

# INTERIOR RENOVATIONS (PHASE 2 WORK)

## FOR THE

# GLOUCESTER TOWNSHIP

# BLACK BOX COMMUNITY CENTER

### 3 S. BLACK HORSE PIKE

### BLACKWOOD, NEW JERSEY 08012

#### ABBREVIATIONS

AL. TH.	ALUMINUM THRESHOLD	GYP.	GYPSUM BOARD	R.O.	ROUGH OPENING
B.P.	BEARING PLATE	HRD. HD.	HARDWOOD	R.O.M.	RIGHT OF WAY
BRG.	BEARING	R.M.C.	RAIN WATER CONDUCTOR	SAN.	SANITARY
BRK.	BRICK	INSUL.	INSULATION	SCH.	SCHEDULE
CAB.	CABINET	INT.	INTERIOR	SECT.	SECTION
C.A.B.C.	COURSE AGGREGATE BITUMINOUS CONCRETE	INV.	INVERT	SEN.	SEWER
CARP.	CARPET	JAN.	JANITOR	S.L.	SKYLIGHT
C.B.	CATCH BASIN	JST.	JOIST	SPEC.	SPECIFICATION(S)
C.J.	CONTROL JOINT	JT.	JOINT	S.S.	SERVICE SINK
CLG.	CEILING	KIT.	KITCHEN	STL.	STEEL
CL.	CLOSET	ST.STL.	STAINLESS STEEL	STOR.	STORAGE
C.L.L.	CONTRACT LIMIT LINE	LAV.	LAVATORY	S.U.	SINK UNIT
C.L.R.	CLEAR - CLEARANCE	L.M.T.	LIGHT WEIGHT	T.	TREAD
C.I.U.	CAST IRON	L.F.	LINEAR FEET	T. OL.	TOP OF CONCRETE
C.M.	CONCRETE MASONRY UNIT	MAX.	MAXIMUM	T. & G.	TONGUE AND GROOVE
COL.	COLUMN	MB.TH.	MARBLE THRESHOLD	TH.	THRESHOLD
CONC.	CONCRETE	MECH.	MECHANICAL	THK.	THICK - THICKNESS
CONT.	CONTINUOUS	MFR.	MANUFACTURER	T.O.F.	TOP OF FOOTING
CONTR.	CONTRACTOR	MN.	MINIMUM	T.O.M.	TOP OF MASONRY
CORR.	CORRIDOR	MIR.	MIRROR	T.O.S.	TOP OF STEEL
CORRU.	CORRUGATED	M.O.	MASONRY OPENING	T.PNL.	TELEPHONE PANEL
C.S.	CONSTRUCTION SHAKING	M.T.P.	METAL TOILET PARTITION	TYP.	TYPICAL
C.S.P.	CONSTRUCTION SHAKING PAINTED	M.R.	MAT RECESS	T.P.	TOILET PARTITION
C.T.	CERAMIC TILE	M. REC.	MOP RECEPTOR	UC.	UNDERCUT
C.T.C.B.	CERAMIC TILE COVE BASE	M.T.	METAL THRESHOLD	U.D.	UNIT DIMENSION
C.M.	COLD WATER	MTL.	METAL	UG	UNDERGROUND
DE'NO.	DEMOLISH	N.I.C.	NOT IN CONTRACT	UH.	UNIT HEATER
DIA.	DIAMETER	N.T.S.	NOT TO SCALE	U/S	UNDER SLAB
D.F.	DRINKING FOUNTAIN	O.C.	ON CENTER	U.V.	UNIT VENTILATOR
D.L.	DOUBLE LOAD	O.D.	OUTSIDE DIAMETER	V.	SHEET VINYL
DR.	DOOR	OFF.	OFFICE	V.C.B.	VINYL COVE BASE
DWG.	DRAWING	OH.D.	OVERHEAD DOOR	V.C.T.	VINYL COMPOSITION TILE
EA.	EACH	OP'G.	OPENING	V.S.B.	VINYL STRAIGHT BASE
ELEC.	ELECTRIC - ELECTRICAL	PERF.	PERFORATED	VEST.	VESTIBULE
ELEV.	ELEVATION	V.T.R.	VENT THRU ROOF	W/	WITH
E. PNL.	ELECTRICAL PANEL	PLAS.	PLASTIC	W.B.	WONDER BD. CEMENTATION BACKER
EQUIP.	EQUIPMENT	PLAT.	PLATFORM	W.C.	WATER CLOSET
ENC.	ELECTRIC WATER COOLER	PLYMD.	PLYWOOD	W.D.	WOOD
EXP. JT.	EXPANSION JOINT	P.S.F.	POUNDS PER SQUARE FOOT	W/O	WITHOUT
EXH.	EXHAUST	P.S.I.	POUNDS PER SQUARE INCH	W/SCOT.	WAINSCOT
EXIST'G.	EXISTING	P.T.	PORCELAIN TILE	WTH.	WIDTH
E.T.R.	EXISTING TO REMAIN	P.T.C.B.	PORCELAIN TILE COVE BASE	W.M.M.	WELD WIRE MESH
F.A.B.C.	FINE AGGREGATE BITUMINOUS CONCRETE	PTD.	PAINTED		
F.B.	FACE BRICK	PVC.	POLYVINYL CHLORIDE		
F.D.	FLOOR DRAIN	Q.T.	QUARRY TILE		
F.E.	FIRE EXTINGUISHER	Q.T.C.B.	QUARRY TILE COVE BASE		
FIN. FL.	FINISH FLOOR	R.	RISER		
FIN. GR.	FINISH GRADE	RAD.	RADIUS		
FL.	FLOOR	R.D.	ROOF DRAIN		
FLDG.	FOLDING	REQ'D	REQUIRED		
FDN.	FOUNDATION	RFG.	ROOFING		
FTG.	FOOTING	RFT.	ROOF		

#### SYMBOLS

	EARTH
	COMPACTED FILL
	CONCRETE
	CONCRETE BLOCK
	BRICK
	STEEL
	RIGID INSULATION
	BATT INSULATION
	FINISH LUMBER
	ROUGH LUMBER
	SECTION NUMBER
	SECTION INDICATOR
	SHEET NUMBER
	ELEVATION

#### LOCATION MAP



**SITE LOCATION**  
3 SOUTH BLACK HORSE PIKE  
BLACKWOOD, NEW JERSEY 08012

#### DRAWING INDEX

CS-1	COVER SHEET
<b>ARCHITECTURAL DRAWINGS:</b>	
LS-1	LIFE SAFETY PLANS, NOTES AND SCHEDULES
D-1	FIRST FLOOR & BASEMENT DEMOLITION PLANS
A-1	FLOOR PLAN & BASEMENT PLAN, WALL TYPES
A-2	CONCESSION & STAGE STAIR PLANS, ELEVATIONS, SECTIONS & DETAILS
A-3	FIRST FLOOR & BASEMENT REFLECTED CEILING PLANS, NOTES
A-4	INTERIOR ELEVATIONS, WAINSCOT SECTIONS & ELEVATIONS
A-5	INTERIOR ELEVATIONS, CONTROL AREA SECTIONS & ELEVATIONS
A-6	ENLARGED RESTROOM PLANS, ELEVATIONS & DETAILS - ROOM FINISH SCHEDULE
A-7	DOOR SCHEDULE, TYPES, NOTES & DETAILS, PILASTER SECTIONS & DETAILS
ALT-1	ALTERNATE BID ROOF PLAN & EXTERIOR ELEVATIONS
<b>STRUCTURAL DRAWINGS:</b>	
S-0.0	STRUCTURAL LEAD SHEET 1
S-0.1	STRUCTURAL LEAD SHEET 2
S-0.2	STRUCTURAL LEAD SHEET 3
S-1.0	FOUNDATION PLAN
S-1.1	MAIN FLOOR FRAMING PLAN
S-1.2	ROOF FRAMING PLAN
S-2.0	SECTIONS & DETAILS
S-2.1	SECTIONS & DETAILS
<b>MECHANICAL DRAWINGS:</b>	
DM-0.0	BASEMENT DEMOLITION MECHANICAL PLAN
M-0.0	BASEMENT MECHANICAL PLAN
DM-1.0	FIRST FLOOR DEMOLITION MECHANICAL PLAN
M-1.0	FIRST FLOOR MECHANICAL PLAN
M-2.1	ROOF MECHANICAL PLAN
M-3.0	MECHANICAL SCHEDULES & DETAILS
M-3.1	MECHANICAL DETAILS
<b>ELECTRICAL DRAWINGS:</b>	
E-0.0	BASEMENT POWER PLAN
E-0.1	BASEMENT LIGHTING PLAN
E-1.0	FIRST FLOOR POWER PLAN
E-1.1	FIRST FLOOR LIGHTING PLAN
E-2.0	ROOF POWER PLAN
E-3.0	ELECTRICAL SCHEDULES & DETAILS
E-3.1	ELECTRICAL SCHEDULES & DETAILS
E-3.2	ELECTRICAL SCHEDULES & DETAILS
<b>PLUMBING DRAWINGS:</b>	
DP-0.0	BASEMENT DEMOLITION PLUMBING PLAN
P-0.0	BASEMENT SANITARY PLAN
P-0.1	BASEMENT DOMESTIC WATER PLAN
P-1.0	FIRST FLOOR SANITARY PLAN
P-1.1	FIRST FLOOR DOMESTIC WATER PLAN
P-2.0	PLUMBING SCHEDULES & DETAILS
<b>FIRE PROTECTION DRAWINGS:</b>	
FP-0.0	BASEMENT FIRE PROTECTION
FP-1.0	FIRST FLOOR FIRE PROTECTION
FP-2.0	FIRE PROTECTION SCHEDULES AND DETAILS
<b>THEATER SYSTEMS DRAWINGS:</b>	
TS0.0	COVER SHEET
TS1.1	FIRST FLOOR PLAN & RCP
TS1.2	FIRST FLOOR RIGGING RCP
TS1.3	BASEMENT FLOOR PLAN & RCP
TS1.4	LIGHT PLOT
TS3.1	SECTIONS 1
TS5.1	RIGGING DETAILS
TS5.2	RACK ELEVATION
TS5.3	PLATES 1
TS5.4	PLATES 2
TS6.1	SCHEDULES

#### CODE INFORMATION

**APPLICABLE CODES:**

- INTERNATIONAL BUILDING CODE/2021 NJ ED. (NJAC 5:23-3.14)
- THE NATIONAL STANDARD PLUMBING CODE/2021 NJ ED. (N.J.A.C. 5:23-3.15)
- THE NATIONAL ELECTRICAL CODE (NFPA 70) 2020 (NJAC 5:23-3.16)
- INTERNATIONAL MECHANICAL CODE/2021 (NJAC 5:23-3.20)
- BARRIER FREE REQUIREMENTS ICC/ANSI A117.1-2017 (CHAPTER II OF IBC/2021 & N.J.A.C. 5:23-7)
- REHABILITATION CODE NJVCC SUBCHAPTER 6 (NJAC 5:23-6)

**BUILDING USE GROUP / OCCUPANCY:**

- A3 ASSEMBLY (COMMUNITY HALL)

