THE REPRESENTATIVES MUST WITNESS THE WORK/CONNECTION.

WATER SERVICE NOTES

- 1. ALL WATER MAIN CONNECTIONS, SERVICE LINES, AND HYDRANTS SHALL BE IN CONFORMANCE WITH STANDARDS SET FORTH BY NEW JERSEY AMERICAN WATER (NJAW). CONTRACTOR MUST CONTACT NJAW PRIOR TO ANY WATER MAIN CONSTRUCTION OR CONNECTIONS.
2. ALL WATER MAINS SHALL BE CEMENT-LINED DUCTILE IRON PIPE CONFORMING TO ANSI A 21.51 (AWWA C151), CLASS 52 WITH EITHER MECHANICAL OR PUSH-ON JOINTS. RETAINER GLANDS AND CONCRETE THRUST BLOCKS OR THE RIGIDS AND CONCRETE THRUST BLOCKS SHALL BE USED AT ALL LOCATIONS WHERE RESTRAINTS ARE REQUIRED. ALL MAINS/SERVICES LESS THAN 3" SHALL BE TYPE "K" SOFT COPPER.
3. A MINIMUM OF FOUR (4) FEET OF COVER SHALL BE PROVIDED OVER WATER LINES. IF THIS COVER CANNOT BE MAINTAINED, THE LINES SHALL BE ENCASED IN CONCRETE UNTIL FOUR (4) FEET OF COVER OBTAINED.
4. ALL FITTINGS SHALL HAVE MECHANICAL JOINTS AND RETAINER GLANDS.
5. APPLICANT TO COORDINATE WATER SERVICE AND CONSTRUCTION WITH NJAW.
6. WATER AND SEWER SERVICES WILL BE SUBJECT TO THE APPLICABLE DISINFECTION AND PRESSURE TESTING REQUIREMENTS OF NJAW AND AWWA.
7. THRUST BLOCKS AND RESTRAINTS SHALL BE INSTALLED AT ALL BENDS AND FITTINGS. THRUST BLOCKS SHALL HAVE TWENTY-EIGHT (28) DAY STRENGTH OF 4,000 P.S.I.
8. TREES SHALL BE PLANTED A MIN. OF 10' FROM FIRE HYDRANTS AND WATER LINES.

HIGH-VOLTAGE PROXIMITY ACT

THE CONTRACTOR IS NOTIFIED THAT ALL PROVISIONS OF THE HIGH-VOLTAGE PROXIMITY ACT, P.L. 1948, c. 249 AS AMENDED THROUGH MAY 20, 1987 SHALL BE STRICTLY ADHERED TO. THE CONTRACTOR SHALL ALSO ADHERE TO ALL PROVISIONS OF PART 1926.550, SUBPART N OF THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF DECEMBER, 1970. PARTICULAR ATTENTION IS DIRECTED TO THE PROVISIONS OF THE ABOVE ACT REQUIRED WARNING SIGNS, NOTIFICATION TO POWER COMPANY AND RESPONSIBILITY FOR SAFEGUARDS AND ALSO PROHIBITED ACTIVITY.

A COPY OF THE HIGH-VOLTAGE PROXIMITY ACT IS AVAILABLE IN THE OFFICE OF THE COUNTY ENGINEER OR MAY BE OBTAINED FROM THE NEW JERSEY DEPARTMENT OF LABOR, DIVISION OF WORKPLACE STANDARDS, OFFICE OF SAFETY COMPLIANCE, TRENTON, NJ 08625

SITE SAFETY

PURSUANT TO NJAC 5:23-2.21(e) OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (f) (OSHA COMPETENT PERSON), THE GENERAL CONTRACTOR IS DESIGNATED AS THE "RESPONSIBLE PERSON IN CHARGE OF CONSTRUCTION" AND THE SITE SUPERVISOR RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS.

SITE/SURVEY NOTES:

- 1. A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES IN 11/17/2023.
2. LOCATIONS OF ON AND OFF SITE UTILITIES AS SHOWN ARE APPROXIMATE AND MAY OR MAY NOT BE COMPLETE. THE NATURE AND EXACT LOCATION OF EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO INITIATING ANY ACTIVITY THAT MAY AFFECT THEIR USE OR LOCATION. ALL LOCATIONS ILLUSTRATED ARE BASED UPON UTILITY MARKOUT AND ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD. THE STATE OF NEW JERSEY REQUIRES NOTIFICATION PRIOR TO ANY EXCAVATION BY UTILIZING THE NEW JERSEY ONE-CALL SYSTEM (1-800-272-1000).
3. VERTICAL DATUM, IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88) (GEOID 18).
4. HORIZONTAL COORDINATE DATUM IS IN NEW JERSEY STATE PLANE COORDINATE SYSTEM NORTH AMERICAN DATUM 1983 (NUSPC NAD 83) (2011).

APPLICANT/ OWNER:

BOROUGH OF HADDONFIELD
242 KINGS HIGHWAY EAST
HADDONFIELD, NJ 08033

UTILITIES LIST

ALL DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF NEW JERSEY ACT 287, AMENDED BY ACT 187 ENTITLED "UNDERGROUND" UTILITY LINE PROTECTION".

PSE&G
2 RIVERSIDE DRIVE
ONE PORT CENTER
SUITE 110
CAMDEN, NJ 08103
(800) 553-7734

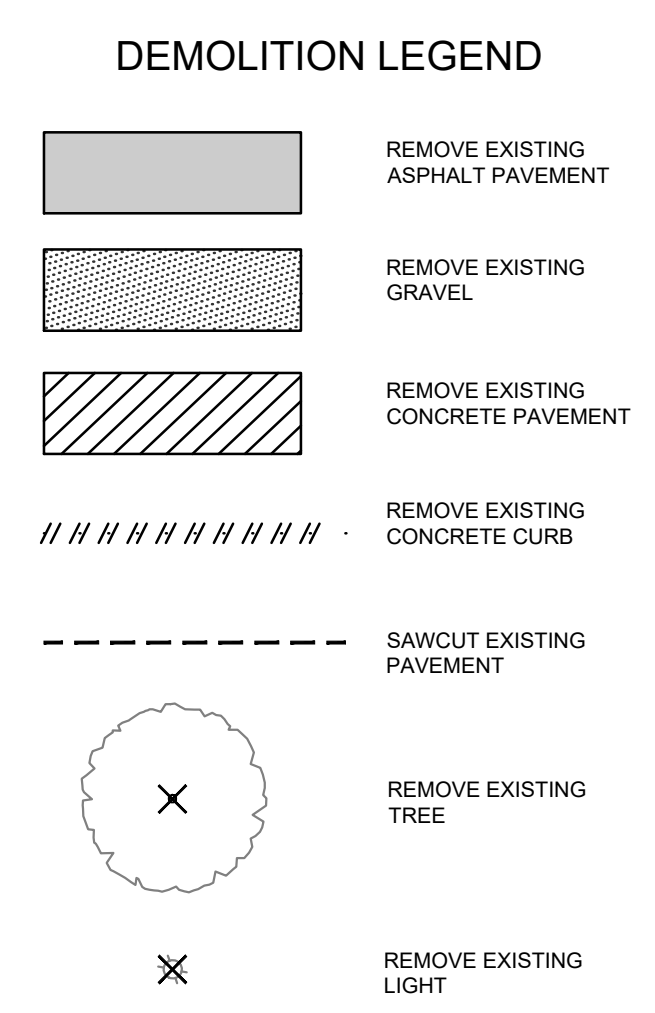
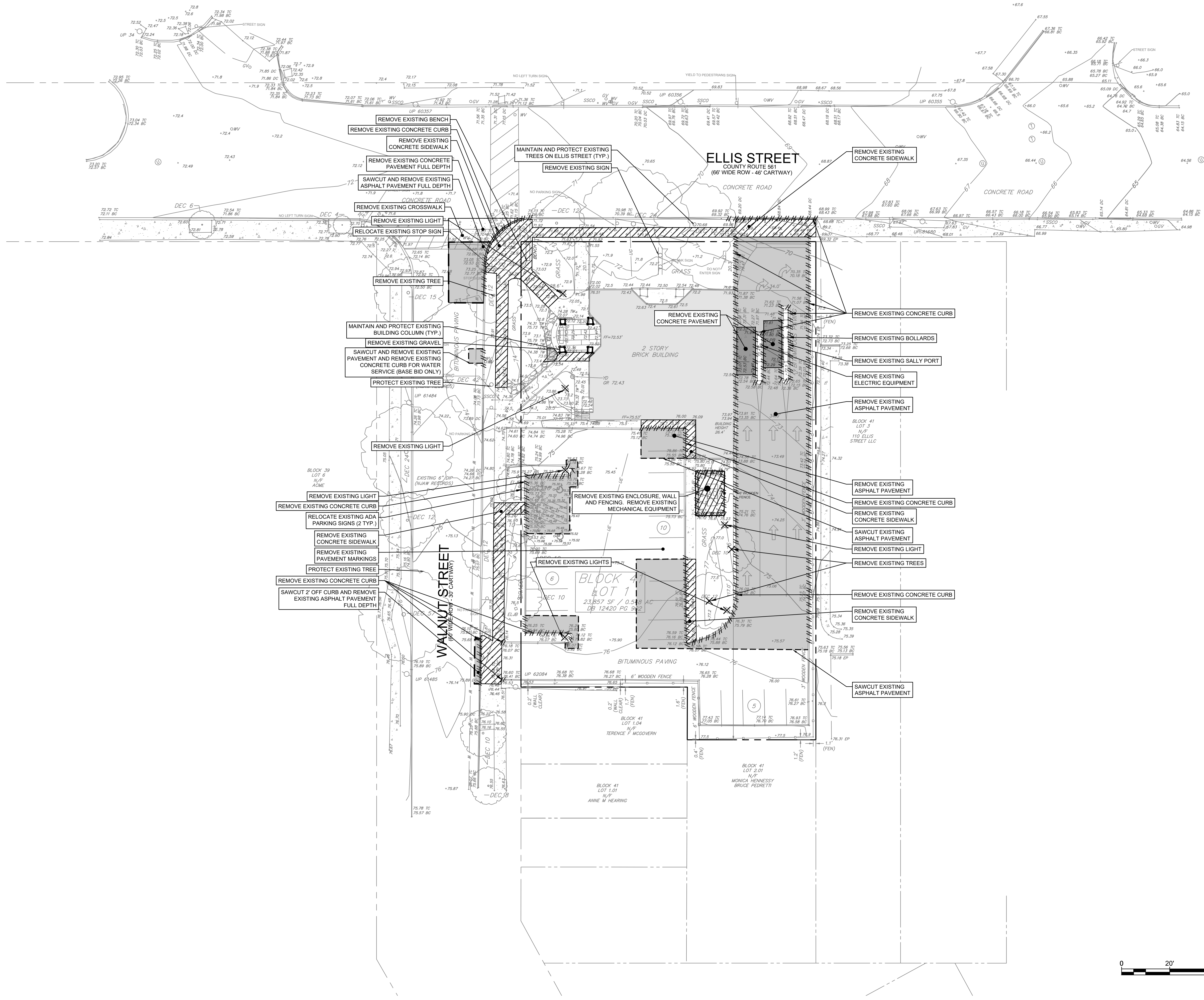
NEW JERSEY AMERICAN WATER (WATER AND SEWER)
131 WOODCREST ROAD
CHERRY HILL, NJ 08003-3620
(856) 310-2206

VERIZON
713 MARSHA AVENUE
WILLIAMSTOWN, NJ 08094
(856) 728-9988

COMCAST CABLE COMPANY
1250 HADDONFIELD-BERLIN ROAD
CHERRY HILL, NJ 08034
(856) 893-2900

LEGEND: BUILDING, PROPERTY LINE, ADJACENT PROPERTY LINE, SETBACK LINE, RIGHT-OF-WAY LINE, ROADWAY CENTERLINE, FENCE, CURB, CONCRETE SIDEWALK, VEHIUCULAR CONCRETE, SPOT ELEVATION, LIGHT POLE, BOLLARD, SIGN, SIGN POST AND BOARD, CONTOUR, WATER LINE DOMESTIC, WATER LINE FIRE, SANITARY SEWER, STORM SEWER ROOF DRAIN, STORM SEWER, OVERHEAD ELECTRIC, UNDERGROUND ELECTRIC, OVERHEAD TELEPHONE, UNDERGROUND TELEPHONE, CHAINLINK FENCE, CABLE TV JUNCTION BOX, CABLE TV MANHOLE, COMMUNICATIONS MANHOLE, COMMUNICATIONS HANDHOLE, GAS METER, GAS VALVE, ELECTRICAL HANDHOLE, ELECTRICAL METER, ELECTRICAL PANEL BOX, ELECTRICAL PEDESTAL, ELECTRICAL STUB OUT, ELECTRICAL STUB OUT, MONITORING WELL, SANITARY SEWER CLEANOUT, SANITARY MANHOLE, BUSH, CONIFEROUS TREE, DECIDUOUS TREE, FIRE HYDRANT, WATER MANHOLE, SIAMESE CONNECTION, WATER STUB OUT, WATER VALVE, WATER METER, STORM DRAIN CLEANOUT, STORM DRAIN MANHOLE, STORM DRAIN INLET, STORM ROOF DRAIN, TELEPHONE HANDHOLE, TELEPHONE JUNCTION BOX, TELEPHONE MANHOLE, TELEPHONE PANEL BOX, TELEPHONE PEDESTAL, UTILITY POLE.
CERTIFICATE: spiezle
SIGNATURE: THOMAS S. PERRINO, SCOTT E. DOWNE, STEVEN LEONE, STEVEN G. SIEGEL, ANGELO ALBERTO, JOHN F. WRIGHT
SEAL: JACQUELINE R BERENATO
FOR BID 06/25/2024
PROJECT: HADDONFIELD POLICE STATION
FOR: CAMDEN COUNTY IMPROVEMENT AUTHORITY
FOR CODE REVIEW: 02/23/24
REVISIONS:
FOR BID: 05/30/24
DRAWING TITLE: INFORMATION SHEET
DRAWING NUMBER: CS0002

PROJECT STATUS:
PROJECT: 06/20/24 11:48 AM BY: Jacqueline Berenato
PLOT STYLE: Pennoni VCS.dwg
PLOT FILE: 06/20/24 11:48 AM BY: Jacqueline Berenato
WORKSPACE: H:\Projects\2024\06\06\CS0002.dwg



CODE REVIEW:

CERTIFICATE:



SPIEZIE ARCHITECTURAL GROUP INC.
121 MARKET STREET
CAMDEN, NJ 08102
PHONE: (856) 974 7666

SIGNATURE:
THOMAS S. PERRINO 21401505400
SCOTT E. DOWNE 21401674400
STEVEN LEONE 21401101000
STEVEN G. SIEGEL 21401564200
ANGEL ALBERTO 21401564000
JOHN F. WRIGHT 21401784200
SPIEZIE ARCHITECTURAL GROUP, INC. 21401093000

SEAL:
JACQUELINE R BERENATO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 56282

Jacqueline Berenato 2/23/24

FOR BID
06/25/2024

PROJECT:
HADDONFIELD POLICE STATION
1 WALNUT STREET
HADDONFIELD, NEW JERSEY 08033
FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
520 MARKET STREET, 6TH FLOOR
CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

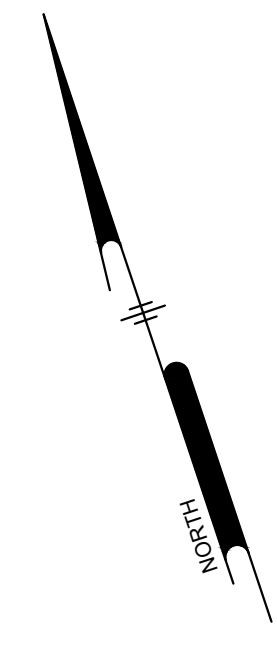
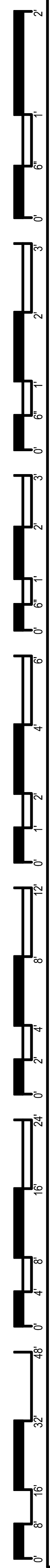
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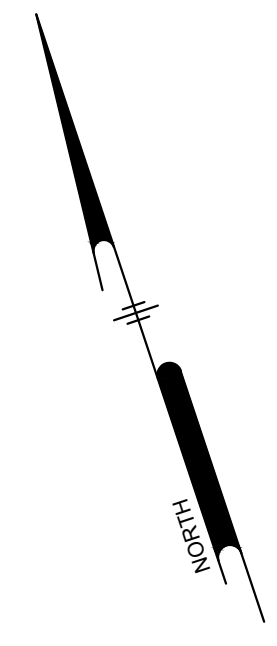
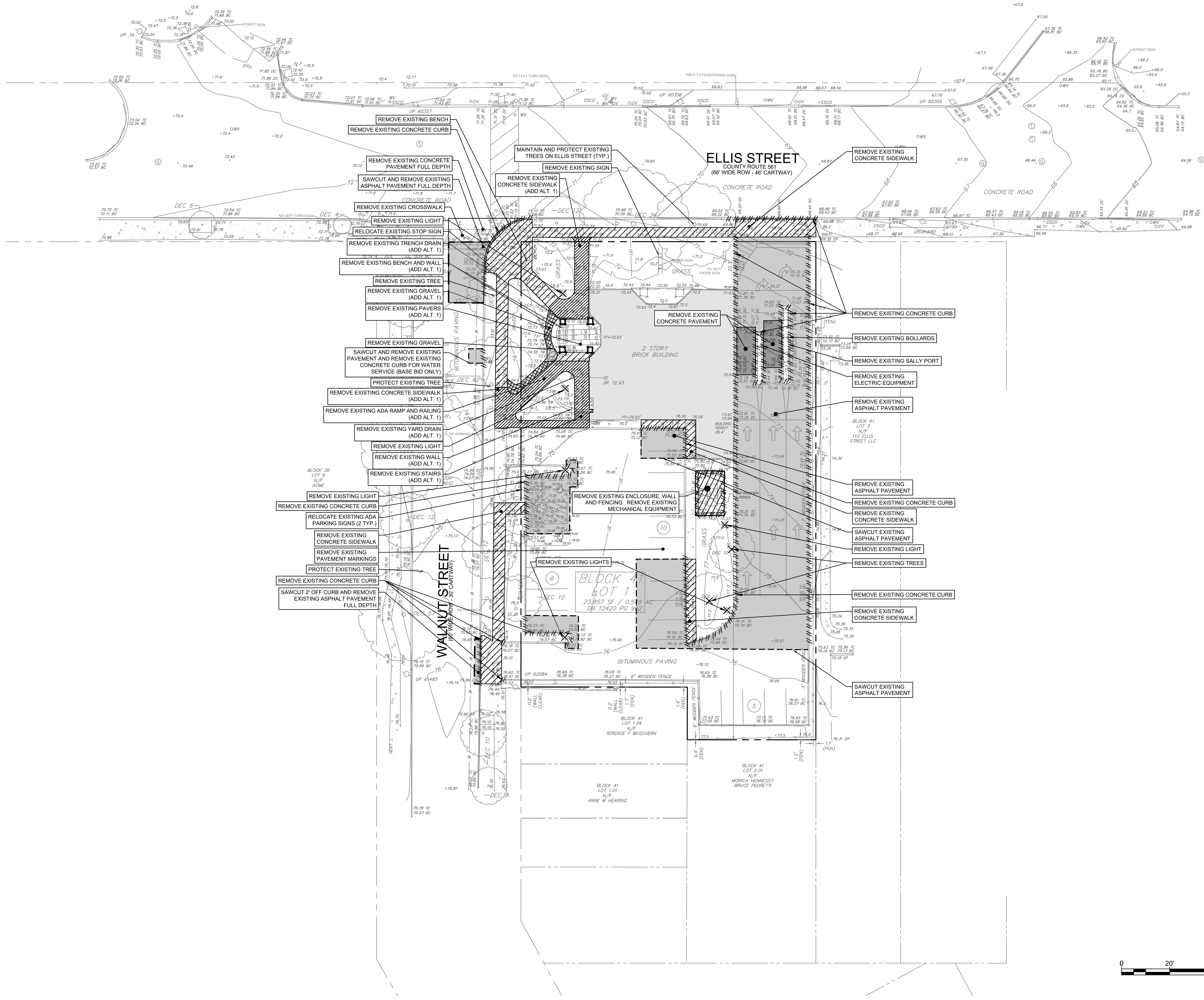
FOR BID: 05/30/24

DRAWING TITLE:
DEMOLITION PLAN- BASE BID




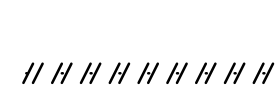
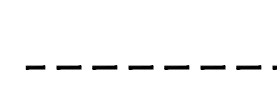



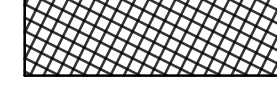
COMMISSION NUMBER:
23M014

DRAWING NUMBER:
CS0501





DEMOLITION LEGEND

-  REMOVE EXISTING ASPHALT PAVEMENT
-  REMOVE EXISTING GRAVEL
-  REMOVE EXISTING CONCRETE PAVEMENT
-  REMOVE EXISTING CONCRETE CURB
-  SAWCUT EXISTING PAVEMENT
-  REMOVE EXISTING TREE
-  REMOVE EXISTING LIGHT
-  REMOVE EXISTING GRAVEL (ADD ALT #1)
-  REMOVE EXISTING CONCRETE PAVEMENT (ADD ALT #1)



CODE REVIEW:

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121 MARKET STREET
CAMDEN, NJ 08102
PHONE: (856) 974 7666

SIGNATURE:
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SPIEZIE ARCHITECTURAL GROUP, INC. 21400903000

SEAL:
JACQUELINE R BERENATO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 56282

Jacqueline Berenato 2/23/24

FOR BID
06/25/2024

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HADDONFIELD POLICE STATION
1 WALNUT STREET
HADDONFIELD, NEW JERSEY 08033
FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
520 MARKET STREET, 6TH FLOOR
CAMDEN, NEW JERSEY 08102

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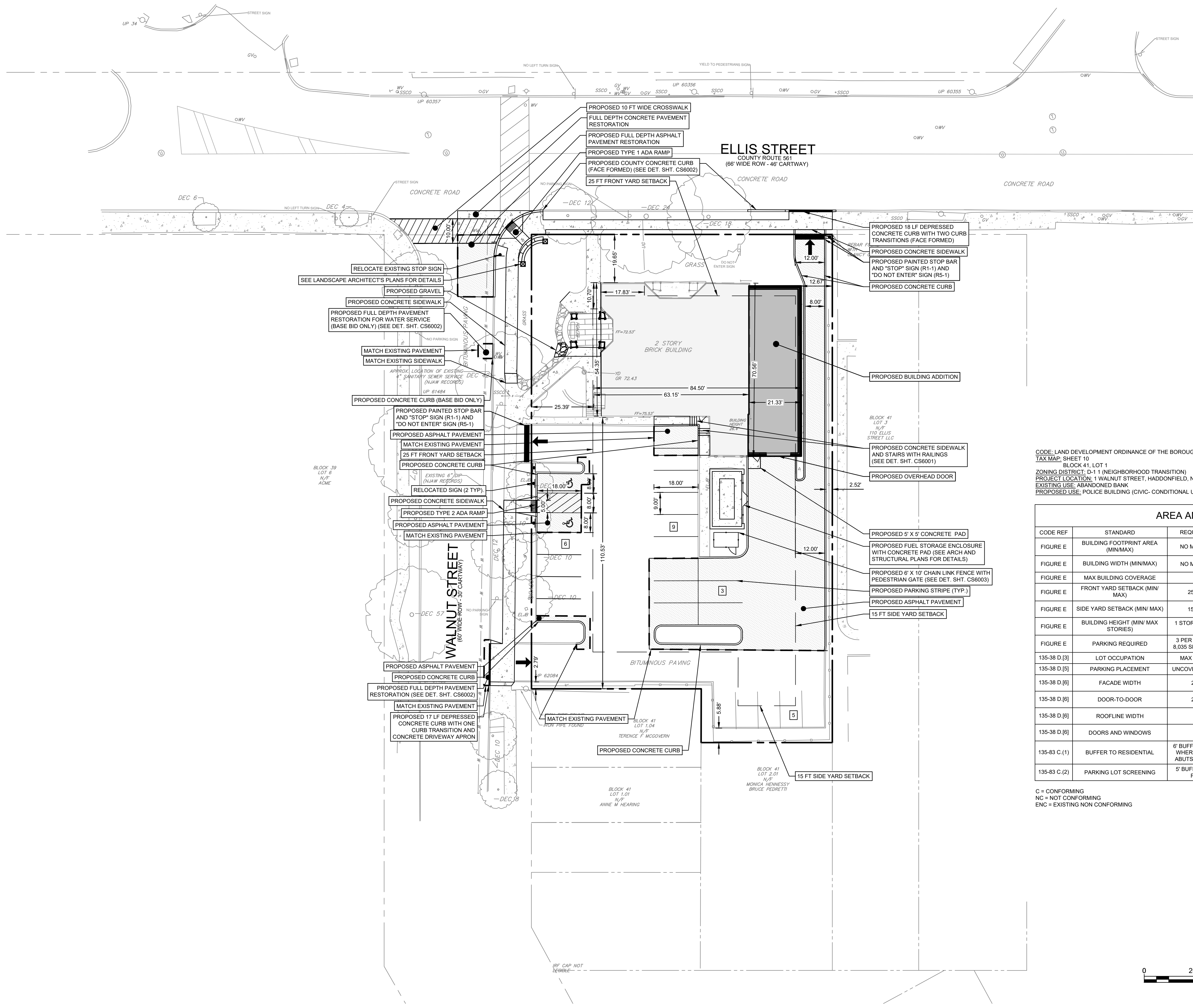
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FOR BID: 05/30/24

