

HADDONFIELD POLICE STATION

1 WALNUT STREET, HADDONFIELD, NJ 08033

FOR THE

CAMDEN COUNTY IMPROVEMENT AUTHORITY

520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102



AREA MAP



VICINITY MAP

STRUCTURAL CONSULTANT
HARRISON HAMNETT

MEP CONSULTANT
PMH ASSOCIATES

CIVIL CONSULTANT
PENNONI



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LAW ENFORCEMENT
TOM MILLS

BID DATE: 06/25/2024

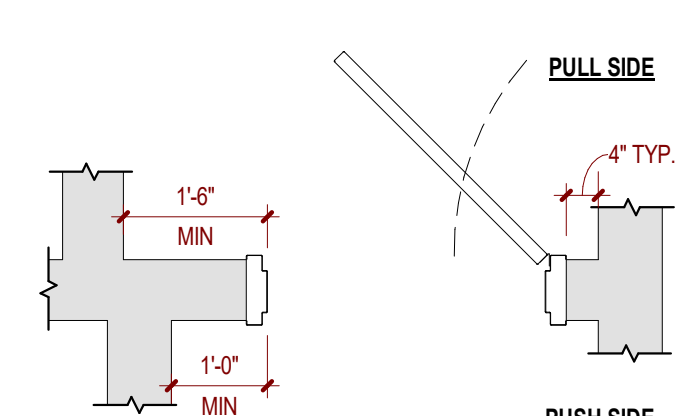
BID SET - 06/25/2024

HADDONFIELD POLICE STATION
23M014
DRAWING NUMBER:
CS.1

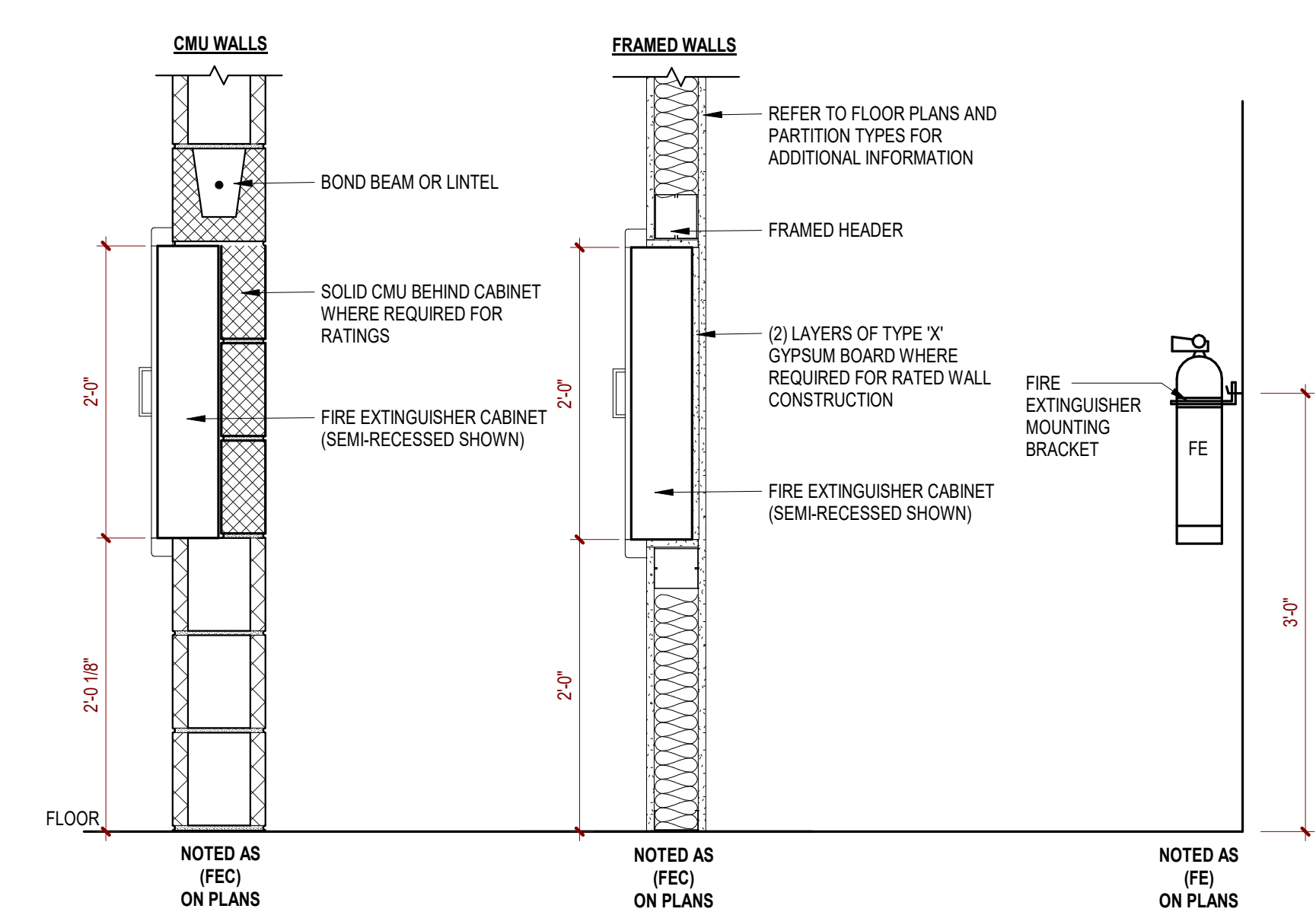
1/2"=1'-0"
3/8"=1'-0"
3/16"=1'-0"
1/4"=1'-0"
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ABBREVIATIONS

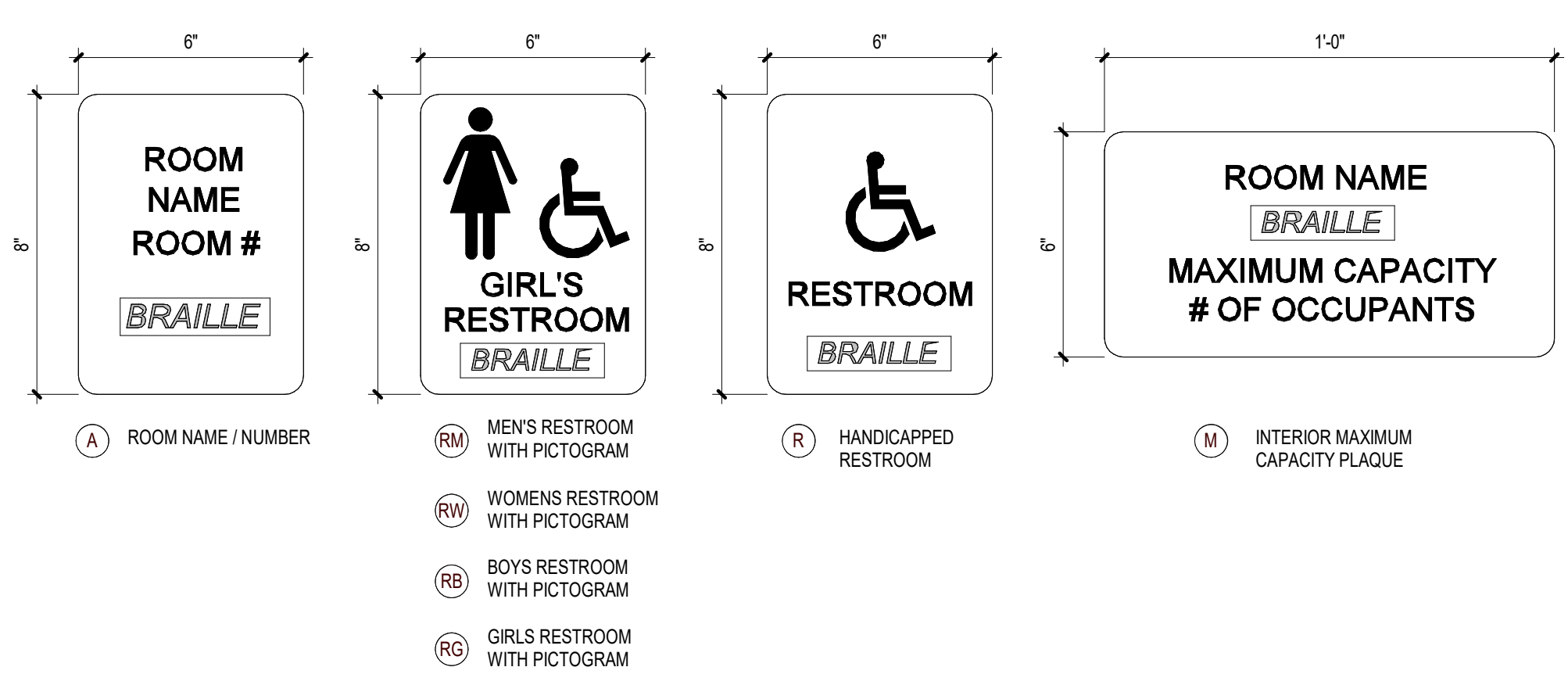
CJ	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
CMF	COLD FORMED METAL FRAMING
DN	DOWN
DWG	DRAWING
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM
EL	ELEVATION
EQ	EQUAL
EJ	EXPANSION JOINT
EWC	ELECTRIC WATER COOLER
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER (BRACKET MOUNTED)
FEC	FIRE EXTINGUISHER CABINET
FT	FOOT or FEET
FRTW	FIRE RETARDANT TREATED WOOD
GALV	GALVANIZED
GSF	GROSS SQUARE FEET
GWB	GYPSON WALL BOARD
HM	HOLLOW METAL
HP	HIGH POINT
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
MO	MASONRY OPENING
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NSF	NET SQUARE FEET
OC	ON CENTER
OD	OVERFLOW DRAIN OR OUTSIDE DIAMETER
PTD	PAINT or PAINTED
PTW	PRESSURE TREATED WOOD
PVC	POLYVINYL CHLORIDE
RD	ROOF DRAIN
REINF	REINFORCED OR REINFORCING
RWC	RAIN WATER CONDUCTOR
SF	SQUARE FEET
TOS	TOP OF STEEL
TYP	TYPICAL
VIF	VERIFY IN FIELD



1 A1 - DOOR SWING DIAGRAM
1/2" = 1'-0"



2 FIRE EXTINGUISHER DETAILS
1" = 1'-0"



LIST OF DRAWINGS

DWG. NO.	TITLE	CURRENT REVISION
GENERAL		
CS.1	COVER	
CS.2	NOTES, ABBREVIATIONS AND LIST OF DRAWINGS	
CIVIL		
CS001	COVER SHEET	
CS002	INFORMATION SHEET	
CS0501	DEMOLITION PLAN - BASE BID	
CS0502	DEMOLITION PLAN - ADD ALT AND BASE BID	
CS1001	SITE PLAN - BASE BID	
CS1002	SITE PLAN - ADD ALT AND BASE BID	
CS1501	GRADING AND UTILITY PLAN - BASE BID	
CS1502	GRADING AND UTILITY PLAN - ADD ALT AND BASE BID	
CS2001	LANDSCAPE PLAN	
CS2201	LIGHTING PLAN	
CS6001	CONSTRUCTION DETAILS	
CS6002	COUNTY CONSTRUCTION DETAILS	
CS6003	CONSTRUCTION DETAILS	
CS8001	SOIL EROSION AND SEDIMENT CONTROL PLAN	
CS8501	SOIL EROSION AND SEDIMENT CONTROL NOTES	
CS8502	SOIL EROSION AND SEDIMENT CONTROL DETAILS	
LANDSCAPE ARCHITECTURE		
L1.1	LANDSCAPE AND LIGHTING COURTYARD PLAN	
L1.2	IRRIGATION LAYOUT PLAN (ALTERNATE)	
L2.1	COURTYARD NOTES AND DETAILS	
L2.2	COURTYARD DETAILS (ALTERNATE)	
L2.3	COURTYARD LIGHTING DETAILS	
CODE PLANS		
CP.1	CODE PLANS	
CP.2	CODE PLANS	
DEMOLITION		
D1.1	DEMOLITION PLANS	
D1.2	DEMOLITION PLANS	
ARCHITECTURAL		
A1.0	PARTITION TYPES AND DETAILS	
A1.1	FIRST FLOOR PLAN	
A1.2	SECOND FLOOR PLAN	
A2.0	TOILET ROOM PLANS AND ELEVATIONS	
A2.1	TOILET ROOM PLANS AND ELEVATIONS	
A2.2	STAIR PLANS AND DETAILS	
A2.3	STAIR DETAILS	
A2.4	ELEVATOR PLANS AND DETAILS	
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A3.0	ROOF DEMOLITION PLANS	
A3.1	ROOF PLANS AND DETAILS	
A3.2	ROOF DETAILS	
A3.3	ROOF DETAILS	
A4.1	REFLECTED CEILING PLANS AND DETAILS	
A4.2	REFLECTED CEILING PLANS	
A5.1	EXTERIOR ELEVATIONS	
A5.2	EXTERIOR ELEVATIONS	
A5.3	EXTERIOR ELEVATIONS AND BUILDING SECTIONS	
A6.1	WALL SECTIONS	
A6.2	WALL SECTION DETAILS	
A8.1	CASEWORK AND EQUIPMENT PLANS AND DETAILS	
A8.2	CASEWORK AND EQUIPMENT PLANS AND DETAILS	
A9.1	FINISH PLANS AND INTERIOR ELEVATIONS	
A9.2	FINISH PLANS AND INTERIOR ELEVATIONS	
A9.3	FURNITURE PLANS	

LIST OF DRAWINGS

DWG. NO.	TITLE	CURRENT REVISION
FURNITURE PLANS		
AB.4	FURNITURE PLANS	
DOOR AND FRAME SCHEDULES		
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A10.2	STOREFRONT AND WINDOW DETAILS	
STRUCTURAL		
S1.1	FOUNDATION PLAN	
S1.2	GENERATOR PAD PLAN & DETAILS	
S2.1	SECOND FLOOR FRAMING PLAN	
S3.1	ROOF FRAMING PLAN	
S4.1	SECTIONS	
S4.2	SECTIONS	
S5.1	TYPICAL DETAILS, GENERAL NOTES & SCHEDULES	
HEATING, VENTILATION, AND AIR CONDITIONING		
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M0.2	MECHANICAL SCHEDULES	
M0.3	MECHANICAL SCHEDULES	
M0.4	MECHANICAL SCHEDULES	
M0.5	MECHANICAL SCHEDULES	
M0.6	MECHANICAL DETAILS	
FIRST FLOOR MECHANICAL PLAN		
M1.0	FIRST FLOOR MECHANICAL PLAN	
SECOND FLOOR MECHANICAL PLAN		
M1.1	SECOND FLOOR MECHANICAL PLAN	
MECHANICAL ROOF DEMOLITION PLAN		
M1.2	MECHANICAL ROOF DEMOLITION PLAN	
MECHANICAL ROOF PLAN		
M1.3	MECHANICAL ROOF PLAN	
FIRST FLOOR MECHANICAL PIPING PLAN		
M2.0	FIRST FLOOR MECHANICAL PIPING PLAN	
SECOND FLOOR MECHANICAL PIPING PLAN		
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PLUMBING		
PLUMBING NOTES, LEGEND & SCHEDULES		
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PLUMBING DETAILS		
PR.2	PLUMBING DETAILS	
FIRST FLOOR SANITARY PLAN		
P1.0	FIRST FLOOR SANITARY PLAN	
SECOND FLOOR SANITARY PLAN		
P1.1	SECOND FLOOR SANITARY PLAN	
ROOF PLUMBING PLAN		
P1.2	ROOF PLUMBING PLAN	
FIRST FLOOR DOMESTIC & GAS PLUMBING PLAN		
P2.0	FIRST FLOOR DOMESTIC & GAS PLUMBING PLAN	
PLUMBING FLOOR PLANS SECOND FLOOR DOMESTIC WATER AND GAS PLAN		
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PLUMBING ISOMETRIC & RISER DIAGRAMS		
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ELECTRICAL		
ELECTRICAL NOTES & SCHEDULES		
E0.1	ELECTRICAL NOTES & SCHEDULES	
ELECTRICAL PANEL SCHEDULES		
E0.2	ELECTRICAL PANEL SCHEDULES	
ELECTRICAL SITE PLAN		
E0.3	ELECTRICAL SITE PLAN	
COURTYARD LIGHTING PLAN ALTERNATE BID		
E0.4	COURTYARD LIGHTING PLAN ALTERNATE BID	
FIRST FLOOR POWER PLAN		
E1.0	FIRST FLOOR POWER PLAN	
SECOND FLOOR POWER PLAN		
E1.1	SECOND FLOOR POWER PLAN	
ROOF POWER PLAN		
E1.2	ROOF POWER PLAN	
FIRST FLOOR LIGHTING PLAN		
E2.0	FIRST FLOOR LIGHTING PLAN	
SECOND FLOOR LIGHTING PLAN		
E2.1	SECOND FLOOR LIGHTING PLAN	
FIRE ALARM NOTES		
E3.0	FIRE ALARM NOTES	
FIRST FLOOR FIRE ALARM PLAN		
E3.1	FIRST FLOOR FIRE ALARM PLAN	
SECOND FLOOR FIRE ALARM PLAN		
E3.2	SECOND FLOOR FIRE ALARM PLAN	
SPECIAL SYSTEMS FIRST FLOOR PLAN		
E4.0	SPECIAL SYSTEMS FIRST FLOOR PLAN	
SPECIAL SYSTEMS SECOND FLOOR PLAN		
E4.1	SPECIAL SYSTEMS SECOND FLOOR PLAN	
FIRE SUPPRESSION		
FIRE PROTECTION FIRST FLOOR PLANS		
FP.0	FIRE PROTECTION FIRST FLOOR PLANS	
FIRE PROTECTION SECOND FLOOR PLANS		
FP.1	FIRE PROTECTION SECOND FLOOR PLANS	

CODE REVIEW:

CERTIFICATE:



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SEAL:

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FOR CODE REVIEW: 02/23/24

REVISIONS:	REVISION NAME	DATE
1		

FOR BID: 06/25/2024

DRAWING TITLE:
NOTES, ABBREVIATIONS AND LIST OF DRAWINGS

COMMISSION NUMBER:
23M014

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:
CS.2

DRAWING SYMBOLS

SIMOPP TAG DETAIL NO. DRAWING NO. SECTION NO. DRAWING NO.		DETAIL IDENTIFICATION
SIMOPP TAG OPEN HEAD SECTION NO. DRAWING NO.		BUILDING SECTION IDENTIFICATION
SIMOPP TAG CLOSED HEAD SECTION NO. DRAWING NO.		WALL SECTION IDENTIFICATION
EXTERIOR INTERIOR		ELEVATION MARKS
ROOM NAME ROOM NUMBER GROSS SQUARE FOOTAGE NET SQUARE FOOTAGE OCCUPANTS		ROOM TAG
		COLUMN NUMBER
		REVISION NUMBER
		DOOR NUMBER
		WINDOW TYPE
		PARTITION TYPE
		CURTAIN WALL or STOREFRONT TAG
		DATUM or ELEVATION MARK CENTERLINE
		TOILET ACCESSORY TAG
		VIEW REFERENCE


MATERIAL SYMBOLS

	BATT / MINERAL WOOL INSULATION
	BRICK
	CONCRETE
	CONCRETE MASONRY UNIT (CMU)
	EARTH
	FIRE SAFING
	GYPSON WALL AND/OR CEILING BOARD
	MORTAR NET
	MORTAR / GROUT
	PLYWOOD
	POROUS FILL or SUB-SLAB AGGREGATE
	RIGID INSULATION
	SPRAY FOAM INSULATION
	STEEL
	STONE
	CONTINUOUS WOOD BLOCKING
	WOOD SHIM or BLOCKING

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"

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COMMISSION NUMBER:

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CP.1

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CODE PLAN LEGEND

	SMOKE PARTITION (NO RATING)
	SMOKE BARRIER (1 HOUR RATED)
	30 MIN FIRE PARTITION
	1 HOUR FIRE PARTITION
	1 HOUR FIRE BARRIER
	2 HOUR FIRE BARRIER
	3 HOUR FIRE BARRIER
	4 HOUR FIRE BARRIER
	2 HOUR FIRE WALL
	3 HOUR FIRE WALL
	4 HOUR FIRE WALL
	FIRE EXTINGUISHER CABINET
	FIRE EXTINGUISHER
	MAXIMUM EXIT ACCESS TRAVEL DISTANCE
	DOOR EGRESS CAPACITY TAG
	STAIR EGRESS CAPACITY TAG

NOTE:
INCLUSION IN LEGEND DOES NOT IMPLY SCOPE. NOT ALL SYMBOLS MAY BE USED.
MAXIMUM OCCUPANT LOAD AS SHOWN IS USED FOR EGRESS CALCULATIONS ONLY.
EGRESS CAPACITY IS BASED ON CLEAR WIDTH OF DOORS MINUS 3" FOR SINGLE DOOR, 6" FOR DOUBLE DOOR.

PLUMBING FIXTURE COUNT

REQUIRED PLUMBING FIXTURES
(TABULATION OF PLUMBING FIXTURES AS PER 2021 NATIONAL STANDARD PLUMBING CODE, NEW JERSEY EDITION)

OCCUPANT LOAD BASED ON EGRESS REQUIREMENTS
MAXIMUM OCCUPANTS = 54
(MAXIMUM OCCUPANTS) x (2/3) = (36 CALCULATED OCCUPANTS)
(CALCULATED OCCUPANTS) X 50% = (18 FIXTURES PER GENDER)

B AND S-1 OCCUPANCY GROUP
REQUIRED FIXTURES PER GENDER (PER TABLE 7.2.1.1):

	WOMEN	MEN	UNISEX	TOTAL
WATER CLOSETS	2	2	-	4
LAVATORIES	2	2	-	4
DRINKING FOUNTAINS	-	-	-	1
SERVICE SINK	-	-	-	1
SHOWER	-	-	-	-

PROVIDED FIXTURES:

	WOMEN	MEN	UNISEX	TOTAL
WATER CLOSETS	2	4	2	8
LAVATORIES	2	2	2	6
DRINKING FOUNTAINS	-	-	-	1
SERVICE SINK	-	-	-	1
SHOWER	1	1	-	2

I-3 OCCUPANCY GROUP
REQUIRED FIXTURES PER GENDER (PER TABLE 7.2.1.1):

	WOMEN	MEN	UNISEX	TOTAL
WATER CLOSETS	1	PER CELL	-	3
LAVATORIES	1	PER CELL	-	3
DRINKING FOUNTAINS	-	-	-	1
SERVICE SINK	-	-	-	1
SHOWER	-	-	-	1

PROVIDED FIXTURES:

	WOMEN	MEN	UNISEX	TOTAL
WATER CLOSETS	1	PER CELL	-	3
LAVATORIES	1	PER CELL	-	3
DRINKING FOUNTAINS	-	-	-	1
SERVICE SINK	-	-	-	1
SHOWER	-	-	-	1

NO MORE THAN 50% OF PROVIDED AND REQUIRED NUMBER OF WATER CLOSETS ARE URINALS

APPLICABLE CODES (NJ)

- BUILDING SUBCODE (NJAC 5:23-3.14)
- INTERNATIONAL BUILDING CODE - 2021 NEW JERSEY EDITION
- NATIONAL STANDARD PLUMBING CODE - 2021
- NATIONAL ELECTRICAL CODE (NFPA 70) - 2020
- ENERGY SUBCODE - ASHRAE 90.1-2019
- INTERNATIONAL MECHANICAL CODE - 2021
- INTERNATIONAL FUEL GAS CODE - 2021
- REHABILITATION SUBCODE - NJICC, SUBCHAPTER 6
- BARRIER FREE SUBCODE, ICC A117.1-2017
- ELEVATOR SUBCODE - N.J.A.C. 5:23-12

BUILDING CODE DATA

INTERNATIONAL BUILDING CODE

CHAPTER 3 - OCCUPANCY CLASSIFICATION AND USE

302 USE GROUP CLASSIFICATION B

CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS

408 GROUP I-3 (CONDITION 5)

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

504.3 ALLOWABLE BUILDING HEIGHT 55'-0"
ACTUAL BUILDING HEIGHT 26'-5" (EXISTING)

504.4 ALLOWABLE NUMBER OF STORIES 2
ACTUAL NUMBER OF STORIES 2 (EXISTING)

506.2 (EQ. 5-3)
Aa = At + (Ns x If)
22,500 = 22,500 + (10,500 x 0)
At = TABULAR ALLOWABLE AREA FACTOR (TABLE 506.2) 22,500 SF
Ns = CONSTANT FROM (TABLE 506.2) 10,500 SF
If = AREA INCREASE DUE TO FRONTAGE % (506.2) 0 %
Aa = ALLOWABLE BUILDING AREA PER FLOOR 22,500 SF
ACTUAL MAXIMUM AREA PER FLOOR 4,713 SF

508.4 REQUIRED SEPARATION OF OCCUPANCIES (MIXED-USE)
I-3 OCCUPANCY TO B OR S-1 OCCUPANCY 1 HOUR

CHAPTER 6 - TYPES OF CONSTRUCTION

CONSTRUCTION TYPE III-B (FULLY SPRINKLERED, NFPA 13)

TABLE 601

BUILDING ELEMENT	REQD. RATING (HRS)
PRIMARY STRUCTURAL FRAME	0
BEARING WALLS	EXTERIOR 2 INTERIOR 0
NON BEARING WALLS	EXTERIOR (TABLE 705.5) 1 INTERIOR 0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

1 HOUR FIRE RESISTIVE RATING ONLY WHEN WALL IS LESS THAN 30' FROM PROPERTY LINE OR CENTER OF STREET I.R.O.W. - SEE PLAN FOR LOCATIONS.

CHAPTER 8 - INTERIOR FINISHES

TABLE 803.13

OCCUPANCY (SPRINKLERED)	FSI	
	B, S-1	I-3
INTERIOR EXIT STAIRS, RAMPS, PASSAGEWAYS	B	A
CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMPS	C	A
ROOMS AND ENCLOSED SPACES	C	C

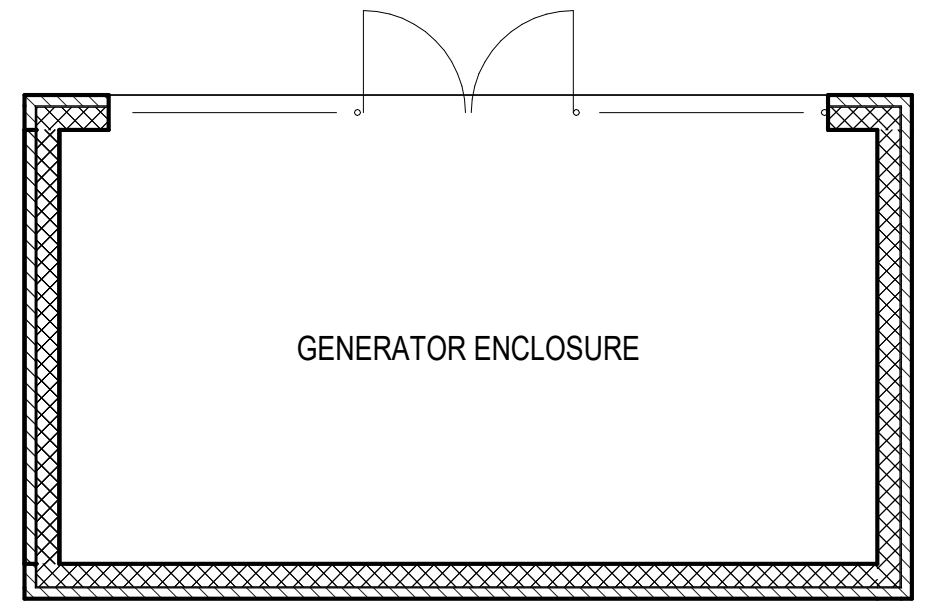
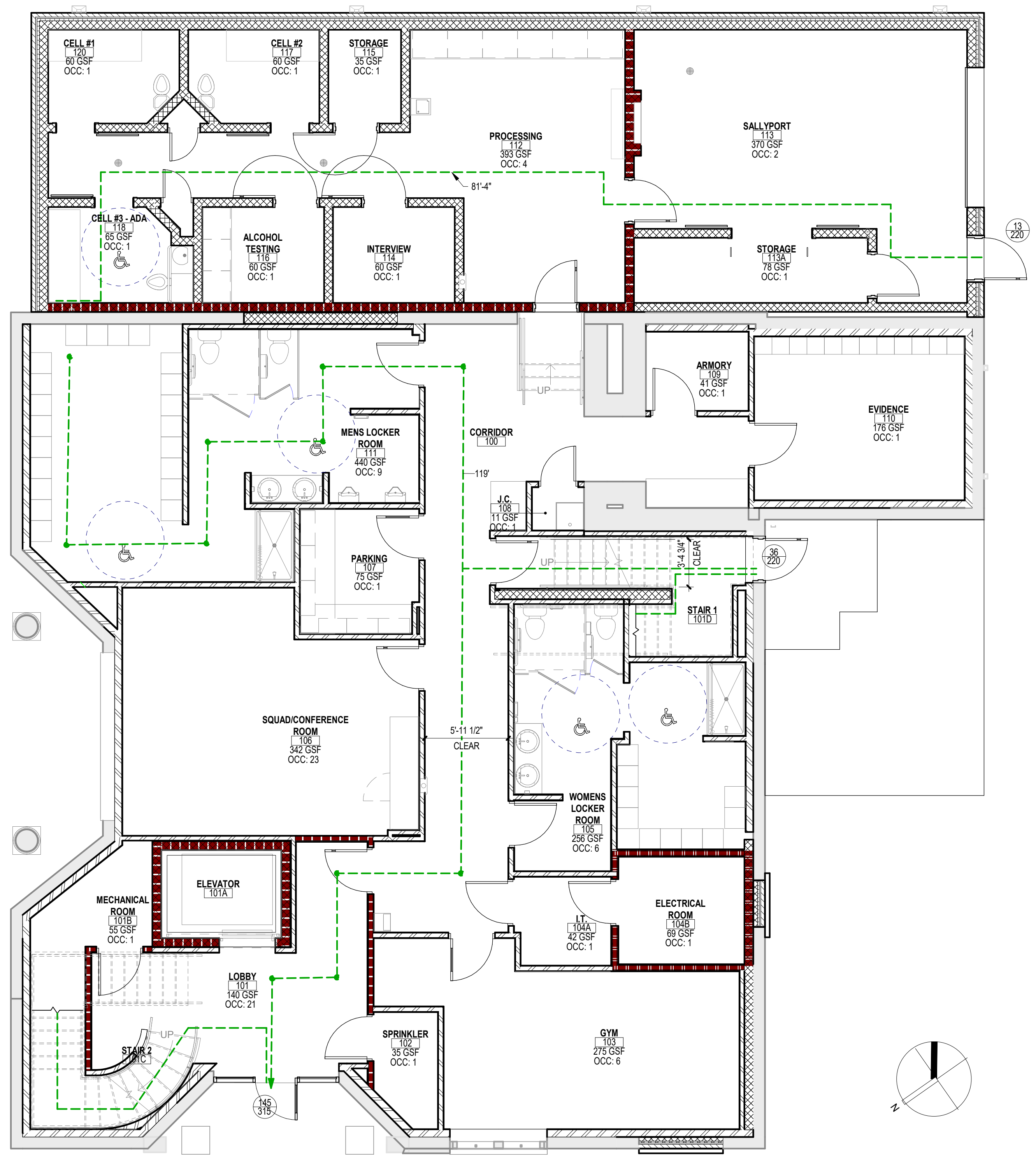
CHAPTER 9 - FIRE PROTECTION

AUTOMATIC SPRINKLER SYSTEM PROVIDED YES

CHAPTER 10 - MEANS OF EGRESS

TRAVEL DISTANCE REQUIREMENTS

MAX. COMMON PATH OF TRAVEL EXIT ACCESS (TABLE 1006.2.1):	100'
MAX. EXIT ACCESS (TABLE 1017.2):	200' (I-3), 250'(S-1) 300' (B)
MAX. DEAD END TRAVEL (TABLE 1020.5):	50'
MINIMUM CORRIDOR WIDTH (TABLE 1020.3):	44"



DETECTIVE (207) --- HALLWAY --- STAIR 1 --- LANDING --- SIDE DOOR	71'-10"
DETECTIVE (207) --- HALLWAY --- LOBBY (201) --- STAIR 2 --- LOBBY (101) --- FRONT DOOR	125'-4"

1 FIRST FLOOR CODE PLAN
3/16" = 1'-0"

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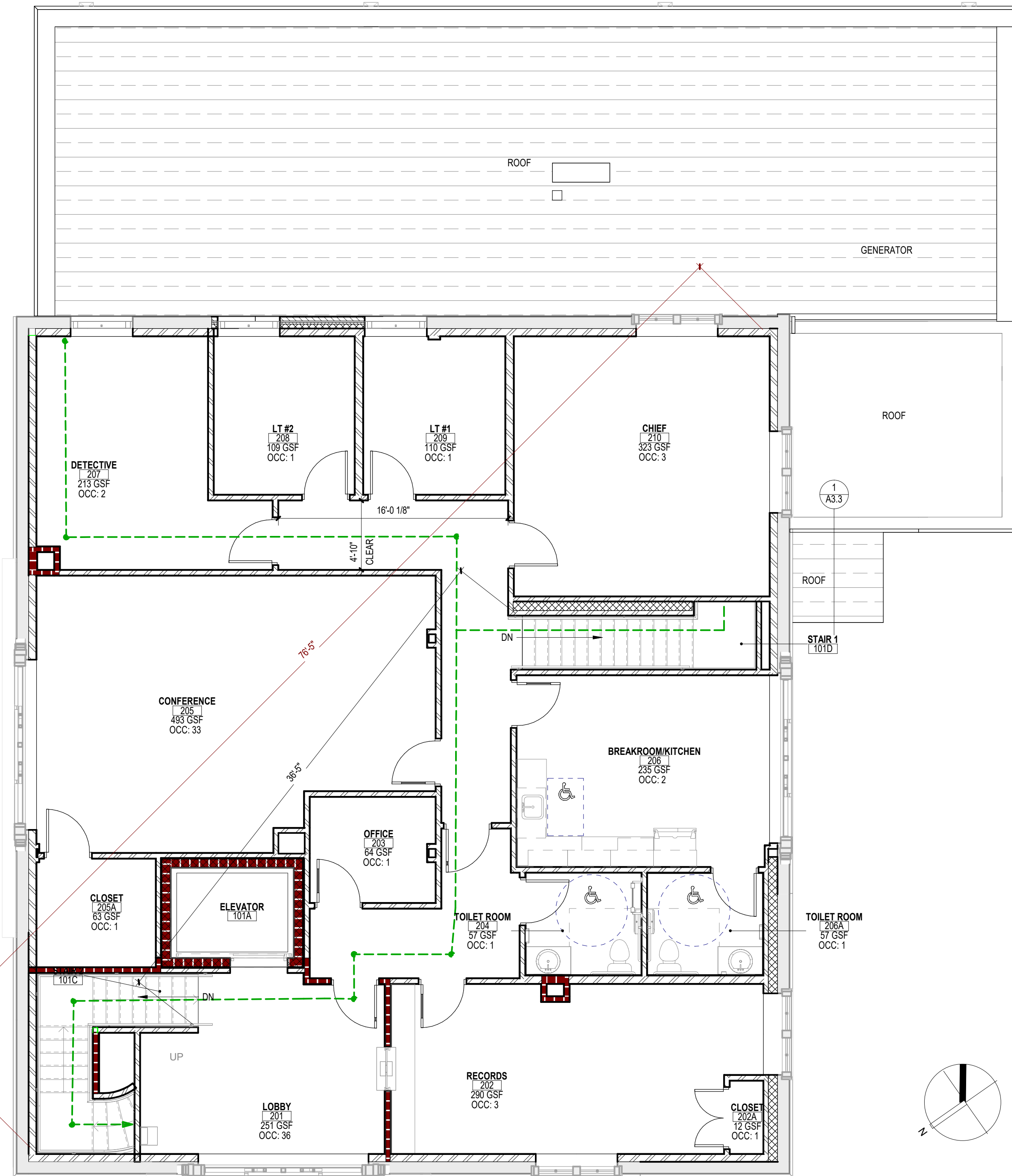
23M014

DO NOT SCALE THE DRAWINGS

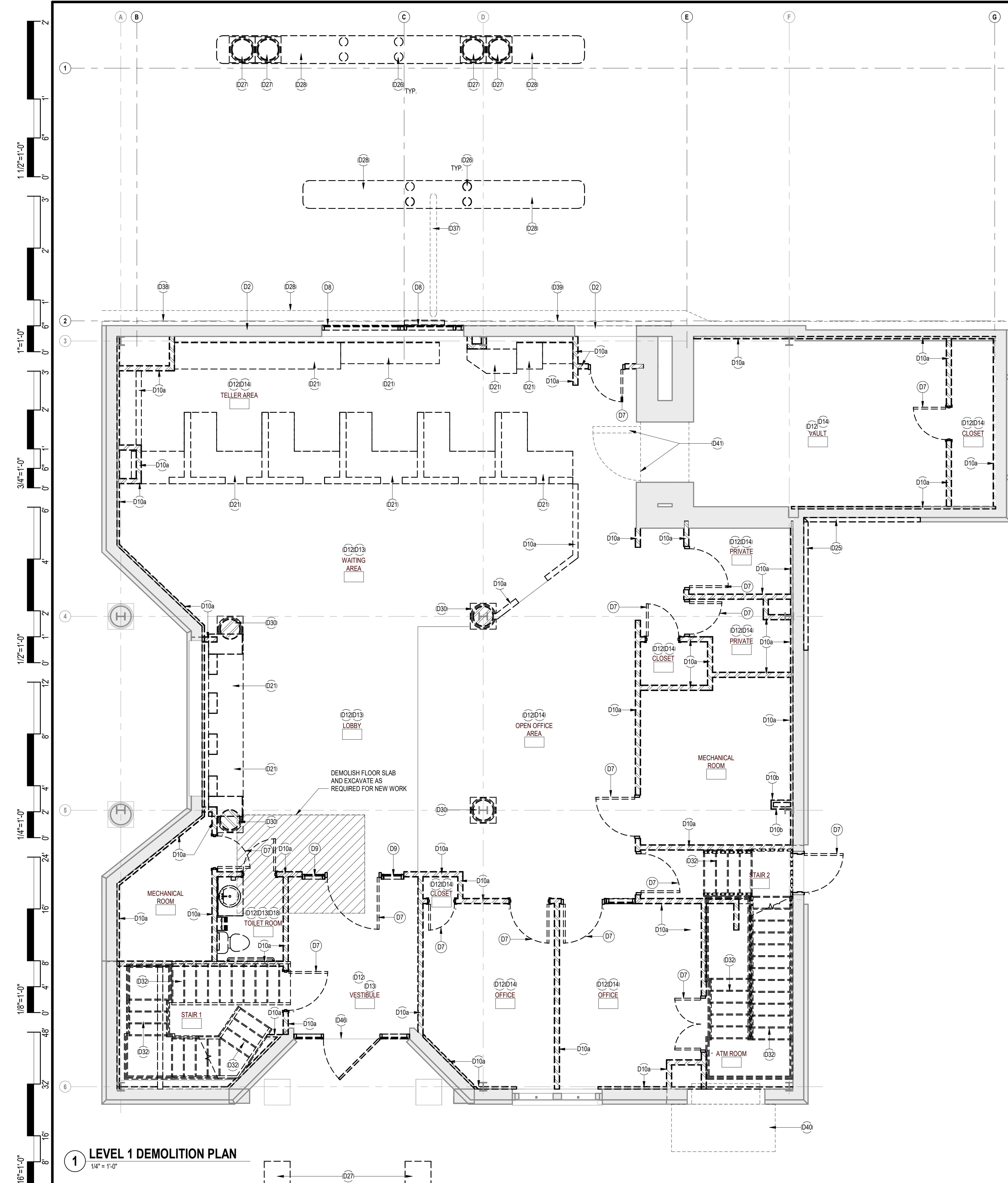
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CP.2

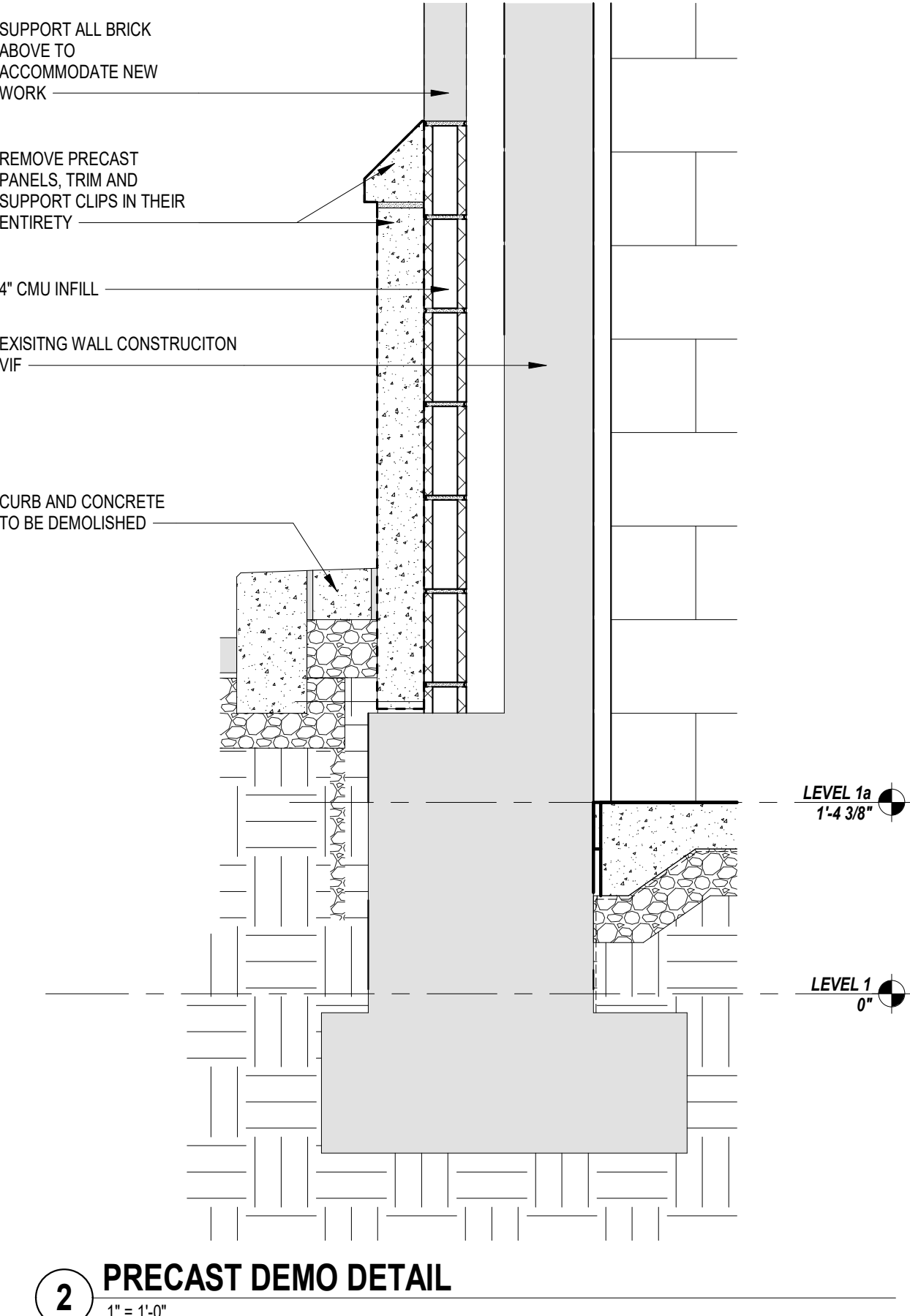
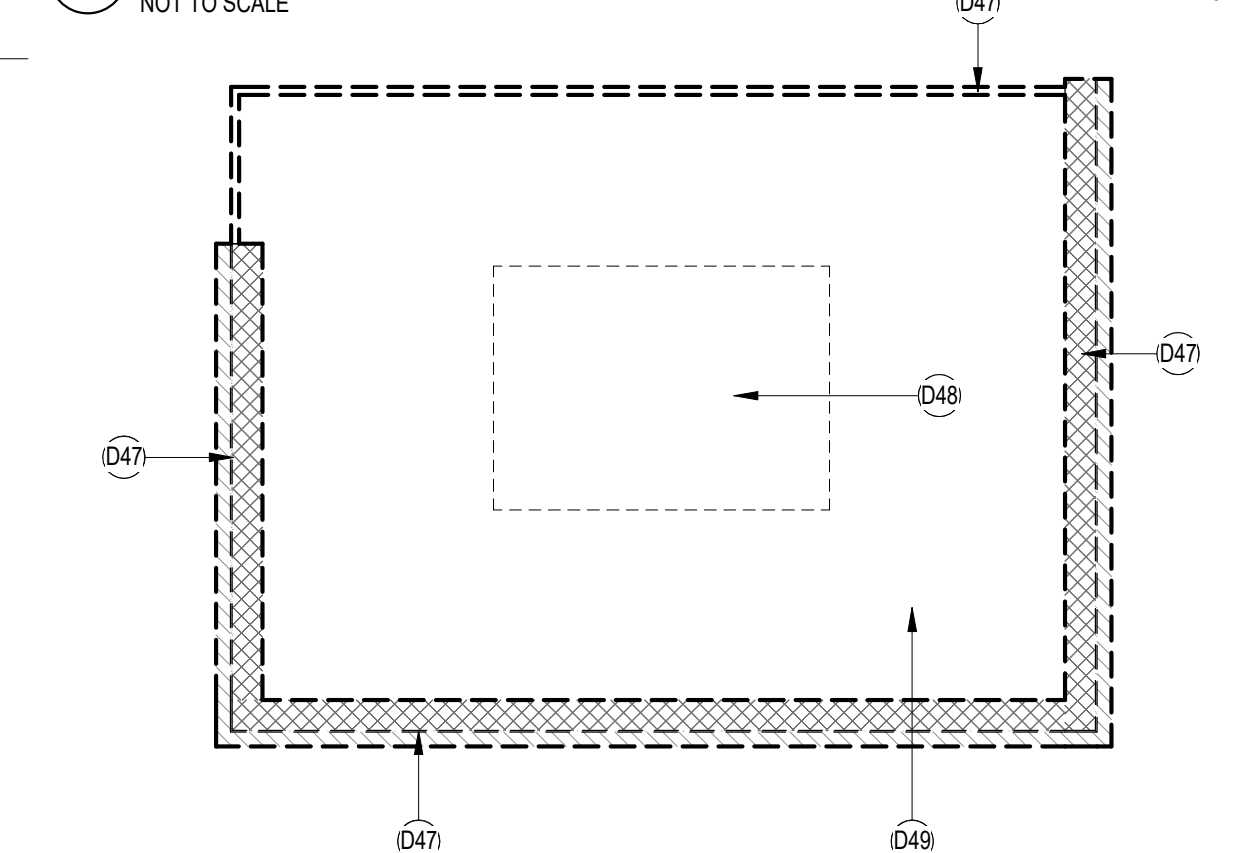
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1/4"=1'-0"
3/16"=1'-0"
1/2"=1'-0"
3/8"=1'-0"
1"=1'-0"
1 1/2"=1'-0"
2"=1'-0"



1 SECOND FLOOR CODE PLAN
3/16" = 1'-0"



3 STONE PANEL REFERENCE
NOT TO SCALE



2 PRECAST DEMO DETAIL
1" = 1'-0"

GENERAL DEMOLITION NOTES

- DEMOLITION WORK INCLUDES, BUT IS NOT LIMITED TO THE WORK INDICATED HEREWITH, AS COORDINATED WITH WORK OF ALL OTHER TRADES, AS INDICATED ELSEWHERE, AND AS REQUIRED TO ACCOMMODATE CONSTRUCTION. ALL DEMOLITION REQUIRED SHALL BE INCLUDED IN EACH CONTRACTOR'S BASE BID TO PERFORM AND COMPLETE CONSTRUCTION, UNLESS OTHERWISE INDICATED.
- ALL ITEMS DESIGNATED AS 'SALVAGED' SHALL BE PROTECTED AND TURNED OVER TO THE OWNER.
- ITEMS TO BE RELOCATED OR REINSTALLED SHALL BE AS INDICATED. SPECIAL CARE SHALL BE TAKEN SO AS NOT TO DAMAGE THESE ITEMS. THE CONTRACTOR SHALL COORDINATE THE STORAGE OF ALL SALVAGED ITEMS TO BE EITHER RELOCATED OR REINSTALLED WITH THE OWNER.
- LOCATIONS AND/OR ELEVATIONS OF EXISTING ITEMS AS SHOWN ON THE DRAWINGS ARE APPROXIMATE. RESPECTIVE TRADES SHALL FIELD VERIFY ALL LOCATIONS.
- WHEN A NEW WALL, CEILING, ROOF OR FLOOR ASSEMBLY IS INDICATED WHERE AN EXISTING WALL, CEILING, ROOF OR FLOOR ASSEMBLY EXISTS, THE EXISTING SHALL BE COMPLETELY REMOVED, WITH ASSOCIATED UTILITIES REMOVED AND CAPPED BEHIND THE SURFACES TO REMAIN. ALL DEPRESSIONS, INDENTATIONS, OR PROTRUSIONS LEFT AFTER THE REMOVAL OF ITEMS WHICH MAY INTERFERE WITH THE CONSTRUCTION SHALL BE REPAIRED, REPLACED OR REMOVED TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING SURFACES.
- CONTRACTORS SHALL VERIFY ALL CONDITIONS PRIOR TO COMMENCING DEMOLITION. SHOULD QUESTIONS OR DISCREPANCIES ARISE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, PRIOR TO PROCEEDING WITH DEMOLITION.
- WHERE OPENINGS ARE INDICATED TO BE MADE IN EXISTING MASONRY WALLS, OR EXISTING OPENINGS ARE TO BE INFILLED, THE CONTRACTOR SHALL TOOTH IN NEW MASONRY CONSTRUCTION TO MATCH ADJACENT COURSING.
- CONTRACTOR(S) ARE RESPONSIBLE FOR SHORING, BRACING AND UNDERPINNING RELATED TO THE DEMOLITION, REMOVAL OR CUTTING OF ANY WALL, PARTITION, OR ANY OTHER LOAD-BEARING OR STRUCTURAL ELEMENT.
- REMOVE ALL MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS IN THEIR ENTIRETY.

DEMO KEYNOTE LEGEND

Key Value	Keynote Text
D7	SAWCUT AND REMOVE PORTION OF EXISTING EXTERIOR MASONRY WALL ASSEMBLY AS INDICATED.
D7	REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.
D8	REMOVE EXISTING WINDOW IN ITS ENTIRETY. PROTECT EXISTING MASONRY/WALL OPENINGS TO REMAIN.
D9	REMOVE EXISTING CURTAINWALL/STOREFRONT FRAMING AND GLAZING AS INDICATED.
D10a	REMOVE PORTION OF EXISTING INTERIOR FRAMED WALL ASSEMBLY AS INDICATED.
D10b	REMOVE PORTION OF EXISTING COLUMN FURRING AND FRAMING AS INDICATED.
D12	REMOVE EXISTING SUSPENDED CEILING SYSTEM IN ITS ENTIRETY INCLUDING LIGHTING FIXTURES. SAFE-OFF EXISTING CONDUITS WHERE SCHEDULED TO BE REUSED OTHERWISE TERMINATE CONDUIT AND WIRING BACK TO NEAREST PANEL.
D13	REMOVE EXISTING RESILIENT FLOOR FINISHES AND BASE IN THEIR ENTIRETY DOWN TO SUBSTRATES.
D14	REMOVE EXISTING CARPET FLOOR FINISHES AND BASE IN THEIR ENTIRETY DOWN TO SUBSTRATES.
D18	REMOVE EXISTING PLUMBING FIXTURES AND TOILET ACCESSORIES, INCLUDING BUT NOT LIMITED TO: TOILET, PAPER TOWEL AND TOILET TISSUE DISPENSERS, SOAP DISPENSERS, MIRRORS, GRAB BARS AND HAND DRYERS.
D21	REMOVE EXISTING BUILT-IN CASEWORK/CABINETS IN ITS ENTIRETY.
D25	REMOVE PORTION OF EXISTING CONCRETE BUILDING BASE.
D26	REMOVE EXISTING BOLLARDS AND FOUNDATIONS IN THEIR ENTIRETY.
D27	REMOVE STEEL COLUMNS, FOUNDATIONS, AND COLUMN ENCLOSURE IN THEIR ENTIRETY.
D28	REMOVE EXISTING RAISED CURB AREA IN ITS ENTIRETY.
D30	REMOVE EXISTING INTERIOR COLUMN ENGAGEMENT IN ITS ENTIRETY.
D32	REMOVE EXISTING INTERIOR STAIR IN ITS ENTIRETY.
D34	REMOVE EXISTING ROOF SYSTEM IN ITS ENTIRETY INCLUDING STRUCTURE.
D35	REMOVE EXISTING ROOF SYSTEM IN ITS ENTIRETY DOWN TO ROOF DECK INCLUDING BUT NOT LIMITED TO ALL FLASHINGS AND COPINGS.
D36	REMOVE EXISTING DECORATIVE CORNICE IN ITS ENTIRETY.
D37	REMOVE PNEUMATIC TUBE TRANSPORT ASSEMBLY IN ITS ENTIRETY.
D38	REMOVE LIGHT FIXTURE.
D39	REMOVE PASS THROUGH BOX.
D40	REMOVE CANOPY IN ITS ENTIRETY.
D41	REMOVE VAULT DOOR AND ASSEMBLY IN ITS ENTIRETY.
D43	REMOVE HVAC EQUIPMENT AND PATCH ROOF DECK PER NEW WORK.
D44	REMOVE AND SALVAGE ROOF HATCH FOR REINSTALLATION.
D45	REMOVE ROOF DRAIN IN ITS ENTIRETY.
D46	REMOVE EXISTING STOREFRONT ASSEMBLY IN ITS ENTIRETY.
D47	REMOVE EXISTING BRICK, CONCRETE BLOCK, AND WOOD FENCING ENCLOSURE AND CONCRETE SLAB IN ITS ENTIRETY.
D48	REMOVE EXISTING CHILLER IN ITS ENTIRETY.
D49	REMOVE SLAB AND FOUNDATIONS IN THEIR ENTIRETY.
D50	REMOVE ROOF DECK AT INDICATED AREA.

CODE REVIEW:

CERTIFICATE:



SPIEZE ARCHITECTURAL GROUP INC.
121 MARKET STREET
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PHONE: (856) 974 7666

SIGNATURE:
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JOHN F. WRIGHT 21A0196400
SPIEZE ARCHITECTURAL GROUP, INC. 21A02005000

SEAL:

BID SET - 06/25/2024

PROJECT:

HADDONFIELD POLICE STATION
1 WALNUT STREET, HADDONFIELD, NJ 08033
FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION NAME	DATE

FOR BID: 06/25/2024

DRAWING TITLE:

DEMOLITION PLANS

COMMISSION NUMBER:

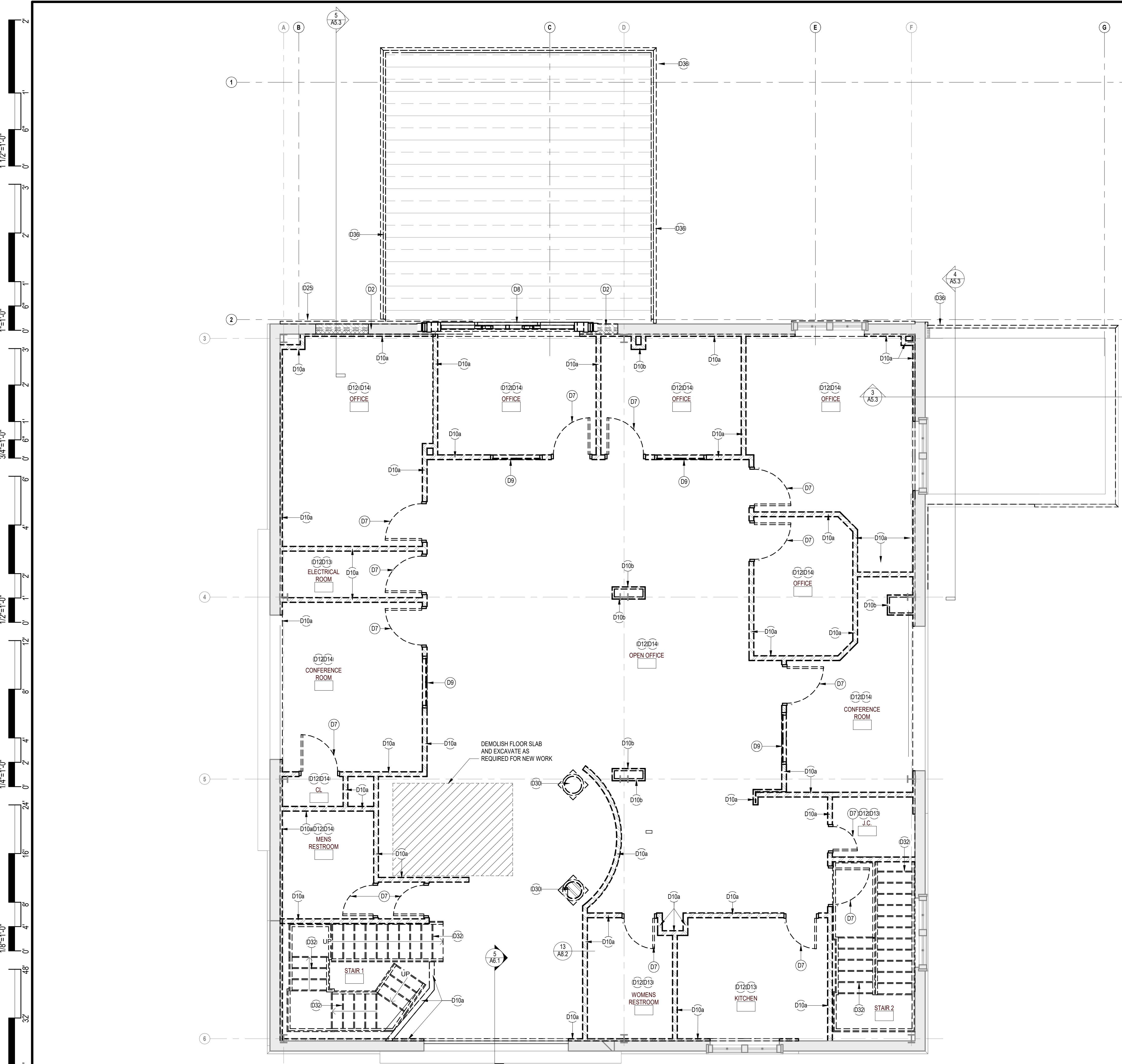
23M014

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:

D1.1

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"



1 LEVEL 2 DEMOLITION PLAN
1/4" = 1'-0"

GENERAL DEMOLITION NOTES

- DEMOLITION WORK INCLUDES, BUT IS NOT LIMITED TO THE WORK INDICATED HEREWITH, AS COORDINATED WITH WORK OF ALL OTHER TRADES, AS INDICATED ELSEWHERE, AND AS REQUIRED TO ACCOMMODATE CONSTRUCTION. ALL DEMOLITION REQUIRED SHALL BE INCLUDED IN EACH CONTRACTOR'S BASE BID TO PERFORM AND COMPLETE CONSTRUCTION, UNLESS OTHERWISE INDICATED.
- ALL ITEMS DESIGNATED AS 'SALVAGED' SHALL BE PROTECTED AND TURNED OVER TO THE OWNER.
- ITEMS TO BE RELOCATED OR REINSTALLED SHALL BE AS INDICATED. SPECIAL CARE SHALL BE TAKEN SO AS NOT TO DAMAGE THESE ITEMS. THE CONTRACTOR SHALL COORDINATE THE STORAGE OF ALL SALVAGED ITEMS TO BE EITHER RELOCATED OR REINSTALLED WITH THE OWNER.
- LOCATIONS AND/OR ELEVATIONS OF EXISTING ITEMS AS SHOWN ON THE DRAWINGS ARE APPROXIMATE. RESPECTIVE TRADES SHALL FIELD VERIFY ALL LOCATIONS.
- WHEN A NEW WALL, CEILING, ROOF OR FLOOR ASSEMBLY IS INDICATED WHERE AN EXISTING WALL, CEILING, ROOF OR FLOOR ASSEMBLY EXISTS, THE EXISTING SHALL BE COMPLETELY REMOVED, WITH ASSOCIATED UTILITIES REMOVED AND CAPPED BEHIND THE SURFACES TO REMAIN. ALL DEPRESSIONS, INDENTATIONS, OR PROTRUSIONS LEFT AFTER THE REMOVAL OF ITEMS WHICH MAY INTERFERE WITH THE CONSTRUCTION SHALL BE REPAIRED, REPLACED OR REMOVED TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING SURFACES.
- CONTRACTORS SHALL VERIFY ALL CONDITIONS PRIOR TO COMMENCING DEMOLITION. SHOULD QUESTIONS OR DISCREPANCIES ARISE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, PRIOR TO PROCEEDING WITH DEMOLITION.
- WHERE OPENINGS ARE INDICATED TO BE MADE IN EXISTING MASONRY WALLS, OR EXISTING OPENINGS ARE TO BE INFILLED, THE CONTRACTOR SHALL TOOTH IN NEW MASONRY CONSTRUCTION TO MATCH ADJACENT COURSING.
- CONTRACTOR(S) ARE RESPONSIBLE FOR SHORING, BRACING AND UNDERPINNING RELATED TO THE DEMOLITION, REMOVAL OR CUTTING OF ANY WALL, PARTITION, OR ANY OTHER LOAD-BEARING OR STRUCTURAL ELEMENT.
- REMOVE ALL MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS IN THEIR ENTIRETY.

DEMO KEYNOTE LEGEND

Key Value	Keynote Text
D2	SAWCUT AND REMOVE PORTION OF EXISTING EXTERIOR MASONRY WALL ASSEMBLY AS INDICATED.
D7	REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.
D8	REMOVE EXISTING WINDOW IN ITS ENTIRETY. PROTECT EXISTING MASONRY/WALL OPENINGS TO REMAIN.
D9	REMOVE EXISTING CURTAIN WALL/STOREFRONT FRAMING AND GLAZING AS INDICATED.
D10a	REMOVE PORTION OF EXISTING INTERIOR FRAMED WALL ASSEMBLY AS INDICATED.
D10b	REMOVE PORTION OF EXISTING COLUMN FURRING AND FRAMING AS INDICATED.
D12	REMOVE EXISTING SUSPENDED CEILING SYSTEM IN ITS ENTIRETY INCLUDING LIGHTING FIXTURES. SAFE-OFF EXISTING CONDUITS WHERE SCHEDULED TO BE REUSED OTHERWISE TERMINATE CONDUIT AND WIRING BACK TO NEAREST PANEL.
D13	REMOVE EXISTING RESILIENT FLOOR FINISHES AND BASE IN THEIR ENTIRETY DOWN TO SUBSTRATES.
D14	REMOVE EXISTING CARPET FLOOR FINISHES AND BASE IN THEIR ENTIRETY DOWN TO SUBSTRATES.
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D27	REMOVE STEEL COLUMNS, FOUNDATIONS, AND COLUMN ENCLOSURE IN THEIR ENTIRETY.
D28	REMOVE EXISTING RAISED CURB AREA IN ITS ENTIRETY.
D30	REMOVE EXISTING INTERIOR COLUMN ENCASUREMENT IN ITS ENTIRETY.
D32	REMOVE EXISTING INTERIOR STAIR IN ITS ENTIRETY.
D34	REMOVE EXISTING ROOF SYSTEM IN ITS ENTIRETY INCLUDING STRUCTURE.
D35	REMOVE EXISTING ROOF SYSTEM IN ITS ENTIRETY DOWN TO ROOF DECK INCLUDING BUT NOT LIMITED TO ALL FLASHINGS AND COPINGS.
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D46	REMOVE EXISTING STOREFRONT ASSEMBLY IN ITS ENTIRETY.
D47	REMOVE EXISTING BRICK, CONCRETE BLOCK, AND WOOD FENCING ENCLOSURE AND CONCRETE SLAB IN ITS ENTIRETY.
D48	REMOVE EXISTING CHILLER IN ITS ENTIRETY.
D49	REMOVE SLAB AND FOUNDATIONS IN THEIR ENTIRETY.
D50	REMOVE ROOF DECK AT INDICATED AREA.

CODE REVIEW:

CERTIFICATE:



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CAMDEN, NJ 08102
PHONE: (856) 974 7666

SIGNATURE:
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ANGILO ALBERTO 21A01966700
JOHN F. WRIGHT 21A01794200
SPIEZE ARCHITECTURAL GROUP, INC. 21A020083000

SEAL:

BID SET - 06/25/2024

PROJECT:
HADDONFIELD POLICE STATION
1 WALNUT STREET, HADDONFIELD, NJ 08033
FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:	REVISION NAME	DATE
A		

FOR BID: 06/25/2024

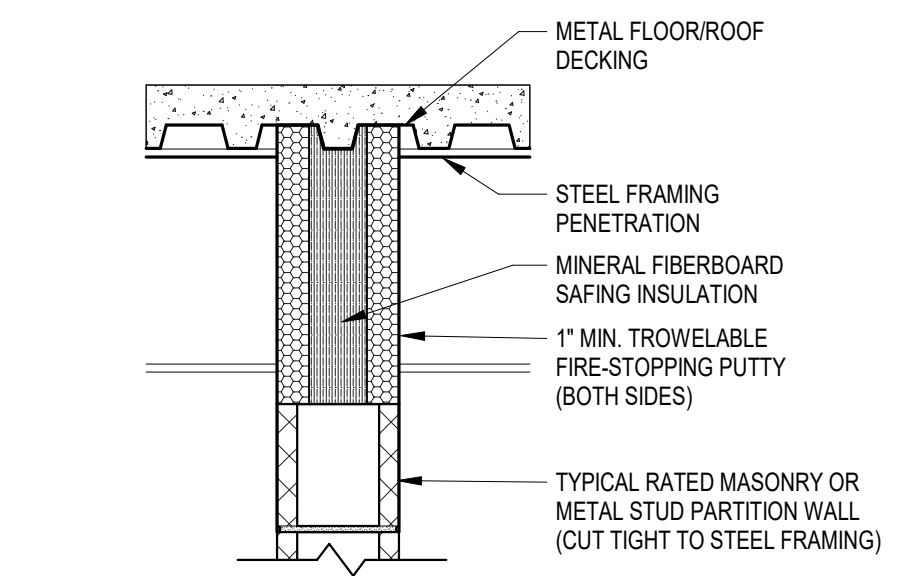
DRAWING TITLE:
DEMOLITION PLANS

COMMISSION NUMBER:
23M014

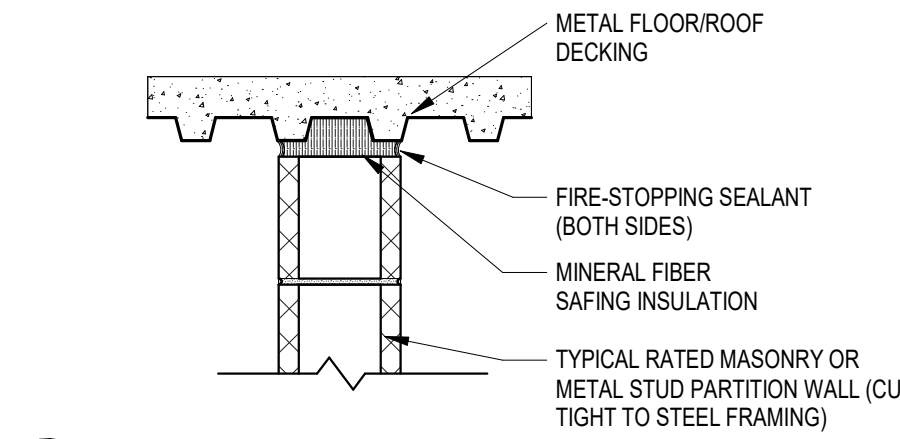
DO NOT SCALE THE DRAWINGS
DRAWING NUMBER:
D1.2

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"

1 1/2"=1'-0"
 1"=1'-0"
 3/4"=1'-0"
 3/8"=1'-0"
 1/2"=1'-0"
 1/4"=1'-0"
 1/8"=1'-0"

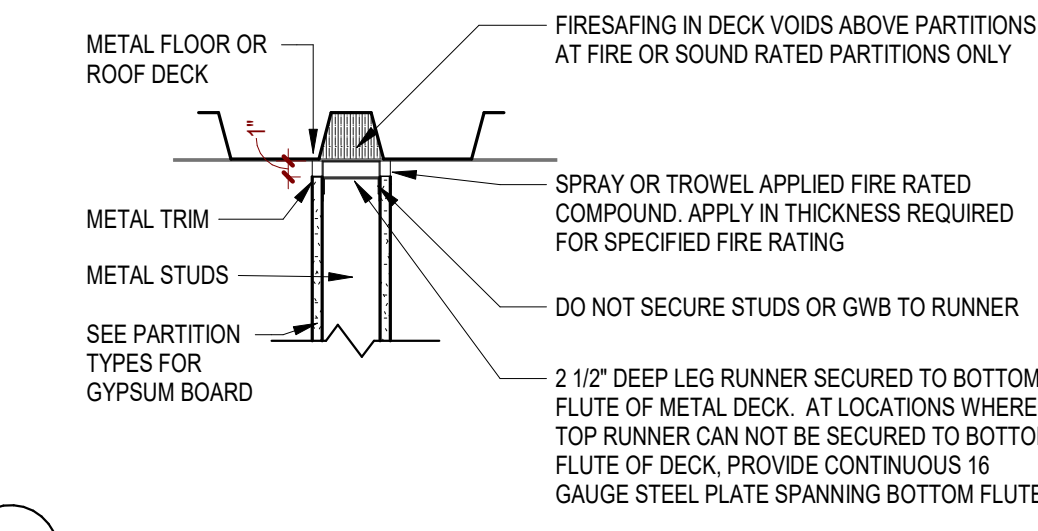


A HEAD-OF-WALL JOINT TREATMENT PERPENDICULAR TO STRUCTURE - SIMILAR TO U.L. SYSTEM No. HW-D-0359

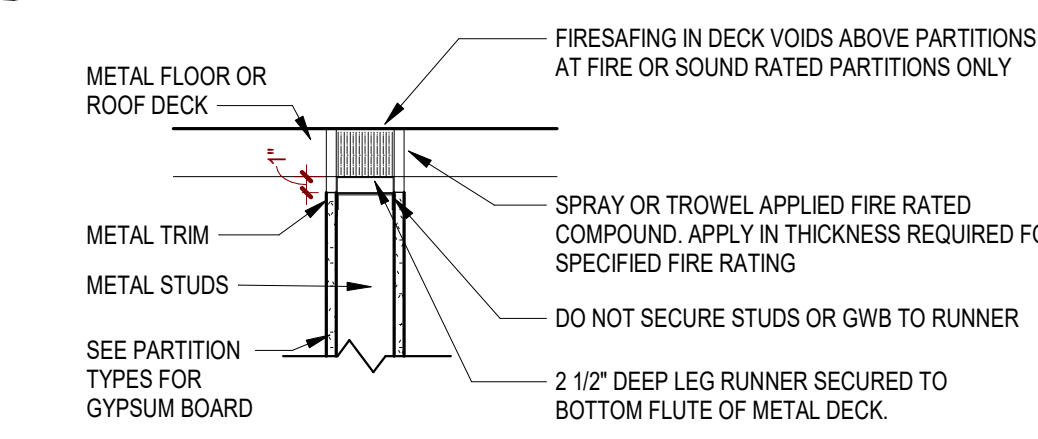


B HEAD-OF-WALL JOINT TREATMENT - SIMILAR TO U.L. SYSTEM No. HW-D-0009

CMU NOTES:
 1. FIRE SAFING DETAILS TYPICAL FOR ALL FIRE RATED WALLS AND SMOKE PARTITIONS.