**ALLOWABLE BUILDING HEIGHT AND AREA:**

2 STORY - 18,000 S.F. (A3 ASSEMBLY OCCUPANCY)

**PROPOSED BUILDING HEIGHT AND AREA:**

1 STORY W/ BASEMENT - 3,328 S.F. (A3 ASSEMBLY OCCUPANCY)

**OCCUPANT LOAD:**

1 ST. FLOOR COMMUNITY HALL (3,328 S.F.) = 134 OCCUPANTS  
BASEMENT GREEN ROOM, ETC. (1,530 S.F.) = 26 OCCUPANTS

**EGRESS REQUIREMENTS (COMMUNITY HALL):**

160 OCC. X .2 = 32' REQ. (MIN. 108" PROVIDED)

**PLUMBING REQUIREMENTS:**

160 OCCUPANTS (80 MEN & 80 WOMEN)

**PLUMBING FIXTURES TO BE PROVIDED:**

MEN'S - 1 WC FIXTURE, 1 LAV  
WOMEN'S - 2 WC FIXTURE, 1 LAV  
- 1 DRINKING FOUNTAIN  
- 1 SERVICE SINK

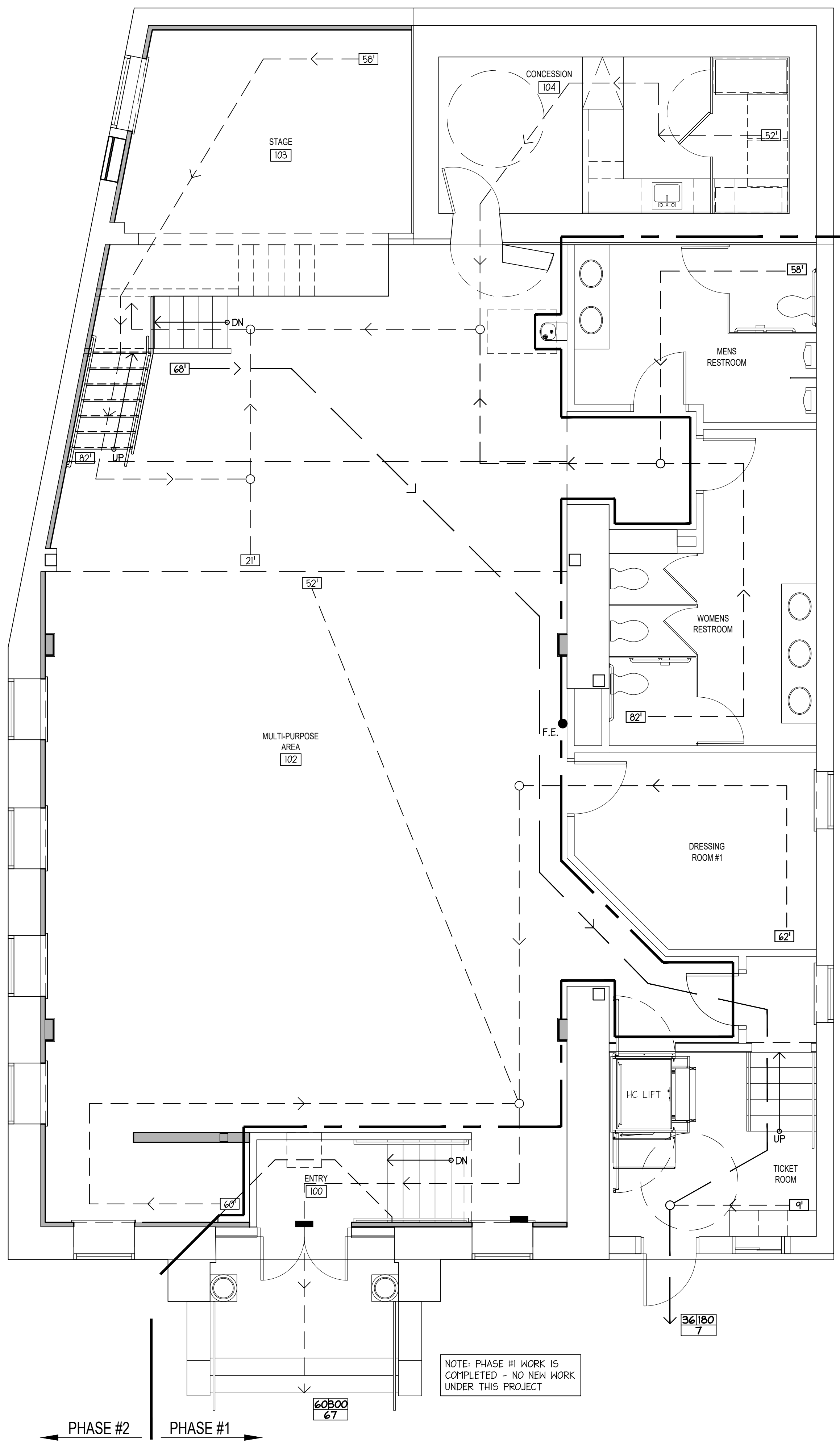
MEN'S - 1 WC FIXTURE, 2 URINALS, 2 LAVS  
WOMEN'S - 3 WC FIXTURES, 3 LAVS  
- 1 DRINKING FOUNTAIN  
- 1 SERVICE SINK (PROVIDED IN BASEMENT)  
- 1 UNISEX TOILET ROOM IN BASEMENT  
W/ 1 WC & 1 LAV

#### LIST OF CONSULTANTS

<b>ARCHITECT</b> McKERNAN ARCHITECTS & ASSOCIATES 100 DOBBS LANE SUITE 204 CHERRY HILL, N.J. 08034 TEL: (856)-616-2960 FAX: (856)-616-2963	<b>STRUCTURAL ENGINEER</b> M.A. BEACH & ASSOCIATES 200 BIRCHFIELD DRIVE SUITE 205 MT. LAUREL, N.J. 08054 TEL: (856)-273-1909 FAX: (856)-273-1480	<b>MEP ENGINEER</b> HOLSTEIN WHITE 3800 HORIZON BLVD., SUITE 203 TREVOSE, PA 19053 TEL: (215)-322-7711 FAX: (215)-322-7709
<b>THEATER SYSTEMS</b> HENSHOTT 1406 LONGFELLOW DRIVE CHERRY HILL, N.J. 08003 TEL: (856)-512-6400		

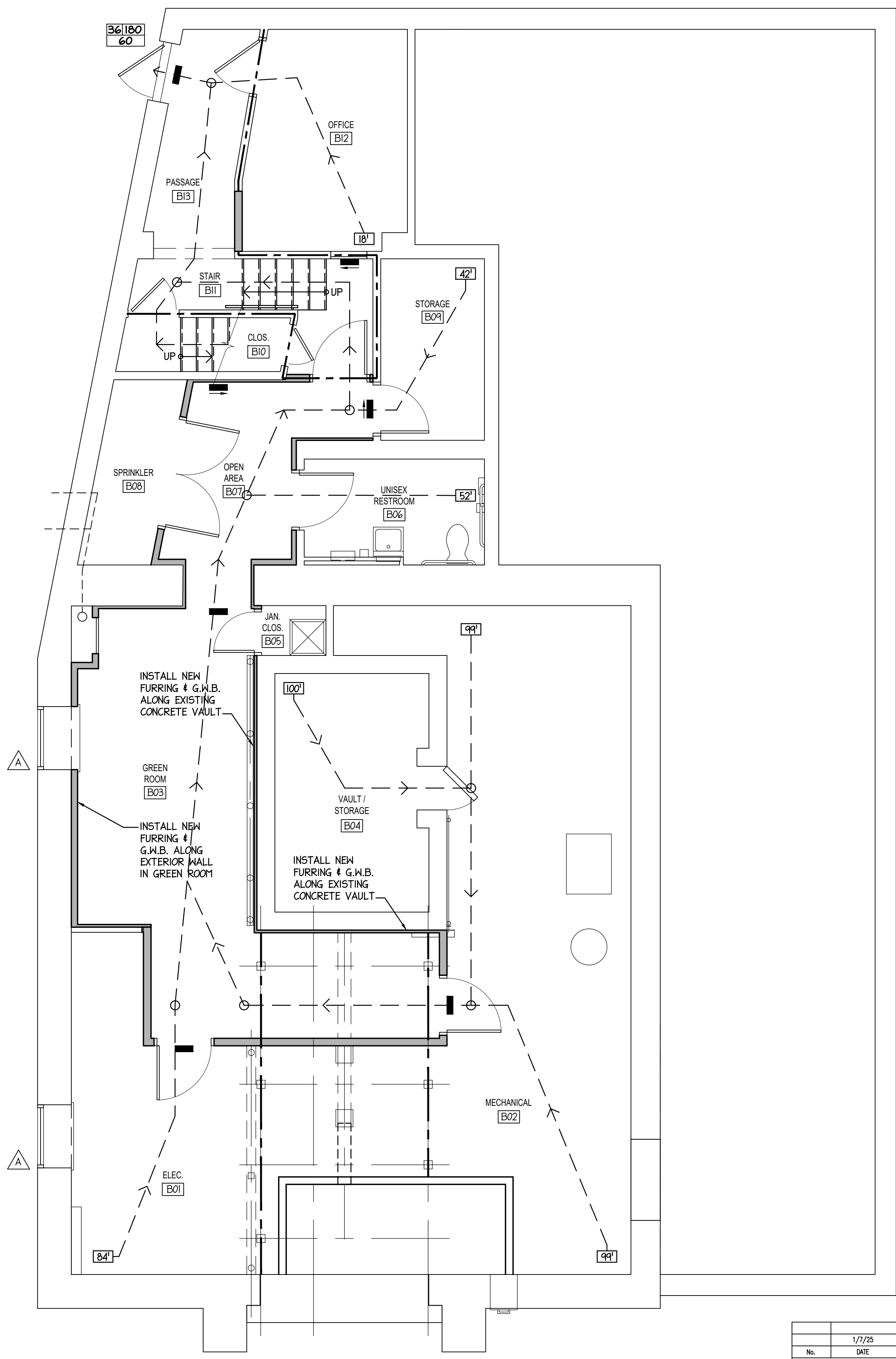
1/7/25		ISSUED FOR BID		
No.	DATE	DESCRIPTION	REV'D BY	
REVISIONS				
APPROVAL:		PROJECT:		
		INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE:		
		<b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b>		
		3 SOUTH BLACK HORSE PIKE		
		BLACKWOOD, NEW JERSEY, 08012		
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: COVER SHEET		
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH. # 1084 - PA ARCH. # A-0425 - CT. ARCH. 7024		SCALE: AS NOTED DRAWING NO: CS-1		
SEAL:		DRAWING MUST BE VERIFIED BY ARCHITECT OR REGISTERED PROFESSIONAL ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.		
DATE: 1/7/25		DRAWN BY: GES		
REV'D:		CHECKED BY: MCK/GES		
REVISIONS:		DATE:		

PLOT DATE & TIME: Jan 13, 2025 - 2:56pm  
 FILE PATH: J:\1016H Community Center\CAD\24 12-30-24 Updated Working Drawings\1016H Working Drawings Updated File.dwg



**2 UPPER LEVEL LIFE SAFETY PLAN**  
 LS-1 SCALE: 1/4" = 1'-0"

PHASE #2  
 PHASE #1



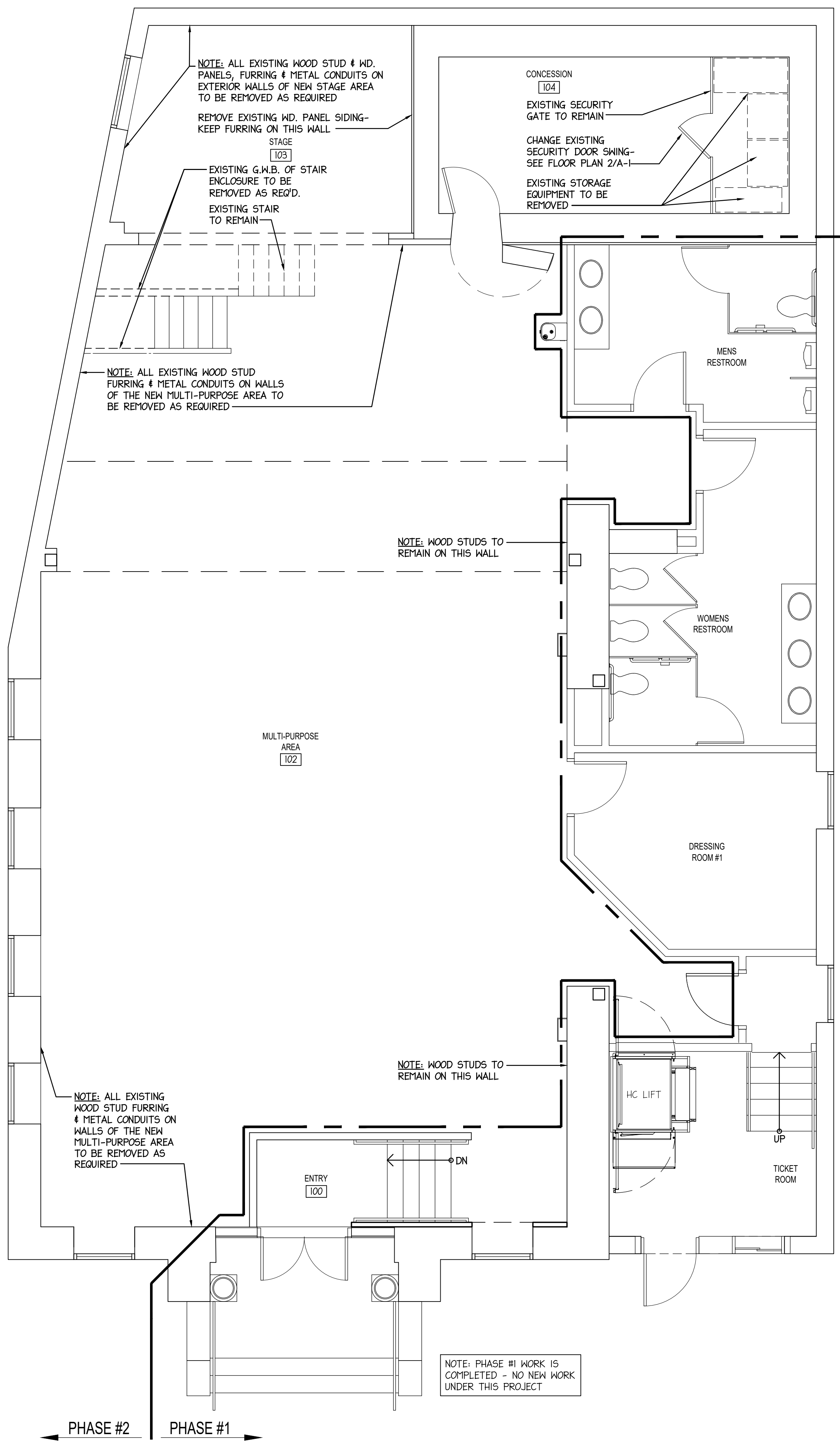
**1 LOWER LEVEL LIFE SAFETY PLAN**  
 LS-1 SCALE: 1/4" = 1'-0"

OCCUPANT LOAD PER FLOOR AREA		
ROOM NAME	AREA	PERSONS
TICKET ROOM	140 SQ.FT.	2
DRESSING ROOM #1	143 SQ.FT.	5
ENTRY	89 SQ.FT.	-
CONTROL AREA	65 SQ.FT.	2
MULTI-PURPOSE ROOM	1,401 SQ.FT.	III
WOMENS RESTROOM	178 SQ.FT.	-
MENS RESTROOM	134 SQ.FT.	-
CONCESSION	181 SQ.FT.	8
STAGE	188 SQ.FT.	6
1ST FLOOR	TOTAL =	134
ELECTRIC	195 SQ. FT.	1
MECHANICAL #2	214 SQ. FT.	1
GREEN ROOM	275 SQ. FT.	14
MECHANICAL #1	201 SQ. FT.	1
VAULT / STORAGE	114 SQ. FT.	1
JANITOR CLOSET	9 SQ. FT.	-
UNISEX RESTROOM	56 SQ. FT.	-
OPEN AREA	83 SQ. FT.	4
STORAGE	58 SQ. FT.	1
CLOSET	12 SQ. FT.	-
OFFICE	105 SQ. FT.	3
PASSAGE	57 SQ. FT.	-
BASEMENT	TOTAL =	26
1ST. FLOOR & BASEMENT	TOTAL =	160