DRAWING TITLE:
DEMOLITION PLAN- ADD ALT AND BASE BID

COMMISSION NUMBER:
23M014

DRAWING NUMBER:
CS0502



CODE: LAND DEVELOPMENT ORDINANCE OF THE BOROUGH OF HADDONFIELD
 TAX MAP: SHEET 10
 BLOCK 41, LOT 1
 ZONING DISTRICT: D-1 1 (NEIGHBORHOOD TRANSITION)
 PROJECT LOCATION: 1 WALNUT STREET, HADDONFIELD, NJ 08033
 EXISTING USE: ABANDONED BANK
 PROPOSED USE: POLICE BUILDING (CIVIC - CONDITIONAL USE)

| AREA AND BULK REQUIREMENTS | | | | | |
|----------------------------|------------------------------------|--|---------------------------------------|---------------------------------------|-------------|
| CODE REF | STANDARD | REQUIRED/PERMITTED | EXISTING | PROPOSED | CONFORMANCE |
| FIGURE E | BUILDING FOOTPRINT AREA (MIN/MAX) | NO MIN/ 10,000 SF MAX | 3,574 SF | 5,066 SF | C |
| FIGURE E | BUILDING WIDTH (MIN/MAX) | NO MIN/ 100 FEET MAX | 63.15 FT - ELLIS 70.56 FT - WALNUT | 84.50 FT - ELLIS 70.56 FT - WALNUT | C |
| FIGURE E | MAX BUILDING COVERAGE | 50% | 15.0% | 21.2% | C |
| FIGURE E | FRONT YARD SETBACK (MIN/ MAX) | 25 FEET/ NO MAX | 19.65 FT - ELLIS 25.39 FT - WALNUT | 19.65 FT - ELLIS 25.39 FT - WALNUT | ENC - ELLIS |
| FIGURE E | SIDE YARD SETBACK (MIN/ MAX) | 15 FEET/ NO MAX | 11.56 FT - EAST 110.53 FT - SOUTH | 12.67 FT - EAST 110.53 FT - SOUTH | ENC-EAST |
| FIGURE E | BUILDING HEIGHT (MIN/ MAX STORIES) | 1 STORY/ 3 STORIES OR 36 FEET | 2 STORIES | 2 STORIES | C |
| FIGURE E | PARKING REQUIRED | 3 PER 1000 SQUARE FEET 8,035 SF = 25 SPACES REQD | 21 SPACES | 23 SPACES | NC |
| 135-38 D.[3] | LOT OCCUPATION | MAX IMPERVIOUS: 75% | 82.2% | 82.2% | ENC |
| 135-38 D.[5] | PARKING PLACEMENT | UNCOVERED: SIDE OR REAR | FRONT AND SIDE | FRONT AND SIDE | ENC |
| 135-38 D.[6] | FACADE WIDTH | 25 FT TO 35 FT | 17.83 FT - ELLIS 10.70 FT - WALNUT | 17.83 FT - ELLIS 10.70 FT - WALNUT | ENC |
| 135-38 D.[6] | DOOR-TO-DOOR | 25 FT TO 35 FT | NO DOORS - ELLIS 1 DOOR - WALNUT | NO DOORS - ELLIS 1 DOOR - WALNUT | ENC |
| 135-38 D.[6] | ROOFLINE WIDTH | 60 FT MAX | 63.15 FT - ELLIS 54.35 FT - WALNUT | 63.15 FT - ELLIS 54.35 FT - WALNUT | ENC |
| 135-38 D.[6] | DOORS AND WINDOWS | 30% MIN | 10.73% - ELLIS 16% - WALNUT | 9.01% - ELLIS 16% - WALNUT | NC |
| 135-83 C.(1) | BUFFER TO RESIDENTIAL | 6' BUFFER STRIP REQUIRED WHERE NONRESIDENTIAL ABUTS RESIDENTIAL ZONE | 2.79' | 2.79' | ENC |
| 135-83 C.(2) | PARKING LOT SCREENING | 5' BUFFER STRIP AROUND PARKING LOTS | 2.79' | 2.79' | ENC |

C = CONFORMING
 NC = NOT CONFORMING
 ENC = EXISTING NON CONFORMING

SITE PLAN LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED BUILDING ADDITION



CODE REVIEW:

CERTIFICATE:



SPIEZIE ARCHITECTURAL GROUP INC.
 121 MARKET STREET
 CAMDEN, NJ 08102
 PHONE: (856) 974 7666

SIGNATURE:
 THOMAS S. PERRINO 2140150500
 SCOTT E. DOWNE 2140167400
 STEVEN LEONE 2140110100
 STEVEN G. SIEGEL 2140156400
 ANGELO ALBERTO 2140156400
 JOHN F. WRIGHT 2140178400
 SPIEZIE ARCHITECTURAL GROUP, INC. 2140190300

SEAL:
JACQUELINE R BERENATO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE 56282

Jacqueline Berenato 2/23/24

FOR BID
 06/25/2024

PROJECT:
HADDONFIELD POLICE STATION
 1 WALNUT STREET
 HADDONFIELD, NEW JERSEY 08033
 FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
 520 MARKET STREET, 6TH FLOOR
 CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

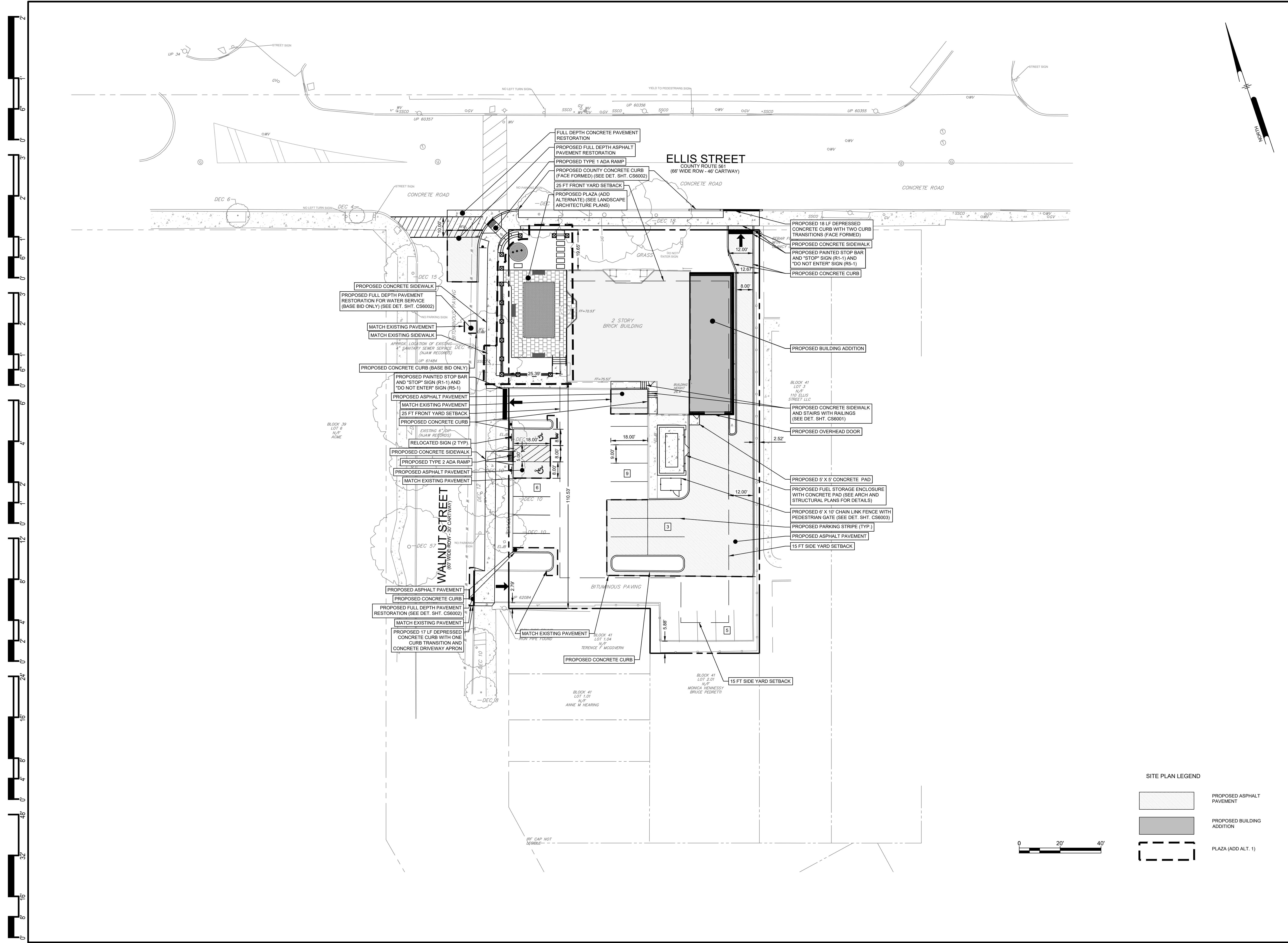
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FOR BID: 05/30/24

DRAWING TITLE:
SITE PLAN- BASE BID

COMMISSION NUMBER:
23M014

DRAWING NUMBER:
CS1001



CODE REVIEW:

CERTIFICATE:



SPIEZIE ARCHITECTURAL GROUP INC.
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CAMDEN, NJ 08102
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STEVEN LEON 21401101000
STEVEN G. SEIGEL 21401564200
ANGEL ALBERTO 21401564200
JOHN F. WRIGHT 21401784200
SPIEZIE ARCHITECTURAL GROUP, INC. 21402093000

SEAL:

JACQUELINE R BERENATO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 56282

Jacqueline Berenato 2/23/24

FOR BID
06/25/2024

PROJECT:

HADDONFIELD POLICE
STATION
1 WALNUT STREET
HADDONFIELD, NEW JERSEY 08033

FOR
CAMDEN COUNTY
IMPROVEMENT
AUTHORITY
520 MARKET STREET, 6TH FLOOR
CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

| REVISION NAME | DATE |
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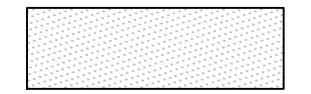


FOR BID: 05/30/24

DRAWING TITLE:
SITE PLAN- ADD ALT AND
BASE BID

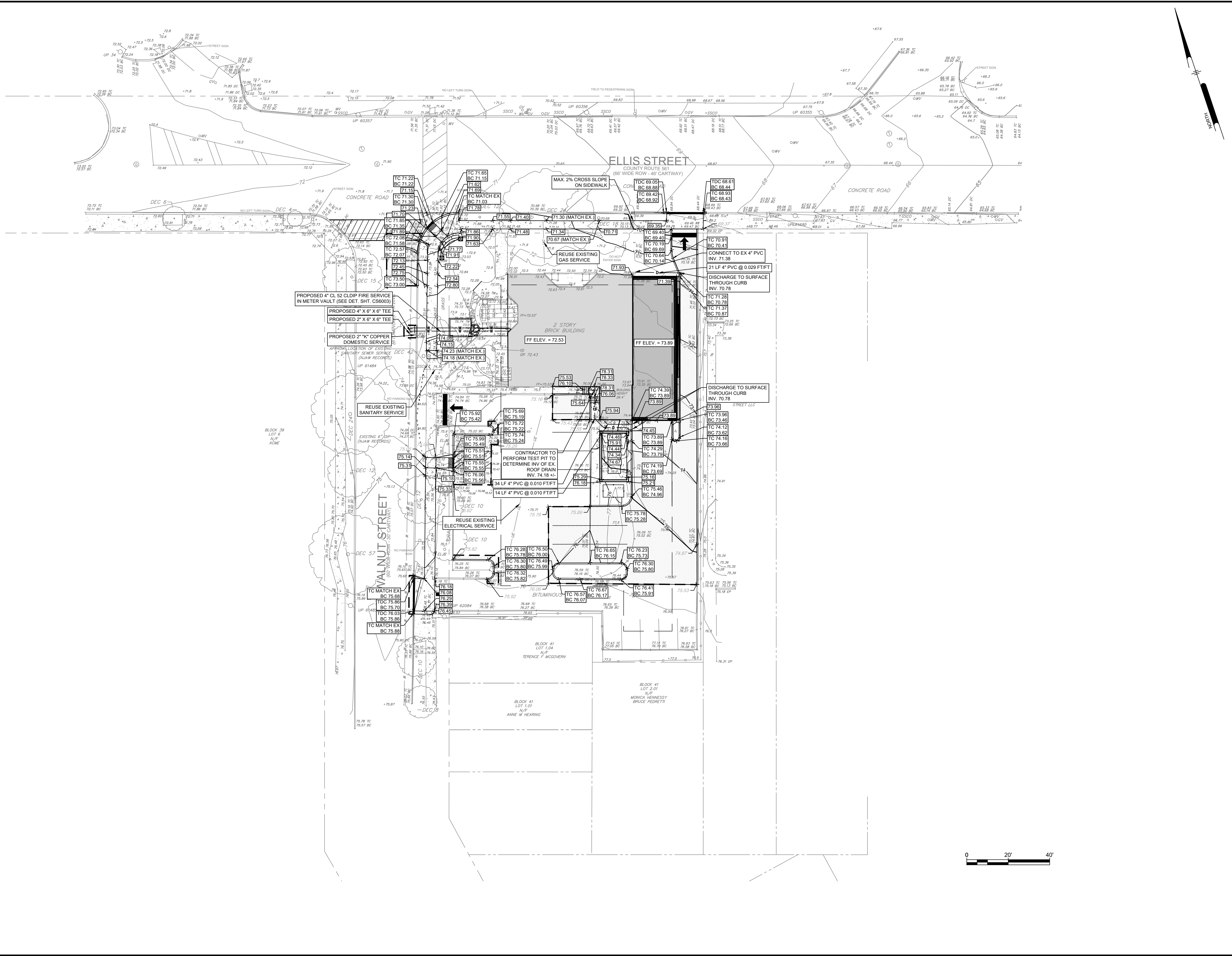
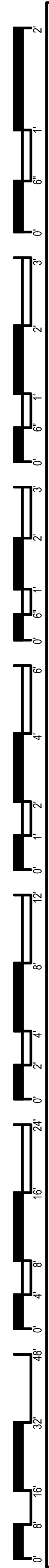
COMMISSION NUMBER:
23M014

DRAWING NUMBER:
CS1002

SITE PLAN LEGEND

-  PROPOSED ASPHALT PAVEMENT
-  PROPOSED BUILDING ADDITION
-  PLAZA (ADD ALT. 1)





CODE REVIEW:

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SPIEZIE ARCHITECTURAL GROUP INC.
121 MARKET STREET
CAMDEN, NJ 08102
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SPIEZIE ARCHITECTURAL GROUP, INC. 2140209300

SEAL:
JACQUELINE R BERENATO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 56282

FOR BID
06/25/2024

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HADDONFIELD POLICE STATION
1 WALNUT STREET
HADDONFIELD, NEW JERSEY 08033
FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
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CAMDEN, NEW JERSEY 08102

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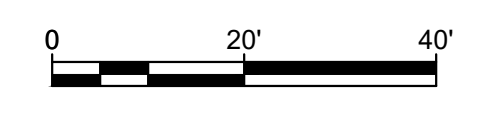
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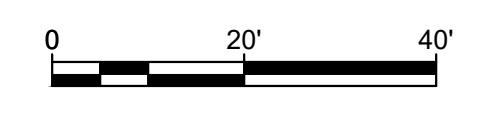
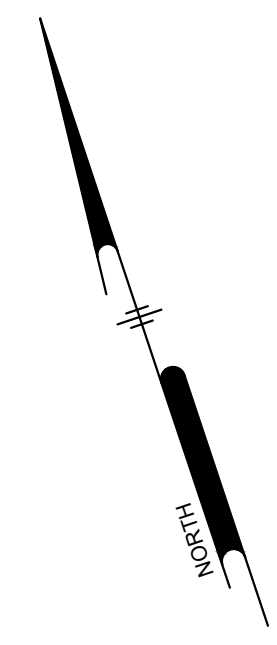
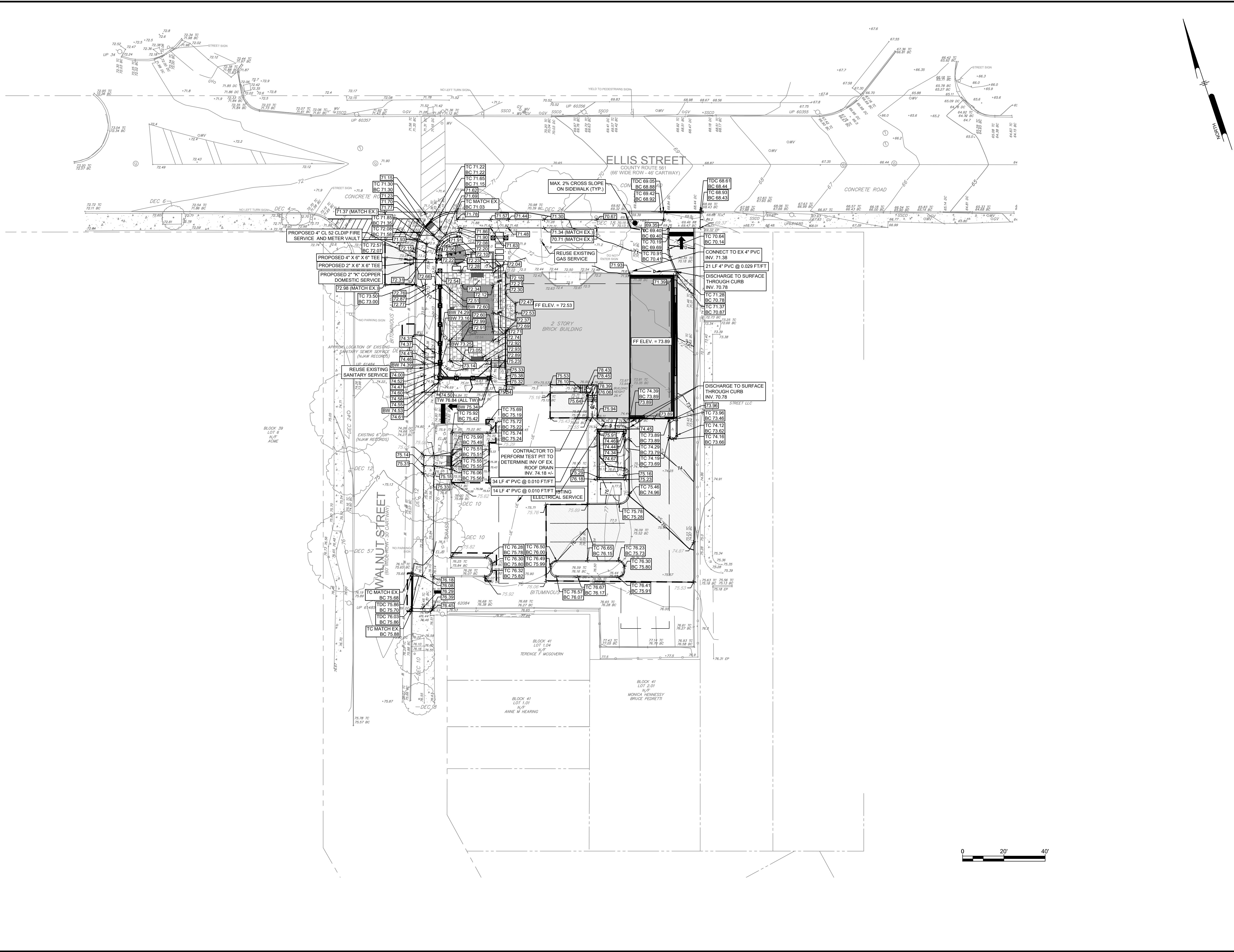
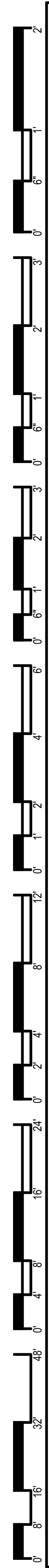
FOR BID: 05/30/24

DRAWING TITLE:
GRADING AND UTILITY PLAN-BASE BID

COMMISSION NUMBER:
23M014


DRAWING NUMBER:
CS1501





CODE REVIEW:

CERTIFICATE:



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121 MARKET STREET
CAMDEN, NJ 08102
PHONE: (856) 974 7666

SIGNATURE:

| | |
|-----------------------------------|------------|
| THOMAS S. PERRINO | 2140150500 |
| SCOTT E. DOWNE | 2140167400 |
| STEVEN LEON | 2140110100 |
| STEVEN G. SIEGEL | 2140156400 |
| ANGEL ALBERTO | 2140156400 |
| JOHN F. WRIGHT | 2140178400 |
| SPIEZIE ARCHITECTURAL GROUP, INC. | 2140090300 |

SEAL:

JACQUELINE R BERENATO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 56282

FOR BID
06/25/2024

PROJECT:

HADDONFIELD POLICE STATION

1 WALNUT STREET
HADDONFIELD, NEW JERSEY 08033

FOR

CAMDEN COUNTY IMPROVEMENT AUTHORITY

520 MARKET STREET, 6TH FLOOR
CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

| # | REVISION NAME | DATE |
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| A | | |

FOR BID: 05/30/24

DRAWING TITLE:

GRADING AND UTILITY PLAN- ADD ALT AND BASE BID

COMMISSION NUMBER:

23M014

DRAWING NUMBER:

CS1502

PLANTING NOTES

- ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD AND LOCATIONS APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- TOPSOIL WITH A QUALITY ORGANIC SOIL AMENDMENT SHALL BE USED FOR ALL PLANTING AND SEEDING OPERATIONS.
- INSTALL 12" MINIMUM TOPSOIL MIXTURE IN GROUNDCOVER BEDS AND 24" IN SHRUB BEDS AND ISLANDS. 6" OF TOPSOIL ARE TO REMAIN ON ALL DISTURBED AREAS TO RECEIVE SOD OR SEED.
- NOTIFY ALL UTILITY COMPANIES AND LOCATE ALL UTILITIES PRIOR TO EXCAVATING PLANT PITS. PLANT LOCATIONS MAY BE ADJUSTED IN THE FIELD TO AVOID INTERFERENCE WITH UNDERGROUND UTILITIES.
- SHOULD ANY DISCREPANCY ARISE BETWEEN THE PLANTING PLAN AND THE PLANTING SCHEDULE, THE DEVELOPER IS RESPONSIBLE FOR THE QUANTITIES SHOWN ON THE LANDSCAPE PLAN.
- ALL PLANT MATERIAL SHALL BE OF NURSERY STOCK QUALITY AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS AND SHALL BE FIRST QUALITY NURSERY GROWN STOCK FREE OF DISEASE AND OBJECTIONABLE DISFIGUREMENTS AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE AND APPLICABLE CITY STANDARDS.
- ALL NON-BIODEGRADABLE ROOT WRAPPING TO BE REMOVED COMPLETELY BEFORE PLANTING.
- ALL TREES SHALL BE BALLED AND BULLAPED, NURSERY GROWN STOCK.
- ALL PLANT MATERIAL AND LAWNS SHALL BE PLANTED WITHIN THE RECOMMENDED SEASONAL TIME PERIODS AS PRESCRIBED BY ACCEPTED HORTICULTURAL PRACTICE. RECOMMENDED PLANTING TIMES ARE BETWEEN APRIL 15TH THRU MAY 31ST OR AUGUST 17TH THRU OCTOBER 15TH. FALL DIGGING AND TRANSPLANT HAZARD TREE SPECIES (OAKS, ETC.) SHALL BE ONLY BE DUG AND PLANTED IN SPRING.
- ALL PLANT MATERIAL SHALL BE APPROVED UPON ARRIVAL TO THE SITE, UNLESS OTHERWISE NOTIFIED.
- PROPOSED PLANT MATERIAL MAY BE SUBSTITUTED BY SIMILAR PLANTS PRIOR TO INSTALLATION, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- A TEMPORARY FENCE, SUCH AS SNOW FENCE, SHALL BE ERECTED AT THE PERIMETER OF THE DRIPLINE OF ALL EXISTING VEGETATION INDICATED TO REMAIN. PRIOR TO EXCAVATION, CONSTRUCTION OR SITE WORK. THIS FENCE SHALL BE REMOVED ONLY AT THE TIME OF COMPLETION OF ALL CONSTRUCTION AND FINAL GRADING.
- EXISTING TREES TO BE RELOCATED SHALL BE HANDLED ACCORDING TO ACCEPTABLE HORTICULTURE PRACTICE.
- ALL DISTURBED AREAS NOT SHOWN AS PLANTED OR LAWN SHALL BE TOPSOILED AND SEEDED OR RETURNED TO THEIR ORIGINAL STATE BEFORE DISTURBANCE AS DIRECTED BY THE CITY ENGINEER.
- ALL AREAS NOT RELATED TO THE PROPOSED DEVELOPMENT SHALL REMAIN IN THEIR NATURAL STATE. DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO WORK AREA AND AS DEFINED ON DWGS. CS0501-04 AND CS8001.
- ADDITIONAL LANDSCAPING APPROVED BY THE CITY ENGINEER SHALL BE PROVIDED BY THE APPLICANT TO REPALCE ANY VEGETATION IN ADVERTENTLY REMOVED OUTSIDE THE LIMIT OF DISTURBANCE LINE AS SHOWN ON THE APPROVED GRADING PLAN DURING CONSTRUCTION.
- PROPOSED TREES SHALL NOT BE PLANTED WITHIN EASEMENTS, DRIVEWAYS AND SITE TRIANGLES. THEREFORE, THE TREE LOCATIONS SHALL BE APPROXIMATE AND SHALL BE ADJUSTED IN THE FIELD AS REQUIRED.
- ALL SHADE TREES IN PEDESTRIAN WALKS AREAS SHALL HAVE AN INITIAL LIMBS PRUNED STARTING AT A MINIMUM OF 7 FT. ABOVE FINISHED GRADE.
- ALL TREES SHALL BE MULCHED WITH A THREE INCH (3") MINIMUM DEPTH OF SHREDDED HARDWOOD BARK.
- PLANTS ARRANGED IN CONTINUOUS GROUPINGS SHALL BE SET IN MULCHED BEDS.
- PLANTING DEBRIS SHALL BE REMOVED FROM THE PROPERTY.
- ANY LIVE TREE WHICH IS SUBSTANTIALLY DAMAGED AS A RESULT FO GRADING OR GENERAL CONSTRUCTION MUST BE REMOVED AND REPLACED WITH ANOTHER TREE OR TREES AS APPROVED BY THE CITY ENGINEER.
- TREE REMOVAL FROM ANY SLOPE OR ENVIRONMENTALLY SENSITIVE AREA IS PROHIBITED IF IT WILL CONTRIBUTE, IN THE OPINION OF THE CITY ENGINEER, TO EXTRA RUNOFF OF SURFACE WATER ONTO ADJOINING PROPERTY AND EROSION AND SILTING, UNLESS OTHER MEANS APPROVED BY THE CITY ENGINEER ARE PROVIDED TO PREVENT RUNOFF AND EROSION.
- NO HEALTHY TREE THAT IS SPECIAL BY VIRTUE OF HISTORY, UNUSUAL SIZE, OR AGE OR OF RAE SPECIES, SHALL BE REMOVED EXCEPT AS MAY BE REQUIRED FOR PROTECTION OF PUBLIC HEALTH, SAFETY AND WELFARE.
- SELECTED EXISTING HEALTHY TREES SIX (6) INCHES IN CALIPER OR LESS MEASURED FOUR (4) FEET ABOVE THE GROUND SHALL BE RELOCATED ON-SITE UNDER THE DIRECTION AND APPROVAL OF THE CITY ENGINEER.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT AND REGULAR GROWTH OF PLANTS.
- ALL SHRUBS SPACED 7 FT. O.C. OR CLOSER SHALL BE IN CONTINUOUS MULCHED BEDS.
- SEED ALL DISTURBED AREAS WITH REQUIRED SEED MIX (SEE DWG. CS8501 FOR SEEDING MIX SCHEDULE).
- TREES SHOULD BE PLANTED A MIN. OF FIVE (5) FEET FROM SIDEWALKS UNLESS IN TREE PITS.
- GUY WIRES AND STAKES WILL ONLY BE UTILIZED IF CONDITIONS MERIT AND WILL BE REMOVED BY THE DEVELOPER AT THE END OF THE GUARANTEE PERIOD.

LANDSCAPE MAINTENANCE NOTES

PLANT MATERIAL GUARANTEE

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR BY THE CONTRACTOR TO BE IN HEALTHY AND VIGOROUS CONDITION FROM THE DATE OF ACCEPTANCE LANDSCAPE ARCHITECT, OWNER AND CITY INSPECTOR. ANY AND ALL PLANT MATERIAL THAT DIES OR FAILS TO THRIVE SHALL BE IMMEDIATELY REPLACED WITH LIKE SPECIES. IT IS UNDERSTOOD THAT THE CONTRACTOR WILL PROVIDE ADEQUATE AND TIMELY CARE DURING THE GUARANTEE PERIOD TO THE HIGHEST HORTICULTURAL STANDARDS.

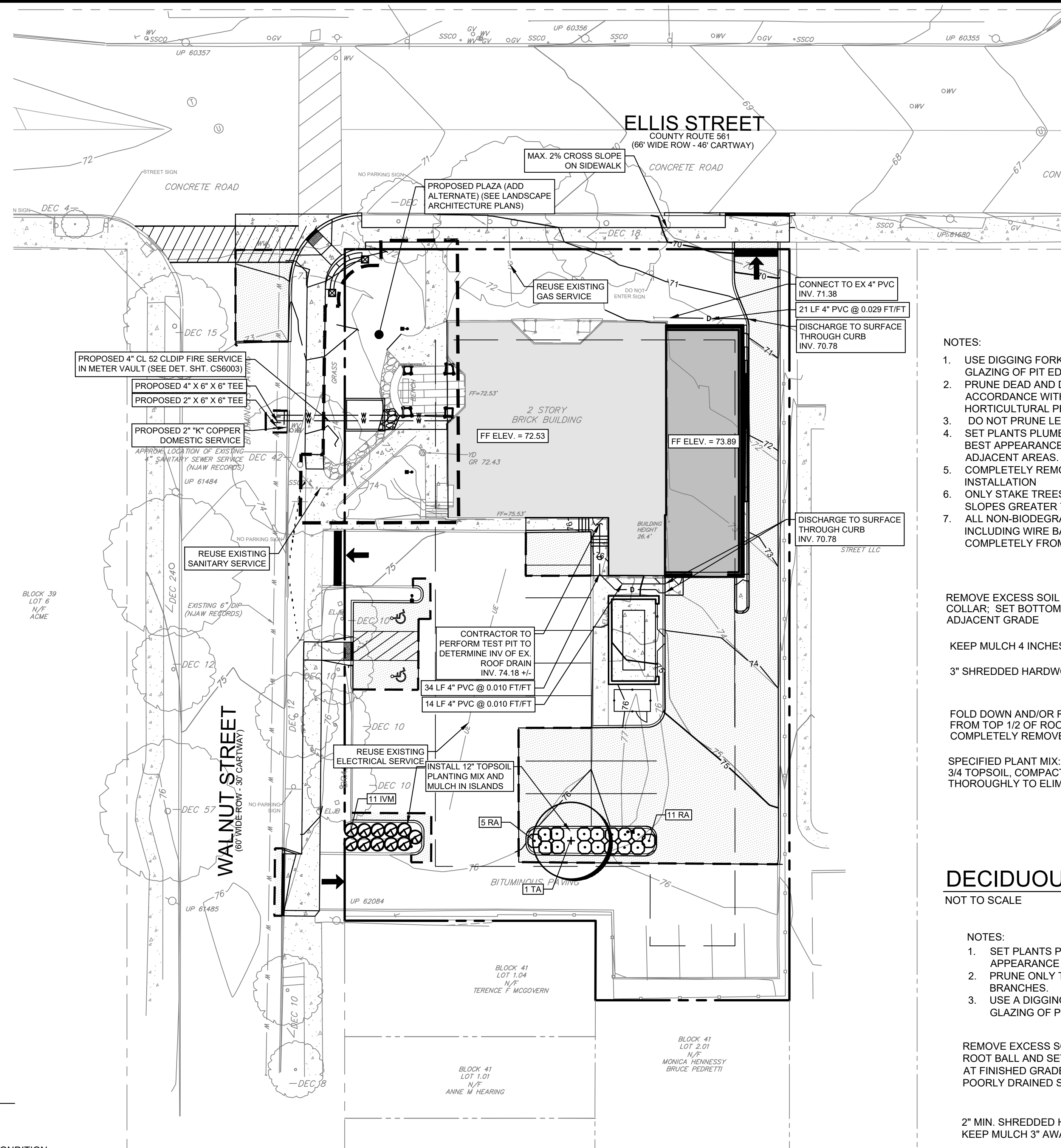
MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF SITE VEGETATION DURING THE GUARANTEE PERIOD TO INCLUDE BUT NOT BE LIMITED TO:

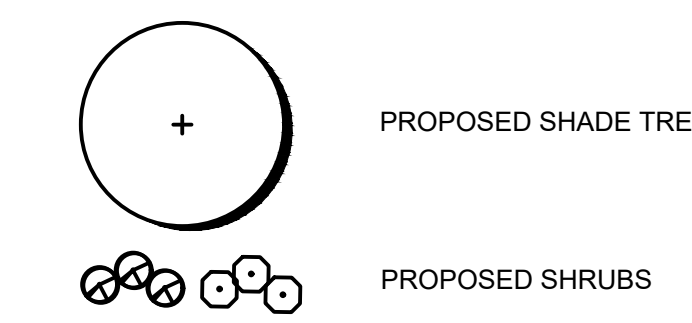
- FERTILIZER:** SPRING AND FALL FERTILIZER APPLICATIONS.
- PRUNING:** PRUNING SHALL BE LIMITED OR REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OR FOR SIGHT DIFFERENCES/SAFETY REASONS. PRUNING OF SHRUBS AND TREES SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
- PEST CONTROL:** PRE-EMERGENT WEED CONTROL FOR MOWN LAWNS AND SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
- MULCHING:** MULCHING SHALL BE MAINTAINED AT A DEPTH OF 3" IN PLANT BEDS AND AROUND BASE OF TREES.
- MOWING:** MOWN LAWN SEED MIX SHALL BE MOWN AT REGULAR INTERVALS THROUGHOUT THE GROWING SEASON. GRASS HEIGHT SHOULD NOT EXCEED 4 INCHES BEFORE CUTTING. MOWER BLADES SHALL BE SET AT 3 INCHES UNLESS OTHERWISE DIRECTED.
- PLANT PROTECTION:** AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS.
- WATERING:** UNLESS STATED OTHERWISE IN THESE DOCUMENTS, PROVIDE APPROXIMATELY 1-INCH OF RAINFALL/WATER PER WEEK THROUGHOUT THE GROWING SEASON DURING THE GUARANTEE PERIOD. AN IRRIGATION SYSTEM SHALL BE INSTALLED BY THE OWNER FOR ALL PROPOSED LANDSCAPING. SEE DRAWING CS2001 FOR AREAS TO BE IRRIGATED.

PERENNIAL AND GROUNDCOVER MAINTENANCE

- WEED CONTROL CAN BE A PROBLEM UNTIL THE GROUNDCOVERS/ PERENNIALS HAVE SPREAD AND FILLED IN THE AREA. CONTROL OF PERSISTENT, PERENNIAL WEEDS, SUCH AS BERMUDAGRASS AND NUTGRASS SHOULD BE ACHIEVED BEFORE PLANTING. USE A NONSELECTIVE HERBICIDE, SUCH AS ROUNDUP. A MULCH APPLIED AFTER PLANTING AND REPLENISHED AS NEEDED TO MAINTAIN A DEPTH OF 3 INCHES WILL REDUCE THE NEED TO WEED BY HAND. PRE-EMERGENCE HERBICIDES CAN BE USED ON MANY TYPES OF GROUNDCOVER TO AID WEED CONTROL. READ THE LABEL CAREFULLY BEFORE APPLYING. AS THE GROUNDCOVER FILLS IN WEEDS WILL BECOME LESS OF A PROBLEM BECAUSE OF THE SHADED SOIL. SOME HAND WEEDING WILL MOST LIKELY BE NEEDED.
- FERTILIZER - MOST GROUNDCOVERS WILL BENEFIT FROM AN APPLICATION OF FERTILIZER IN LATE WINTER TO EARLY SPRING. USE 2 TO 4 POUNDS OF A COMPLETE FERTILIZER PER 1,000 SQUARE FEET. WATER OR BRUSH FERTILIZER OFF THE FOLIAGE AFTER BROADCASTING.



LEGEND



NOTES:

- USE DIGGING FORK NOT SPADE TO PREVENT GLAZING OF PIT EDGES
- PRUNE DEAD AND DAMAGED BRANCHES IN ACCORDANCE WITH RECOGNIZED HORTICULTURAL PRACTICES.
- DO NOT PRUNE LEADER.
- SET PLANTS PLUMB AND FACE TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT AREAS.
- COMPLETELY REMOVE ALL TREE WRAP AFTER INSTALLATION
- ONLY STAKE TREES OVER 3" CALIPER OR ON SLOPES GREATER THAN 4:1
- ALL NON-BIODEGRADABLE MATERIALS INCLUDING WIRE BASKETS SHALL BE REMOVED COMPLETELY FROM THE ROOTBALL.

REMOVE EXCESS SOIL FROM TOP OF ROOT BALL AND COLLAR; SET BOTTOM OF COLLAR 1 INCH ABOVE ADJACENT GRADE

KEEP MULCH 4 INCHES AWAY FROM TRUNK

3" SHREDDED HARDWOOD MULCH

FOLD DOWN AND/OR REMOVE BURLAP FROM TOP 1/2 OF ROOT BALL. COMPLETELY REMOVE WIRE BASKETS.

SPECIFIED PLANT MIX: 1/4 PEAT MOSS AND 3/4 TOPSOIL, COMPACT TO 80% AND WATER THOROUGHLY TO ELIMINATE AIR POCKETS.

DECIDUOUS TREE PLANTING

NOT TO SCALE

NOTES:

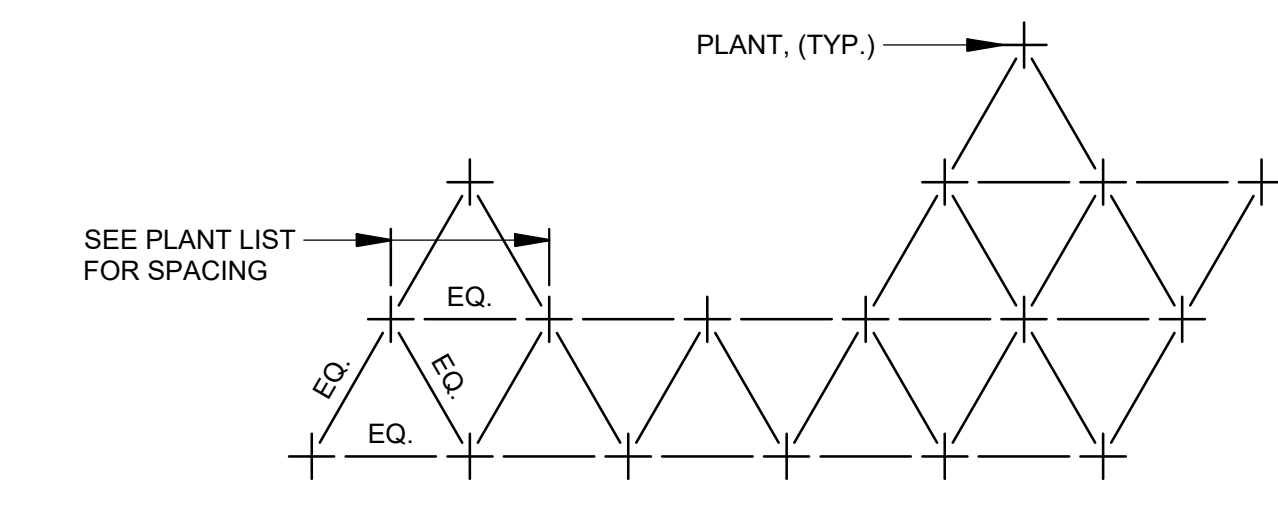
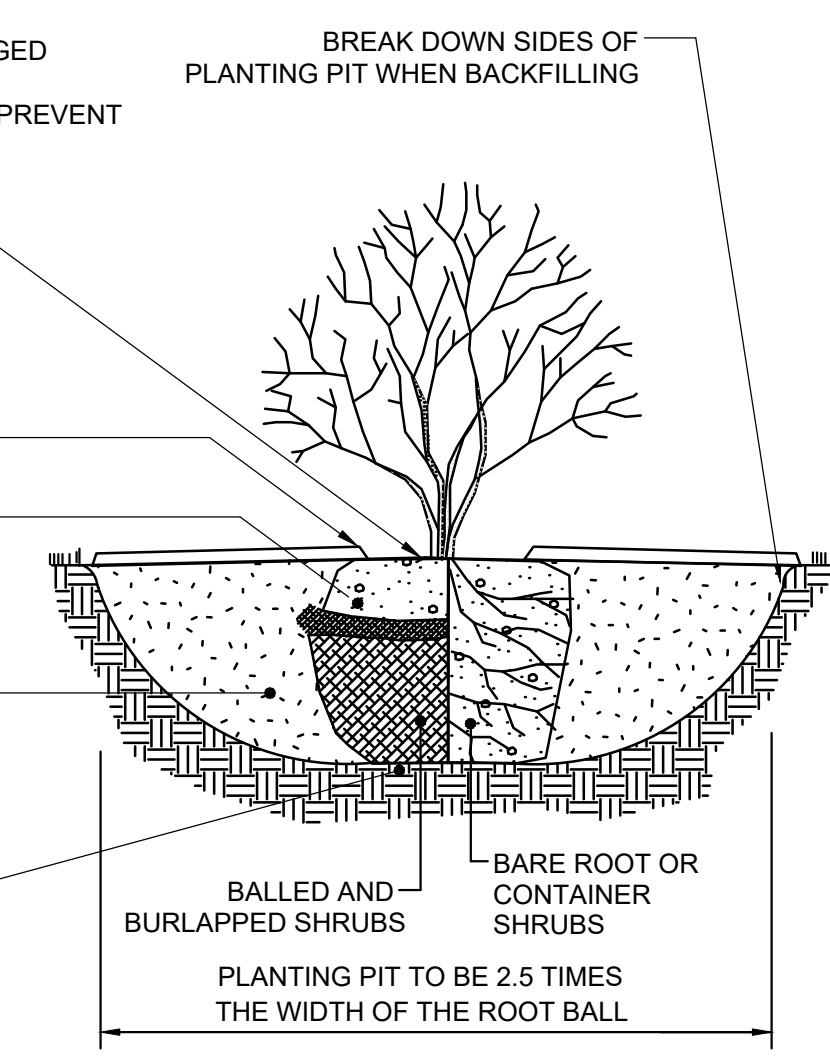
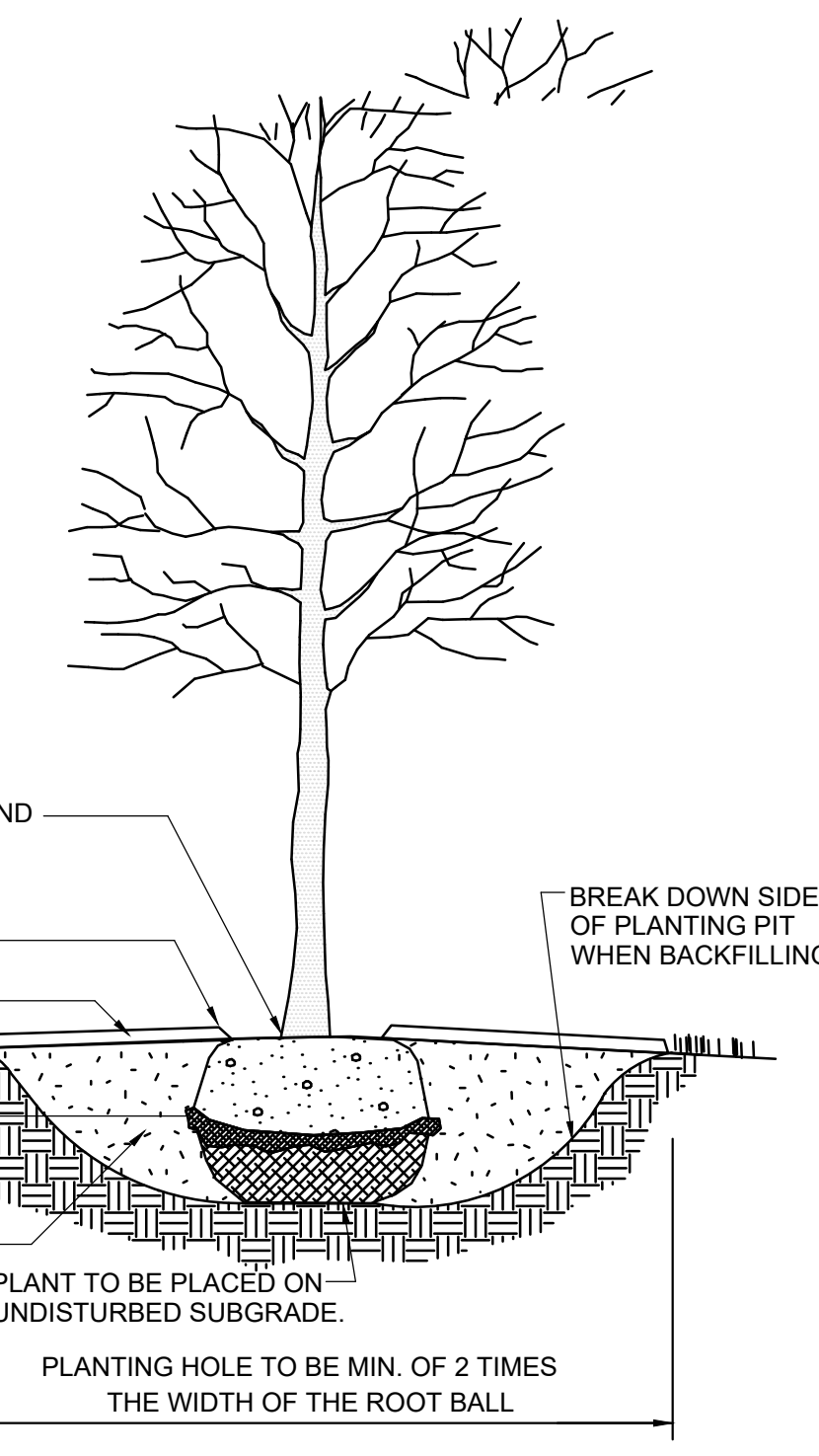
- SET PLANTS PLUMB AND FACE TO GIVE BEST APPEARANCE TO ADJACENT AREAS.
- PRUNE ONLY TO REMOVE DEAD OR DAMAGED BRANCHES.
- USE A DIGGING FORK NOT A SPADE TO PREVENT GLAZING OF PIT EDGES

REMOVE EXCESS SOIL FROM TOP OF ROOT BALL AND SET TOP OF ROOT BALL AT FINISHED GRADE OR 1" TO 2" ABOVE IN POORLY DRAINED SOILS

2" MIN. SHREDDED HARDWOOD MULCH. KEEP MULCH 3" AWAY FROM MAIN STEM. REMOVE BURLAP FROM TOP 1/2 OF ROOT BALL, OR WITH CONTAINER PLANTS REMOVE POTS AND SPLIT BALLS AS SPECIFIED.

SPECIFIED PLANT MIX: 1/3 PEAT AND COMPOST 2/3 EXISTING OR NEW TOPSOIL, COMPACT TO 80% AND WATER THOROUGHLY TO ELIMINATE AIR POCKETS.