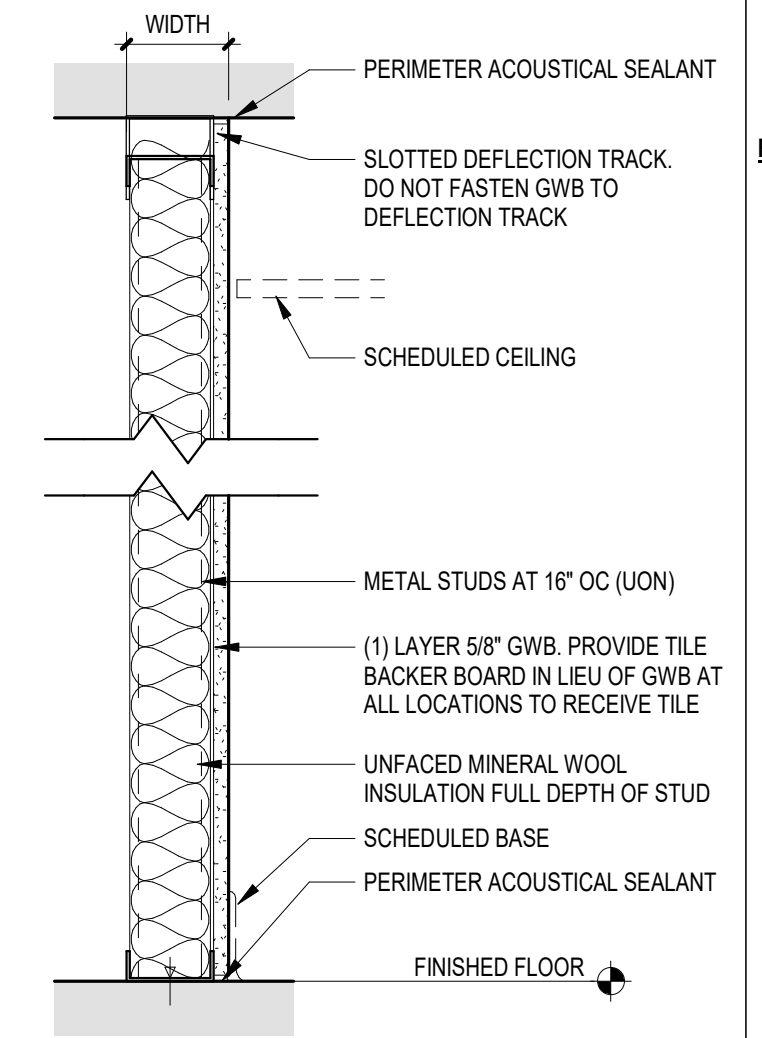


C GWB CONDITION PARALLEL TO METAL DECK



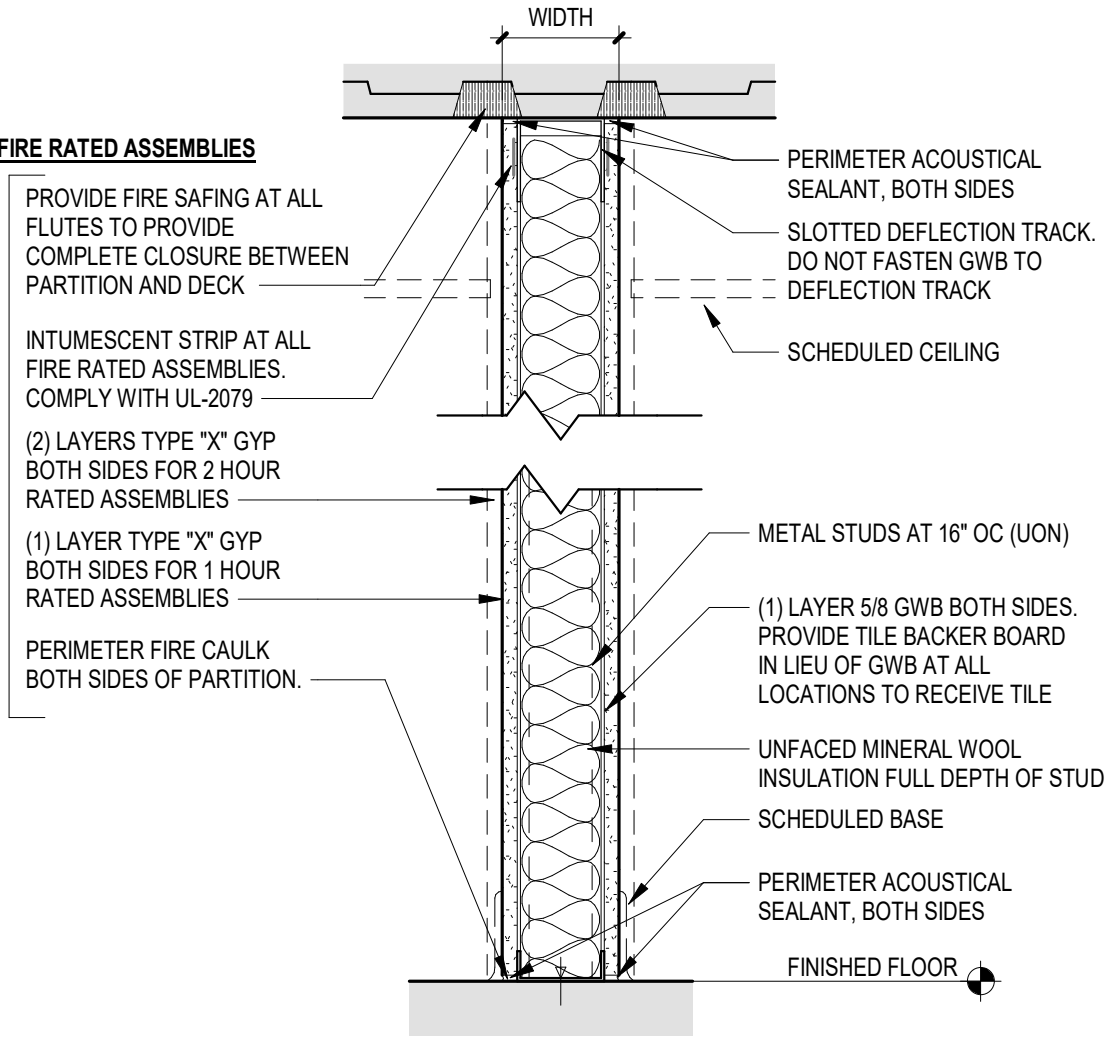
D GWB CONDITION PERPENDICULAR TO METAL DECK

GYPSUM WALLBOARD NOTES:
 1. FIRE SAFING DETAILS TYPICAL FOR ALL FIRE RATED WALLS AND SMOKE PARTITIONS.
 2. HEAD-OF-WALL JOINT TREATMENT U.L. SYSTEM No. HW-D-0045 (SIM.)



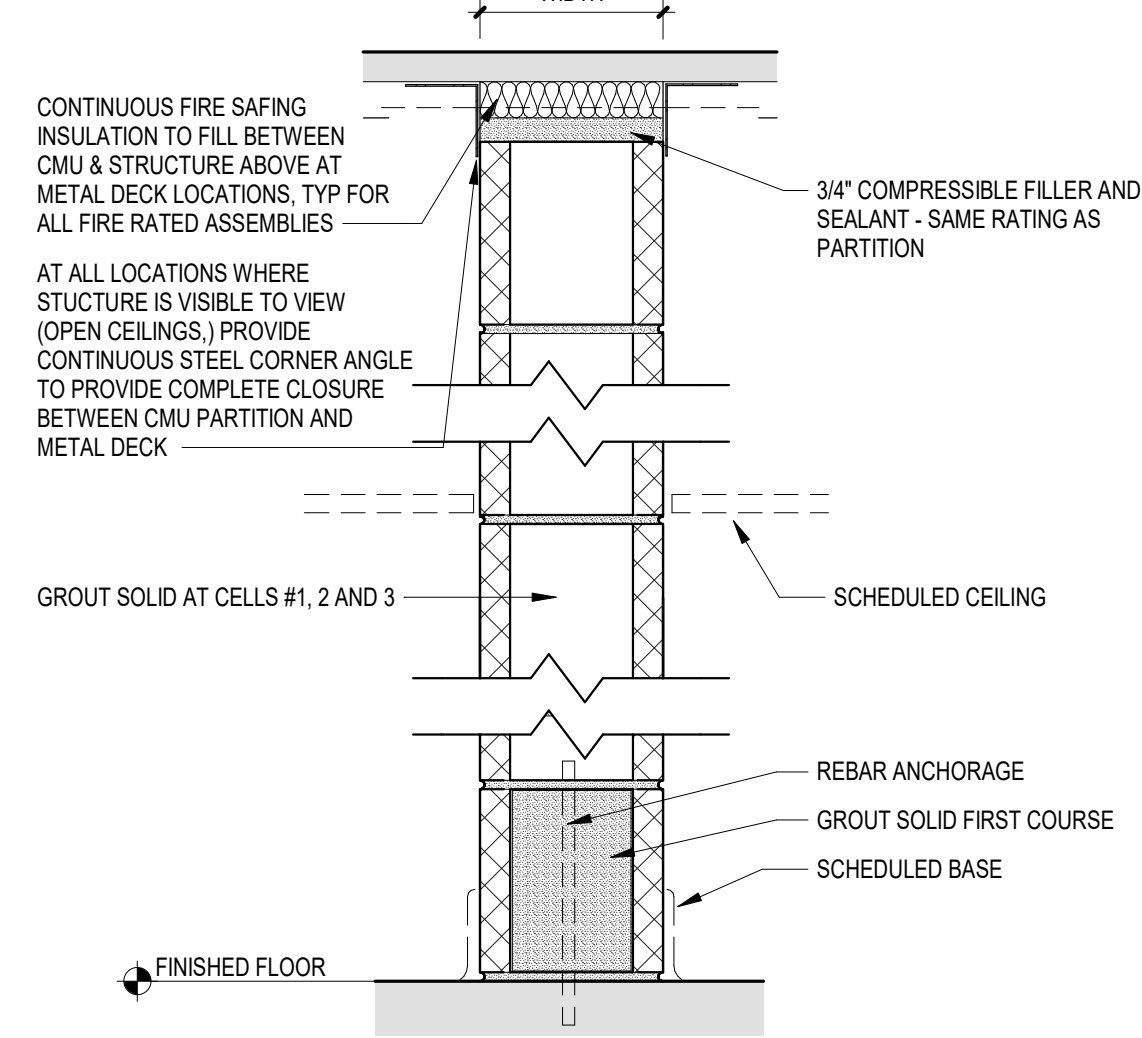
PARTITION TYPE 'A' SCHEDULE

TYPE MARK	STUD SIZE	WIDTH	COMMENTS
A1	1 5/8"	1 1/2"	
A2	2 1/2"	3 1/8"	
A3	3 5/8"	4 1/4"	



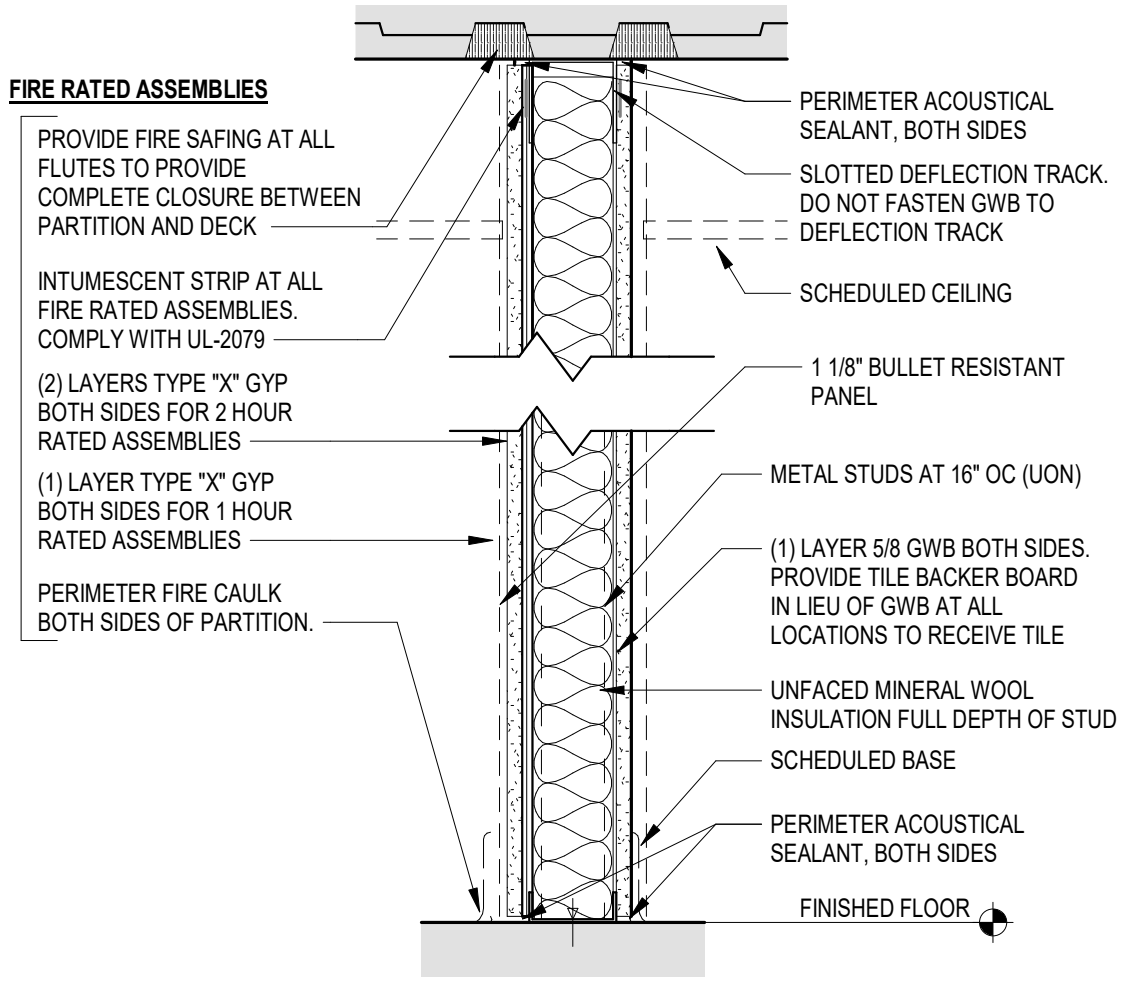
PARTITION TYPE 'B' SCHEDULE

TYPE MARK	STUD SIZE	FIRE RATING	TEST NUMBER	STC RATING	WIDTH	COMMENTS
B3	3 5/8"	-	-	45	4 7/8"	
B3.1	3 5/8"	1 HR	UL U419	-	4 7/8"	
B3.2	3 5/8"	2 HR	UL U423	-	6 1/8"	
B6	6"	-	-	50	<varies>	<varies>
B6.1	6"	1 HR	UL U419	-	7 1/4"	



PARTITION TYPE 'CMU' SCHEDULE

TYPE MARK	CMU SIZE (NOMINAL)	FIRE RATING	TEST NUMBER	STC RATING	WIDTH	COMMENTS
8	8"	-	-	-	7 5/8"	
8.1	8"	1 HR	-	-	7 5/8"	
8.2	8"	2 HR	UL U906	-	7 5/8"	
10	10"	-	-	-	9 5/8"	
14.1	14"	1 HR	-	-	1'-1 5/8"	



PARTITION TYPE 'BR' SCHEDULE

TYPE MARK	STUD SIZE	FIRE RATING	TEST NUMBER	STC RATING	WIDTH	COMMENTS
BR3.1	3 5/8"	1 HR	UL U419	-	5 5/16"	

CODE REVIEW:

CERTIFICATE:



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 JOHN F. WRIGHT 21A01794200
 SPIEZIE ARCHITECTURAL GROUP, INC. 21A020083000

SEAL:

BID SET - 06/25/2024

PROJECT:

HADDONFIELD POLICE STATION
 1 WALNUT STREET, HADDONFIELD, NJ 08033
 FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
 520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:	REVISION NAME	DATE
1		

FOR BID: 06/25/2024

DRAWING TITLE:

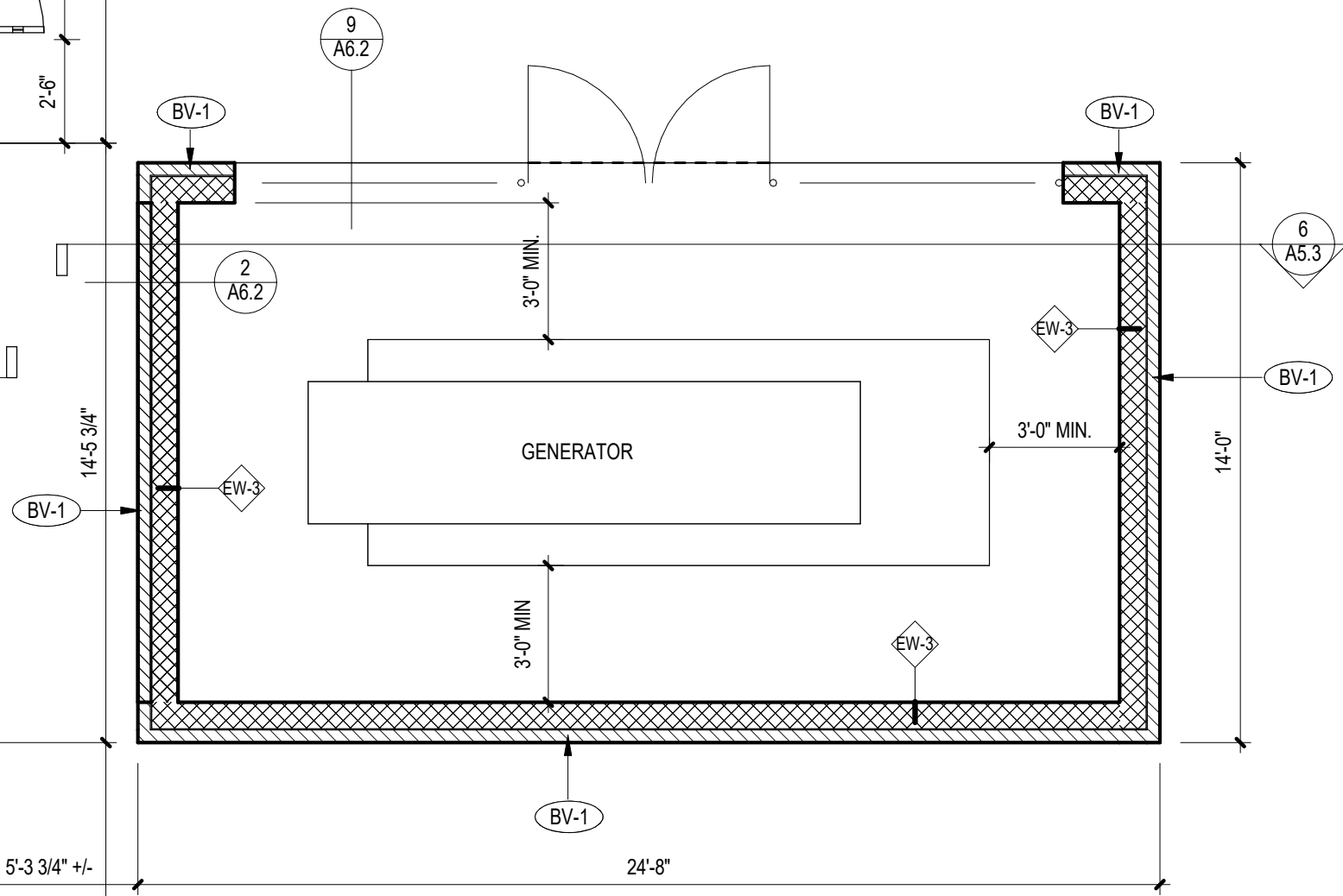
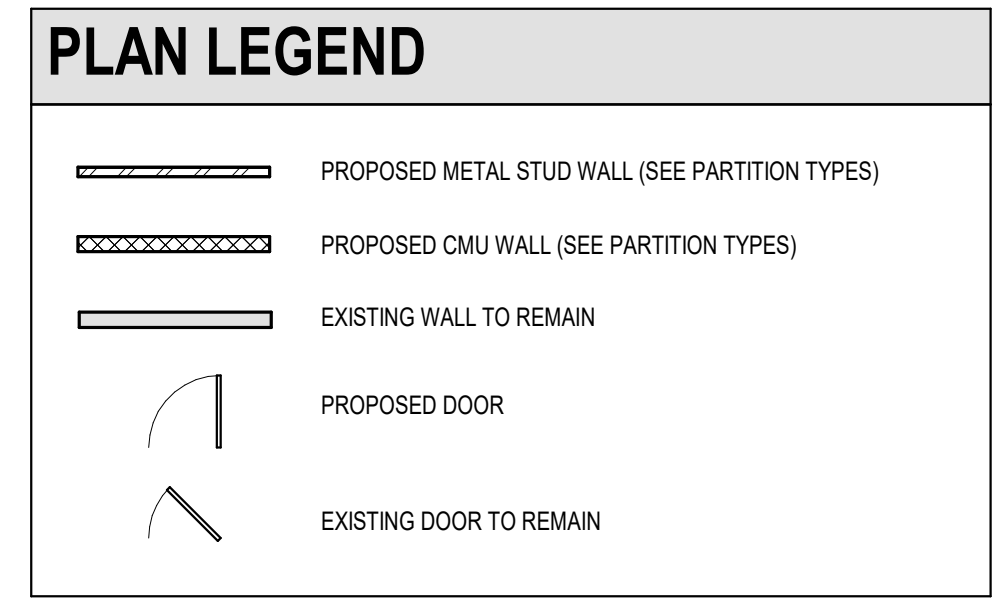
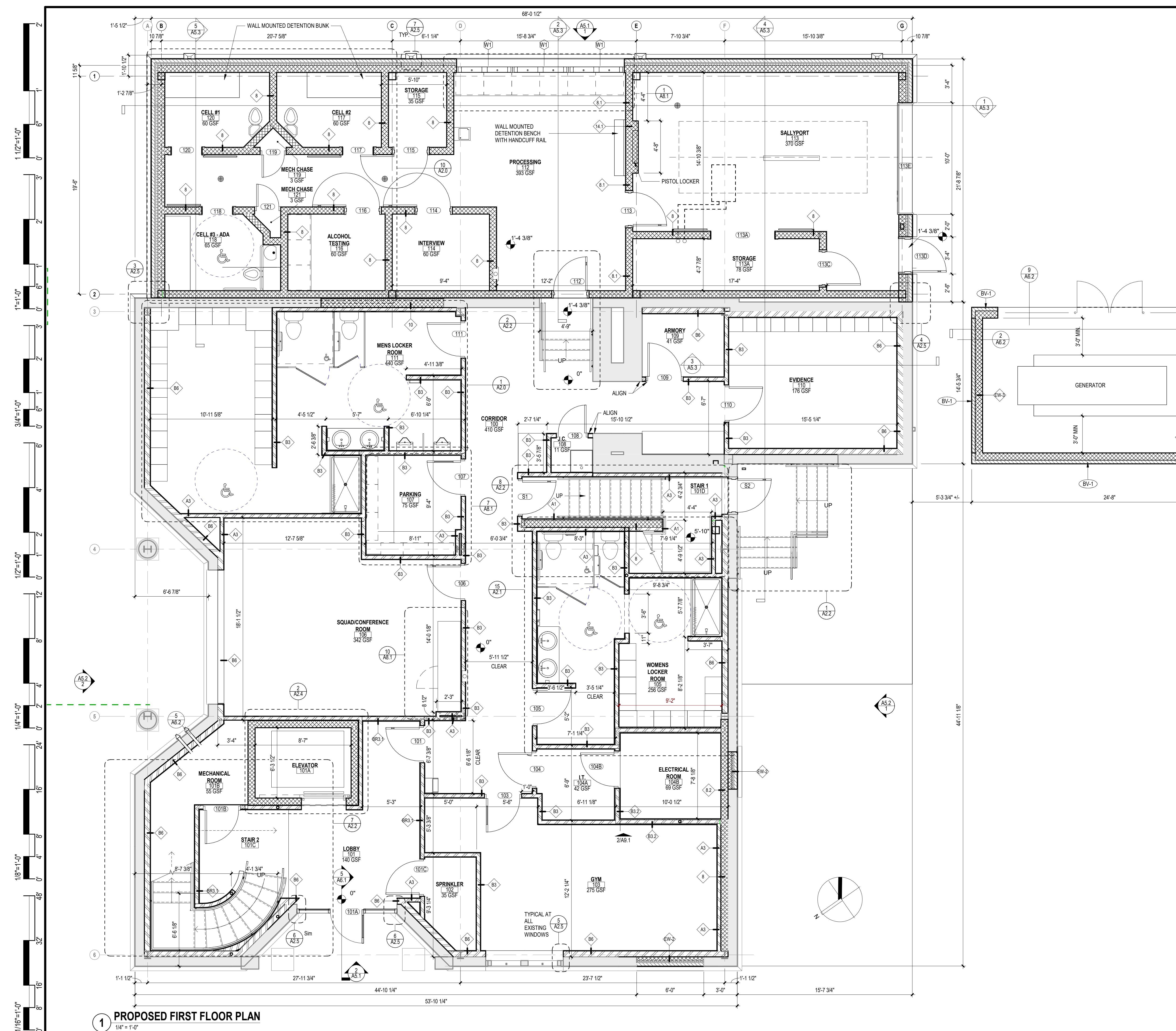
PARTITION TYPES AND DETAILS

COMMISSION NUMBER:
23M014

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:
A1.0

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"



- ### GENERAL NOTES
1. ELEVATION AT TOP OF FINISHED FLOOR SLAB SHALL BE REFERENCED AS DATUM ELEVATION 0'-0".
 2. DO NOT SCALE THE DRAWINGS. IF A DIMENSION IS UNCLEAR OR A DISCREPANCY IS FOUND IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 3. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO THE COMMENCEMENT OF WORK, WHERE FABRICATION IS REQUIRED, DIMENSIONS SHALL BE VERIFIED PRIOR TO THE PRODUCTION OF SHOP DRAWINGS.
 4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STATUTES, AND REGULATIONS IN PERFORMANCE OF THE WORK.
 5. REFER TO THE FIRE RESISTANCE DIRECTORY (LATEST EDITION) BY UNDERWRITERS LABORATORIES FOR THE REQUIREMENTS OF ALL SPECIFIED FIRE RATED ASSEMBLIES.
 6. DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED IN A SIMILAR MANNER OR BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. MODIFICATIONS MAY BE REQUIRED BY THE CONTRACTOR TO ACCOMMODATE FOR MINOR VARIATIONS IN THE WORK.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND INSTALLATION OF OWNER SUPPLIED EQUIPMENT AS IDENTIFIED IN THE DRAWINGS AND SPECIFICATIONS, INCLUDING THE RELOCATION OF EXISTING EQUIPMENT.
 8. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES AND COORDINATING WITH NEW WORK. ADVISE ARCHITECT/ENGINEER OF CONFLICTS PRIOR TO COMMENCEMENT OF WORK.
 9. ALL GRADING SHALL SLOPE AWAY FROM THE BUILDING.
 10. PRIOR TO POURING OF CONCRETE FOOTINGS, THE CONCRETE REINFORCEMENT STEEL SHALL BE GROUND AND BONDED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC) SECTION 250-50. A CONDUCTIVE REINFORCING BAR MEASURING AT LEAST 1/2" IN DIAMETER AND A MINIMUM OF 20 FEET IN LENGTH THAT IS ENCASED IN A MINIMUM OF 2" CONCRETE COVER SHALL SURFACE FOR USE AS AN ELECTRODE.
 11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE PROJECT AND SCHEDULING OF THE WORK CONDUCTED BY OTHER TRADES.
 12. THE CONTRACTOR SHALL CONSTRUCT CHASES AND/OR RECESSES AS SHOWN, AND AS REQUIRED TO CONCEAL THE WORK OF OTHER TRADES AS DIRECTED BY THE ARCHITECT TO MATCH ADJACENT CONSTRUCTION, REGARDLESS IF SHOWN ON THE DRAWINGS.
 13. THE CONTRACTOR SHALL INSTALL LOOSE LINTELS FOR ALL WALL PENETRATIONS WIDER THAN 6" AS A RESULT OF DUCT, PIPE OR OTHER EQUIPMENT INSTALLATIONS.
 14. ALL WALL AND FLOOR PENETRATIONS SHALL BE PATCHED AND SEALED BY THEIR RESPECTIVE TRADES.
 15. ALL FLOOR PENETRATIONS FOR PIPING AND CONDUIT SHALL BE SLEEVED AND SEALED.
 16. PARTITIONS SHALL BE LAID OUT STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONSTRUCTION IS SHOWN. UNLESS OTHERWISE NOTED, DIMENSIONS ARE TAKEN TO THE FACE OF WALLS/PARTITIONS.
 17. DIMENSIONS TO MASONRY CONSTRUCTION ARE GIVEN TO THE NOMINAL FACE OF THE WALL. EXTERIOR MASONRY DIMENSIONS ARE TAKEN TO THE NOMINAL FACE OF THE WALL, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS SHALL BE TAKEN FROM THE FINISHED FACE OF WALLS.
 18. WALLS OVERLAPPING COLUMN LINES SHALL BE ASSUMED CENTERED ON THE COLUMN UNLESS OTHERWISE INDICATED.
 19. THE CONTRACTOR SHALL FURNISH AND INSTALL BLOCKING IN FRAMED WALL ASSEMBLIES WHERE WALL MOUNTED ACCESSORIES, CABINETS OR OTHER ACCESSORIES ARE INDICATED.
 20. TERMINATE ALL INTERIOR WALLS TO THE UNDERSIDE OF DECKING, UNLESS OTHERWISE NOTED OR INDICATED BY SPECIFIC PARTITION TYPES.
 21. ALL OUTSIDE CMU CORNERS OF INTERIOR WALLS SHALL BE BULLNOSED, UNLESS OTHERWISE NOTED.
 22. PROVIDE ANGLED BLOCKS AND BRICKS FOR OUTSIDE CORNERS OF MASONRY WALLS OR OTHER SPECIAL SHAPES AVAILABLE FROM MANUFACTURER.
 23. REFER TO ROOM FINISH LEGEND AND PROJECT SPECIFICATIONS FOR FINISH REQUIREMENTS.

1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

CODE REVIEW:

CERTIFICATE:



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121 MARKET STREET
CAMDEN, NJ 08102
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ANGILO ALBERTO 21A01960700
JOHN F. WRIGHT 21A01784200
SPIEZE ARCHITECTURAL GROUP, INC. 21A020003000

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FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION NAME	DATE

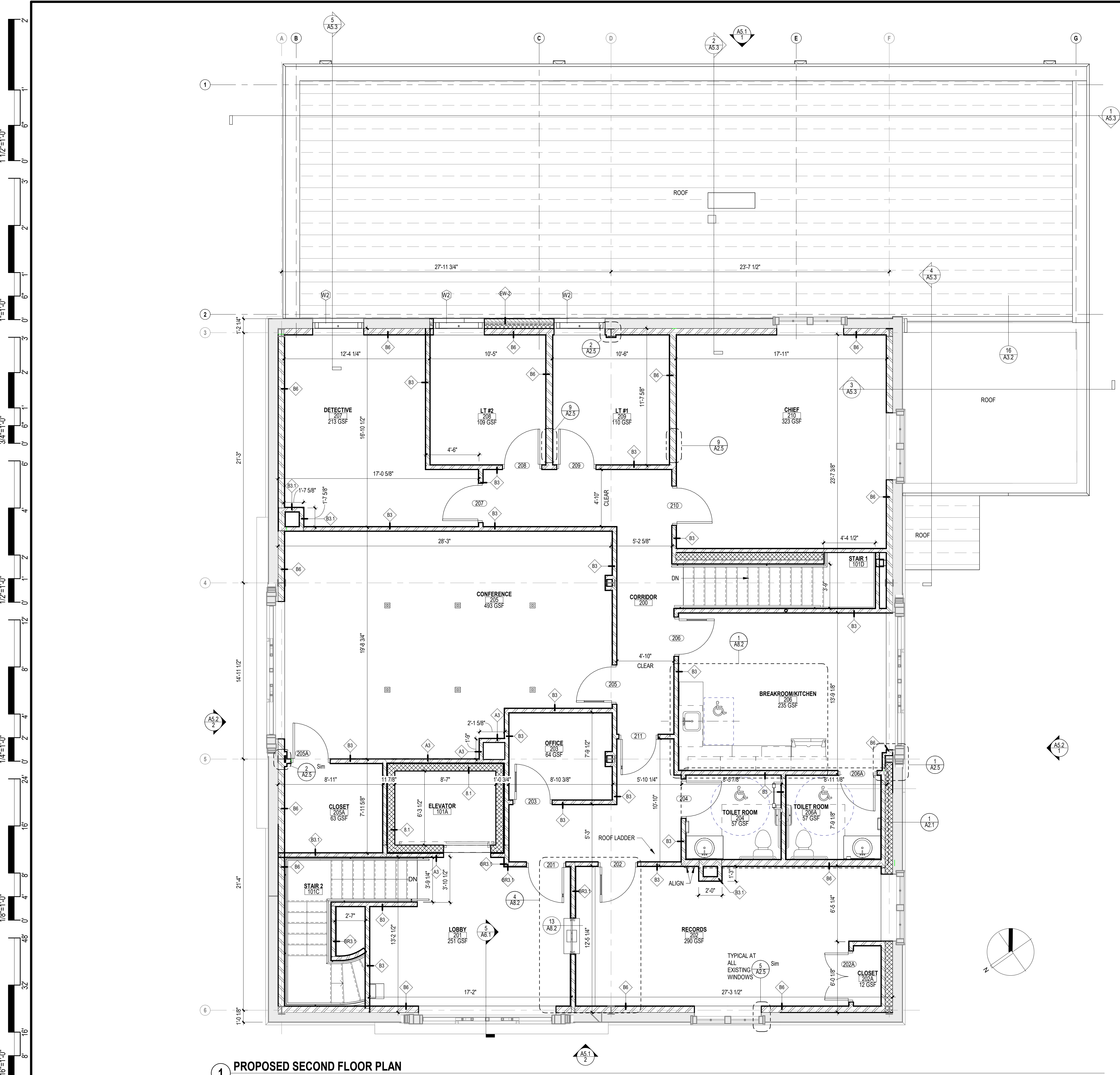
FOR BID: 06/25/2024

DRAWING TITLE:
FIRST FLOOR PLAN

COMMISSION NUMBER:
23M014

DO NOT SCALE THE DRAWINGS
DRAWING NUMBER:
A1.1

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"



1 PROPOSED SECOND FLOOR PLAN

PLAN LEGEND

- PROPOSED METAL STUD WALL (SEE PARTITION TYPES)
- PROPOSED CMU WALL (SEE PARTITION TYPES)
- EXISTING WALL TO REMAIN
- PROPOSED DOOR
- EXISTING DOOR TO REMAIN

GENERAL NOTES

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2. DO NOT SCALE THE DRAWINGS. IF A DIMENSION IS UNCLEAR OR A DISCREPANCY IS FOUND IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
3. ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO THE COMMENCEMENT OF WORK. WHERE FABRICATION IS REQUIRED, DIMENSIONS SHALL BE VERIFIED PRIOR TO THE PRODUCTION OF SHOP DRAWINGS.
4. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STATUTES, AND REGULATIONS IN PERFORMANCE OF THE WORK.
5. REFER TO THE FIRE RESISTANCE DIRECTORY (LATEST EDITION) BY UNDERWRITER'S LABORATORIES FOR THE REQUIREMENTS OF ALL SPECIFIED FIRE RATED ASSEMBLIES.
6. DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED IN A SIMILAR MANNER OR BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. MODIFICATIONS MAY BE REQUIRED BY THE CONTRACTOR TO ACCOMMODATE FOR MINOR VARIATIONS IN THE WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND INSTALLATION OF OWNER SUPPLIED EQUIPMENT AS IDENTIFIED IN THE DRAWINGS AND SPECIFICATIONS, INCLUDING THE RELOCATION OF EXISTING EQUIPMENT.
8. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES AND COORDINATING WITH NEW WORK. ADVISE ARCHITECT/ENGINEER OF CONFLICTS PRIOR TO COMMENCEMENT OF WORK.
9. ALL GRADING SHALL SLOPE AWAY FROM THE BUILDING.
10. PRIOR TO POURING OF CONCRETE FOOTINGS, THE CONCRETE REINFORCEMENT STEEL SHALL BE GROUNDED AND BONDED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC) SECTION 250-50. A CONDUCTIVE REINFORCING BAR MEASURING AT LEAST 1/2" IN DIAMETER AND A MINIMUM OF 20 FEET IN LENGTH THAT IS ENCASED IN A MINIMUM OF 2" CONCRETE COVER SHALL SUFFICE FOR USE AS AN ELECTRODE.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE PROJECT AND SCHEDULING OF THE WORK CONDUCTED BY OTHER TRADES.
12. THE CONTRACTOR SHALL CONSTRUCT CHASES AND/OR RECESSES AS SHOWN, AND AS REQUIRED TO CONCEAL THE WORK OF OTHER TRADES AS DIRECTED BY THE ARCHITECT TO MATCH ADJACENT CONSTRUCTION, REGARDLESS IF SHOWN ON THE DRAWINGS.
13. THE CONTRACTOR SHALL INSTALL LOOSE LINTELS FOR ALL WALL PENETRATIONS WIDER THAN 6" AS A RESULT OF DUCT, PIPE OR OTHER EQUIPMENT INSTALLATIONS.
14. ALL WALL AND FLOOR PENETRATIONS SHALL BE PATCHED AND SEALED BY THEIR RESPECTIVE TRADES.
15. ALL FLOOR PENETRATIONS FOR PIPING AND CONDUIT SHALL BE SLEEVED AND SEALED. PARTITIONS SHALL BE LAID OUT STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONSTRUCTION IS SHOWN. UNLESS OTHERWISE NOTED, DIMENSIONS ARE TAKEN TO THE FACE OF WALLS/PARTITIONS.
16. DIMENSIONS TO MASONRY CONSTRUCTION ARE GIVEN TO THE NOMINAL FACE OF THE WALL. EXTERIOR MASONRY DIMENSIONS ARE TAKEN TO THE NOMINAL FACE OF THE WALL, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS SHALL BE TAKEN FROM THE FINISHED FACE OF WALLS.
17. WALLS OVERLAPPING COLUMN LINES SHALL BE ASSUMED CENTERED ON THE COLUMN UNLESS OTHERWISE INDICATED.
18. THE CONTRACTOR SHALL FURNISH AND INSTALL BLOCKING IN FRAMED WALL ASSEMBLIES WHERE WALL MOUNTED ACCESSORIES, CABINETS OR OTHER ACCESSORIES ARE INDICATED.
19. TERMINATE ALL INTERIOR WALLS TO THE UNDERSIDE OF DECKING, UNLESS OTHERWISE NOTED OR INDICATED BY SPECIFIC PARTITION TYPES.
20. ALL OUTSIDE CMU CORNERS OF INTERIOR WALLS SHALL BE BULLNOSED, UNLESS OTHERWISE NOTED.
21. PROVIDE ANGLED BLOCKS AND BRICKS FOR OUTSIDE CORNERS OF MASONRY WALLS OR OTHER SPECIAL SHAPES AVAILABLE FROM MANUFACTURER.
22. REFER TO ROOM FINISH LEGEND AND PROJECT SPECIFICATIONS FOR FINISH REQUIREMENTS.

CODE REVIEW:

CERTIFICATE:



SPIEZZE ARCHITECTURAL GROUP INC.
121 MARKET STREET
CAMDEN, NJ 08102
PHONE: (856) 974 7666

SIGNATURE:
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SCOTT E. DOWNE 21A01971400
STEVEN L. HOWE 21A01971500
STEVEN G. SIEGEL 21A01984200
ANGILO ALBERTO 21A01986700
JOHN F. WRIGHT 21A01994200
SPIEZZE ARCHITECTURAL GROUP, INC. 21A02008300

SEAL:

BID SET - 06/25/2024

PROJECT:
HADDONFIELD POLICE STATION
1 WALNUT STREET, HADDONFIELD, NJ 08033
FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION NAME	DATE
A	

FOR BID: 06/25/2024

DRAWING TITLE:
SECOND FLOOR PLAN

COMMISSION NUMBER:
23M014

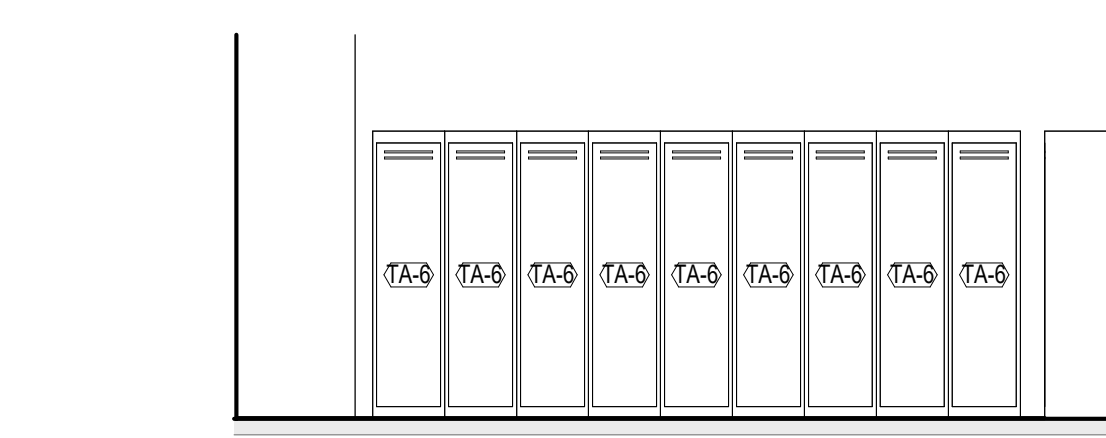
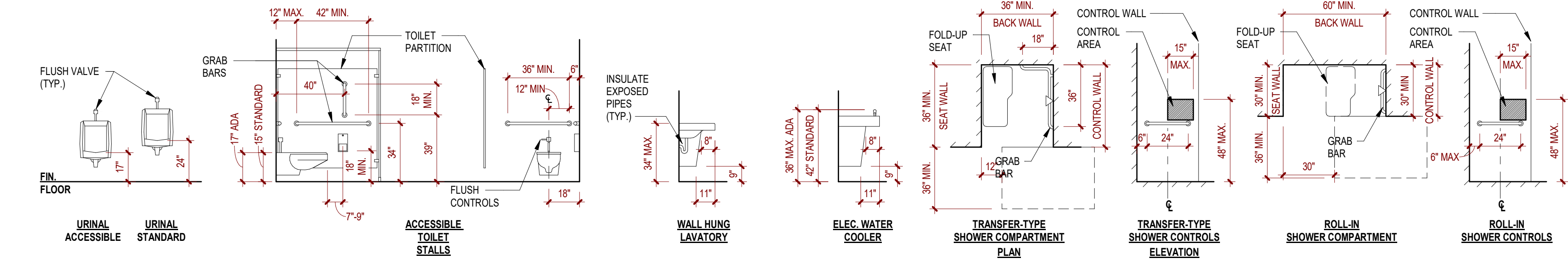
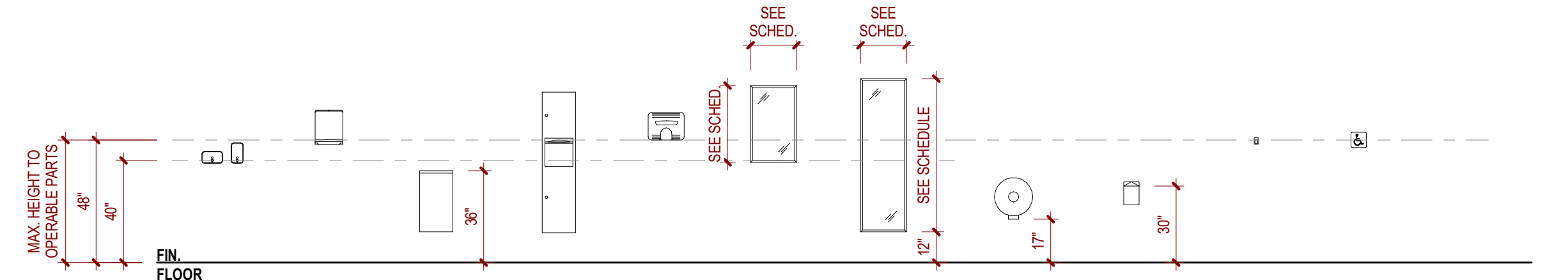
DO NOT SCALE THE DRAWINGS
DRAWING NUMBER:
A1.2

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"

STANDARD TOILET ACCESSORY MOUNTING HEIGHTS

NOTES:

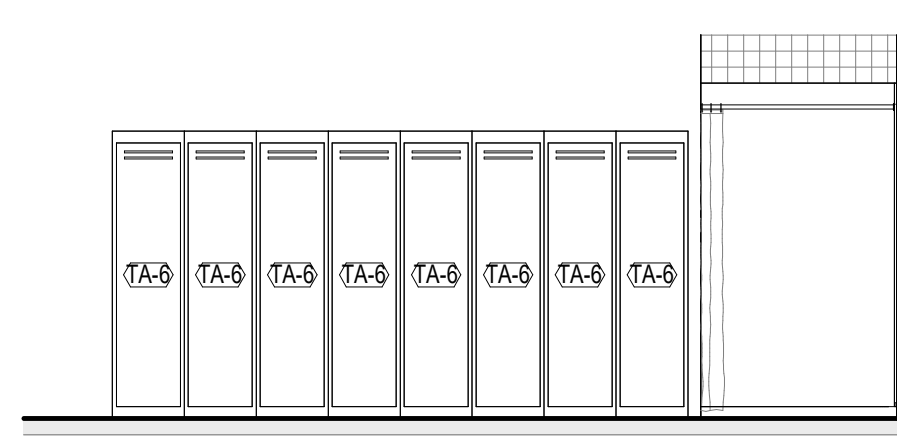
1. FIXTURES AND ACCESSORIES SHOWN IN THIS DIAGRAM ARE SHOWN AS A REFERENCE FOR LOCATING FIXTURES AND ACCESSORIES ONLY. ACTUAL SPECIFIED FIXTURES MAY DIFFER FROM WHAT IS SHOWN. CONTRACTOR SHALL COORDINATE INDICATED DIMENSIONS WITH SPECIFIED ACCESSORIES. NOT ALL ACCESSORIES MAY BE USED.
2. FIXTURES SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODES AND REGULATIONS.
3. WRAP ALL EXPOSED PIPING.
4. HEIGHT OF WATER CLOSETS ARE MEASURED FROM FINISHED FLOOR TO THE TOP OF THE SEAT.
5. DISPENSERS SHALL BE 1'-1/2" MINIMUM BELOW OR 12" MINIMUM ABOVE GRAB BAR (TYP.)
6. AT FRAMED WALL ASSEMBLIES WHETHER INDICATED OR NOT, PROVIDE IN-WALL BLOCKING WITH WOOD OR METAL STRAPPING IN FRAMED CONSTRUCTION TO SUPPORT TOILET ACCESSORIES. VERIFY SUBSTRATES AND PROVIDE BLOCKING AS RECOMMENDED BY THE ACCESSORY MANUFACTURER TO ADEQUATELY SUPPORT THE DESIGN LOADS REQUIRED FOR EACH ACCESSORY AND AS REQUIRED TO MAINTAIN PRODUCT WARRANTY.



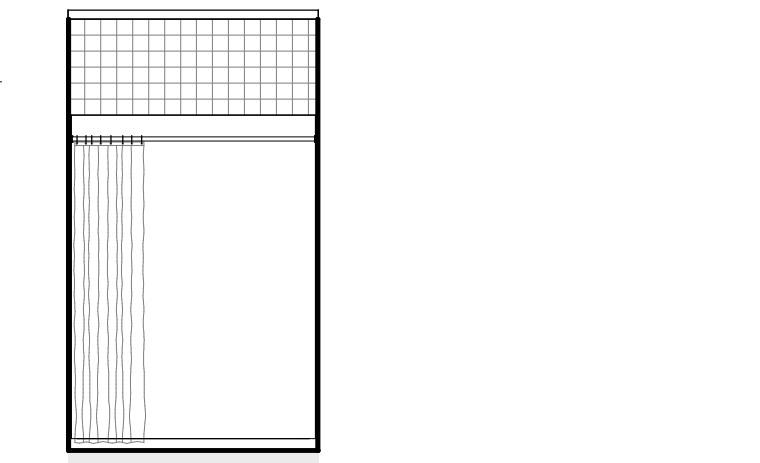
6 MENS LOCKER ROOM ELEVATION
1/4" = 1'-0"



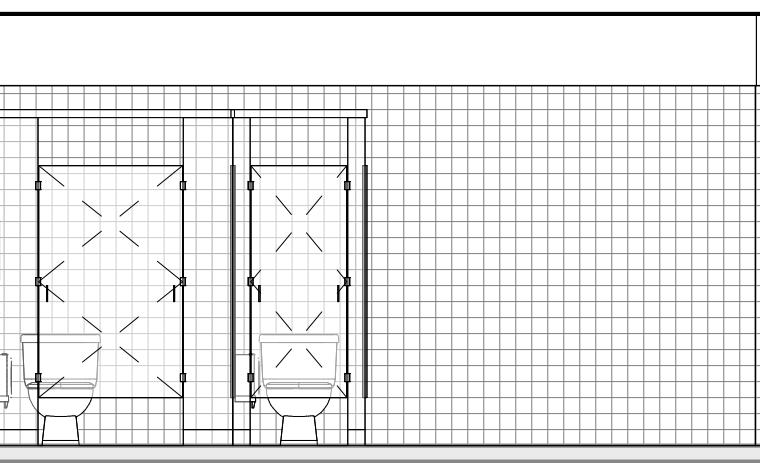
7 MENS LOCKER ROOM ELEVATION
1/4" = 1'-0"



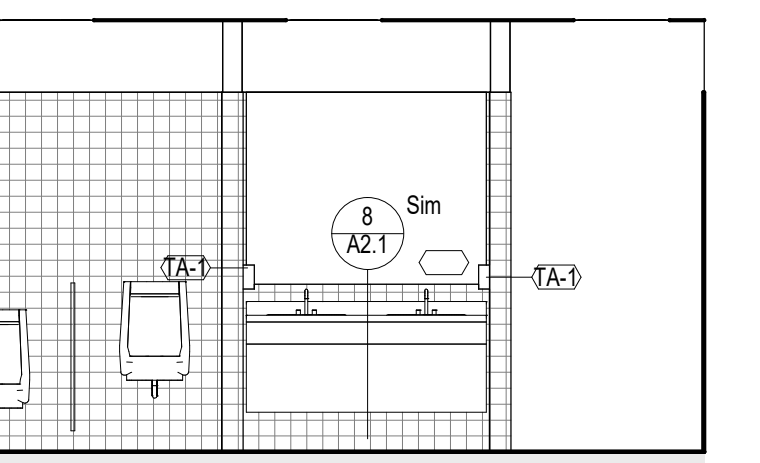
8 MENS LOCKER ROOM ELEVATION
1/4" = 1'-0"



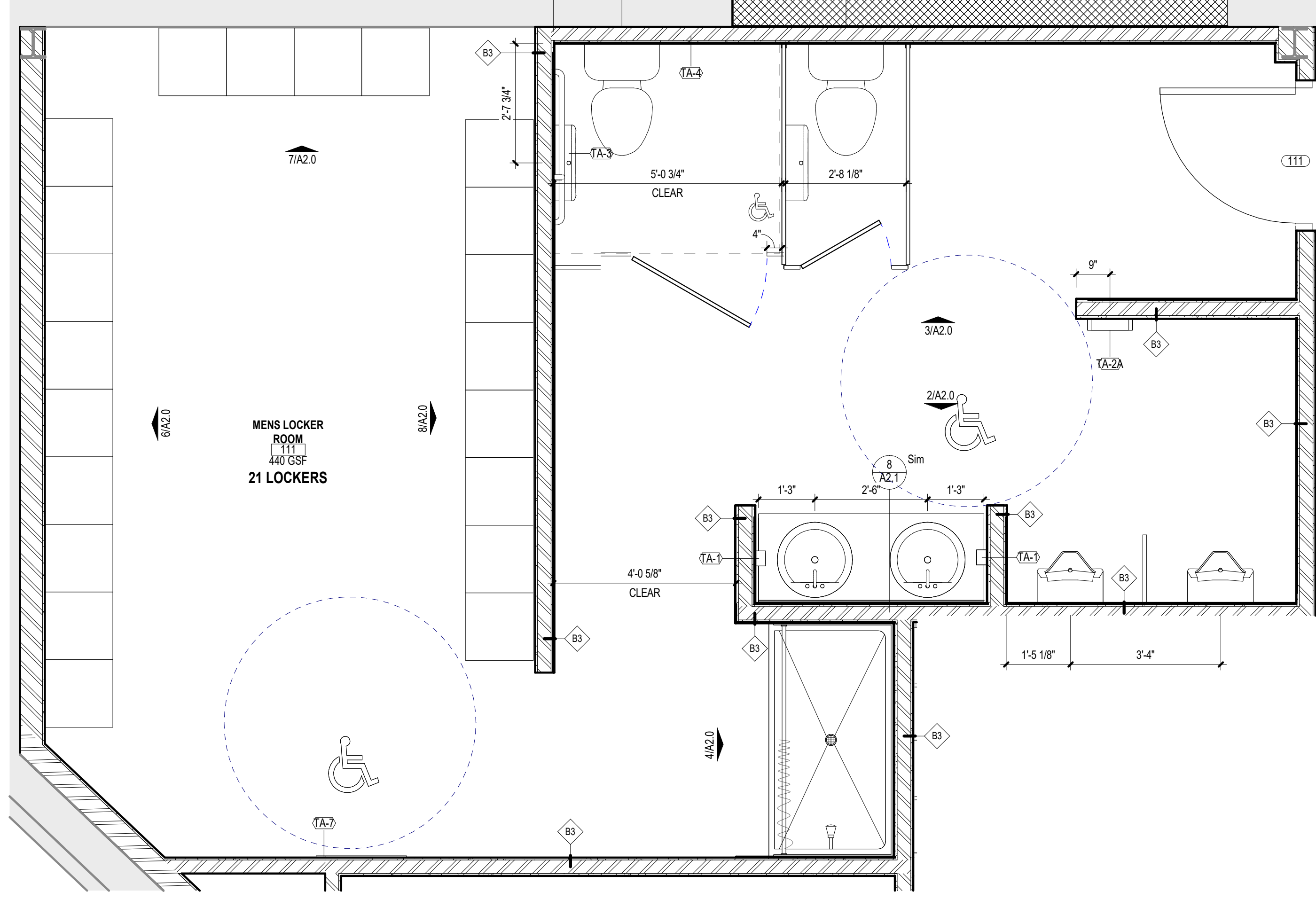
4 MENS LOCKER ROOM ELEVATION
1/4" = 1'-0"



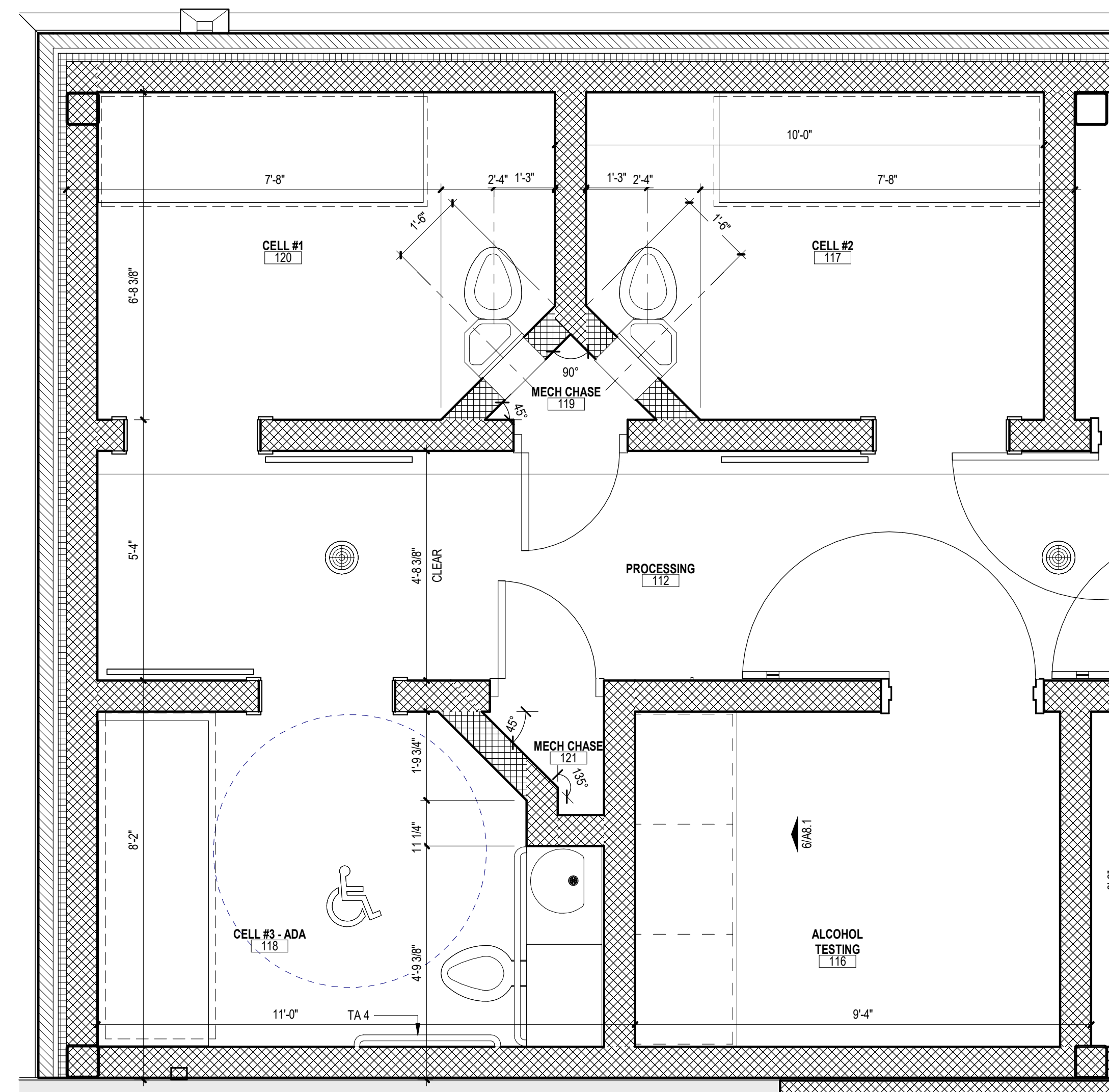
3 MENS LOCKER ROOM ELEVATION
1/4" = 1'-0"



2 MENS LOCKER ROOM ELEVATION
1/4" = 1'-0"



1 MENS LOCKER ROOM ENLARGED PLAN
1/2" = 1'-0"



10 CELLS ENLARGED PLAN
1/2" = 1'-0"

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SEAL:

BID SET - 06/25/2024

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HADDONFIELD POLICE STATION
1 WALNUT STREET, HADDONFIELD, NJ 08033
FOR
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520 MARKET STREET, 6TH FLOOR,
CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION NAME	DATE

FOR BID: 06/25/2024

DRAWING TITLE:

TOILET ROOM PLANS AND ELEVATIONS

COMMISSION NUMBER:

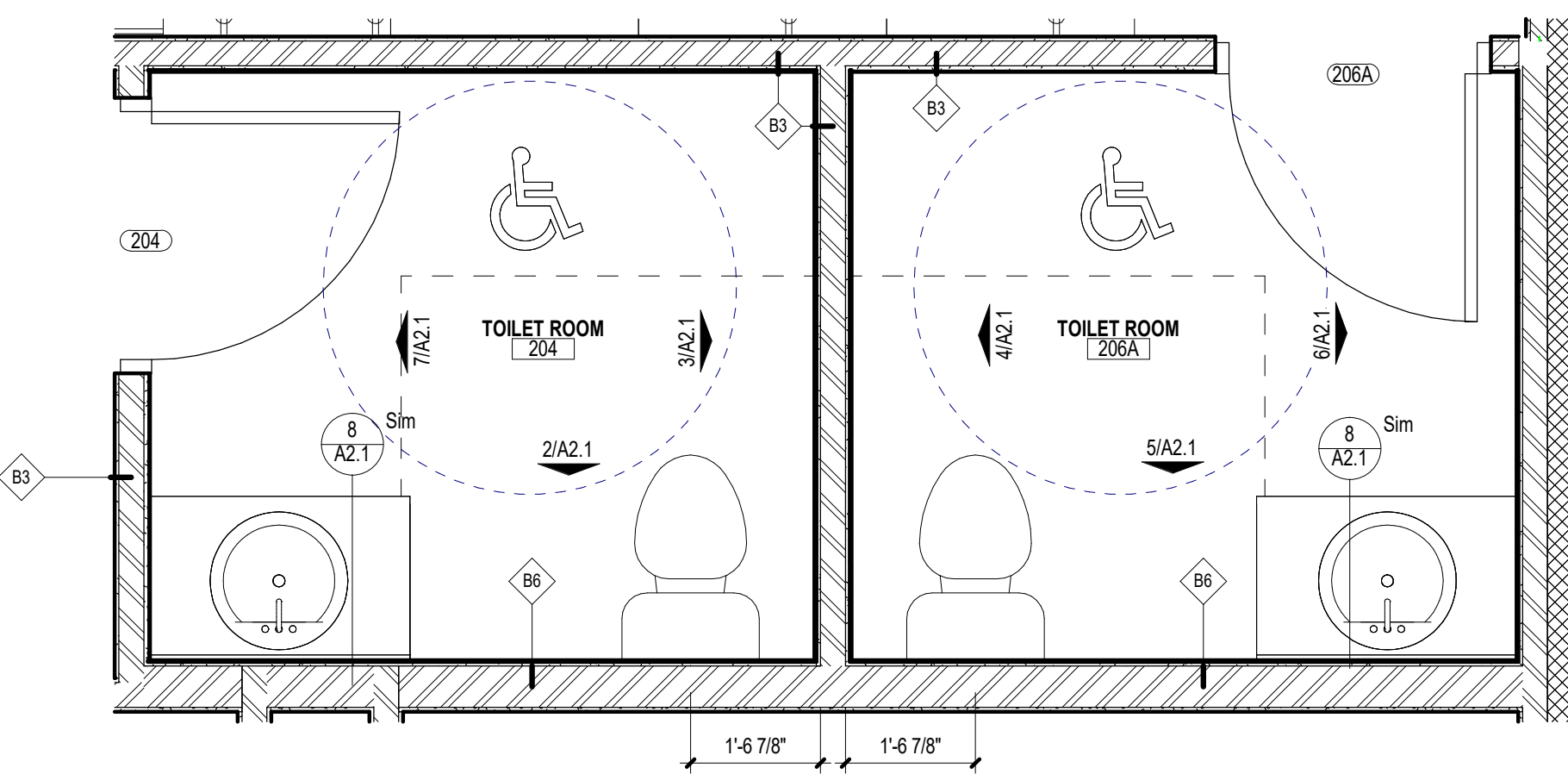
23M014

DO NOT SCALE THE DRAWINGS

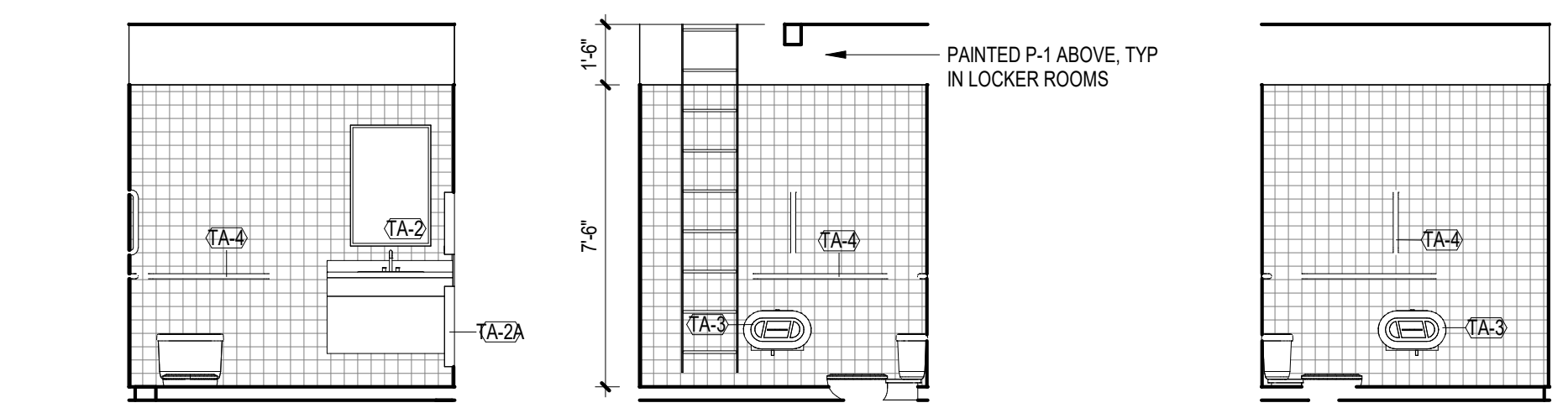
DRAWING NUMBER:

A2.0

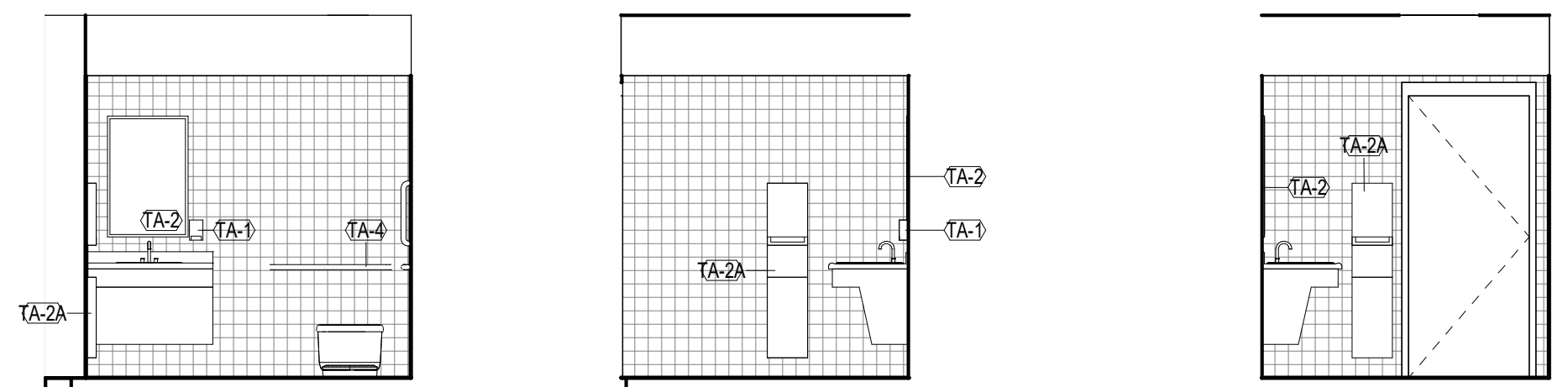
1 1/2" = 1'-0"
 1" = 1'-0"
 3/4" = 1'-0"
 1/2" = 1'-0"
 3/8" = 1'-0"
 1/4" = 1'-0"
 1/8" = 1'-0"
 1/16" = 1'-0"



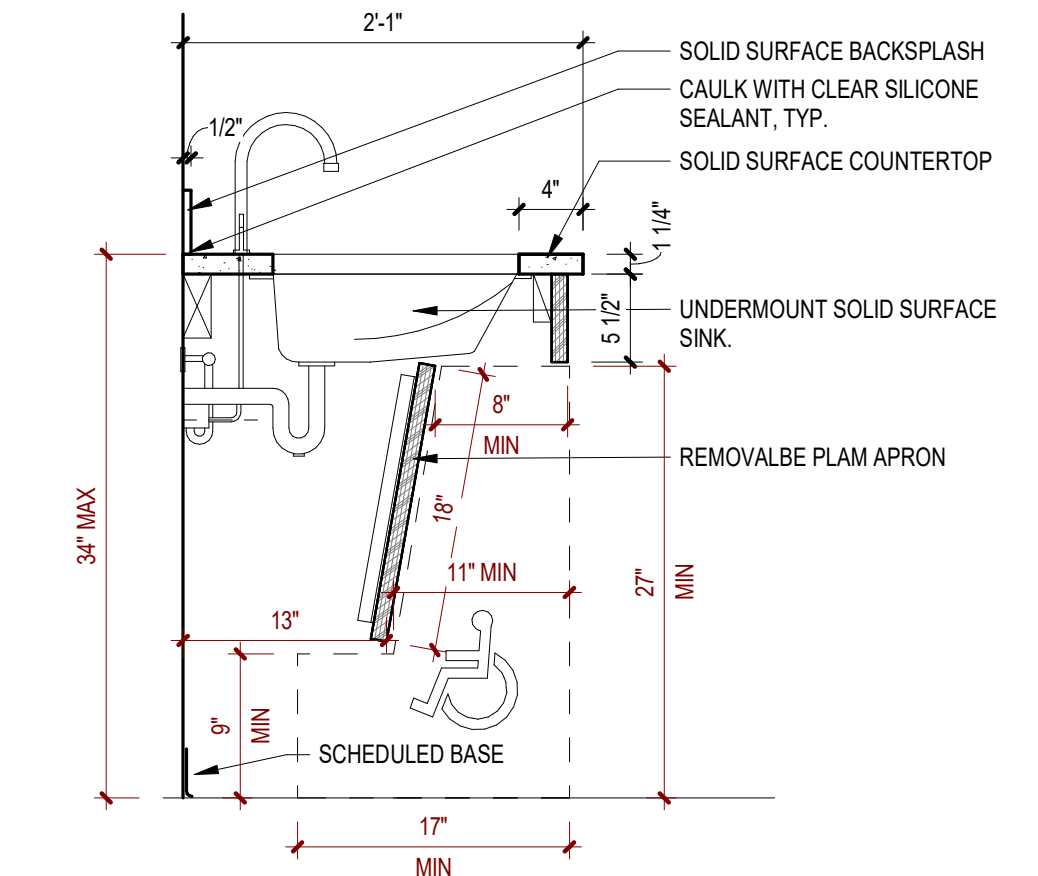
1 SECOND FLOOR TOILET ROOM PLAN
 1/2" = 1'-0"



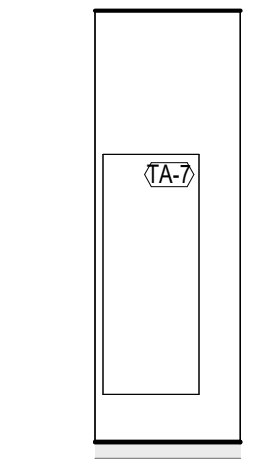
2 TOILET ROOM ELEVATION 1/4" = 1'-0"
 3 TOILET ROOM ELEVATION 1/4" = 1'-0"
 4 TOILET ROOM ELEVATION 1/4" = 1'-0"



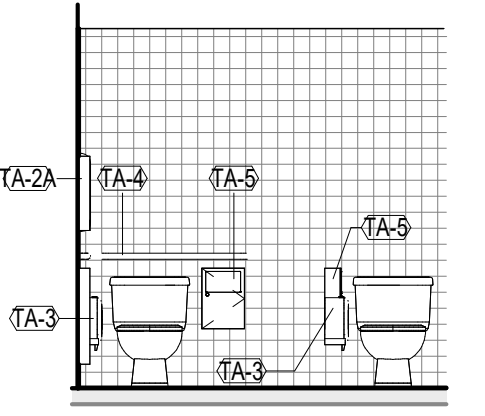
5 TOILET ROOM ELEVATION 1/4" = 1'-0"
 6 TOILET ROOM ELEVATION 1/4" = 1'-0"
 7 TOILET ROOM ELEVATION 1/4" = 1'-0"



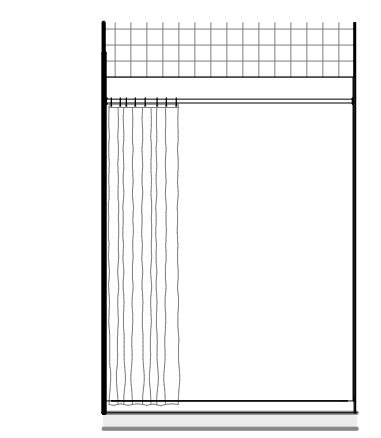
8 ADA SINK SECTION
 1" = 1'-0"



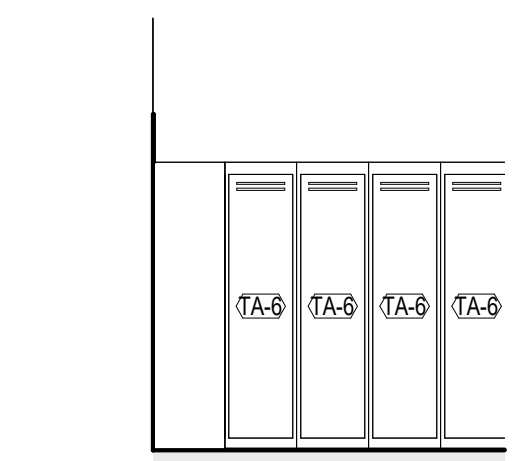
9 WOMENS LOCKER ROOM ELEVATION
 1/4" = 1'-0"