- LEGEND:**
- > PATH OF EGRESS
  - XX<sup>n</sup> TRAVEL DISTANCE
  - XX<sup>n</sup>/X ACTUAL OCCUPANT LOAD (EGRESS CAPACITY FACTOR = 0.2 INCH/OCCUPANT - NJ IBC 1005.3.2)
  - F.E. FIRE EXTINGUISHER CABINET LOCATION
  - ILLUMINATED EXIT SIGNS

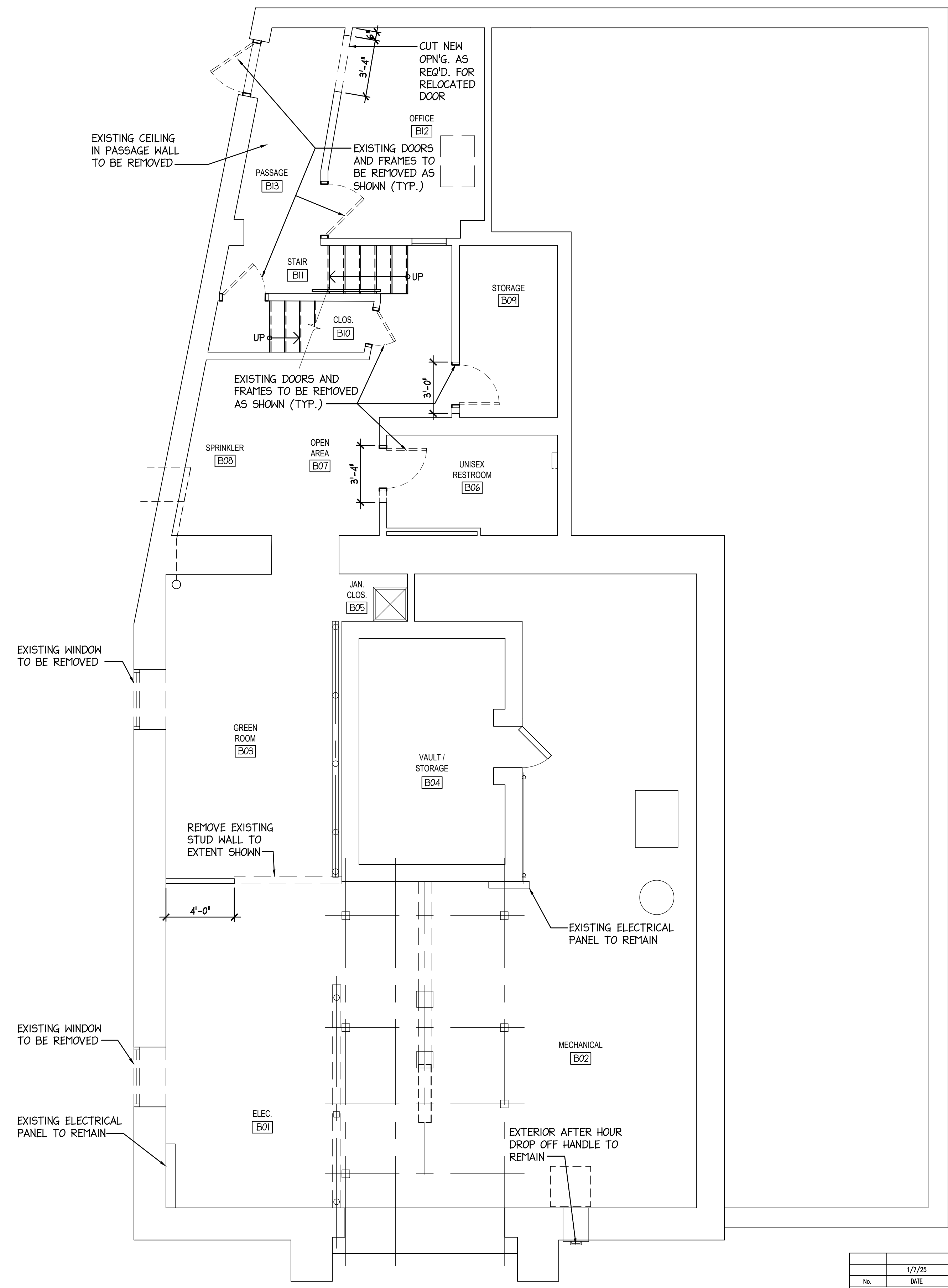
1/7/25	ISSUED FOR BID	
No.	DATE	REVISIONS
APPROVAL:		
PROJECT: <b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE:          GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
<b>Joseph F. McKernan Jr., Architects &amp; Associates</b> 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: <b>LIFE SAFETY PLANS,          NOTES &amp; SCHEDULES</b>
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH. NO. 0804 - PA ARCH. RA-0402 - CT ARCH. 7034	SEAL:	DRAWING NO: <b>LS-1</b>
<small>CONTRACTOR MUST BE ADVISED BY PROJECTING ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.</small>		
<small>DESIGNED BY: JES</small> <small>CHECKED BY: JES</small> <small>DATE: 1/7/25</small>	<small>SCALE: AS NOTED</small> <small>PROJ. NO.: 1016H</small>	<small>DATE: 1/7/25</small>
<small>REVISIONS:</small>	<small>REVISIONS:</small>	<small>REVISIONS:</small>

PLOT DATE & TIME: Jan 13, 2025 - 2:58pm  
 FILE PATH: J:\1016H Community Center\CAD\24 12-30-24 Updated Working Drawings\1016H Working Drawings Updated File.dwg



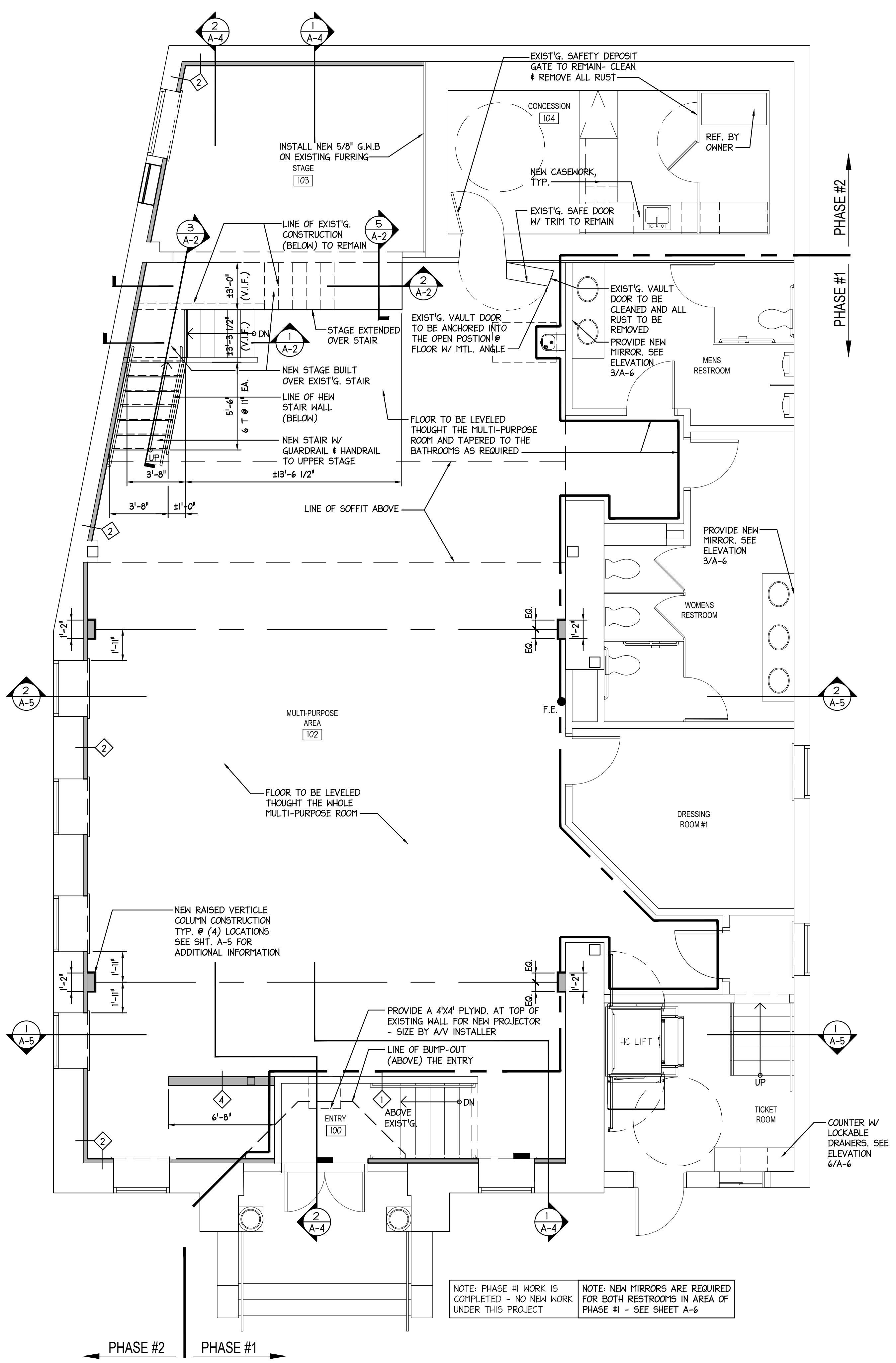
**2**  
**D-1** **FIRST FLOOR DEMO PLAN**  
 SCALE: 1/4" = 1'-0"

PHASE #2  
 PHASE #1



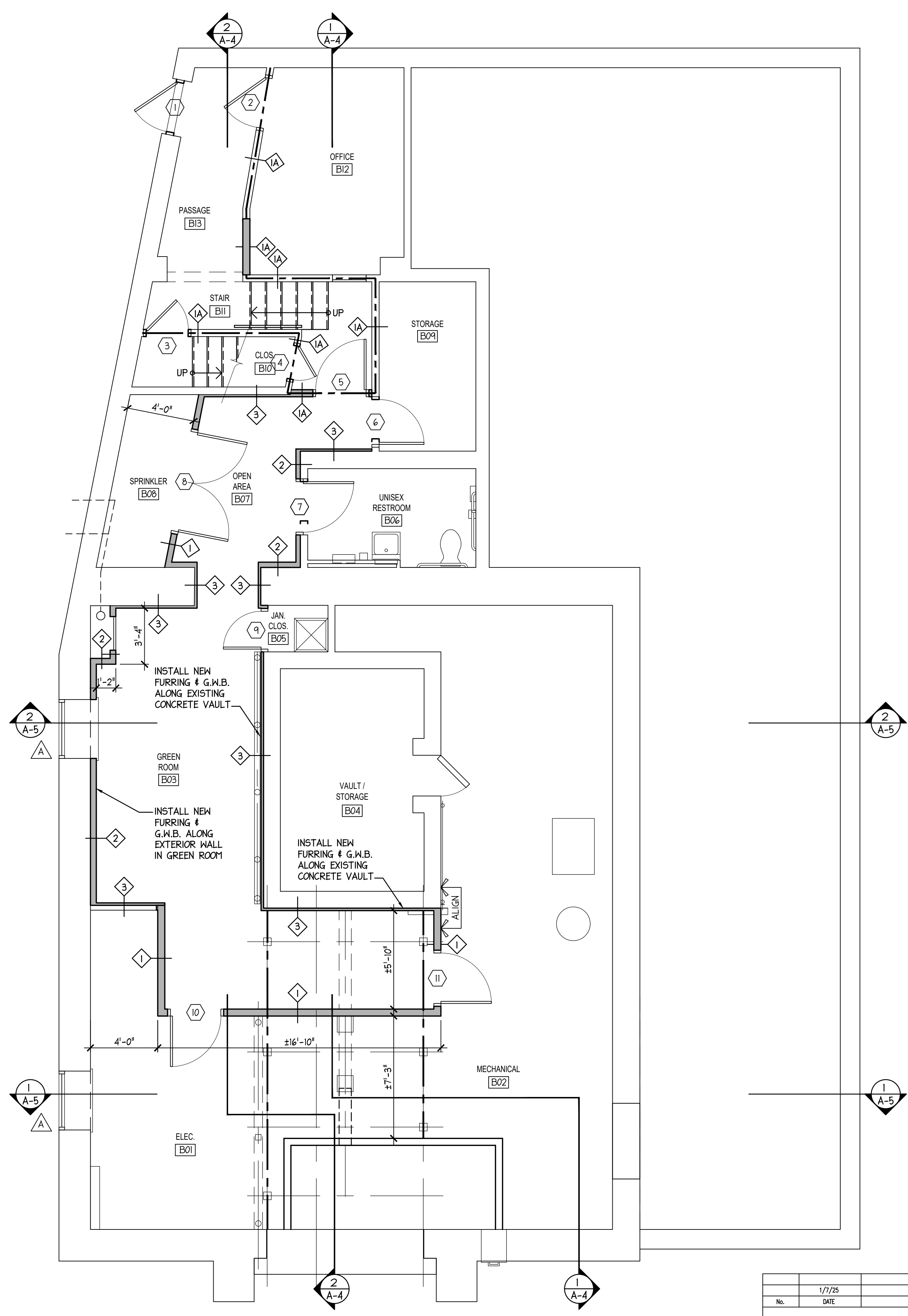
**1**  
**D-1** **BASEMENT DEMO PLAN**  
 SCALE: 1/4" = 1'-0"