PLANT TO BE PLACED ON UNDISTURBED SUBGRADE



PLANT SPACING DIAGRAM

NOT TO SCALE

SHRUB PLANTING

NOT TO SCALE

| PLANT SCHEDULE | | | | | | | | |
|------------------------|------|------------------------------------|----------------------------|--------------------------|----------|-----------------------|-----------------------|-----------------|
| SYM. | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | MATURE SIZE | COMMENTS | FALL DIG HAZARD |
| DECIDUOUS TREES | | | | | | | | |
| TA | 1 | TILIA AMERICANA 'SENTRY' (UPRIGHT) | SENTRY AMERICAN LINDEN | 2.5-3" CAL., 12-14' HGT. | B&B | 40-60' HGT; 30-40' WD | FULL; LIMBED TO 7 FT. | YES |
| SHRUBS | | | | | | | | |
| RA | 14 | RHUS AROMATICA 'GRO-LO' | GRO-LO SUMAC | 18 - 24" HGT. | #3 CONT. | 2-3' HGT; 5-6' WD | FULL; 3.5' SPACING | |
| IVM | 9 | ITEA VIRGINICA 'MERLOT' | MERLOT VIRGINIA SWEETSPIRE | 18 - 24" HGT. | #3 CONT. | 3-4' HGT; 3-4' WD | FULL; 3.5' SPACING | |

REFER TO LANDSCAPE ARCHITECT'S PLANS FOR ANY ADDITIONAL BASE BID LANDSCAPING AND ALL ADD ALTERNATE LANDSCAPING



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SPIEZIE ARCHITECTURAL GROUP, INC. 2140203030

SEAL:
JACQUELINE R BERENATO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 56282

Jacqueline Berenato 2/23/24

FOR BID
06/25/2024

PROJECT:
HADDONFIELD POLICE STATION

1 WALNUT STREET
HADDONFIELD, NEW JERSEY 08033

FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY

520 MARKET STREET, 6TH FLOOR
CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

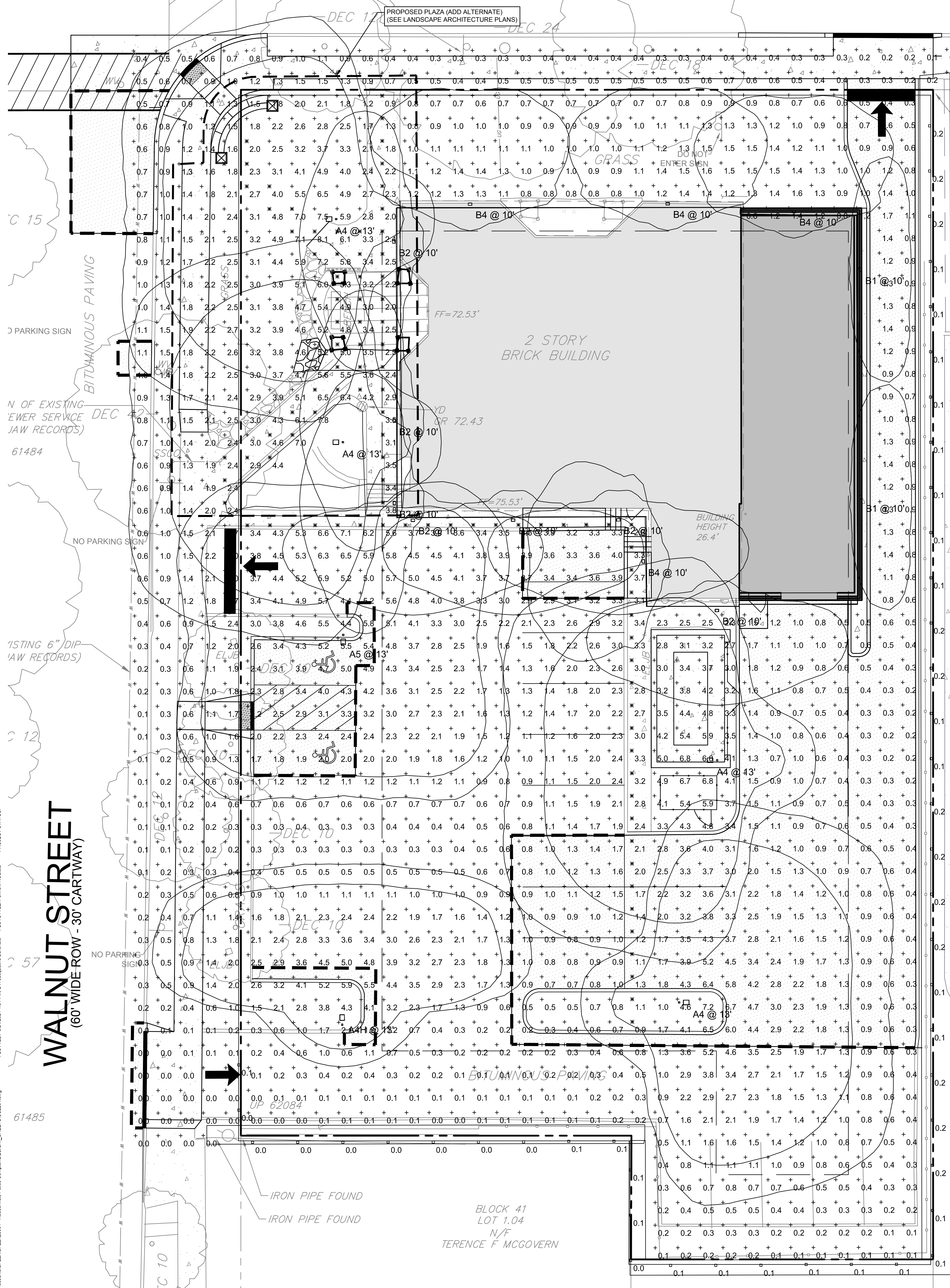
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FOR BID: 05/30/24

DRAWING TITLE:
LANDSCAPE PLAN

COMMISSION NUMBER:
23M014

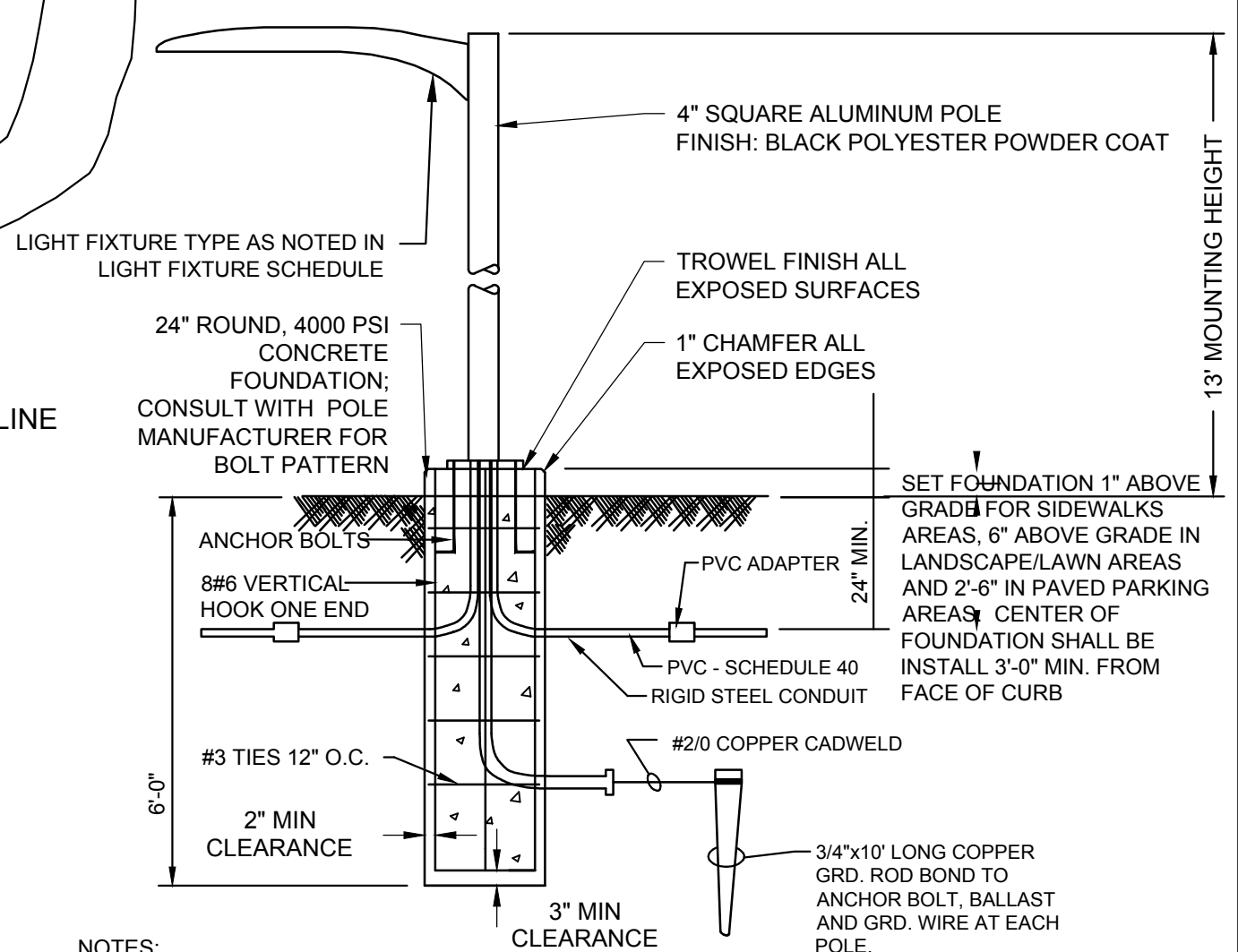
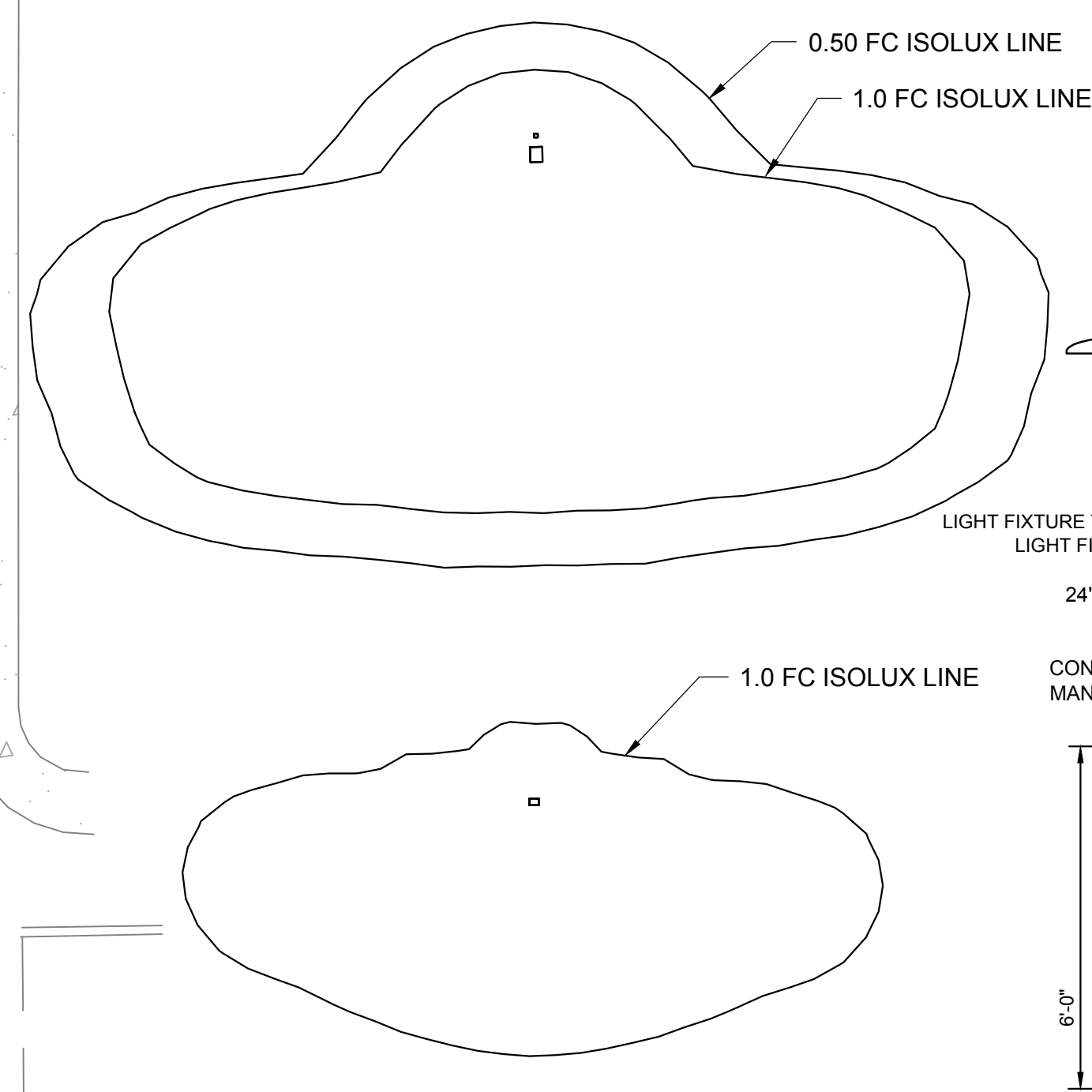
DRAWING NUMBER:
CS2001



| SCHEDULE | | | | | | | | | | | |
|----------|-------|-------|-----|-------------------|--|---|--------------|-------------|-----|-------------|-----------|
| SYMBOL | LABEL | IMAGE | QTY | MANUFACTURER | CATALOG | DESCRIPTION | NUMBER LAMPS | LAMP OUTPUT | LLF | INPUT POWER | POLAR PID |
| □ | A4 | | 4 | LITHONIA LIGHTING | RSX1 LED P1 30K R4 MVOLT SPA DBLXD | FULL CUTOFF POLE MTD AREA LIGHT WITH TYPE 4 DISTRIBUTION | 1 | 6543 | 0.9 | 51,3400 | |
| □ | A4H | | 1 | LITHONIA LIGHTING | RSX1 LED P1 30K R4 MVOLT SPA HS DBLXD | FULL CUTOFF POLE MTD AREA LIGHT WITH TYPE 4 DISTRIBUTION AND WITH HOUSE SIDE SHIELD | 1 | 4300 | 0.9 | 51,3400 | |
| □ | A5 | | 1 | LITHONIA LIGHTING | RSX1 LED P1 30K R5 MVOLT SPA DBLXD | FULL CUTOFF POLE MTD AREA LIGHT WITH TYPE 4 DISTRIBUTION | 1 | 6807 | 0.9 | 51,3400 | |
| □ | B1 | | 2 | LITHONIA LIGHTING | WDGE2 LED P0 30K 80CRI T15 MVOLT SRM DBLXD | FULL CUTOFF POLE MTD AREA LIGHT WITH TYPE 1 SHORT DISTRIBUTION | 1 | 666 | 0.9 | 6,8946 | |
| □ | B2 | | 7 | LITHONIA LIGHTING | WDGE2 LED P1 30K 80CRI T15 MVOLT SRM DBLXD | FULL CUTOFF POLE MTD AREA LIGHT WITH TYPE 2 MED DISTRIBUTION | 1 | 1204 | 0.9 | 11,1658 | |
| □ | B4 | | 4 | LITHONIA LIGHTING | WDGE2 LED P0 30K 80CRI T15 MVOLT SRM DBLXD | FULL CUTOFF POLE MTD AREA LIGHT WITH TYPE FORWARD THROW DISTRIBUTION | 1 | 1186 | 0.9 | 11,1658 | |

| Statistics | | | | | | |
|----------------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Parking Sidewalk | ✕ | 3.2 fc | 7.1 fc | 0.9 fc | 7.9:1 | 3.6:1 |
| Property Line | □ | 0.1 fc | 0.2 fc | 0.0 fc | N/A | N/A |
| Sidewalk at Entrance | ✕ | 4.1 fc | 8.1 fc | 0.9 fc | 9.0:1 | 4.6:1 |
| Site | + | 1.7 fc | 8.1 fc | 0.0 fc | N/A | N/A |

NOTE
 1. CALCULATIONS TAKEN AT GRADE
 2. FIXTURES MOUNTED AT HEIGHTS LISTED ON DRAWINGS
 3. CALCULATIONS ARE ESTIMATIONS BASED ON THE INFORMATION PROVIDED AND MAY VARY WITH ACTUAL CONDITIONS



- NOTES:
- EPA RATING SHALL BE COORDINATED WITH POLE AND FIXTURE ASSEMBLY.
 - GENERAL CONTRACTOR TO PROVIDE POLE BASIS OF DESIGN SEALED BY PROFESSIONAL STRUCTURAL ENGINEER.
 - CONNECT TO REBAR WITH APPROVED LISTED GROUNDING CLAMPS USED FOR THIS PURPOSE.

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 SPIEZZE ARCHITECTURAL GROUP, INC. 21A00090000

SEAL:
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 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. GE 56282

Jacqueline Berenato 2/23/24

FOR BID
 06/25/2024

PROJECT:
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 HADDONFIELD, NEW JERSEY 08033

FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
 520 MARKET STREET, 6TH FLOOR
 CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

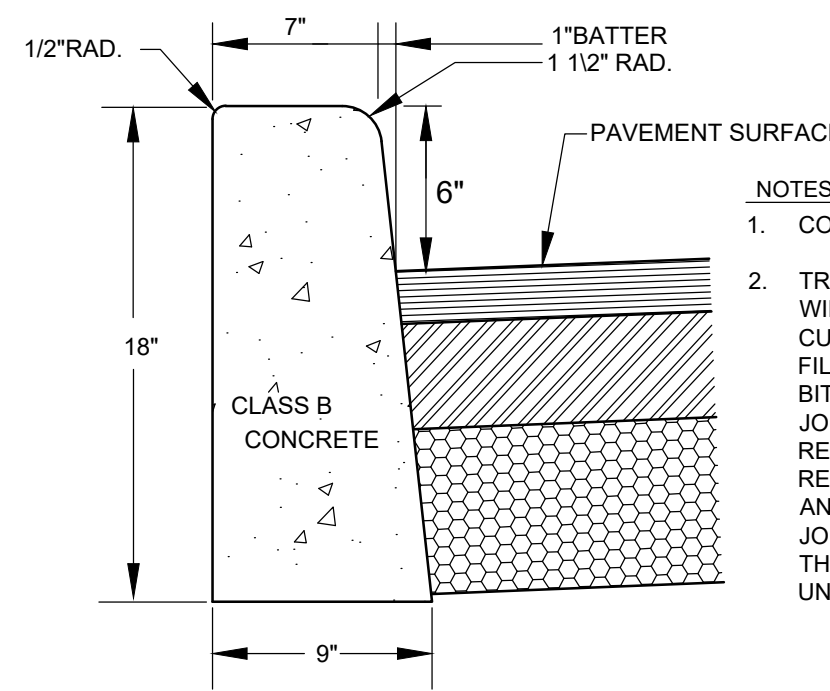
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FOR BID: 05/30/24

DRAWING TITLE:
LIGHTING PLAN

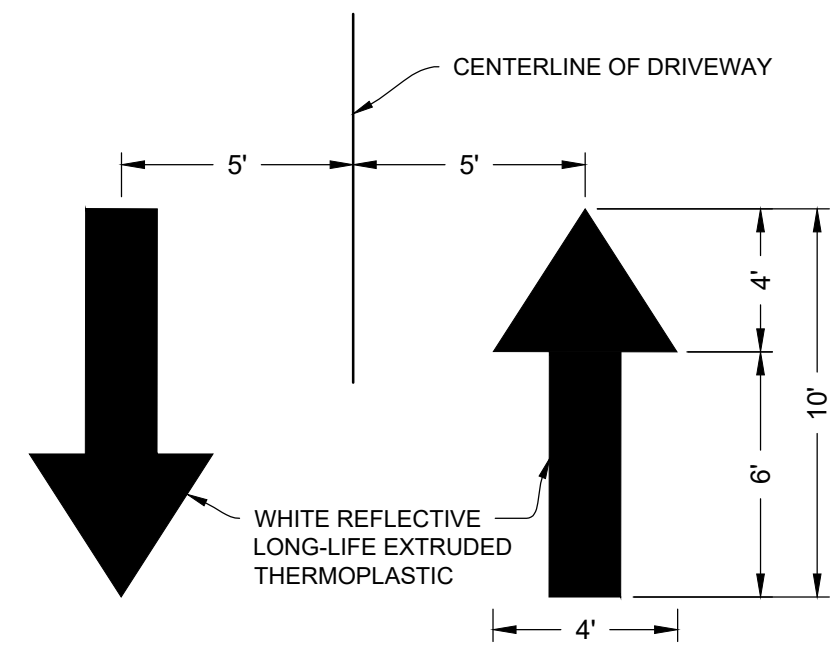
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23M014

DRAWING NUMBER:
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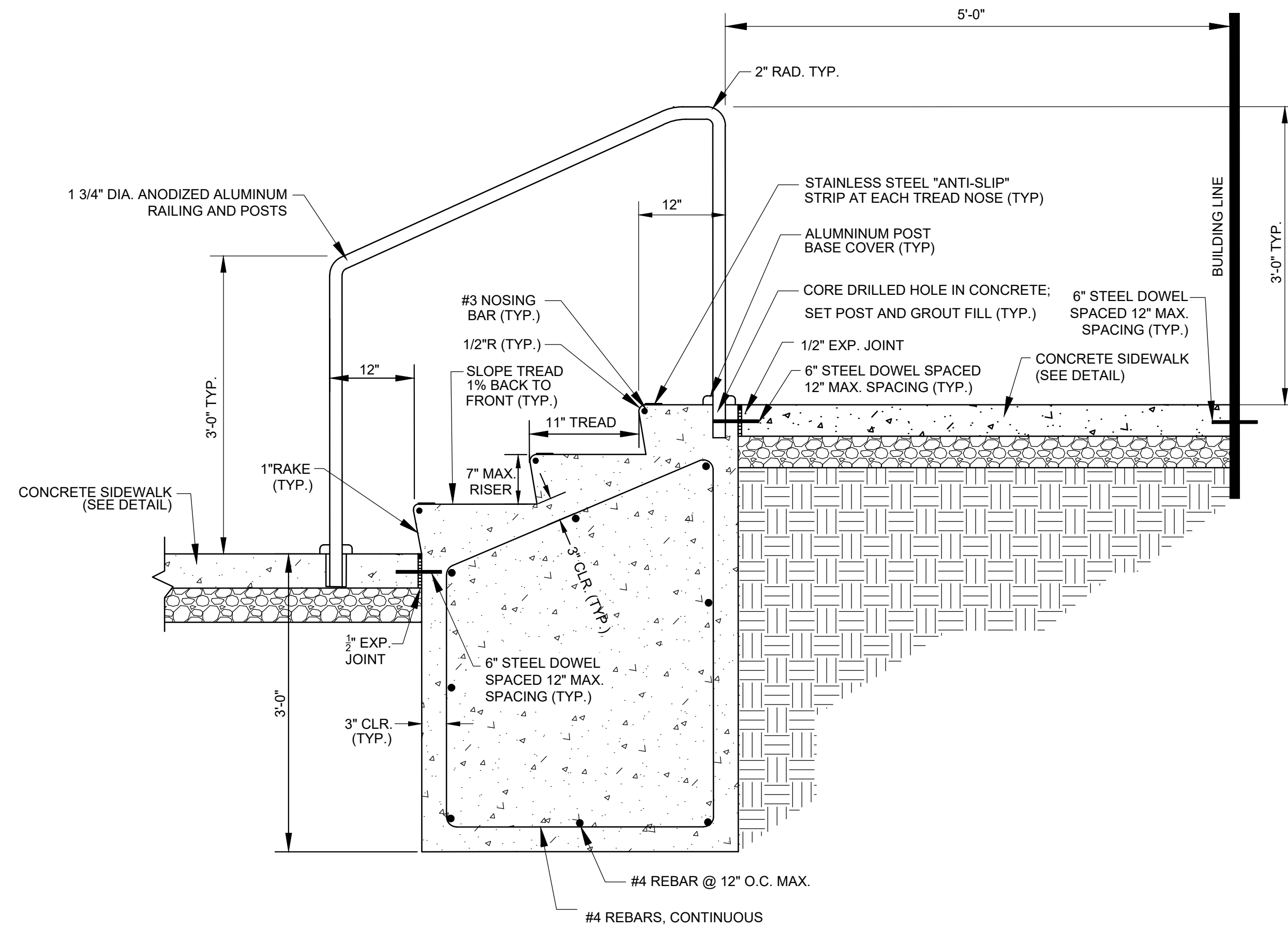


- NOTES:
1. CONCRETE TO BE NJDOT CLASS "B."
 2. TRANSVERSE JOINT ONE-HALF INCH WIDE SHALL BE INSTALLED IN THE CURB 1'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF SPEC M-213 RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB. EXPANSION JOINTS THROUGH AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.