10 WOMENS LOCKER ROOM ELEVATION
 1/4" = 1'-0"

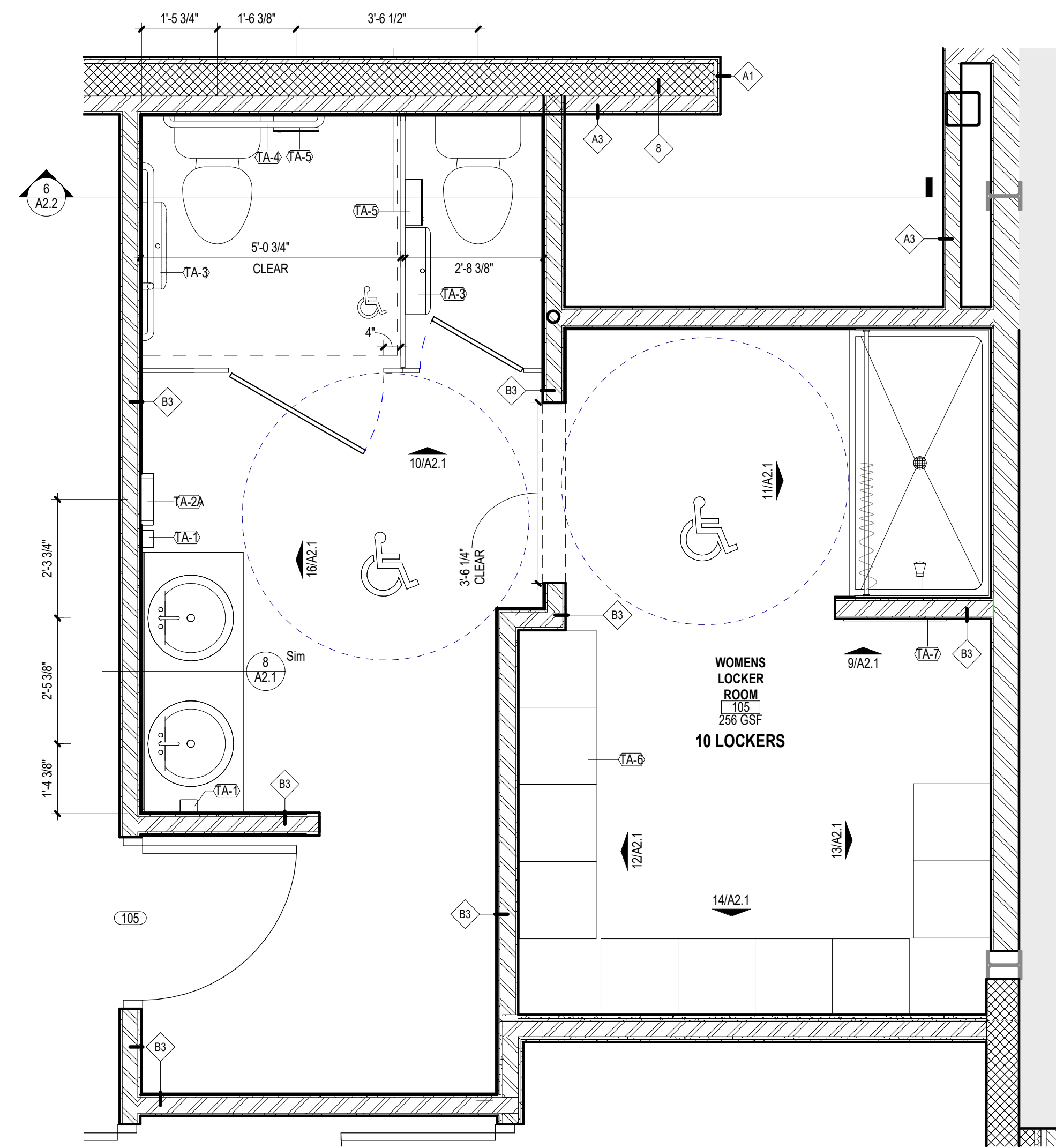


11 WOMENS LOCKER ROOM ELEVATION
 1/4" = 1'-0"

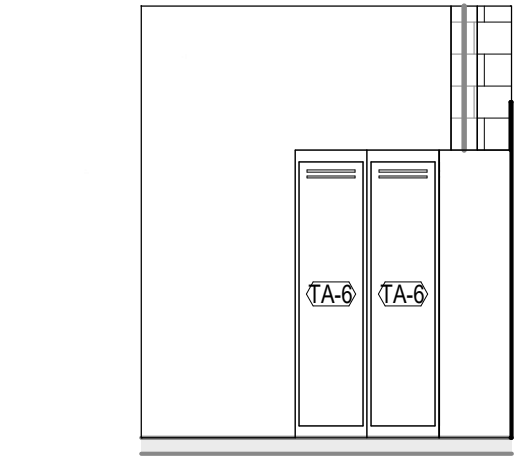


12 WOMENS LOCKER ROOM ELEVATION
 1/4" = 1'-0"

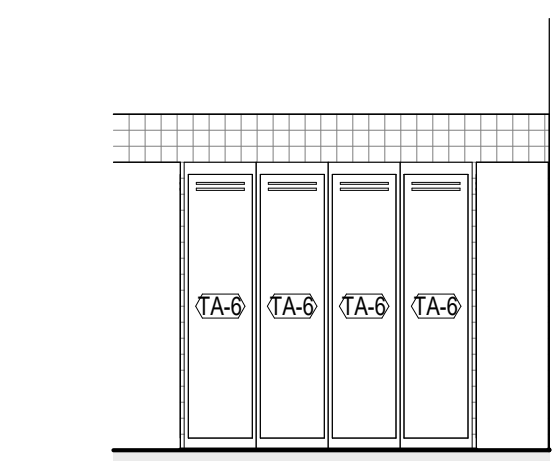
TOILET ACCESSORY LEGEND						
I	DESCRIPTION	MOUNTING TYPE	MANUF.	MODEL #	FURNISHED BY	INSTALLED BY
TA-1	SOAP DISPENSER	SURFACE			CONTRACTOR	CONTRACTOR
TA-2	Bobrick B-2908 2436 Tempered Glass Welded Frame Mirror	WALL MOUNT	Bobrick Washroom Equipment, Inc.	B-2908 2436	CONTRACTOR	CONTRACTOR
TA-2A	Paper Towel Dispenser with Trash Receptacle	WALL MOUNT			CONTRACTOR	CONTRACTOR
TA-3	Bobrick B-2892 Classic Series Surface Mounted Twin Jumbo-Roll Toilet Tissue Dispenser	SURFACE	Bobrick Washroom Equipment, Inc.	B-2892	CONTRACTOR	CONTRACTOR
TA-4	GRAB BARS	SURFACE	BOBRICK	5806.99	CONTRACTOR	CONTRACTOR
TA-5	Bobrick B-254 Surface Mounted Sanitary Napkin Disposal	SURFACE	Bobrick Washroom Equipment, Inc.	B-254	CONTRACTOR	CONTRACTOR
TA-6	18X18 FLOOR MOUNTED LOCKERS	FLOOR			CONTRACTOR	CONTRACTOR
TA-7	2X5 Dressing Mirror	WALL MOUNT			CONTRACTOR	CONTRACTOR



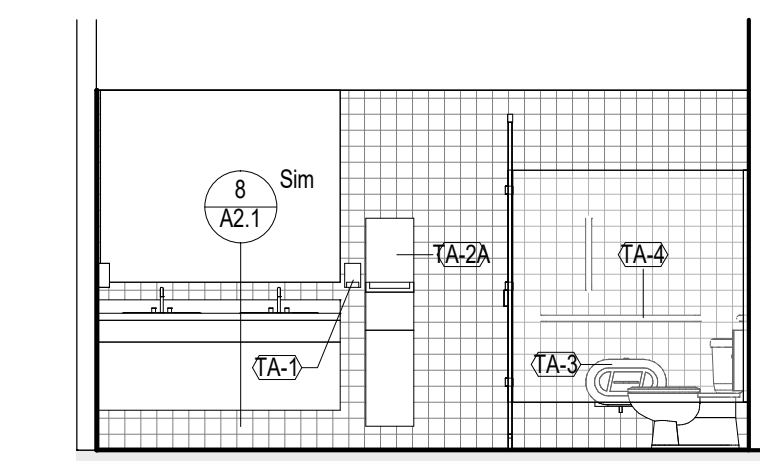
15 WOMENS LOCKER ROOM ENLARGED PLAN
 1/2" = 1'-0"



13 WOMENS LOCKER ROOM ELEVATION
 1/4" = 1'-0"



14 WOMENS LOCKER ROOM ELEVATION
 1/4" = 1'-0"



16 WOMENS LOCKER ROOM ELEVATION
 1/4" = 1'-0"

CODE REVIEW:

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 121 MARKET STREET
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 SCOTT E. DOWNE 21A01974400
 STEVEN L. LEONE 21A01971000
 STEVEN G. SPIEGL 21A01984200
 ANGELO ALBERTO 21A01986700
 JOHN F. WRIGHT 21A01984200
 SPIEZE ARCHITECTURAL GROUP, INC. 21A020083000

SEAL:

BID SET - 06/25/2024

PROJECT:

HADDONFIELD POLICE STATION
 1 WALNUT STREET, HADDONFIELD, NJ 08033
 FOR
 CAMDEN COUNTY IMPROVEMENT AUTHORITY
 520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION NAME	DATE

FOR BID: 06/25/2024

DRAWING TITLE:

TOILET ROOM PLANS AND ELEVATIONS

COMMISSION NUMBER:
 23M014

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:
 A2.1

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"X36"

CERTIFICATE:



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JOHN F. WRIGHT 21A01984200
SPIEZLE ARCHITECTURAL GROUP, INC. 21A020003000

SEAL:

BID SET - 06/25/2024

PROJECT:

HADDONFIELD POLICE STATION

1 WALNUT STREET, HADDONFIELD, NJ 08033

FOR

CAMDEN COUNTY IMPROVEMENT AUTHORITY

520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION NAME	DATE
A	

FOR BID: 06/25/2024

DRAWING TITLE:

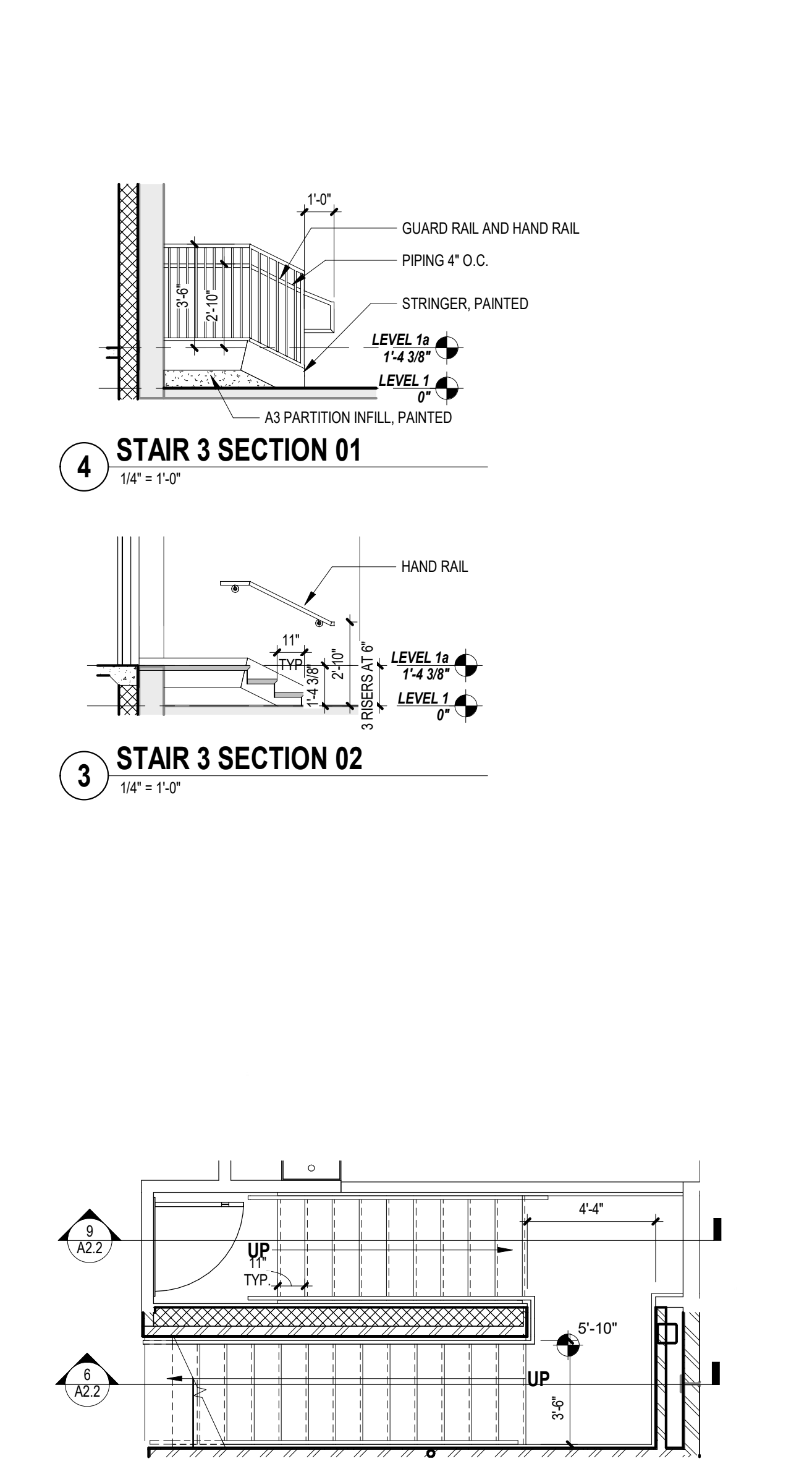
STAIR PLANS AND DETAILS

COMMISSION NUMBER: 23M014

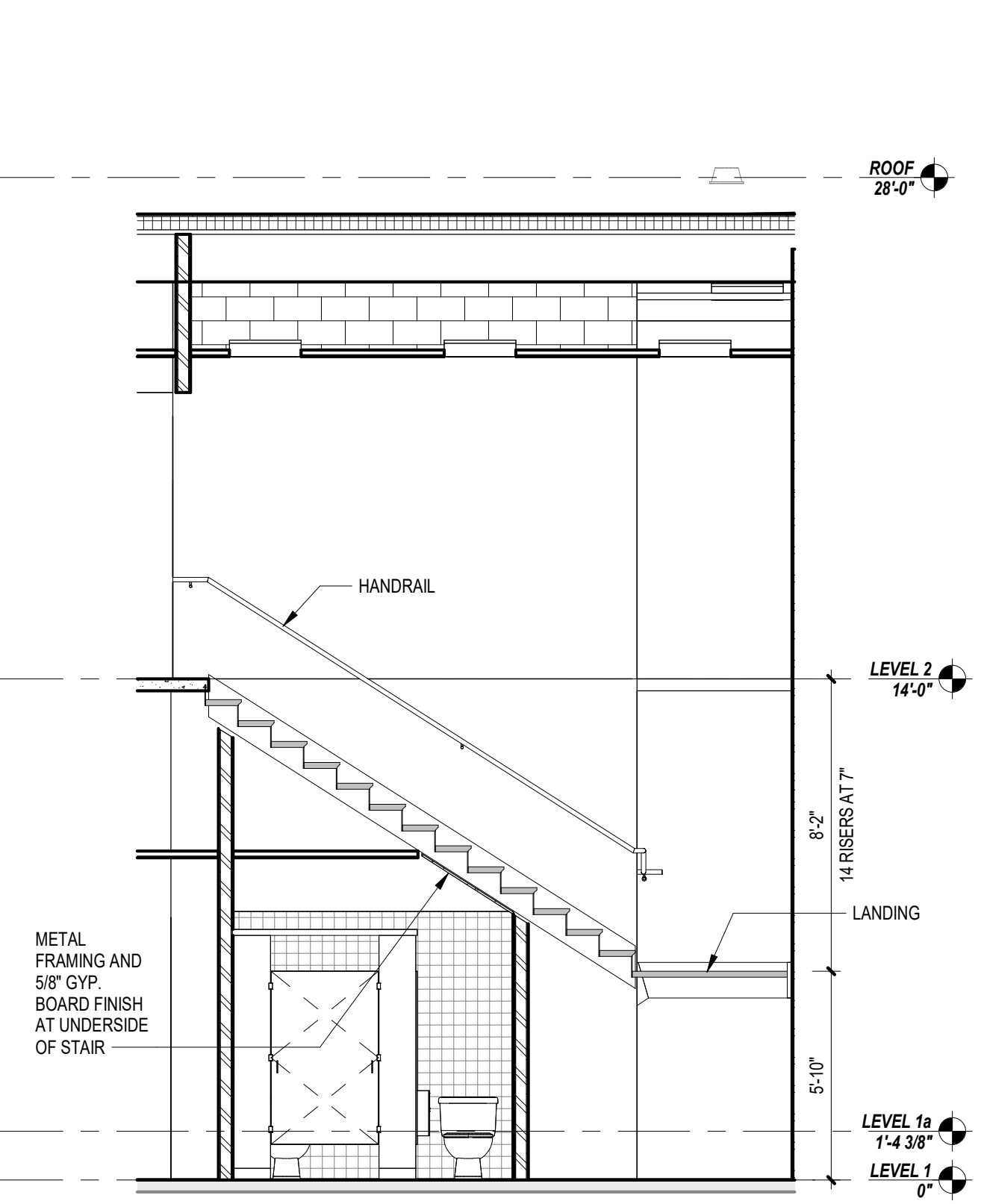
DO NOT SCALE THE DRAWINGS

DRAWING NUMBER: A2.2

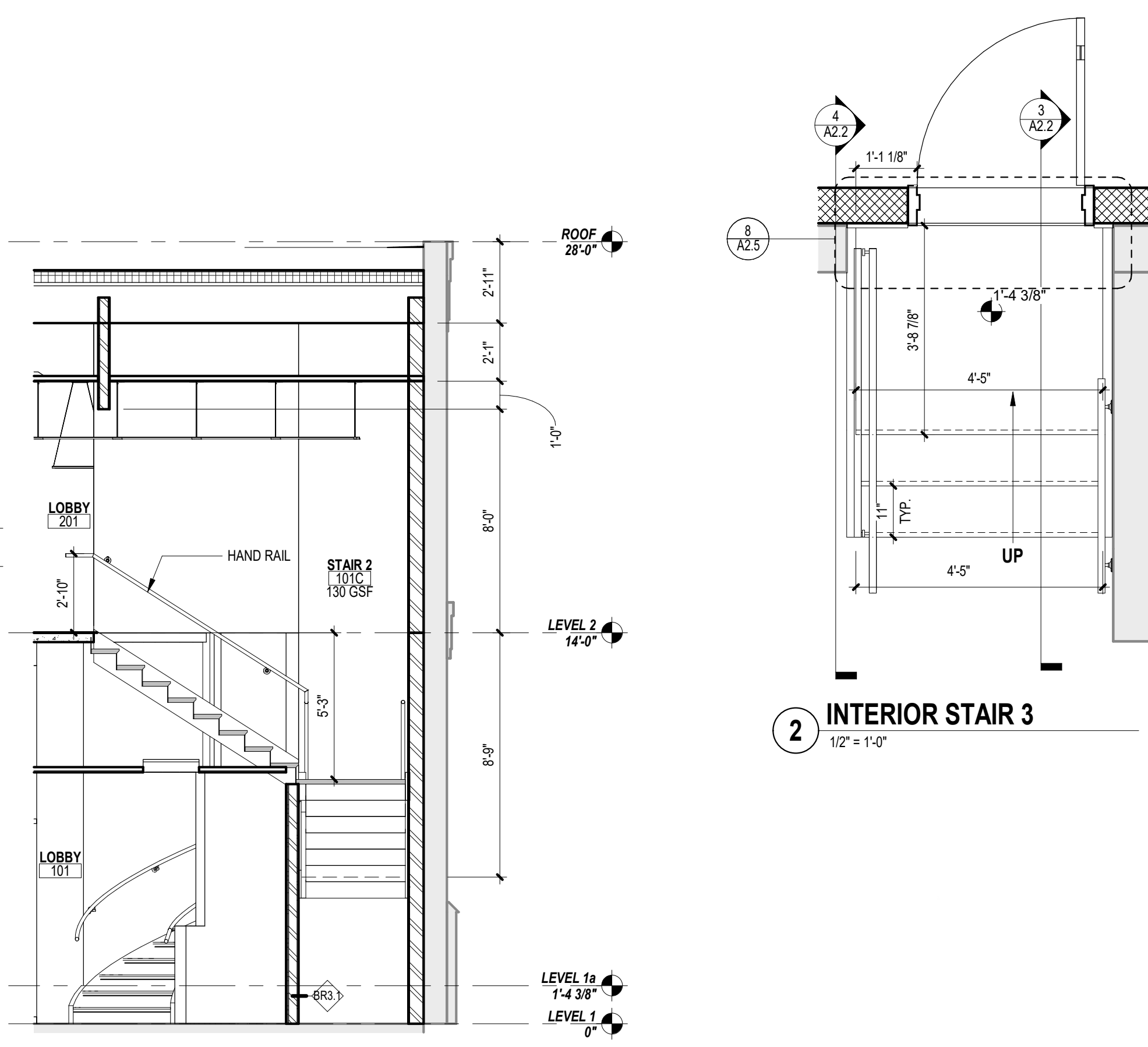
THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"



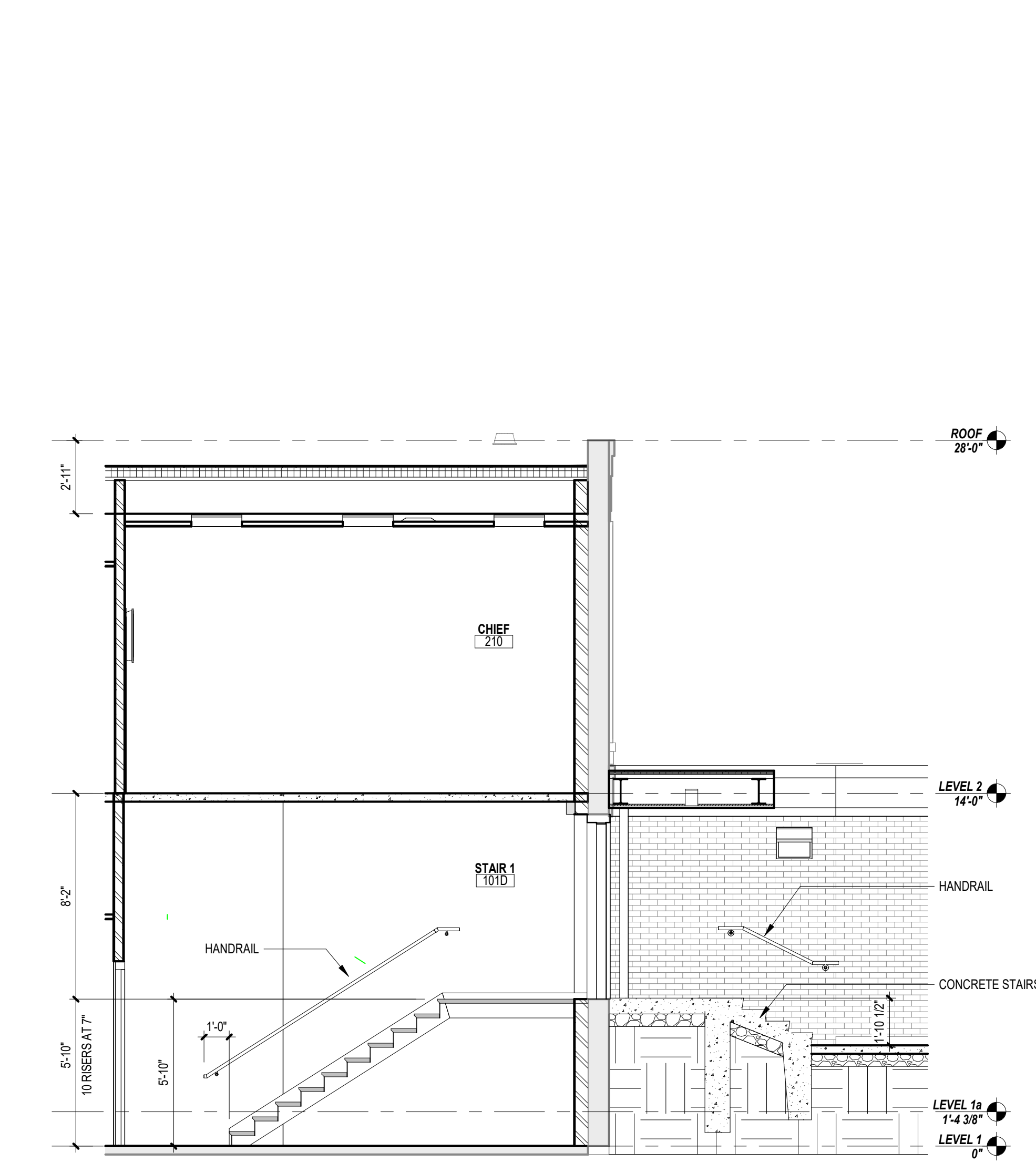
8 FIRST FLOOR PLAN - INTERIOR STAIR 1
1/4" = 1'-0"



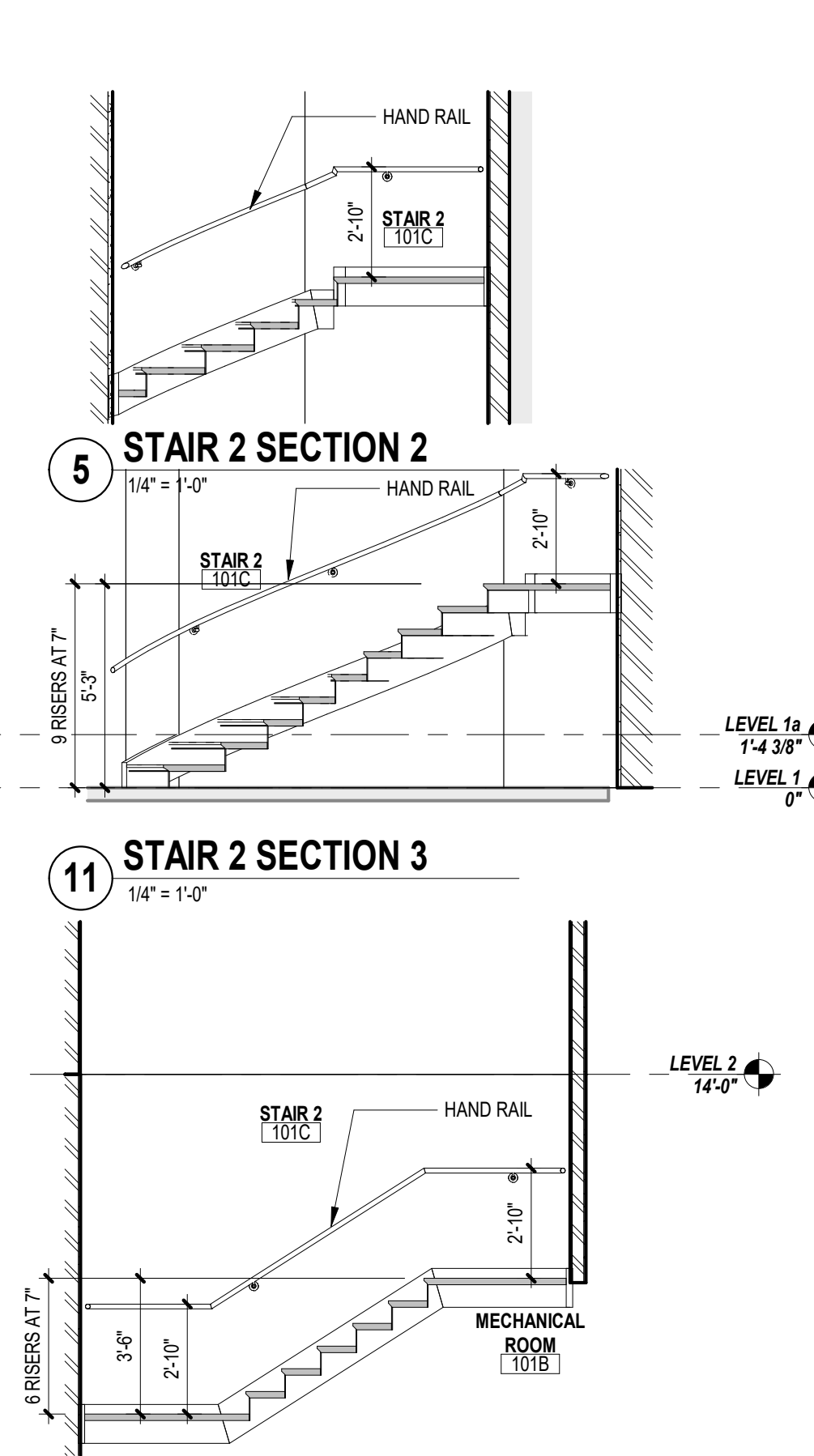
6 STAIR 1 SECTION B
1/4" = 1'-0"



2 INTERIOR STAIR 3
1/2" = 1'-0"



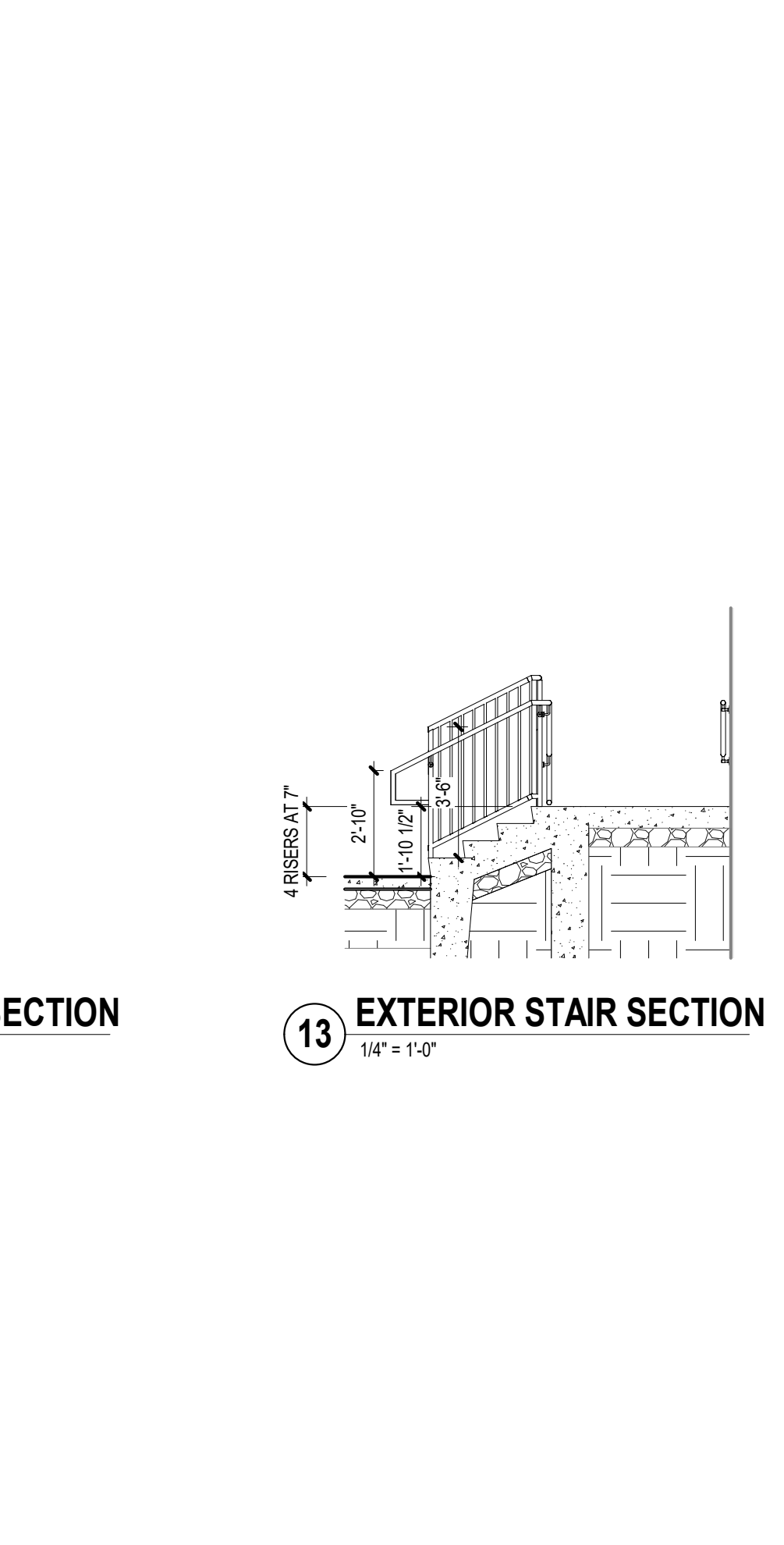
9 STAIR 1 SECTION A
1/4" = 1'-0"



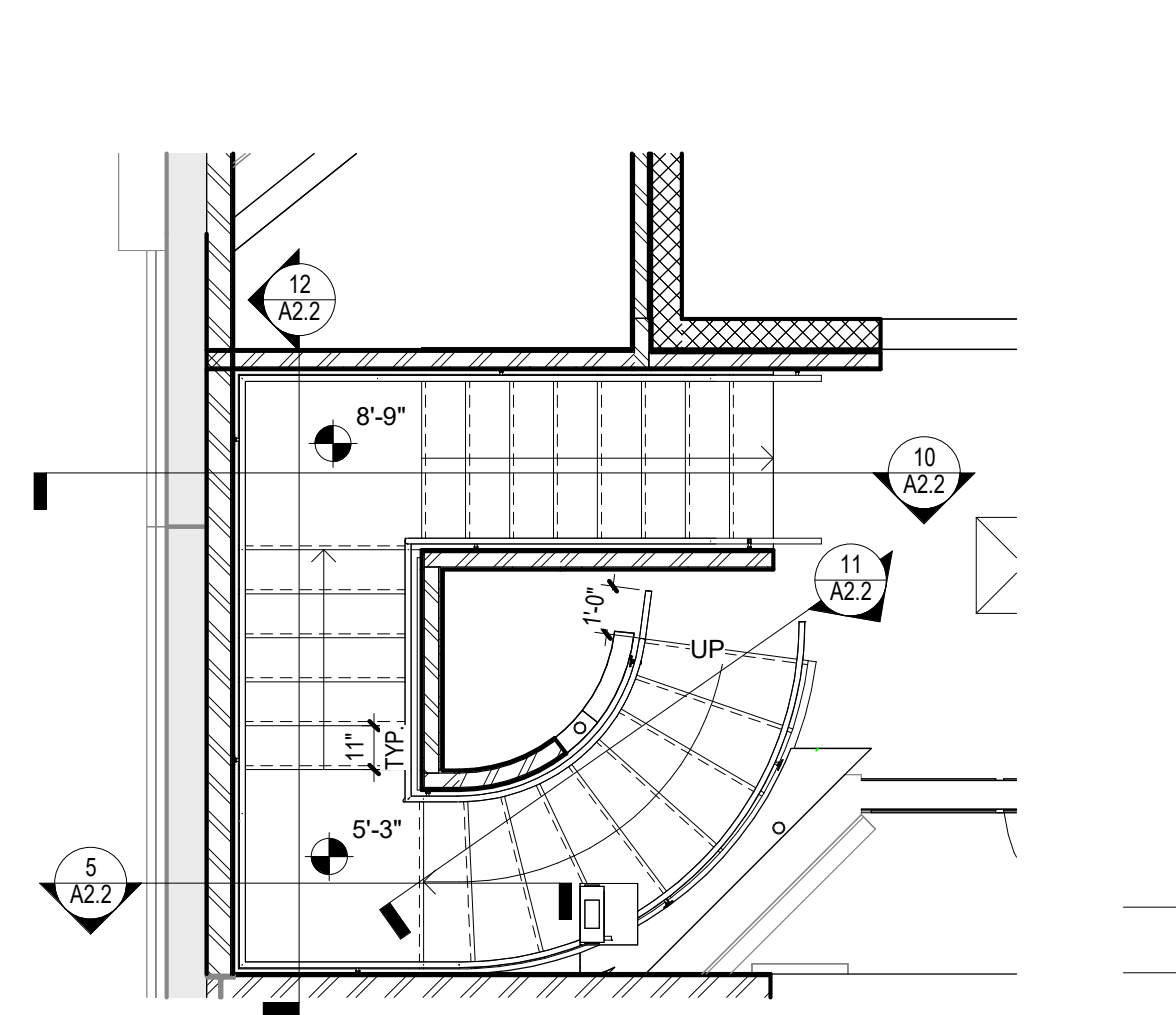
5 STAIR 2 SECTION 2
1/4" = 1'-0"

11 STAIR 2 SECTION 3
1/4" = 1'-0"

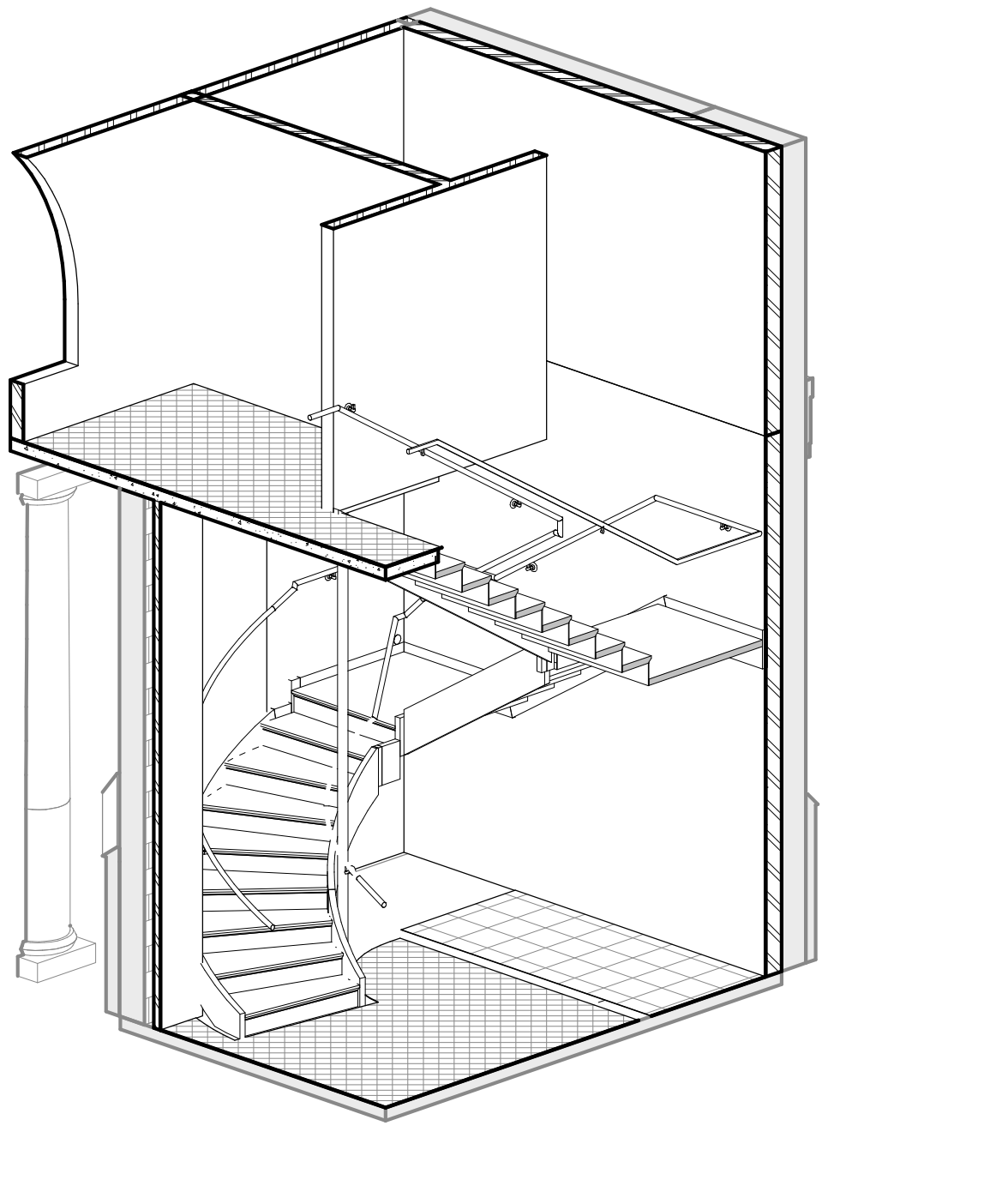
12 STAIR 2 SECTION 4
1/4" = 1'-0"



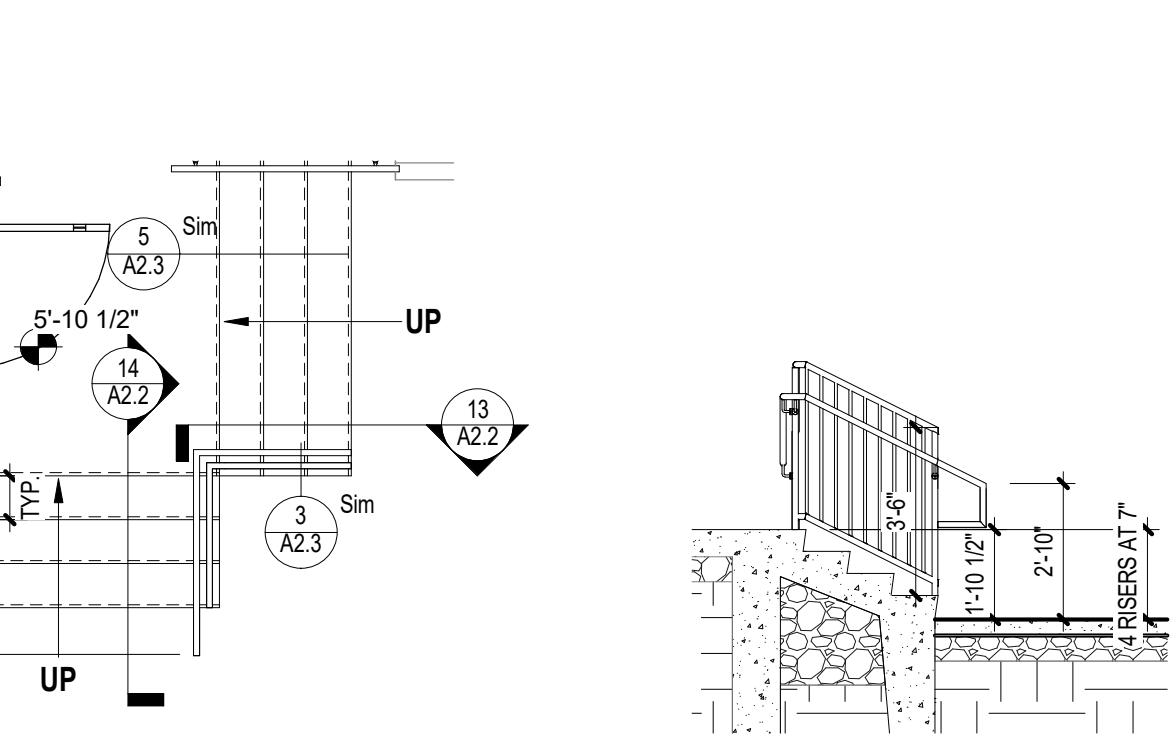
13 EXTERIOR STAIR SECTION
1/4" = 1'-0"



7 FIRST FLOOR PLAN - INTERIOR STAIR 2
1/4" = 1'-0"



15 STAIR 2 AXONOMETRIC



1 EXTERIOR STAIR PLAN
1/4" = 1'-0"

14 EXTERIOR STAIR SECTION
1/4" = 1'-0"



1 EXTERIOR STAIR SECTION
1/4" = 1'-0"

1 1/2" = 1'-0"

1" = 1'-0"

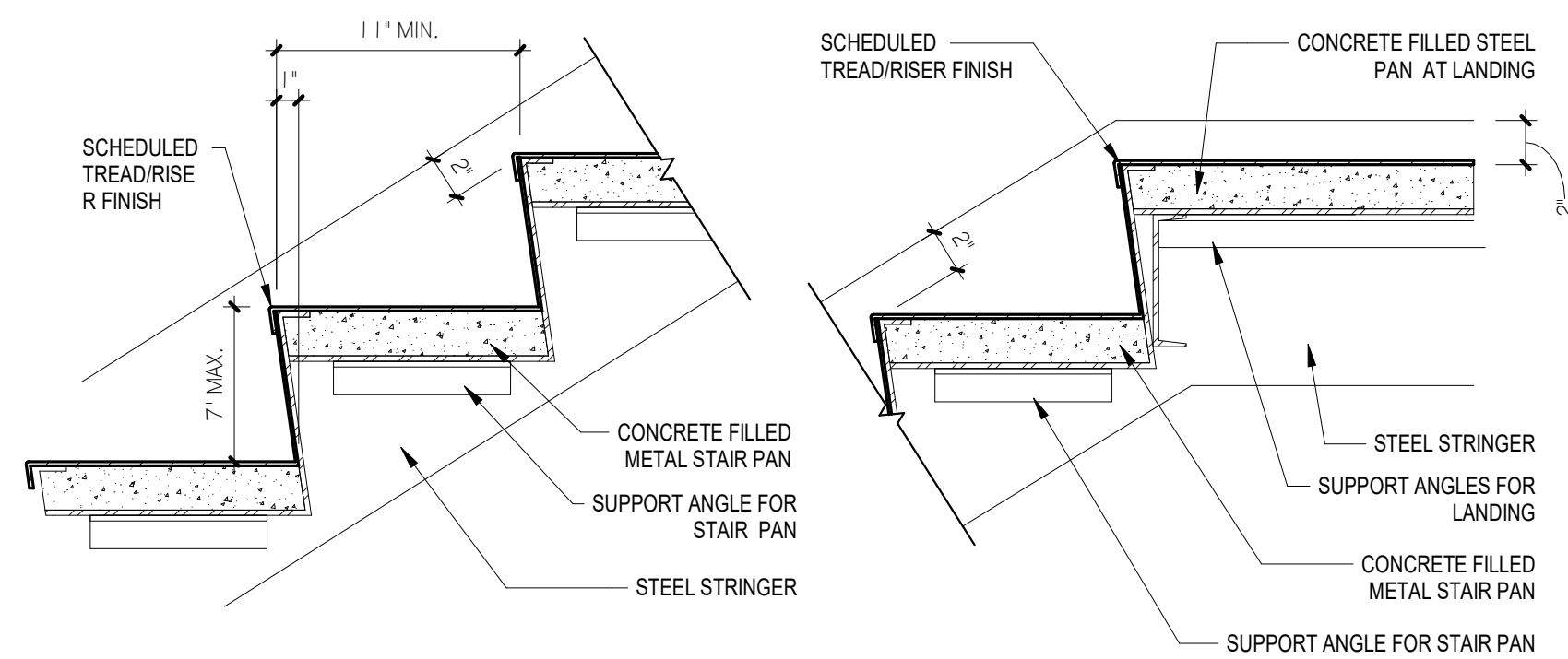
3/4" = 1'-0"

1/2" = 1'-0"

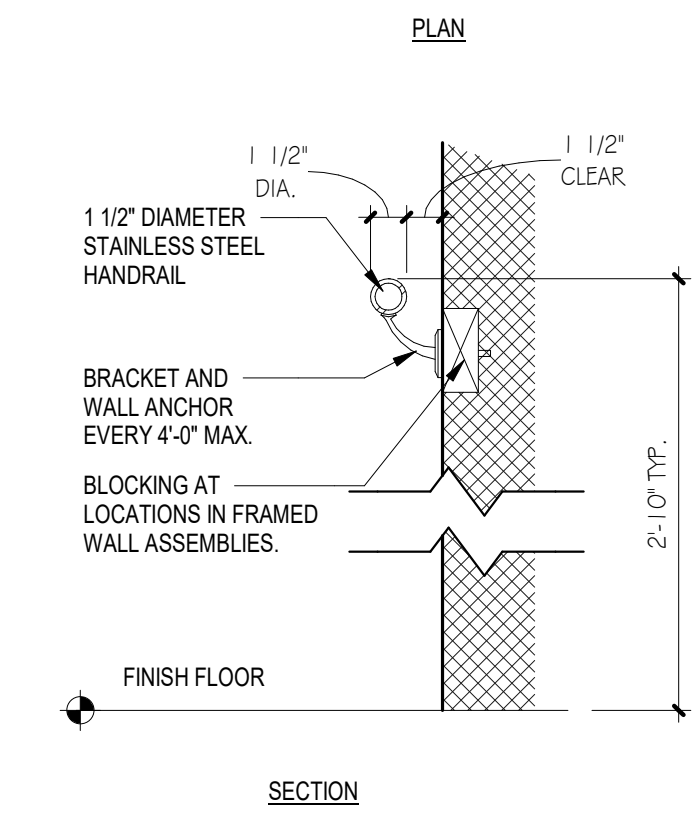
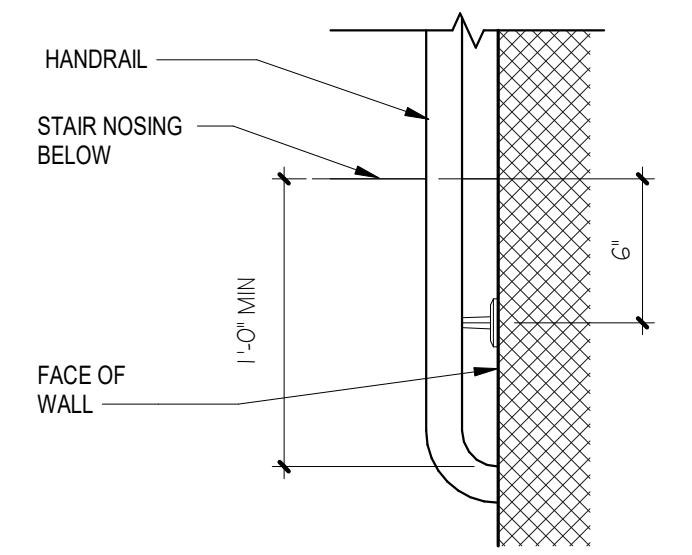
1/4" = 1'-0"

1/8" = 1'-0"

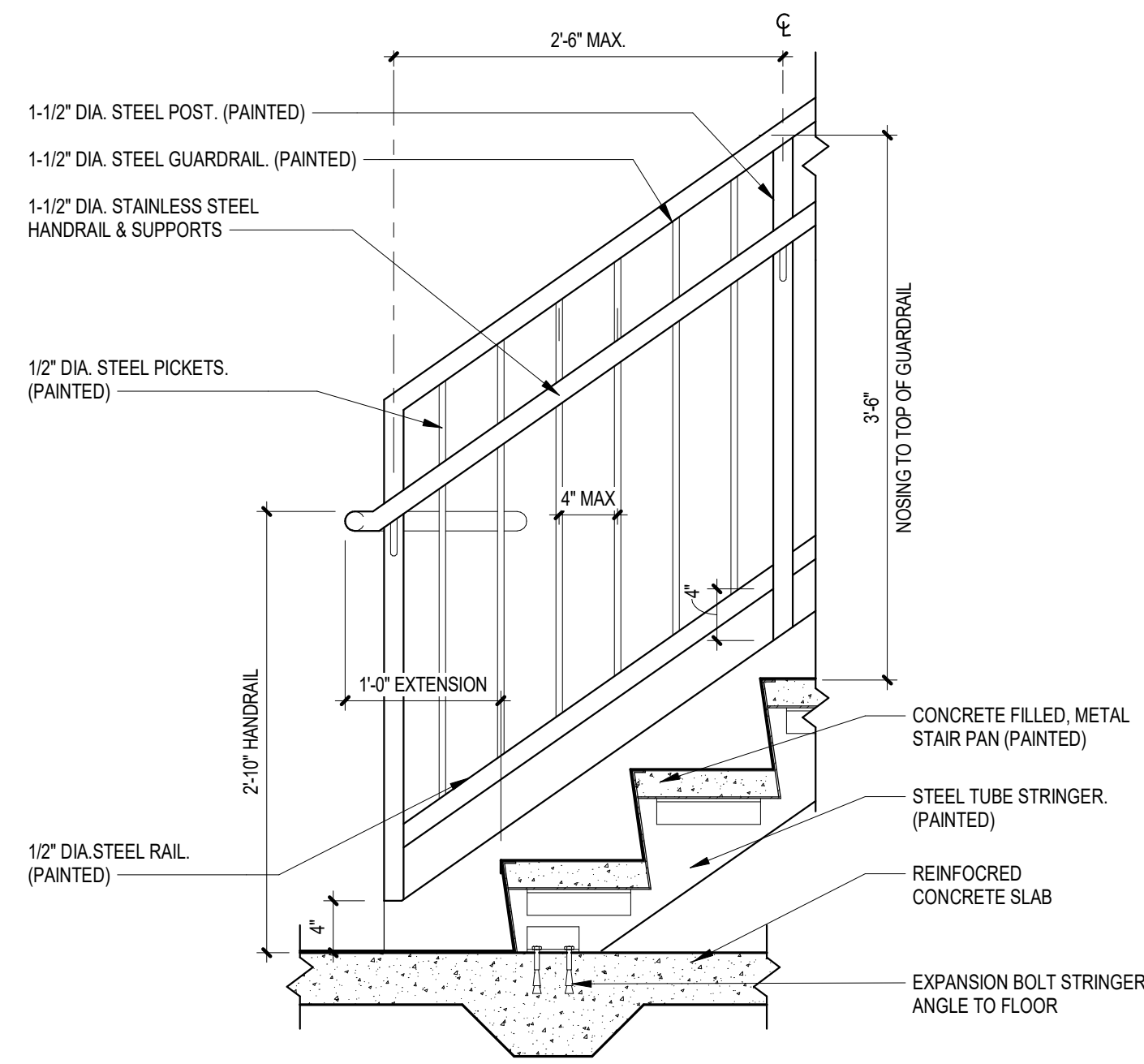
1/16" = 1'-0"



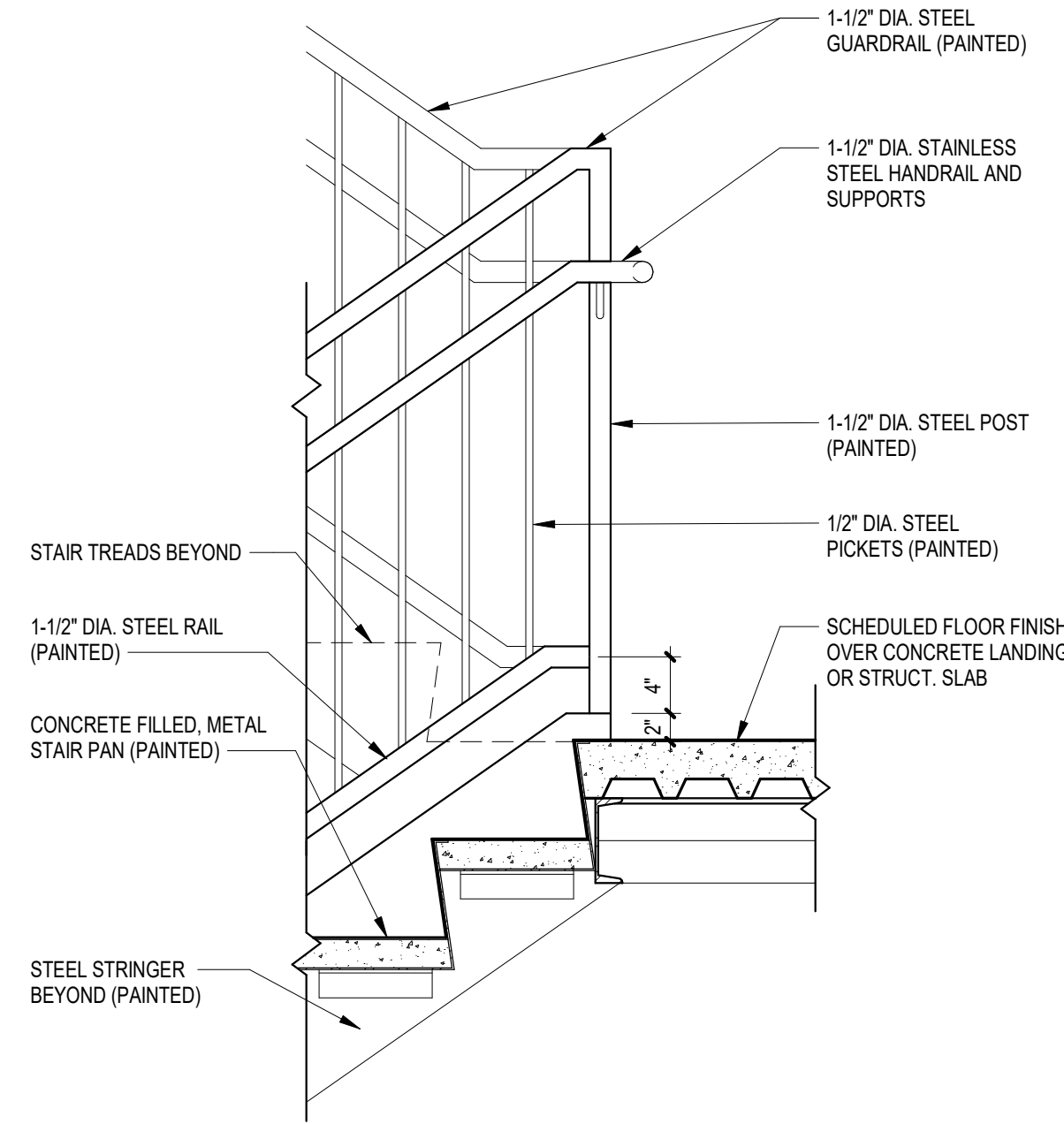
1 TYPICAL STAIR DETAILS
1 1/2" = 1'-0"



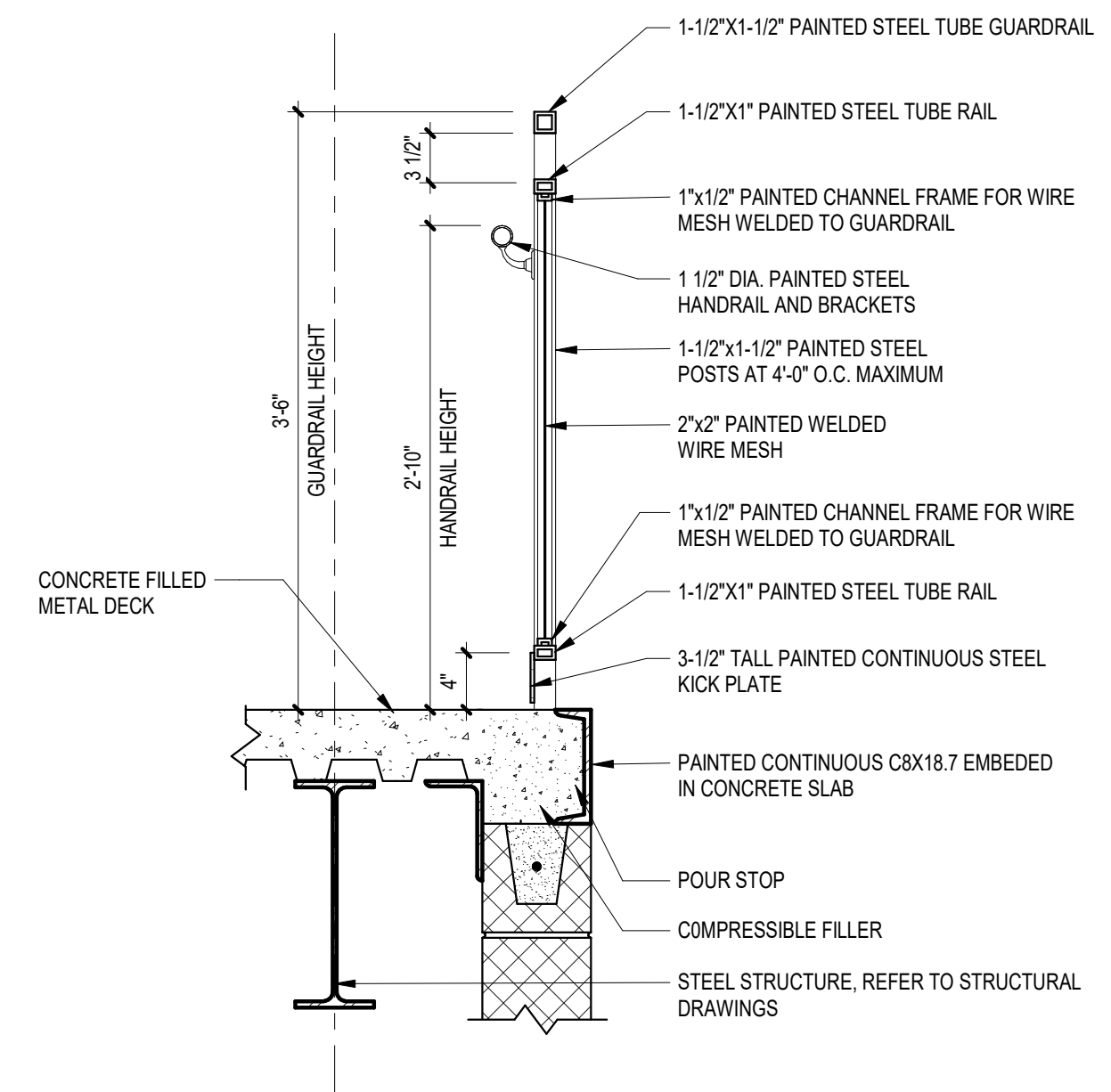
2 TYPICAL HANDRAIL DETAILS
1 1/2" = 1'-0"



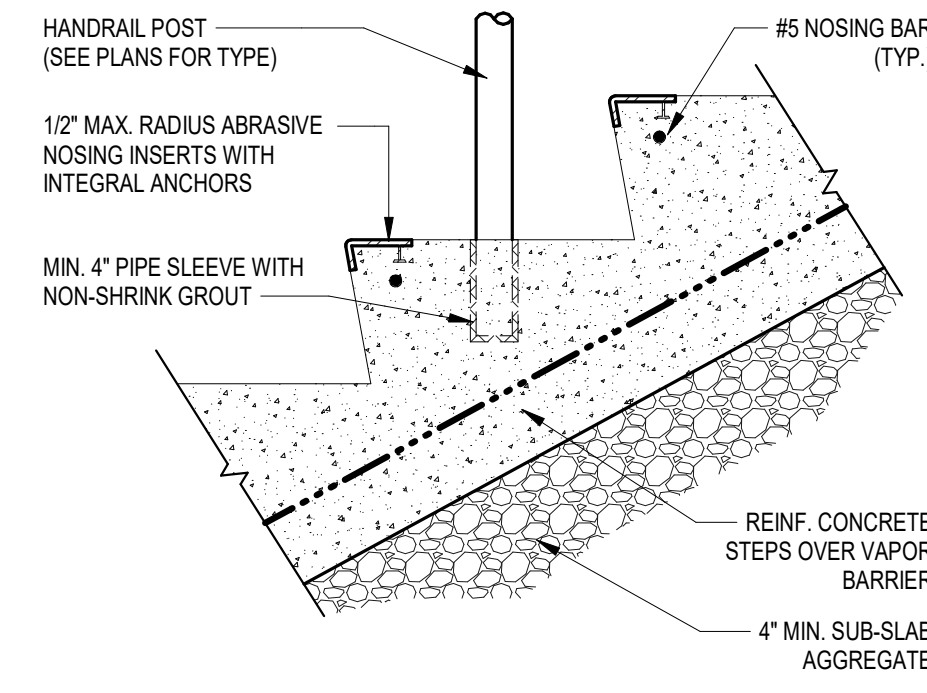
6 TYP GUARDRAIL DETAIL AT BASE LANDING
1" = 1'-0"



7 TYP GUARDRAIL DETAIL AT MID LANDING
1" = 1'-0"



3 GUARDRAIL DETAIL
1" = 1'-0"



5 E-EXTERIOR STAIR TREAD DETAIL
1 1/2" = 1'-0"

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JOHN F. WRIGHT 21A01984200
SPIEZE ARCHITECTURAL GROUP, INC. 21A020083000

SEAL:

BID SET - 06/25/2024

PROJECT:

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1 WALNUT STREET, HADDONFIELD, NJ 08033
FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:	REVISION NAME	DATE
1		

FOR BID: 06/25/2024

DRAWING TITLE:

STAIR DETAILS

COMMISSION NUMBER:

23M014

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:

A2.3

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HADDONFIELD POLICE
STATION
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08033
FOR
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IMPROVEMENT
AUTHORITY
520 MARKET STREET, 6TH FLOOR,
CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

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1		

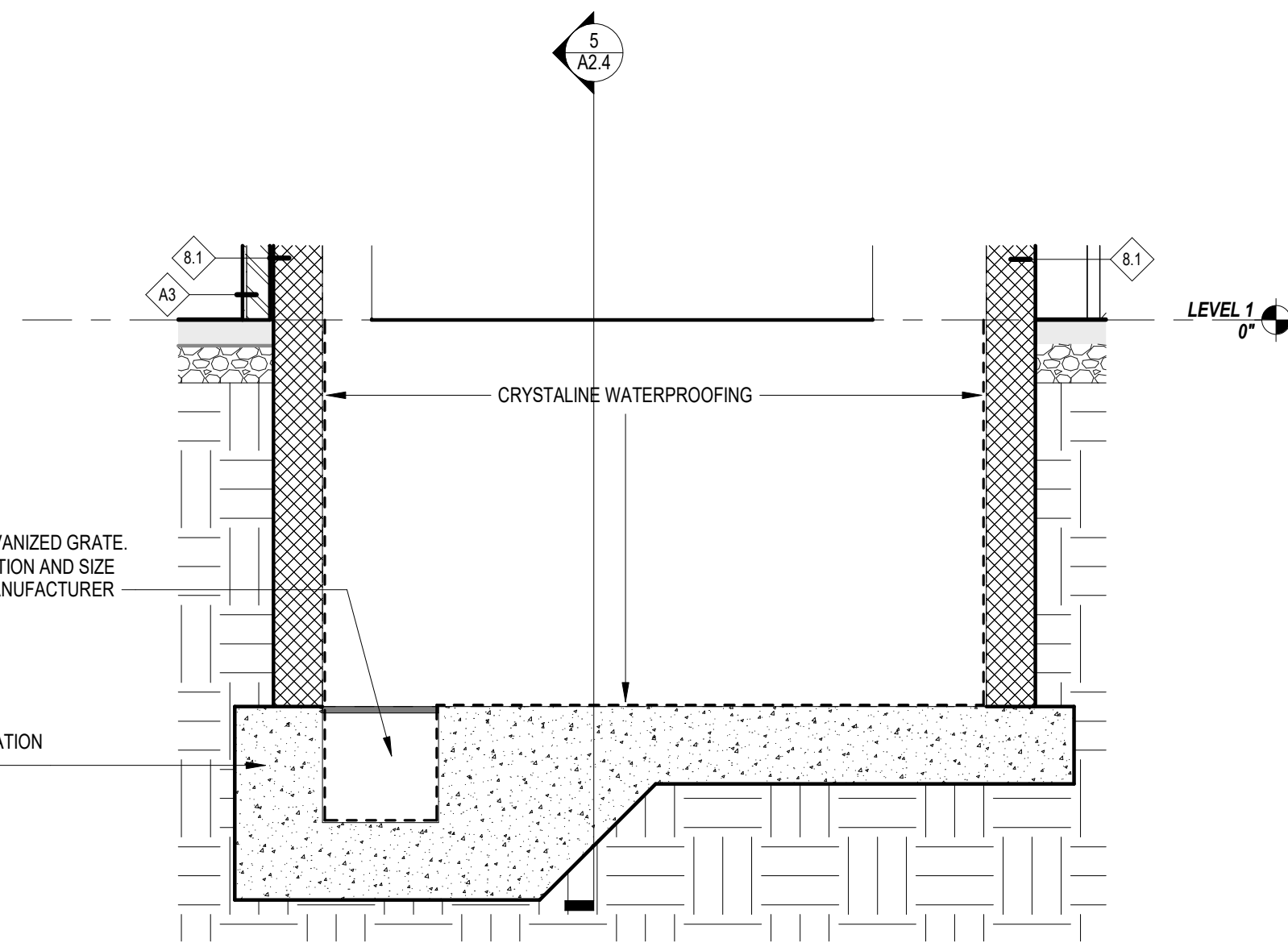
FOR BID: 06/25/2024

DRAWING TITLE:
**ELEVATOR PLANS AND
DETAILS**

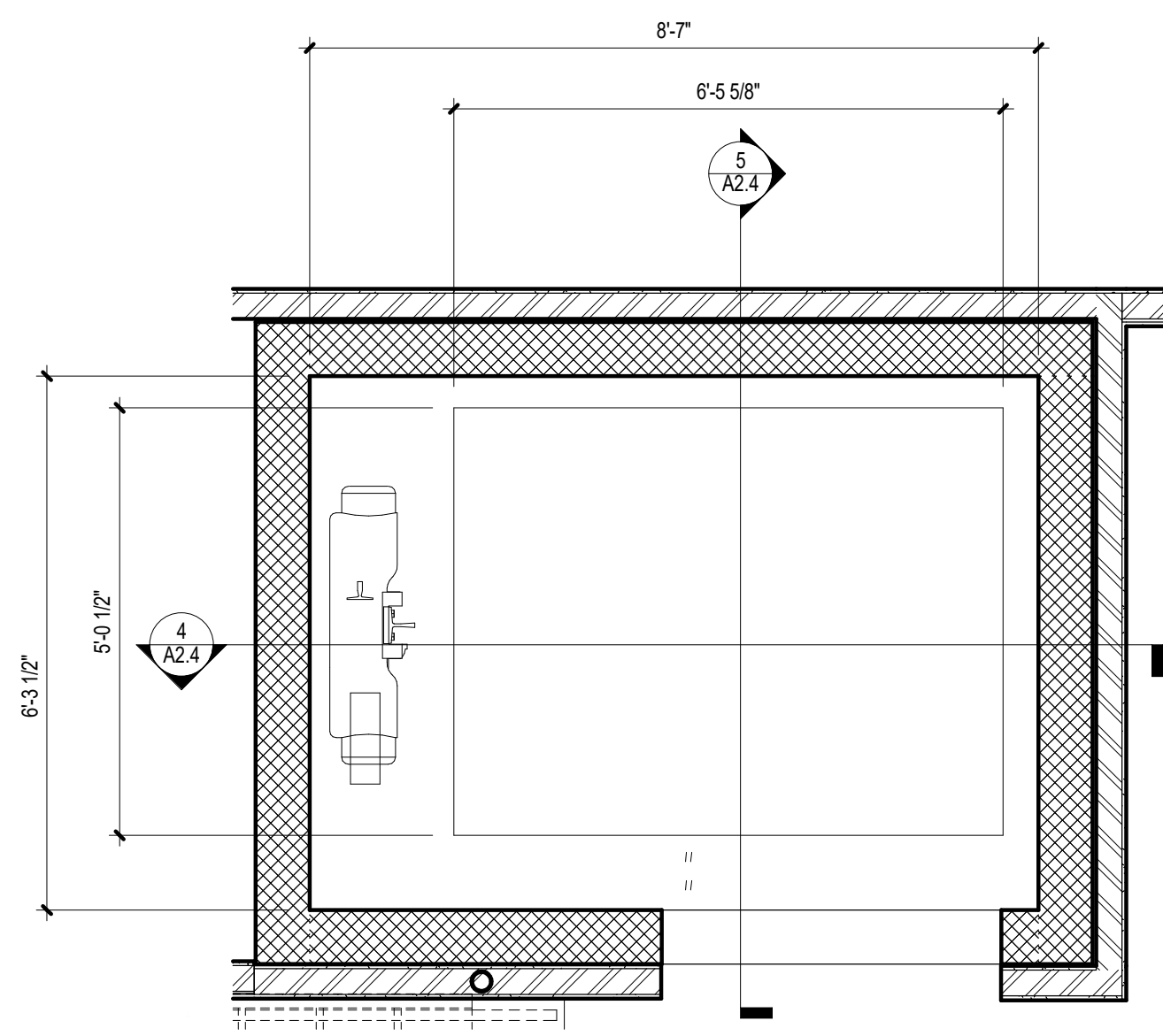
COMMISSION NUMBER:
23M014

DO NOT SCALE THE DRAWINGS

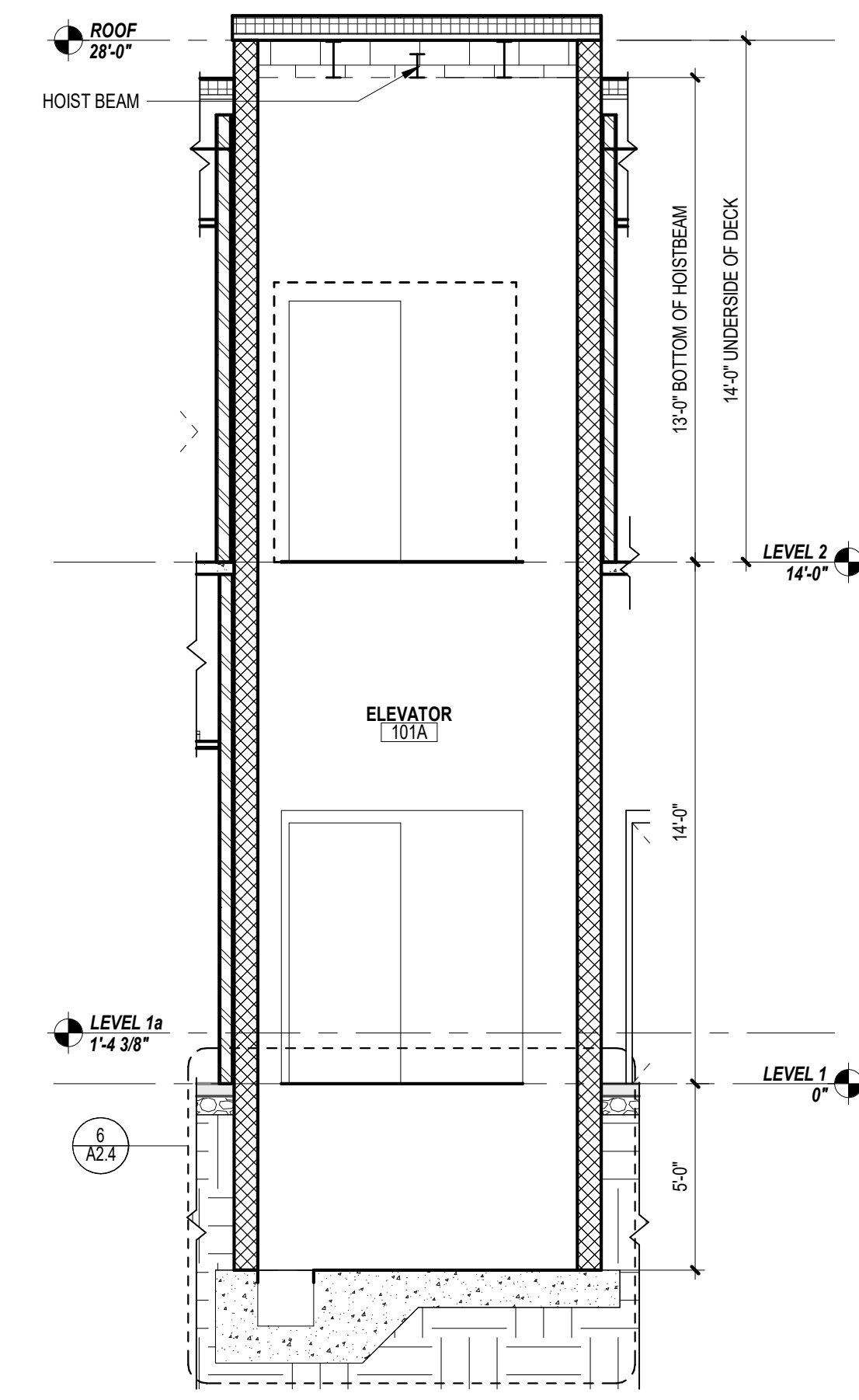
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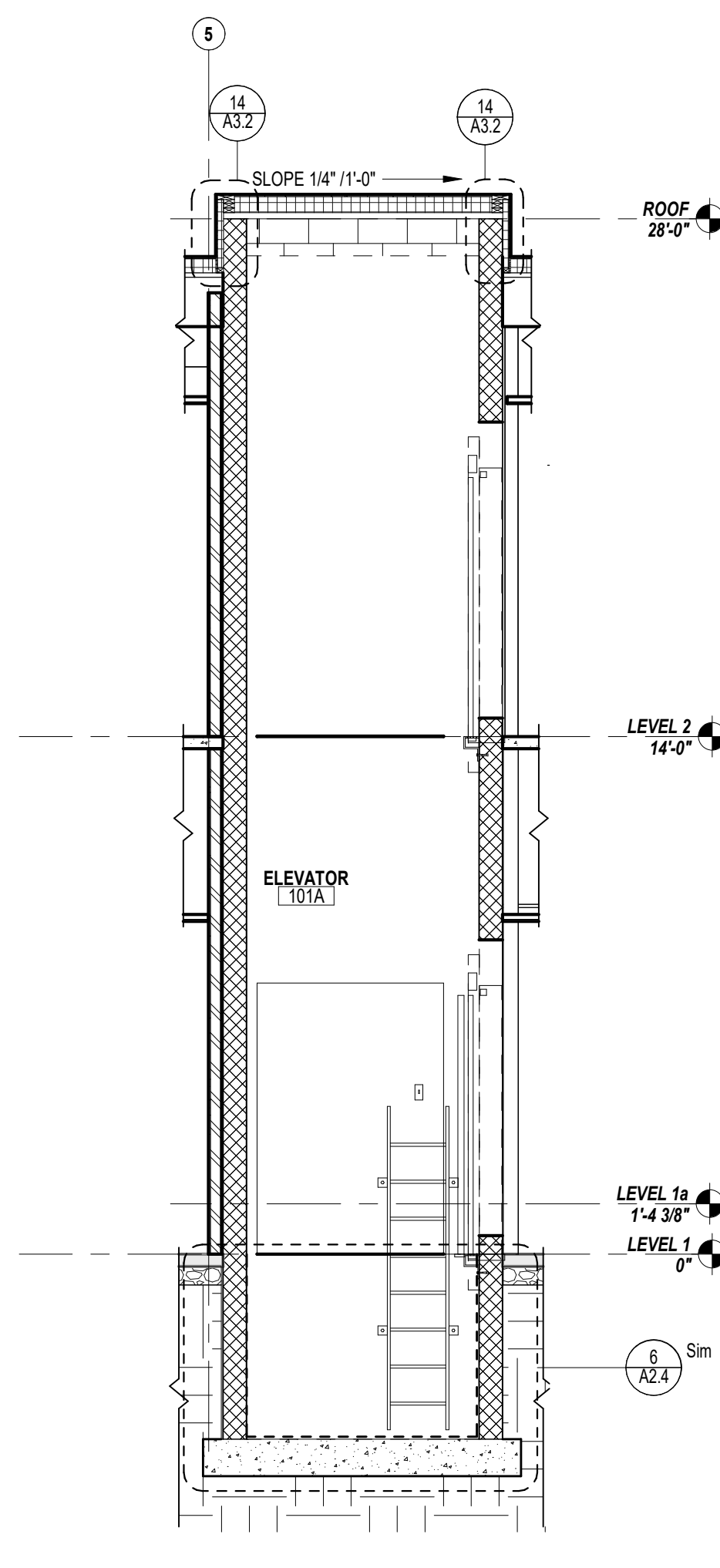
6 ELEVATOR SECTION
1/2" = 1'-0"