No.	DATE	ISSUED FOR BID	DESCRIPTION	REV'D BY
	1/7/25			
REVISIONS				
APPROVAL:		PROJECT:		
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLoucester TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
		TITLE: FIRST FLOOR & BASEMENT DEMOLITION PLANS		
JOSEPH F. MCKERNAN JR., R.A. <small>NU ARCHIT. IN ORG. - PA ARCH. RA-0462-V - CT ARCH. 7034</small>		SCALE: AS NOTED	DRAWING NO.:	<b>D-1</b>
<small>CONTRACTOR MUST BE ADVISED BY PROJECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.</small>		DATE: 1/7/25		
<small>REVISIONS, ADDITIONS &amp; MODIFICATIONS TO BE INDICATED BY CIRCLES AND NUMBERS.</small>		DRAWN BY: GES CHECKED BY: PJC/GES		



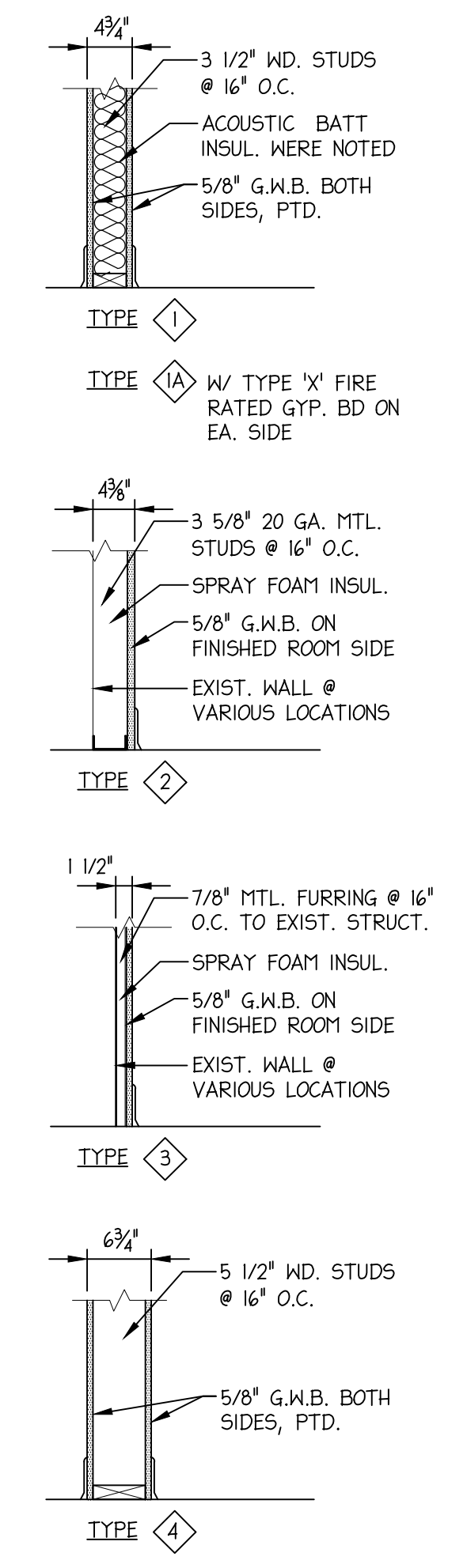
**2 FLOOR PLAN**  
 A-1 SCALE: 1/4" = 1'-0"

NOTE: PHASE #1 WORK IS COMPLETED - NO NEW WORK UNDER THIS PROJECT  
 NOTE: NEW MIRRORS ARE REQUIRED FOR BOTH RESTROOMS IN AREA OF PHASE #1 - SEE SHEET A-6



**1 BASEMENT PLAN**  
 A-1 SCALE: 1/4" = 1'-0"

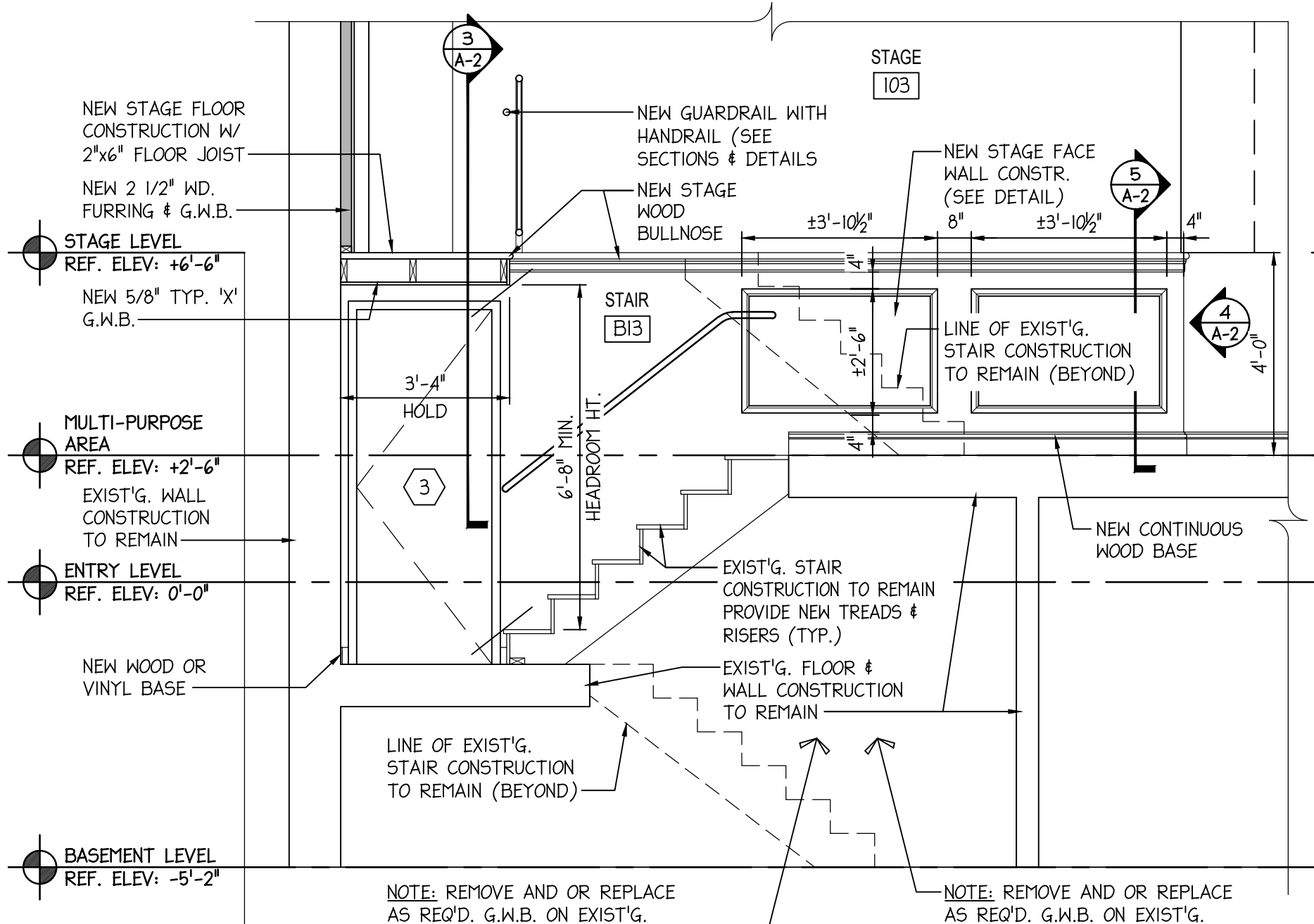
NOTE: ALL WORK ON THIS LEVEL IS INCLUDED IN PHASE #2



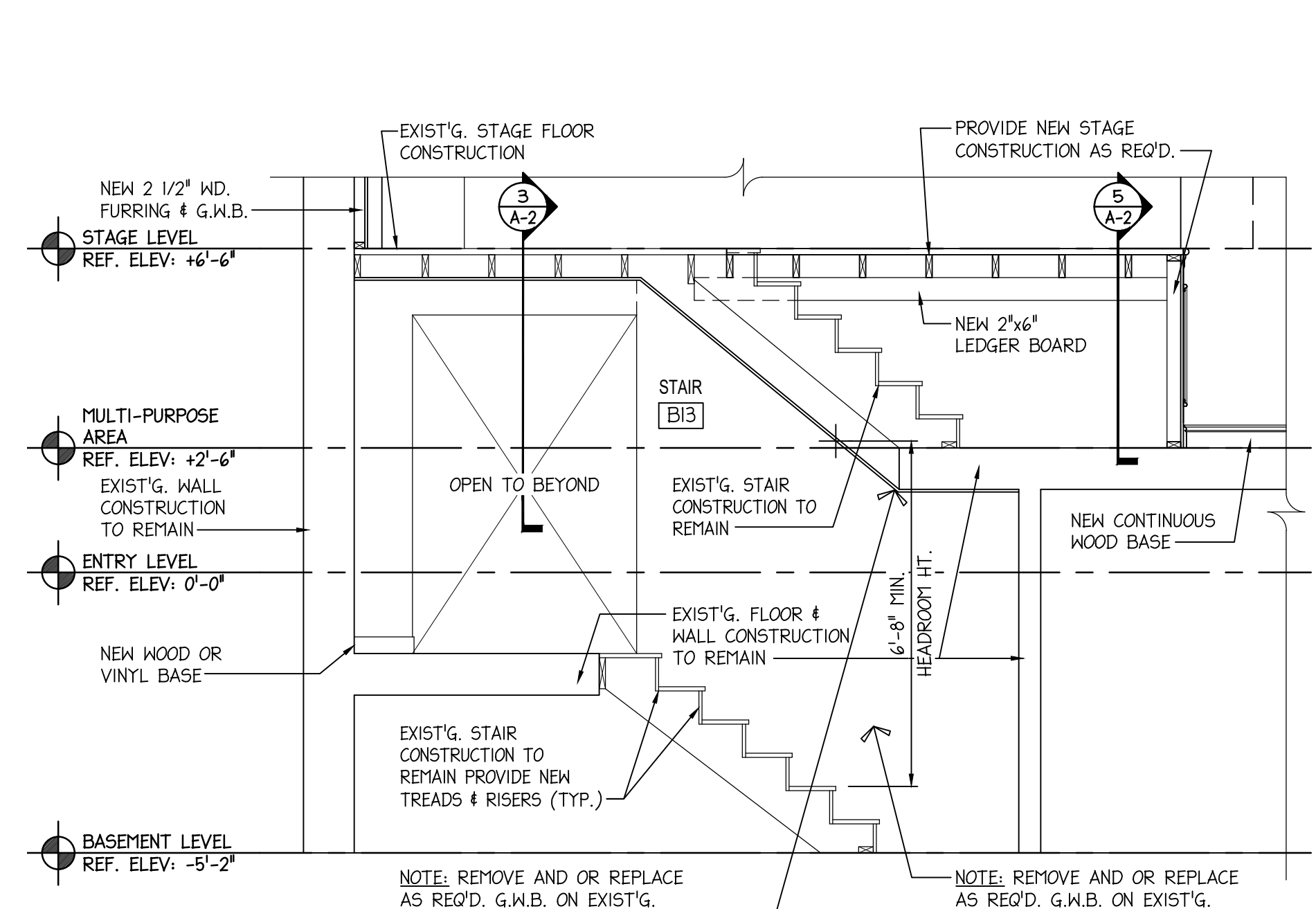
**3 WALL TYPES**  
 A-1 SCALE: 1/4" = 1'-0"

1/7/25		ISSUED FOR BID	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT:	
		INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: <b>FLOOR PLAN &amp; BASEMENT PLAN, WALL TYPES</b>	
JOSEPH F. MCKERNAN JR., R.A. <small>AS ARCHITECT IN CHARGE - PA ARCH-04-0442-0 - CT ARCH 7024</small>		SEAL:	DRAWING NO: <b>A-1</b>
<small>CONTRACTOR MUST BE VERIFIED BY THE ARCHITECT WITH THE PROJECT'S ARCHITECTURAL RECORDS BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.</small>		SCALE: AS NOTED PROJECT NO: 10644 DATE: 1/7/25	DRAWN BY: GES CHECKED BY: PK/GES
<small>FORMER ARCHITECTS &amp; ASSOCIATES</small>		DATE: 1/7/25	