1 CONCRETE VERTICAL CURB (ON-SITE)
NOT TO SCALE

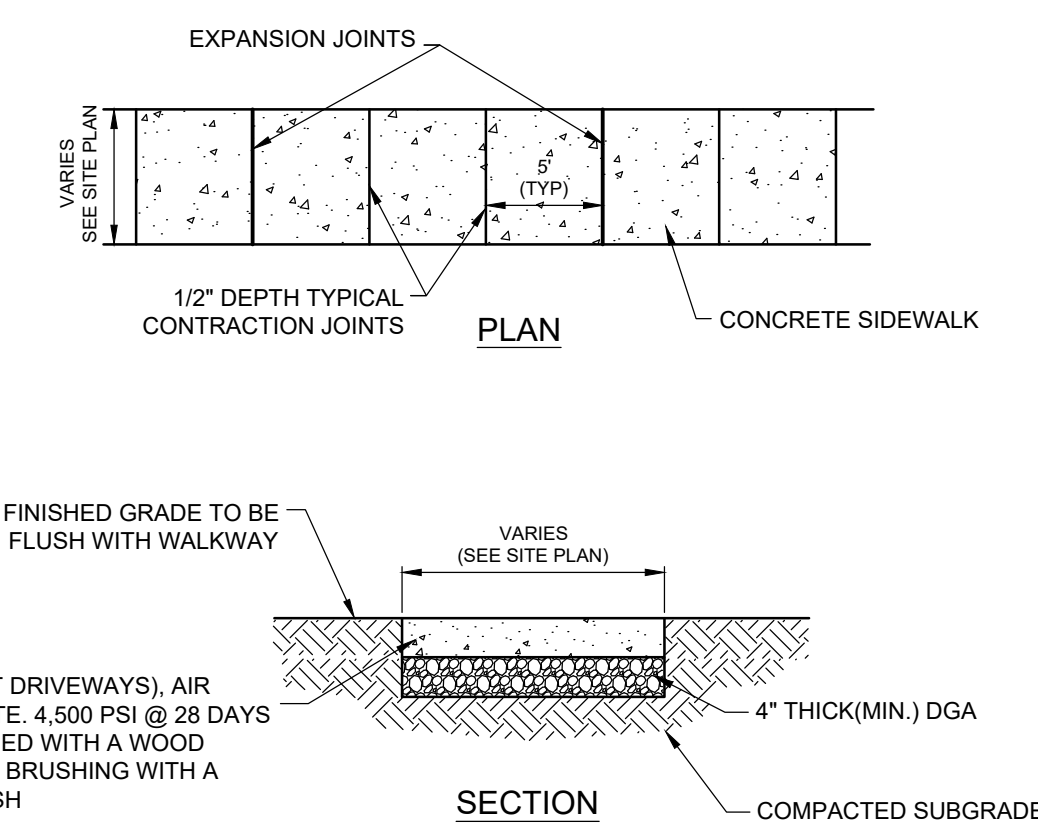


2 DRIVEWAY TRAFFIC FLOW DIRECTIONAL ARROW DETAIL
NOT TO SCALE



- NOTES:
1. ALL EXPOSED VERTICAL CONCRETE SURFACES SHALL HAVE A RUBBED FINISH.
 2. ALL EXPOSED HORIZONTAL CONCRETE SURFACES SHALL HAVE A NON-SLIP BROOM FINISH.

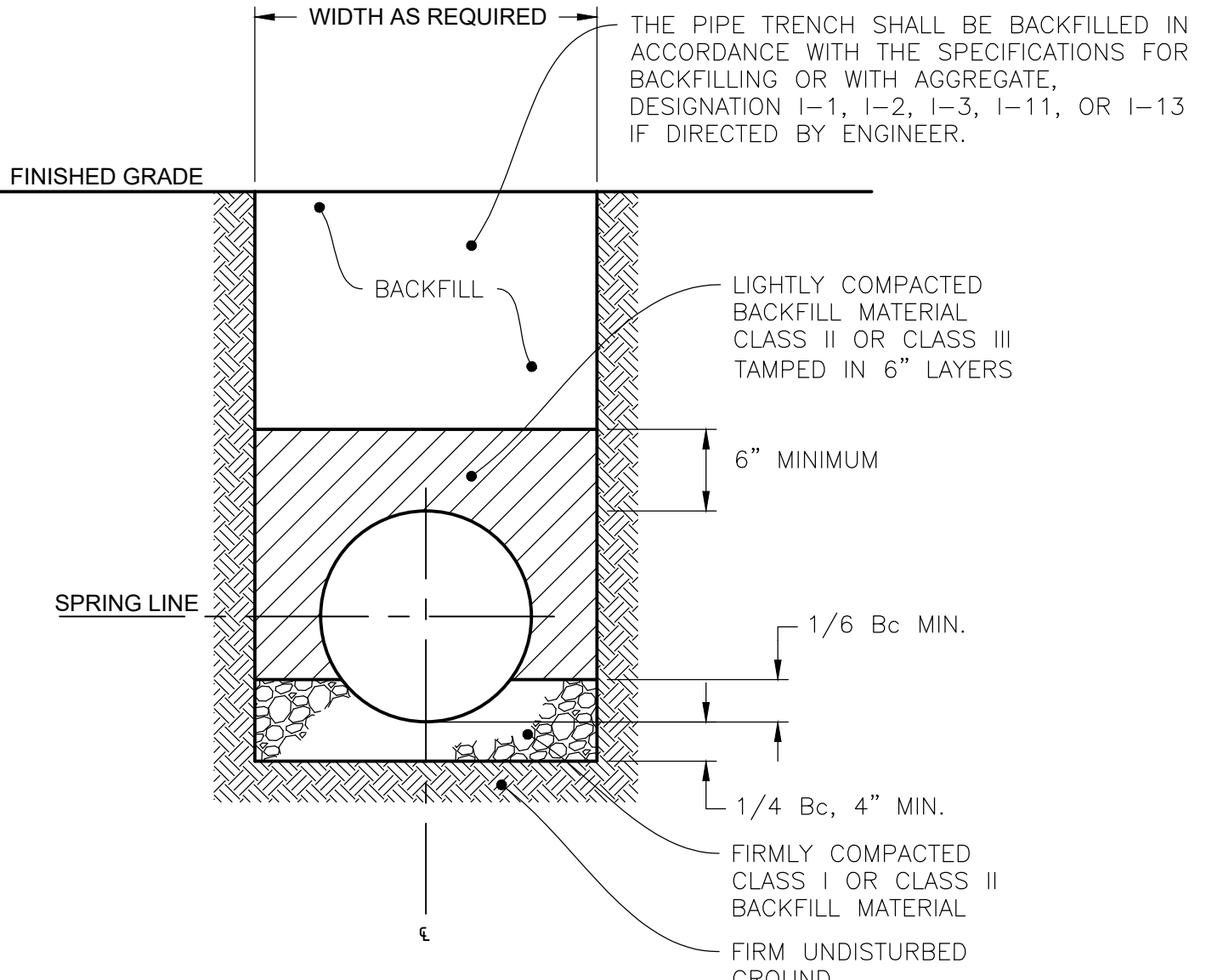
3 CONCRETE STEPS WITH HANDRAILS
NOT TO SCALE



4" THICK (6" THICK AT DRIVEWAYS), AIR ENTRAINED CONCRETE, 4,500 PSI @ 28 DAYS AND SHALL BE FINISHED WITH A WOOD FLOAT FOLLOWED BY BRUSHING WITH A WET SOFT HAIR BRUSH

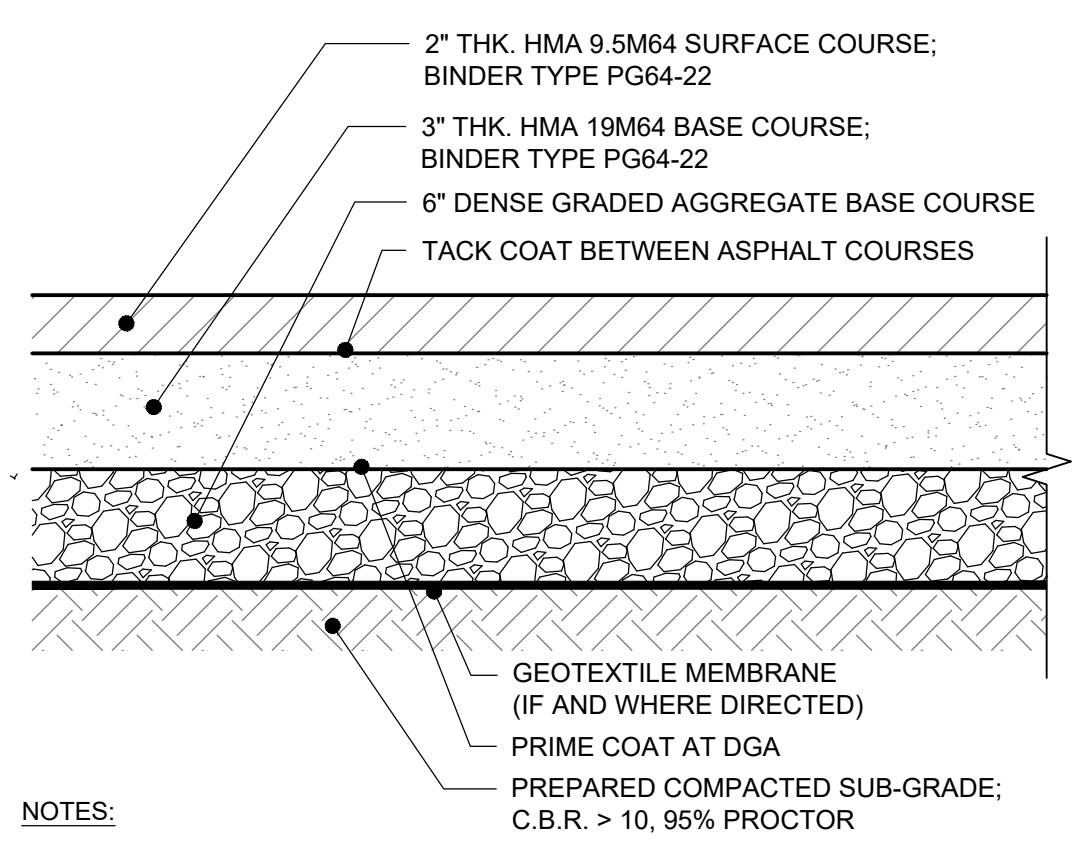
- NOTE:
1. MAX. CROSS SLOPE 1/4" PER FOOT MINIMUM, 1/8" PER FOOT PITCHED TOWARDS ROADWAY.
 2. PROVIDE 1/2" PREFORMED BITUMINOUS EXPANSION JOINT AT 20' MAX. INTERVALS AND WHERE SIDEWALK MEETS OTHER STRUCTURES.
 3. CONCRETE TO BE CURED PER NJDOT SPECIFICATIONS.
 4. LONGITUDINAL SLOPE AND WIDTH TO COMPLY WITH ADA BARRIER FREE REQUIREMENTS.
 5. ALL CONSTRUCTION TO COMPLY WITH BARRIER FREE CODE REQUIREMENTS, SHOULD CONDITIONS NOT PERMIT COMPLIANCE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 6. ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH DGA. ALL SUBGRADES SHALL BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO POURING.

4 CONCRETE SIDEWALK DETAIL (ON-SITE)
NOT TO SCALE



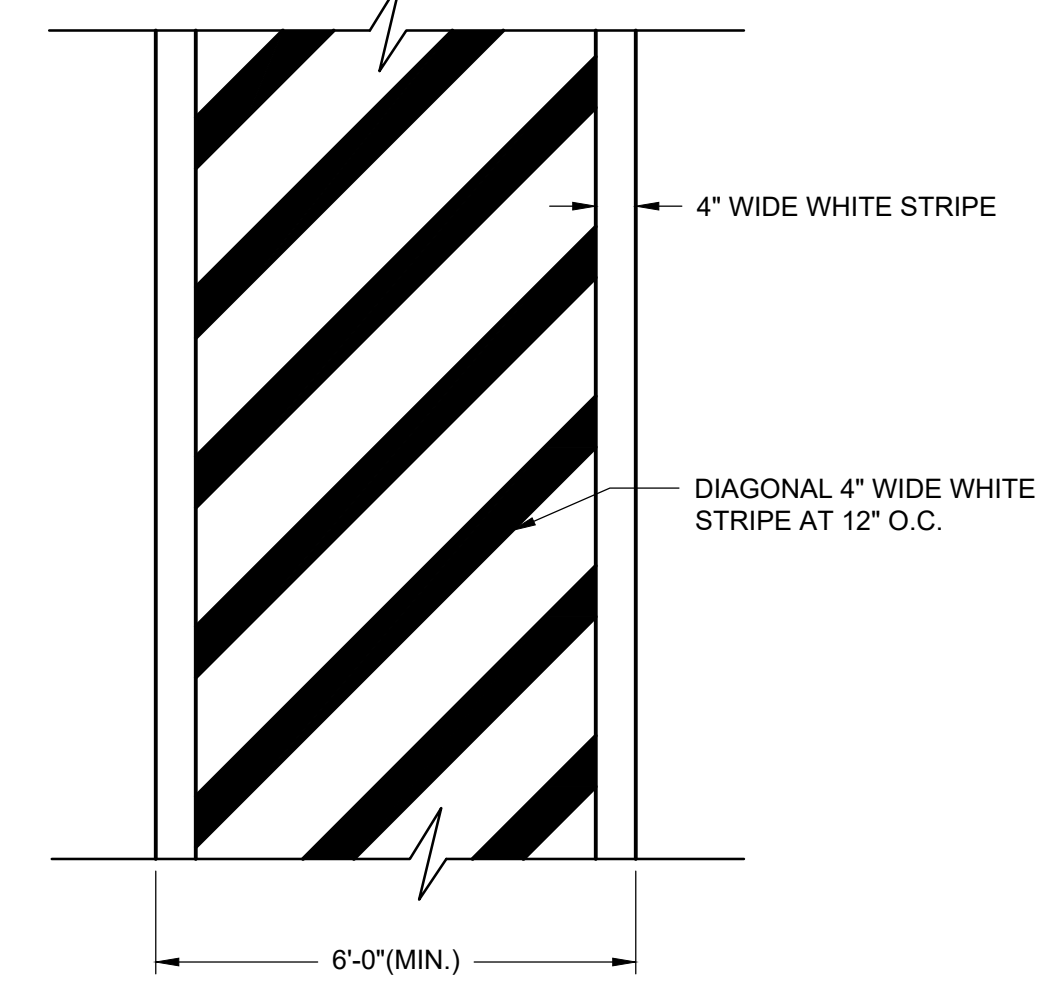
- NOTES:
1. IN GRASS AREAS, BACKFILL AS NOTED, AND PROVIDE A MIN. 4" THICK LAYER OF TOPSOIL AND SEED IN ACCORDANCE WITH CS8501

5 WATER SERVICE TRENCH DETAIL
N.T.S.



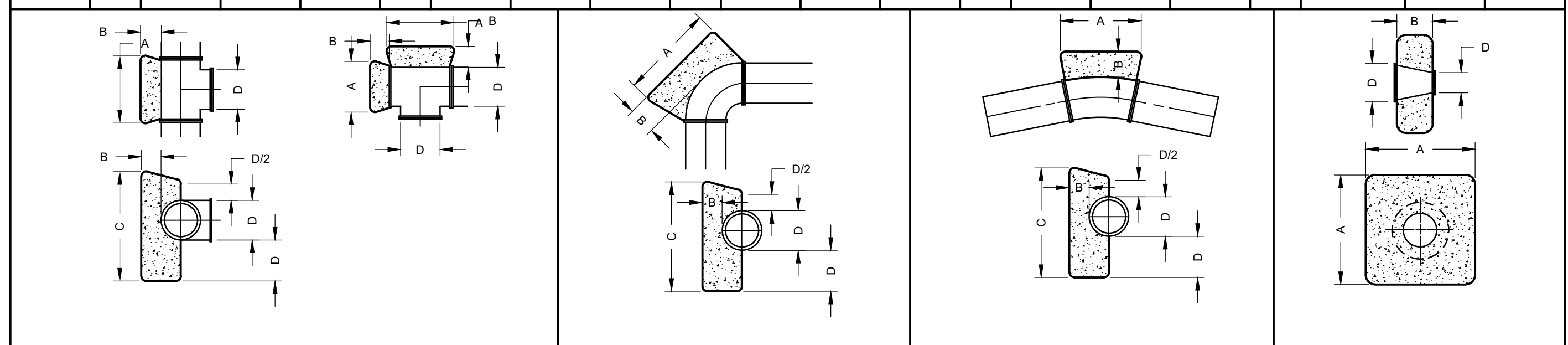
- NOTES:
- A. PAVING SECTION BASED ON C.B.R. OF TEN OR BETTER.
 - B. PRIME COAT TO BE APPLIED AT A RATE OF 0.25 GAL./S.Y.
 - C. TACK COAT TO BE APPLIED AT A RATE OF 0.10 GAL./S.Y.
 - D. PROVIDE AN 8 OZ. NON-WOVEN GEOTEXTILE FABRIC BETWEEN SUB-GRADE & STONE SUB-BASE AS DIRECTED BY ON-SITE ENGINEER AND/OR TOWNSHIP ENGINEER, AND AS WARRANTED FROM RESULTS OF PROOF-ROLLING SUBGRADE AREAS. RECOMMENDED FABRIC-GEOTEX 801 AS MANUFACTURED BY S.I. GEOSOLUTIONS OR EQUAL.
- *PAVING SPEC SUBJECT TO CBR TESTING.

6 LIGHT DUTY FULL - DEPTH ASPHALT PAVEMENT (ON-SITE)
NOT TO SCALE

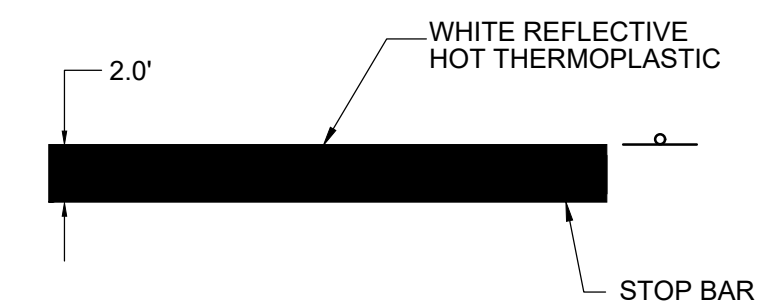


7 CROSSWALK STRIPING
NOT TO SCALE

| MINIMUM SIZE OF CONCRETE THRUST BLOCKS | | | | | | | | | | | | | | | | |
|--|----------------|-----|-------|-----------|-----|-------|-----------|-----|-------|--------------------------------|-----|-------|----------|-------|-------|-------|
| D | TEES & CROSSES | | | 90° BENDS | | | 45° BENDS | | | 22 1/2° BENDS 11 1/4° BENDS | | | REDUCERS | DxD | A | B |
| | A | B | C | A | B | C | A | B | C | A | B | C | | | | |
| 6" | 2'-0" | 8" | 1'-3" | 2'-6" | 8" | 1'-3" | 1'-6" | 8" | 1'-3" | 1'-6" | 8" | 1'-3" | 6" x 4" | 1'-6" | 1'-0" | 1'-0" |
| 8" | 2'-6" | 8" | 1'-6" | 3'-0" | 8" | 1'-6" | 1'-6" | 8" | 1'-9" | 1'-6" | 8" | 1'-9" | 8" x 4" | 2'-0" | 1'-0" | 1'-0" |
| 10" | 3'-0" | 10" | 2'-0" | 3'-6" | 10" | 2'-0" | 2'-3" | 10" | 2'-0" | 1'-6" | 10" | 2'-0" | 10" x 6" | 2'-4" | 1'-3" | 1'-3" |
| 12" | 3'-6" | 10" | 2'-9" | 3'-9" | 10" | 2'-9" | 2'-6" | 10" | 2'-6" | 1'-6" | 10" | 2'-6" | 10" x 8" | 2'-6" | 1'-6" | 1'-6" |



8 WATER MAIN THRUST BLOCK DETAIL
N.T.S.



9 STOP BAR PAVEMENT MARKING
NOT TO SCALE

CODE REVIEW:

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Jacqueline Berenato 2/23/24

FOR BID
06/25/2024

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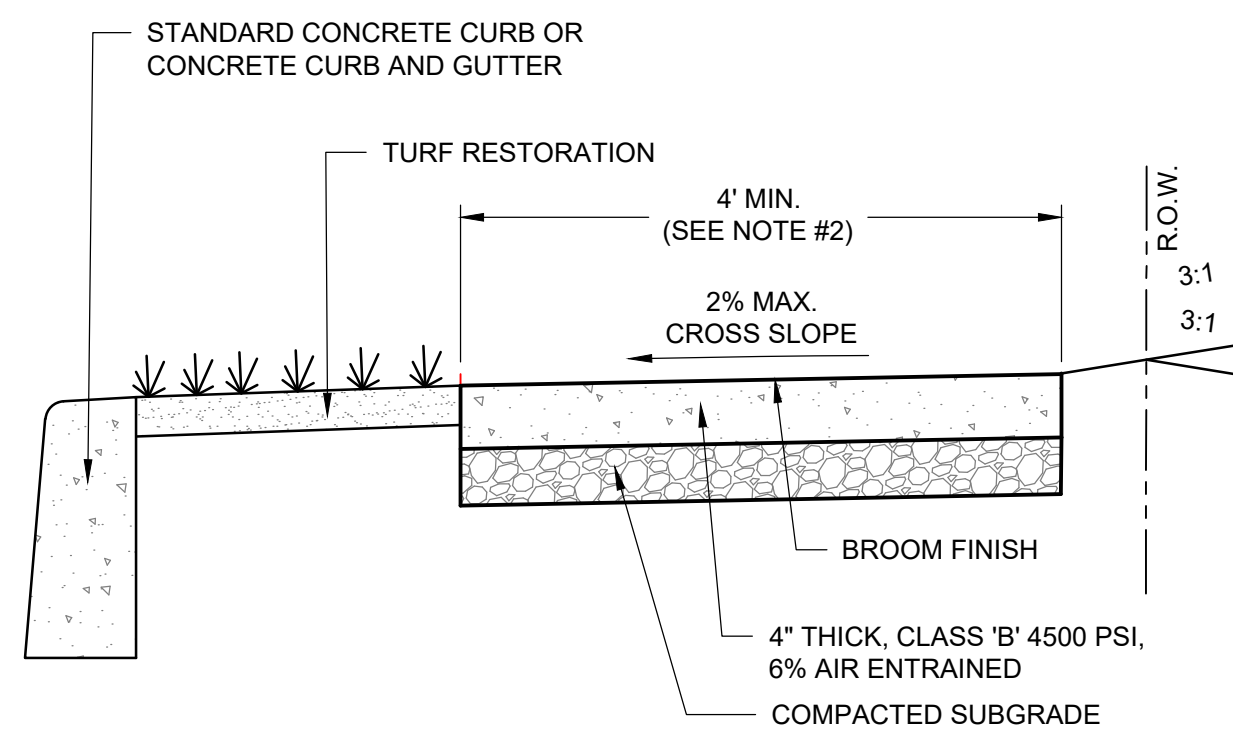
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FOR BID: 05/30/24

DRAWING TITLE:
CONSTRUCTION DETAILS

COMMISSION NUMBER:
23M014

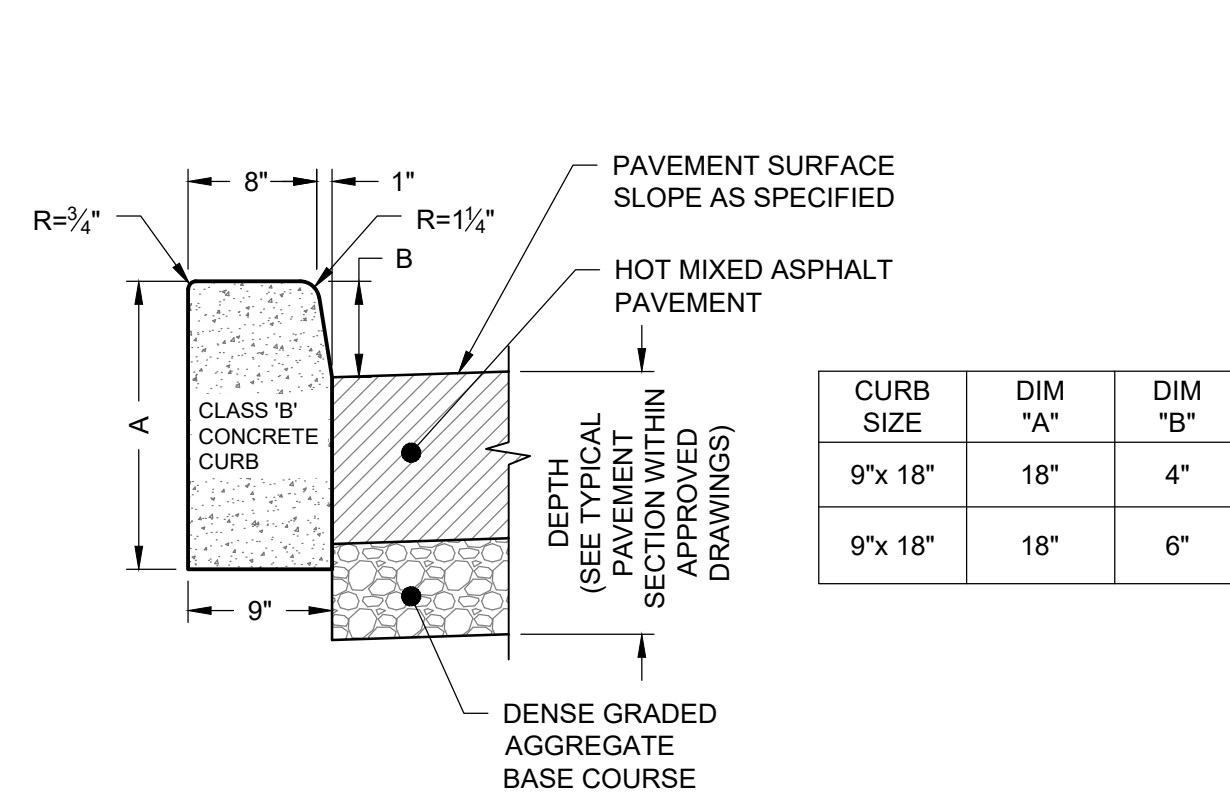
DRAWING NUMBER:
CS6001



NOTES:

1. TURF RESTORATION TO CONSIST OF A MINIMUM OF 4" OF SELECT TOPSOIL, FERTILIZER AND SEED AS PER SPECIFICATIONS.
2. IF SUBGRADE MATERIAL IS UNSUITABLE, CONTRACTOR TO REMOVE PER COUNTY ENGINEER'S DISCRETION AND REPLACE WITH SELECT FILL AT NOT EXTRA COST OF THE COUNTY.
3. SIDEWALK WIDTH SHALL BE 4'-0" MINIMUM UNLESS OTHERWISE NOTED ON THE APPROVED PLANS.
4. CONCRETE SHALL BE CLASS B WITH 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI AND 6% ± 1.5% AIR ENTRAINMENT.