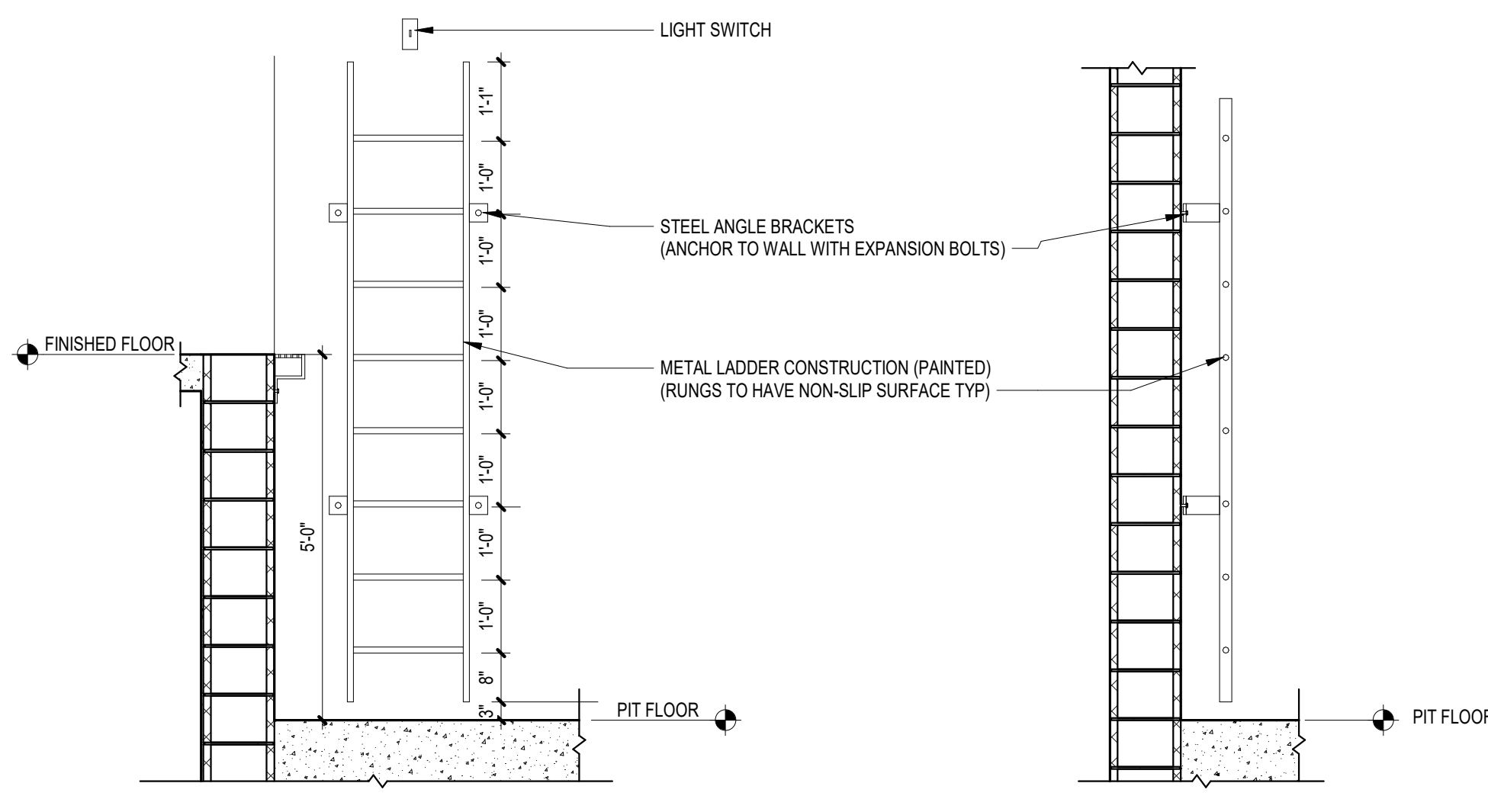
2 ELEVATOR PLAN
1/2" = 1'-0"



4 ELEVATOR SECTION
1/4" = 1'-0"



5 ELEVATOR SECTION
1/4" = 1'-0"



1 ELEVATOR LADDER PIT DETAIL
1/2" = 1'-0"

1/16" = 1'-0"
0 8 16 24 32 40 48 56 64 72 80 88 96 104 112 120 128 136 144 152 160 168 176 184 192 200 208 216 224 232 240 248 256 264 272 280 288 296 304 312 320 328 336 344 352 360 368 376 384 392 400 408 416 424 432 440 448 456 464 472 480 488 496 504 512 520 528 536 544 552 560 568 576 584 592 600 608 616 624 632 640 648 656 664 672 680 688 696 704 712 720 728 736 744 752 760 768 776 784 792 800 808 816 824 832 840 848 856 864 872 880 888 896 904 912 920 928 936 944 952 960 968 976 984 992 1000

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"

CODE REVIEW:

CERTIFICATE:



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SPIEZE ARCHITECTURAL GROUP, INC. 21A020083000

SEAL:

BID SET - 06/25/2024

PROJECT:

HADDONFIELD POLICE
STATION

1 WALNUT STREET, HADDONFIELD, NJ
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FOR

CAMDEN COUNTY
IMPROVEMENT
AUTHORITY

520 MARKET STREET, 6TH FLOOR,
CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION NAME	DATE

FOR BID: 06/25/2024

DRAWING TITLE:

ENLARGED PLANS

COMMISSION NUMBER:

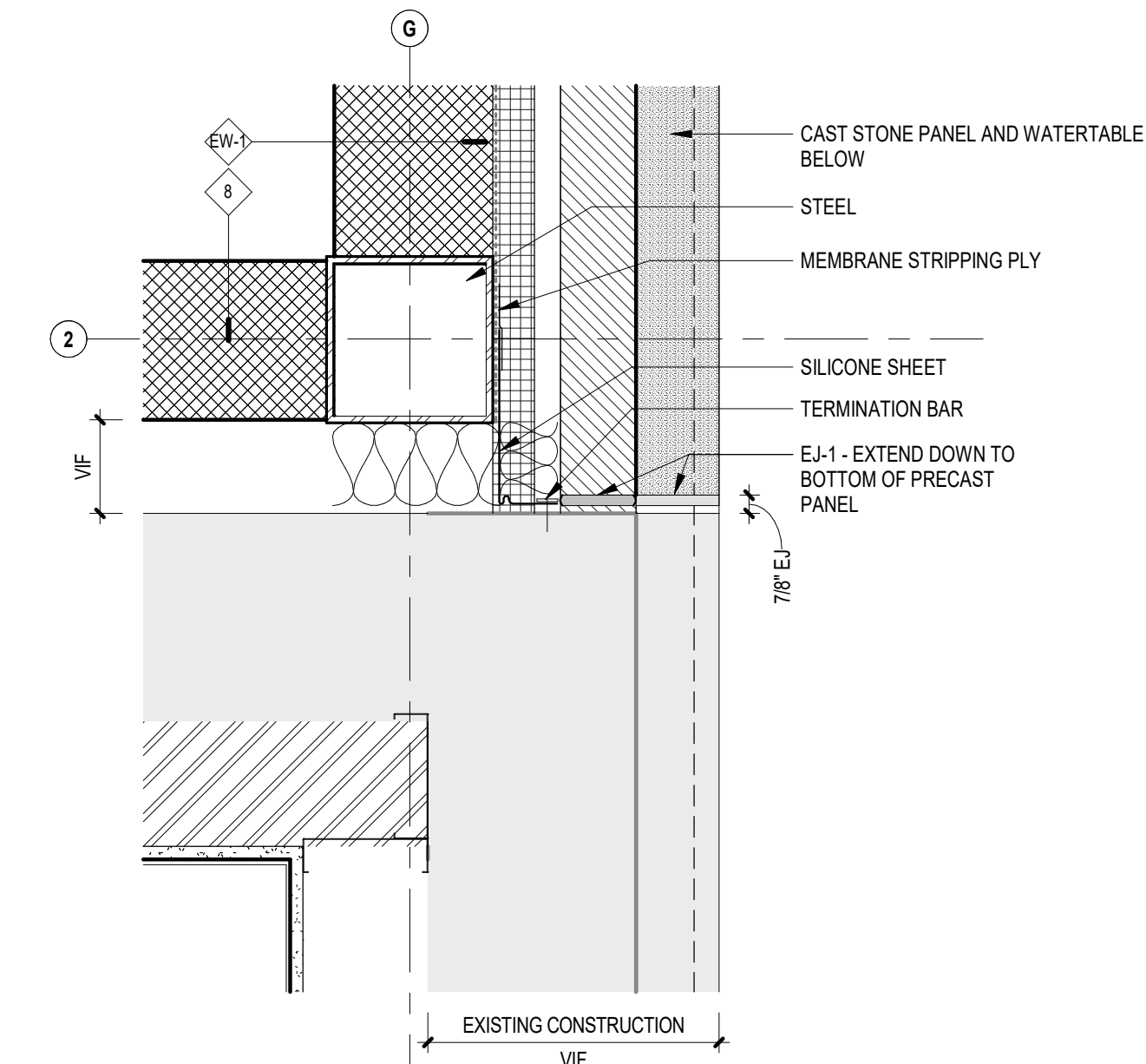
23M014

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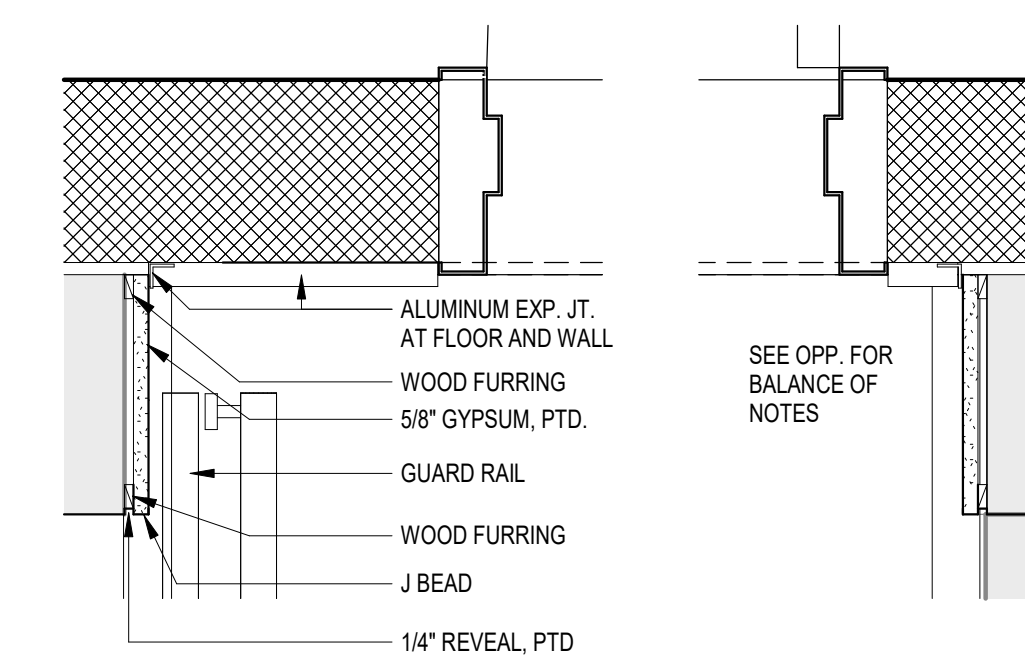
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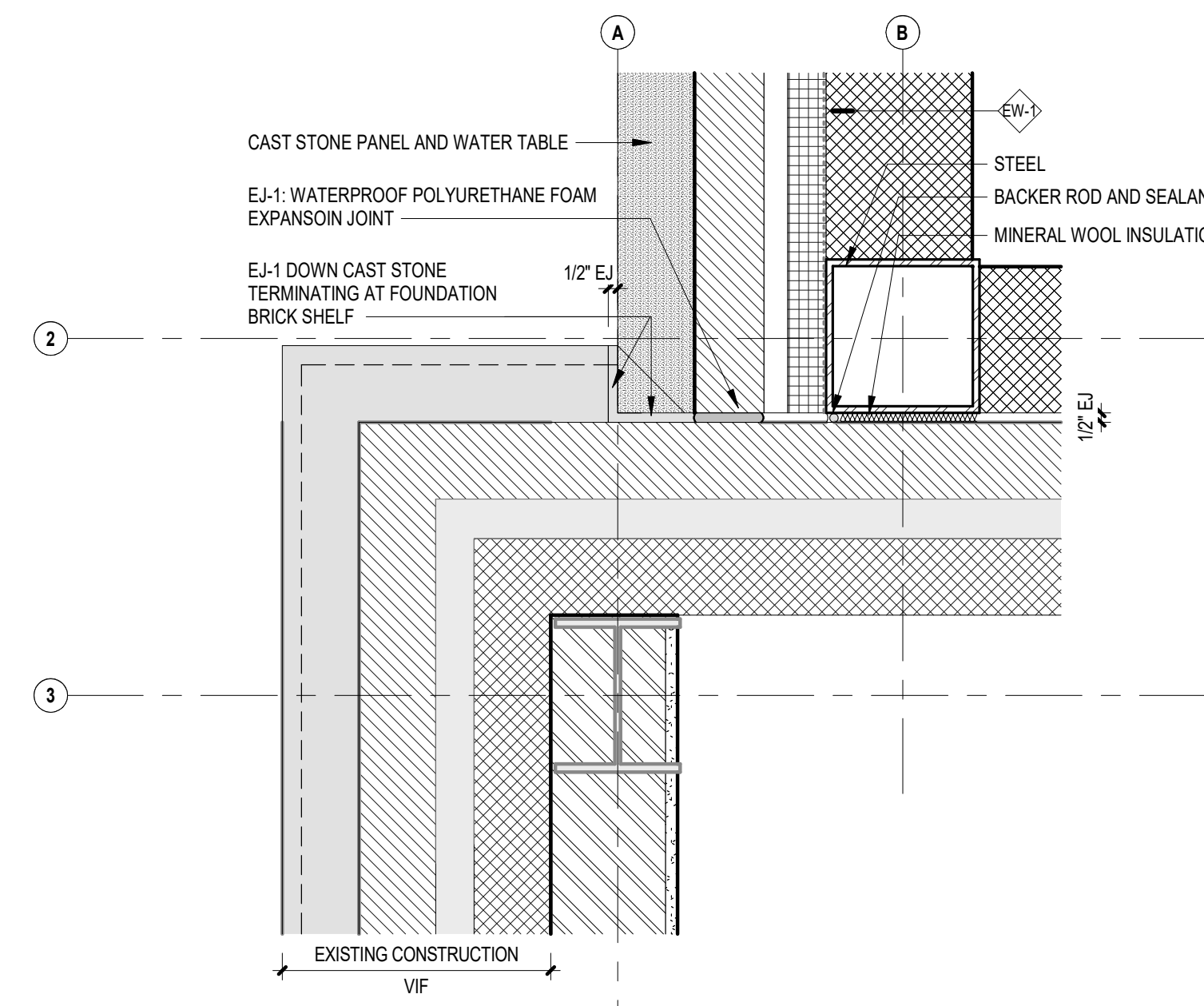
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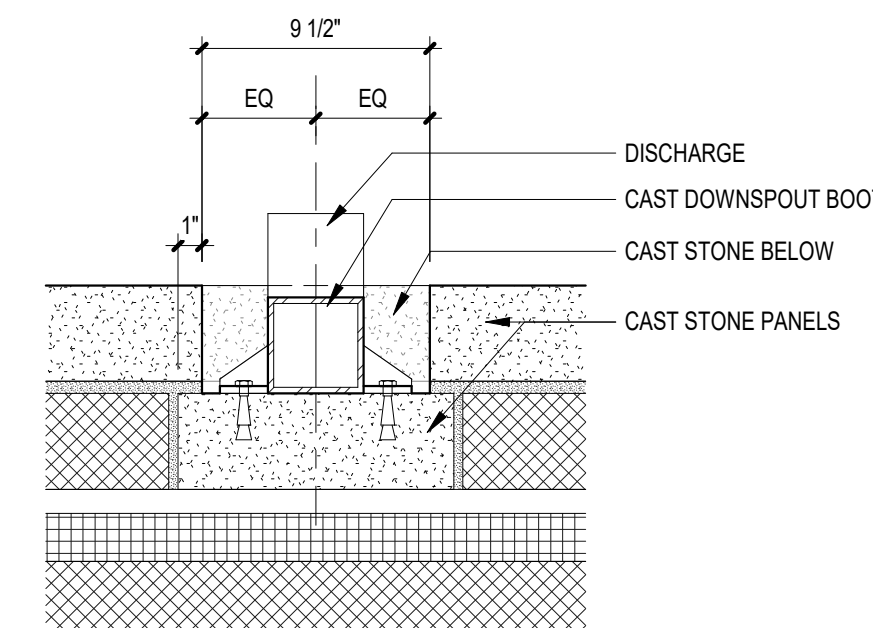
4 EXPANSION JOINT DETAIL 02
1 1/2" = 1'-0"



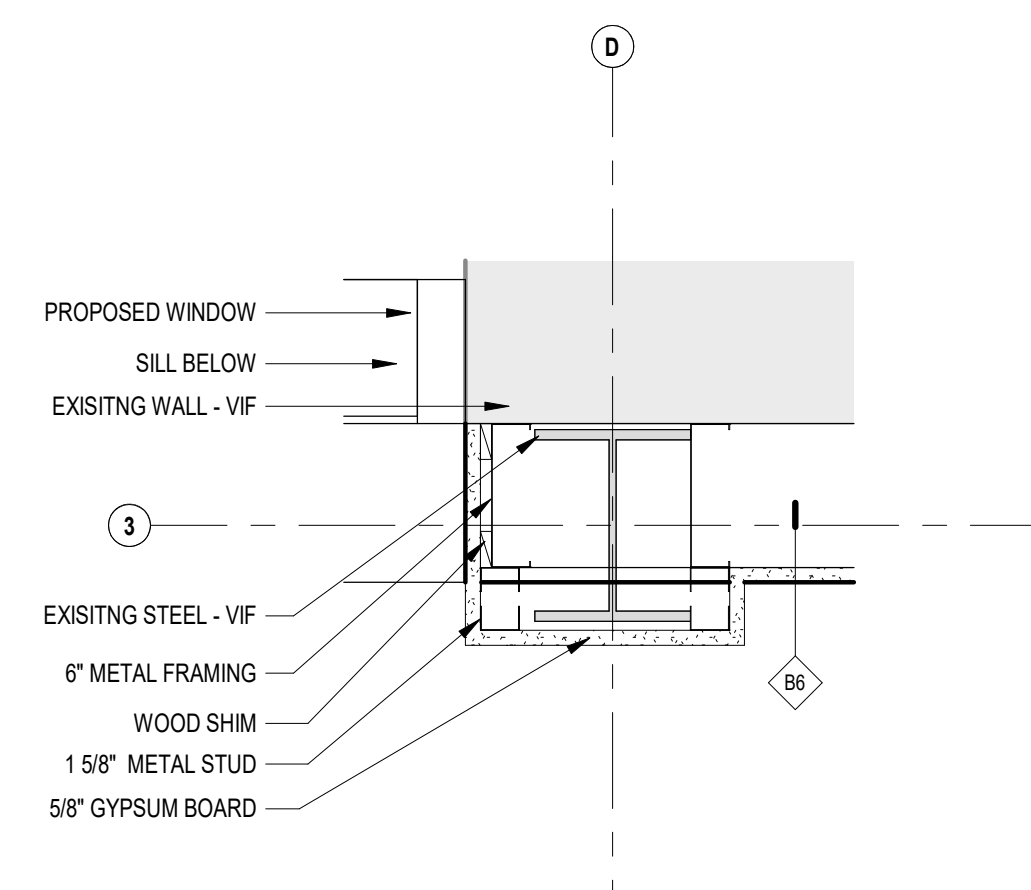
8 PLAN DETAIL AT DOOR
1 1/2" = 1'-0"



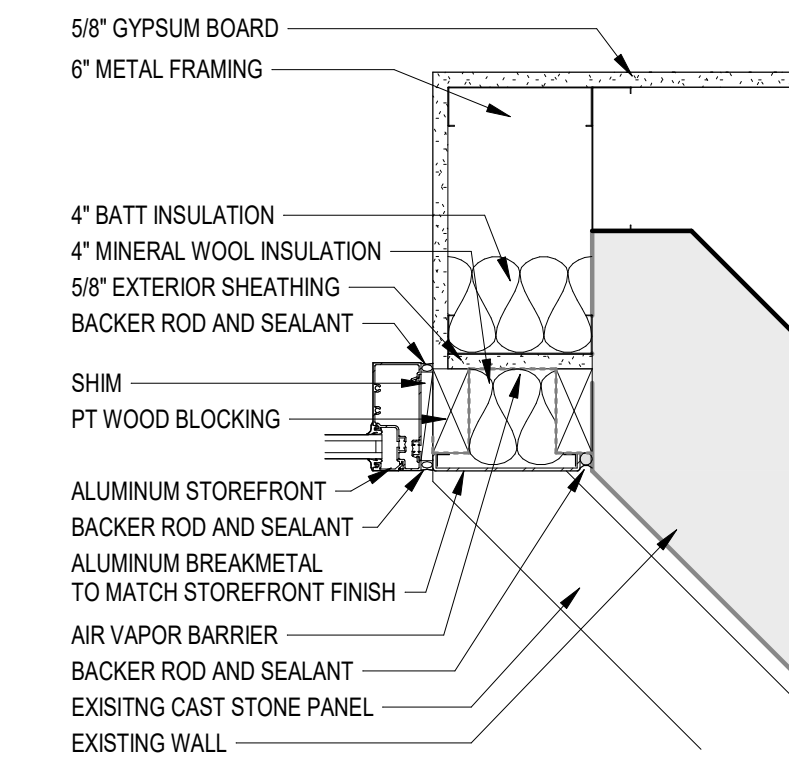
3 EXPANSION JOINT DETAIL 01
1 1/2" = 1'-0"



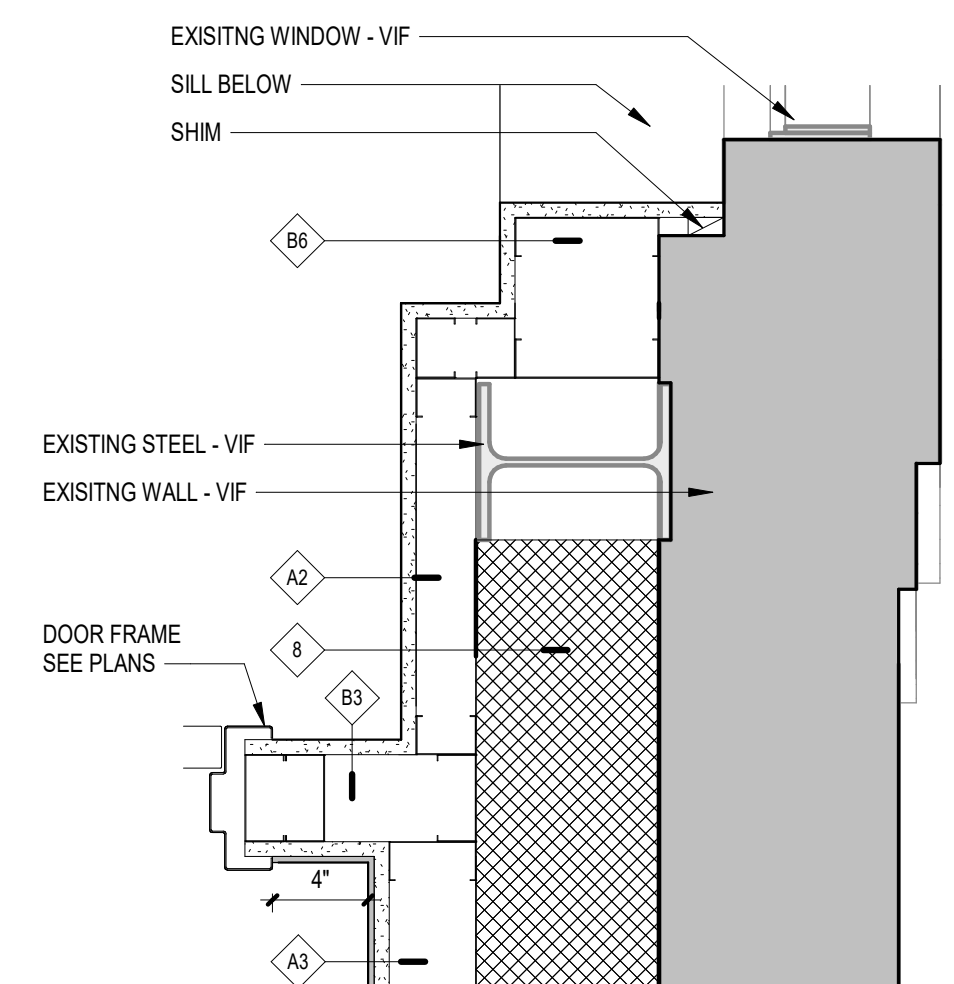
7 PLAN DETAIL
1 1/2" = 1'-0"



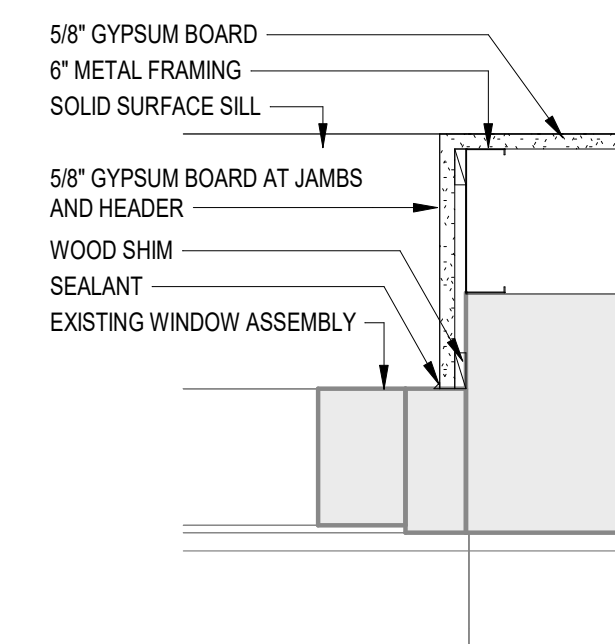
2 PLAN DETAIL
1 1/2" = 1'-0"



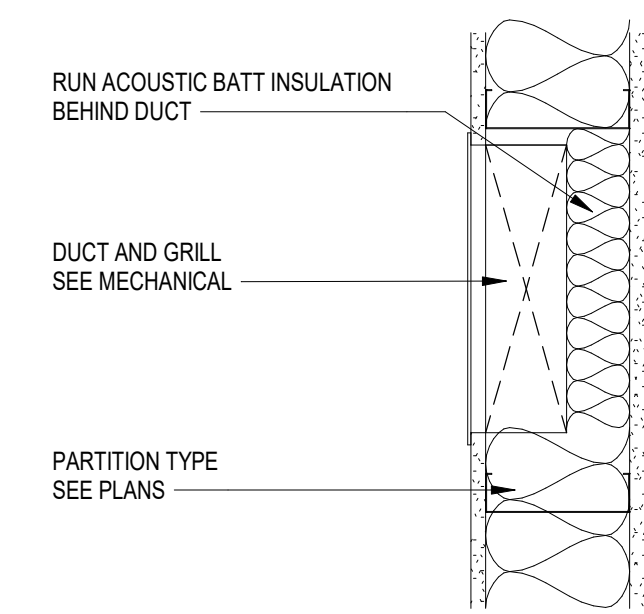
6 PLAN DETAIL
1 1/2" = 1'-0"



1 PLAN DETAIL
1 1/2" = 1'-0"



5 PLAN DETAIL
1 1/2" = 1'-0"



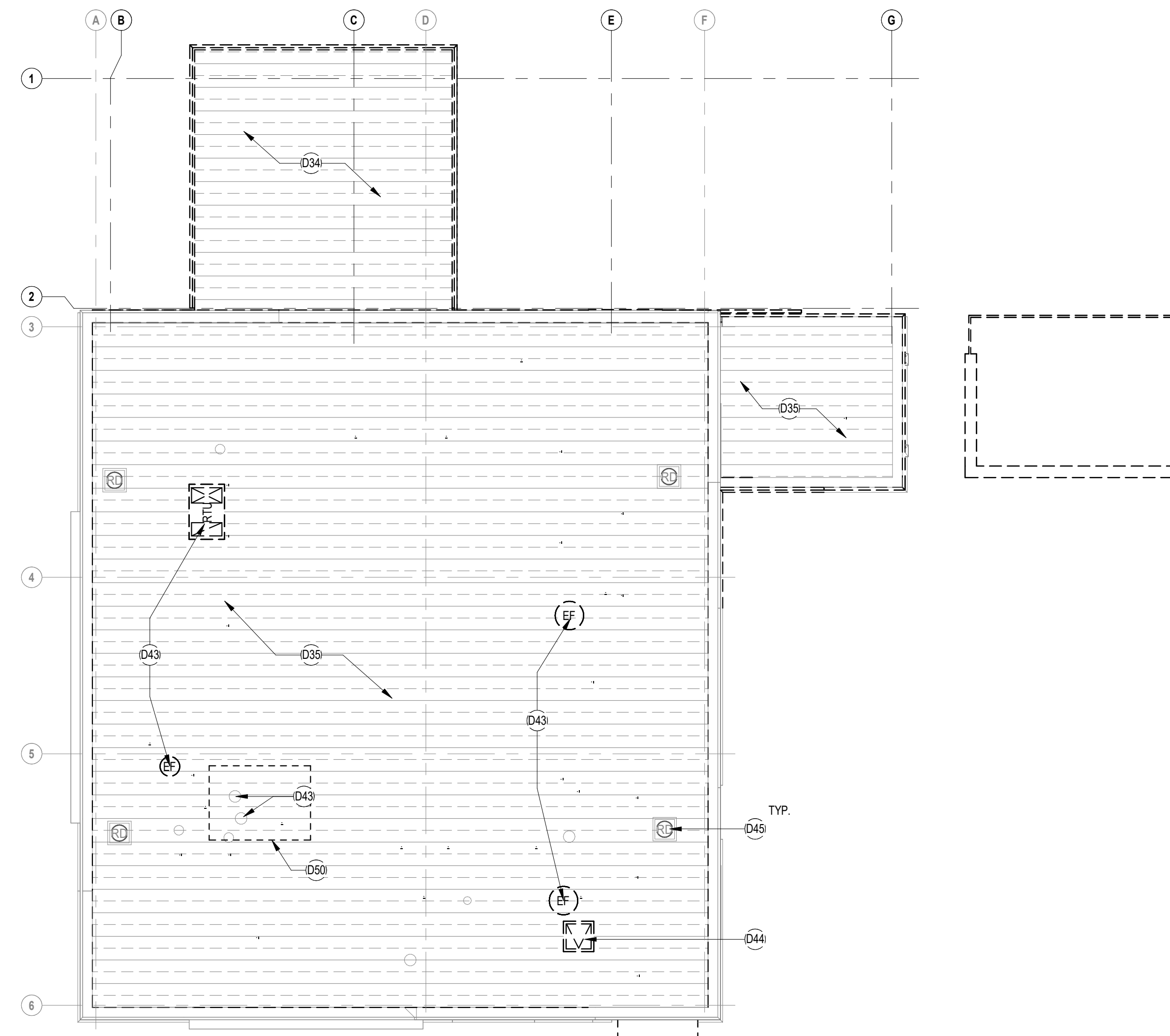
9 PLAN DETAIL
1 1/2" = 1'-0"

GENERAL DEMOLITION NOTES

- DEMOLITION WORK INCLUDES, BUT IS NOT LIMITED TO THE WORK INDICATED HEREWITH, AS COORDINATED WITH WORK OF ALL OTHER TRADES, AS INDICATED ELSEWHERE, AND AS REQUIRED TO ACCOMMODATE CONSTRUCTION. ALL DEMOLITION REQUIRED SHALL BE INCLUDED IN EACH CONTRACTOR'S BASE BID TO PERFORM AND COMPLETE CONSTRUCTION, UNLESS OTHERWISE INDICATED.
- ALL ITEMS DESIGNATED AS 'SALVAGED' SHALL BE PROTECTED AND TURNED OVER TO THE OWNER.
- ITEMS TO BE RELOCATED OR REINSTALLED SHALL BE AS INDICATED. SPECIAL CARE SHALL BE TAKEN SO AS NOT TO DAMAGE THESE ITEMS. THE CONTRACTOR SHALL COORDINATE THE STORAGE OF ALL SALVAGED ITEMS TO BE EITHER RELOCATED OR REINSTALLED WITH THE OWNER.
- LOCATIONS AND/OR ELEVATIONS OF EXISTING ITEMS AS SHOWN ON THE DRAWINGS ARE APPROXIMATE. RESPECTIVE TRADES SHALL FIELD VERIFY ALL LOCATIONS.
- WHEN A NEW WALL, CEILING, ROOF OR FLOOR ASSEMBLY IS INDICATED WHERE AN EXISTING WALL, CEILING, ROOF OR FLOOR ASSEMBLY EXISTS, THE EXISTING SHALL BE COMPLETELY REMOVED, WITH ASSOCIATED UTILITIES REMOVED AND CAPPED BEHIND THE SURFACES TO REMAIN. ALL DEPRESSIONS, INDENTATIONS, OR PROTRUSIONS LEFT AFTER THE REMOVAL OF ITEMS WHICH MAY INTERFERE WITH THE CONSTRUCTION SHALL BE REPAIRED, REPLACED OR REMOVED TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING SURFACES.
- CONTRACTORS SHALL VERIFY ALL CONDITIONS PRIOR TO COMMENCING DEMOLITION. SHOULD QUESTIONS OR DISCREPANCIES ARISE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, PRIOR TO PROCEEDING WITH DEMOLITION.
- WHERE OPENINGS ARE INDICATED TO BE MADE IN EXISTING MASONRY WALLS, OR EXISTING OPENINGS ARE TO BE INFILLED, THE CONTRACTOR SHALL TOOTH IN NEW MASONRY CONSTRUCTION TO MATCH ADJACENT COURSING.
- CONTRACTOR(S) ARE RESPONSIBLE FOR SHORING, BRACING AND UNDERPINNING RELATED TO THE DEMOLITION, REMOVAL OR CUTTING OF ANY WALL, PARTITION, OR ANY OTHER LOAD-BEARING OR STRUCTURAL ELEMENT.
- REMOVE ALL MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS IN THEIR ENTIRETY.

DEMO KEYNOTE LEGEND

Key Value	Keynote Text
D2	SAW CUT AND REMOVE PORTION OF EXISTING EXTERIOR MASONRY WALL ASSEMBLY AS INDICATED.
D7	REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY.
D8	REMOVE EXISTING WINDOW IN ITS ENTIRETY. PROTECT EXISTING MASONRY/WALL OPENINGS TO REMAIN.
D9	REMOVE EXISTING CURTAIN WALL/STOREFRONT FRAMING AND GLAZING AS INDICATED.
D10a	REMOVE PORTION OF EXISTING INTERIOR FRAMED WALL ASSEMBLY AS INDICATED.
D10b	REMOVE PORTION OF EXISTING COLUMN FURRING AND FRAMING AS INDICATED.
D12	REMOVE EXISTING SUSPENDED CEILING SYSTEM IN ITS ENTIRETY INCLUDING LIGHTING FIXTURES. SAFE-OFF EXISTING CONDUITS WHERE SCHEDULED TO BE REUSED OTHERWISE TERMINATE CONDUIT AND WIRING BACK TO NEAREST PANEL.
D13	REMOVE EXISTING RESILIENT FLOOR FINISHES AND BASE IN THEIR ENTIRETY DOWN TO SUBSTRATES.
D14	REMOVE EXISTING CARPET FLOOR FINISHES AND BASE IN THEIR ENTIRETY DOWN TO SUBSTRATES.
D18	REMOVE EXISTING PLUMBING FIXTURES AND TOILET ACCESSORIES, INCLUDING BUT NOT LIMITED TO: TOILET, PAPER TOWEL AND TOILET TISSUE DISPENSERS, SOAP DISPENSERS, MIRRORS, GRAB BARS AND HAND DRYERS.
D21	REMOVE EXISTING BUILT-IN CASEWORK/CABINETRY IN ITS ENTIRETY.
D25	REMOVE PORTION OF EXISTING CONCRETE BUILDING BASE.
D26	REMOVE EXISTING BOLLARDS AND FOUNDATIONS IN THEIR ENTIRETY.
D27	REMOVE STEEL COLUMNS, FOUNDATIONS, AND COLUMN ENCLOSURE IN THEIR ENTIRETY.
D28	REMOVE EXISTING RAISED CURB AREA IN ITS ENTIRETY.
D30	REMOVE EXISTING INTERIOR COLUMN ENGAGEMENT IN ITS ENTIRETY.
D32	REMOVE EXISTING INTERIOR STAIR IN ITS ENTIRETY.
D34	REMOVE EXISTING ROOF SYSTEM IN ITS ENTIRETY INCLUDING STRUCTURE.
D35	REMOVE EXISTING ROOF SYSTEM IN ITS ENTIRETY DOWN TO ROOF DECK INCLUDING BUT NOT LIMITED TO ALL FLASHINGS AND COPINGS.
D36	REMOVE EXISTING DECORATIVE CORNICE IN ITS ENTIRETY.
D37	REMOVE PNEUMATIC TUBE TRANSPORT ASSEMBLY IN ITS ENTIRETY.
D38	REMOVE LIGHT FIXTURE.
D39	REMOVE PASS THROUGH BOX.
D40	REMOVE CANOPY IN ITS ENTIRETY.
D41	REMOVE VAULT DOOR AND ASSEMBLY IN ITS ENTIRETY.
D43	REMOVE HVAC EQUIPMENT AND PATCH ROOF DECK PER NEW WORK.
D44	REMOVE AND SALVAGE ROOF HATCH FOR REINSTALLATION.
D45	REMOVE ROOF DRAIN IN ITS ENTIRETY.
D46	REMOVE EXISTING STOREFRONT ASSEMBLY IN ITS ENTIRETY.
D47	REMOVE EXISTING BRICK, CONCRETE BLOCK, AND WOOD FENCING ENCLOSURE AND CONCRETE SLAB IN ITS ENTIRETY.
D48	REMOVE EXISTING CHILLER IN ITS ENTIRETY.
D49	REMOVE SLAB AND FOUNDATIONS IN THEIR ENTIRETY.
D50	REMOVE ROOF DECK AT INDICATED AREA.



1 DEMO ROOF PLAN
1/8" = 1'-0"

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SEAL:

BID SET - 06/25/2024

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1 WALNUT STREET, HADDONFIELD, NJ 08033
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520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

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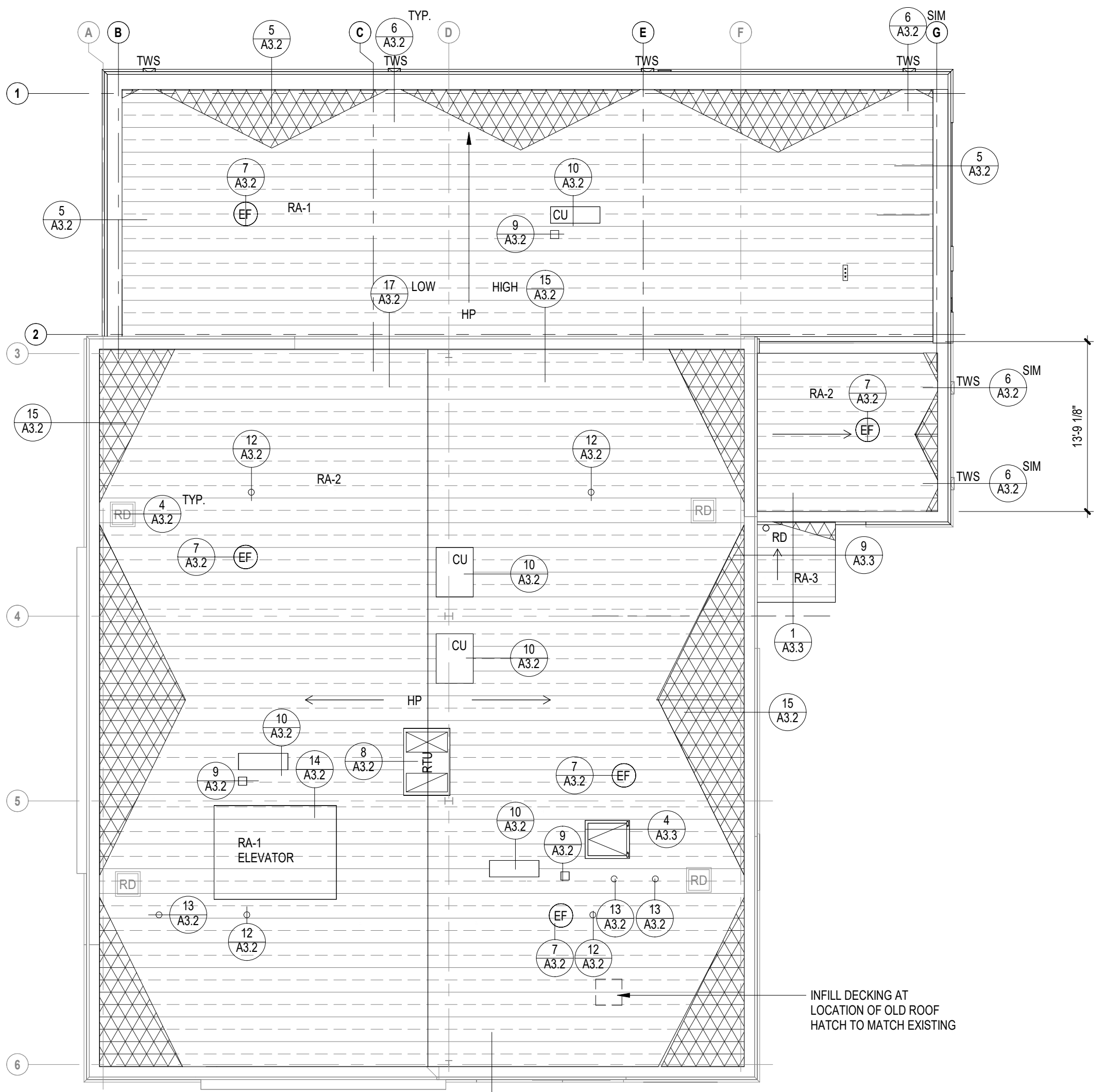
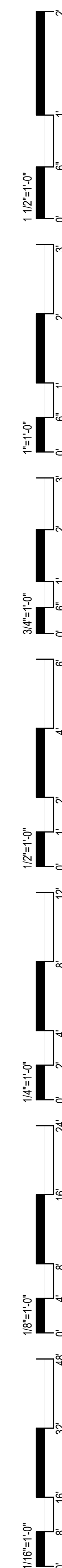
REVISIONS:	REVISION NAME	DATE
1		

FOR BID: 06/25/2024

DRAWING TITLE:
ROOF DEMOLITION PLANS

COMMISSION NUMBER:
23M014

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DRAWING NUMBER:
A3.0



1 ROOF PLAN
1/8" = 1'-0"

ROOF LEGEND:

- CRICKET - SLOPE TO DRAIN (TYPICAL)
1/2" FT. MIN. (TYPICAL)
- TAPERED RIGID INSULATION
SLOPE TO DRAIN (TYPICAL)
1/4" FT. MIN. (TYPICAL)
- 36" PROTECTIVE WALKWAY PAD
- DETAIL NUMBER
- DRAWING NUMBER
- ROOF TRANSITION or ROOF STEP
- ROOF DRAIN
- OVERFLOW DRAIN
- ROOF TOP UNIT
- EXHAUST FAN
- ROOF VENT
- DOWN SPOUT
- PLUMBING VENT
- THRU-WALL SCUPPER
- DUCT SUPPORT
- HIGH POINT
- LOW POINT

GENERAL ROOFING NOTES

1. SEE ROOF PLAN FOR DESIGNATION OF SPECIFIC ROOF ASSEMBLY TYPES.
2. THE QUANTITY AND LOCATION OF ALL EXISTING AND NEW ROOFTOP EQUIPMENT INCLUDING BUT NOT LIMITED TO MECHANICAL UNITS, ROOF AND OVERFLOW DRAINS, VENTS AND ELECTRICAL CONDUIT AND DEVICES ARE SHOWN FOR REFERENCE ONLY. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND COORDINATE WITH NEW CONDITIONS INDICATED UNDER BASE BIDS. ALTERNATE BIDS AND SEPARATE CONTRACT(S) WHERE APPLICABLE.
3. ALL ROOFS SHALL SLOPE AT A MINIMUM RATE OF 1/4" PER FOOT, UNLESS OTHERWISE NOTED. PROVIDE ADDITIONAL TAPERED INSULATION TO MAINTAIN REQUIRED SLOPE, WHETHER INDICATED OR NOT.
4. ROOF CRICKETS SHALL SLOPE AT A MINIMUM RATE OF 1/2" PER FOOT AND BE LOCATED IN LOW VALLEYS, BETWEEN ROOF DRAINS AND BEHIND EQUIPMENT TO DIVERT WATER AROUND CURBS, RAILS AND OTHER EQUIPMENT SUPPORTS, WHETHER INDICATED OR NOT.
5. A MINIMUM BASE INSULATION THICKNESS OF 3-1/2" SHALL BE PROVIDED AT ALL ROOFS. PROVIDE ADDITIONAL BASE INSULATION THICKNESS AND/OR TAPERED INSULATION AS REQUIRED TO MEET R-VALUE REQUIREMENTS INDICATED ON THE DRAWINGS OR AS OUTLINED IN THE SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. WITH THE EXCEPTION OF ROOF DRAIN PANS, NO POINT ON THE ROOF SHALL HAVE LESS THAN THE REQUIRED MINIMUM THICKNESS OF BASE INSULATION.
6. ALL WOOD BLOCKING AND PLYWOOD SHEATHING SHALL BE PRESSURE TREATED. UNLESS OTHERWISE NOTED, ALL PLYWOOD SHEATHING SHALL BE A MINIMUM OF 1/2" THICK.
7. PROVIDE "BELLOWS" TYPE EXPANSION AND/OR CONTROL JOINTS IN ROOF SYSTEMS WHERE SHOWN ON DRAWINGS AND AS RECOMMENDED BY THE ROOFING MANUFACTURER.
8. TAPERED EDGE STRIPS SHALL BE USED AT ALL TRANSITIONS FROM TAPERED TO FLAT INSULATION BOARDS AND AT ALL PERIMETER ROOF EDGES.
9. MAINTAIN CONSTANT ROOF EDGE ELEVATIONS ACROSS THE SAME HORIZONTAL PLANE.
10. INSULATE ALL HORIZONTAL ROOF/STORM DRAINAGE PIPING.
11. PROVIDE CONCRETE SPLASHBLOCKS AT ALL DOWNSPOUTS AND CONDENSATE PIPING LOCATIONS WHICH ARE NOT TIED DIRECTLY INTO THE BUILDING'S STORM DRAINAGE SYSTEM. SPLASHBLOCKS SHALL BE SELF-BALLASTING AND PLACED ON A ROOF WALKWAY OR OTHER PROTECTION PAD AS COMPATIBLE AND APPROVED BY THE ROOFING SYSTEM MANUFACTURER.
12. THE CONTRACTOR SHALL COORDINATE LOCATIONS OF ROOF DRAINS, OVERFLOW DRAINS AND DOWNSPOUT LEADERS WITH WINDOW LOCATIONS AND OTHER BUILDING FEATURES. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.
13. WHETHER INDICATED OR NOT ON THE DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FLASHING ALL ROOF TOP PENETRATIONS PER THE DETAILS AND/OR ROOFING MANUFACTURER'S REQUIREMENTS, WHICHEVER IS STRICTER.
14. PROVIDE ROOF PROTECTION PADS COMPATIBLE WITH THE SPECIFIED ROOFING SYSTEM BELOW ALL POINTS OF CONTACT OF EQUIPMENT SUPPORT RAILS, DUCT SUPPORTS, PIPE CARRIERS AND OTHER SUPPORT DEVICES WHICH DO NOT PENETRATE THE ROOF.
15. THE BUILDING MAY BE OCCUPIED DURING ROOFING REMOVAL AND REPLACEMENT. THE CONTRACTOR'S WORK AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER AND ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
16. FOR ALL CONNECTIONS TO EXISTING ROOFS TO REMAIN, COORDINATE WITH THE MANUFACTURER OF THE EXISTING ROOFING SYSTEM PRIOR TO THE START OF WORK TO VERIFY THE COMPATIBILITY OF ALL FLASHING METHODS, ROOFING MATERIALS AND INSTALLATION METHODS SO AS NOT TO VOID EXISTING ROOF WARRANTIES.
17. EXTEND/RAISE ALL EXISTING ROOF CURBS, EQUIPMENT, SKYLIGHTS, ETC. TO MAINTAIN A MINIMUM OF 8" HIGH FLASHING ABOVE THE FINISHED ROOF SURFACE.
18. THE CONTRACTOR IS RESPONSIBLE FOR ALL DISCONNECT, EXTENSION, TEMPORARY RELOCATION AND RECONNECTION OF UTILITIES THAT MAY BE NECESSARY TO FACILITATE THE WORK. COORDINATE ALL UTILITY INTERRUPTIONS AND SHUTDOWNS WITH THE OWNER AND ARCHITECT PER THE SPECIFICATIONS.
19. THE CONTRACTOR SHALL PURGE, DISCONNECT, RAISE AND RECONNECT EXISTING GAS PIPING AS NECESSARY TO COMPLETE THE WORK.
20. DETAILS SHOWN ARE FOR BASE BID ROOFING SYSTEMS. WHERE ACCEPTED, THE CONTRACTOR SHALL PROVIDE REVISED DETAILS FOR ALTERNATE BID ROOFING SYSTEMS PER THE MANUFACTURER'S RECOMMENDATIONS.
21. WHERE RE-ROOFING OCCURS AND EXISTING VENTS OR OTHER PIPING ARE TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PIPE EXTENSIONS TO ENSURE THAT PIPING AND FLASHINGS ARE A MINIMUM OF 8" ABOVE THE FINISHED ROOF SURFACE.
22. ALL EXISTING ROOFTOP EQUIPMENT, CURBS, RAILS AND VENTS SHALL REMAIN, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING MINIMUM CLEARANCES BETWEEN ROOF SURFACES AND BOTTOM OF EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING EQUIPMENT TO REMAIN AND SHALL REPAIR/REPLACE DAMAGED EQUIPMENT IMMEDIATELY AT NO COST TO THE OWNER.
23. THE STEEL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SUPPLEMENTAL STEEL SUPPORT ANGLES AND OTHER FRAMING AS REQUIRED AT ALL NEW AND/OR RELOCATED ROOF DRAIN ASSEMBLIES OR OTHER PENETRATIONS GREATER THAN 4" DIAMETER, WHETHER INDICATED OR NOT.
24. LOCATIONS OF ROOF DRAINS, OVERFLOW DRAINS AND OTHER ROOF PENETRATIONS ARE DIAGRAMMATIC AND MUST BE COORDINATED WITH OTHER ASPECTS OF THE WORK. THE CONTRACTOR SHALL COORDINATE FINAL PLACEMENT OF DRAINS AND EQUIPMENT WITH STEEL FRAMING, EXISTING EQUIPMENT AND CONDITIONS BELOW THE ROOF DECK THAT MAY INHIBIT THE INSTALLATION OF SAID EQUIPMENT FROM LOCATIONS DEPICTED IN THE DRAWINGS. TO THE GREATEST EXTENT, ROOF DRAINS SHALL BE LOCATED TO PROVIDE UNIFORM CRICKET HEIGHTS AND UNOBSTRUCTED FLOW TO DRAINS WHILE MINIMIZING INSULATION HEIGHTS AT PARAPETS OR OTHER RISING WALL CONDITIONS.
25. TAPERED INSULATION LAYOUTS ARE FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL PROVIDE TAPERED INSULATION DRAWINGS AND SPECIFIC MANUFACTURING DETAILS FOR REVIEW AND APPROVAL.
26. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL HAZARDOUS MATERIALS. REFER TO THE PROJECT MANUAL AND ABATEMENT DRAWINGS FOR ADDITIONAL INFORMATION REGARDING REMOVAL, HANDLING AND DISPOSAL PROCEDURES.
27. REPLACE DAMAGED MATERIALS AND ASSEMBLIES IN LIKE KIND, LEAVING NO EVIDENCE OF PATCHING OR REPAIRS AS DETERMINED BY THE ARCHITECT AND AT NO COST TO THE OWNER.
28. NO SCREWS AND/OR PLATES SHALL BE USED TO ADHERE BASE SHEETS TO EXISTING WOOD DECKING. CONSULT THE RECOMMENDATIONS OF THE ROOFING MANUFACTURER FOR BASE SHEET INSTALLATION OVER WOOD DECKS.
29. WHERE FINISHES ARE REQUIRED OVER EXISTING SUBSTRATES, THE CONTRACTOR SHALL COMPLETELY REMOVE EXISTING MATERIALS, SUCH AS, BUT NOT LIMITED TO: COATINGS, FILMS, OILS, SEALERS AND ADHESIVES, ETC.
30. DEFECTIVE SUBSTRATES WHICH ARE NO LONGER UNIFORM, DIMENSIONALLY STABLE, STRUCTURALLY SOUND, OR OTHERWISE UNACCEPTABLE FOR THE INSTALLATION OF WORK SHALL BE QUANTIFIED AND DOCUMENTED BY SURVEY AND PHOTOGRAPHS AND BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER. SUBSTRATES SHALL BE REPLACED WITH MATERIAL(S) COMPATIBLE WITH EXISTING SYSTEMS AND SUITABLE FOR THE WORK IN ACCORDANCE WITH THE MATERIAL MANUFACTURER'S WRITTEN LITERATURE AND RECOGNIZED INDUSTRY STANDARDS. FAILURE TO INSPECT AND IDENTIFY DEFECTIVE SUBSTRATES PRIOR TO COMMENCEMENT OF NEW ROOFING SYSTEM(S) INSTALLATION SHALL CONSTITUTE THE CONTRACTOR'S COMPLETE ACCEPTANCE OF SAID SUBSTRATE CONDITIONS.
31. WHERE EXISTING LIGHT FIXTURES, CONDUITS, JUNCTION BOXES OR OTHER ELECTRICAL EQUIPMENT REQUIRE MODIFICATIONS TO ACCOMMODATE NEW CONSTRUCTION, COORDINATE UTILITY SERVICE INTERRUPTIONS WITH THE OWNER.
32. TEMPORARILY RAISE OR RELOCATE EXISTING ELECTRICAL WIRING/CONDUIT LAYING ON ROOFS TO ACCOMMODATE NEW CONSTRUCTION AND ROOFING INSTALLATIONS. COORDINATE UTILITY SERVICE INTERRUPTIONS WITH THE OWNER.
33. UNLESS OTHERWISE NOTED, ALL EXISTING ROOF TRANSITION LADDERS ARE TO BE REMOVED AND REPLACED.
34. ALL ROOF TRANSITION LADDERS SHALL BE SHOP FABRICATED AND PAINTED ALUMINUM CONSTRUCTION WITH SLIP-RESISTANT RUNGS. LADDERS SHALL BE FULLY SUPPORTED BY WALL/PARAPET CONSTRUCTION WITHOUT SUPPORT OR PENETRATION OF THE ROOFING ASSEMBLIES. PROVIDE (1) 36"x36" ROOF WALKWAY PAD BELOW EACH SIDE OF THE TRANSITION LADDER COMPATIBLE WITH THE ROOFING SYSTEM.

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JOHN F. WRIGHT 2140194400
SPIEZIE ARCHITECTURAL GROUP, INC. 2140200000

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HADDONFIELD POLICE STATION
1 WALNUT STREET, HADDONFIELD, NJ 08033
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520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

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REVISIONS:	REVISION NAME	DATE
1		

FOR BID: 06/25/2024

DRAWING TITLE:

ROOF PLANS AND DETAILS

COMMISSION NUMBER:

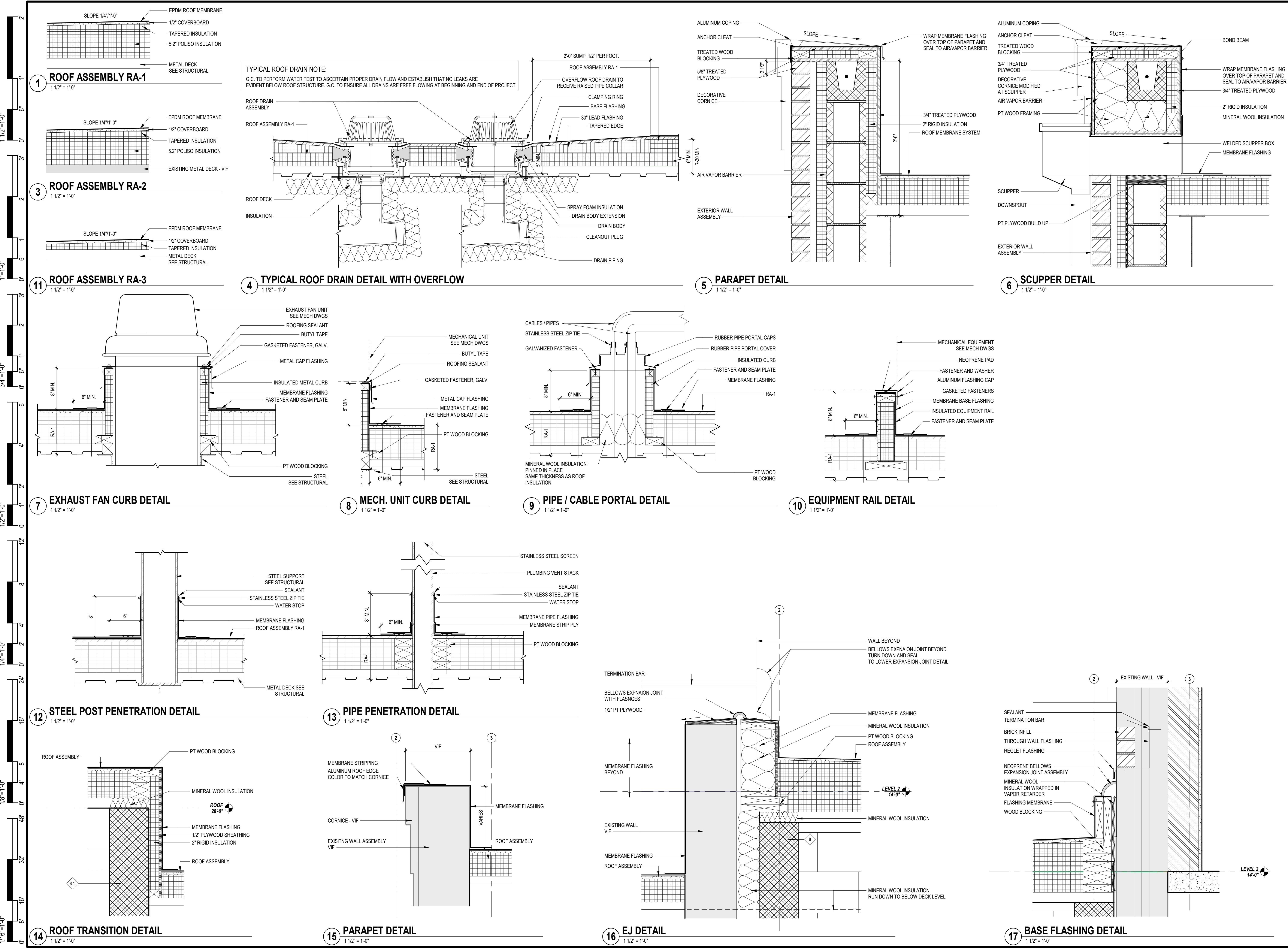
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TYPICAL ROOF DRAIN NOTE:
G.C. TO PERFORM WATER TEST TO ASCERTAIN PROPER DRAIN FLOW AND ESTABLISH THAT NO LEAKS ARE EVIDENT BELOW ROOF STRUCTURE. G.C. TO ENSURE ALL DRAINS ARE FREE FLOWING AT BEGINNING AND END OF PROJECT.