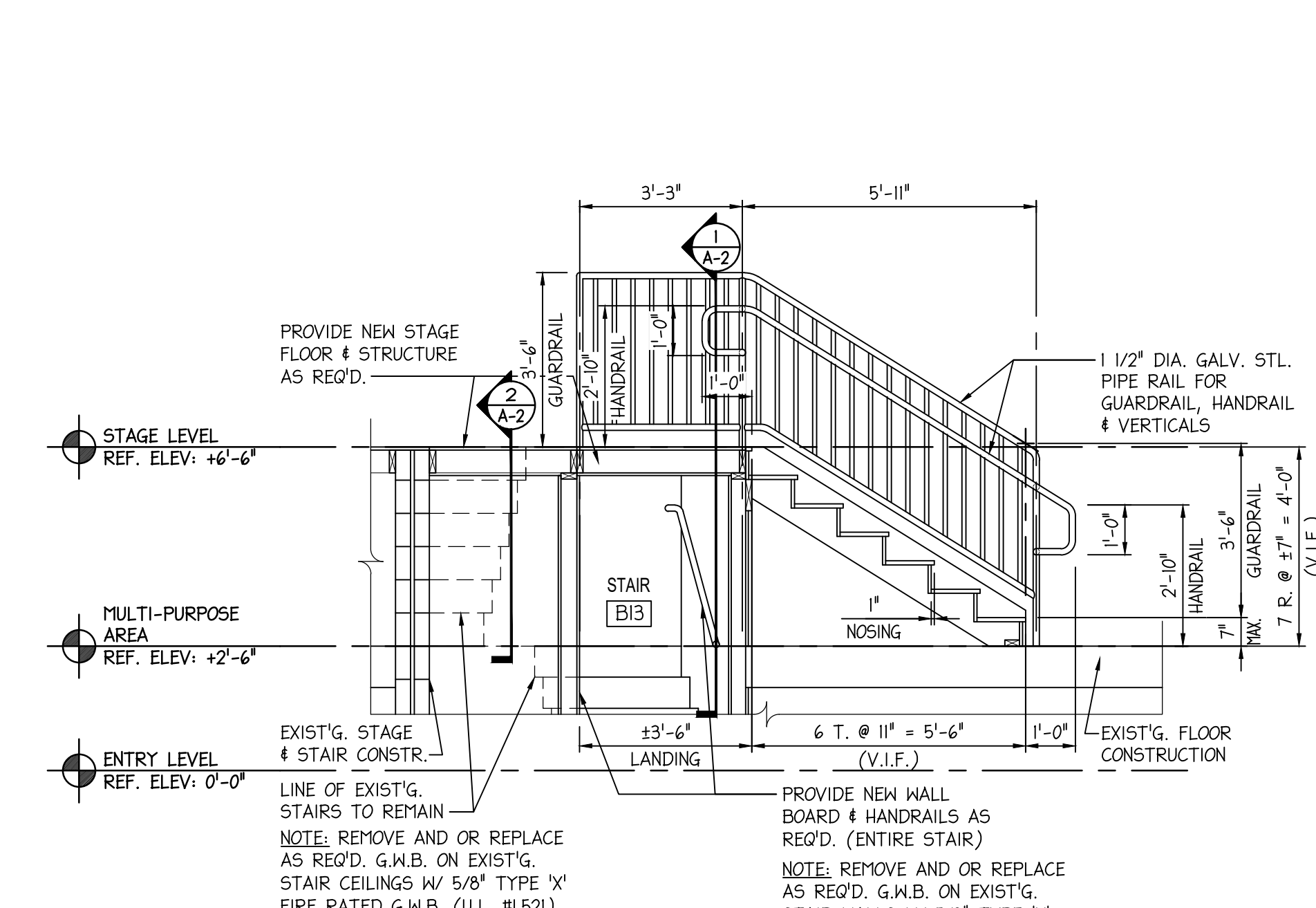
PLOT DATE & TIME: Jan 13, 2025 - 3:01pm  
 FILE PATH: J:\1016H Community Center\CAD\24 12-30-24 Updated Working Drawings\1016H Working Drawings Updated File.dwg



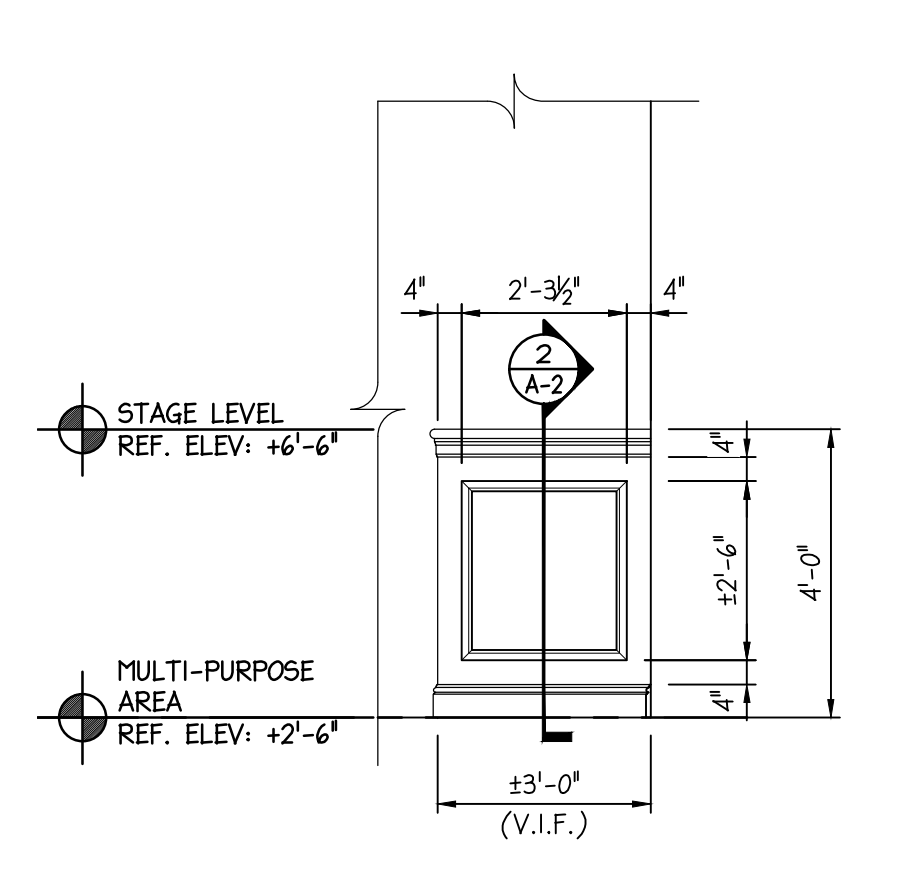
**1 SECTION OF STAIR @ STAGE**  
 A-2 SCALE: 3/8" = 1'-0"



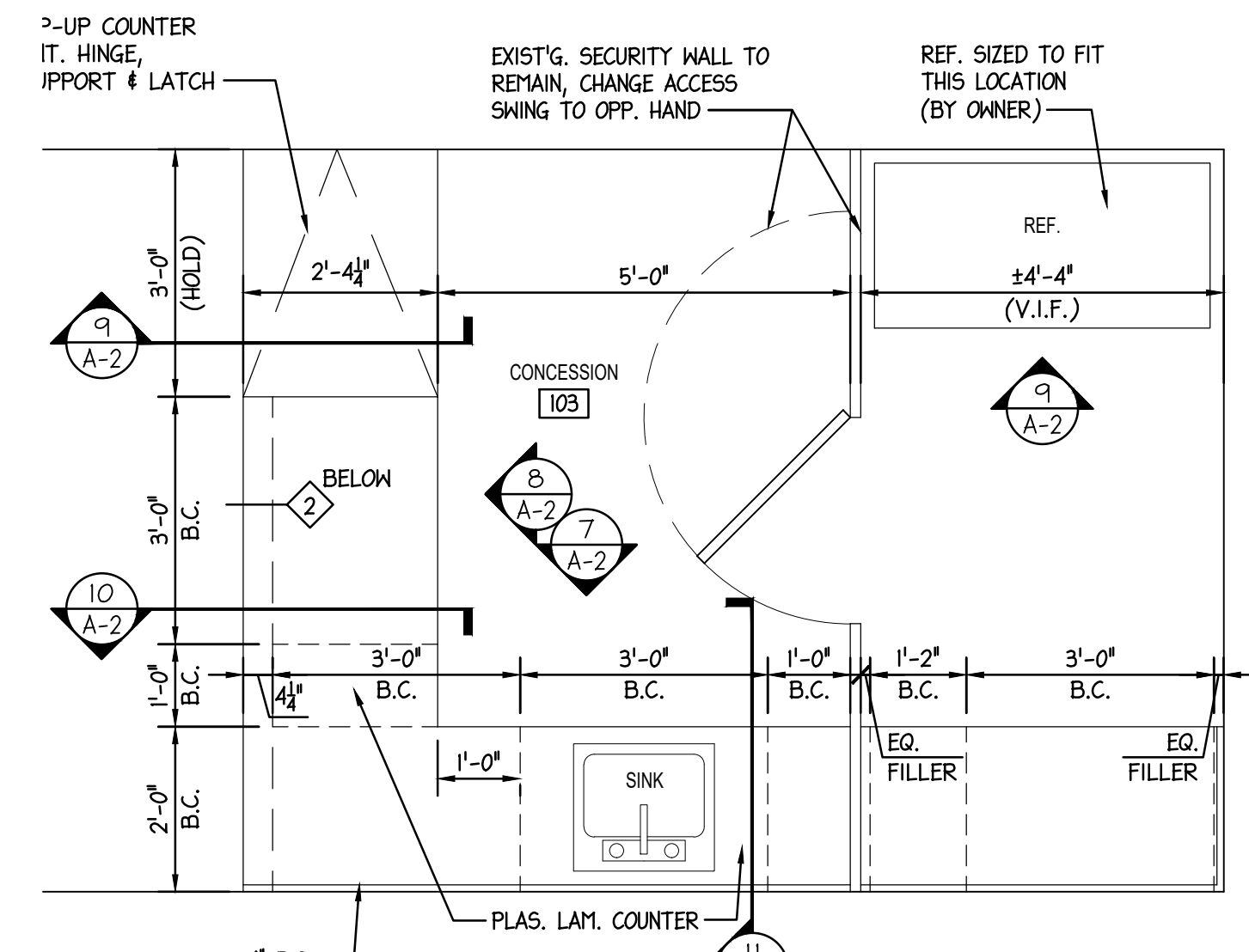
**2 SECTION @ STAIR OF STAGE**  
 A-2 SCALE: 3/8" = 1'-0"



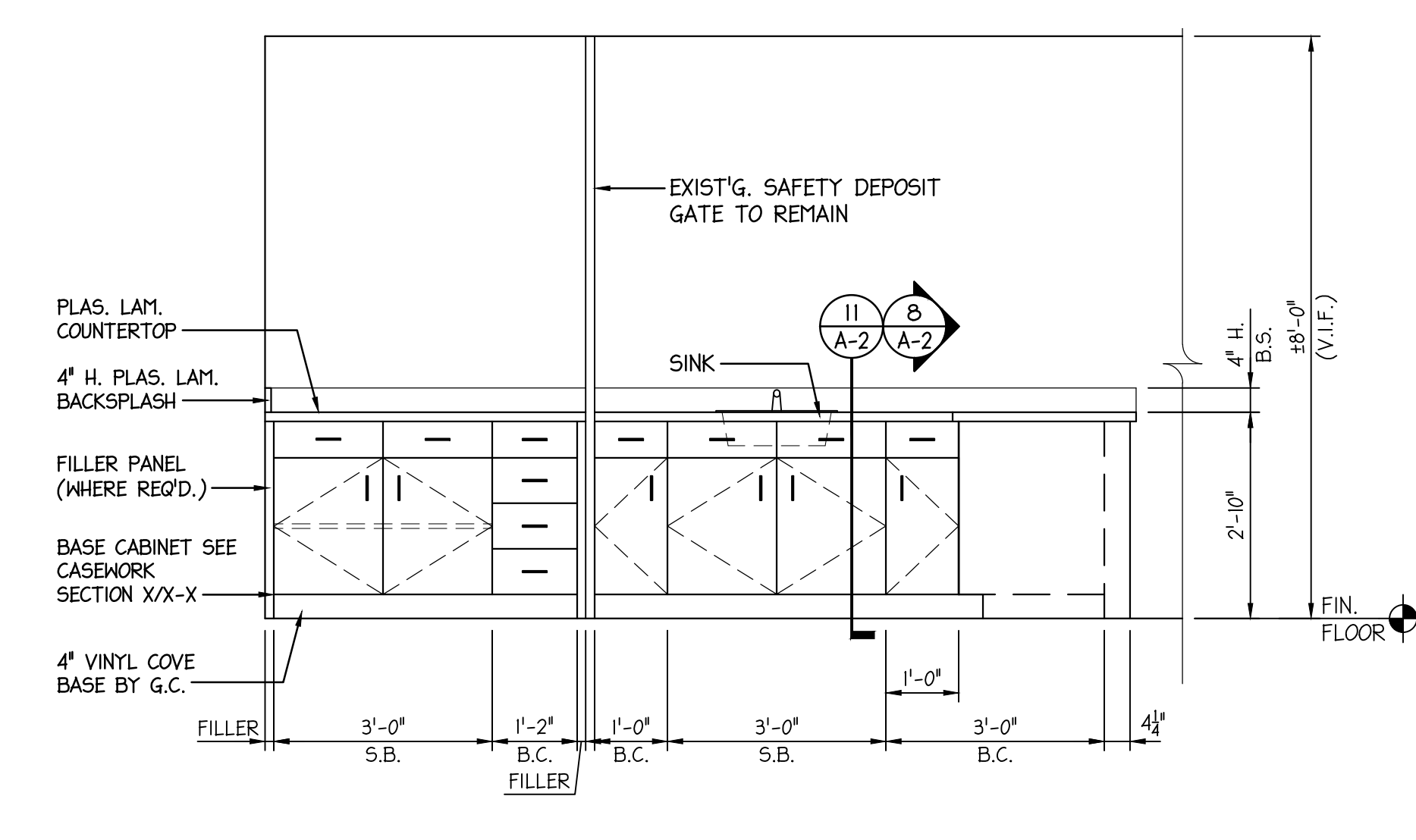
**3 SECTION @ STAIR OF STAGE**  
 A-2 SCALE: 3/8" = 1'-0"