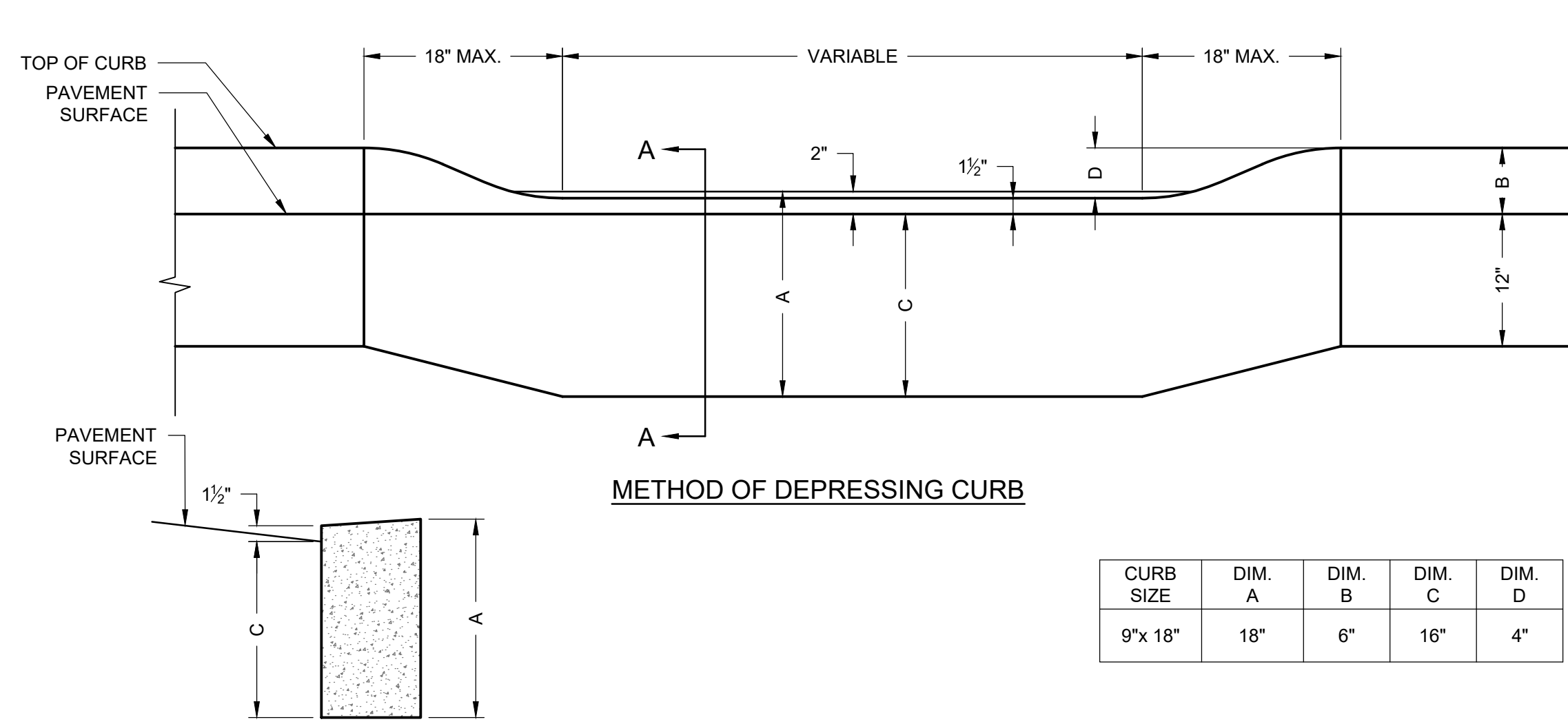
1 STANDARD CONCRETE SIDEWALK (COUNTY ROAD)
NOT TO SCALE



NOTES:

1. EXPANSION JOINTS 1/2" WIDE IN THE CURB SHALL BE PROVIDED AT APPROXIMATELY EQUAL DISTANCES OF NOT MORE THAN 20' BETWEEN JOINTS.
2. THE COST OF EXPANSION JOINTS IN THE CURB AND DENSE GRADED AGGREGATE BEDDING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE CURB.
3. CONCRETE SHALL BE CLASS B WITH 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI, AND 6% ± 1.5% AIR ENTRAINMENT.

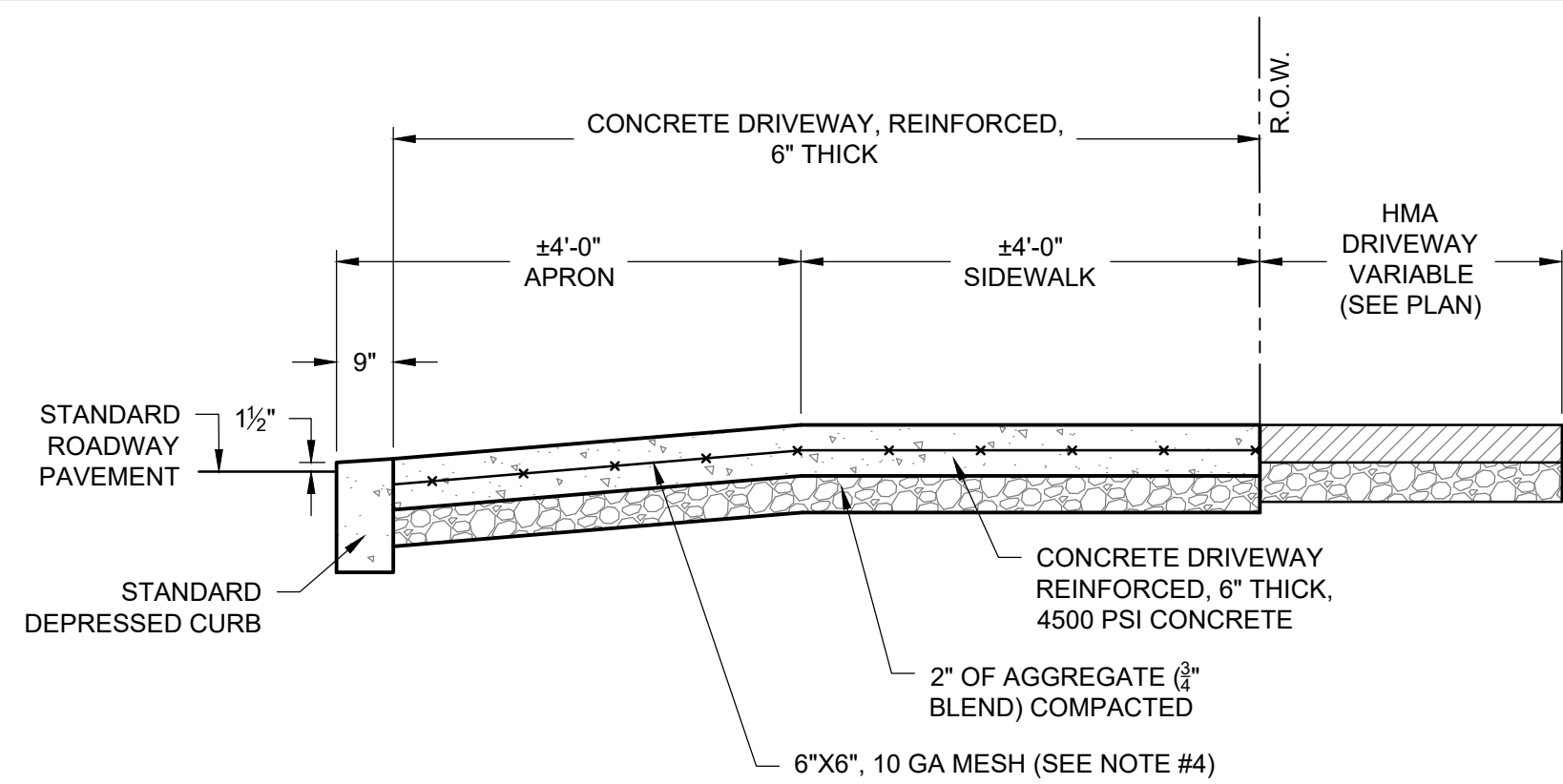
2 8"X9"X18" CONCRETE VERTICAL CURB DETAIL (COUNTY ROAD)
NOT TO SCALE



NOTES:

1. CONCRETE SHALL BE CLASS B WITH 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI, AND 6% ± 1.5% AIR ENTRAINMENT.

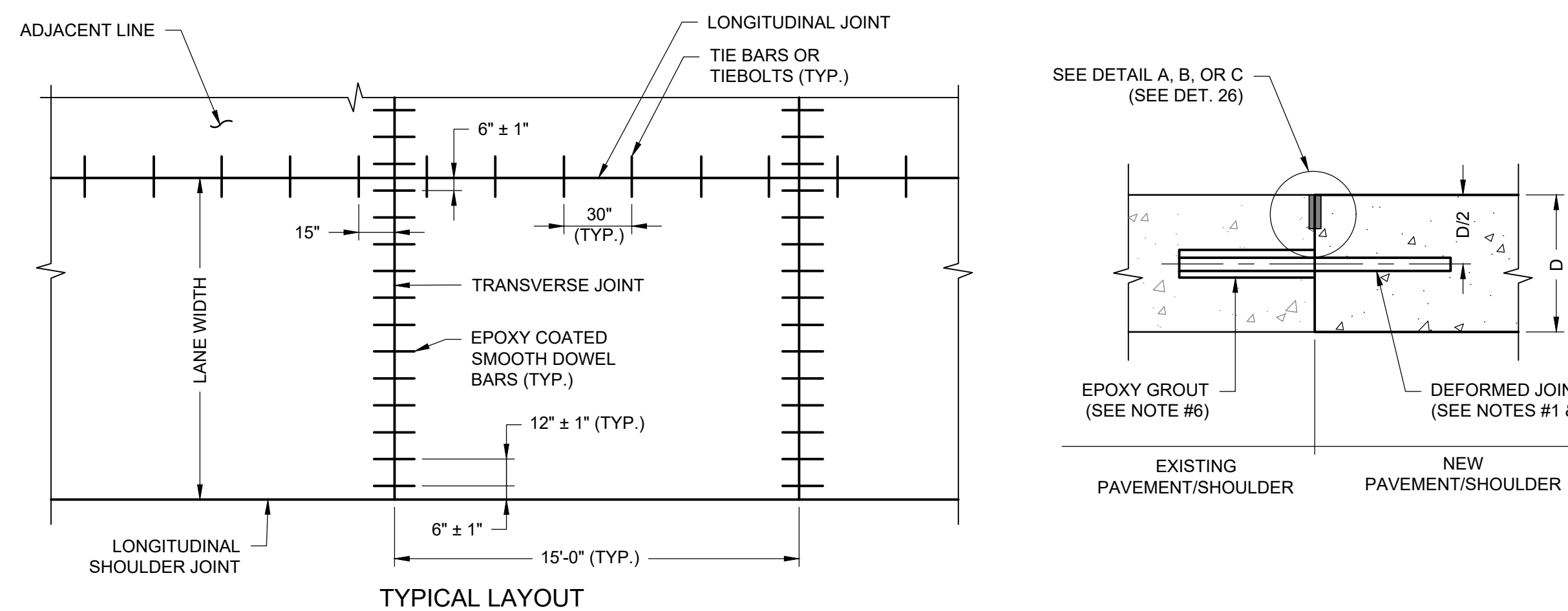
3 STANDARD DEPRESSED CONCRETE CURB DETAIL
NOT TO SCALE



NOTES:

1. CONCRETE SHALL BE CLASS B WITH 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI AND 6% ± 1.5% AIR ENTRAINMENT.
2. CURB JOINT SHALL BE TROWELED WITH A MIN 1/2" RADIUS ALONG BACK OF CURB.
3. EXPANSION AND CONTRACTION JOINTS SHALL BE 1/2" PREMOLDED ASPHALT IMPREGNATED MATERIAL OR EQUAL EXTENDING FROM SUBGRADE TO FINISH GRADE.
4. PROVIDE 6" X 6" 10 GA MESH REQUIRED FOR COMMERCIAL DRIVEWAYS ONLY, 6" X 6" WELDED WIRE MESH REQUIRED FOR RESIDENTIAL DRIVEWAYS.

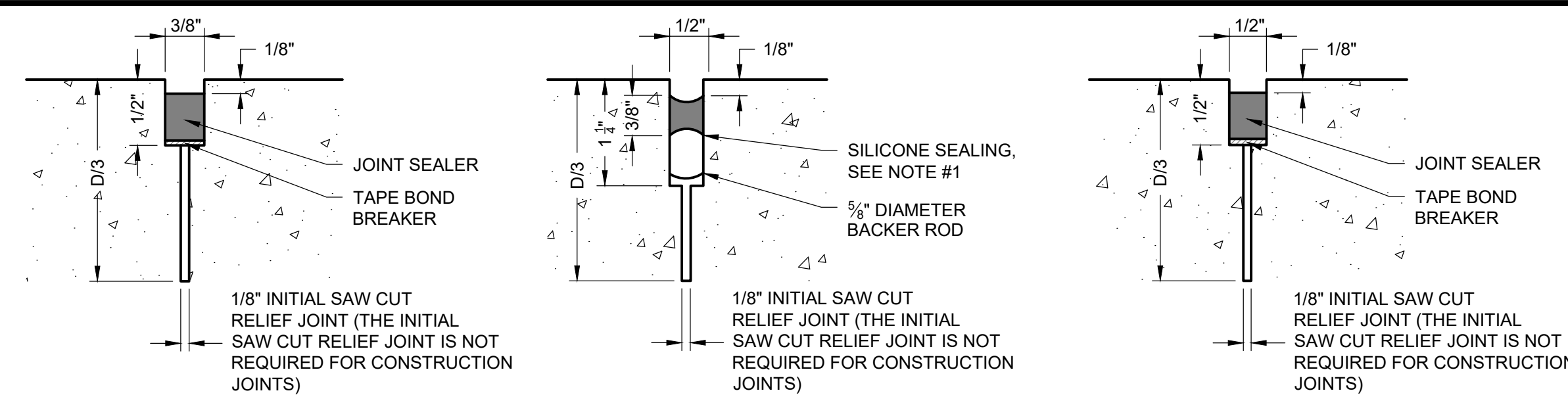
4 STANDARD HOT MIX ASPHALT DRIVEWAY SECTION ADJACENT TO REINFORCED CONCRETE SIDEWALK AND APRON (COUNTY)
NOT TO SCALE



23 CONCRETE PAVEMENT REPAIR CONSTRUCTION DETAILS
NOT TO SCALE

NOTES:

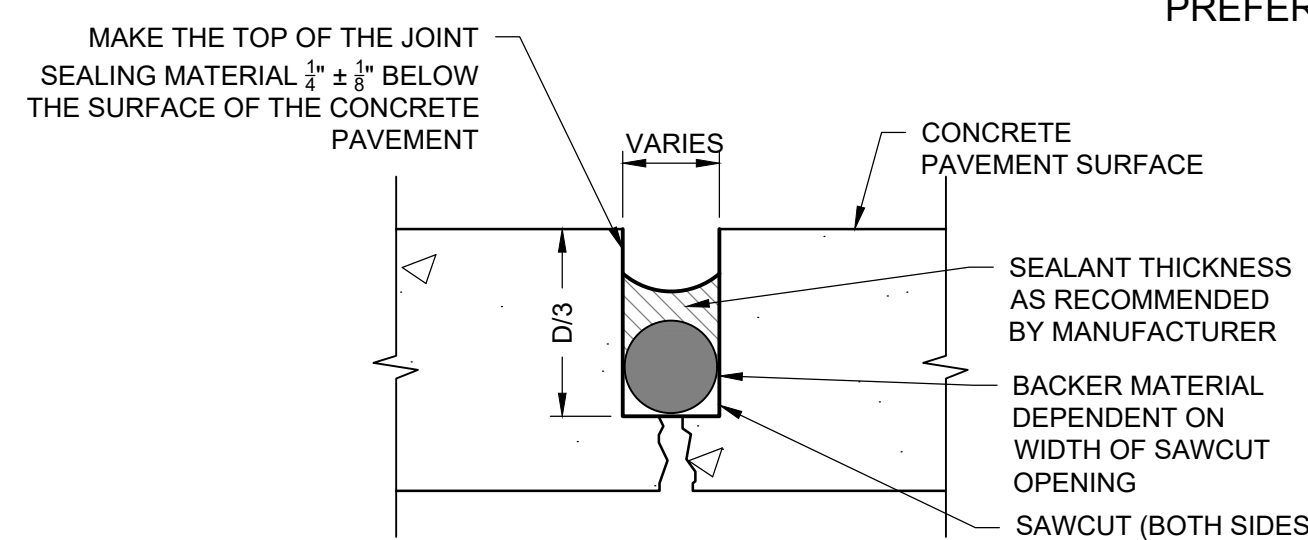
1. SPECIFY #6 TIE BARS 30" ± 1/2" LONG, SPACED 30" CENTER TO CENTER MAXIMUM. FOR JOINT TIES SPECIFY #6 BARS 18" ± 1/2" LONG, SPACED 30" CENTER TO CENTER MAXIMUM. PLACE PERPENDICULAR TO AND CENTERED OVER THE LONGITUDINAL JOINT ± 1". WHEN ADJOINING TO AN UNEQUAL PAVEMENT OR SHOULDER DEPTH, D IS THE DEPTH OF THINNER SECTION.
2. DO NOT FIELD BEND TIE BARS, TIE BOLTS, AND JOINT TIES.
3. USE REBAR COUPLING DEVICE THAT IS LISTED ON THE QPL.
4. TEMPORARILY SECURE THE TIE BOLT TO THE FORM DURING PLACEMENT OF THE CONCRETE USING A METHOD ACCEPTABLE TO THE R.E..
5. PLACE TIE BOLTS AT 30" CENTER TO CENTER MAXIMUM SPACING. WHEN ADJOINING TO AN UNEQUAL PAVEMENT OR SHOULDER DEPTH, D IS THE DEPTH OF THE THINNER SECTION. SCREW TIE BOLTS UNTIL SNUG.
6. USE AN APPROVED EPOXY GROUT MATERIAL TO WITHSTAND THE NECESSARY MINIMUM PULL-OUT RESISTANCE. TIE BAR HOLE DIAMETER IN EXISTING PAVEMENT SHOULD BE AS PER MANUFACTURER'S RECOMMENDATION. USE ROTARY IMPACT DRILL TO AVOID IMPACTING FINES INTO HOLE.
7. DO NOT USE THE HOOK COMPONENT OF THE TIE BOLT ASSEMBLY WHEN SLIP FORMING.
8. WHEN COLD-POURED JOINT SEALER IS SELECTED FOR USE IN TRANSVERSE JOINTS, USE THE SAME JOINT SEALING MATERIAL IN THE LONGITUDINAL JOINTS.



DETAIL A
HOT-POURED JOINT SEALER

DETAIL B
COLD-POURED JOINT SEALER
WITH BACKER ROD
(CAMDEN COUNTY
PREFERRED TREATMENT)

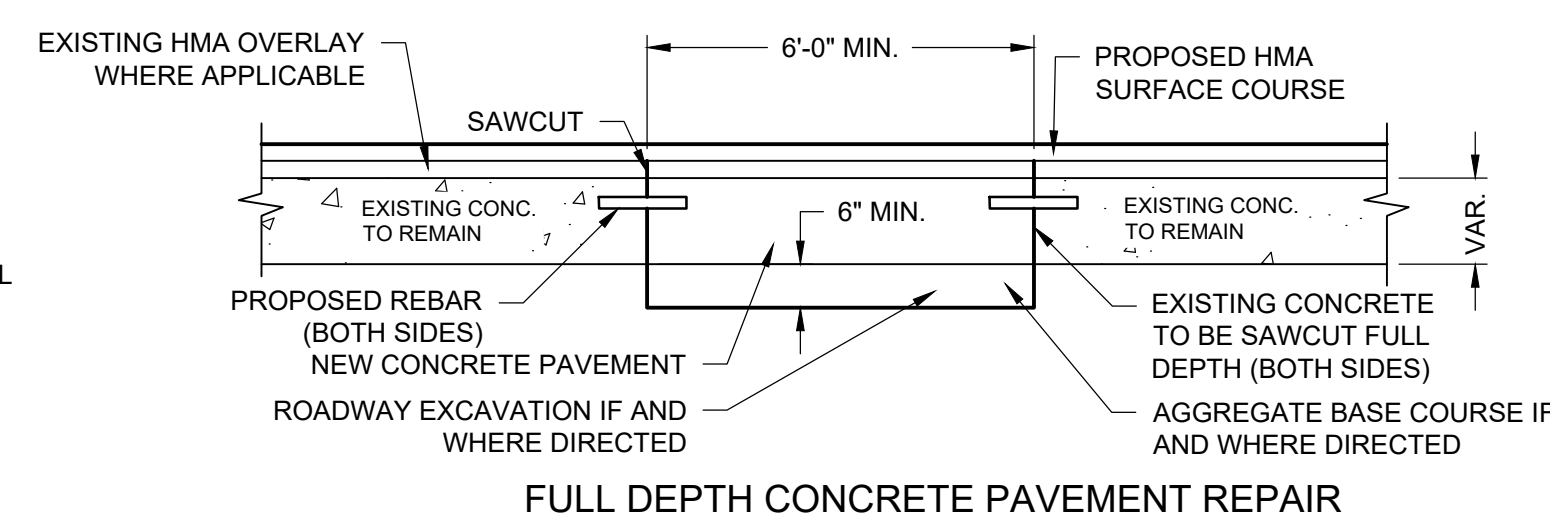
DETAIL C
COLD-POURED JOINT SEALER
WITHOUT BACKER ROD



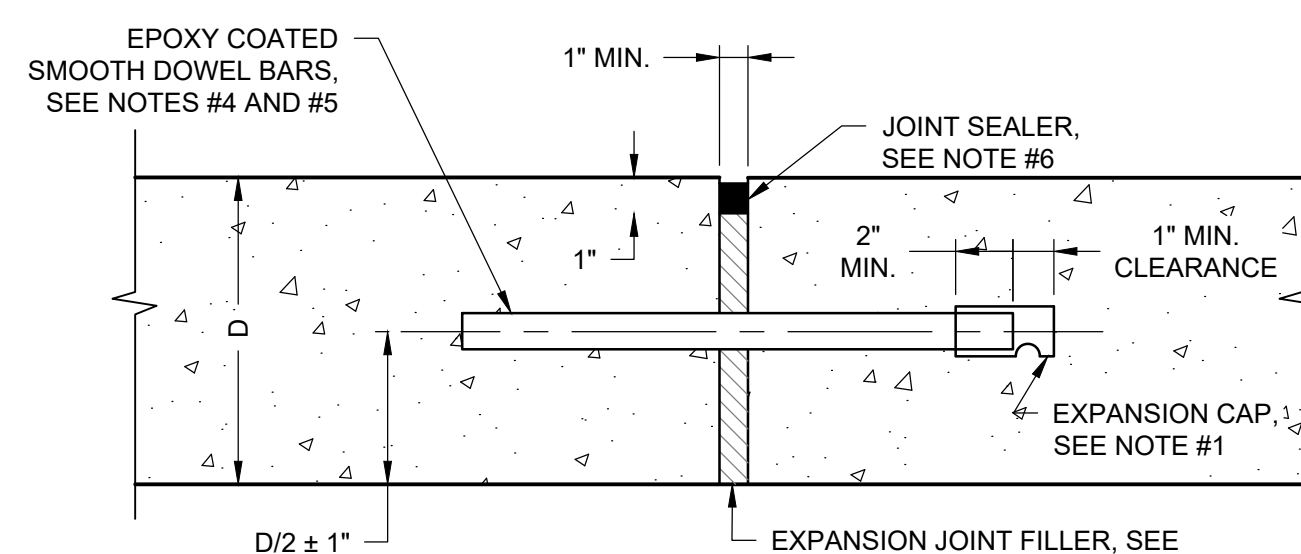
NOTE:

1. WHEN COLD-POURED JOINT SEALER IS SELECTED FOR USE IN TRANSVERSE JOINTS, USE THE SAME JOINT SEALING MATERIAL IN THE LONGITUDINAL JOINTS.