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ROOF DETAILS

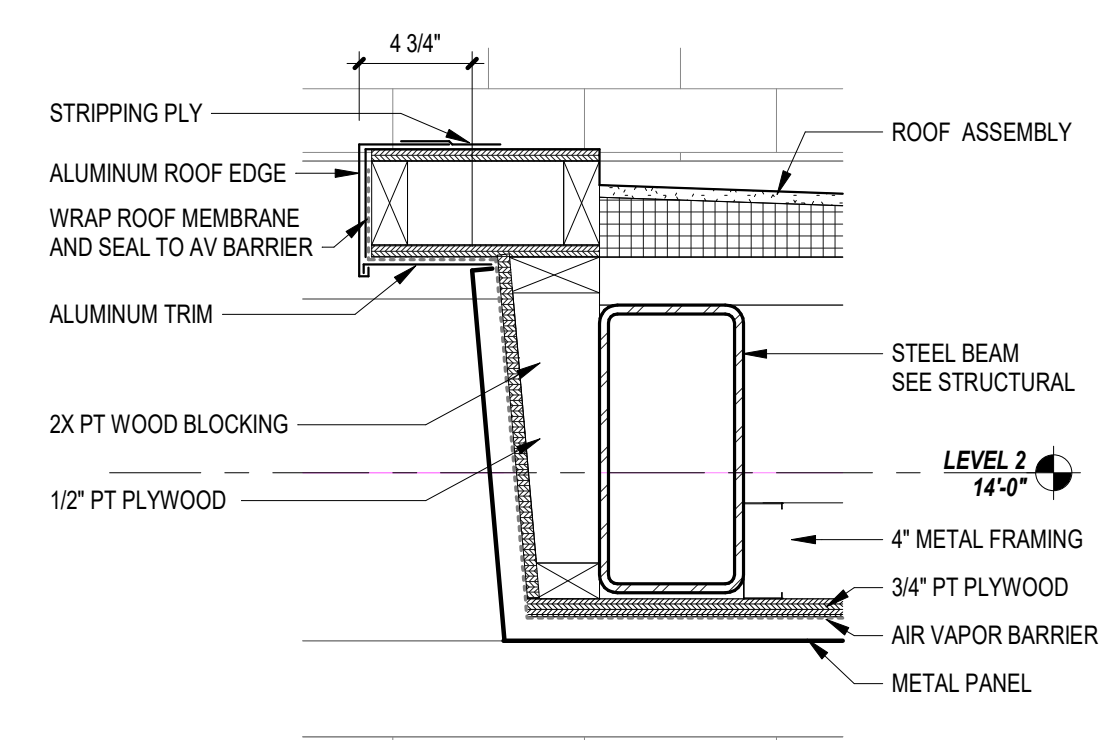
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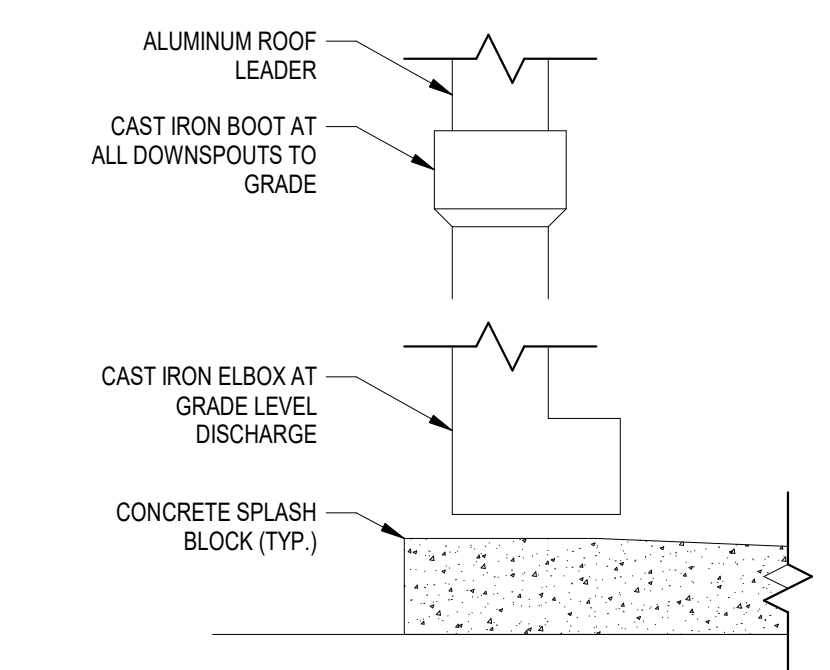
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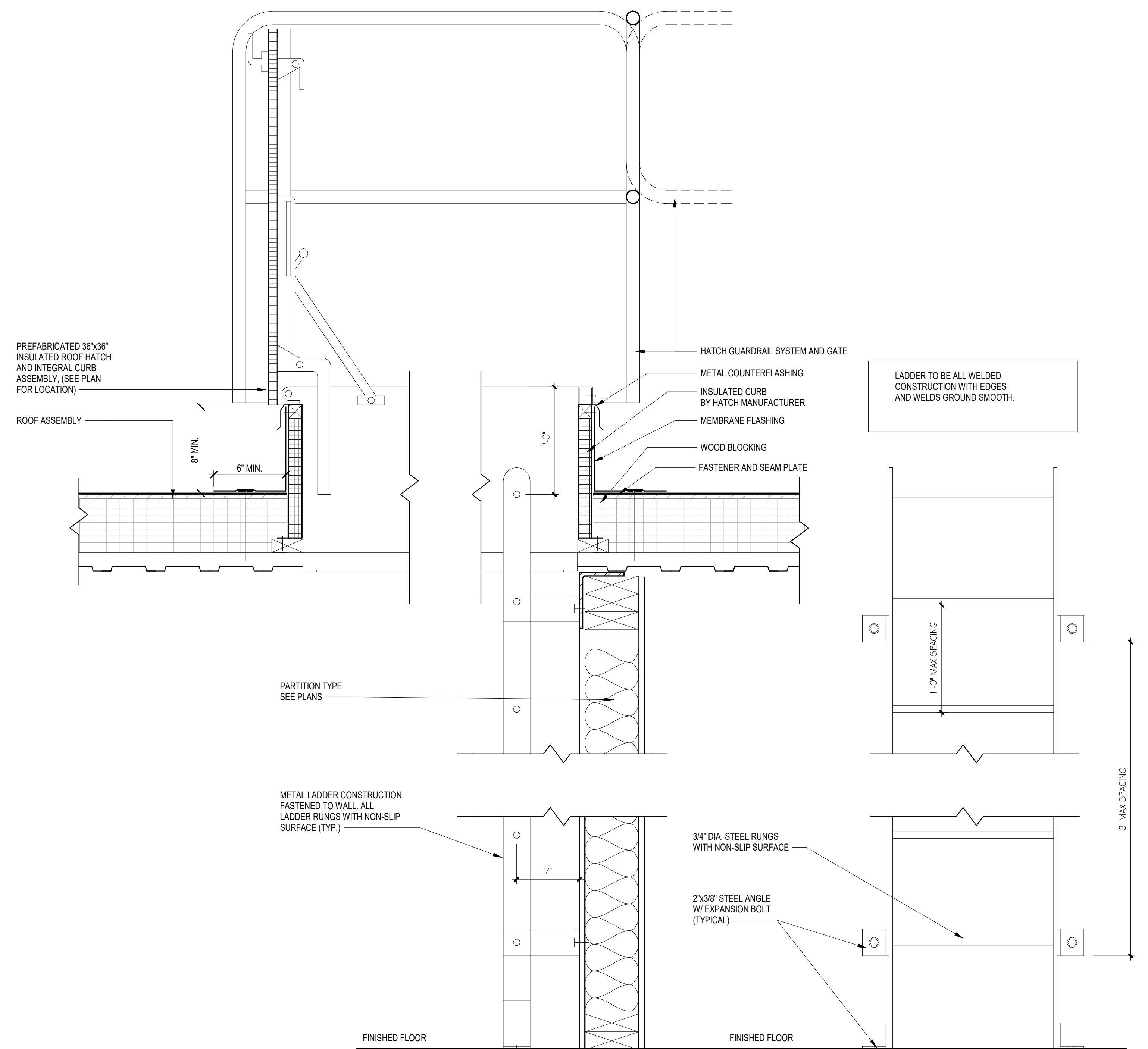
1/2"=1'-0"
 1/2"=1'-0"
 3/4"=1'-0"
 1/2"=1'-0"
 1/2"=1'-0"
 1/4"=1'-0"
 1/4"=1'-0"
 1/8"=1'-0"
 1/8"=1'-0"



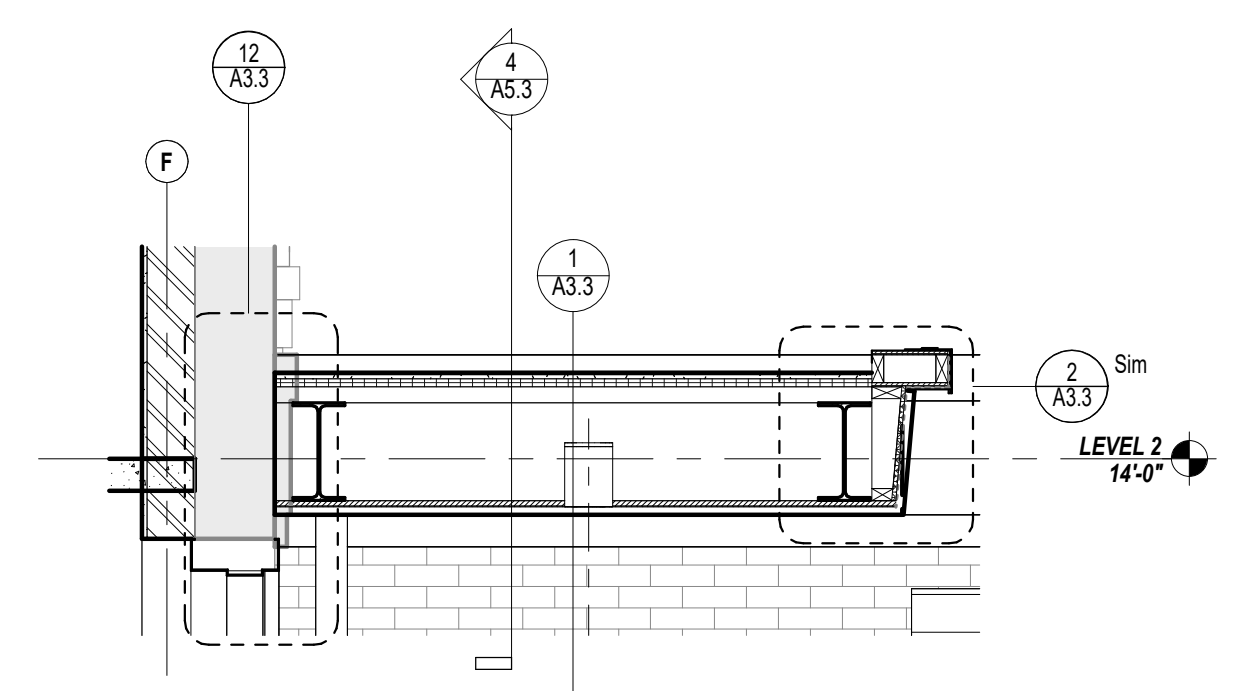
2 CANOPY EDGE DETAIL
 1 1/2" = 1'-0"



5 TYPICAL LEADER/DOWNSPOUT DISCHARGE
 1 1/2" = 1'-0"

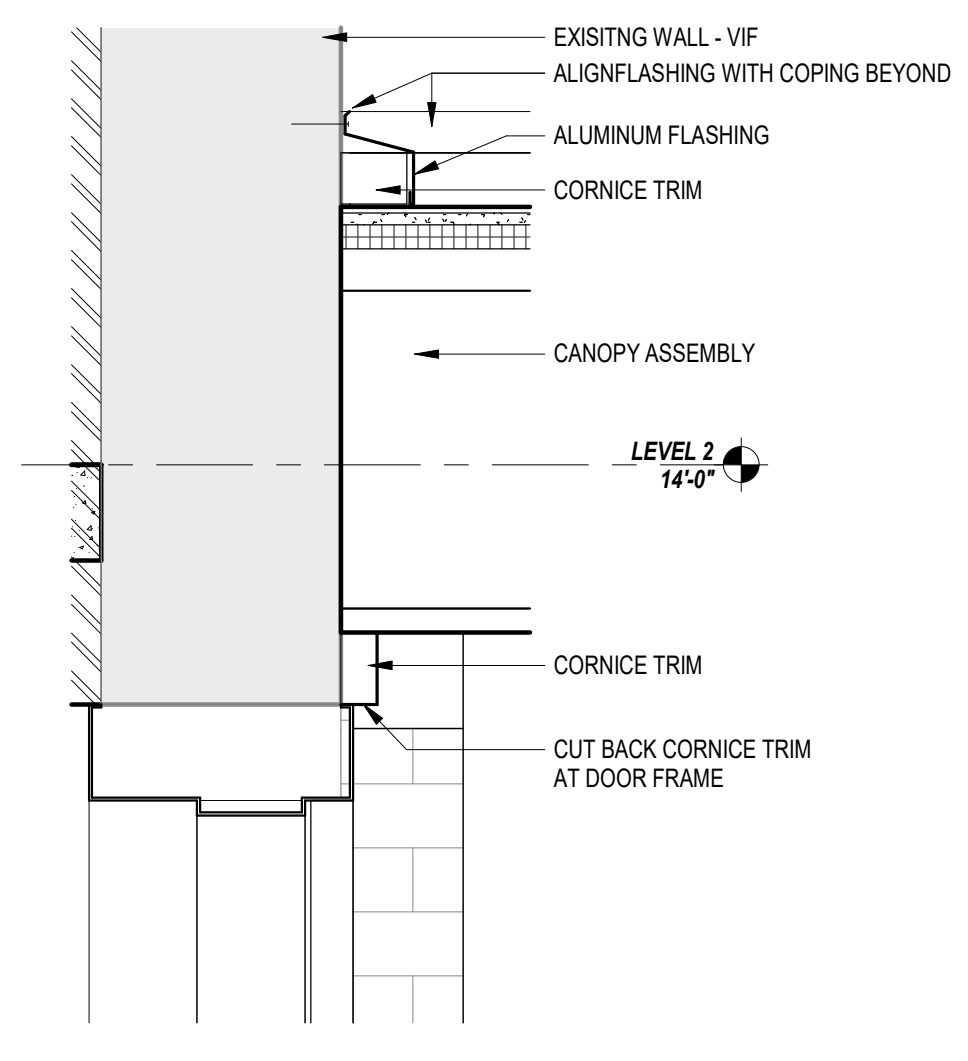
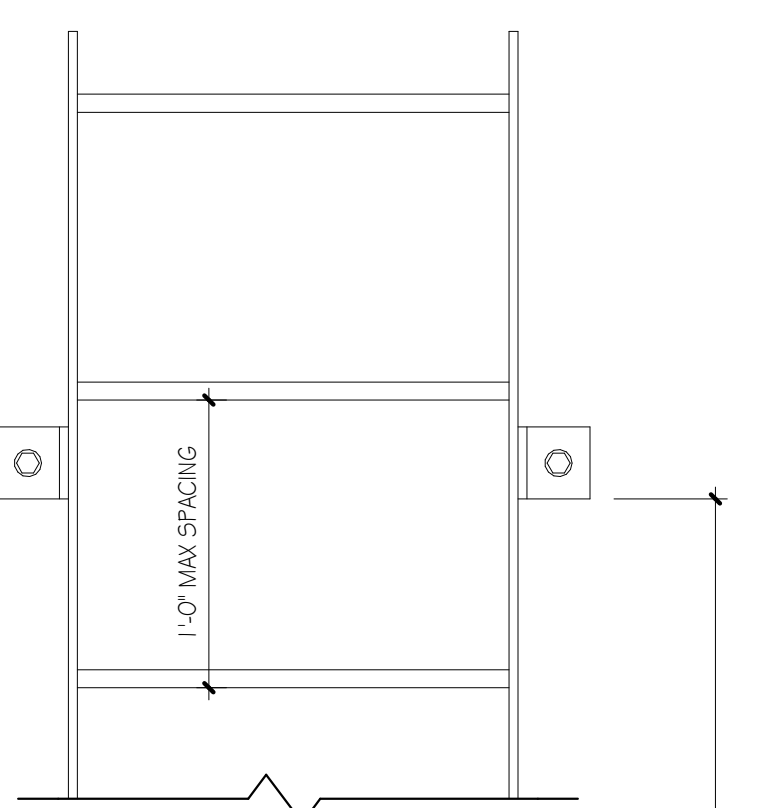


4 ROOF HATCH DETAIL
 1 1/2" = 1'-0"

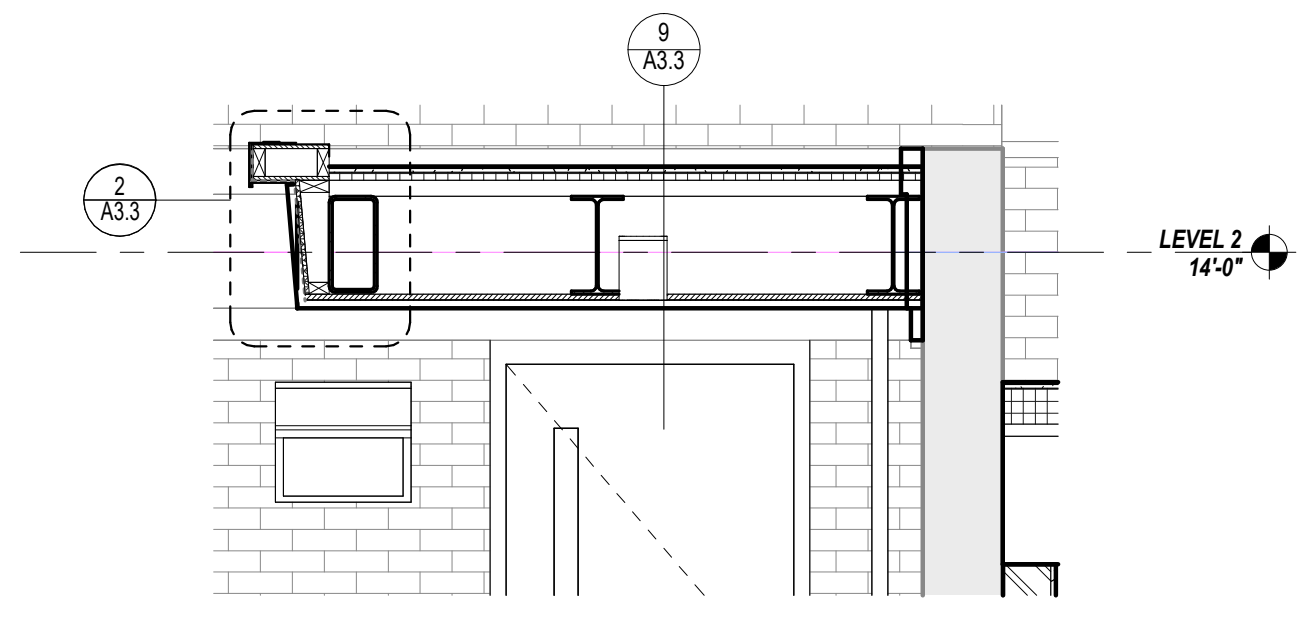


9 CANOPY SECTION DETAIL 01
 1/2" = 1'-0"

LADDER TO BE ALL WELDED CONSTRUCTION WITH EDGES AND WELDS GROUND SMOOTH.



12 CANOPY DETAIL 02
 1 1/2" = 1'-0"



1 CANOPY SECTION DETAIL
 1/2" = 1'-0"

CODE REVIEW:

CERTIFICATE:



SPIEZE ARCHITECTURAL GROUP INC.
 121 MARKET STREET
 CAMDEN, NJ 08102
 PHONE: (856) 974 7666

SIGNATURE:
 THOMAS S. PERRINO 21A01925400
 SCOTT E. DOWNIE 21A01974400
 STEVEN LEONE 21A01971000
 STEVEN G. SEIGEL 21A01944200
 ANGELO ALBERTO 21A01968700
 JOHN F. WRIGHT 21A01944200
 SPIEZE ARCHITECTURAL GROUP, INC. 21A020083000

SEAL:

BID SET - 06/25/2024

PROJECT:
HADDONFIELD POLICE STATION
 1 WALNUT STREET, HADDONFIELD, NJ 08033
 FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
 520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:	REVISION NAME	DATE
1		

FOR BID: 06/25/2024

DRAWING TITLE:
ROOF DETAILS

COMMISSION NUMBER:
23M014

DO NOT SCALE THE DRAWINGS
 DRAWING NUMBER:
A3.3

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121 MARKET STREET
CAMDEN, NJ 08102
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SIGNATURE: THOMAS SPRING 21A01925400
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STEVEN GIBLIN 21A01971000
ANDREW GIBLIN 21A01942000
JOHN SPURNE 21A01967000
JOHN SPURNE 21A01944000
SPEIZE ARCHITECTURAL GROUP, INC. 21A01944000
21A020083000

BID SET - 06/25/2024

PROJECT:

HADDONFIELD POLICE STATION

1 WALNUT STREET, HADDONFIELD, NJ 08033

FOR

CAMDEN COUNTY IMPROVEMENT AUTHORITY

520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION NAME	DATE

FOR BID: 06/25/2024

DRAWING TITLE:

REFLECTED CEILING PLANS AND DETAILS

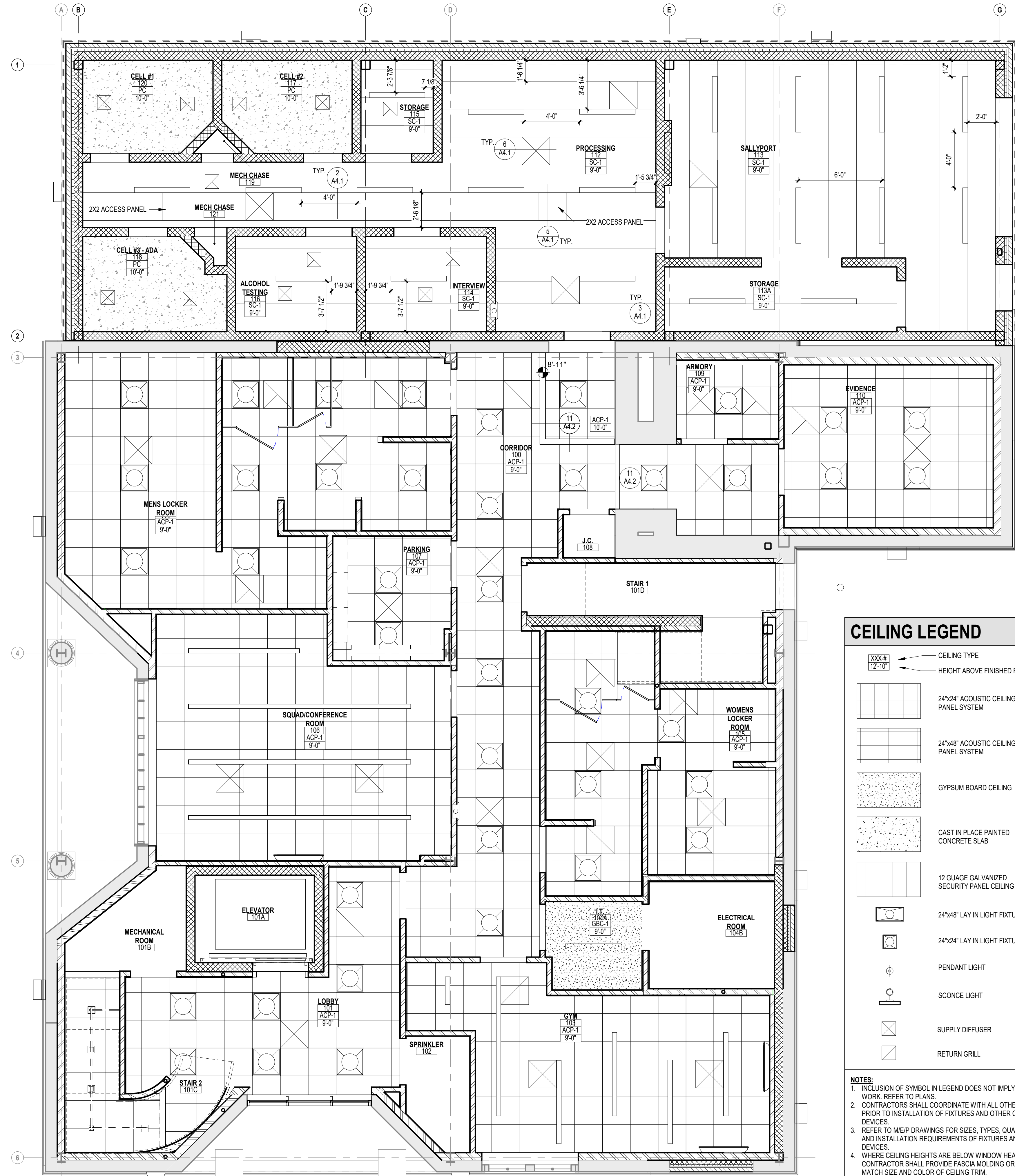
COMMISSION NUMBER:

23M014

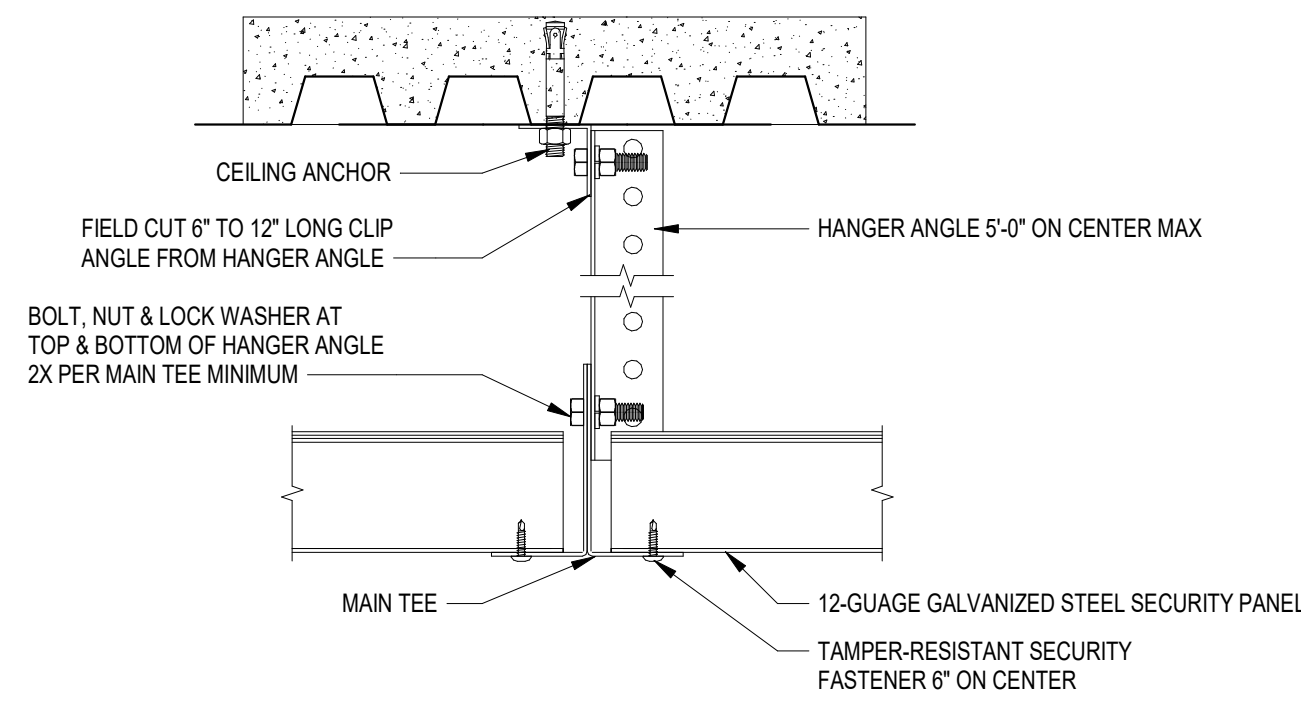
DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:

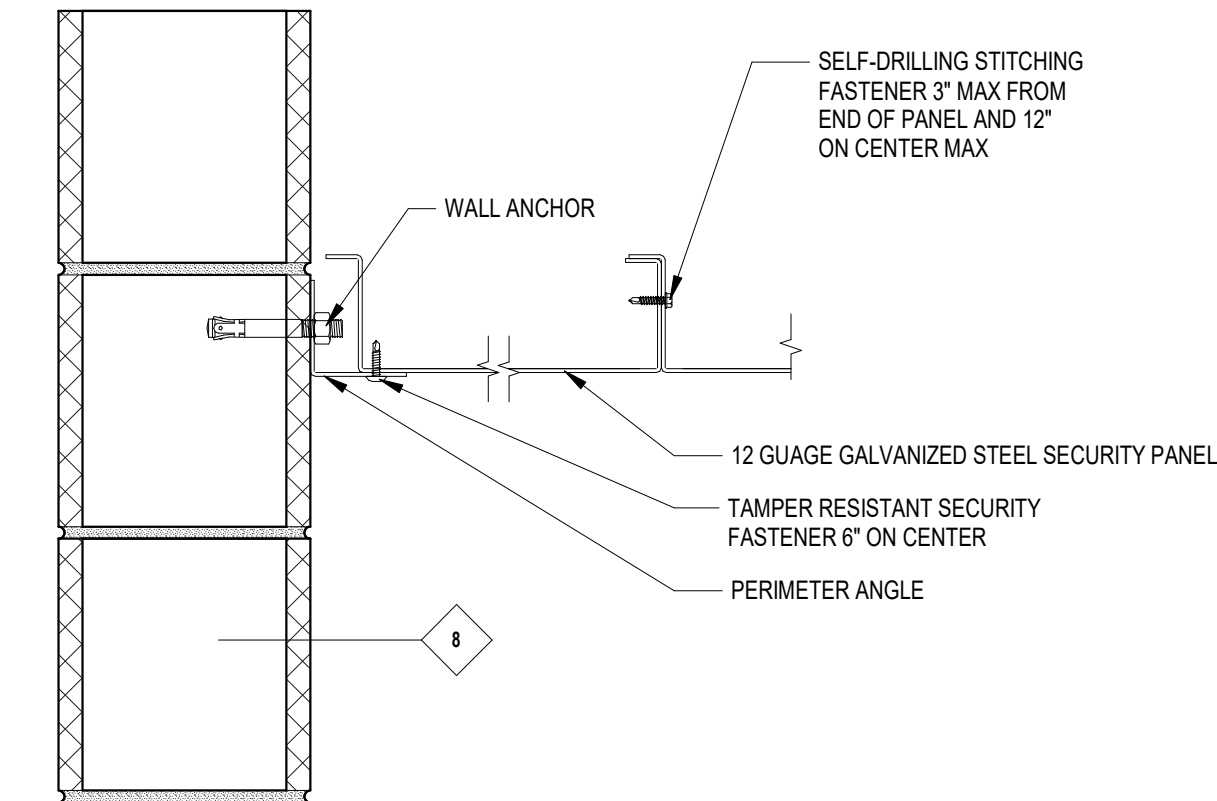
A4.1



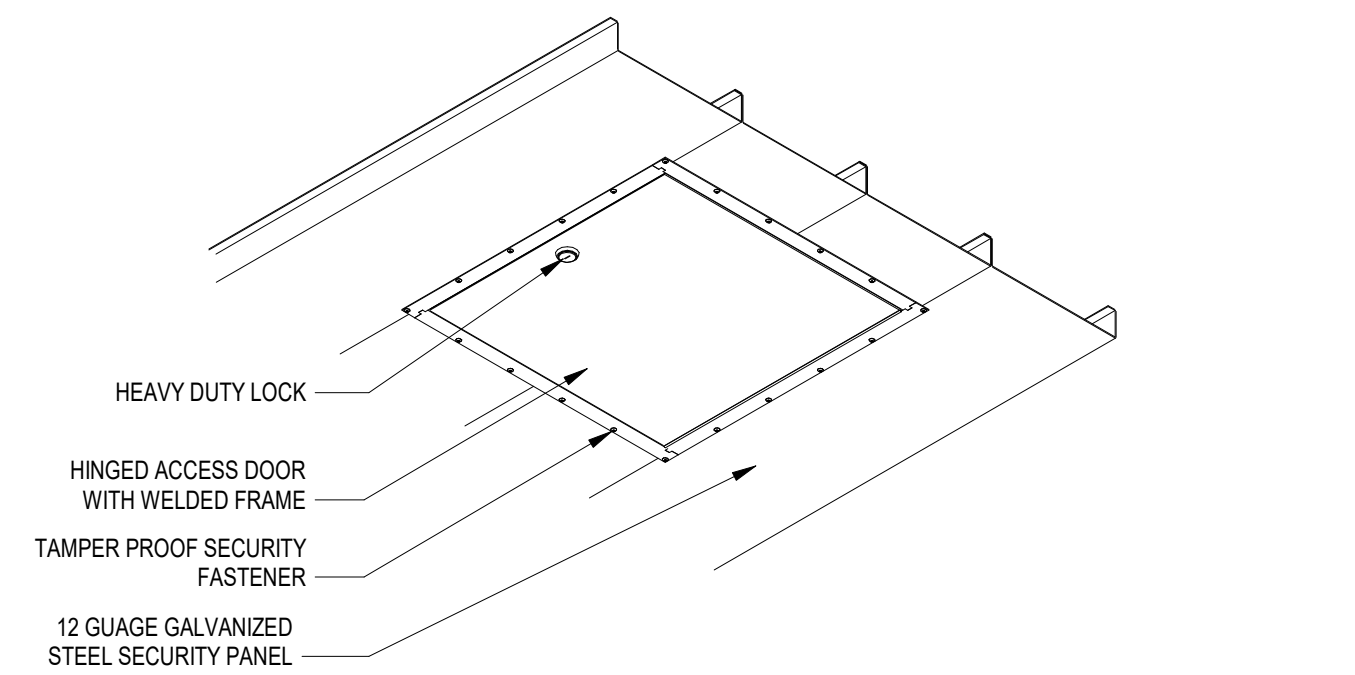
1 EXISTING FIRST FLOOR REFLECTED CEILING PLAN
1/4" = 1'-0"



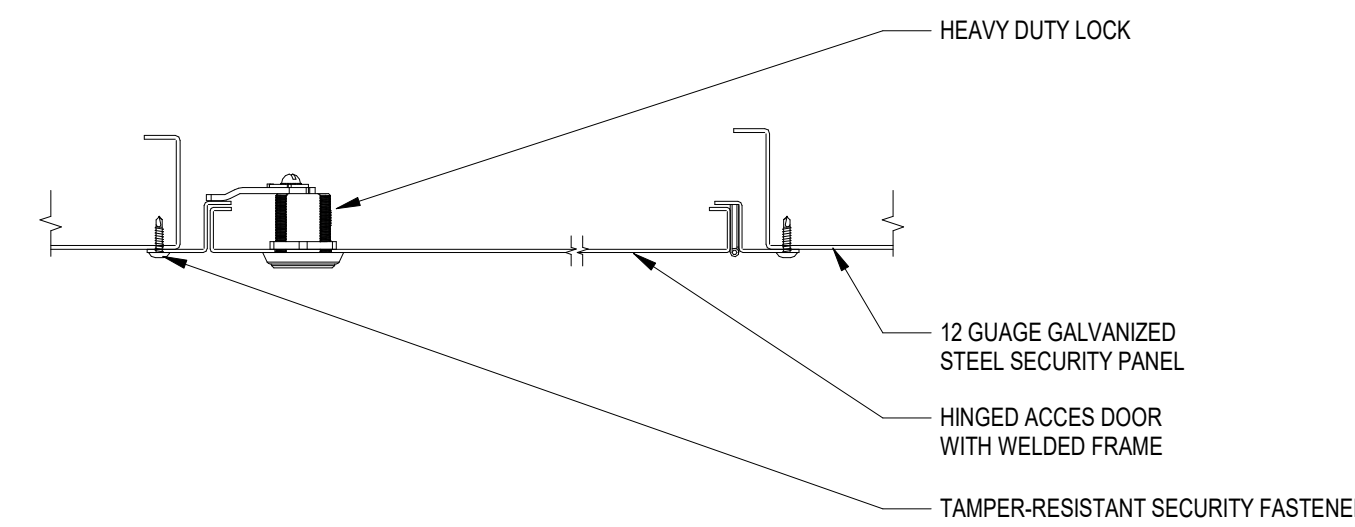
2 SECURITY CEILING SC-1 DETAIL
NOT TO SCALE



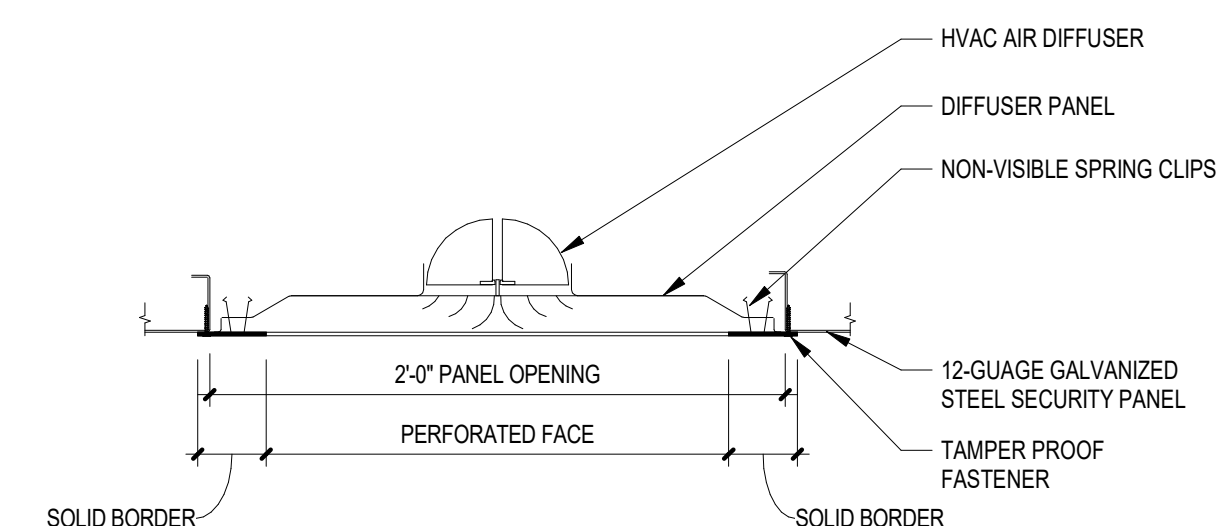
3 SECURITY CEILING SC-1 DETAIL AT WALL
NOT TO SCALE



4 SECURITY CEILING SC-1 DETAIL - ACCESS PANEL ISOMETRIC
NOT TO SCALE



5 SECURITY CEILING SC-1 DETAIL AT ACCESS PANEL
NOT TO SCALE



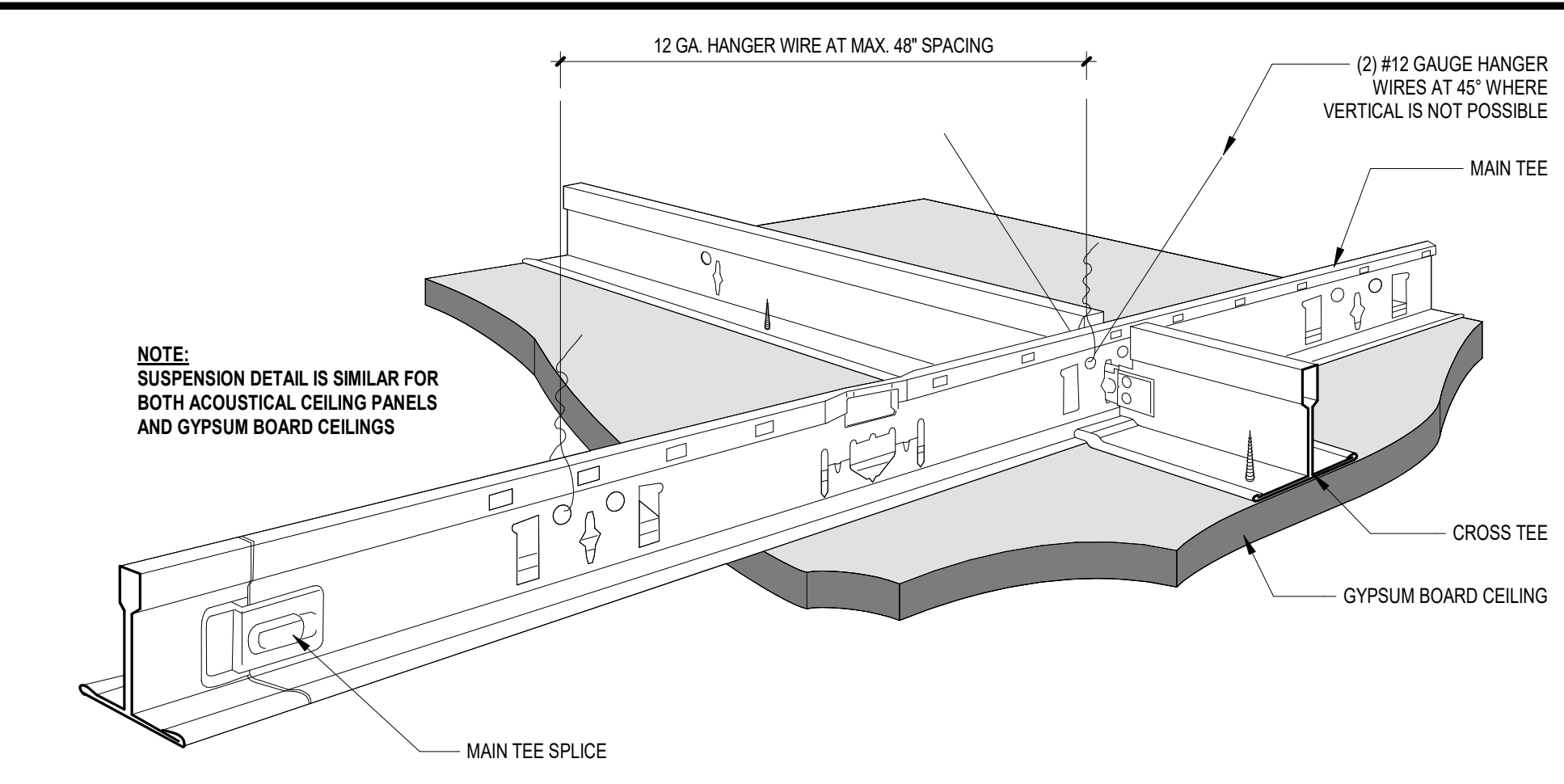
6 SECURITY CEILING SC-1 DETAIL AT DIFFUSER
NOT TO SCALE

CEILING LEGEND

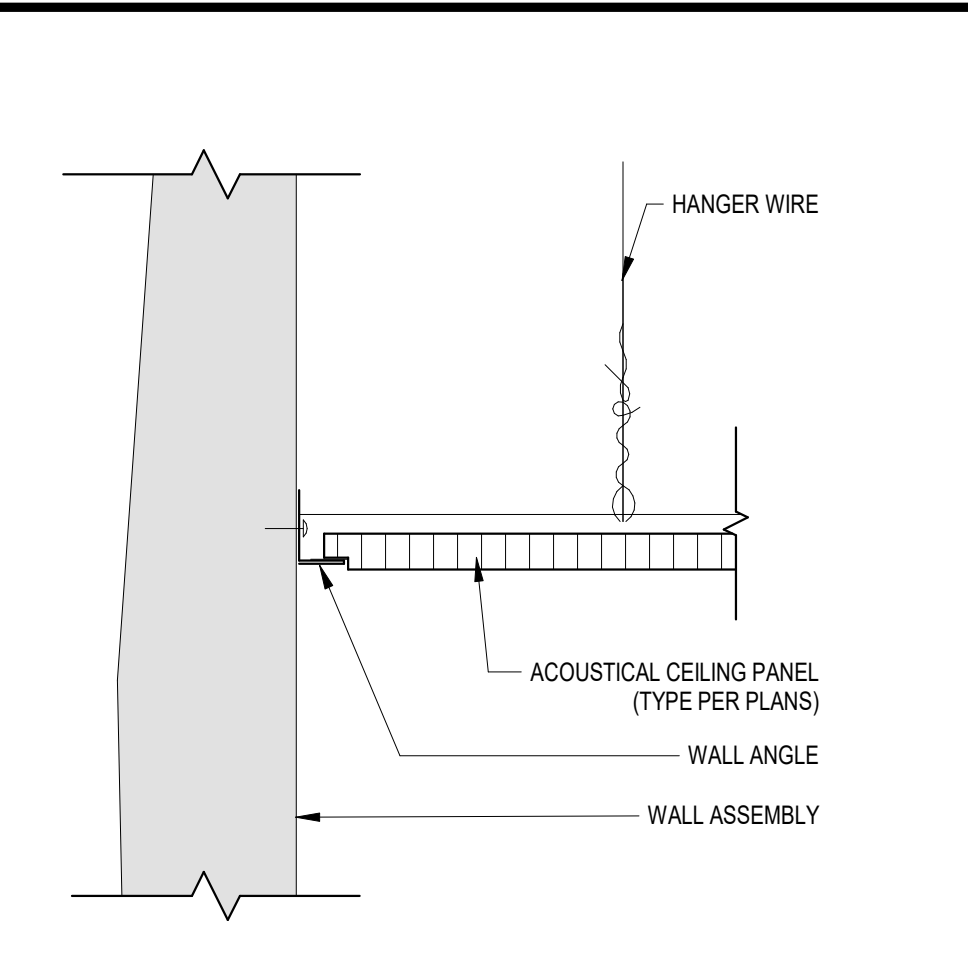
XXX#	CEILING TYPE	HEIGHT ABOVE FINISHED FLOOR
100#	24"x24" ACOUSTIC CEILING PANEL SYSTEM	
101#	24"x48" ACOUSTIC CEILING PANEL SYSTEM	
102#	GYPSUM BOARD CEILING	
103#	CAST IN PLACE PAINTED CONCRETE SLAB	
104#	12 GAUGE GALVANIZED SECURITY PANEL CEILING SC-1	
105#	24"x48" LAY IN LIGHT FIXTURE	
106#	24"x24" LAY IN LIGHT FIXTURE	
107#	PENDANT LIGHT	
108#	SCONCE LIGHT	
109#	SUPPLY DIFFUSER	
110#	RETURN GRILL	

- NOTES:
1. INCLUSION OF SYMBOL IN LEGEND DOES NOT IMPLY SCOPE OF WORK. REFER TO PLANS.
 2. CONTRACTORS SHALL COORDINATE WITH ALL OTHER TRADES PRIOR TO INSTALLATION OF FIXTURES AND OTHER CEILING DEVICES.
 3. REFER TO M/E/P DRAWINGS FOR SIZES, TYPES, QUANTITIES AND INSTALLATION REQUIREMENTS OF FIXTURES AND CEILING DEVICES.
 4. WHERE CEILING HEIGHTS ARE BELOW WINDOW HEADS THE CONTRACTOR SHALL PROVIDE FASCIA MOLDING OR TRIM TO MATCH SIZE AND COLOR OF CEILING TRIM.
 5. COORDINATE ALL AUDIO AND VISUAL DEVICES WITH A/V DRAWINGS. A/V EQUIPMENT SHOWN HERE, INCLUDING PROJECTORS AND PROJECTION SCREENS ARE DIAGRAMMATIC AND ARE SHOWN HERE TO DEPICT ADJACENCIES WITH OTHER LIGHTING AND CEILING DEVICES.

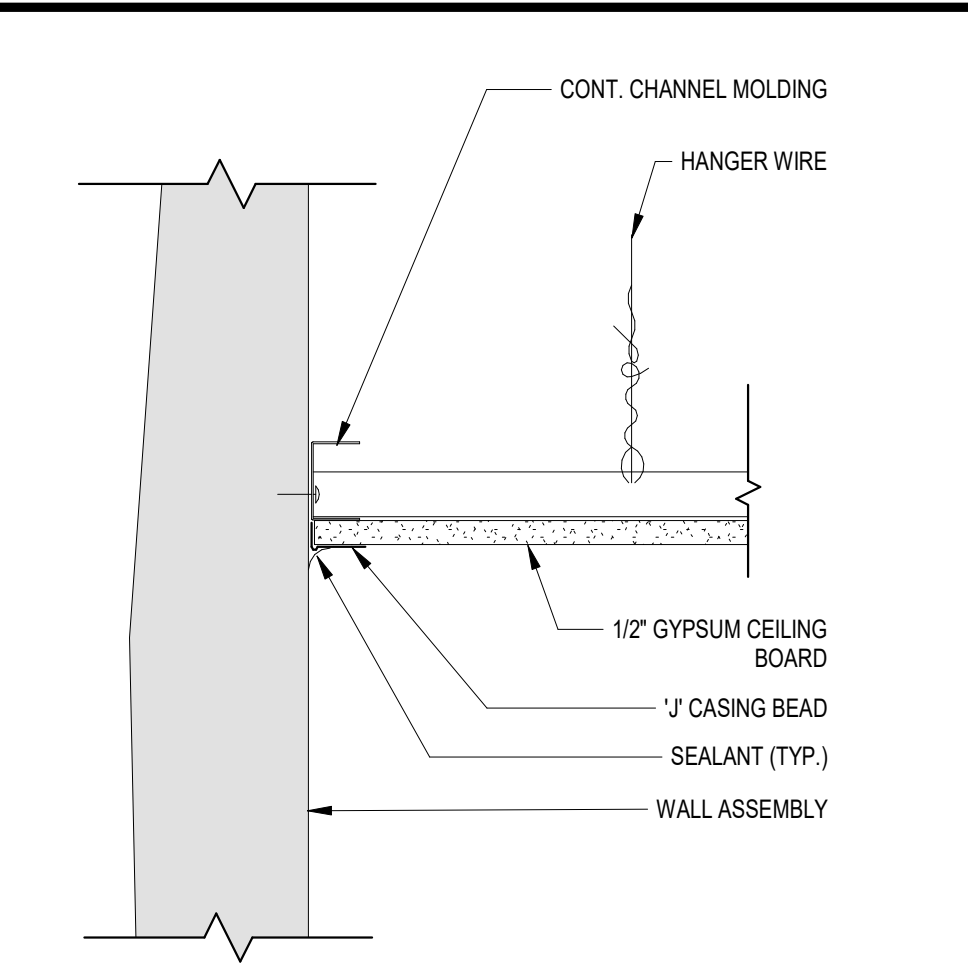
1 1/2" = 1'-0"
 1" = 1'-0"
 3/4" = 1'-0"
 1/2" = 1'-0"
 1/4" = 1'-0"
 1/8" = 1'-0"
 1/16" = 1'-0"



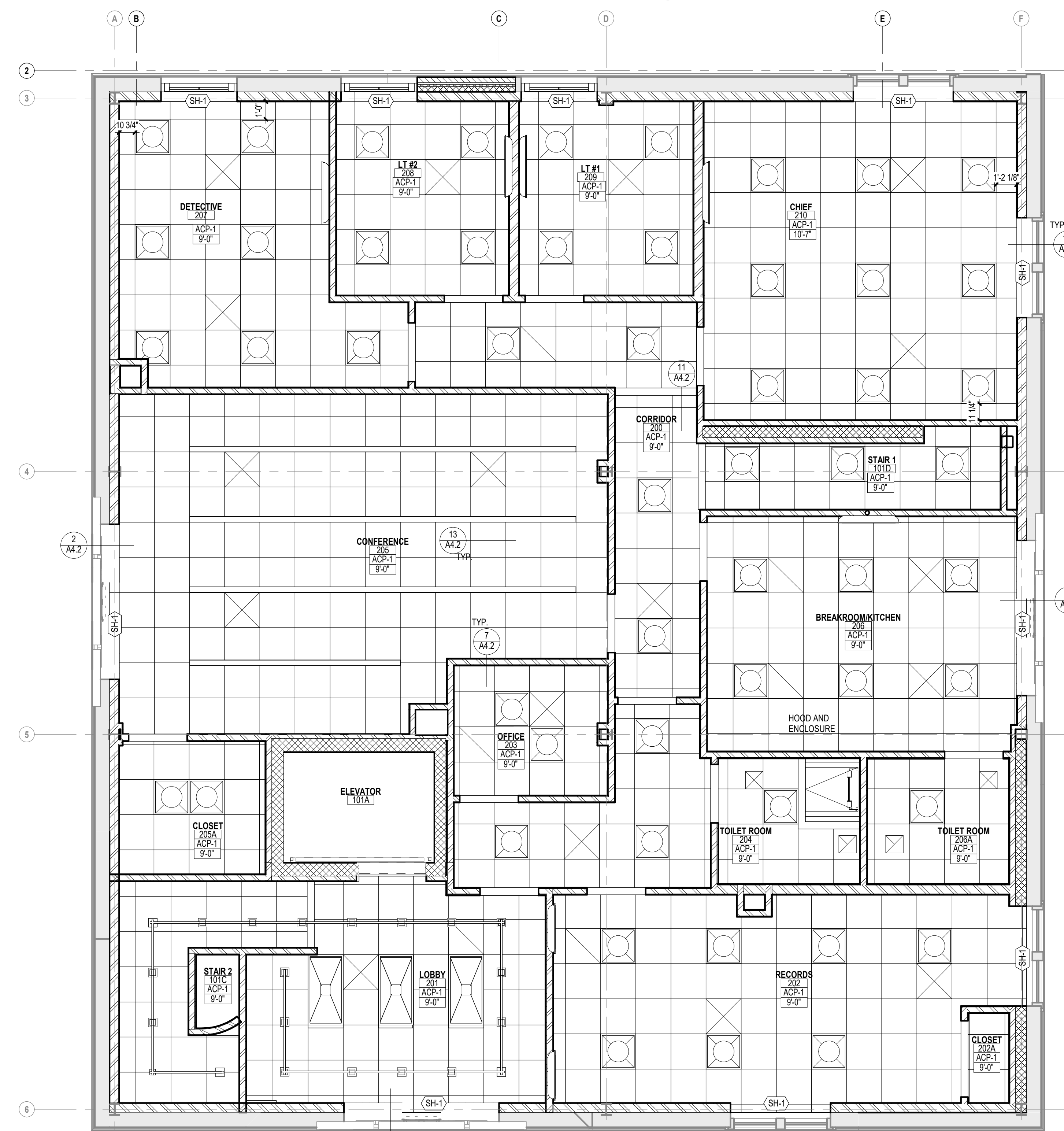
13 SUSPENDED CEILING DETAIL GBC-1
 3" = 1'-0"



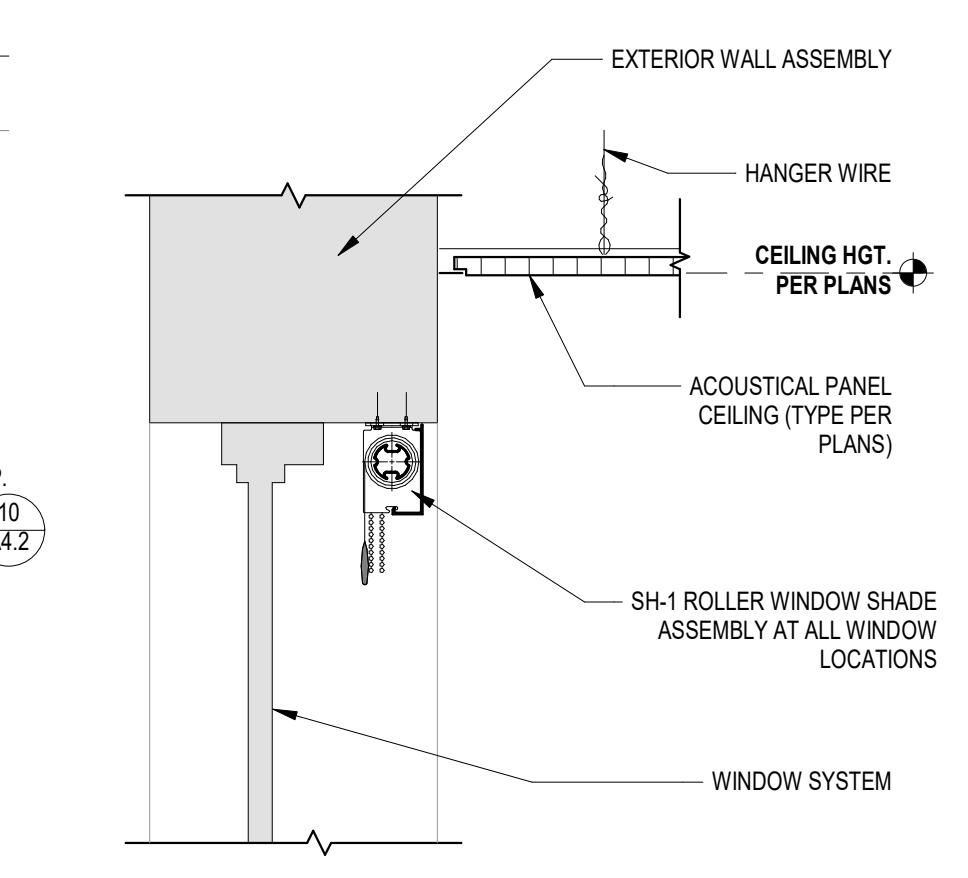
7 EDGE DETAIL AT ACOUSTIC CEILING PANEL
 3" = 1'-0"



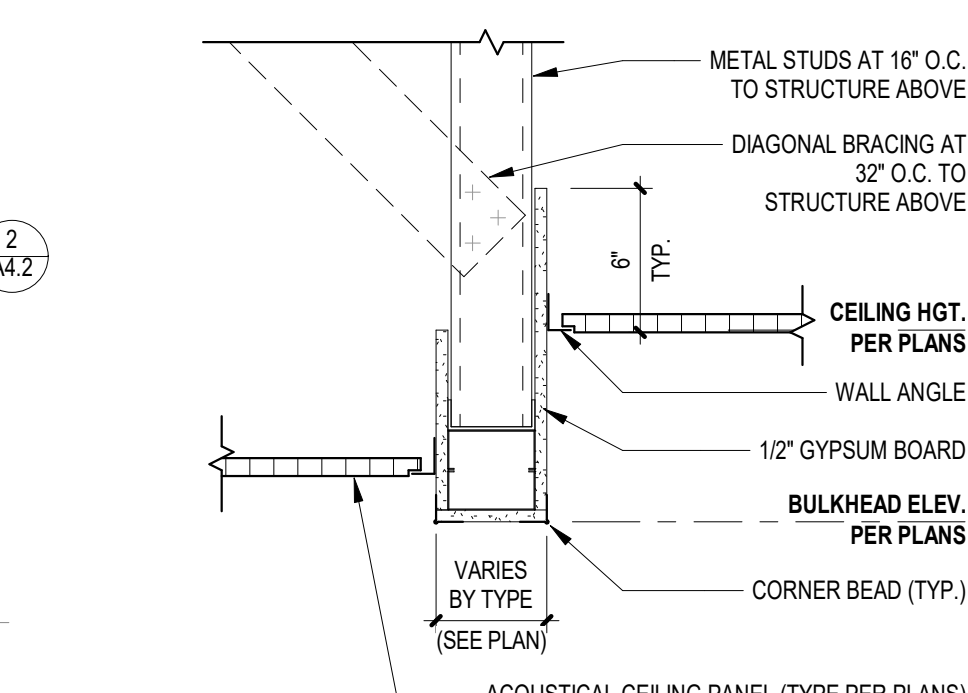
8 EDGE DETAIL AT GYPSUM BOARD CEILING
 3" = 1'-0"



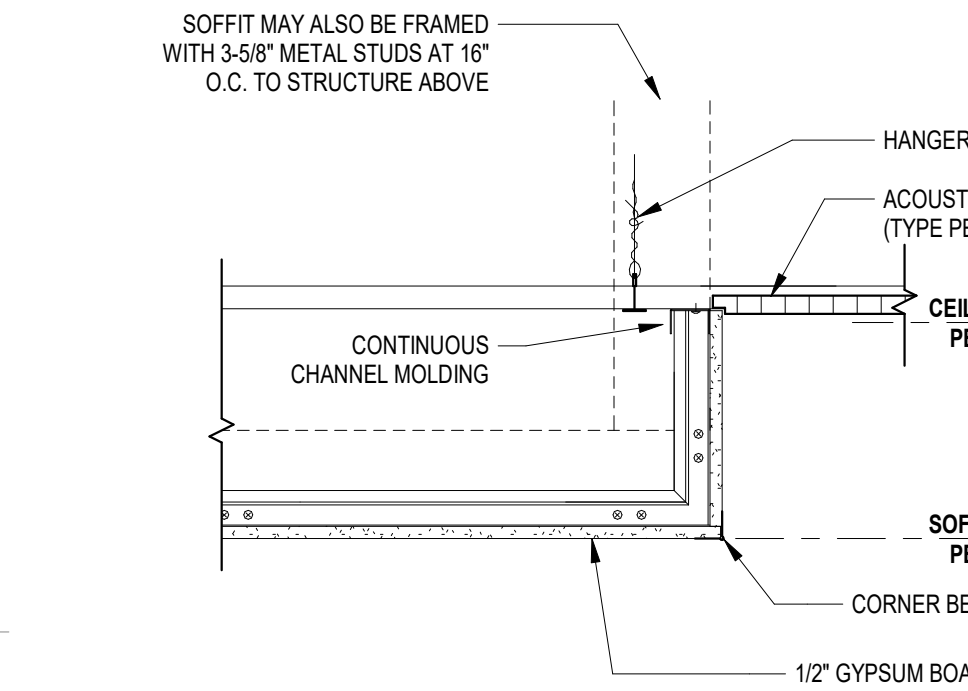
1 LEVEL 2 RCP
 1/4" = 1'-0"



10 ROLLER SHADE DETAIL AT WINDOW
 1 1/2" = 1'-0"



11 FRAMED BULKHEAD DETAIL
 1 1/2" = 1'-0"



12 SOFFIT DETAIL AT WALL
 1 1/2" = 1'-0"

CEILING LEGEND

XXX#
 12-10"

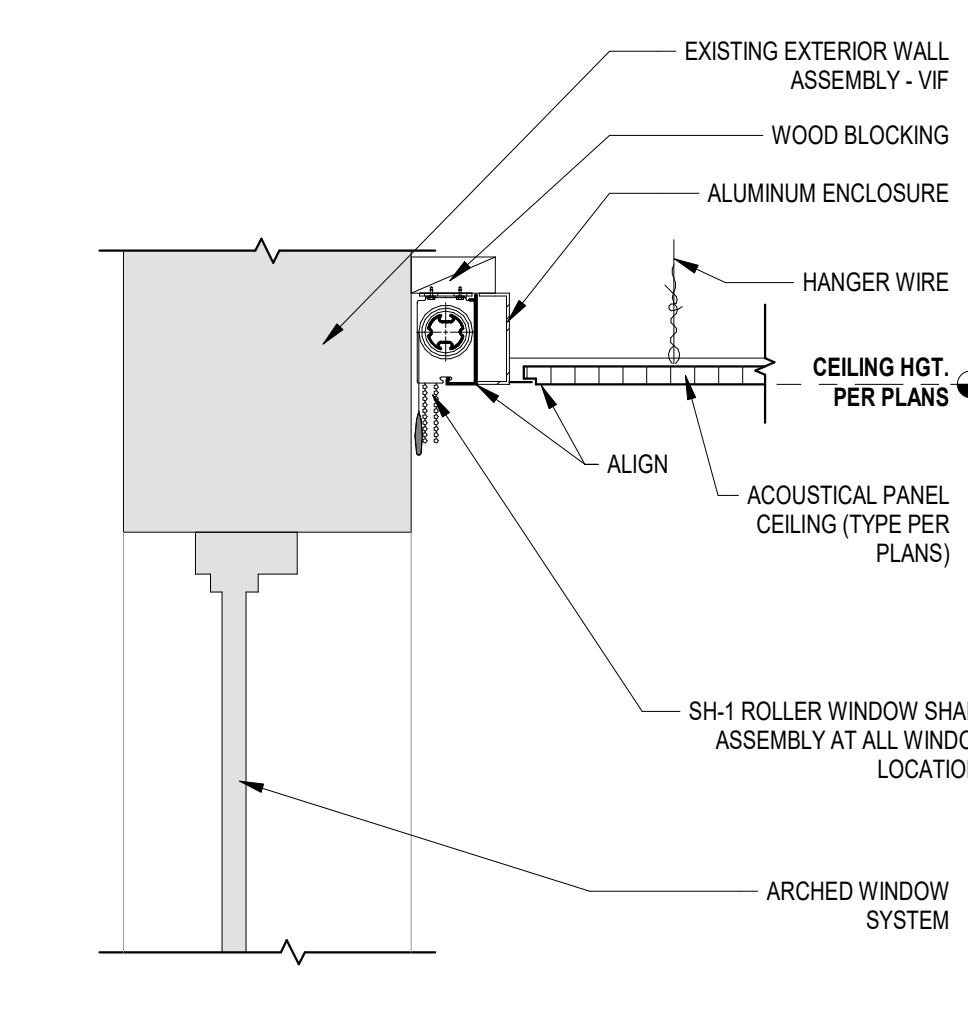
CEILING TYPE
 HEIGHT ABOVE FINISHED FLOOR

- 24"x24" ACOUSTIC CEILING PANEL SYSTEM
- 24"x48" ACOUSTIC CEILING PANEL SYSTEM
- GYPSUM BOARD CEILING
- CAST IN PLACE PAINTED CONCRETE SLAB
- 12 GAUGE GALVANIZED SECURITY PANEL CEILING SC-1
- 24"x48" LAY IN LIGHT FIXTURE
- 24"x24" LAY IN LIGHT FIXTURE
- PENDANT LIGHT
- SCONCE LIGHT
- SUPPLY DIFFUSER
- RETURN GRILL

NOTES:
 1. INCLUSION OF SYMBOL IN LEGEND DOES NOT IMPLY SCOPE OF WORK. REFER TO PLANS.
 2. CONTRACTORS SHALL COORDINATE WITH ALL OTHER TRADES PRIOR TO INSTALLATION OF FIXTURES AND OTHER CEILING DEVICES.
 3. REFER TO M/E/P DRAWINGS FOR SIZES, TYPES, QUANTITIES AND INSTALLATION REQUIREMENTS OF FIXTURES AND CEILING DEVICES.
 4. WHERE CEILING HEIGHTS ARE BELOW WINDOW HEADS THE CONTRACTOR SHALL PROVIDE FASCIA MOLDING OR TRIM TO MATCH SIZE AND COLOR OF CEILING TRIM.
 5. COORDINATE ALL AUDIO AND VISUAL DEVICES WITH AV DRAWINGS. AV EQUIPMENT SHOWN HERE, INCLUDING PROJECTORS AND PROJECTION SCREENS ARE DIAGRAMMATIC AND ARE SHOWN HERE TO DEPICT ADJACENCIES WITH OTHER LIGHTING AND CEILING DEVICES.

SHADING DEVICE SCHEDULE

TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL
SH-1	MANUAL ROLLER SHADE	MECHO SHADE SYSTEMS	MECHO / 5



2 ROLLER SHADE DETAIL AT ARCHED WINDOW
 1 1/2" = 1'-0"

CODE REVIEW:

CERTIFICATE:

SPIEZE ARCHITECTURAL GROUP INC.
 121 MARKET STREET
 CAMDEN, NJ 08102
 PHONE: (856) 974 7666

SIGNATURE:
 THOMAS S. PERRINO
 SCOTT E. DOWNE
 STEVEN L. IOWE
 STEVEN G. SEIGEL
 ANGELO ALBERTO
 JOHN F. WRIGHT
 SPIEZE ARCHITECTURAL GROUP, INC.

SEAL:

21A01925400
 21A01974400
 21A01971000
 21A01984200
 21A01980700
 21A01984200
 21A01984200

BID SET - 06/25/2024

PROJECT:
HADDONFIELD POLICE STATION
 1 WALNUT STREET, HADDONFIELD, NJ 08033
 FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
 520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION NAME	DATE
A	

FOR BID: 06/25/2024

DRAWING TITLE:
REFLECTED CEILING PLANS

COMMISSION NUMBER:
23M014

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:
A4.2

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"

EXTERIOR FINISH LEGEND:

BV-1	BRICK BLEND
CS-1	CAST STONE PANEL
C-1	DECORATIVE CORNICE
SC-1	SCUPPER / DOWNSPOUT

GENERAL NOTES:
 1. BRICK VENEER AT ALL EXTERIOR WALLS TO MATCH EXISTING. EXISTING EXTERIOR WALLS CONSIST OF TWO COLOR BRICK IN A FLEMISH BOND PATTERN.

CODE REVIEW:

CERTIFICATE:



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 THOMAS S. PERRINO 21A01925400
 SCOTT E. DOWNE 21A01974600
 STEVEN L. HOWE 21A01971000
 STEVEN G. SIEGEL 21A01944200
 ANGELO ALBERTO 21A01967000
 JOHN F. WRIGHT 21A01944200
 SPIEZIE ARCHITECTURAL GROUP, INC. 21A020083000

SEAL:

BID SET - 06/25/2024

PROJECT:

HADDONFIELD POLICE STATION
 1 WALNUT STREET, HADDONFIELD, NJ 08033

FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
 520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:	REVISION NAME	DATE
1		

FOR BID: 06/25/2024

DRAWING TITLE:

EXTERIOR ELEVATIONS

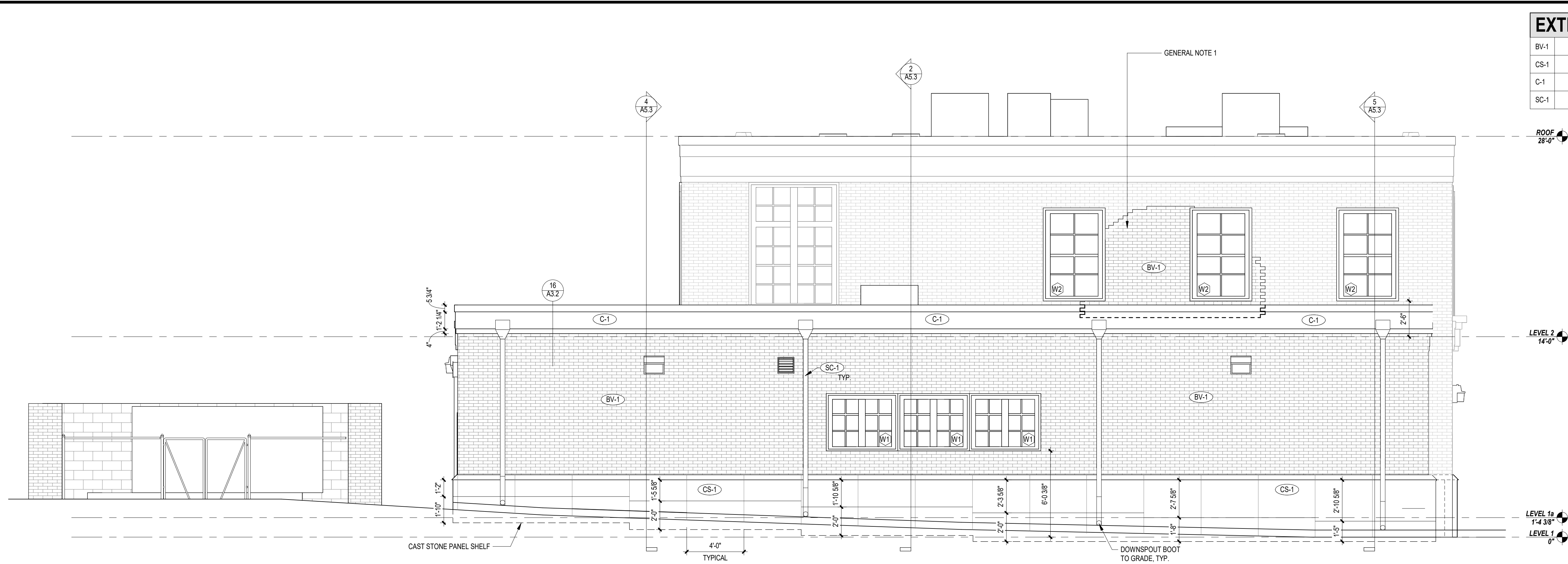
COMMISSION NUMBER:

23M014

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:

A5.1



1 EAST ELEVATION
 1/4" = 1'-0"



2 WEST ELEVATION
 1/4" = 1'-0"

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"

EXTERIOR FINISH LEGEND:

BV-1	BRICK BLEND
CS-1	CAST STONE PANEL
C-1	DECORATIVE CORNICE
SC-1	SCUPPER / DOWNSPOUT

GENERAL NOTES:
 1. BRICK VENEER AT ALL EXTERIOR WALLS TO MATCH EXISTING. EXISTING EXTERIOR WALLS CONSIST OF TWO COLOR BRICK IN A FLEMISH BOND PATTERN.