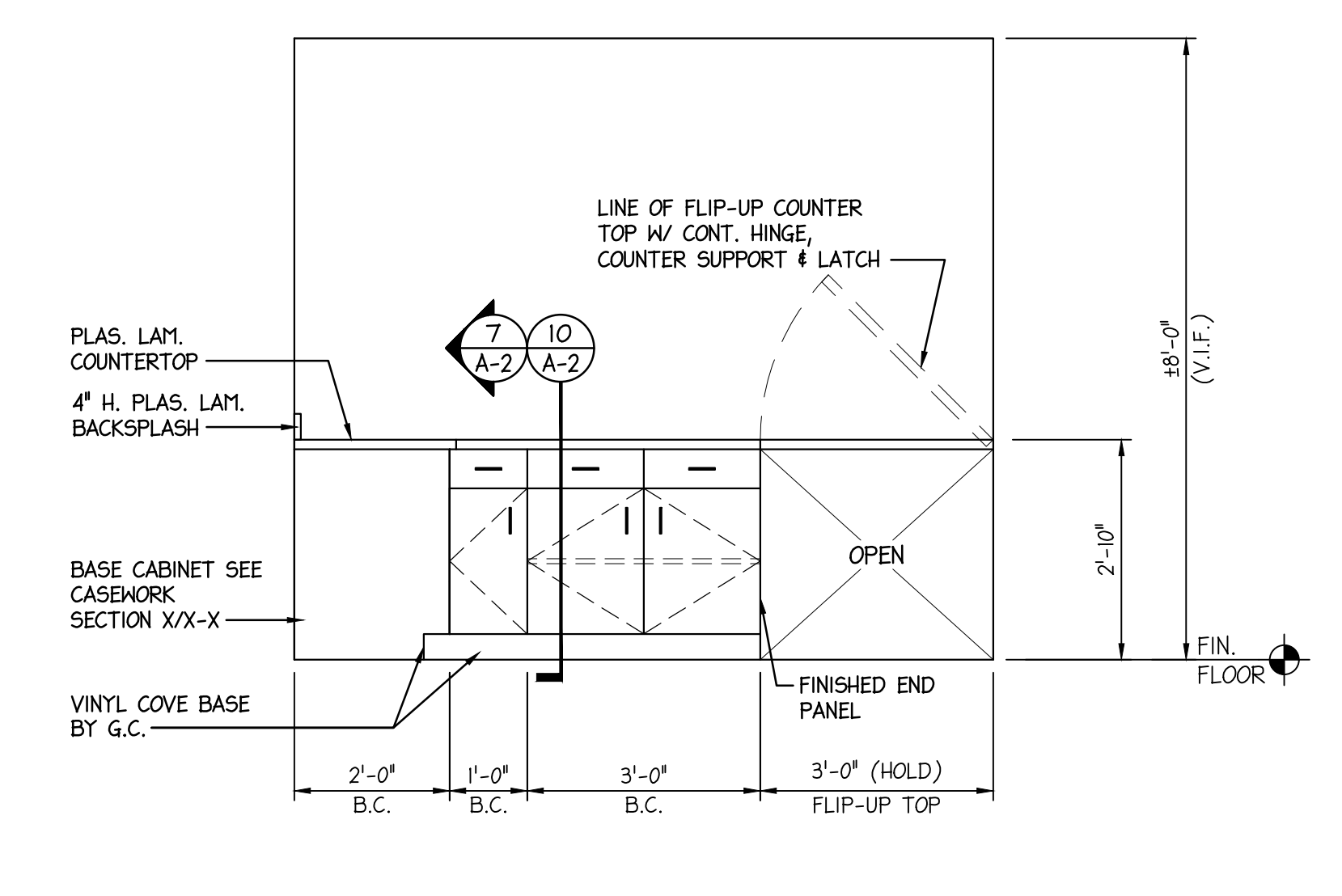
**4 ELEVATION @ SIDE OF STAGE**  
 A-2 SCALE: 3/8" = 1'-0"



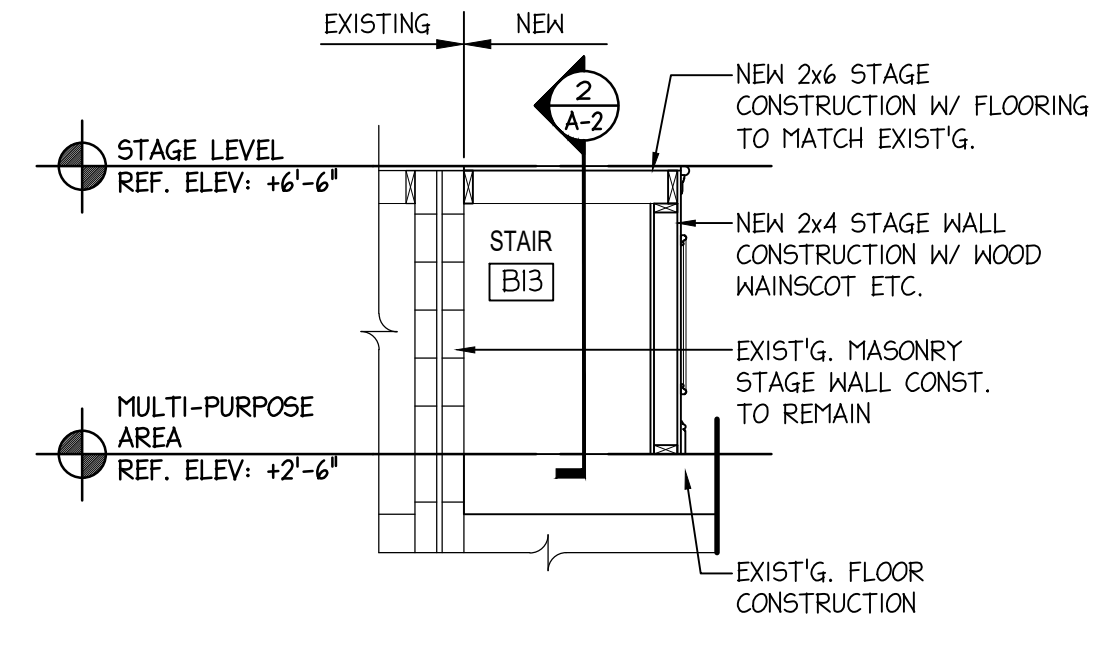
**6 ENLARGED CONCESSION PLAN**  
 A-2 SCALE: 1/2" = 1'-0"



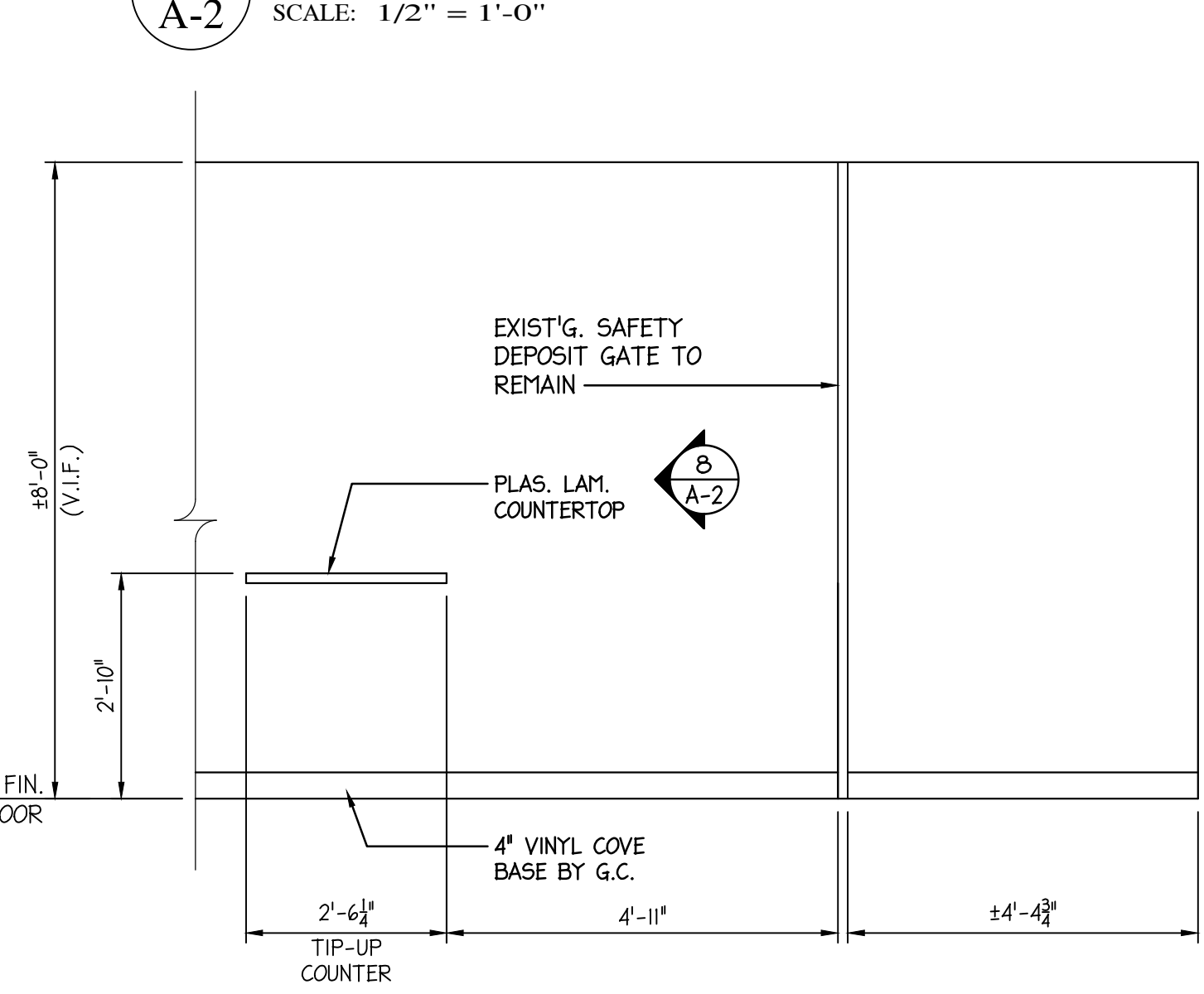
**7 CONCESSION ELEV.**  
 A-2 SCALE: 1/2" = 1'-0"



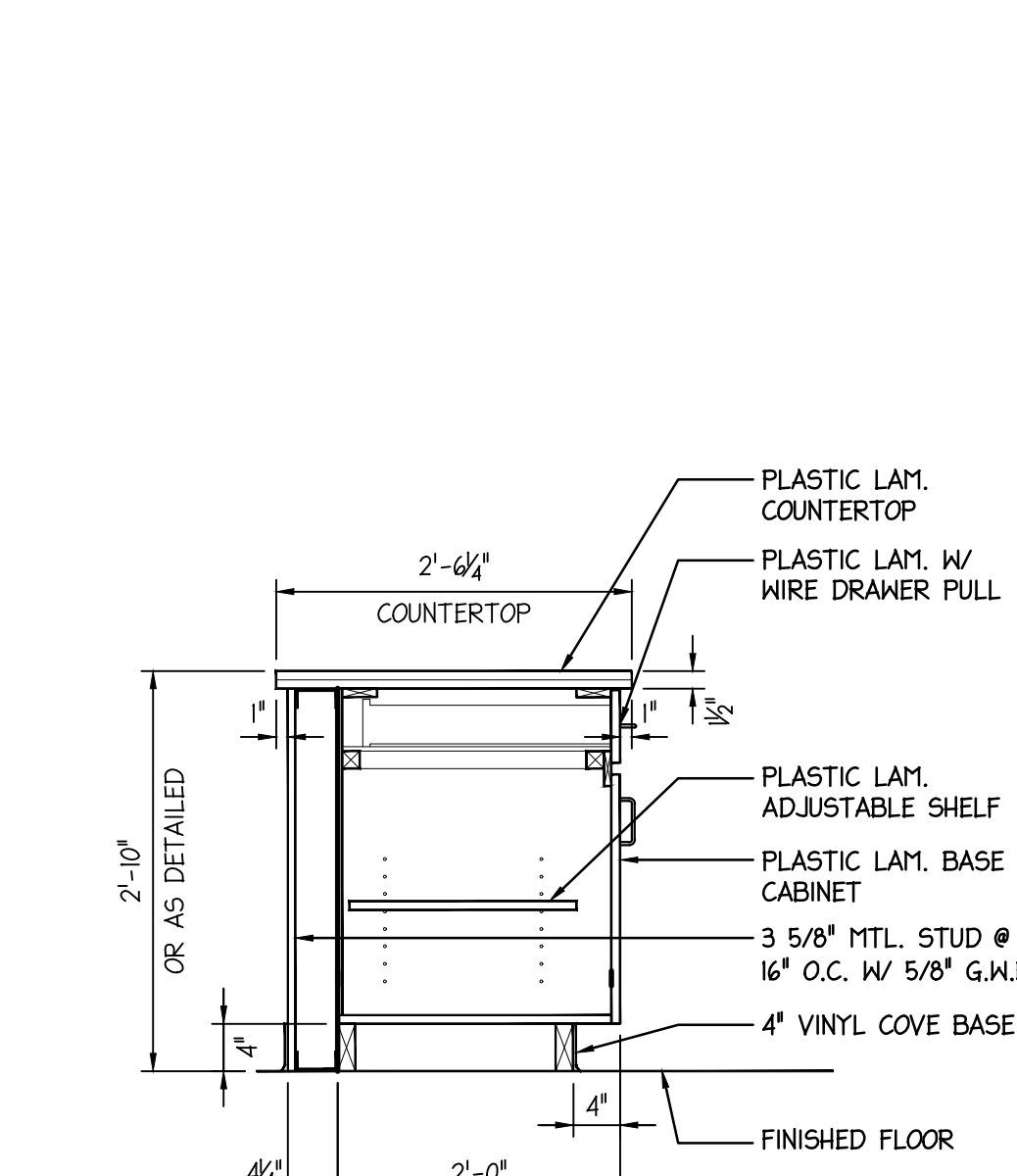
**8 CONCESSION ELEV.**  
 A-2 SCALE: 1/2" = 1'-0"