25 CONCRETE PAVEMENT REPAIR CONSTRUCTION DETAILS
NOT TO SCALE



FULL DEPTH CONCRETE PAVEMENT REPAIR



TRANSVERSE EXPANSION JOINT

24 CONCRETE PAVEMENT REPAIR CONSTRUCTION DETAILS
NOT TO SCALE

CODE REVIEW:

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NEW JERSEY LICENSE NO. GE 56282

Jacqueline Berenato 2/23/24

FOR BID
06/25/2024

PROJECT:
**HADDONFIELD POLICE
STATION**

1 WALNUT STREET
HADDONFIELD, NEW JERSEY 08033

FOR

**CAMDEN COUNTY
IMPROVEMENT
AUTHORITY**

520 MARKET STREET, 6TH FLOOR
CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

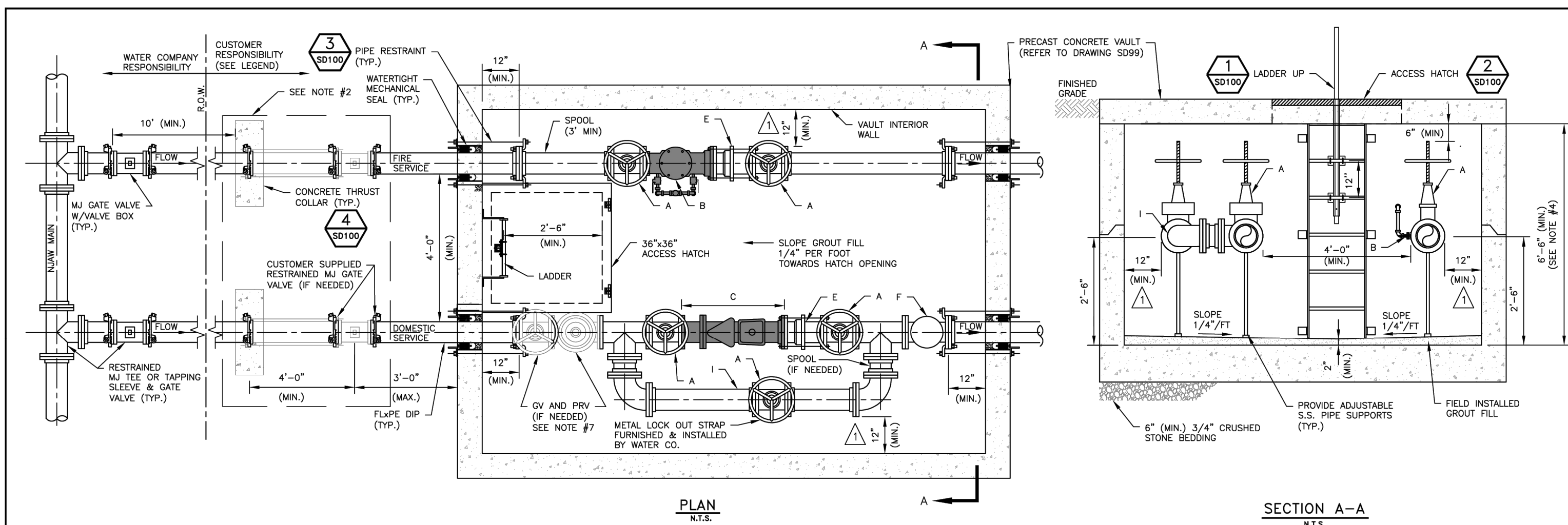
| REVISIONS: | REVISION NAME | DATE |
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| A | | |

FOR BID: 05/30/24

DRAWING TITLE:
**COUNTY CONSTRUCTION
DETAILS**

COMMISSION NUMBER:
23M014

DRAWING NUMBER:
CS6002



| Service Size (in) | Without PRV Assembly | | | With PRV Assembly | | |
|-------------------|----------------------|------------|-------------|-------------------|------------|-------------|
| | Length (ft) | Width (ft) | Height (ft) | Length (ft) | Width (ft) | Height (ft) |
| 3 | 10.00 | 8.00 | 6.50 | 11.00 | 8.00 | 6.50 |
| 4 | 11.00 | 9.00 | 6.50 | 13.00 | 9.00 | 6.50 |
| 6 | 12.00 | 9.00 | 6.50 | 15.00 | 9.00 | 6.50 |
| 8 | 13.00 | 10.00 | 6.50 | 16.00 | 10.00 | 6.50 |
| 10 | 16.00 | 10.00 | 7.00 | 19.00 | 10.00 | 7.00 |

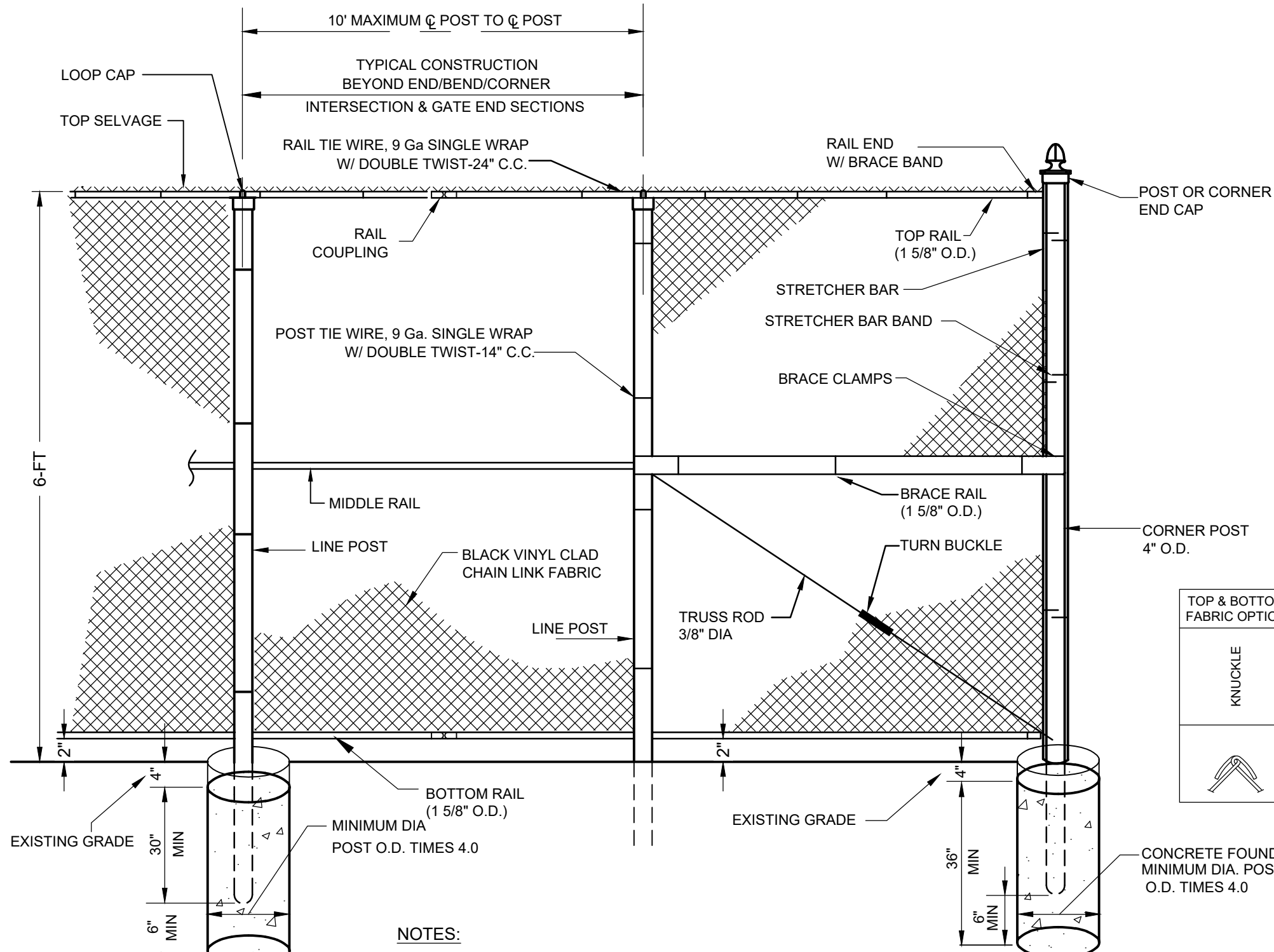
- LEGEND:**
COMPONENTS SHADED IN GRAY TO BE FURNISHED BY WATER CO.
- A- OSAY GATE VALVE WITH FLANGED ENDS (FURNISHED & INSTALLED BY CUSTOMER)
 - B- DETECTOR CHECK VALVE W/ BYPASS METER (FURNISHED BY WATER CO., INSTALLED BY CUSTOMER)
 - C- DOMESTIC COMPOUND METER ASSEMBLY- METERS WITH FLANGED ENDS (FURNISHED BY WATER CO., INSTALLED BY CUSTOMER)
 - D- DISMANTLING JOINT TO HAVE FLANGED ENDS WITH JOINT RESTRAINT (FURNISHED & INSTALLED BY CUSTOMER)
 - E- SWING CHECK WITH FLANGED ENDS (FURNISHED & INSTALLED BY CUSTOMER)
 - F- BYPASS SIZE SHALL BE NO GREATER THAN ONE STANDARD PIPE SIZE SMALLER THAN DOMESTIC SERVICE SIZE AND SHALL HAVE METAL STRAP FOR LOCKING OUT BYPASS VALVE (STRAP FURNISHED & INSTALLED BY WATER CO.)

- NOTES:**
- VAULTS ARE REQUIRED BY NJAW FOR LARGE METERS (3" & LARGER) AND ARE TO BE FURNISHED AND INSTALLED BY CUSTOMER. ACCESS TO VAULT VIA ALUMINUM 36"x36" BLOC PCM-4 TYPE, FLUSH, WATERTIGHT SIDEWALK DOOR W/ LADDER UP SAFETY POST OR EQUIVALENT. PLASTIC ENCASED STEEL OR ALUMINUM LADDER RUNGS CENTERED AT ONE FOOT (1') MUST BE PROVIDED. AREA AROUND VAULT MUST BE COMPLETELY WATERPROOFED. USE SOLID FLANGE & RODDING ON VALVES. ALL VAULT AND PIPING CONSTRUCTION IS SUBJECT TO WATER COMPANY APPROVAL PRIOR TO SERVICE.
 - IF VAULT IS >20 FEET FROM NJAW SHUTOFF VALVE, CUSTOMER IS REQUIRED TO FURNISH & INSTALL AN ADDITIONAL RESTRAINED MECHANICAL JOINT GATE VALVE & VALVE BOX WITHIN 3 FEET OF THE VAULT. IF VAULT IS <20 FEET FROM NJAW SHUTOFF VALVE, CUSTOMER SHALL INSTALL A SOLID, GASKETED, MECHANICAL JOINT SLEEVE RESTRAINED WITH WEDGE ACTION RESTRAINING GLANDS WITHIN 3 FEET OF VAULT.
 - EXTERIOR VALVES & FITTINGS SHALL BE RESTRAINED WITH WEDGE ACTION RESTRAINING GLANDS, THIRST COLLARS AND/OR 304 STAINLESS STEEL RODS/NUTS AND CLAMPS.
 - BASED ON THE LARGEST SIZE GATE VALVE REQUIRED, THE MINIMUM VAULT HEIGHT (INTERIOR DIMENSION) SHALL BE AS FOLLOWS:

| GV SIZE | VAULT HEIGHT |
|----------|--------------|
| 3" TO 8" | 6'-6" |
| 10" | 7'-0" |
| 12" | 7'-6" |
 - VAULT PIPING TO BE DUCTILE IRON MEETING ANSI/AWWA C115/A21.15, OR TYPE K DRAWN (HARD) TEMPER COPPER MEETING ASTM-B88. THE USE OF FLANGED COUPLING ADAPTERS IS STRICTLY PROHIBITED.
 - NO DETECTOR CHECK VALVES WILL BE MADE AVAILABLE TO THE CUSTOMER BY NJAW PRIOR TO THE INSPECTION BY NJAW.
 - THE CUSTOMER MUST INSTALL A WATER PRESSURE REDUCING VALVE WHERE REQUIRED BY STATE OF NEW JERSEY PLUMBING CODE. INSTALLATION RECOMMENDED WHERE AVERAGE PRESSURE IS GREATER THAN 80 PSI. WHERE A PRV IS REQUIRED IT SHALL BE PRECEDED BY AN ADDITIONAL OSAY GATE VALVE.

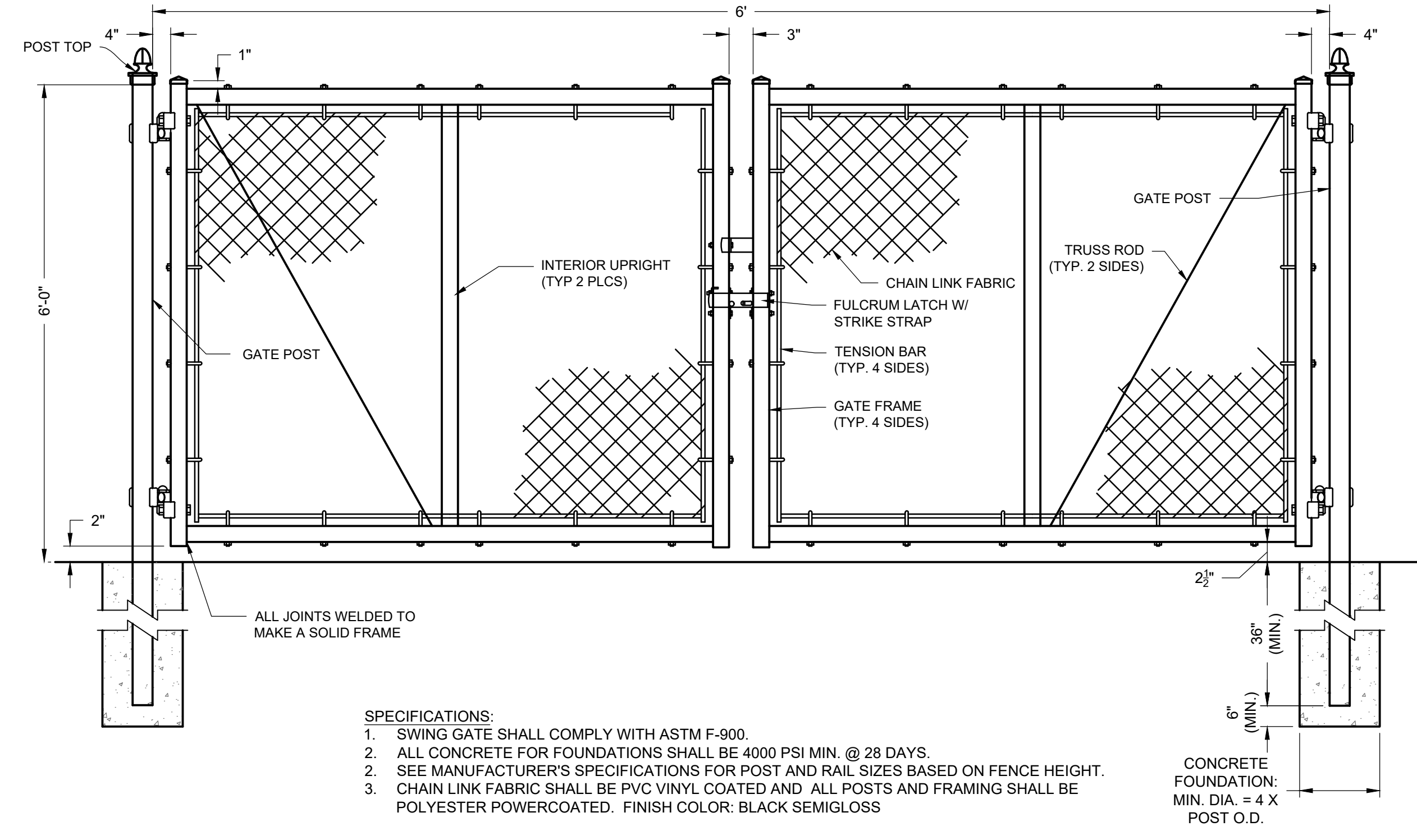
| | <table border="1"> <thead> <tr> <th>REVISIONS</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td>REVISION 1</td> <td></td> </tr> <tr> <td>REVISION 2</td> <td></td> </tr> <tr> <td>REVISION 3</td> <td></td> </tr> <tr> <td>REVISION 4</td> <td></td> </tr> <tr> <td>REVISION 5</td> <td></td> </tr> </tbody> </table> | REVISIONS | REVISIONS | REVISION 1 | | REVISION 2 | | REVISION 3 | | REVISION 4 | | REVISION 5 | | <p>AMERICAN WATER ENGINEERING 5000 CHERRY RD. MT. LAUREL, NJ 08054</p> <p>AMERICAN WATER</p> <p>DRAWN BY: E. BEATTY PROJECT NO.: 0201-0601-SD89 DATE: 08-24-18</p> | <p>STANDARD DETAIL DOMESTIC & FIRE SERVICE METER VAULT</p> <table border="1"> <tr> <td>NEW JERSEY AMERICAN WATER</td> <td>USE DIMENSIONS ONLY</td> </tr> <tr> <td>USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES</td> <td>0201-0601-SD89</td> </tr> </table> <p style="font-size: small;">02010601SD89</p> | NEW JERSEY AMERICAN WATER | USE DIMENSIONS ONLY | USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES | 0201-0601-SD89 |
|--|---|-----------|-----------|------------|--|------------|--|------------|--|------------|--|------------|--|---|--|---------------------------|---------------------|--|----------------|
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| REVISION 4 | | | | | | | | | | | | | | | | | | | |
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| NEW JERSEY AMERICAN WATER | USE DIMENSIONS ONLY | | | | | | | | | | | | | | | | | | |
| USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES | 0201-0601-SD89 | | | | | | | | | | | | | | | | | | |

NJAW METER VAULT DETAIL
N.T.S.



- NOTES:**
- FENCE HEIGHT: 6-FT.
 - SWING GATE FENCE SHALL COMPLY WITH ASTM F-900.
 - MESH FABRIC SHALL BE 9 GAUGE, BLACK, VINYL-COATED.
 - ALL HARDWARE AND FRAMING SHALL BE BLACK POLYESTER POWDER COATED.
 - INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND ASTM F567-14a.
 - ALL CONCRETE FOR FOUNDATIONS SHALL BE 4,500 PSI MIN. AT 28 DAYS.
 - CHAIN LINK FABRIC VINYL COATING, POSTS, AND RAILS TO BE BLACK POLYESTER POWDER COATED.

CHAIN LINK FENCE DETAIL (DOG RUN AND FUEL STORAGE ENCLOSURE)
N.T.S.



- SPECIFICATIONS:**
- SWING GATE SHALL COMPLY WITH ASTM F-900.
 - ALL CONCRETE FOR FOUNDATIONS SHALL BE 4000 PSI MIN. @ 28 DAYS.
 - SEE MANUFACTURER'S SPECIFICATIONS FOR POST AND RAIL SIZES BASED ON FENCE HEIGHT.
 - CHAIN LINK FABRIC SHALL BE PVC VINYL COATED AND ALL POSTS AND FRAMING SHALL BE POLYESTER POWERCOATED. FINISH COLOR: BLACK SEMIGLOSS

VINYL COATED CHAINLINK DOUBLE SWING GATE DETAIL
N.T.S.

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06/25/2024

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1 WALNUT STREET
HADDONFIELD, NEW JERSEY 08033

FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
520 MARKET STREET, 6TH FLOOR
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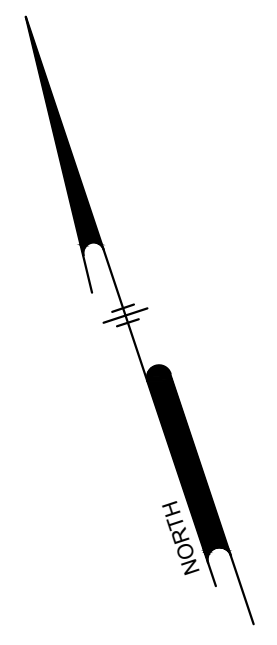
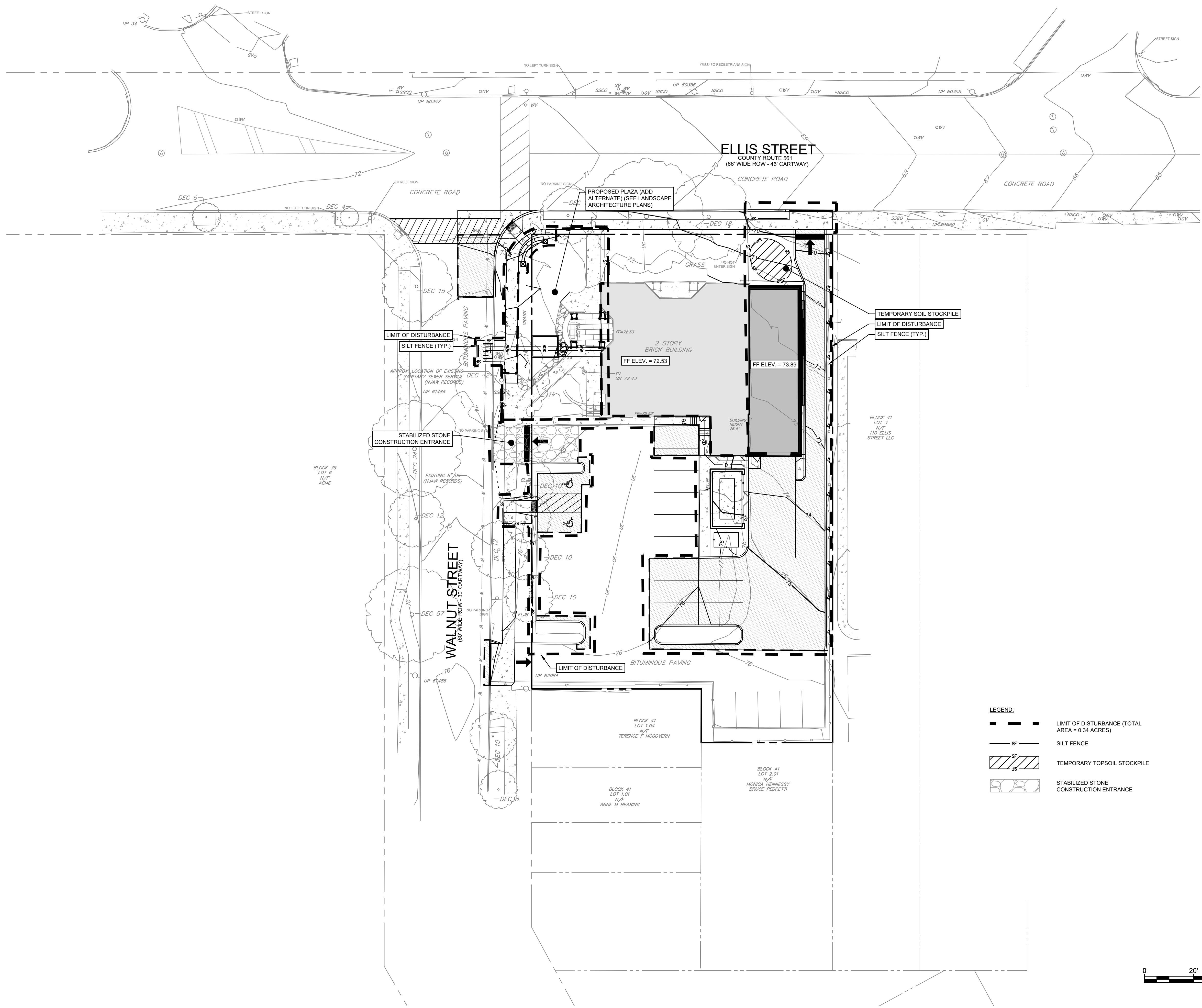
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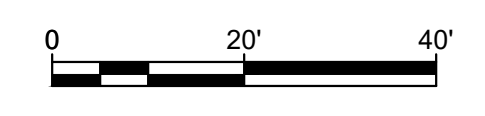
DRAWING TITLE:
CONSTRUCTION DETAILS

COMMISSION NUMBER:
23M014

DRAWING NUMBER:
CS6003



- LEGEND:**
- LIMIT OF DISTURBANCE (TOTAL AREA = 0.34 ACRES)
 - SILT FENCE
 - TEMPORARY TOPSOIL STOCKPILE
 - STABILIZED STONE CONSTRUCTION ENTRANCE



CODE REVIEW:

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HADDONFIELD, NEW JERSEY 08033
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CAMDEN COUNTY IMPROVEMENT AUTHORITY
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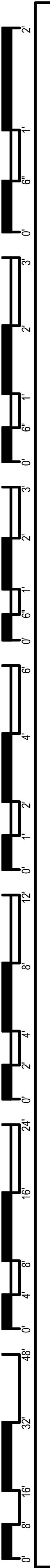
FOR CODE REVIEW: 02/23/24

| REVISIONS: | REVISION NAME | DATE |
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FOR BID: 05/30/24

DRAWING TITLE:
SOIL EROSION AND SEDIMENT CONTROL PLAN
COMMISSION NUMBER:
23M014

DRAWING NUMBER:
CS8001



SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
- SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
- THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE CAMDEN SOIL CONSERVATION DISTRICT.
- ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 3 TONS PER ACRE ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
- A CRUSHED STONE, TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE STABILIZATION PAD WILL BE INSTALLED ACCORDING TO THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS.
- ALL DRIVEWAYS MUST BE STABILIZED WITH 2-1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- PAVED AREAS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN.
- ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC. (SEE DETAIL). THE BASIN MUST BE DEWATERED TO NORMAL POOL WITHIN 10 DAYS OF THE DESIGN STORM.
- NJSA 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
- OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE EROSION CONTROL INSPECTOR.
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
- THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
- ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL STOCKPILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A SEDIMENT BARRIER.
- ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A PH OF 4 OR LESS.
- TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER).
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
- ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
- USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES WHERE APPLICABLE.
- ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMAN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS.
- NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPING PLAN.
- THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION:

DEFINITION

ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER ON SOILS EXPOSED FOR PERIODS OF TWO TO 6 MONTHS WHICH ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION OR NOT SCHEDULED FOR PERMANENT SEEDING WITHIN 60 DAYS.