CODE REVIEW:

CERTIFICATE:



SPIEZE ARCHITECTURAL GROUP INC.
 121 MARKET STREET
 CAMDEN, NJ 08102
 PHONE: (856) 974 7666

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 THOMAS S. PERRINO 21A01955400
 SCOTT E. DOWNE 21A01974400
 STEVEN L. LONE 21A01971000
 STEVEN G. SIEGEL 21A01964200
 ANGELO ALBERTO 21A01969700
 JOHN F. WRIGHT 21A01984200
 SPIEZE ARCHITECTURAL GROUP, INC. 21A020083000

SEAL:

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 1 WALNUT STREET, HADDONFIELD, NJ 08033
 FOR
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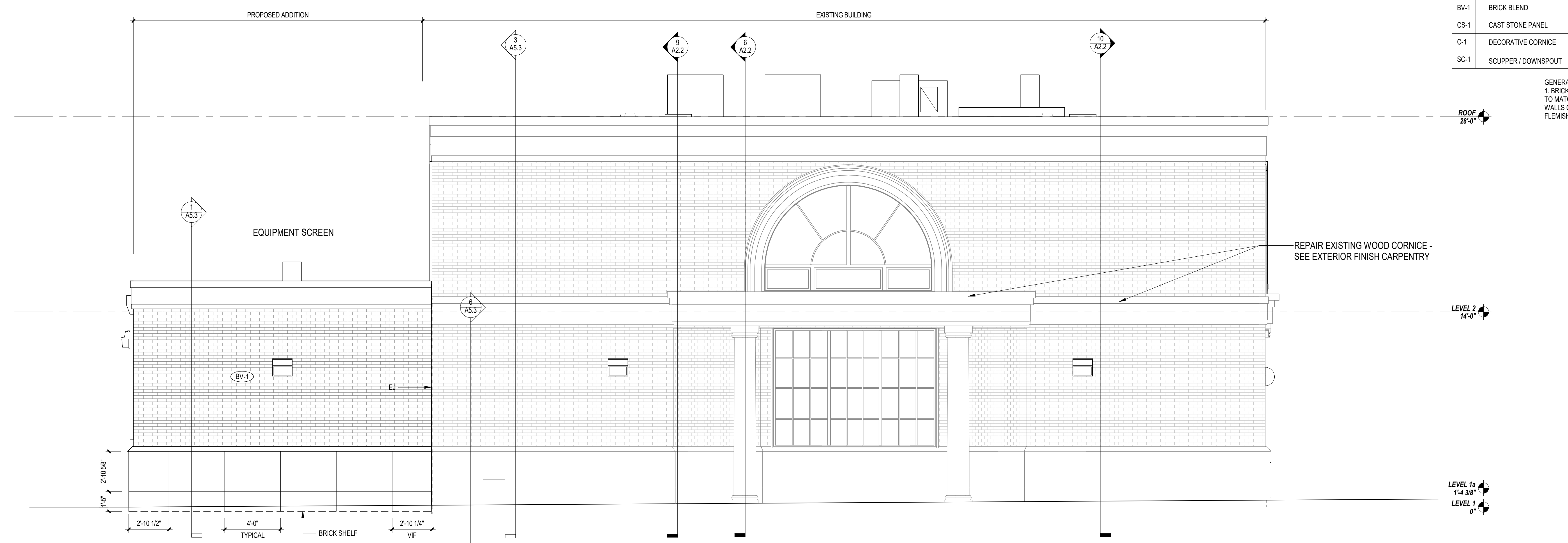
FOR CODE REVIEW: 02/23/24

REVISIONS:	REVISION NAME	DATE
1		

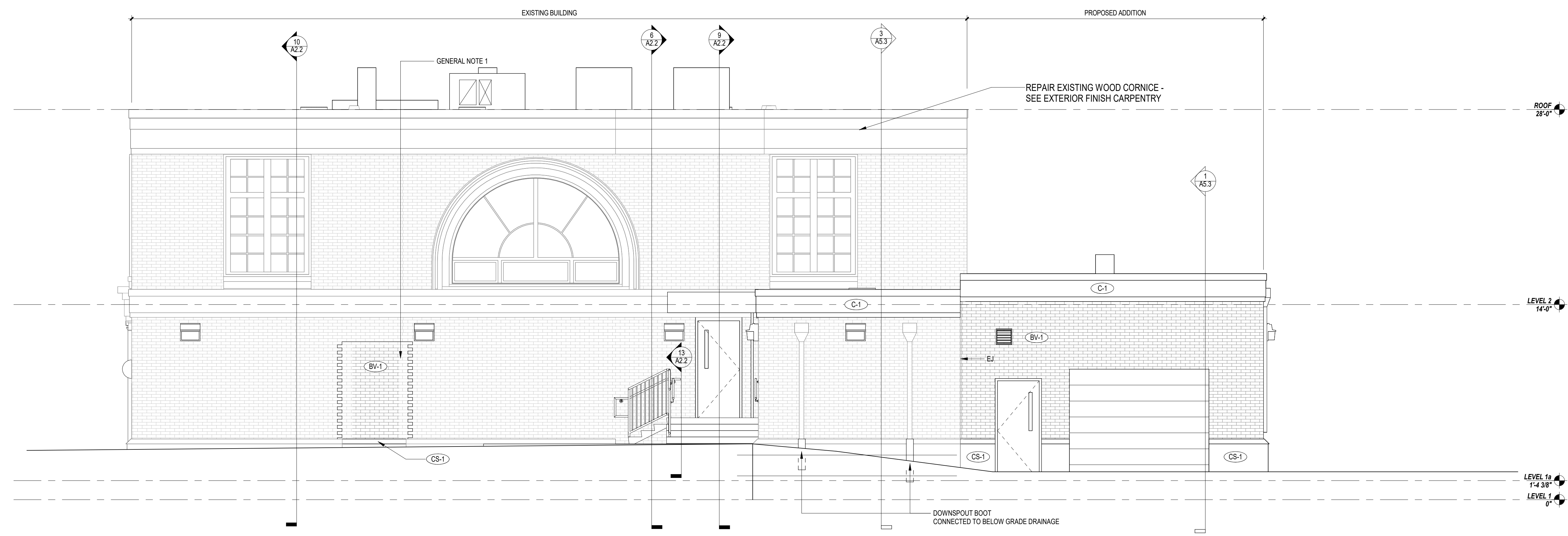
FOR BID: 06/25/2024

DRAWING TITLE:
EXTERIOR ELEVATIONS
 COMMISSION NUMBER:
23M014

DO NOT SCALE THE DRAWINGS
 DRAWING NUMBER:
A5.2



2 NORTH ELEVATION
 1/4" = 1'-0"



1 SOUTH ELEVATION
 1/4" = 1'-0"

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JOHN F. WRIGHT 21A01794200
SPIEZE ARCHITECTURAL GROUP, INC. 21A020083000

SEAL:

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HADDONFIELD POLICE
STATION

1 WALNUT STREET, HADDONFIELD, NJ
08033

FOR

CAMDEN COUNTY
IMPROVEMENT
AUTHORITY

520 MARKET STREET, 6TH FLOOR,
CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION NAME	DATE

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DRAWING TITLE:

EXTERIOR ELEVATIONS
AND BUILDING SECTIONS

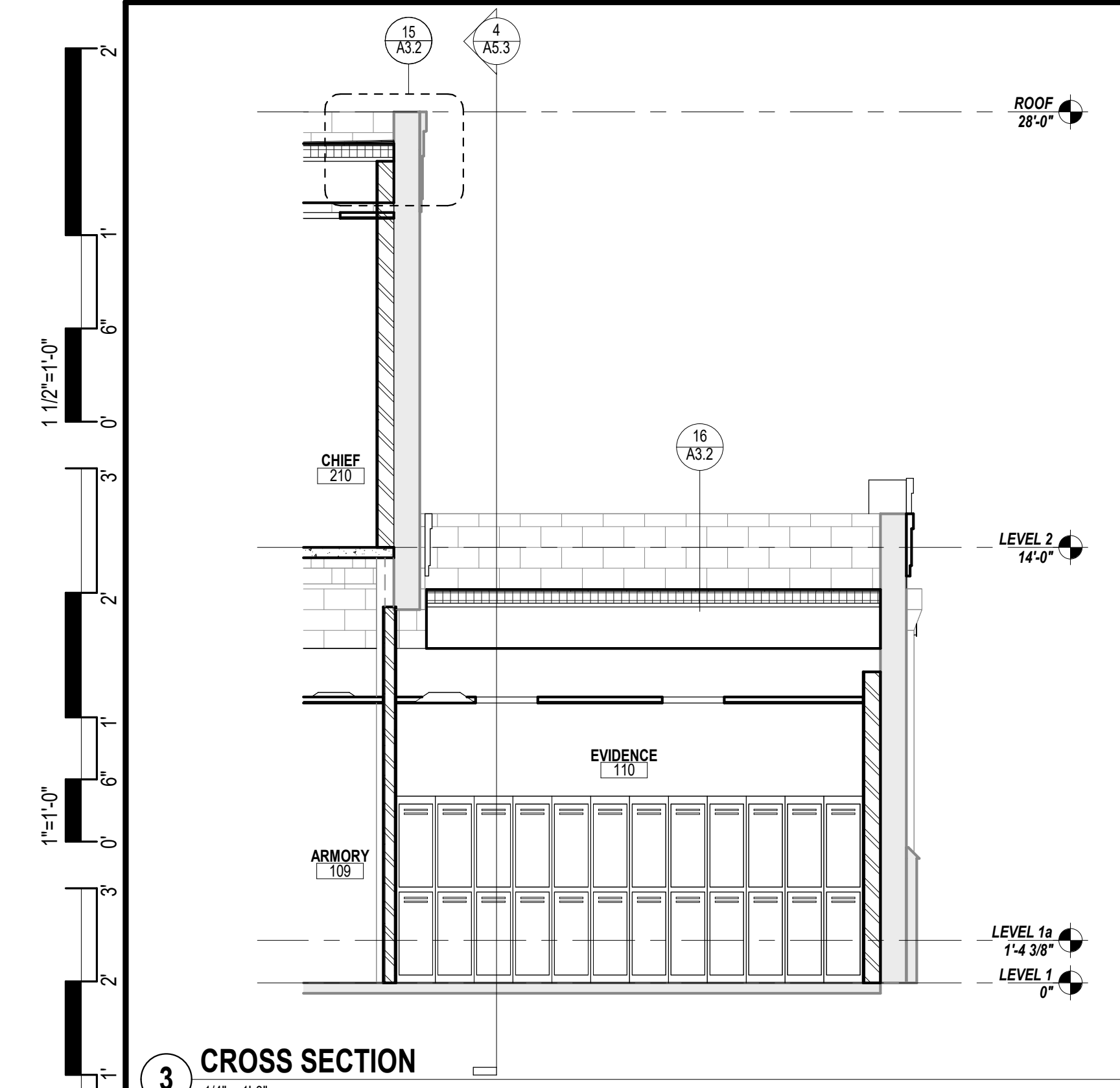
COMMISSION NUMBER:

23M014

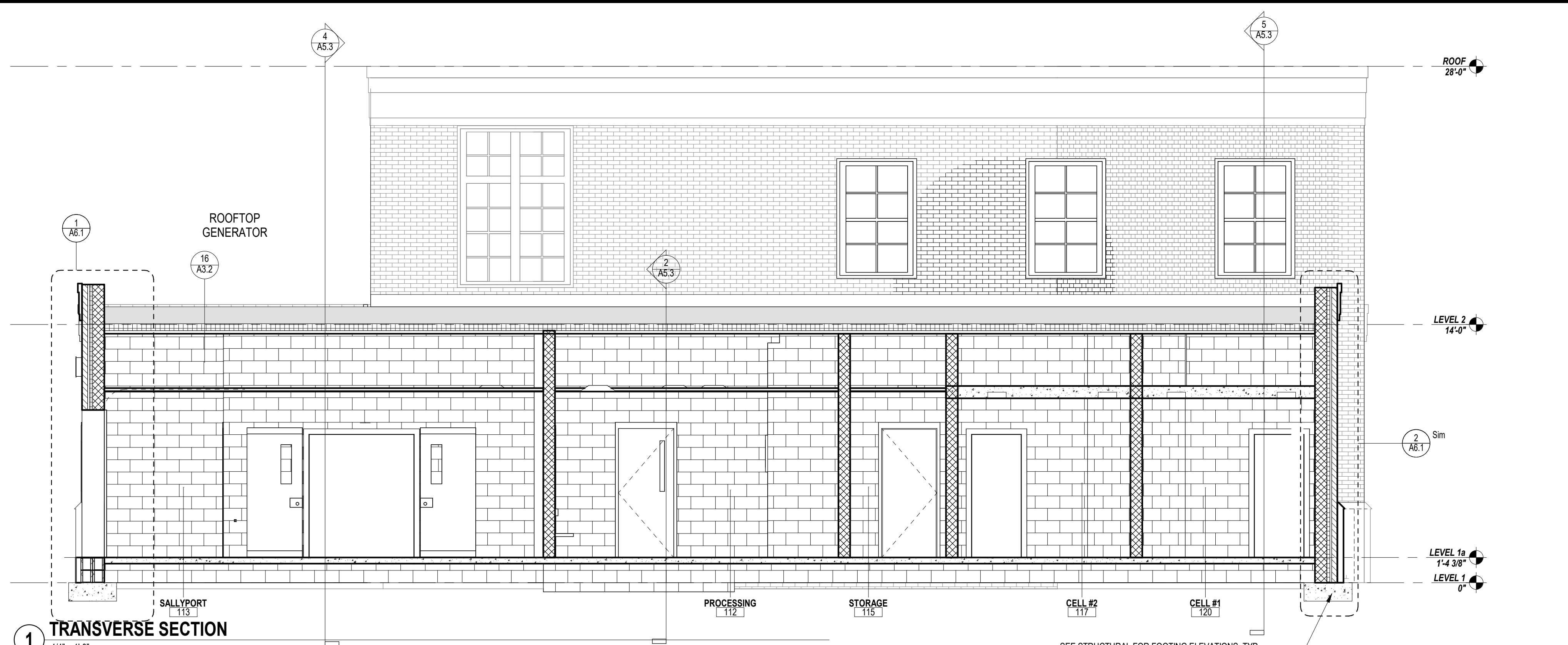
DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:

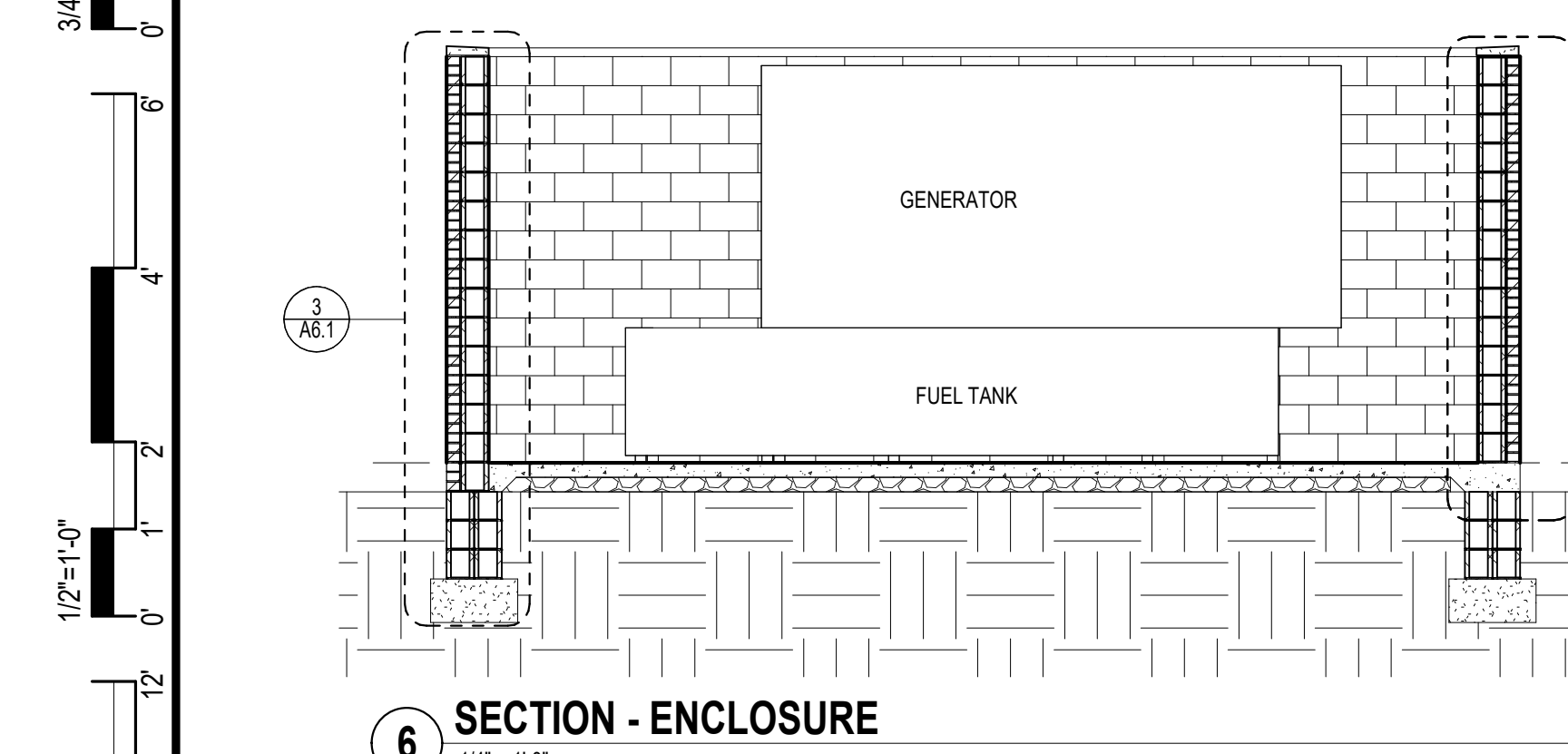
A5.3



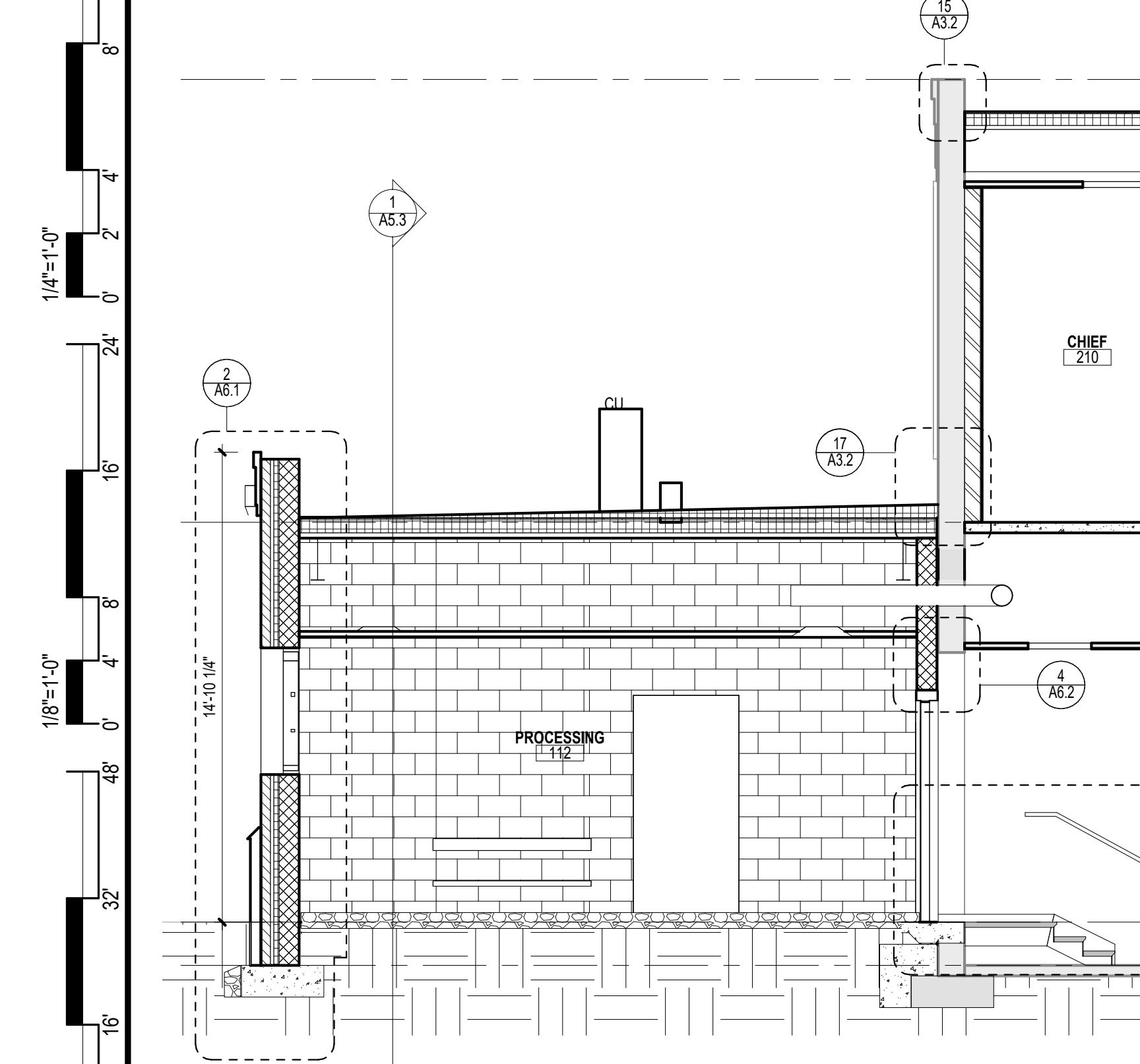
3 CROSS SECTION
1/4" = 1'-0"



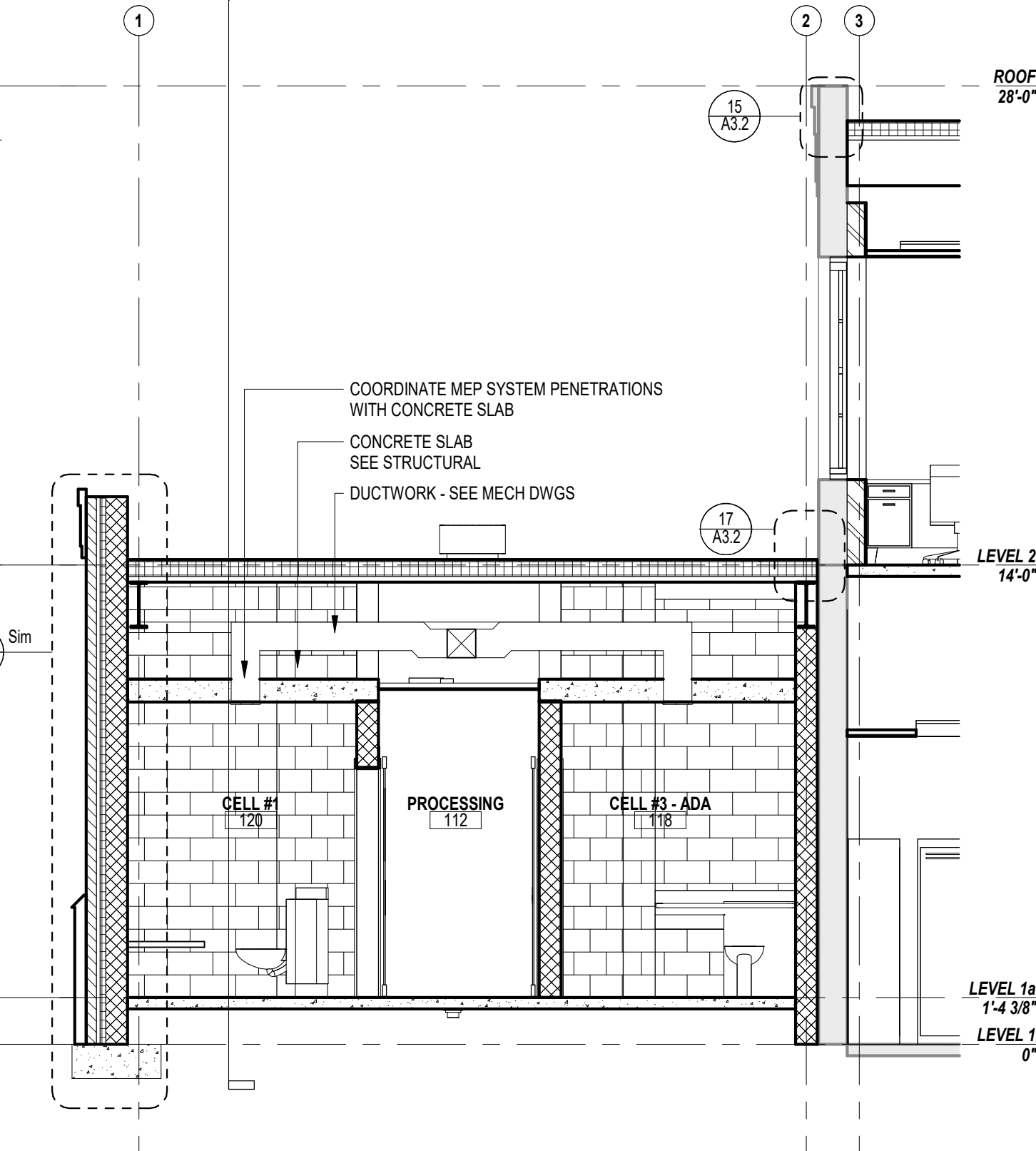
1 TRANSVERSE SECTION
1/4" = 1'-0"



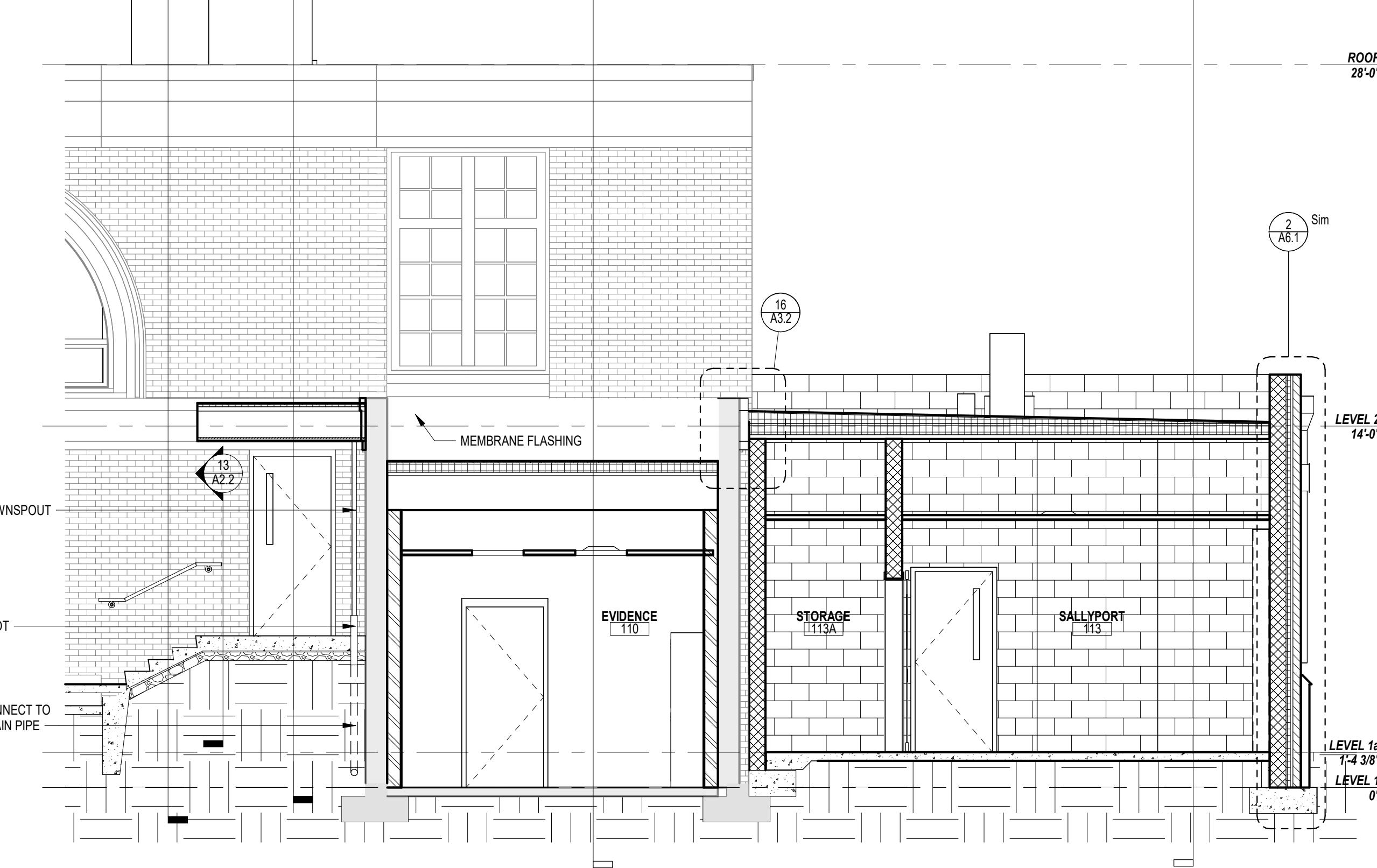
6 SECTION - ENCLOSURE
1/4" = 1'-0"



2 CROSS SECTION
1/16" = 1'-0"

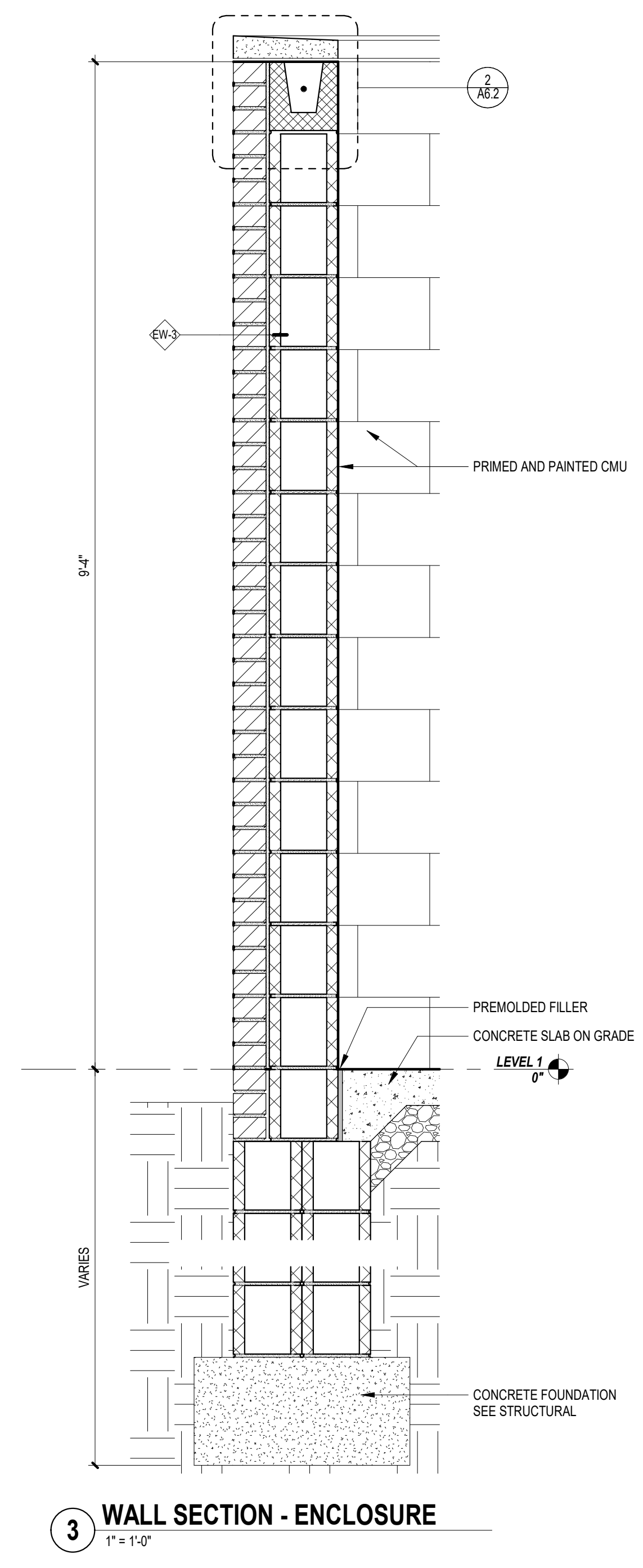
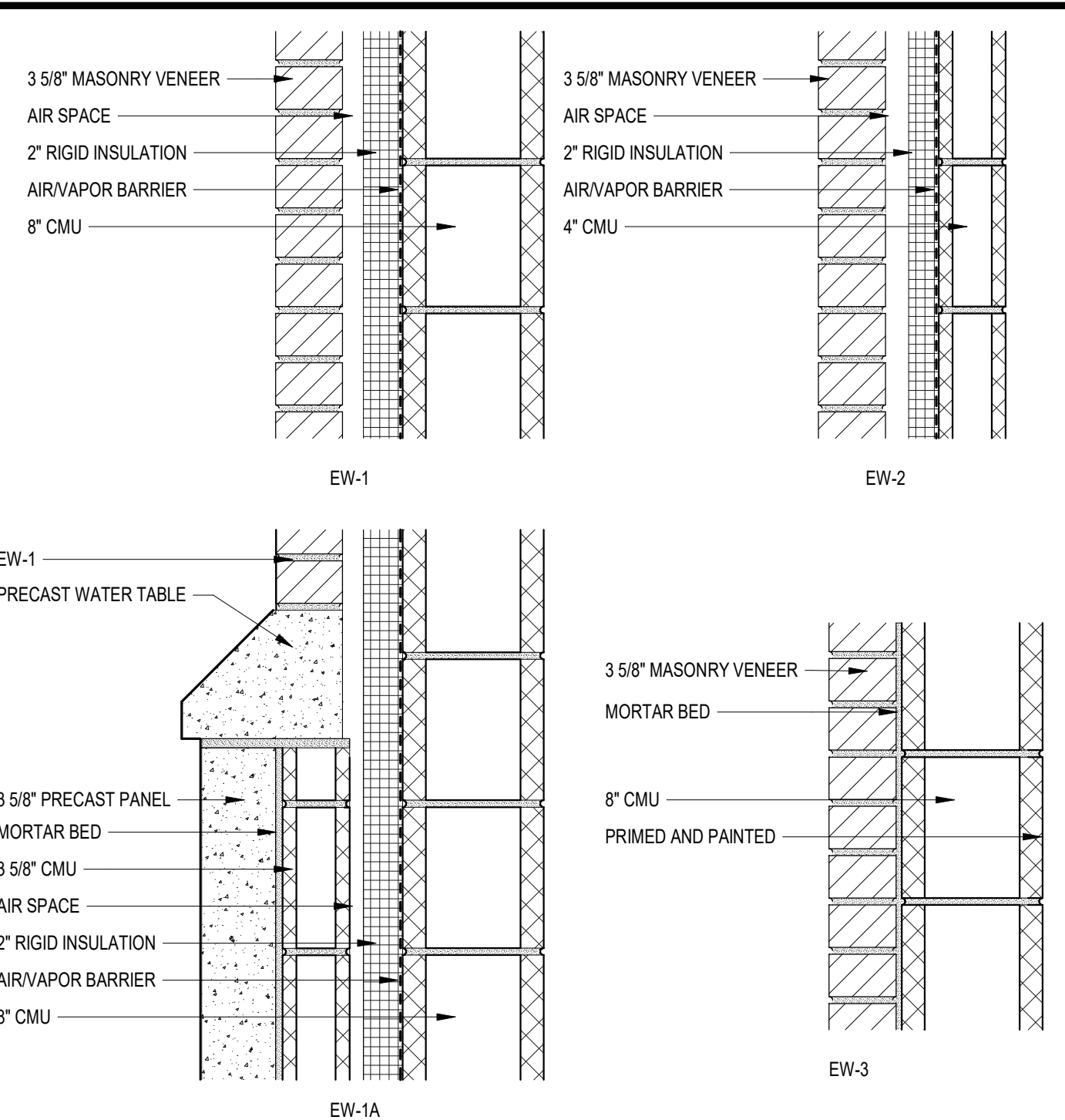
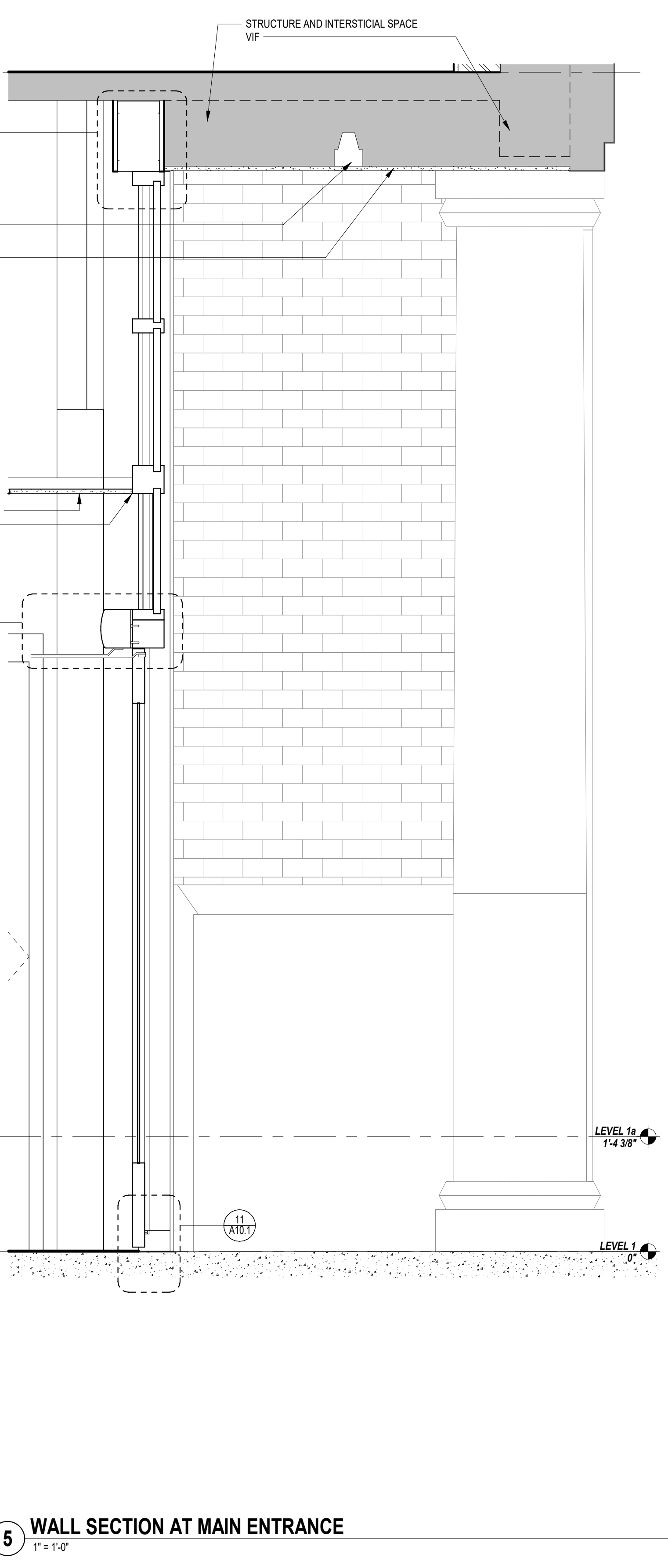
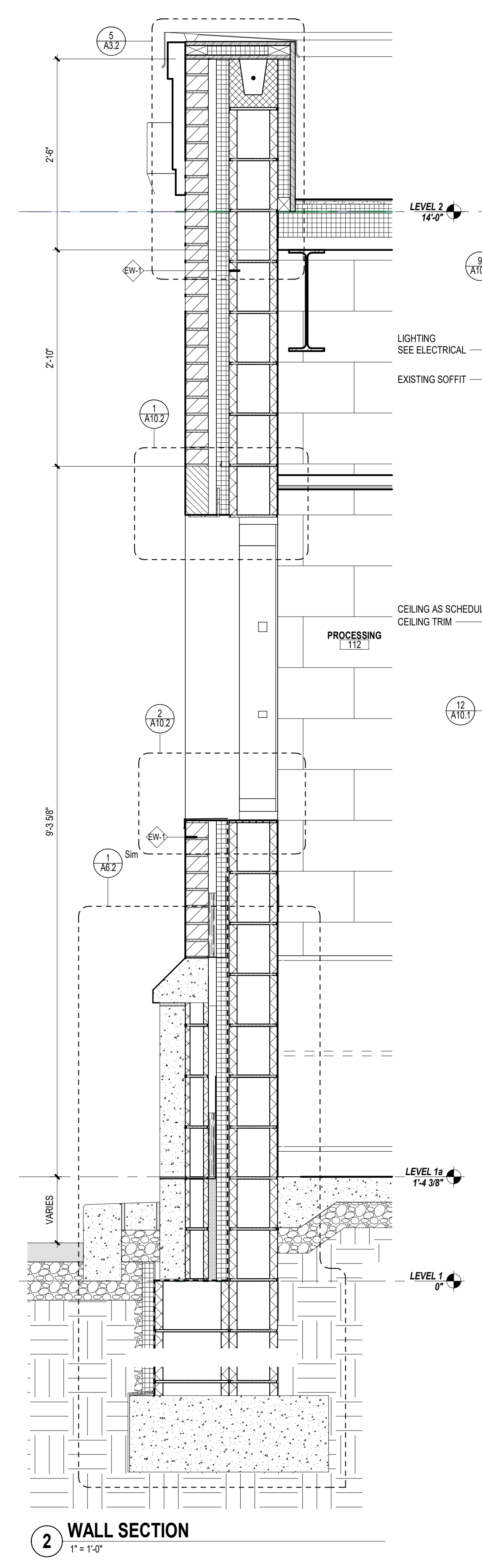
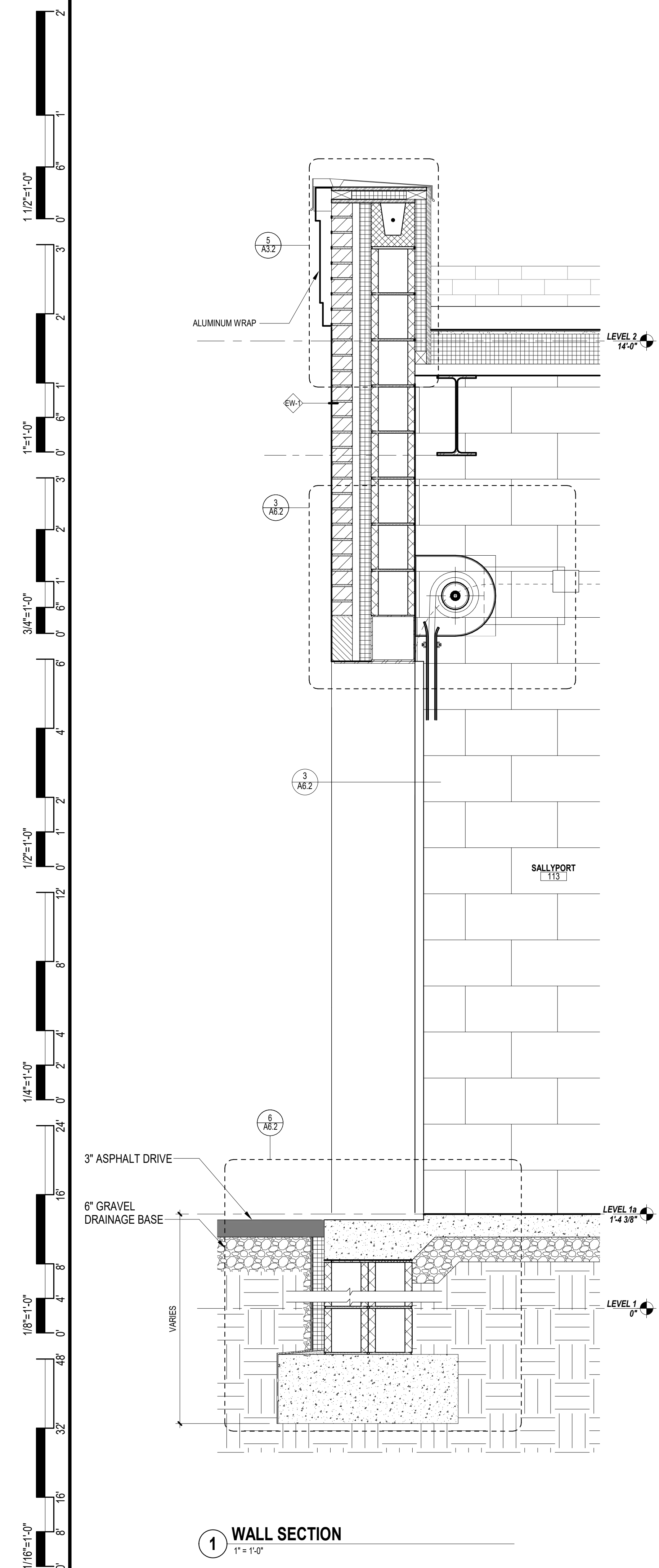


5 Section 13
1/4" = 1'-0"



4 CROSS SECTION
1/4" = 1'-0"

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JOHN F. WRIGHT 21A01964200
SPIEZLE ARCHITECTURAL GROUP, INC. 21A020083000

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FOR CODE REVIEW: 02/23/24

REVISIONS:

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FOR BID: 06/25/2024

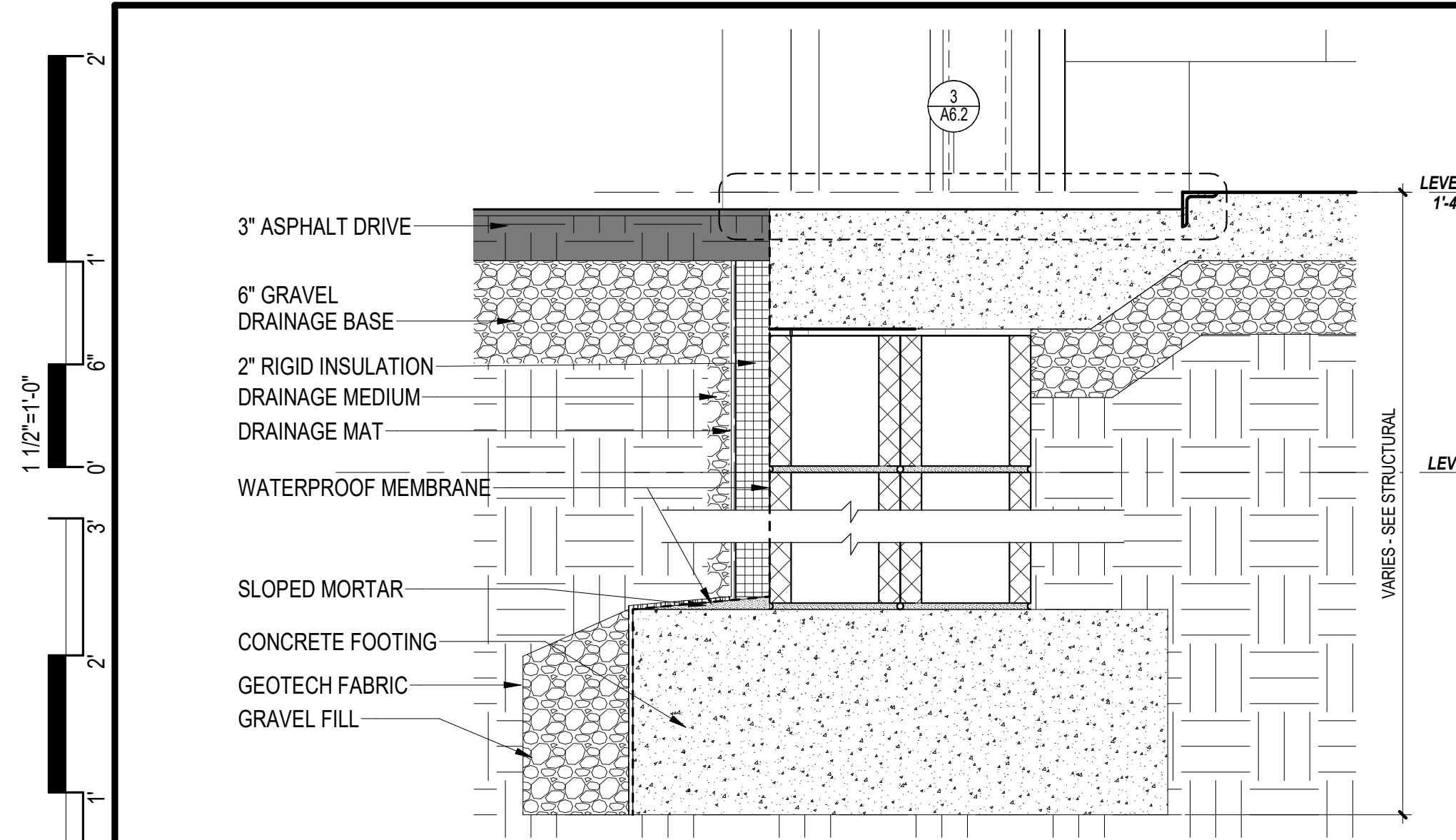
DRAWING TITLE:
WALL SECTIONS

COMMISSION NUMBER:
23M014

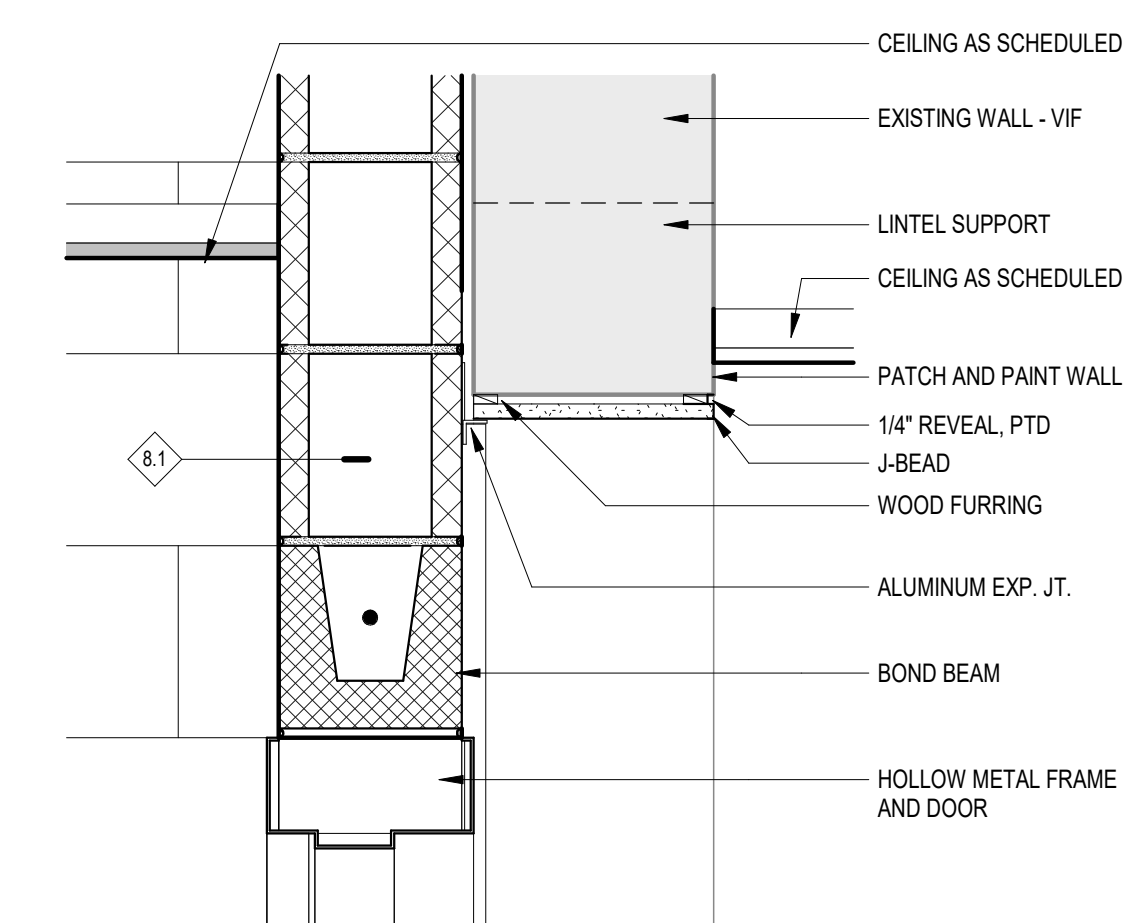
DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:
A6.1

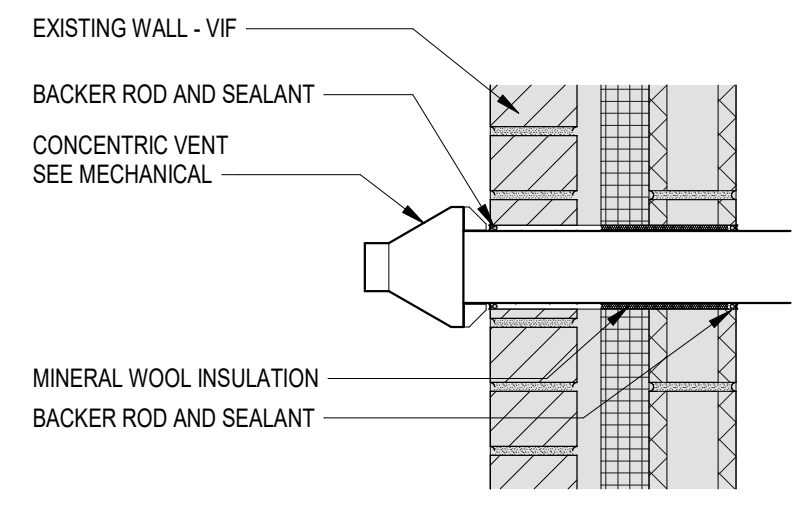
THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"



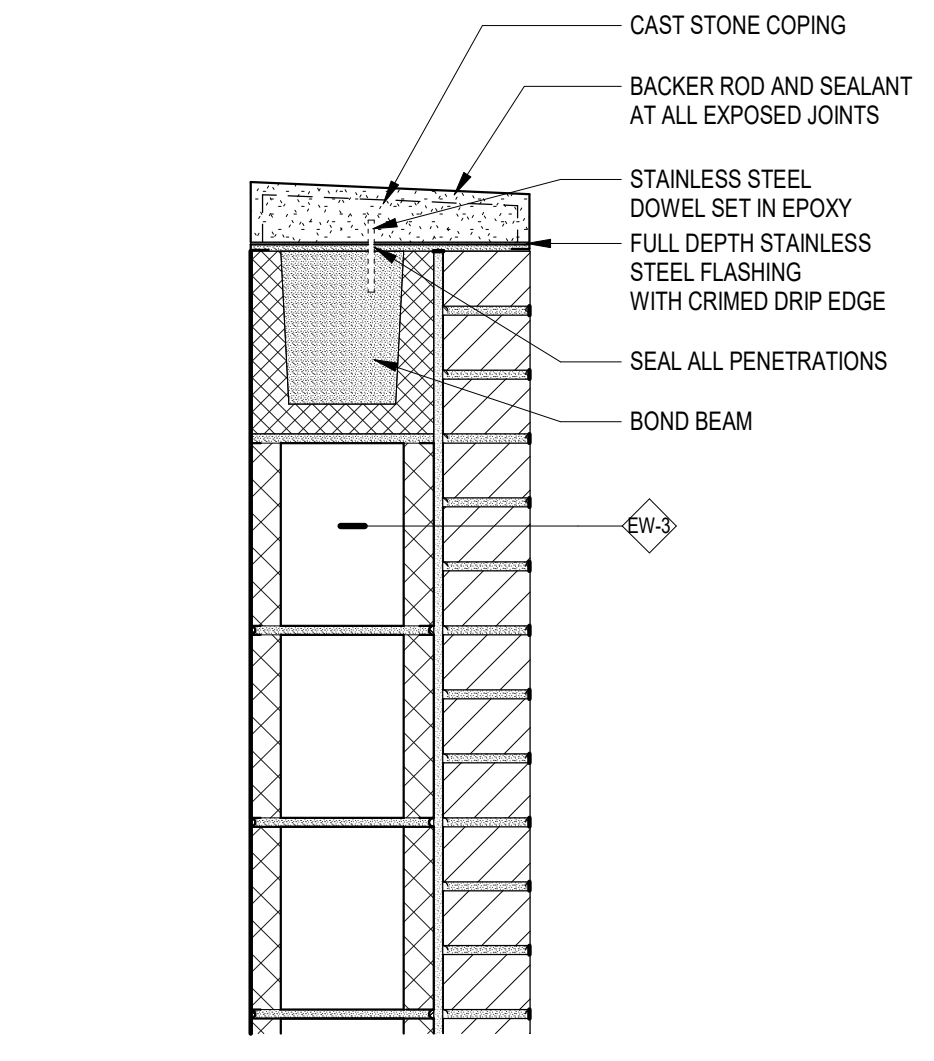
6 FOUNDATION DETAIL
1 1/2" = 1'-0"



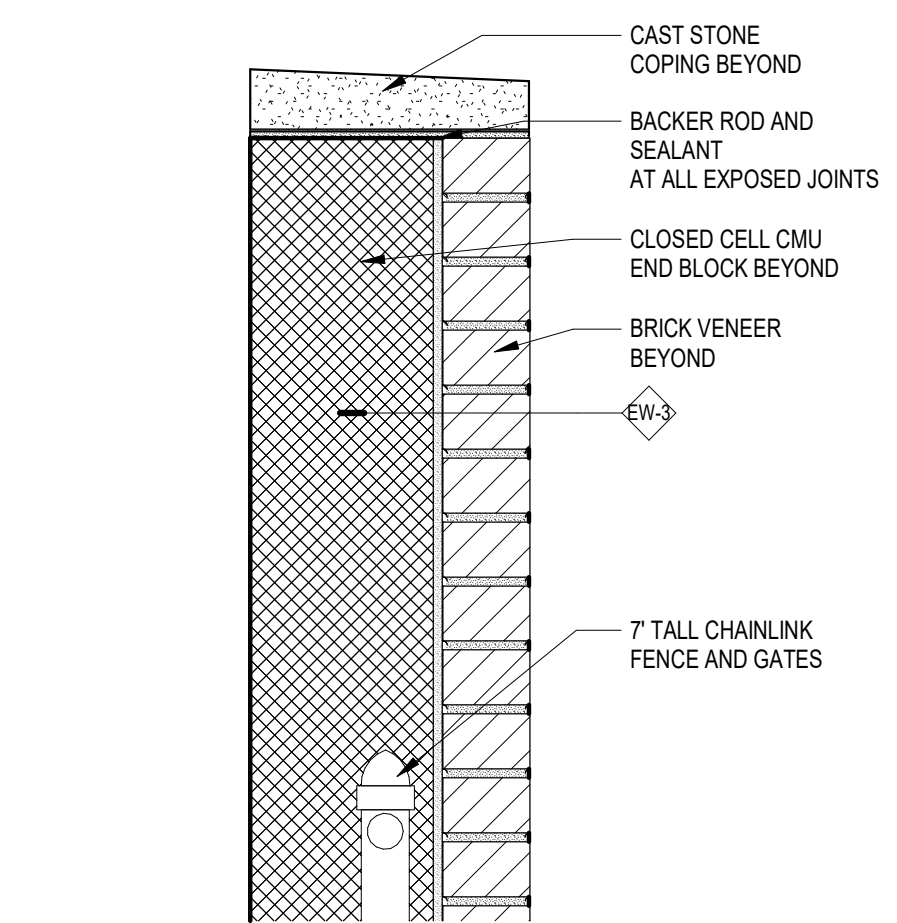
4 SECTION DETAIL - DOOR 112
1 1/2" = 1'-0"



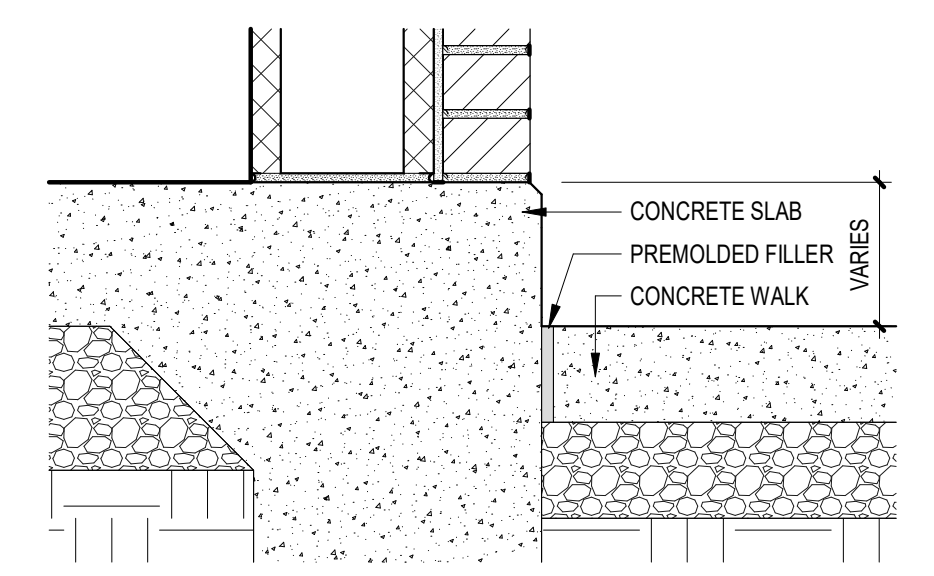
5 SECTION DETAIL - WALL VENT
1 1/2" = 1'-0"



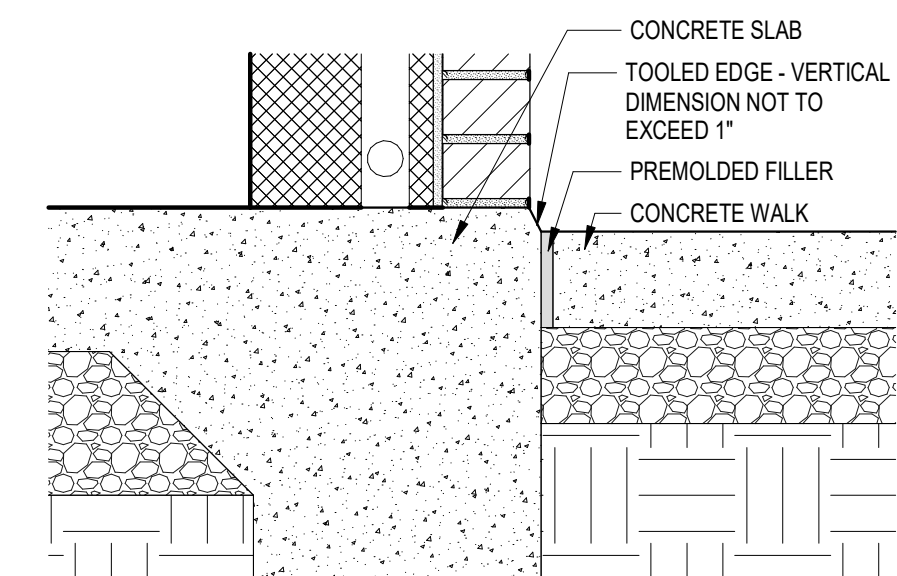
2 SECTION DETAIL
1 1/2" = 1'-0"



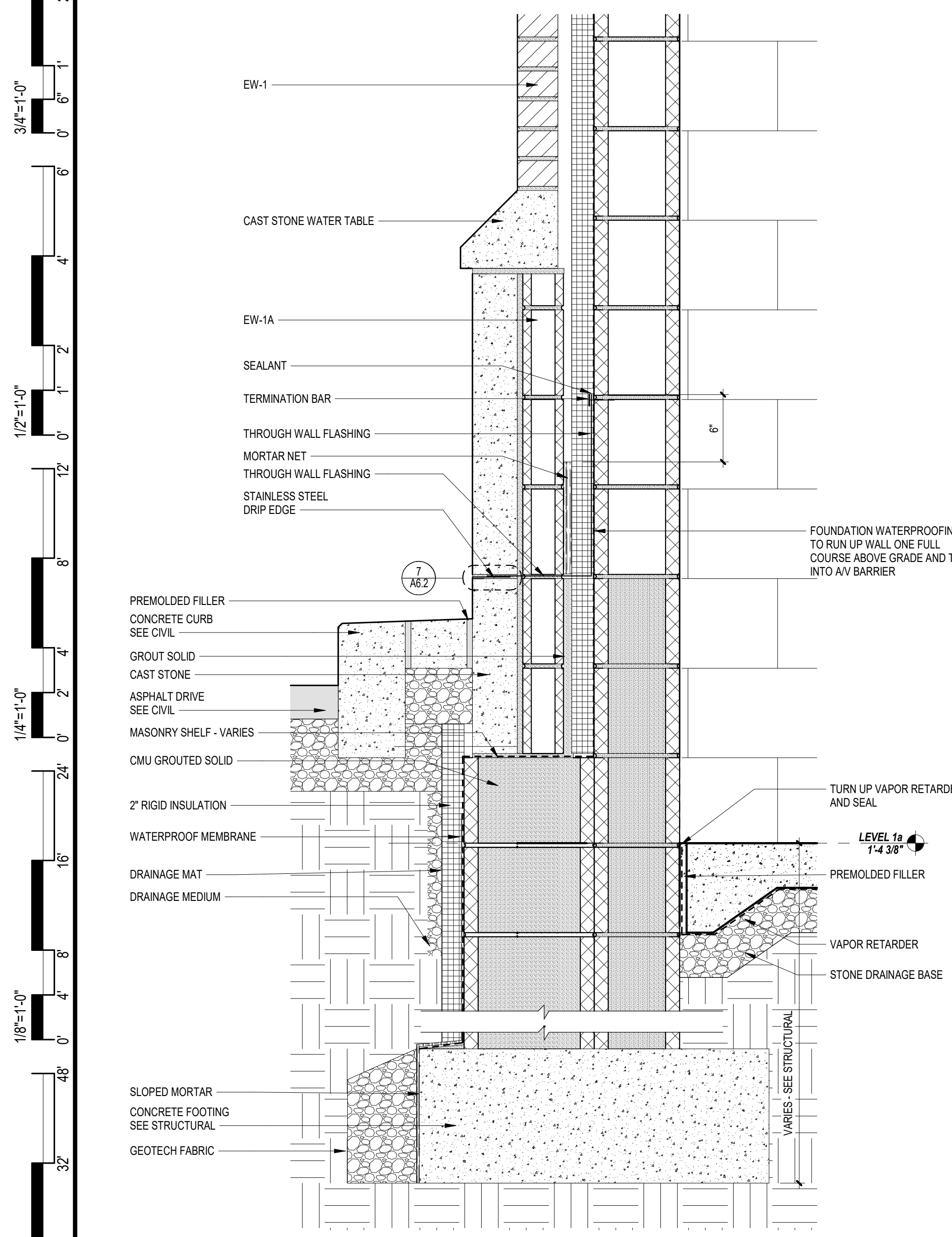
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1 1/2" = 1'-0"



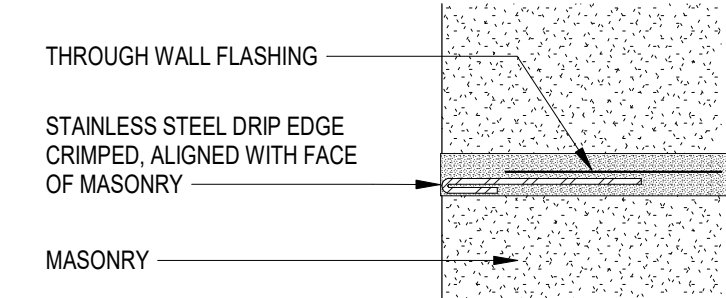
2 SECTION DETAIL
1 1/2" = 1'-0"



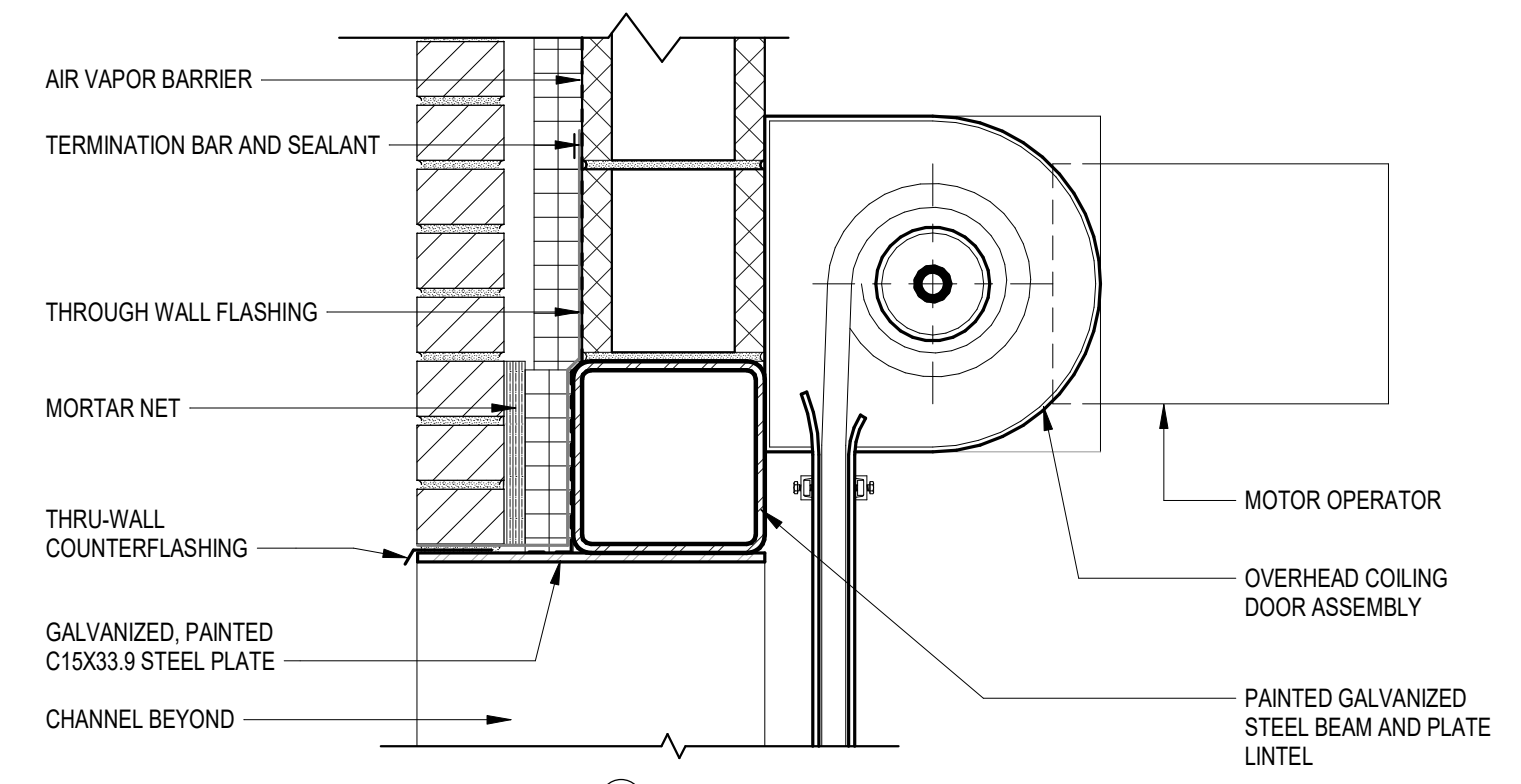
9 SECTION DETAIL
1 1/2" = 1'-0"



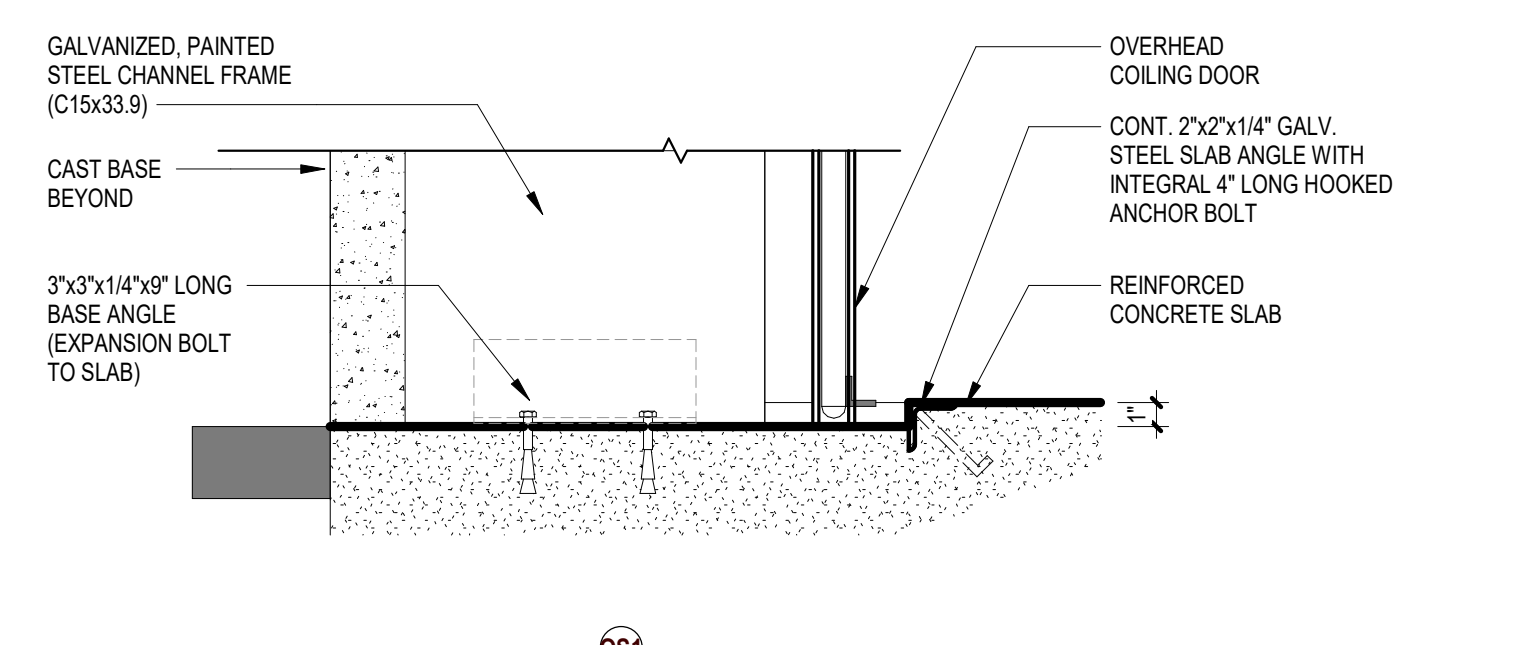
1 FOUNDATION DETAIL
1 1/2" = 1'-0"



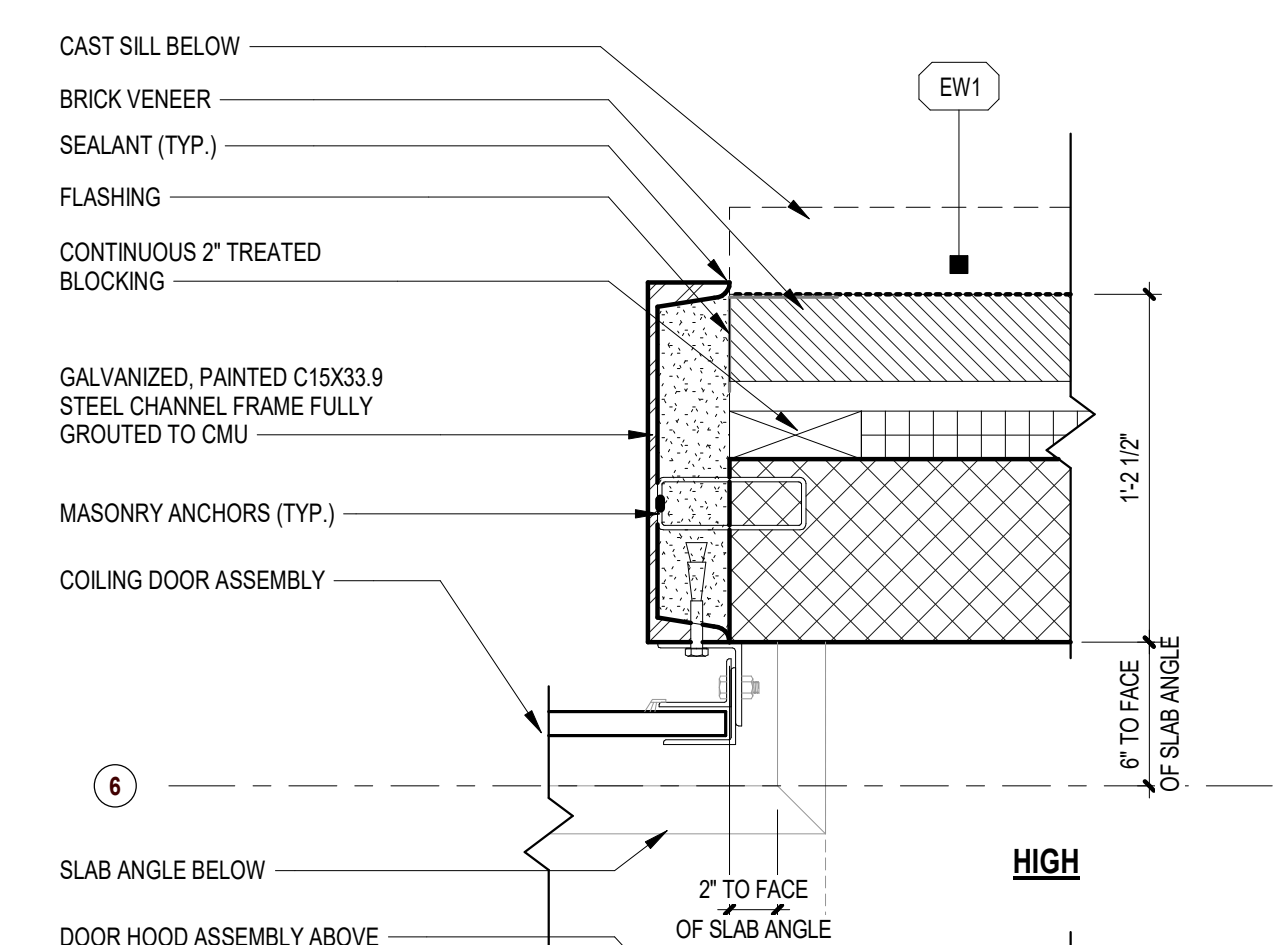
7 SS FLASHING
6" = 1'-0"