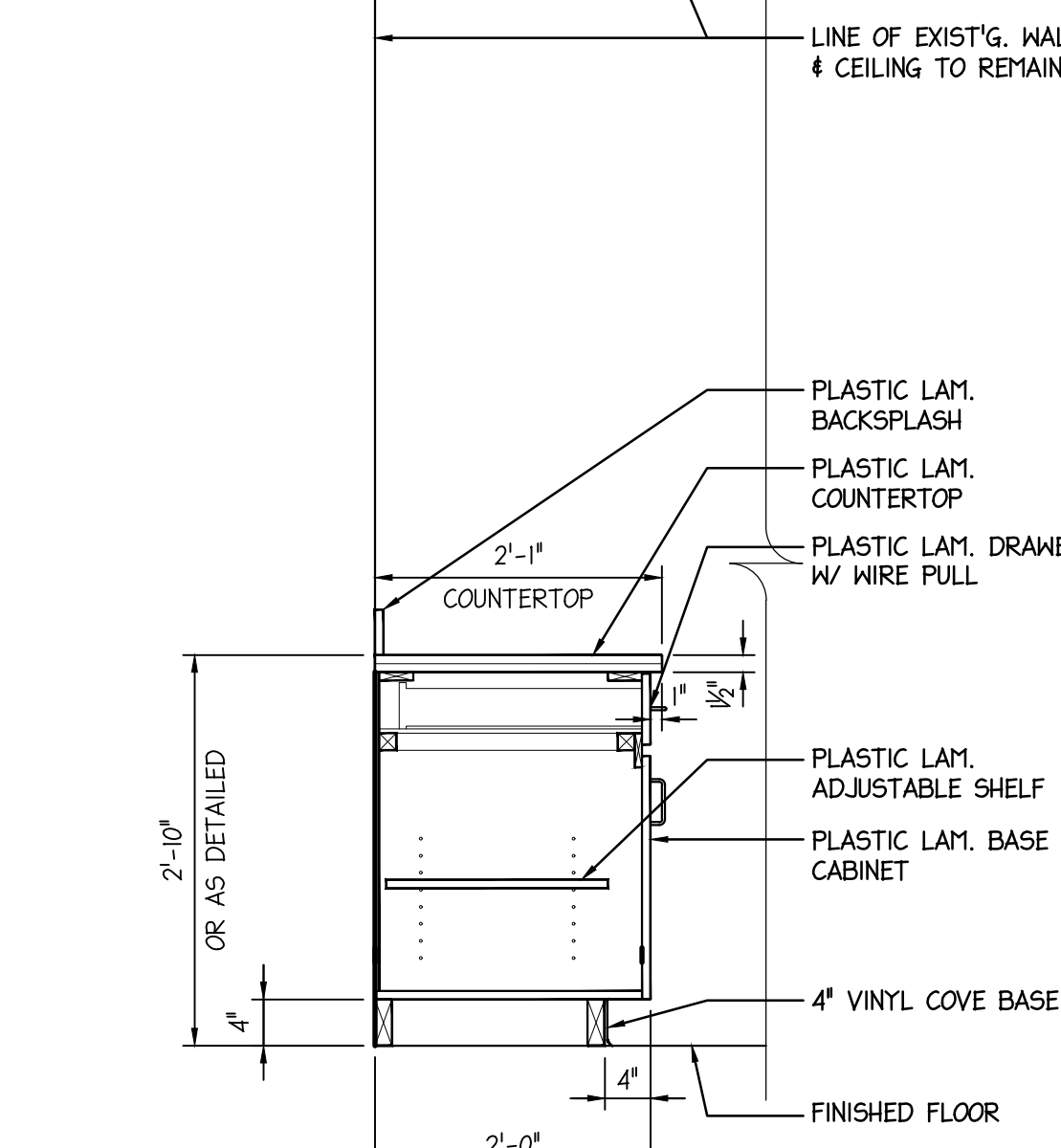
**5 SECTION @ STAIR OF STAGE**  
 A-2 SCALE: 3/8" = 1'-0"



**9 CONCESSION ELEV.**  
 A-2 SCALE: 1/2" = 1'-0"



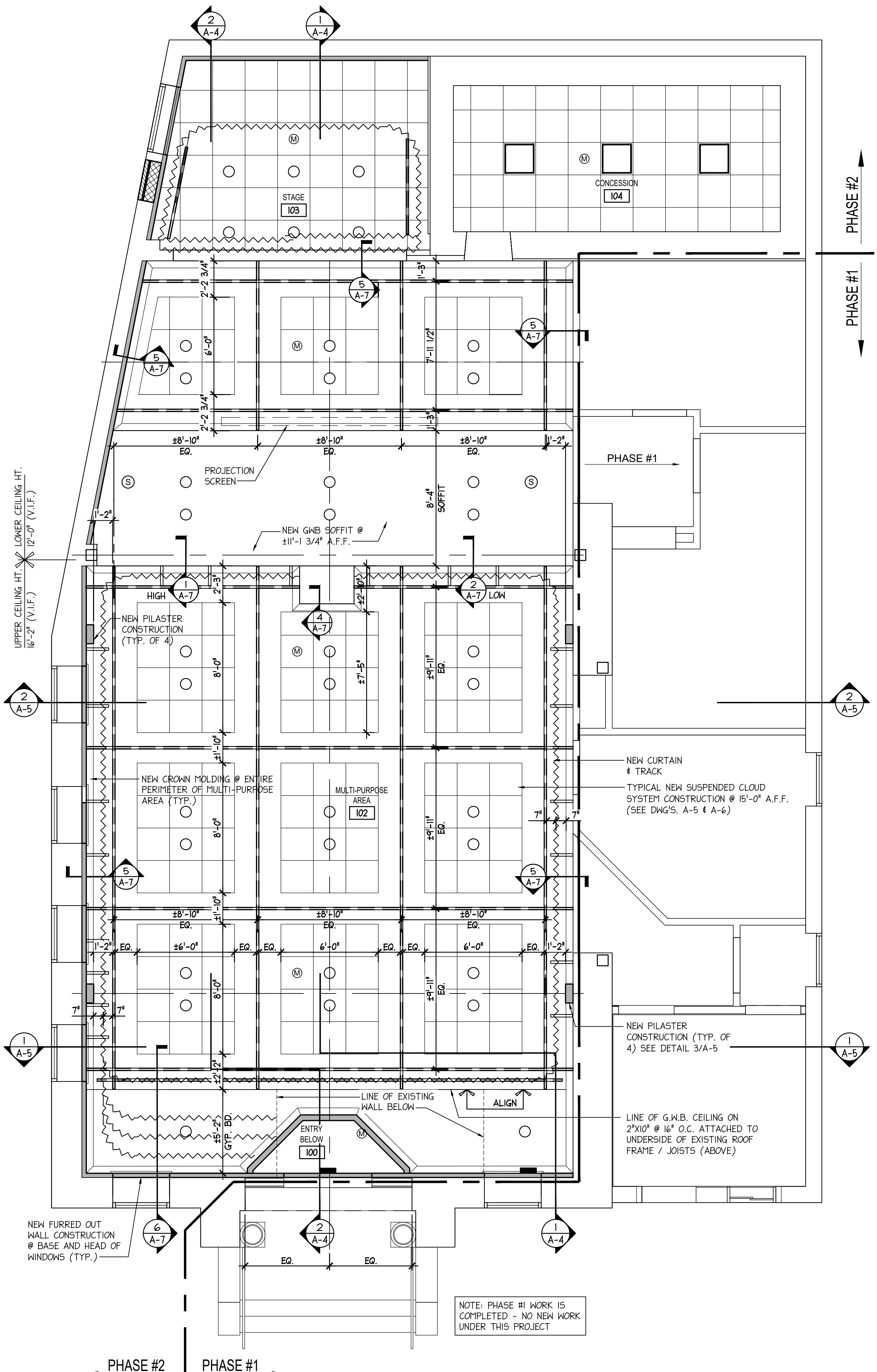
**10 CONCESSION SECTION**  
 A-2 SCALE: 1/2" = 1'-0"



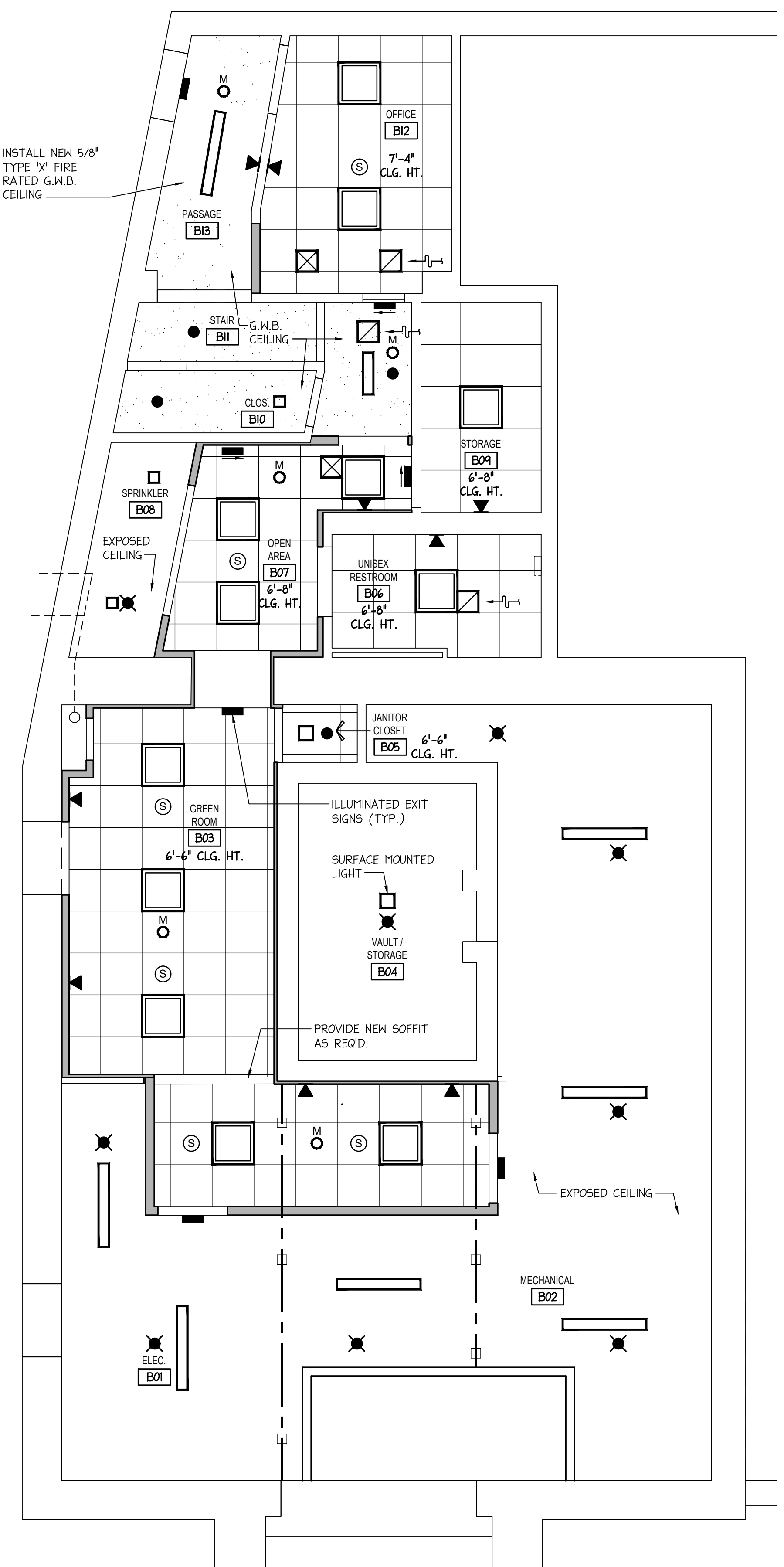
**11 CONCESSION SECTION**  
 A-2 SCALE: 1/2" = 1'-0"

1/7/25		ISSUED FOR BID	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT:	
		<b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE:          GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH. NO. 0004 - PA ARCH. RA-0002 - CT ARCH. 7004		TITLE: <b>CONCESSION &amp; STAIR STAIR PLANS,          ELEVATIONS, SECTIONS &amp; DETAILS</b>	
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH. NO. 0004 - PA ARCH. RA-0002 - CT ARCH. 7004		SCALE: AS NOTED PROJECT NO: 1016H DATE: 1/7/25 REV'D: GES DRAWN BY: GES CHECKED BY: MCK/JES	
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH. NO. 0004 - PA ARCH. RA-0002 - CT ARCH. 7004		DRAWING NO: <b>A-2</b>	

PLOT DATE & TIME: Jan 13, 2025 - 3:03pm  
 FILE PATH: J:\1016H Community Center\CAD\24 12-30-24 Updated Working Drawings\1016H Working Drawings Updated File.dwg