PURPOSE

TO TEMPORARILY STABILIZE THE SOIL AND REDUCE DAMAGE FROM WIND AND WATER EROSION UNTIL PERMANENT STABILIZATION IS ACCOMPLISHED.

WATER QUALITY ENHANCEMENT

PROVIDES TEMPORARY PROTECTION AGAINST THE IMPACTS OF WIND AND RAIN, SLOWS THE OVERLAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOIL AND NUTRIENTS ON SITE, PROTECTING STREAMS OR OTHER STORMWATER CONVEYANCES.

WHERE APPLICABLE

ON EXPOSED SOILS THAT HAVE THE POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

METHODS AND MATERIALS

1. SITE PREPARATION

- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, P. 19-1.
- INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

2. SEED BED PREPARATION

- APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AT THE RATE OF 2 TONS/ACRE UNLESS SOIL TEST INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES. TABLE BELOW IS A GENERAL GUIDELINE FOR LIMESTONE APPLICATION.

| SOIL TEXTURE | TONS/ACRE | LBS./1,000 S.F. |
|--|-----------|-----------------|
| CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL | 3 | 135 |
| SANDY LOAM, LOAM, SILT LOAM | 2 | 90 |
| LOAMY SAND, SAND | 1 | 45 |

PULVERIZED DOLOMITIC LIMESTONE IS PREFERRED FOR MOST SOILS SOUTH OF THE NEW BRUNSWICK-TRENTON LINE.

- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT, THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEEDBED IS PREPARED.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF SEED HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AS ABOVE.
- SOILS HIGH ON SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1 OF THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.

3. SEEDING

- SELECT SEED FROM RECOMMENDATIONS IN TABLE.

| SEED TYPES | SEEDING RATES 1* (POUNDS) | | OPTIMUM SEEDING DATE 2* BASED ON PLANT HARDINESS ZONE 3* | | | OPTIMUM SEED DEPTH (INCHES) |
|------------------------------|---------------------------|-------------------|--|--------------------------|---------------------------|-----------------------------|
| | PER ACRE | PER 1,000 SQ. FT. | ZONE 5 | ZONE 6 | ZONE 7 | |
| COOL SEASON GRASSES | | | | | | |
| PERENNIAL RYEGRASS | 170 | 4.0 | 3/15 - 6/1 & 8/1 - 9/15 | 3/1 - 5/15 & 8/15 - 10/1 | 2/15 - 5/1 & 8/15 - 10/15 | 0.5 |
| SPRING OATS | 86 | 2.0 | 3/15 - 6/1 & 8/1 - 9/15 | 3/1 - 5/15 & 8/15 - 10/1 | 2/15 - 5/1 & 8/15 - 10/15 | 1.0 |
| WINTER BARLEY | 96 | 2.2 | 8/1 - 9/15 | 8/15 - 10/1 | 8/15 - 10/15 | 1.0 |
| WINTER CEREAL RYE | 112 | 2.8 | 8/1 - 11/1 | 8/1 - 11/15 | 8/1 - 12/15 | 1.0 |
| WARM SEASON GRASSES | | | | | | |
| PEARL MILLET | 20 | 0.5 | 6/1 - 8/1 | 5/15 - 8/15 | 5/1 - 9/1 | 1.0 |
| MILLET (GERMAN OR HUNGARIAN) | 30 | 0.7 | 6/1 - 8/1 | 5/15 - 8/15 | 5/1 - 9/1 | 1.0 |
| WEeping LOVEGRASS | 5 | 0.2 | 6/1 - 8/1 | 5/15 - 8/15 | 5/1 - 9/1 | 0.25 |

1* SEEDING RATE FOR WARM SEASON GRASS, SHALL BE ADJUSTED TO REFLECT THE AMOUNT OF PURE LINE SEED (PLS) AS DETERMINED BY A GERMINATION TEST RESULT. NO ADJUSTMENT IS REQUIRED FOR COOL SEASON GRASSES.
 2* MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR CAN BE IRRIGATED.
 3* PLANT HARDINESS ZONE (SEE BELOW)
 4* TWICE THE DEPTH FOR SANDY SOILS

ZONE 5B (1-10 TO -15)
PORTIONS OF SUSSEX AND WARREN COUNTIES

ZONE 6A (5 TO -10)
PORTIONS OF SUSSEX, WARREN, PASSAIC, MORRIS, SOMERSET AND HUNTERDON COUNTIES.

ZONE 6B (0 TO -5)
PORTIONS OF BERGEN, CAMDEN, ESSEX AND GLOUCESTER, HUNTERDON, MERCER, MIDDLESEX, HUDSON, MONMOUTH, OCEAN, BURLINGTON, MORRIS, PASSAIC, SOMERSET, UNION, ATLANTIC, CUMBERLAND, AND CAPE MAY COUNTIES.

ZONE 7A (5 TO 0)
PORTIONS OF CAMDEN, GLOUCESTER, SALEM, CUMBERLAND, CAPE MAY, ATLANTIC, BURLINGTON, OCEAN, AND MONMOUTH COUNTIES. ZONE 7B (10 TO 5)
PORTIONS OF CAPE MAY, ATLANTIC, OCEAN AND MONMOUTH COUNTIES.

- CONVENTIONAL SEEDING - APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER, EXCEPT FOR DRILLED, HYDROSEEDER OR CULTIPACKED SEEDINGS. SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
- HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.
- AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

- STRAW OR HAY, UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (10 TO 30 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION

SPREAD UNIFORMLY BY HAND MECHANICALLY SO THAT APPROXIMATELY 85% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

- PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
- CRIMPER (MULCH ANCHORING TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC-HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL, SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
- LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY OR STRAW MULCHES.

- APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.

- USE ONE OF THE FOLLOWING:

- EMULSIFIED ASPHALT - (SS-1, CSS-1, CMS-2, MS-2, RS-4, RS-2, CRS-1 AND CRS-2) APPLY 0.04 GAL./SQ. YD. OR 194 GAL./ACRE ON FLAT SLOPES LESS THAN 8 FEET HIGH, ON SLOPES 8 FEET OR MORE HIGH, USE 0.075 GAL./SQ. YD. OR 363 GAL./ACRE. THESE MATERIALS MAY BE DIFFICULT TO APPLY UNIFORMLY AND WILL DISCOLOR SURFACES.
- ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER MANUFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOXIC EFFECT OR IMPROVE GROWTH OF TURFGRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

- WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS. USED AT THE RATE OF 1,500 POUNDS PER ACRE OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH THE SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

- PELLETED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCH MAT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 2 TO 4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS, SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.

APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION:

DEFINITION

ESTABLISHMENT OF PERMANENT VEGETATIVE COVER ON EXPOSED SOILS WHERE PERENNIAL VEGETATION IS NEEDED FOR LONG TERM PROTECTION.

PURPOSE

TO PERMANENTLY STABILIZE THE SOIL, ASSURING CONSERVATION OF SOIL AND WATER, AND TO ENHANCE THE ENVIRONMENT.

WATER QUALITY ENHANCEMENT

SLOWS THE OVERLAND MOVEMENT OF STORMWATER RUNOFF, INCREASES INFILTRATION AND RETAINS SOIL AND NUTRIENTS ON SITE, PROTECTING STREAMS OR OTHER STORMWATER CONVEYANCES.

WHERE APPLICABLE

ON EXPOSED SOILS THAT HAVE THE POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE.

METHODS AND MATERIALS

1. SITE PREPARATION

- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, P. 19-1.
- INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

2. SEED BED PREPARATION

- APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE IN ACCORDANCE WITH THE TABLE BELOW AND THE RESULTS OF SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES. TABLE BELOW IS A GENERAL GUIDELINE FOR LIMESTONE APPLICATION RATES.

| SOIL TEXTURE | TONS/ACRE | LBS./1,000 S.F. |
|--|-----------|-----------------|
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| SANDY LOAM, LOAM, SILT LOAM | 2 | 90 |
| LOAMY SAND, SAND | 1 | 45 |

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- IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- HIGH ACID PRODUCING SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS.

3. PERMANENT SEEDING

| A. MATERIALS | TYPE | | | APPLICATION RATES |
|--------------------|--|---------------|--------------|-------------------|
| | 50% CaO | MgO | | |
| | P | K | N | |
| STARTER FERTILIZER | 10 | 10 | 10 | PER SOIL TESTING |
| SEED MIXES | | | | |
| LAWN/SOD MIX | 1) TURFTYPE TALL FESCUE (3 DARK GREEN SEED VARIETIES MIN.) | 80% BY WEIGHT | 215 LB./ACRE | |
| | 2) KENTUCKY BLUEGRASS | 10% BY WEIGHT | 43 LB./ACRE | |
| | 3) TURFTYPE PERENNIAL RYEGRASS | 10% BY WEIGHT | 43 LB./ACRE | |

- CONVENTIONAL SEEDING - APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER, EXCEPT FOR DRILLED, HYDROSEEDER OR CULTIPACKED SEEDINGS. SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.

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- AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

4. MULCHING

FOLLOW SAME STANDARDS AS LISTED UNDER TEMPORARY VEGETATIVE COVER FOR STABILIZATION.

5. IRRIGATION (WHERE FEASIBLE)

IF SOIL MOISTURE IS DEFICIENT, AND MULCH IS NOT USED, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER (A MINIMUM OF 1/2 INCH TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.

6. TOPDRESSING

SINCE SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) IS PRESCRIBED IN SECTION II.A, SEEDBED PREPARATION IN THIS STANDARD, NO FOLLOW-UP OF TOPDRESSING IS MANDATORY. AN EXCEPTION MAY BE MADE WHERE GRASS NITROGEN DEFICIENCY EXISTS TO THE EXTENT THAT TURF FAILURE MAY BE EXPECTED. IN THAT INSTANCE, TOPDRESS WITH 10-10-10 OR EQUIVALENT AT 400 POUNDS PER 1,000 SQ. FT.

7. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATE IS REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THIS STATE APPLIES TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONCE.

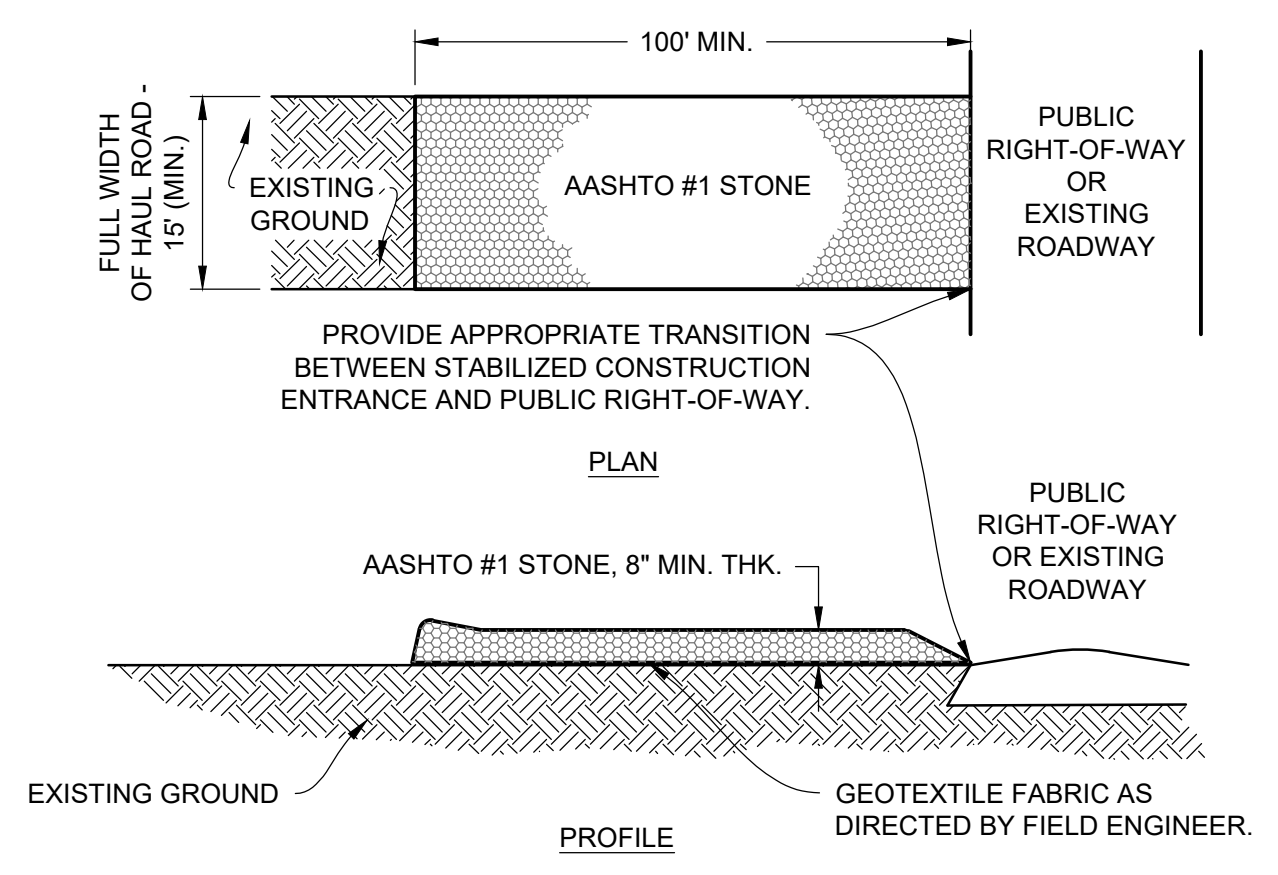
8. MAINTENANCE

CONTRACTOR SHALL ALL BE RESPONSIBLE FOR MAINTAINING TURF GRASS AND NATIVE GRASS AREAS UNTIL 80% COVERAGE OF SEEDED SPECIES IS ESTABLISHED. THIS WILL INCLUDE RESEEDING, FERTILIZING, MULCHING, AND APPLICATION OF POST-EMERGENT HERBICIDES AS REQUIRED FOR COMPLIANCE.

- TURF GRASS SHALL BE MOWED TO A HEIGHT OF NOT LESS THAN 3" WITH NO MORE THAN ONE THIRD (1/3) BLADE REMOVAL IN A SINGLE CUTTING.
- NATIVE GRASS AREAS AND WEED CONTROL - CUT THE GRASS WITH A "FLAIL" BLADE MOWER IN THE FIRST YEAR TO HEIGHT OF 6" EARLY IN THE SEASON AND 12" LATER IN THE YEAR IF THE GRASSES GROW MORE THAN 6" HEIGHT. DO NOT ALLOW THE WEEDS TO GROW MORE THAN 12" HEIGHT BEFORE MOWING IN ORDER TO PREVENT SMOTHERING SMALL SEEDLINGS. IN THE SECOND YEAR MOW IN EARLY JUNE TO A HEIGHT OF 12". IF WEEDS CONTINUE TO BE A PROBLEM IN SECOND GROWING SEASON MOW AGAIN JUST ABOVE THE TOP OF THE GRASSES. AFTER THE SECOND YEAR MOW IN MID SPRING TO THE GROUND LEVEL AND RAKE CUTTINGS.

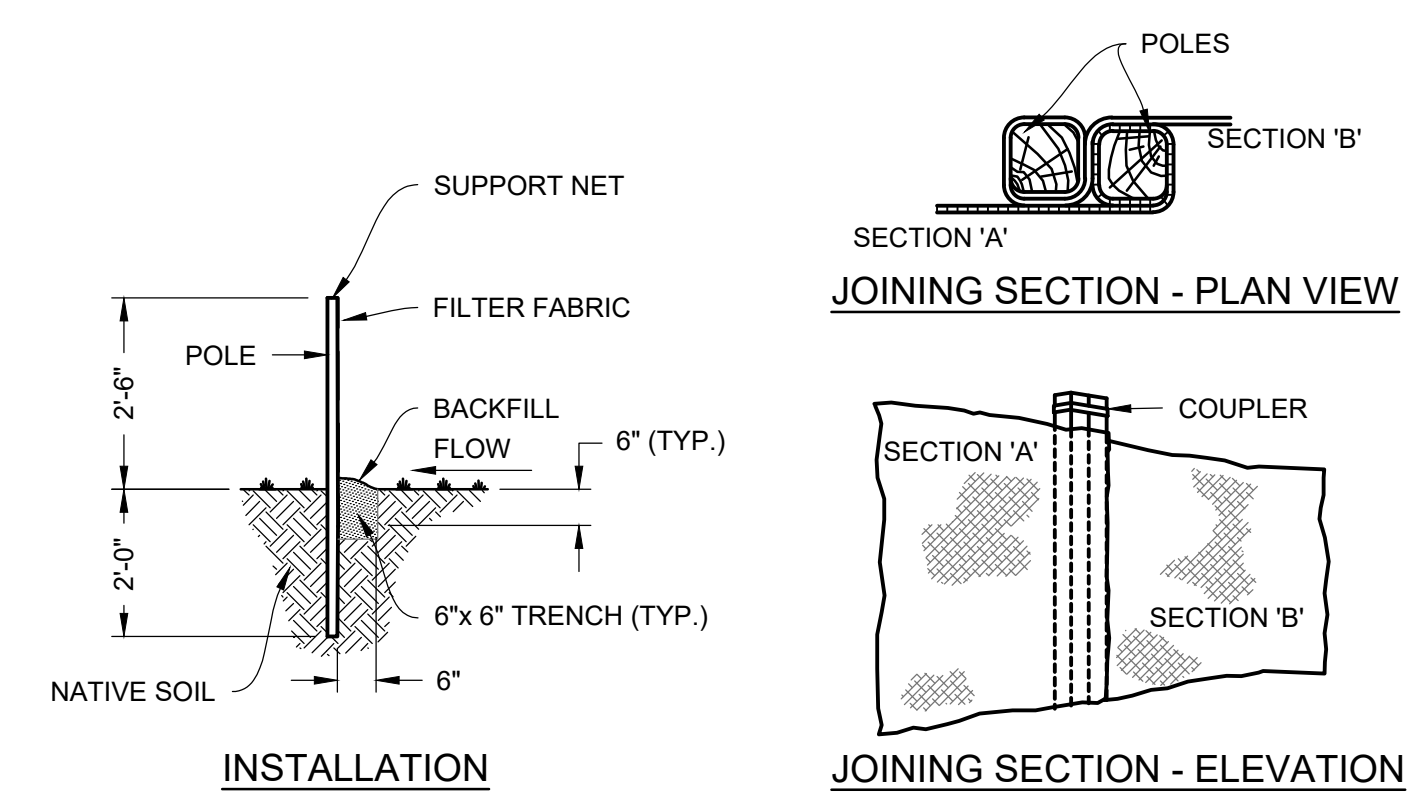
SEQUENCE OF CONSTRUCTION:

| ITEM | DURATION |
|--|----------|
| 1. MOBILIZE AND CLEARLY DEFINE LIMITS OF CLEARING AND DEMOLITION WITH FLAGGING. WORK SHALL BE LIMITED TO AREAS SPECIFICALLY SHOWN ON PLANS. | 1 DAY |
| 2. INSTALL SILT FENCE DOWNSTREAM OF ALL DEMOLITION AND DISTURBANCE AREAS. | 1 DAY |
| 3. INSTALL ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL BMP'S AS DETAILED ON APPROVED PLANS. | 1 DAY |
| 4. BEGIN SITE DEMOLITION AS SHOWN ON SHEET CS8501. THE USE OF TEMPORARY BMP'S WILL NEED TO BE IMPLEMENTED AS SITE CONDITIONS WARRANT. | 3 WEEKS |
| 5. COMPLETE ALL SITE CLEARING AND STOCKPILE AND STABILIZATION OF TOPSOIL. | 2 DAYS |
| 6. PERFORM ROUGH GRADING. IMMEDIATELY STABILIZE GRADED AREAS THAT WILL NOT BE DISTURBED AGAIN WITH TOPSOIL, PERMANENT SEEDING AND MULCH OR EROSION CONTROL BLANKETS PER PLANS. | |



MAINTENANCE:
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

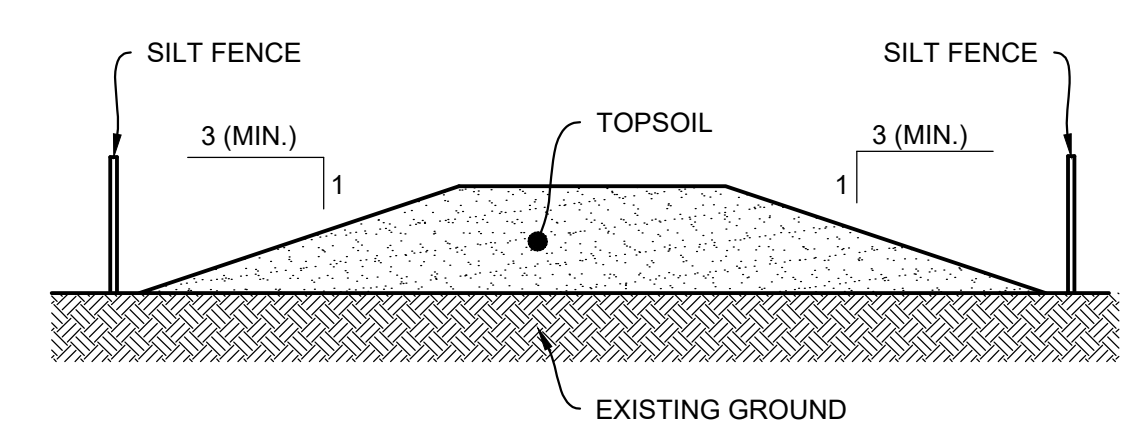
STONE CONSTRUCTION ENTRANCE DETAIL
N.T.S.



SILT FENCE TO BE USED ON SITE SHALL BE "ENVIROFENCE" PRECONSTRUCTED SILT FENCE OR EQUAL.

SPECIFICATIONS ARE:
LENGTH: 100 FT.
FABRIC WIDTH: 3 FT.
POLE LENGTH: 4.5 FT.
POLE SPACING: 7.7 FT.
INSTALLED HEIGHT: 2.5 FT.
SEDIMENT FABRIC: MIRAFI 100.

SILT FENCE DETAIL
N.T.S.



NOTES:
1. TOPSOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE.
2. STOCKPILE SHALL RECEIVE TEMPORARY VEGETATIVE STABILIZATION IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY IMMEDIATELY AFTER COMPLETION OF STOCKPILE.

TOPSOIL STOCKPILE DETAIL
N.T.S.

CODE REVIEW:

CERTIFICATE:

SPIEZLE ARCHITECTURAL GROUP INC.
121 MARKET STREET
CAMDEN, NJ 08102
PHONE: (856) 974 7666

SIGNATURE:

| | |
|-----------------------------------|--------------|
| THOMAS S. PERRINO | 21A01055400 |
| SCOTT E. DOWNE | 21A01074400 |
| STEVEN LEONE | 21A01101000 |
| STEVEN G. SEIGEL | 21A01064200 |
| ANGEL ALBERTO | 21A01046000 |
| JOHN F. WRIGHT | 21A01784200 |
| SPIEZLE ARCHITECTURAL GROUP, INC. | 21A000000000 |

SEAL:
JACQUELINE R BERENATO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. GE 56282

Jacqueline Berenato 2/23/24

FOR BID
06/25/2024

PROJECT:

HADDONFIELD POLICE STATION

1 WALNUT STREET
HADDONFIELD, NEW JERSEY 08033

FOR

CAMDEN COUNTY IMPROVEMENT AUTHORITY

520 MARKET STREET, 6TH FLOOR
CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

| REVISION NAME | DATE |
|---------------|------|
| A | |

FOR BID: 05/30/24

DRAWING TITLE:
SOIL EROSION AND SEDIMENT CONTROL DETAILS

COMMISSION NUMBER:
23M014

DRAWING NUMBER:
CS8502