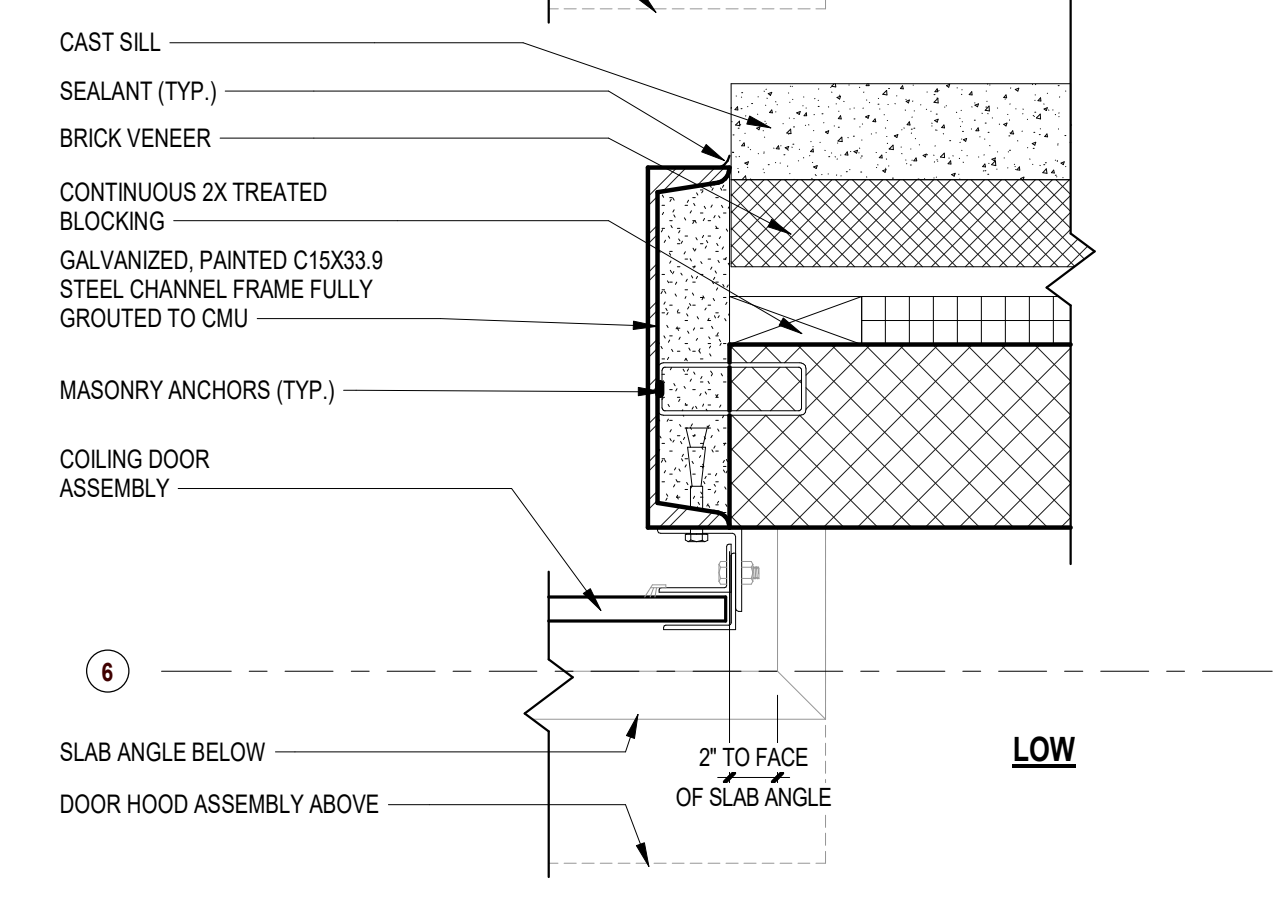
3 COILING DOOR HEAD DETAIL
1 1/2" = 1'-0"



3 COILING DOOR HEAD DETAIL
1 1/2" = 1'-0"



6



6

CODE REVIEW:

CERTIFICATE:



SPIEZE ARCHITECTURAL GROUP INC.
121 MARKET STREET
CAMDEN, NJ 08102
PHONE: (856) 974 7666

SIGNATURE:
THOMAS S. PERRINO 21A01955400
SCOTT E. DOWNIE 21A01971400
STEVEN L. IONNE 21A01971500
STEVEN G. SEIGEL 21A01984200
ANGILO ALBERTO 21A01986700
JOHN F. WRIGHT 21A01984200
SPIEZE ARCHITECTURAL GROUP, INC. 21A020083000

SEAL:

BID SET - 06/25/2024

PROJECT:
HADDONFIELD POLICE STATION
1 WALNUT STREET, HADDONFIELD, NJ 08033
FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION NAME	DATE

FOR BID: 06/25/2024

DRAWING TITLE:
WALL SECTION DETAILS

COMMISSION NUMBER:
23M014

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:
A6.2

CODE REVIEW:

CERTIFICATE:



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CAMDEN, NJ 08102
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THOMAS S. PERRINO 21A01925400
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ANGILO ALBERTO 21A01969700
JOHN F. WRIGHT 21A01944200
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FOR
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AUTHORITY
520 MARKET STREET, 6TH FLOOR,
CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:

REVISION	REVISION NAME	DATE
A		

FOR BID: 06/25/2024

DRAWING TITLE:

CASEWORK AND
EQUIPMENT PLANS AND
DETAILS

COMMISSION NUMBER:

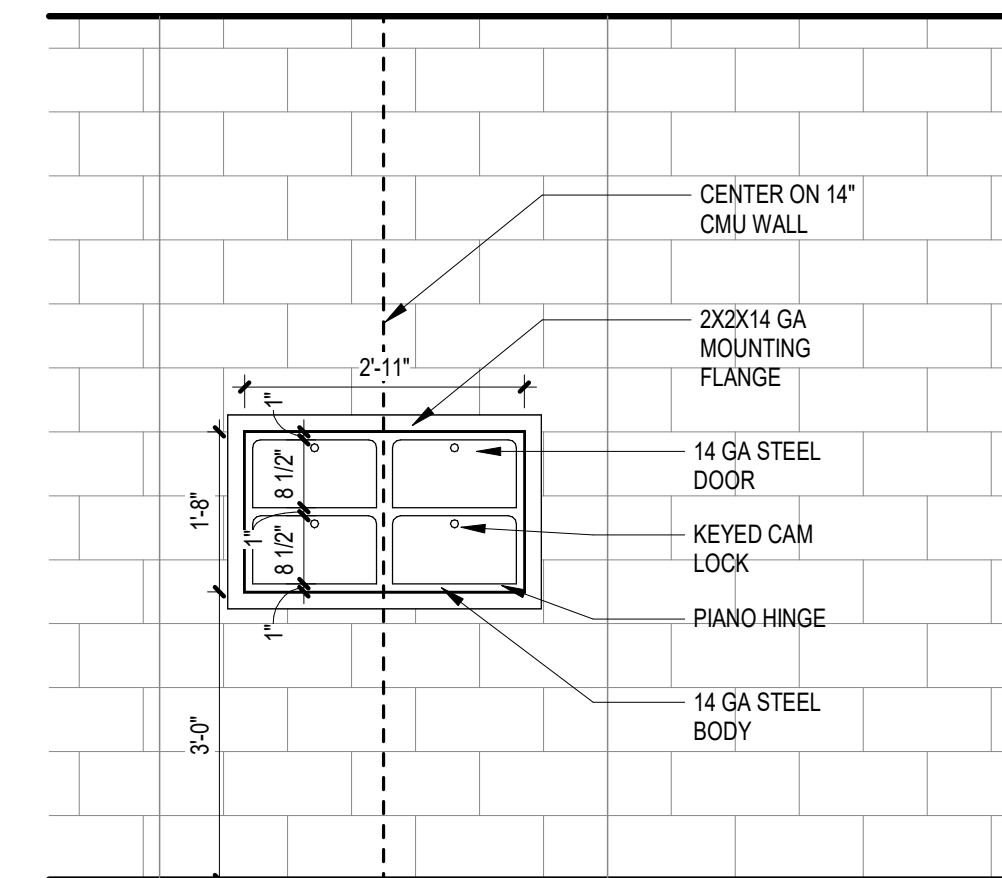
23M014

DO NOT SCALE THE DRAWINGS

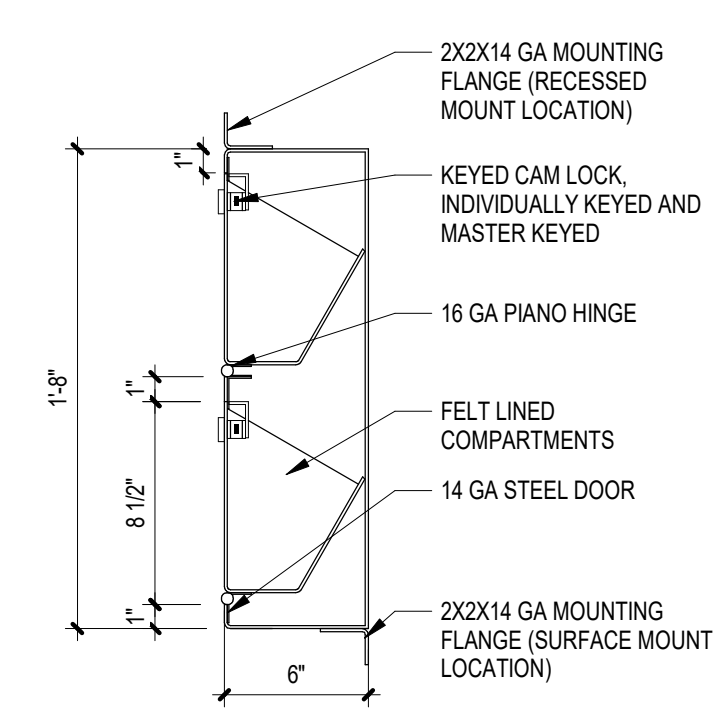
DRAWING NUMBER:

A8.1

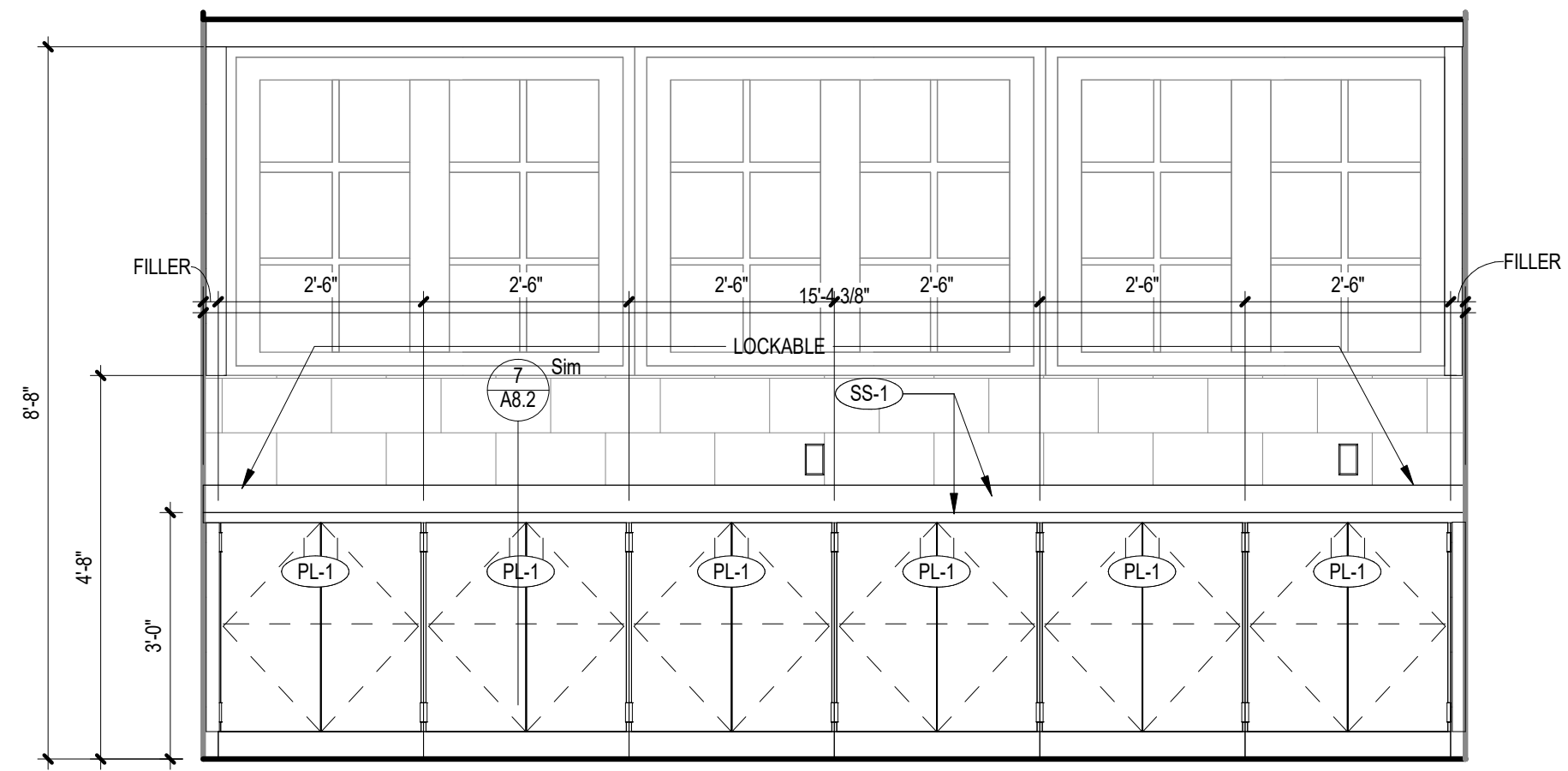
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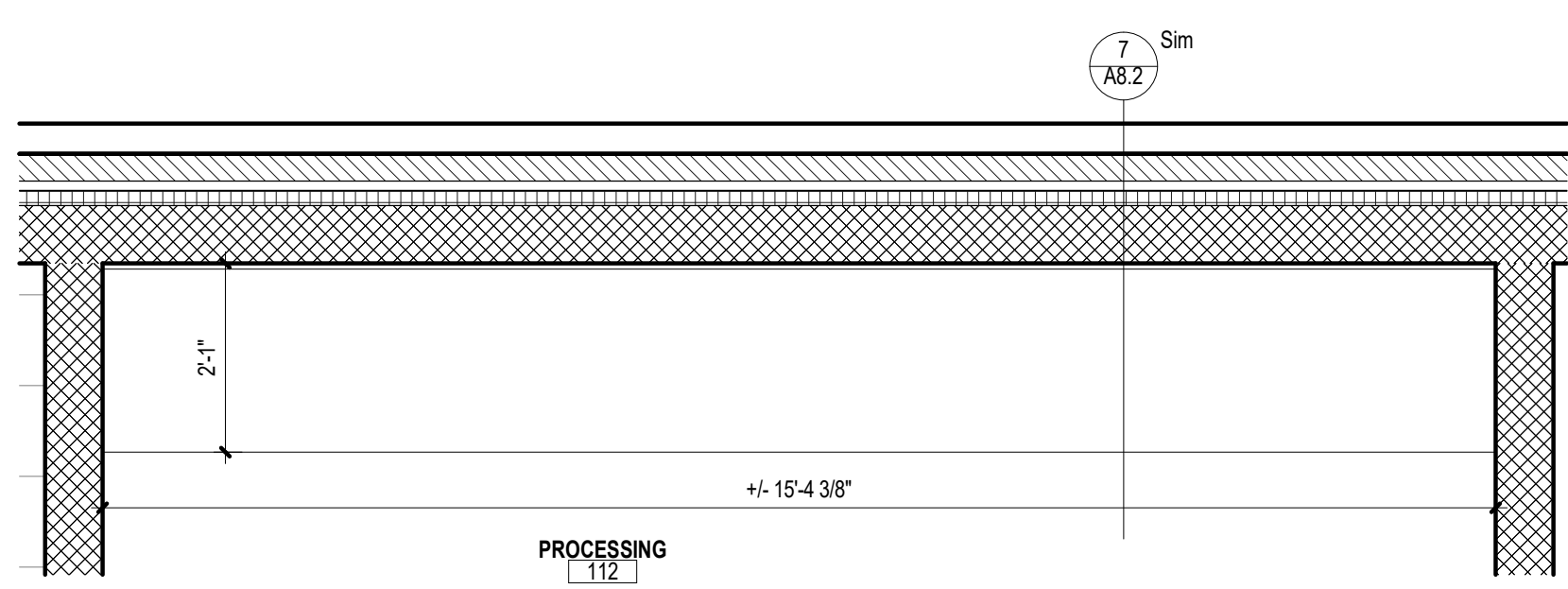
4 PISTOL LOCKER ELEVATION
1/2" = 1'-0"



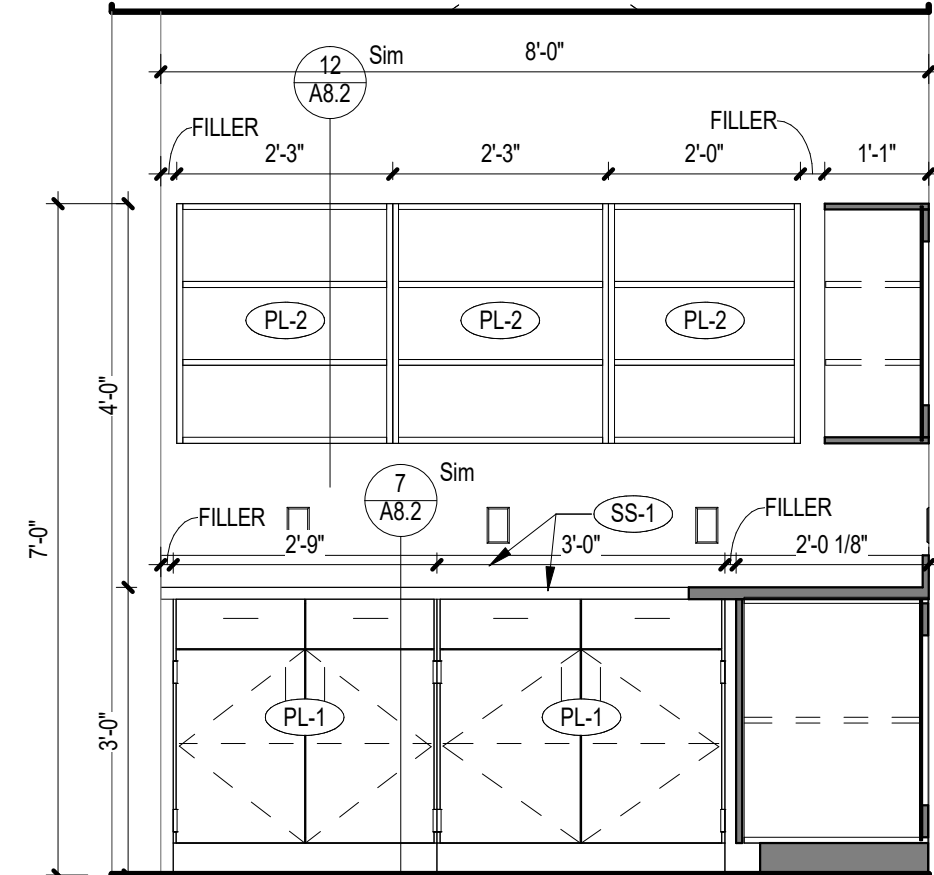
3 PISTOL LOCKER SECTION
1 1/2" = 1'-0"



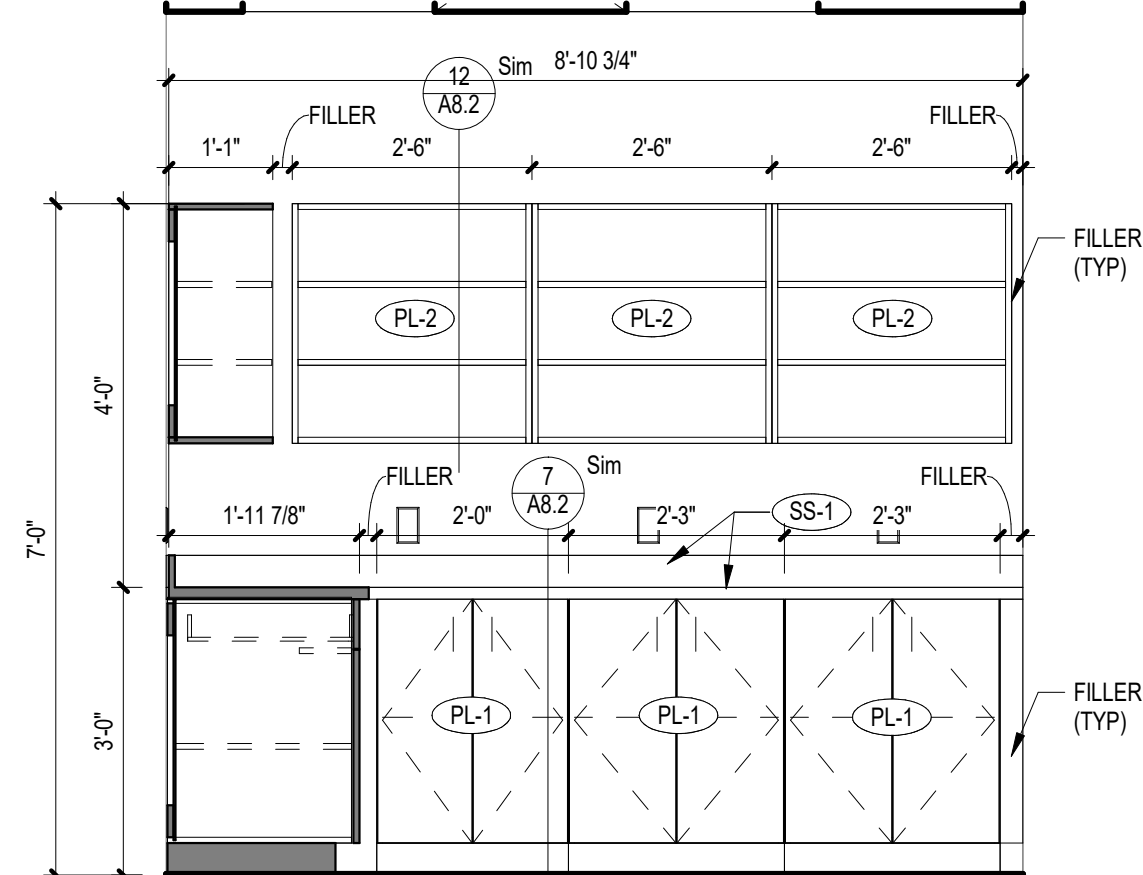
2 CASEWORK ELEVATION
1/2" = 1'-0"



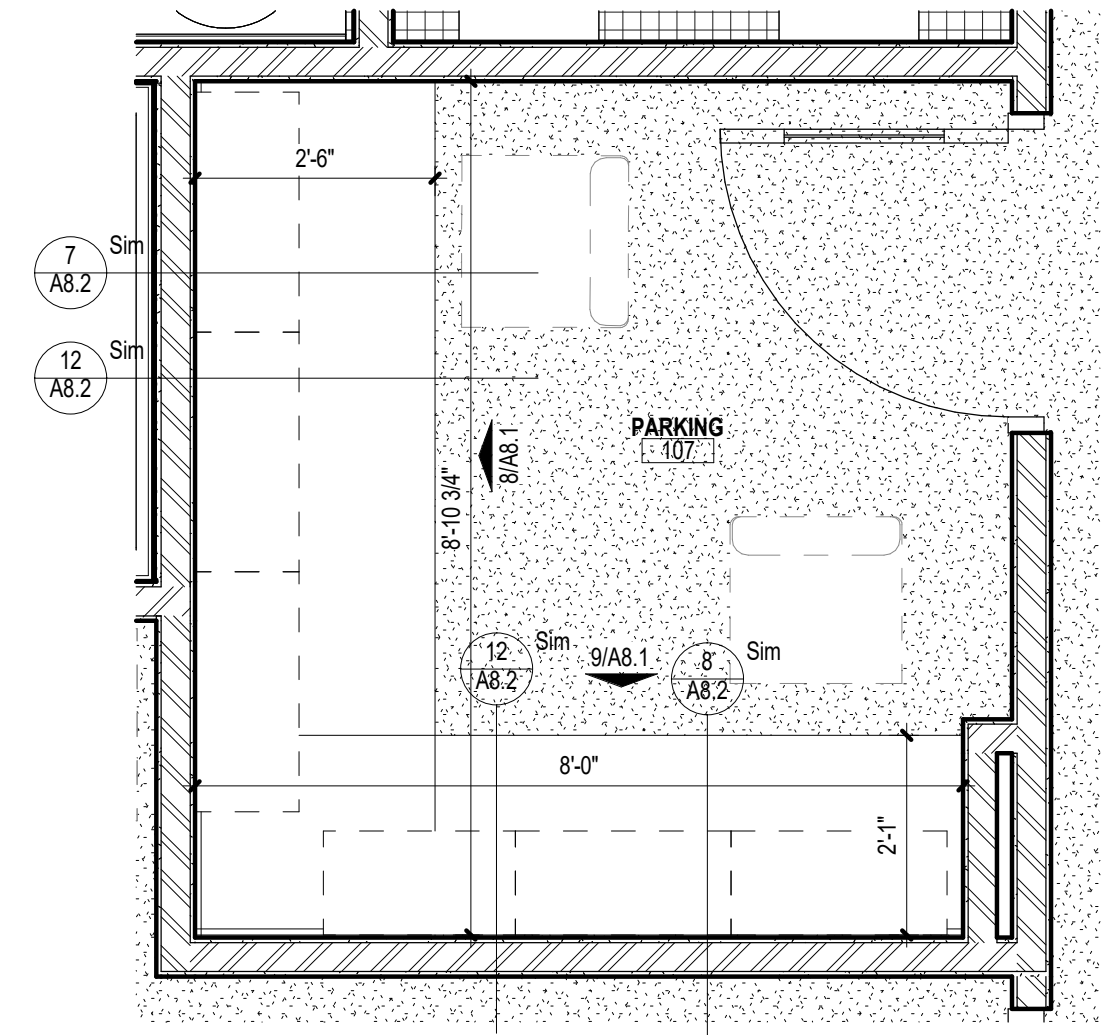
1 CASEWORK PLAN
1/2" = 1'-0"



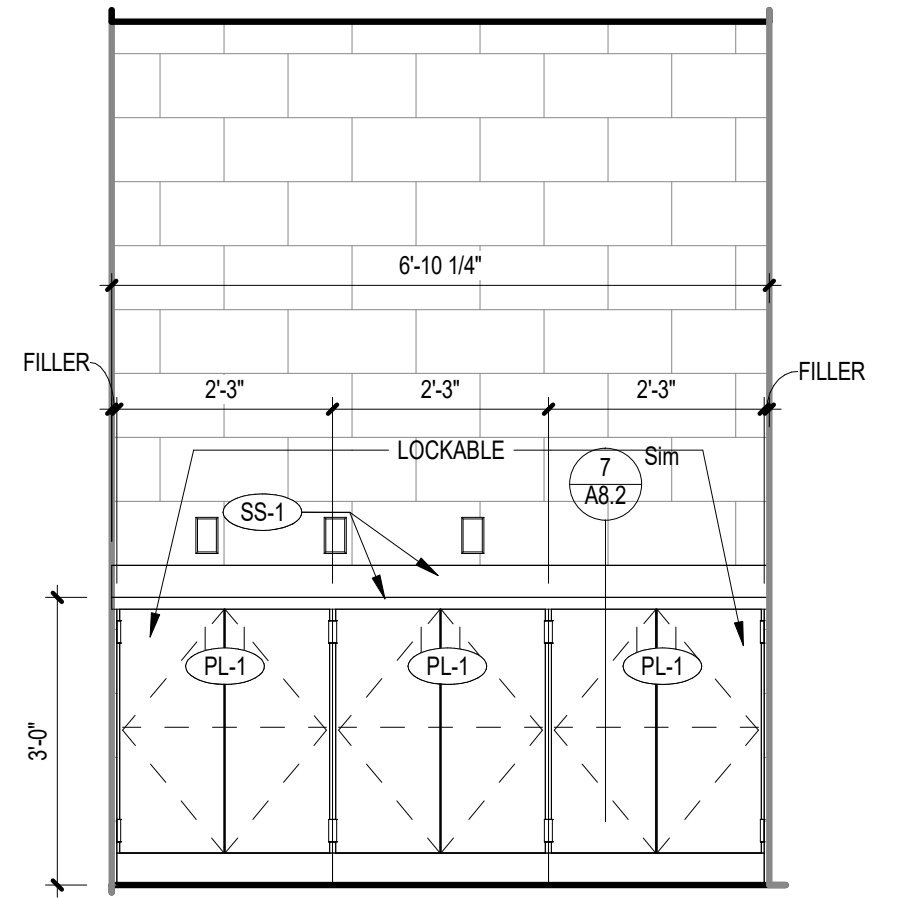
9 CASEWORK ELEVATION
1/2" = 1'-0"



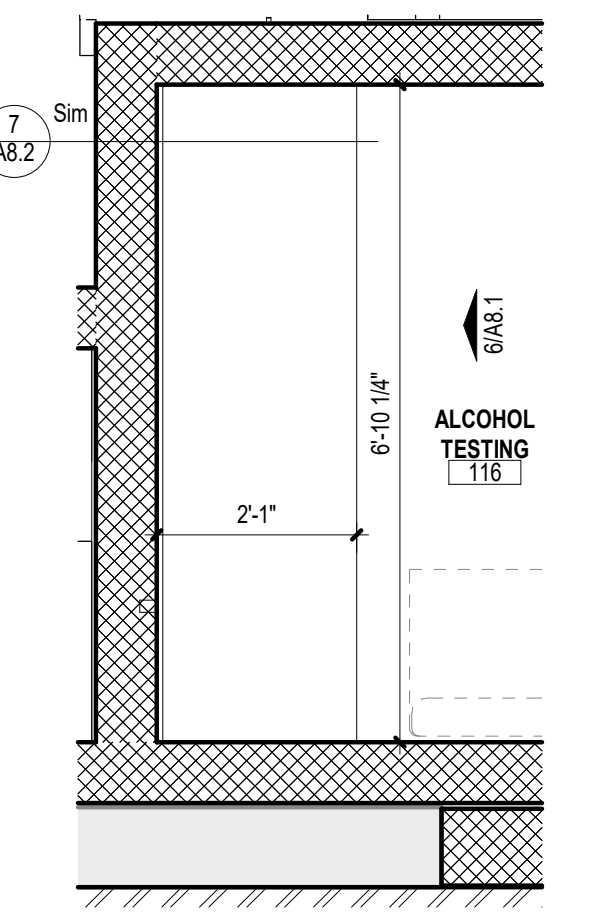
8 CASEWORK ELEVATION
1/2" = 1'-0"



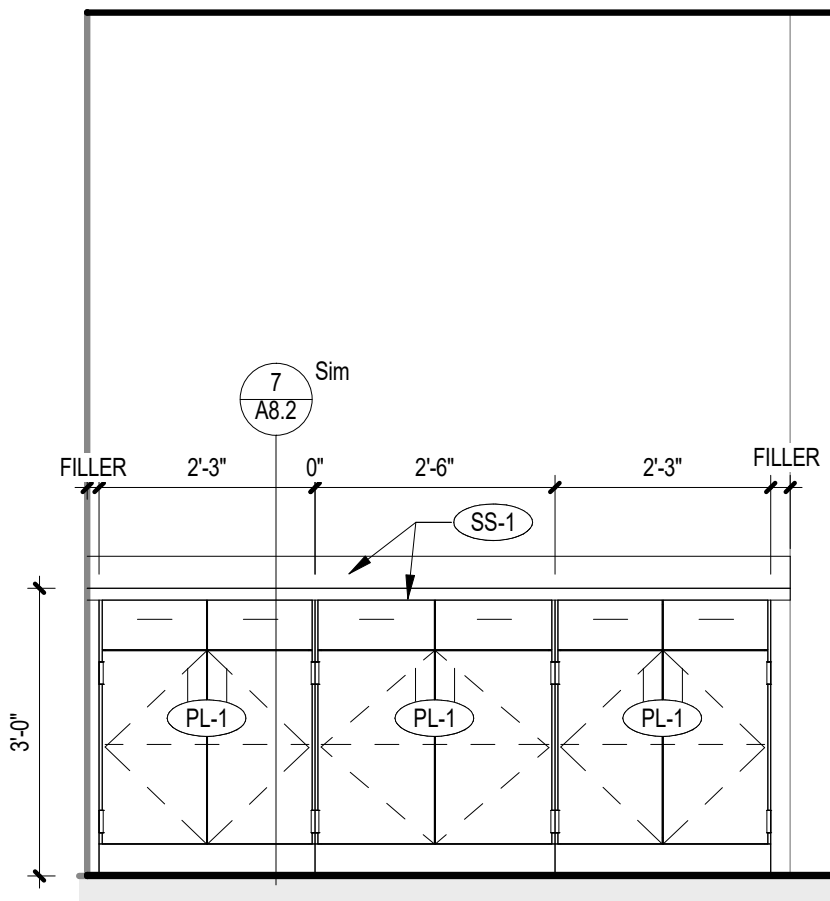
7 CASEWORK PLAN
1/2" = 1'-0"



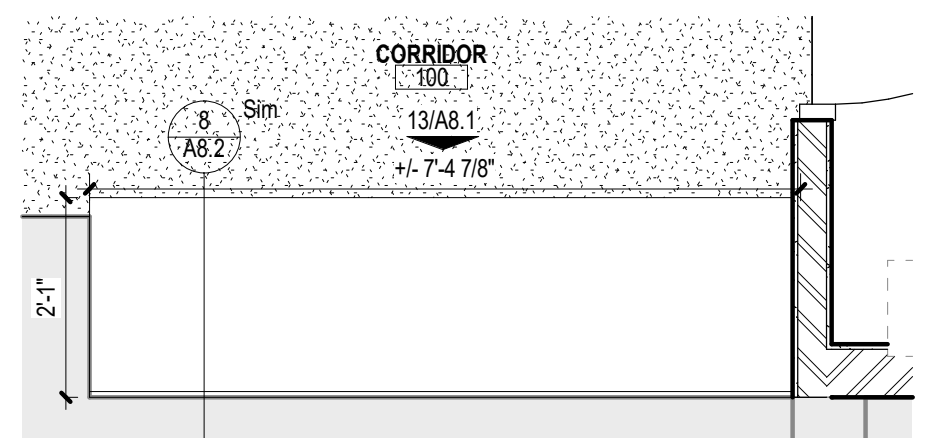
6 CASEWORK ELEVATION
1/2" = 1'-0"



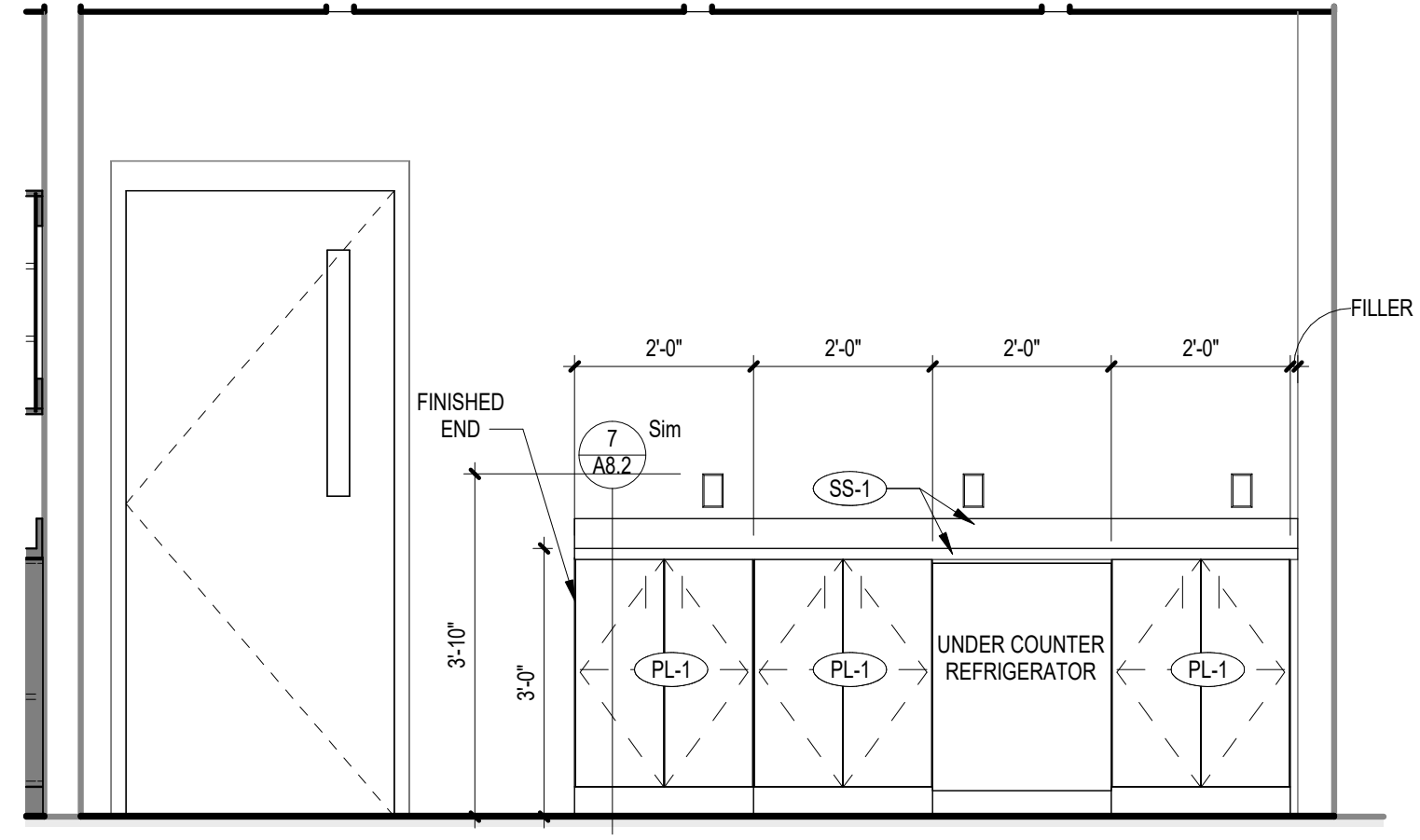
5 CASEWORK PLAN
1/2" = 1'-0"



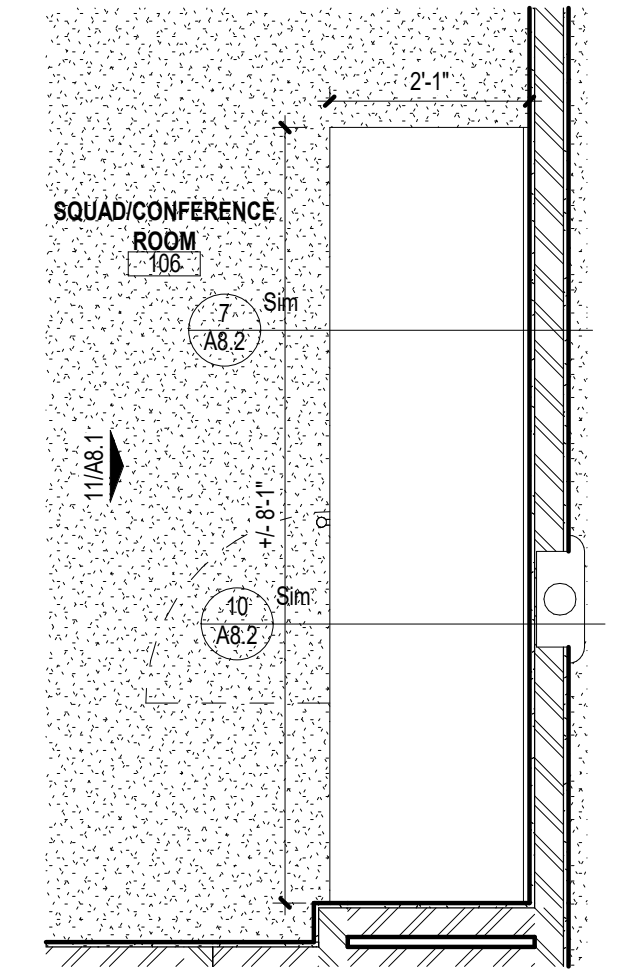
13 CASEWORK ELEVATION
1/2" = 1'-0"



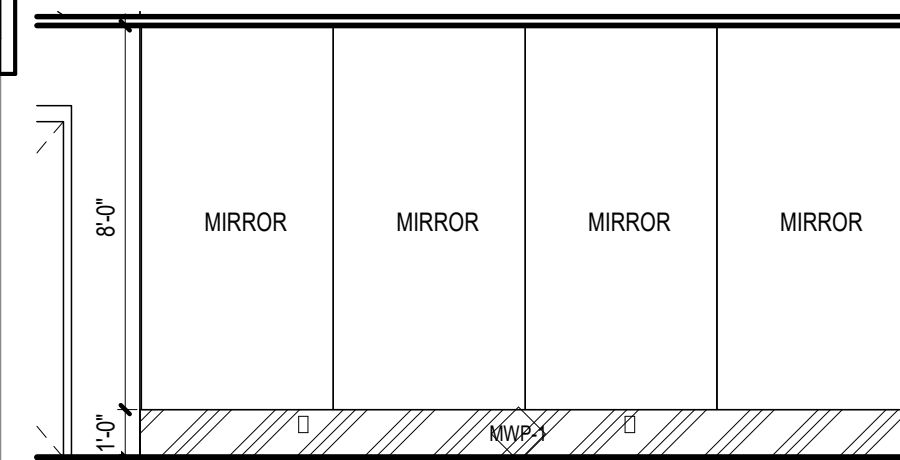
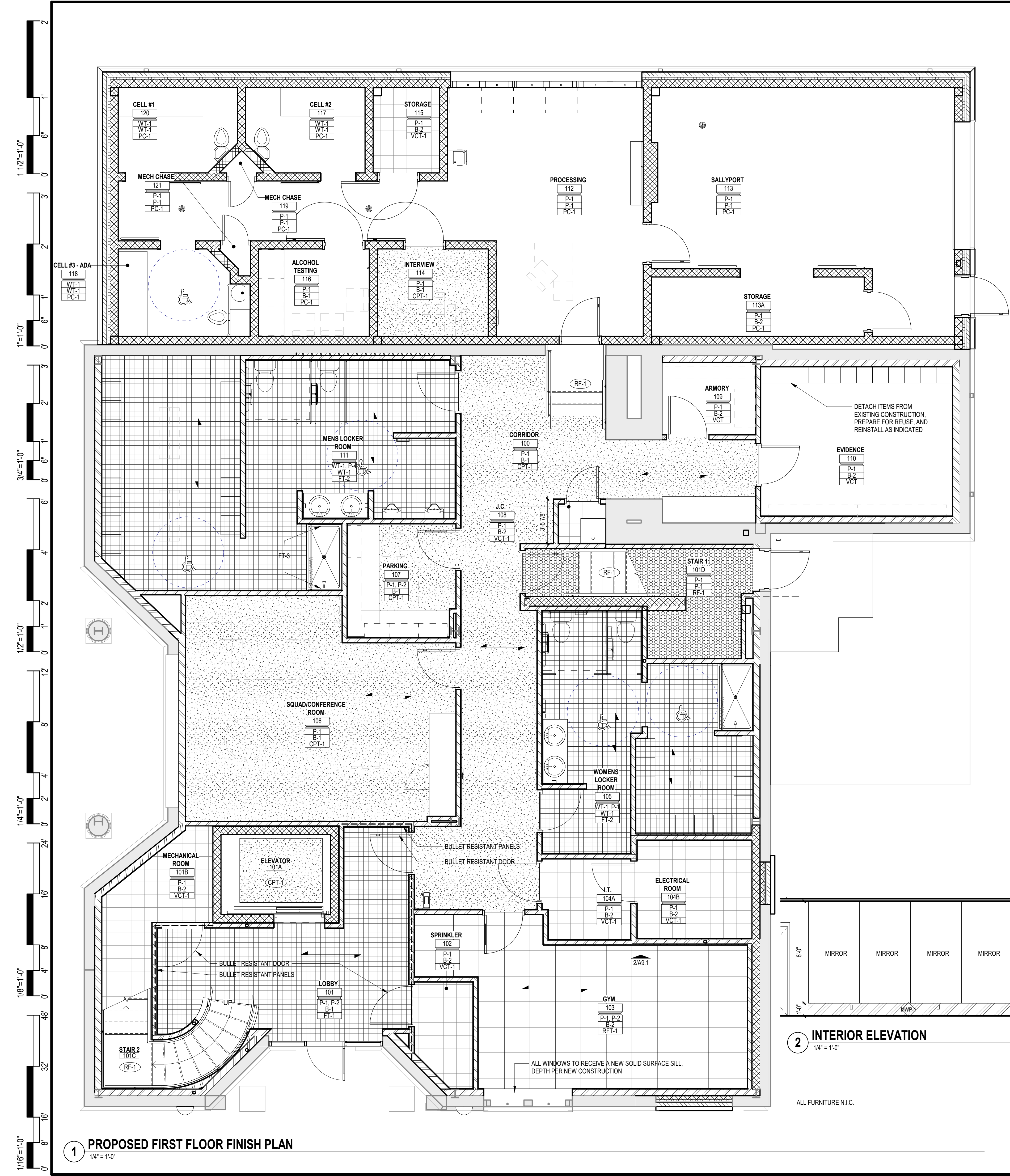
12 CASEWORK PLAN
1/2" = 1'-0"



11 CASEWORK ELEVATION
1/2" = 1'-0"



10 CASEWORK PLAN
1/2" = 1'-0"



INTERIOR FINISH LEGEND	
033500 - FLOORING	
PC-1	DESCRIPTION: POLISHED CONCRETE MANUFACTURER: TBD STYLE: TBD THICKNESS: TBD INSTALL: TBD CONTACT: TBD NOTE: IN SALLYPORT
093000 - TILING	
FT-1	DESCRIPTION: FLOOR TILE MANUFACTURER: DAL TILE STYLE: SOCIETY COLOR: PARK LANE GRAY - S047 DIMENSION: 12" X 24" INSTALL: 1/3 OFFSET FINISH: MATTE THICKNESS: 3/8" GROUT JOINT: 3/16" GROUT COLOR: TBD CONTACT: SUSAN METKA NOTE: SUSAN.METKA@DAL.TILE.COM FIRST AND SECOND FLOOR LOBBY
FT-2	DESCRIPTION: FLOOR TILE MANUFACTURER: AMERICAN OLEAN STYLE: NED CONCRETE COLOR: LIGHT GRAY NE12 DIMENSION: 12" X 24" INSTALL: 1/3 OFFSET FINISH: MATTE THICKNESS: 5/16" GROUT JOINT: 3/16" GROUT COLOR: TBD CONTACT: SUSAN METKA NOTE: SUSAN.METKA@DAL.TILE.COM TOILET ROOMS & LOCKER ROOMS
FT-3	DESCRIPTION: FLOOR TILE MANUFACTURER: DAL TILE STYLE: KEYSTONE COLOR: TBD DIMENSION: 1" X 1" INSTALL: MONOLITHIC FINISH: TBD THICKNESS: 1/4" GROUT JOINT: 1/8" GROUT COLOR: TBD CONTACT: SUSAN METKA NOTE: SUSAN.METKA@DAL.TILE.COM SHOWER FLOORS
WT-1	DESCRIPTION: WALL TILE MANUFACTURER: DAL TILE STYLE: ANNAPOLIS COLOR: SAIL MATTE #A10 DIMENSION: 6" X 18" INSTALL: 1/3 OFFSET THICKNESS: 5/16" GROUT JOINT: 1/8" GROUT COLOR: TBD CONTACT: SUSAN METKA NOTE: SUSAN.METKA@DAL.TILE.COM BATHROOM AND SHOWER WALLS
WT-2	DESCRIPTION: WALL TILE MANUFACTURER: DAL TILE STYLE: MODERN DIMENSIONS COLOR: ARTIC WHITE #0790 DIMENSION: 4 1/2" X 8 1/2" FINISH: MATTE INSTALL: 1/3 OFFSET THICKNESS: 5/16" GROUT JOINT: 1/16" GROUT COLOR: TBD CONTACT: SUSAN METKA NOTE: BACKSPLASH IN BREAK ROOM
CG-1	DESCRIPTION: CORNER GUARD MANUFACTURER: SCHULTER COLLECTION: SCHEME SERIES STYLE: STAINLESS STEEL DIMENSION: 4" X 4" CONTACT: SUSAN METKA NOTE: SUSAN.METKA@DAL.TILE.COM WALL TILE EDGE AND CAP
074213 - METAL WALL PANELS	
MWP-1	MANUFACTURER: ENVIRO GT STYLE: NUL TREE COLOR: GRAY DIMENSION: 4" X 8" THICKNESS: 3/16" CONTACT: REGUPOL AMERICA LLC NOTE: FITNESS CENTER
096500 - RESILIENT FLOORING	
RF-1	MANUFACTURER: TARKETT STYLE: ANGLE FIT COLOR: TBD DIMENSION: 3.5' THICKNESS: 91" CONTACT: TARKETT NORTH AMERICA NOTE: STAIRS

MF-1	MANUFACTURER: INPRO STYLE: AKTIVLOK COLOR: AK10102-JAYZ BLUE DIMENSION: 24" X 24" THICKNESS: 3/8" CONTACT: INPRO CORPORATION NOTE: 1" BASE UNDER MIRROR IN FITNESS CENTER
LUXURY VINYL TILE	
LV-1	MANUFACTURER: MANNINGTON COLLECTION: ACCESS WOOD STYLE: SHIBORI JASMINE COLOR: SKSW7800 DIMENSION: 6" X 40" INSTALL: ASHLAR THICKNESS: 5 MM CONTACT: LORISE VAN VOORTHUIZEN NOTE: BREAK ROOM CORRIDOR
WALL BASE	
B-1	MANUFACTURER: ROPPE-PINNACLE PLUS COLLECTION: STYLE 8065 COLOR: 123 CHARCOAL DIMENSION: ROPPE-PINNACLE PLUS LENGTH: CONTINUOUS ROLL CONTACT: ERIC SAENZ NOTE: ES.AENZ@STFLOOR.COM WALL BASE AT CPT AND LVT AREAS
VINYL COMPOSITION TILE	
VC-1	MANUFACTURER: ARMSTRONG COLLECTION: STANDARD EXCELON STYLE: 15927 COLOR: FIELD GRAY DIMENSION: 12" X 12" INSTALL: QUARTER TURNES CONTACT: LINDSAY HARBOLD NOTE: ELECTRICAL RM, MECH RM, SPRINKLER RM
096800 - CARPETING	
CPT-1	DESCRIPTION: CARPET TILE MANUFACTURER: MANNINGTON COLLECTION: DESIGN LOCAL STYLE: NASHVILLE COLOR: EAST NASHVILLE DIMENSION: 18" X 36" INSTALL: HORIZONTAL BRICK ASHLAR CONTACT: LORISE VAN VOORTHUIZEN
099100 - PAINTING	
P-1	MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD FINISH: EGGSHELL CONTACT: RICA SUHANEK NOTE: GENERAL PAINT
P-2	MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD FINISH: EGGSHELL CONTACT: RICA SUHANEK NOTE: ACCENT PAINT
P-3	MANUFACTURER: SHERWIN WILLIAMS COLOR: IRON ORE FINISH: SEMI GLOSS CONTACT: RICA SUHANEK NOTE: TRIM PAINT
P-4	MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD FINISH: EGGSHELL CONTACT: RICA SUHANEK NOTE: ACCENT PAINT
P-5	MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD FINISH: EGGSHELL CONTACT: RICA SUHANEK NOTE: ACCENT PAINT
CP-1	MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD FINISH: FLAT CONTACT: RICA SUHANEK NOTE: CEILING PAINT
123000 - FURNISHINGS	
PL-1	MANUFACTURER: WILSONART COLOR: FOSSIL SHALE D504-60 FINISH: MATTE CONTACT: BRIAN PARENT NOTE: LOWER CABINETS

GENERAL FINISH NOTES:

- NOTES PERTAIN TO AREAS WITHIN THIS SCOPE OF WORK ONLY.
- CONTACT INTERIOR DESIGNER/ARCHITECT FOR CLARIFICATION IN THE EVENT OF CONTRADICTION INFORMATION BETWEEN DRAWINGS, LEGEND AND/OR SPECIFICATIONS OR IF COLOR AND/OR FINISH IS NOT SPECIFIED.
- REFER TO FINISH LEGEND AND PLAN FOR GENERAL FINISHES.
- REFER TO ALL INTERIOR FINISH NOTES AND INTERIOR DRAWINGS (INCLUDING PLANS, ELEVATIONS AND DETAILS) FOR COMPLETE INTERIORS INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PRODUCT LEAD TIMES TO ENSURE DELIVERY THAT MEETS THE PROJECT SCHEDULE.
- THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL SITE CONDITIONS AND CONFIRM QUANTITIES PRIOR TO ORDERING PRODUCTS. IN THE EVENT OF CONTRADICTION INFORMATION CONTACT THE INTERIOR DESIGNER/ARCHITECT FOR CLARIFICATION PRIOR TO ORDERING.
- ALL MATERIALS SHALL BE INSTALLED USING MANUFACTURERS RECOMMENDED INSTALLATION METHODS AND ADHESIVES.
- WARRANTY INFORMATION AND INSTRUCTIONS OF MAINTENANCE ON ALL FINISH MATERIALS SHALL BE PROVIDED TO THE OWNER AND INCLUDED IN THE CLOSEOUT WARRANTY AND MAINTENANCE MANUAL.
- THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING SAMPLES OF ALL FINISHES SPECIFIED TO INTERIOR DESIGNER/ARCHITECT FOR APPROVAL PRIOR TO ORDERING MATERIAL.
- ALL SUBSTRATE SURFACES ARE TO BE PROPERLY PREPARED TO RECEIVE FINISH MATERIALS. CONTRACTOR IS NOT TO APPLY FINISHES UNTIL SUBSTRATE IS PREPARED PER MANUFACTURERS WRITTEN INSTRUCTIONS FOR ALL INSTALLATIONS OR APPLICATIONS.
- PAINT GRILLS, WALL DIFFUSERS, ELECTRICAL PANELS, WALL MOUNTED BOXES, ACCESS PANELS, ETC., WHICH ARE EXPOSED IN FINISHED SPACES TO MATCH THE SURFACE ON WHICH THEY OCCUR IF THE ITEM IS ON A WALL-COVERED WALL PROVIDE A CUSTOM PAINT COLOR USED TO MATCH. SUBMIT TO INTERIOR DESIGNER/ARCHITECT FOR APPROVAL.
- ALL DIRECTIONAL LAMINATES SHOULD RUN WITH THE VERTICAL GRAIN PATTERN UON.
- ALL WALL PAINT TO BE EGGSHELL FINISH UON.
- ALL METAL AND PAINTED TRIM TO BE SEMI-GLOSS ENAMEL FINISH UON.
- INSTALL DIRECTIONAL WALLCOVERING ORIENTED AS SPECIFIED IN ELEVATION.
- ALL VINYL/RUBBER BASE TO BE ROLLED GOODS, NOT LINEAR 4' LENGTHS, UON.
- FINISHES INDICATED ON "ROOM FINISH TAG" ARE INCLUSIVE OF ALL RESPECTIVE SURFACES IN ROOM (UNLESS OTHERWISE NOTED) WHETHER OR NOT INDICATED ON PLANS OR ELEVATIONS.

FLOOR FINISH NOTES:

- PROVIDE SHOP DRAWING LAYOUT SHOWING ALL FLOOR PATTERN LOCATIONS, GRAIN DIRECTION AND SEAMING DIAGRAMS.
- INSTALL DIRECTIONAL FLOORING ORIENTED AS SPECIFIED IN THE FINISH PLAN.
- REFERENCE MANUFACTURERS INSTALLATION SPECIFICATIONS FOR EACH FLOOR FINISH TYPE TO VERIFY REQUIREMENTS.
- ALIGN TRANSITION OF FLOOR MATERIAL WITH CENTER OF HINGE IN DOORWAY UON.
- IN A WALL OPENING WITHOUT HINGES REFER TO FINISH PLANS FOR TRANSITION LOCATION OF WRAPPED MATERIALS.
- FLASH PATCH THE FLOOR AT TRANSITION OF ALL MATERIALS, PROVIDE TRANSITION STRIPS AS NECESSARY. SUBMIT TRANSITIONS TO INTERIOR DESIGNER/ARCHITECT FOR APPROVAL. ALL FLOORING TRANSITIONS MUST ADHERE TO THE AMERICANS WITH DISABILITIES ACT.

CEILING NOTES - FOR ALL PROJECTS:

- ALL NEW GWB CEILINGS/SOFFITS TO BE PAINTED CP-1 UNLESS OTHERWISE NOTED.

CODE REVIEW:

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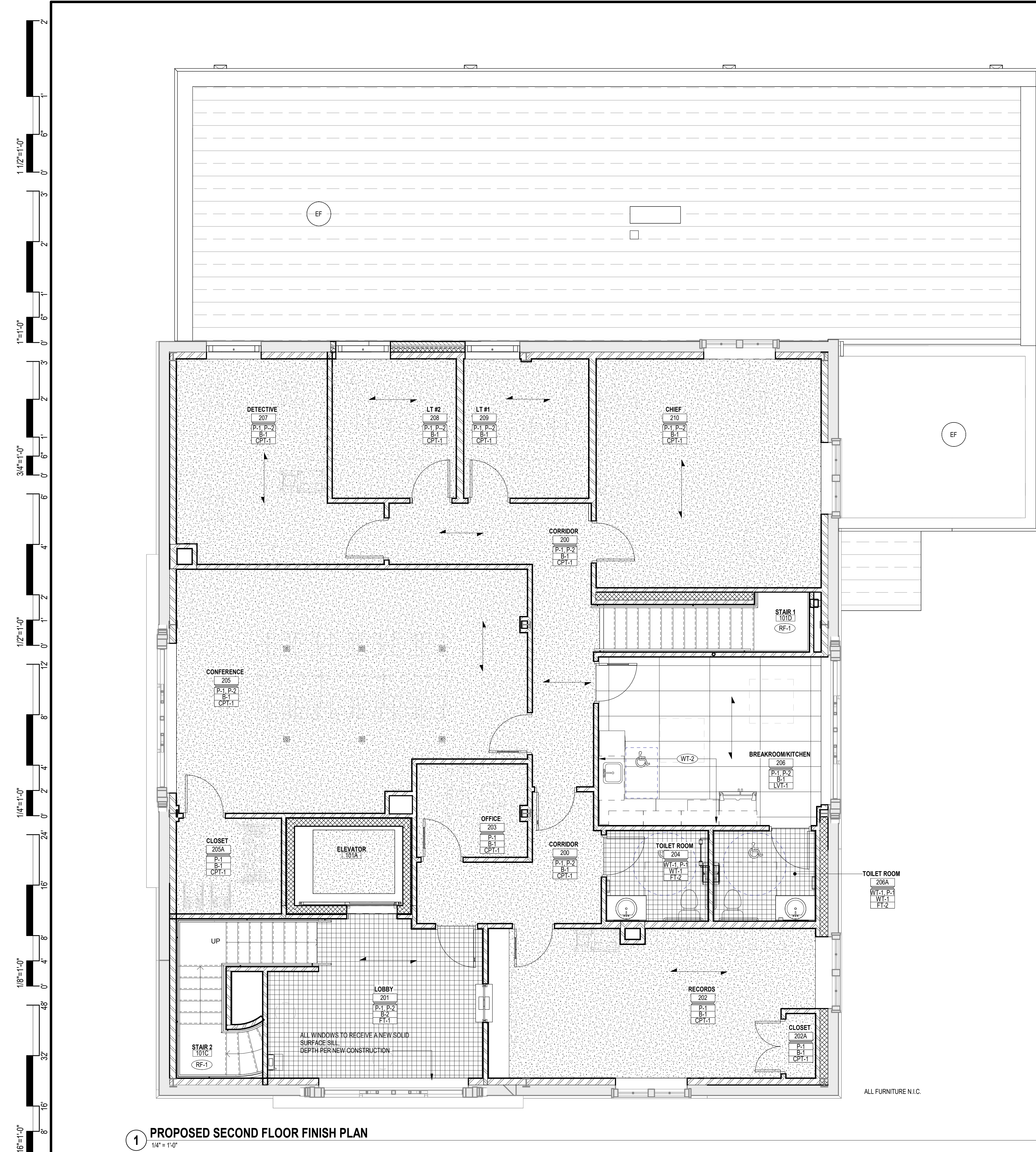
DRAWING TITLE:
FINISH PLANS AND INTERIOR ELEVATIONS

COMMISSION NUMBER:
23M014

DO NOT SCALE THE DRAWINGS

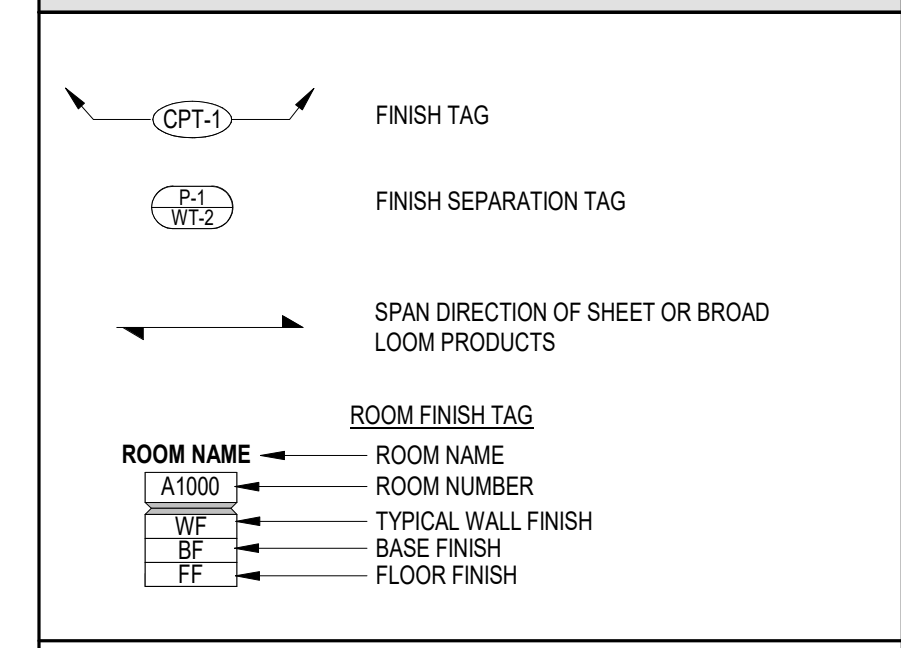
DRAWING NUMBER:
A9.1

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24" X 36"



1 PROPOSED SECOND FLOOR FINISH PLAN
1/4" = 1'-0"

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- NOTES PERTAIN TO AREAS WITHIN THIS SCOPE OF WORK ONLY.
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- ALL METAL AND PAINTED TRIM TO BE SEMI-GLOSS ENAMEL FINISH UON.
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- ALIGN TRANSITION OF FLOOR MATERIAL WITH CENTER OF HINGE IN DOORWAY UON.
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SCOTT E. DOWNE 2140197400
STEVEN LEONE 2140197000
STEVEN G. SEBEL 2140196400
ANGILO ALBERTO 2140196900
JOHN F. WRIGHT 2140194200
SPIEZE ARCHITECTURAL GROUP, INC. 2140200800

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REVISIONS:	REVISION NAME	DATE
1		

FOR BID: 06/25/2024

DRAWING TITLE:
FINISH PLANS AND INTERIOR ELEVATIONS

COMMISSION NUMBER:
23M014

DO NOT SCALE THE DRAWINGS

DRAWING NUMBER:
A9.2

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"

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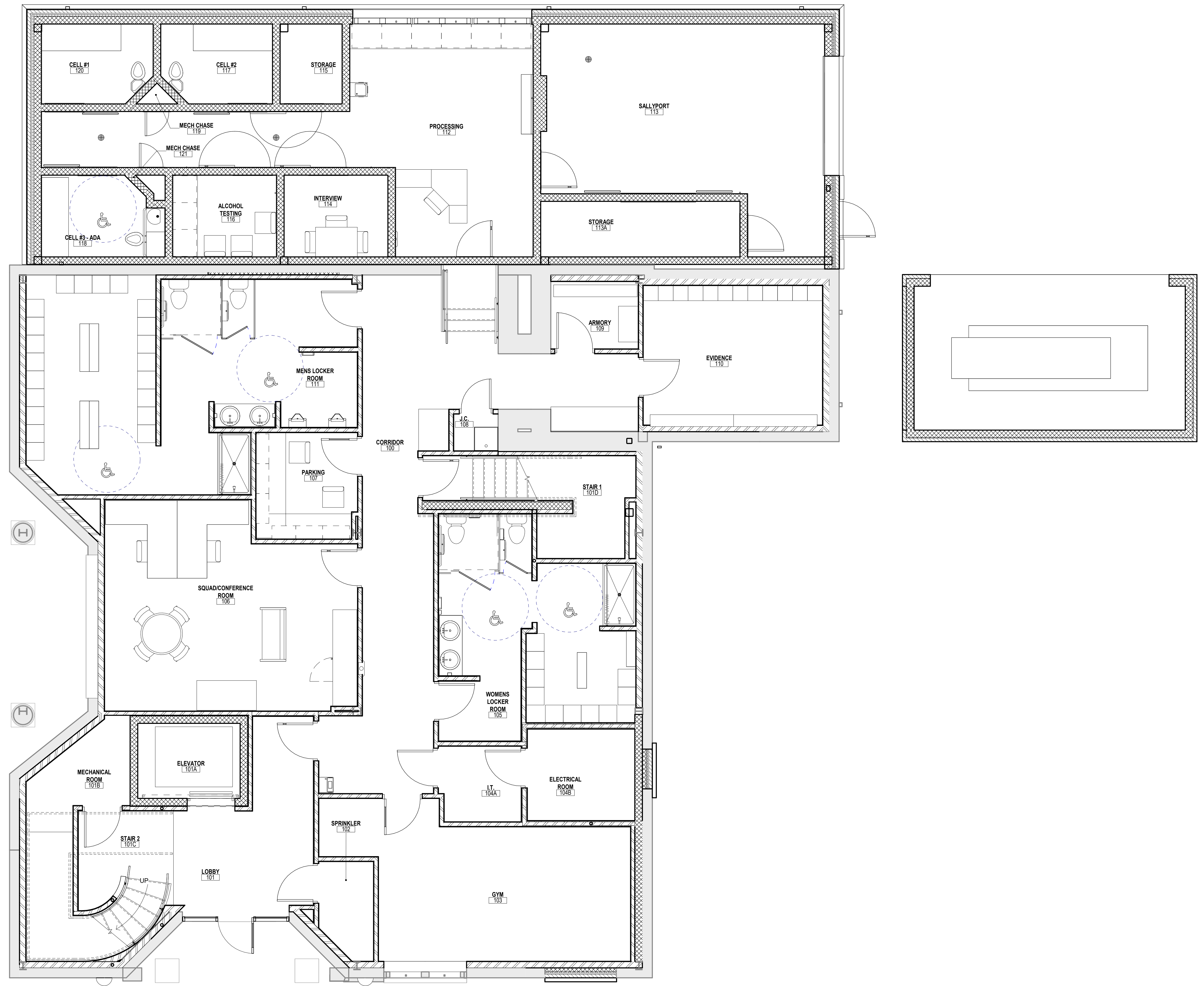
DRAWING TITLE:

FURNITURE PLANS

COMMISSION NUMBER:
23M014

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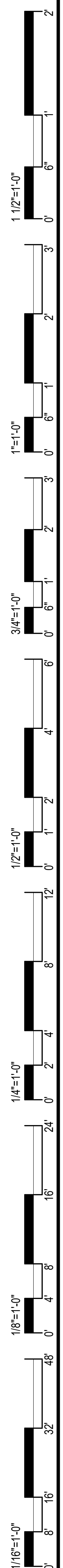
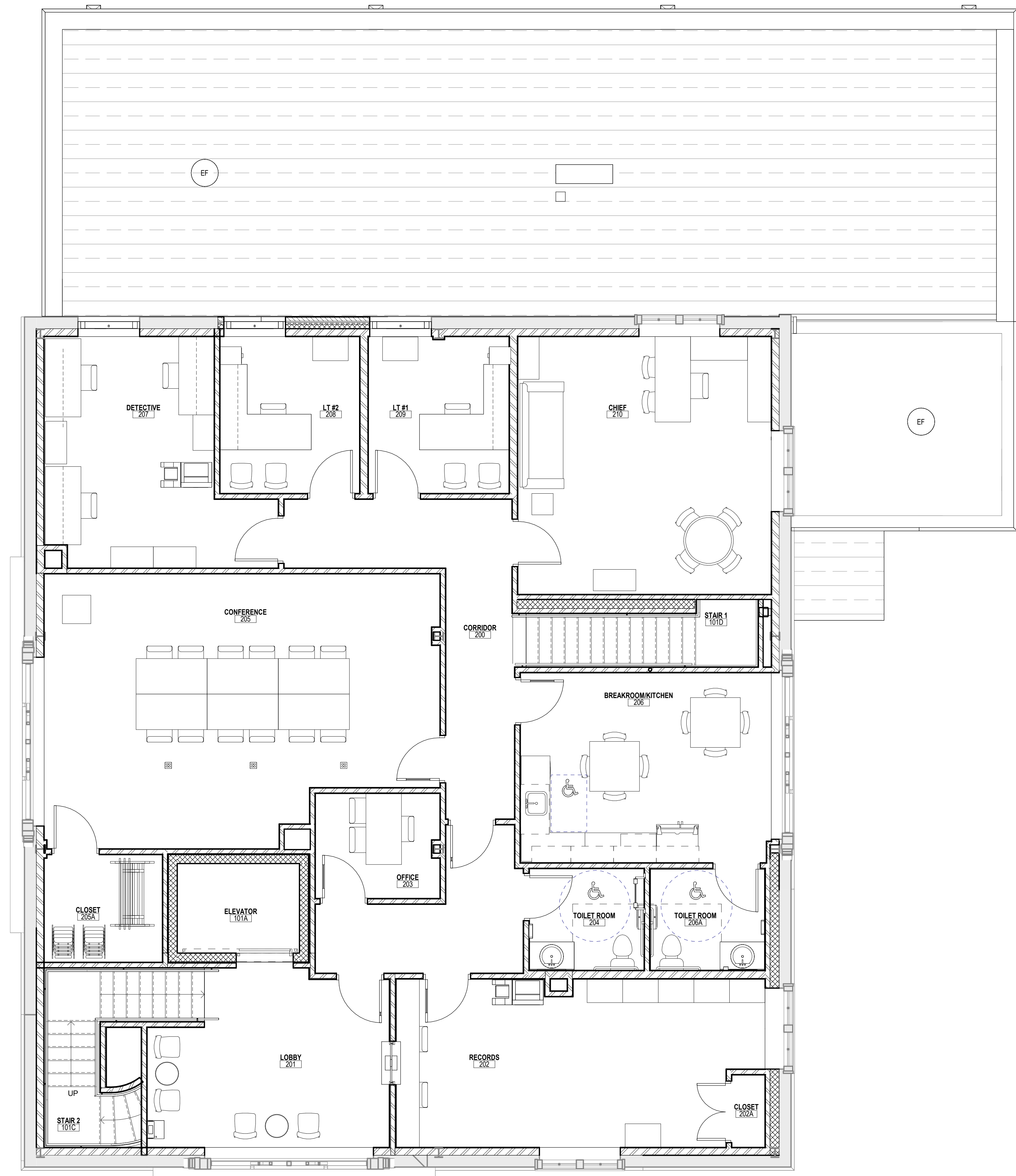
DRAWING NUMBER:
A9.3



1 FIRST FLOOR FURNITURE PLAN
1/4" = 1'-0"

1/2" = 1'-0"
1" = 1'-0"
3/4" = 1'-0"
1/2" = 1'-0"
1/4" = 1'-0"
1/8" = 1'-0"
1/16" = 1'-0"

THIS DRAWING IS FORMATTED TO BE PRINTED AT 24"x36"



1 SECOND FLOOR FURNITURE PLAN
1/4" = 1'-0"

CODE REVIEW:

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SPIEZIE ARCHITECTURAL GROUP, INC. 21A020083000

SEAL:

BID SET - 06/25/2024

PROJECT:
HADDONFIELD POLICE STATION
1 WALNUT STREET, HADDONFIELD, NJ 08033
FOR
CAMDEN COUNTY IMPROVEMENT AUTHORITY
520 MARKET STREET, 6TH FLOOR, CAMDEN, NEW JERSEY 08102

FOR CODE REVIEW: 02/23/24

REVISIONS:	REVISION NAME	DATE
1		

FOR BID: 06/25/2024

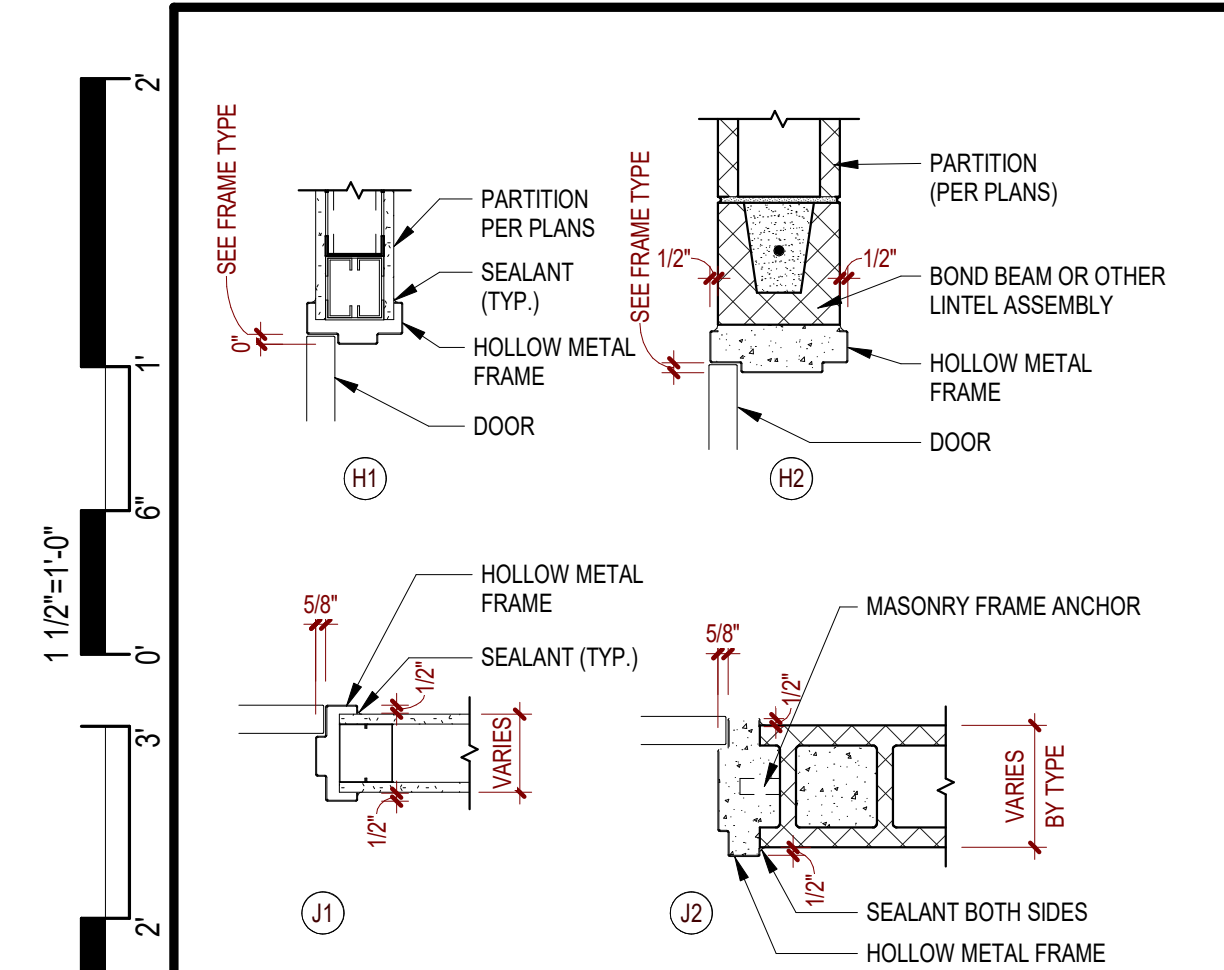
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FURNITURE PLANS

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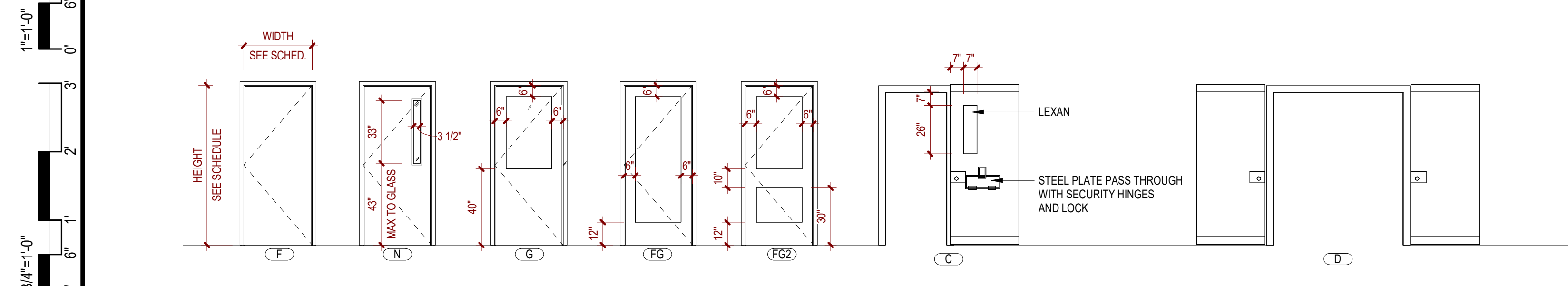
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A9.4

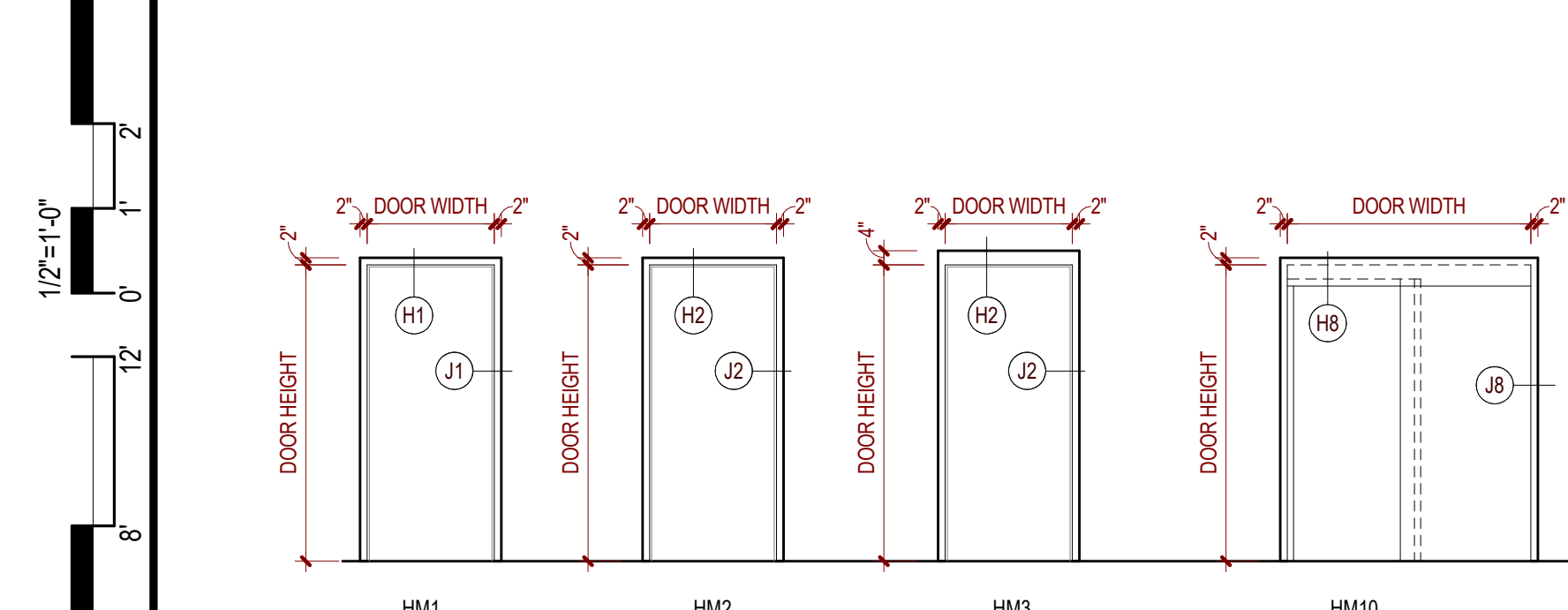
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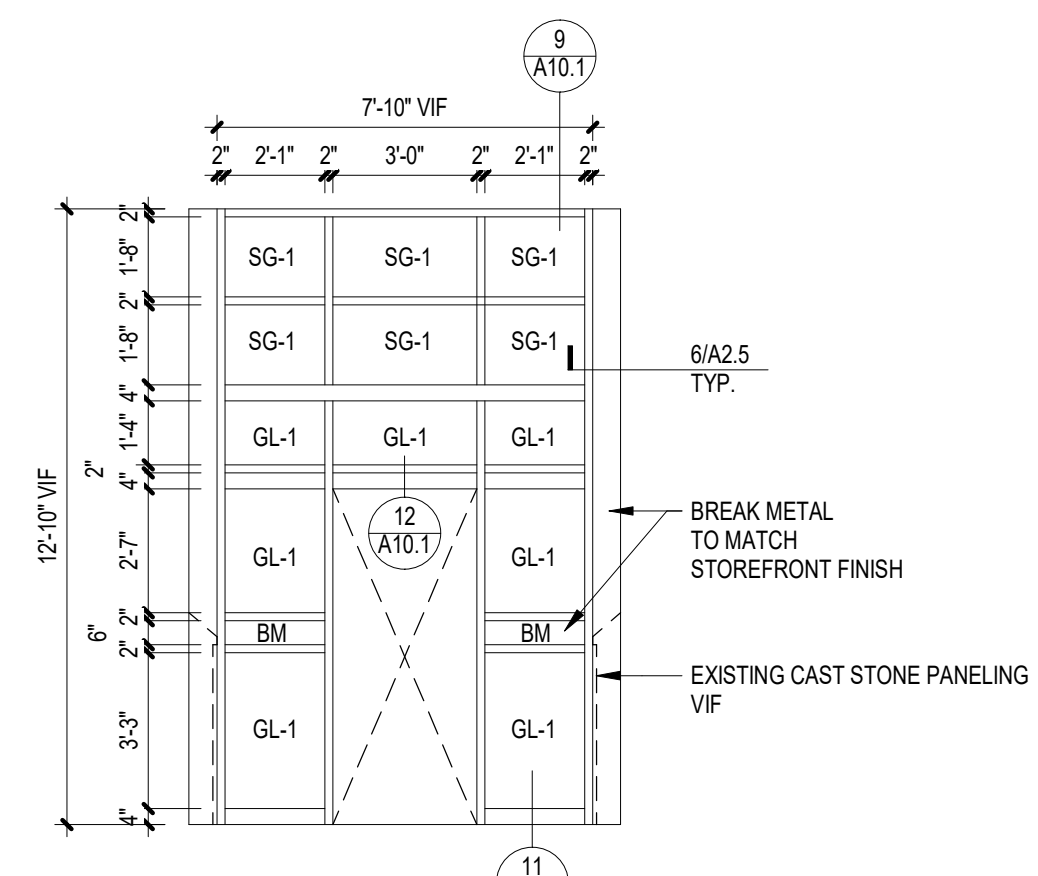
1 FRAME DETAILS
1" = 1'-0"



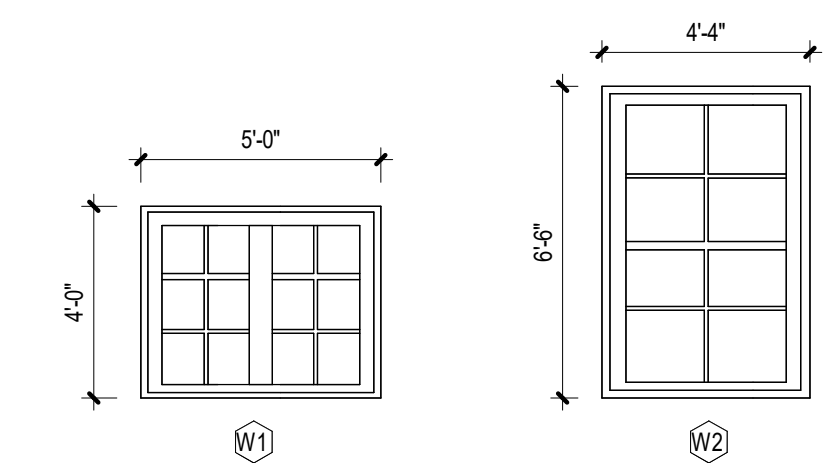
2 DOOR TYPES
1 1/2" = 1'-0"



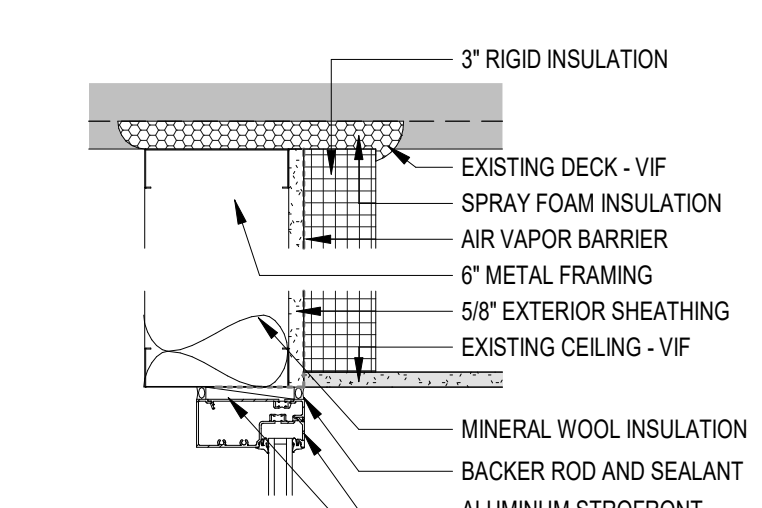
4 FRAME TYPES
1 1/2" = 1'-0"



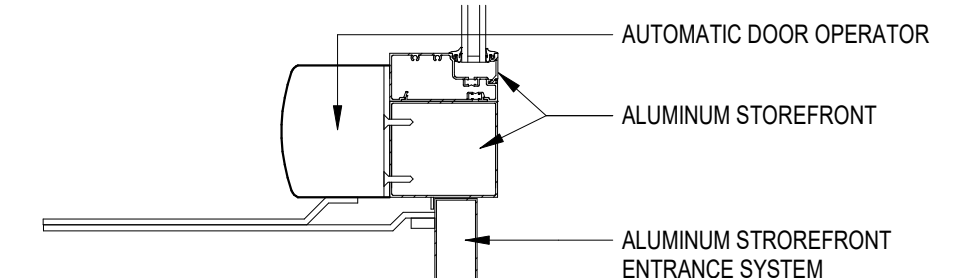
10 STOREFRONT ELEVATION
1 1/4" = 1'-0"



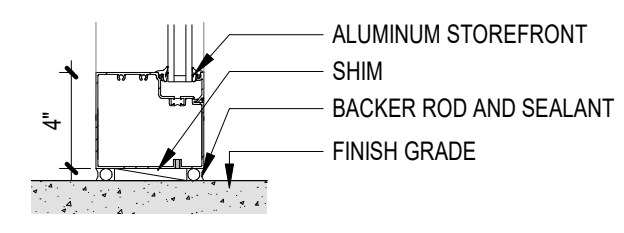
3 WINDOW TYPES
1 1/4" = 1'-0"



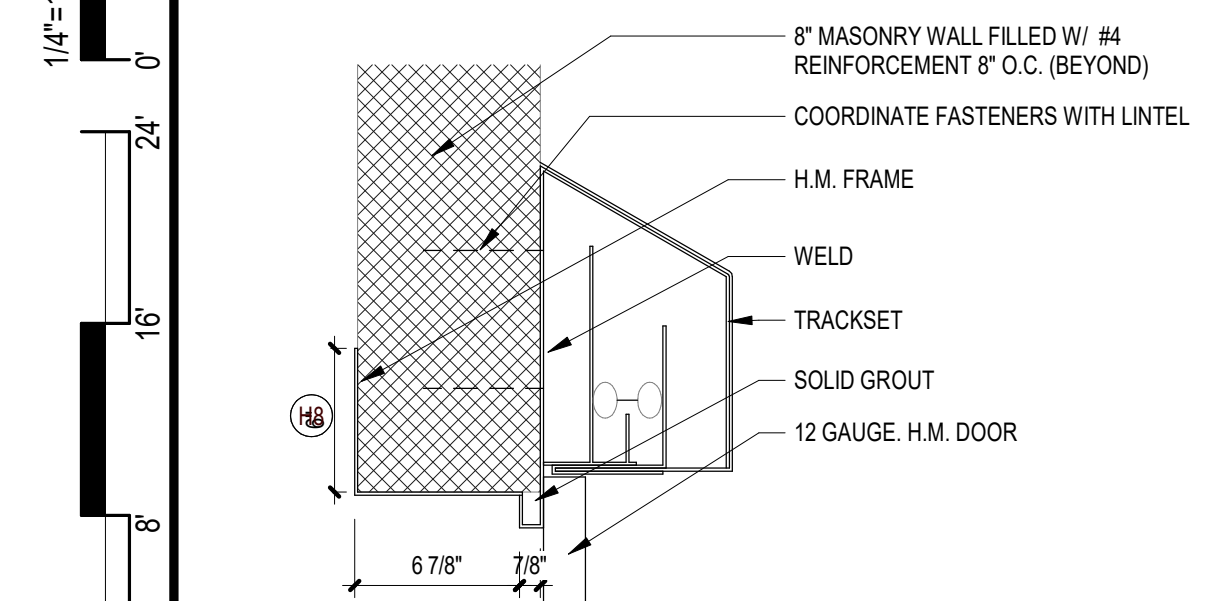
9 SECTION SF HEADER
1 1/2" = 1'-0"



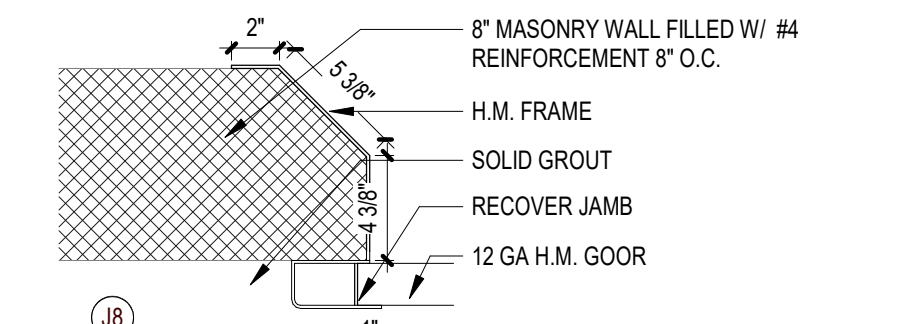
12 SECTION SF DOOR HEADER
1 1/2" = 1'-0"



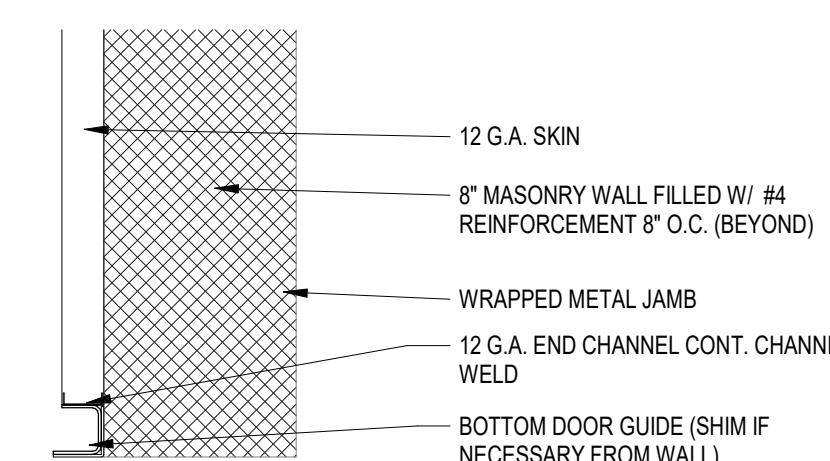
11 SECTION SF BASE
1 1/2" = 1'-0"



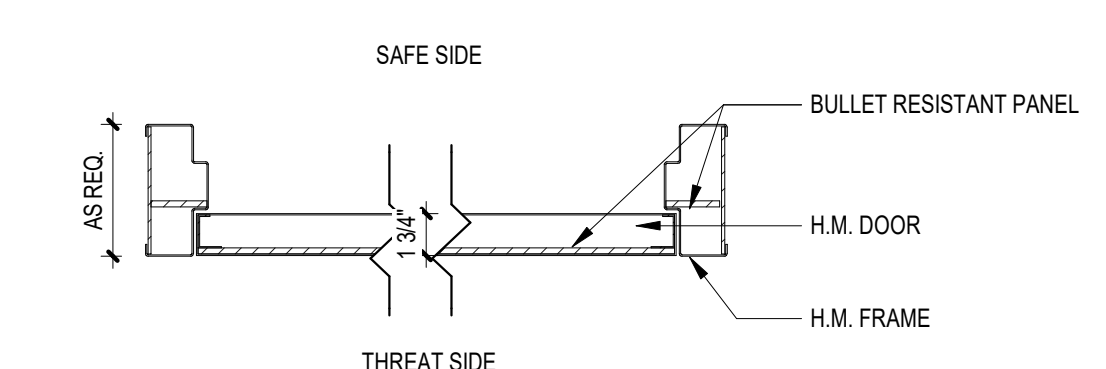
5 CELL DOOR HEAD
1 1/2" = 1'-0"



6 CELL DOOR JAMB
1 1/2" = 1'-0"



7 CELL DOOR SILL
1 1/2" = 1'-0"



8 BULLET RESISTANT DOOR
1 1/2" = 1'-0"

DOOR SCHEDULE										
MARK	LOCATION	DOOR			FRAME	RATING (MINS)	REMARKS	AAOS Project HW Set		
		WIDTH(S)	HEIGHT	TYPE						
101	CORRIDOR	3'-0"	7'-0"	N	HM	HM1	CARD READER CONTROL DOOR	6.0		
101A	LOBBY	3'-0"	7'-2"	FG	AL	AL	CARD READER CONTROL DOOR WITH INTERCOM	20.0		
101B	MECHANICAL ROOM	3'-0"	7'-0"	F	HM	HM1		7.0		
101C	LOBBY	3'-0"	7'-0"	F	HM	HM1		8.0		
103	GYM	3'-0"	7'-0"	G	HM	HM1		9.0		
104	CORRIDOR	3'-0"	7'-0"	F	HM	HM1		7.0		
104B	I.T.	3'-0"	7'-0"	F	HM	HM1	90 MINUTE FIRE RATED DOOR	9.0		
105	CORRIDOR	3'-0"	7'-0"	F	HM	HM1		15.0		
106	CORRIDOR	3'-0"	7'-0"	N	HM	HM1		9.0		
107	CORRIDOR	3'-0"	7'-0"	G	HM	HM1		9.0		
108	J.C.	2'-6"	7'-0"	F	HM	HM1		7.0		
109	CORRIDOR	3'-0"	7'-0"	F	HM	HM1		4.0		
110	CORRIDOR	3'-0"	7'-0"	F	HM	HM1		4.0		
111	CORRIDOR	3'-0"	7'-0"	F	HM	HM1		16.0		
112	CORRIDOR	3'-0"	7'-0"	N	HM	HM3	CARD READER CONTROL DOOR - INTERCONNECTED	5.0		
113	SALLYPORT	3'-0"	7'-0"	N	HM	HM2	CARD READER CONTROL DOOR - INTERCONNECTED	5.0		
113A	SALLYPORT	6'-0"	7'-0"	D	HM	HM10		3.0		
113C	STORAGE	3'-0"	7'-0"	F	HM	HM3		7.0		
113D	SALLYPORT	3'-0"	7'-2"	N	HM	HM2	CARD READER CONTROL DOOR - INTERCONNECTED	2.0		
113E	SALLYPORT	10'-0"	8'-0"				CARD READER OVERHEAD COILING DOOR - CONTROL FROM DISPATCH AND REMOTE GARAGE DOOR OPENER, BUT SHOULD NOT OPEN IF INTERIOR DOORS 113 & 113D ARE OPEN AND DOOR CONTACTS FOR BOTH DOORS. SEE SHEET A6.2 FOR DETAILS.	3.0		
114	INTERVIEW	3'-0"	7'-0"	N	HM	HM3		17.0		
115	STORAGE	3'-0"	7'-0"	F	HM	HM3		7.0		
116	ALCOHOL TESTING	3'-0"	7'-0"	N	HM	HM3		17.0		
117	CELL #2	3'-0"	7'-0"	C	HM	HM10	SLIDING DETENTION DOOR AND FRAME	3.0		
118	CELL #3 - ADA	3'-0"	7'-0"	C	HM	HM10	SLIDING DETENTION DOOR AND FRAME	3.0		
119	MECH CHASE	2'-0"	7'-0"	F	HM	HM1		18.0		
120	CELL #1	3'-0"	7'-0"	C	HM	HM10	SLIDING DETENTION DOOR AND FRAME	3.0		
121	MECH CHASE	2'-0"	7'-0"	F	HM	HM1		18.0		
201	LOBBY	3'-0"	7'-0"	N	HM	HM1	BULLET RESISTANT DOOR & FRAME, CARD READER	4.0		
202	CORRIDOR	3'-0"	7'-0"	G	HM	HM1		9.0		
202A	CLOSET	2'-0" / 2'-0"	8'-0"	F	HM	HM1		14.0		
203	OFFICE	3'-0"	7'-0"	G	WD	HM1		10.0		
204	CORRIDOR	3'-0"	7'-0"	F	HM	HM1		12.0		
205	CORRIDOR	3'-0"	7'-0"	G	HM	HM1		9.0		
205A	CLOSET	3'-0"	7'-0"	F	HM	HM1		13.0		
206	CORRIDOR	3'-0"	7'-0"	G	HM	HM1		9.0		
206A	BREAKROOM/KITCHEN	3'-0"	7'-0"	F	HM	HM1		12.0		
207	CORRIDOR	3'-0"	7'-0"	F	WD	HM1		11.0		
208	CORRIDOR	3'-0"	7'-0"	F	WD	HM1		11.0		
209	CORRIDOR	3'-0"	7'-0"	F	WD	HM1		11.0		
210	CORRIDOR	3'-0"	7'-0"	F	WD	HM1		11.0		
211	CORRIDOR	3'-0"	7'-0"	N	HM	HM1	CARD READER	4.0		
S1	CORRIDOR	3'-0"	7'-0"	N	HM	HM1		19.0		
S2	STAIR 1	3'-0"	7'-0"	N	HM	HM3	CARD READER	1.0		

DOOR AND FRAME NOTES

- OPENING FORCE OF INTERIOR NON-RATED DOORS SHALL BE NO GREATER THAN 5 LBS.
- OPENING FORCE OF FIRE RATED DOORS SHALL BE NO GREATER THAN 8 LBS.
- ALL EXTERIOR GLAZING IN NON-RATED WALL AND DOOR ASSEMBLIES SHALL BE MINIMUM 1" INSULATED GLAZING. REFER TO SPECIFICATIONS FOR GLAZING TYPES.
- PAINT ALL EXPOSED STEEL (COLOR AS SELECTED BY ARCHITECT).
- PROVIDE COMPATIBLE FLASHING MATERIALS BETWEEN DISSIMILAR MATERIALS SUCH AS STEEL TO ALUMINUM.
- SHIM ASSEMBLIES AS REQUIRED FOR PLUMB AND LEVEL. PROVIDE SEALANT AND BACKER RODS AT ALL JOINTS BETWEEN WINDOW SYSTEMS, DOOR FRAMES AND OTHER SURROUNDING CONSTRUCTION.
- ALUMINUM WINDOW AND ENTRANCE FRAMES SHALL NOT BE INSTALLED IN DIRECT CONTACT WITH DISSIMILAR BUILDING MATERIALS.
- THE MINIMUM LATCH SIDE CLEARANCE BETWEEN THE EDGE OF DOOR AND ADJACENT WALL OR OBSTRUCTIONS ON PULL SIDE SHALL BE 1'-6" MINIMUM.
- THE MINIMUM LATCH SIDE CLEARANCE BETWEEN THE EDGE OF DOOR AND ADJACENT WALL OR OBSTRUCTIONS ON PUSH SIDE SHALL BE 1'-0" MINIMUM.
- DO NOT APPLY WALL BASE TO HOLLOW METAL OR ALUMINUM FRAMES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL COORDINATE FOR INSTALLATION OF POWER, CONDUIT AND/OR WIRING, ETC. AT OPENINGS SCHEDULED TO RECEIVE DEVICES SUCH AS DOOR CONTACTS, CARD READERS, ELECTRIC LOCKS AND AUTOMATIC DOOR OPENERS.
- ALL STUD FRAMED WALLS SHALL HAVE FULLY WRAPPED FRAMES.
- ALL CMU WALLS OF 12" NOMINAL THICKNESS OR LESS SHALL HAVE FULLY WRAPPED FRAMES.
- ALL CMU WALLS OF NOMINAL THICKNESS GREATER THAN 12" SHALL HAVE FRAMES WITH 8-3/4" THROAT DIMENSION AND BE LOCATED ON THE CORRIDOR OR SECURE SIDE OF THE OPENING. PROVIDE BULLNOSE CMU ON THE OPPOSITE SIDE.
- FRAME CONDITIONS AT EXTERIOR OPENINGS MAY VARY. REFER TO SECTION DETAILS FOR MORE SPECIFIC INFORMATION.

ABBREVIATIONS:

HM	- HOLLOW METAL
WD	- WOOD
AL	- ALUMINUM
FRP	- FIBER REINFORCED POLYMER

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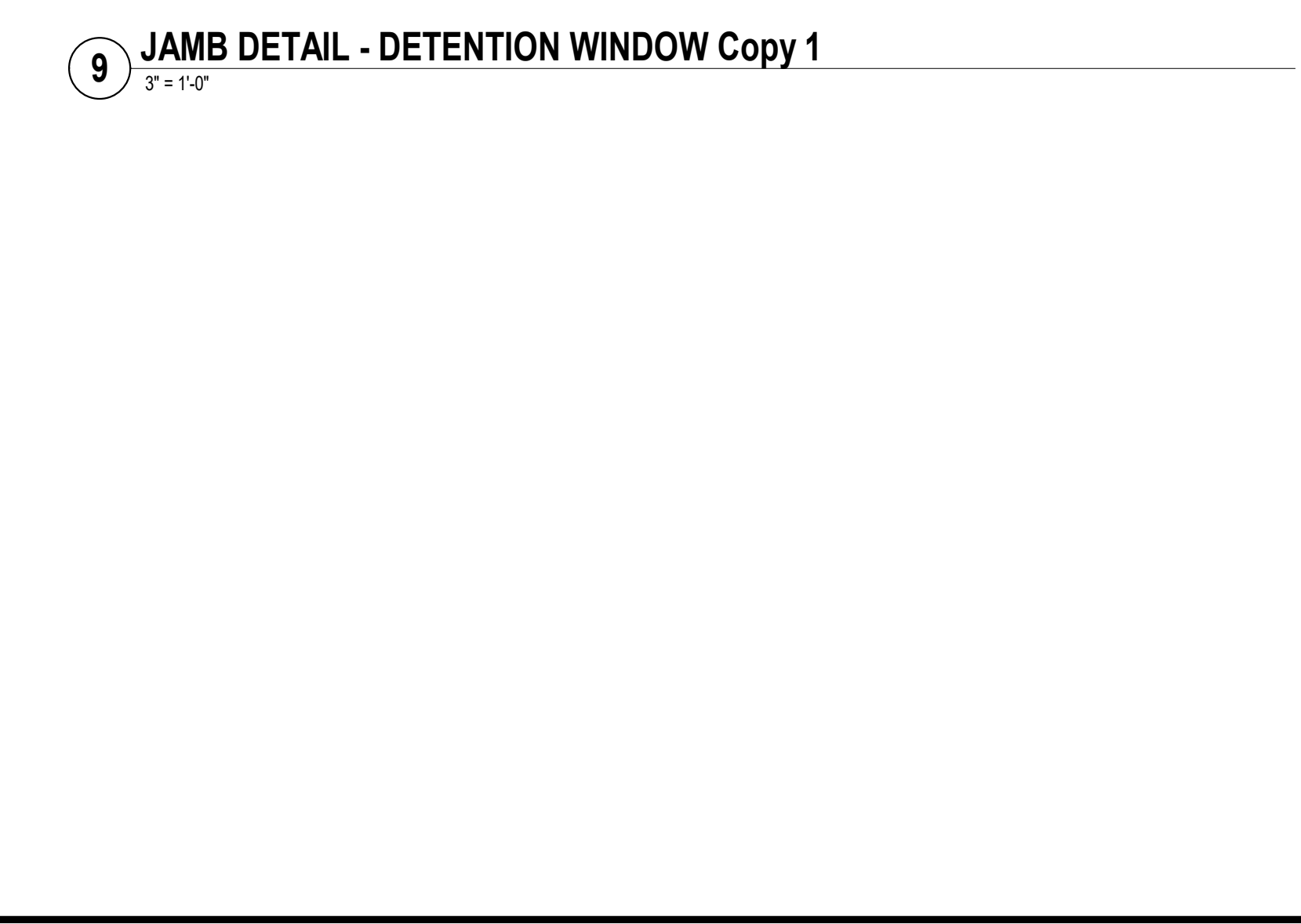
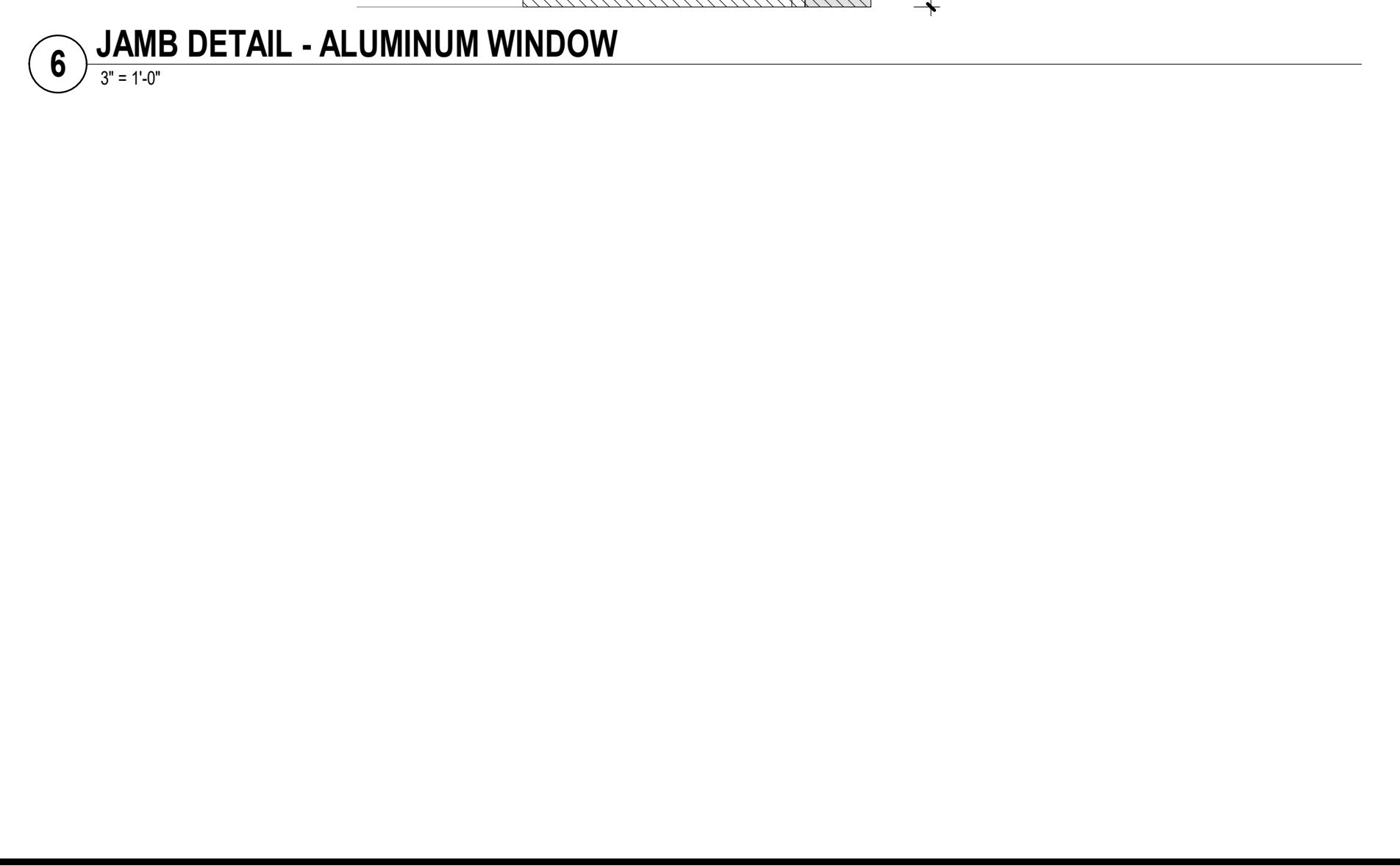
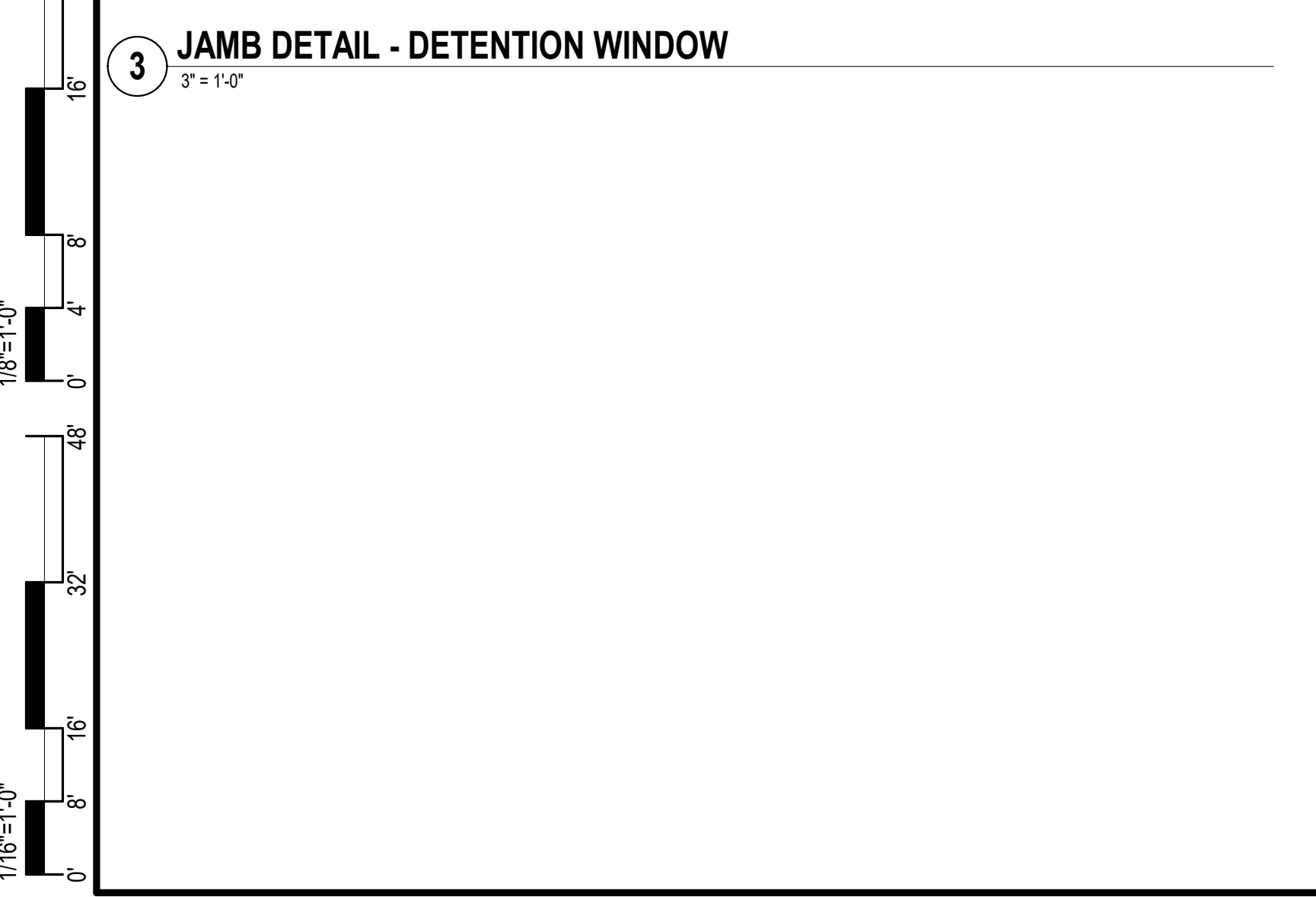
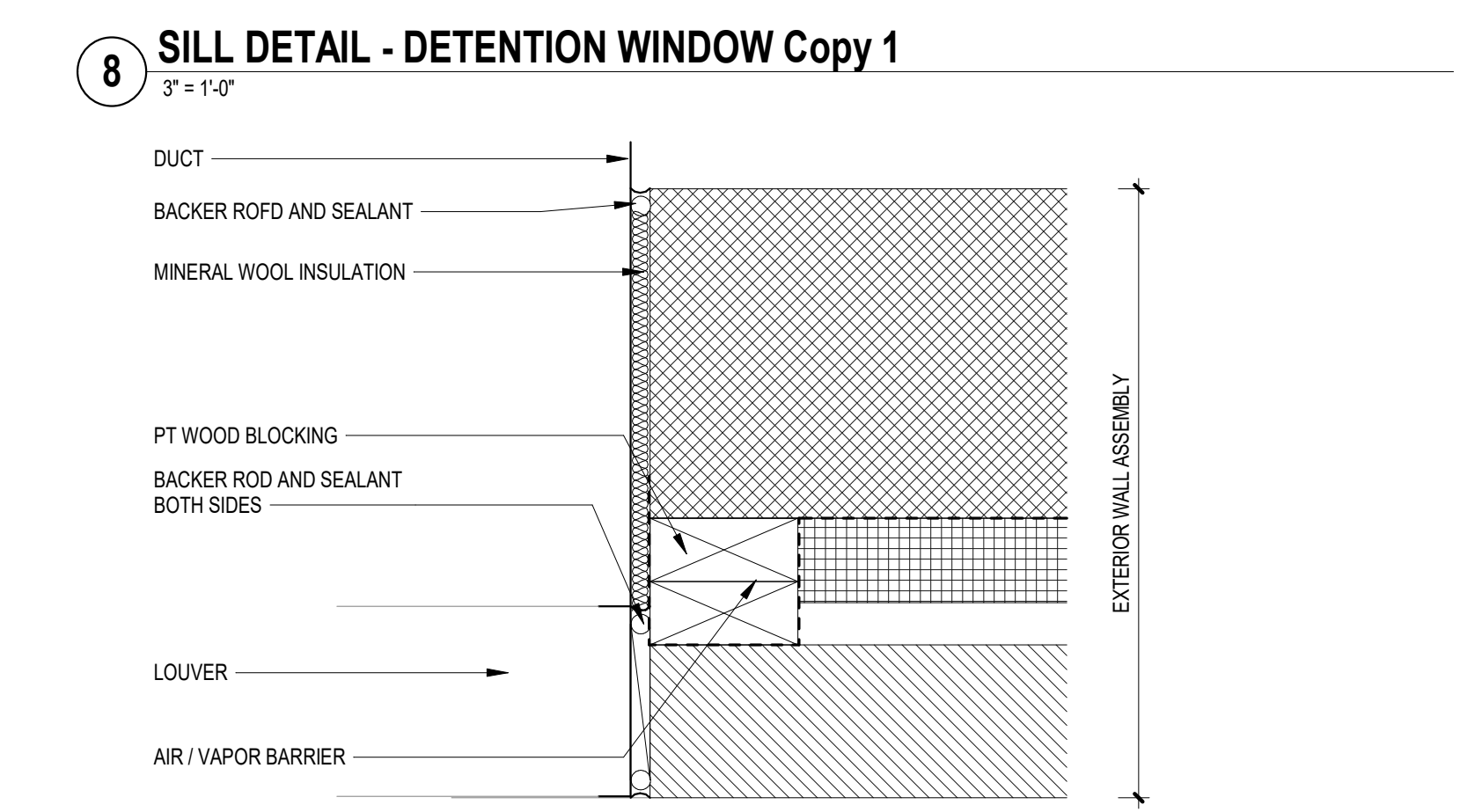
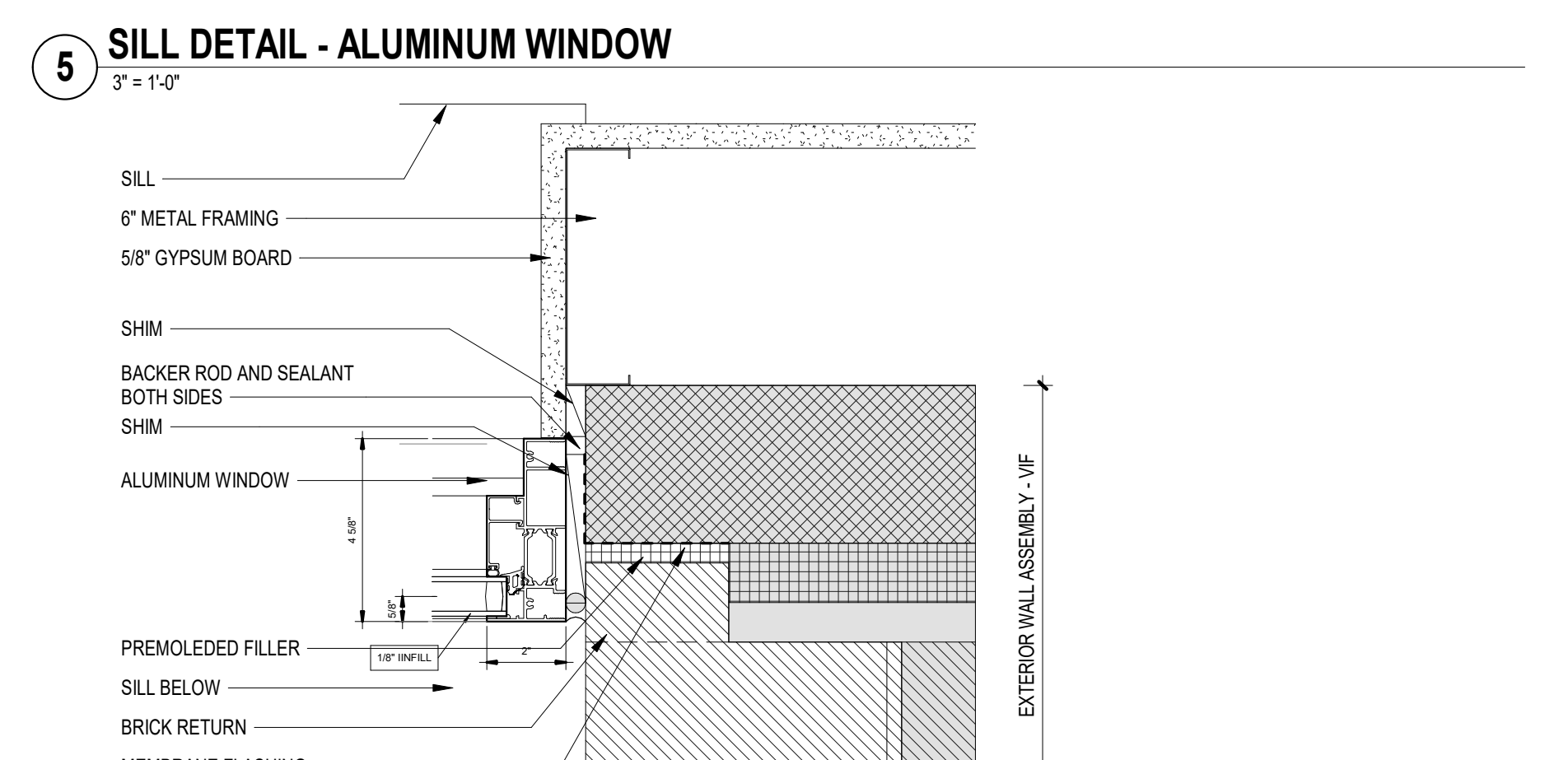
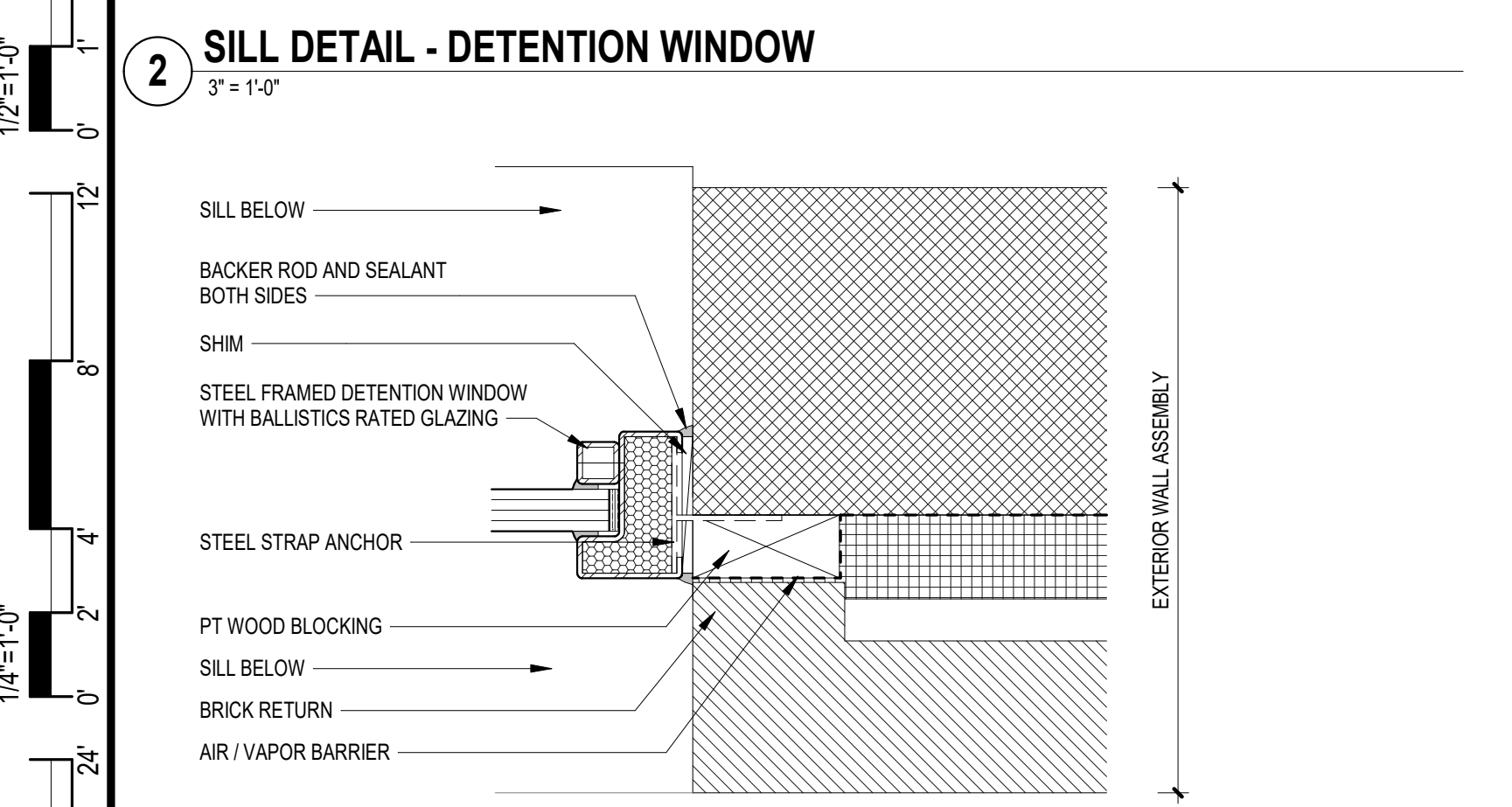
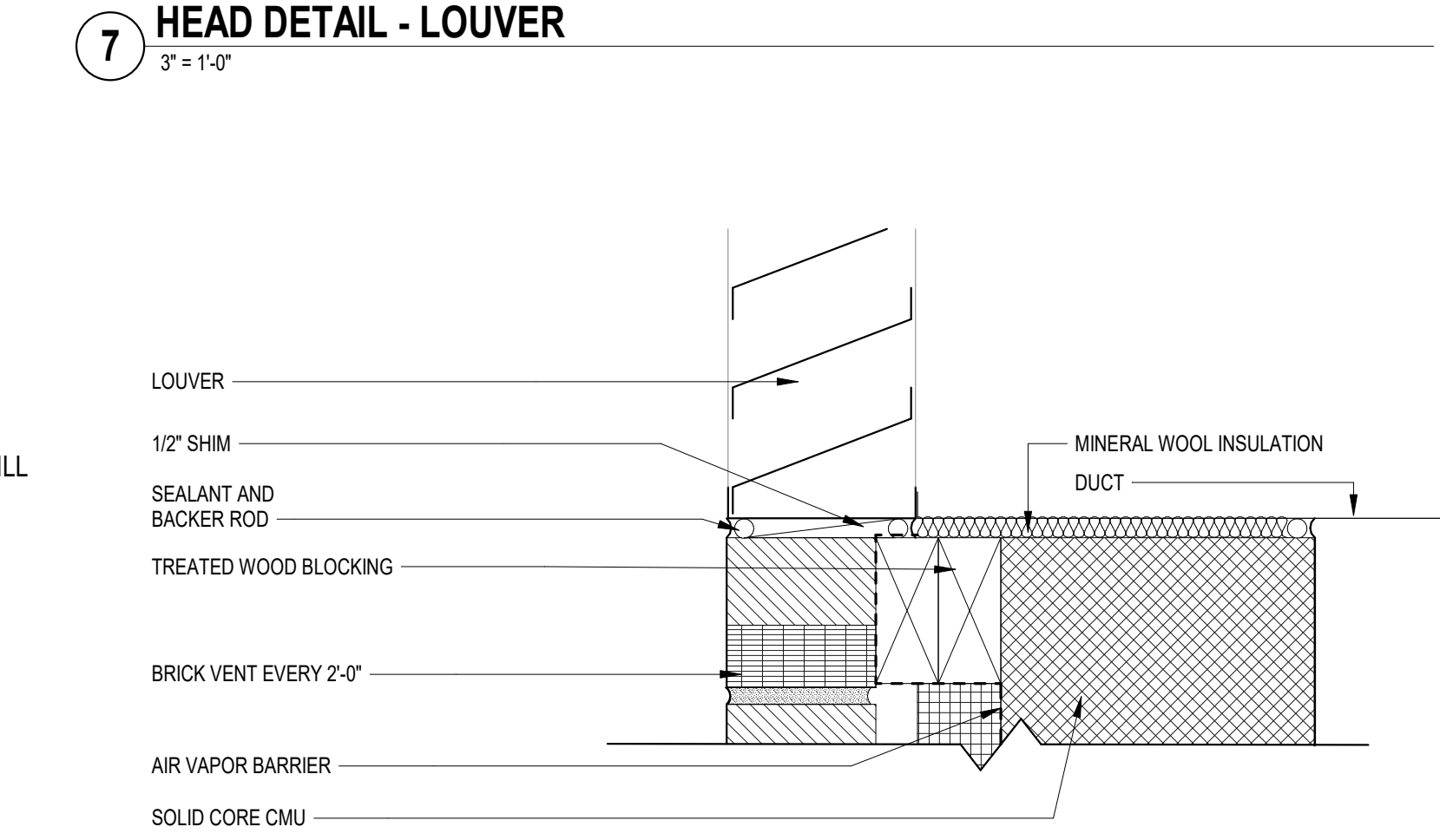
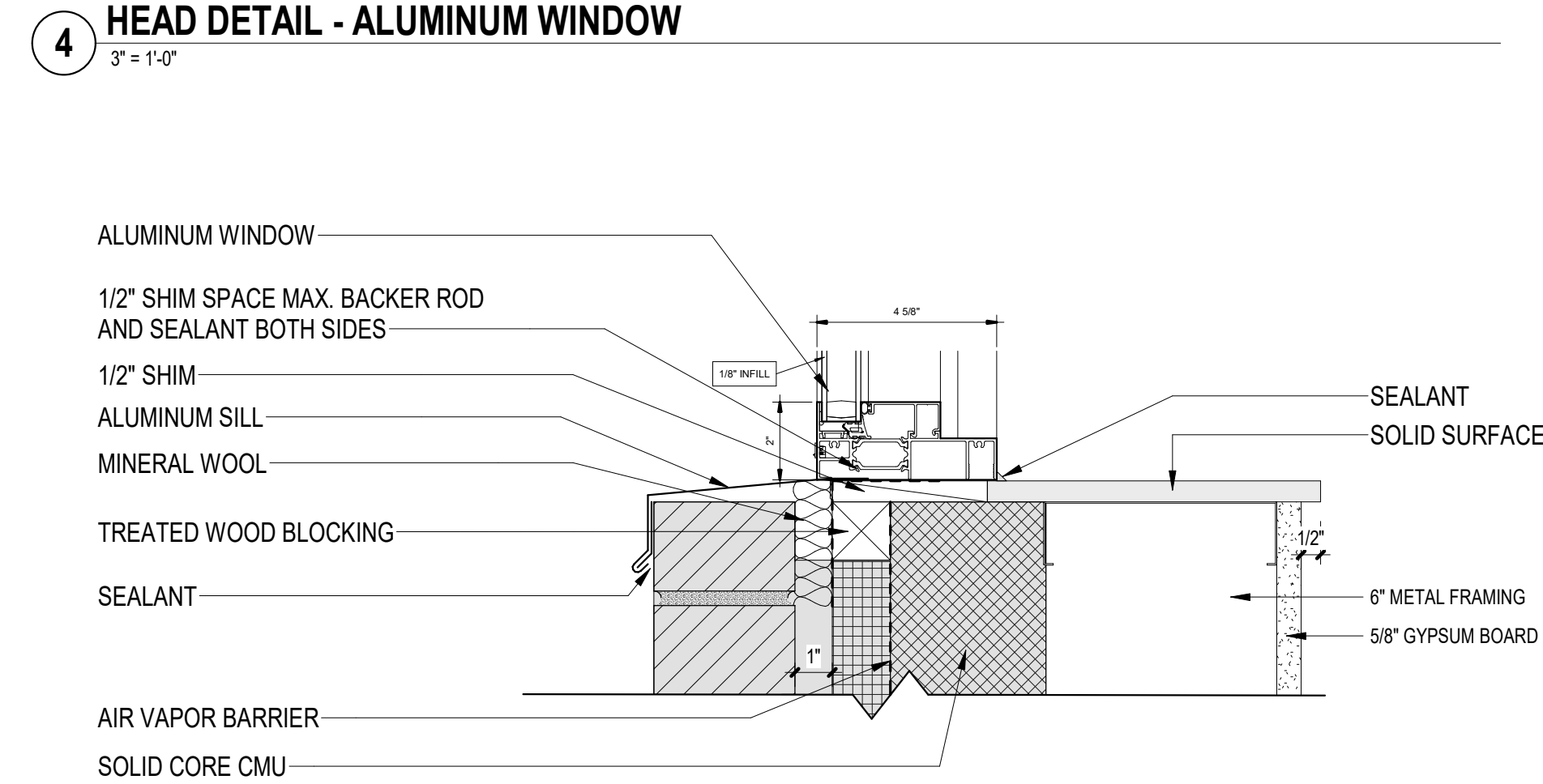
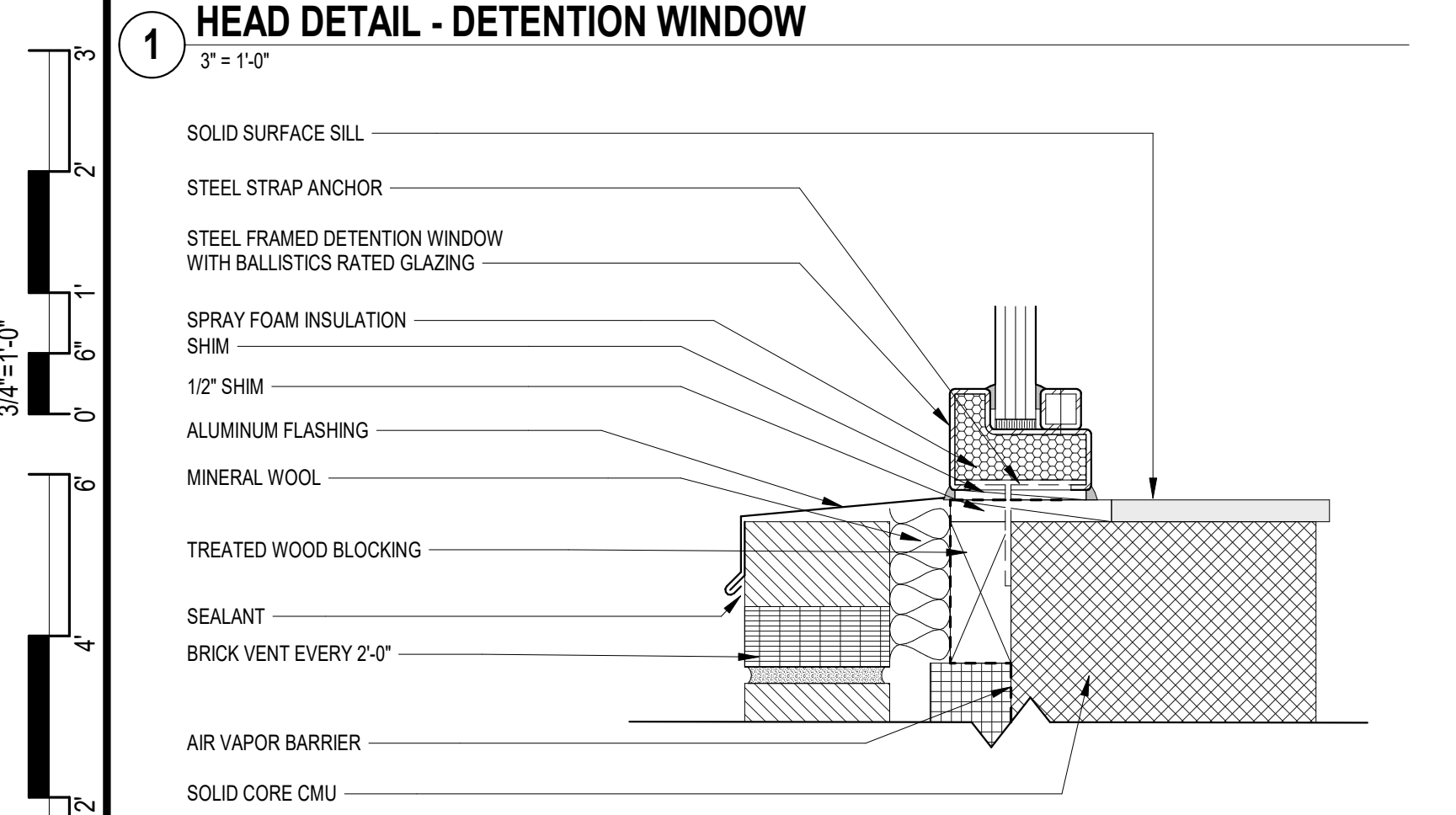
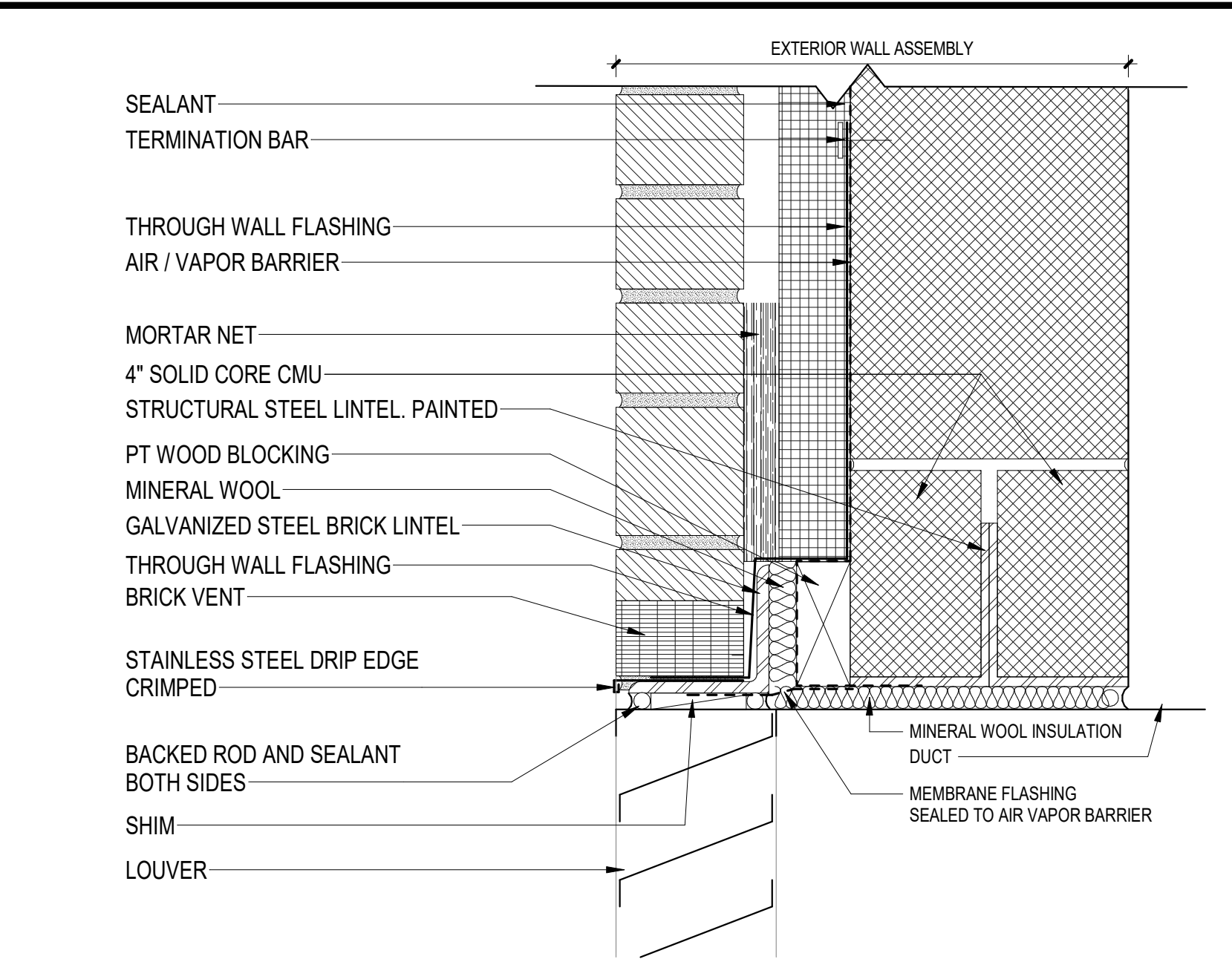
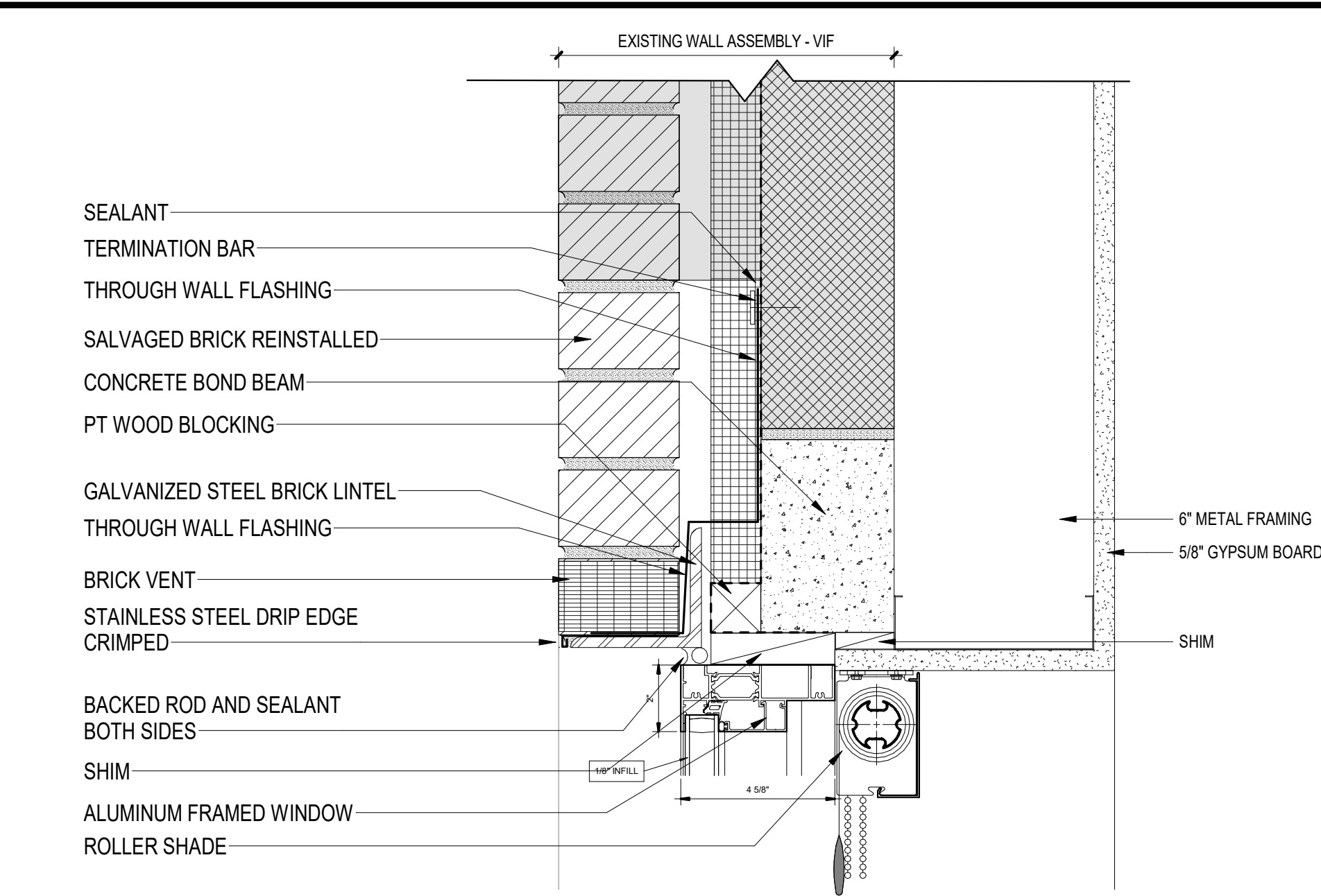
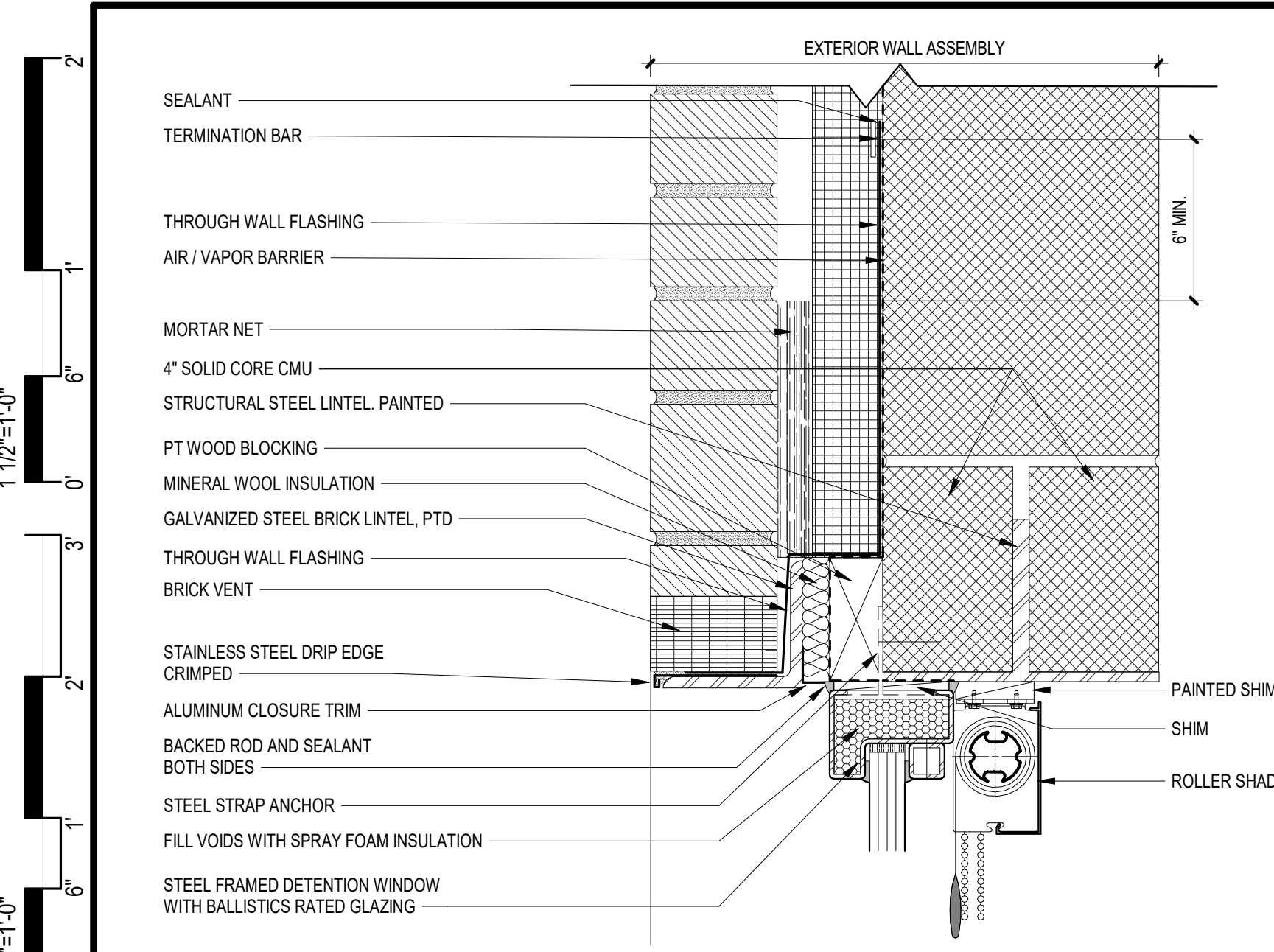
FOR BID: 06/25/2024

DRAWING TITLE:
DOOR AND FRAME SCHEDULES

COMMISSION NUMBER:
23M014

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DRAWING NUMBER:
A10.1



CODE REVIEW:

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DRAWING TITLE:

STOREFRONT AND WINDOW DETAILS

COMMISSION NUMBER:
23M014

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DRAWING NUMBER:
A10.2