**2** 1ST. FLR. REFLECTED CEILING PLAN  
 SCALE: 1/4" = 1'-0"



**1** BASEMENT REFLECTED CEILING PLAN  
 SCALE: 1/4" = 1'-0"

**GENERAL REFLECTED CEILING NOTES**

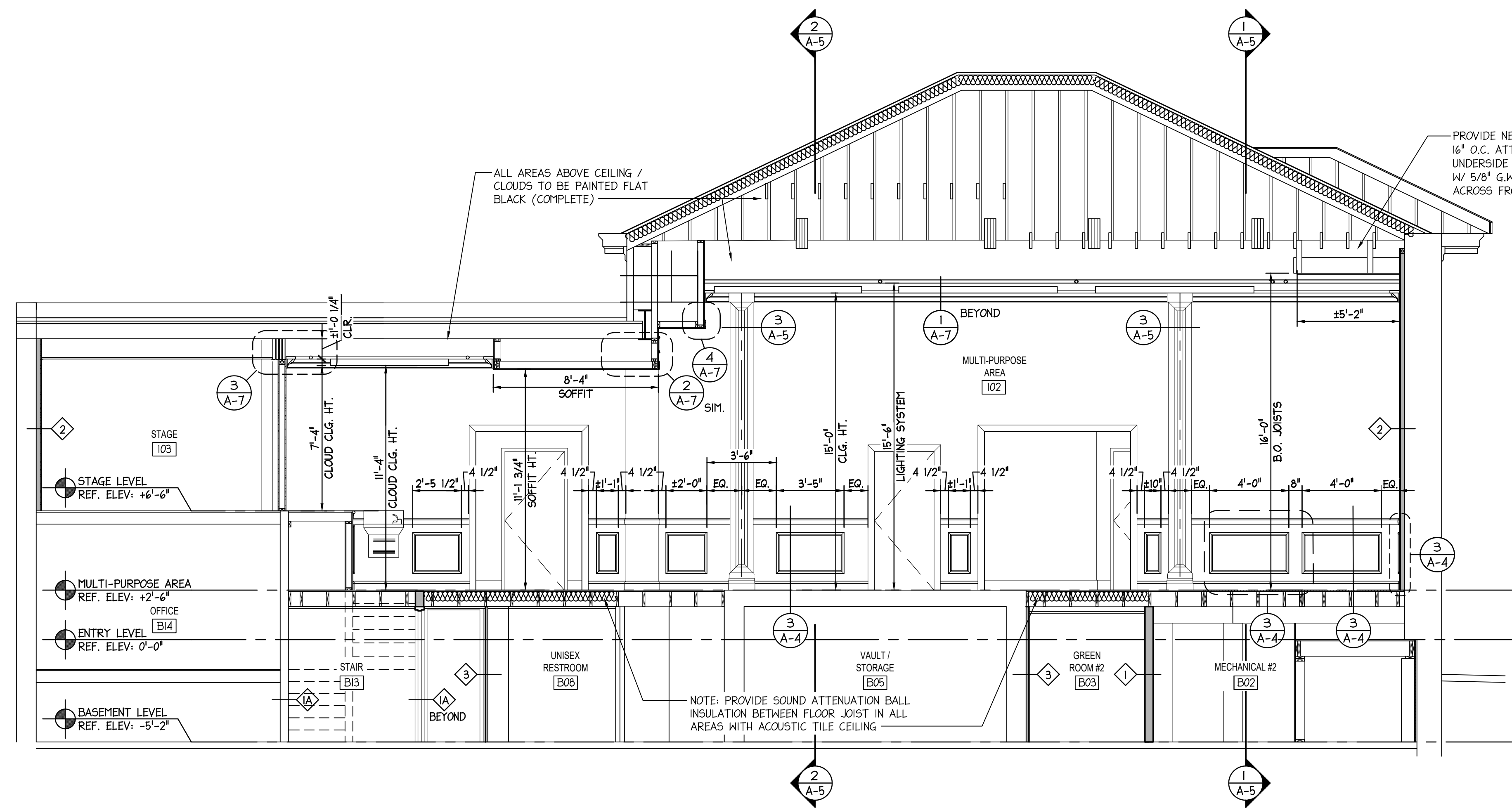
- A. CONTRACTORS OF RESPECTIVE TRADES SHALL COORDINATE THEIR WORK WITH THE WORK OF ALL OTHER TRADES BEFORE INSTALLATION OF FIXTURES AND/ OR EQUIPMENT.
- B. REFER TO FIRE PROTECTION, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZES, TYPES AND INSTALLATION REQUIREMENTS OF FIXTURES AND/ OR EQUIPMENT.
- C. INCLUSION OF SYMBOLS IN THE GRAPHIC LEGEND DOES NOT IMPLY INCLUSION WITHIN THE SCOPE OF WORK. REFER TO REFLECTED CEILING PLANS AND ASSOCIATED DETAILS FOR THE SCOPE OF WORK.
- D. CHANDELIER SHALL BE FASTENED TO EXISTING ROOF TRUSS MEMBERS AS PER MANUF. RECOMMENDATIONS.
- E. ALL PENDANT MOUNT LIGHT FIXTURES SHALL BE MECHANICALLY FASTENED TO UNISTRUT MEMBERS WHICH ARE ALSO MECHANICALLY FASTENED TO THE EXISTING ROOF TRUSS MEMBERS.

**R.C.P. LEGEND:**

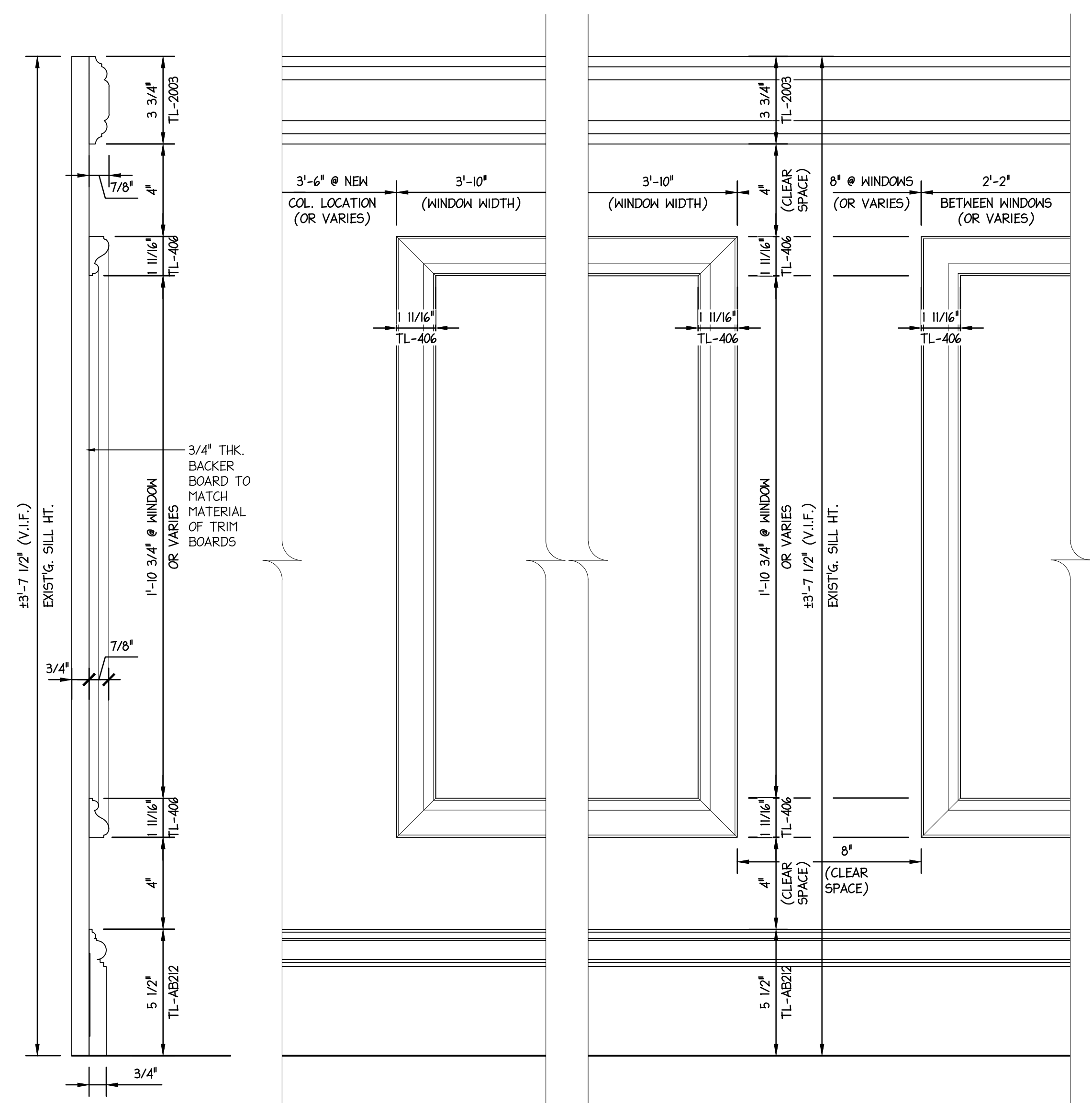
- 2 x 2 CEILING GRID
- 2 x 4 CEILING GRID
- 2 x 2 FLUORESCENT LIGHT FIXTURE
- 2 x 4 FLUORESCENT LIGHT FIXTURE
- 2 x 2 SUPPLY AIR DIFFUSER
- 2 x 2 RETURN AIR DIFFUSER
- G.W.B. SOFFIT (SEE PLAN FOR HT. A.F.F.)
- 2 x 2 EXHAUST FAN
- RECESSED LIGHT FIXTURE
- EXTERIOR RECESSED LIGHT FIXTURE
- CONCEALED WET SPRINKLER HEAD W/ COVERPLATE
- SIDEMALL SPRINKLER HEAD IN WALL
- UPRIGHT WET SPRINKLER HEAD
- ILLUMINATED EXIT SIGN
- MOTION SENSOR
- SPEAKER

1/7/25		ISSUED FOR BID	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT:	
		<b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE:          GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER          3 SOUTH BLACK HORSE PIKE          BLACKWOOD, NEW JERSEY, 08012</b>	
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: <b>FIRST FLOOR &amp; BASEMENT          REFLECTED CEILING PLANS, NOTES</b>	
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH. NO. 0084 - PA ARCH. RA-00424 - CT ARCH. 7034		SCALE: AS NOTED PROJECT NO: 1016H DATE: 1/7/25 DRAWN BY: GES CHECKED BY: PJC/GES	
DRAWING NO: <b>A-3</b>		DRAWING NO: <b>A-3</b>	

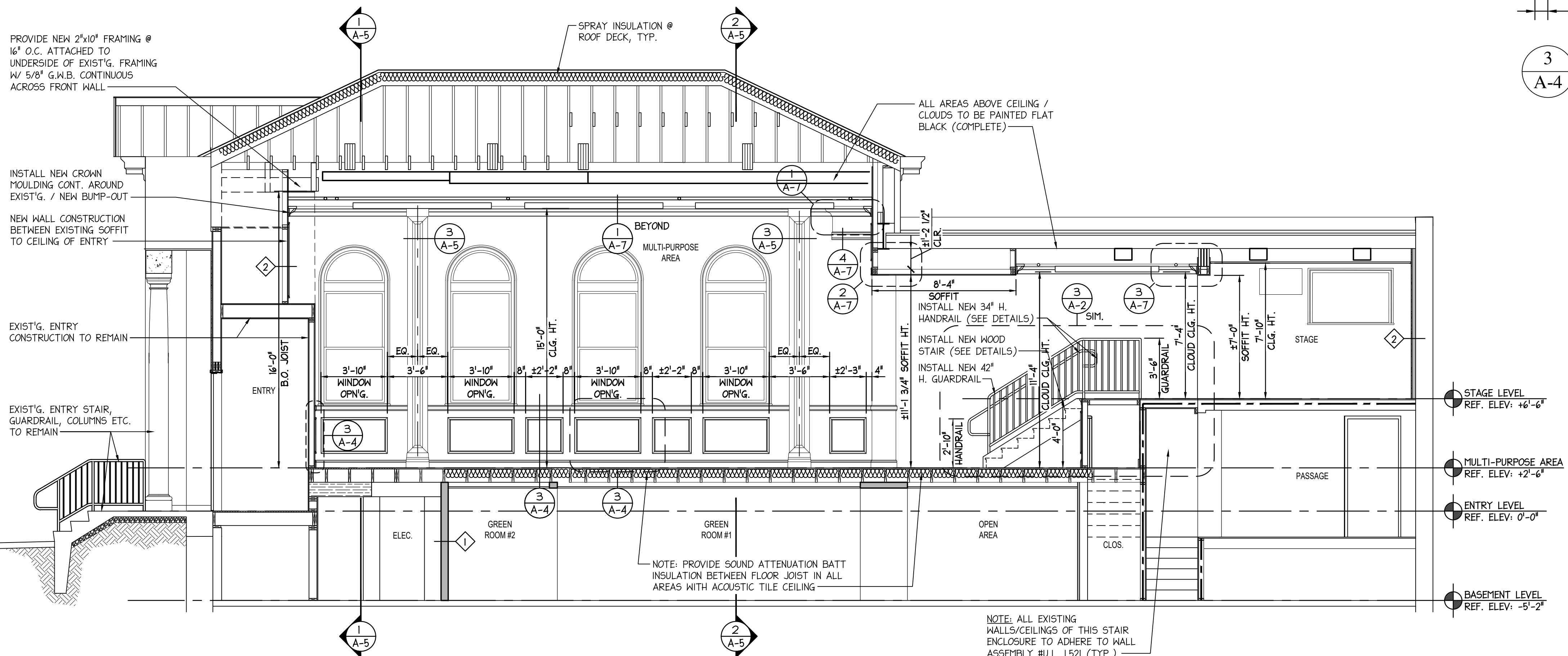
PLOT DATE & TIME: Jan 13, 2025 - 3:04pm  
 FILE PATH: J:\1016H Community Center\CAD\24 12-30-24 Updated Working Drawings\1016H Working Drawings Updated File.dwg



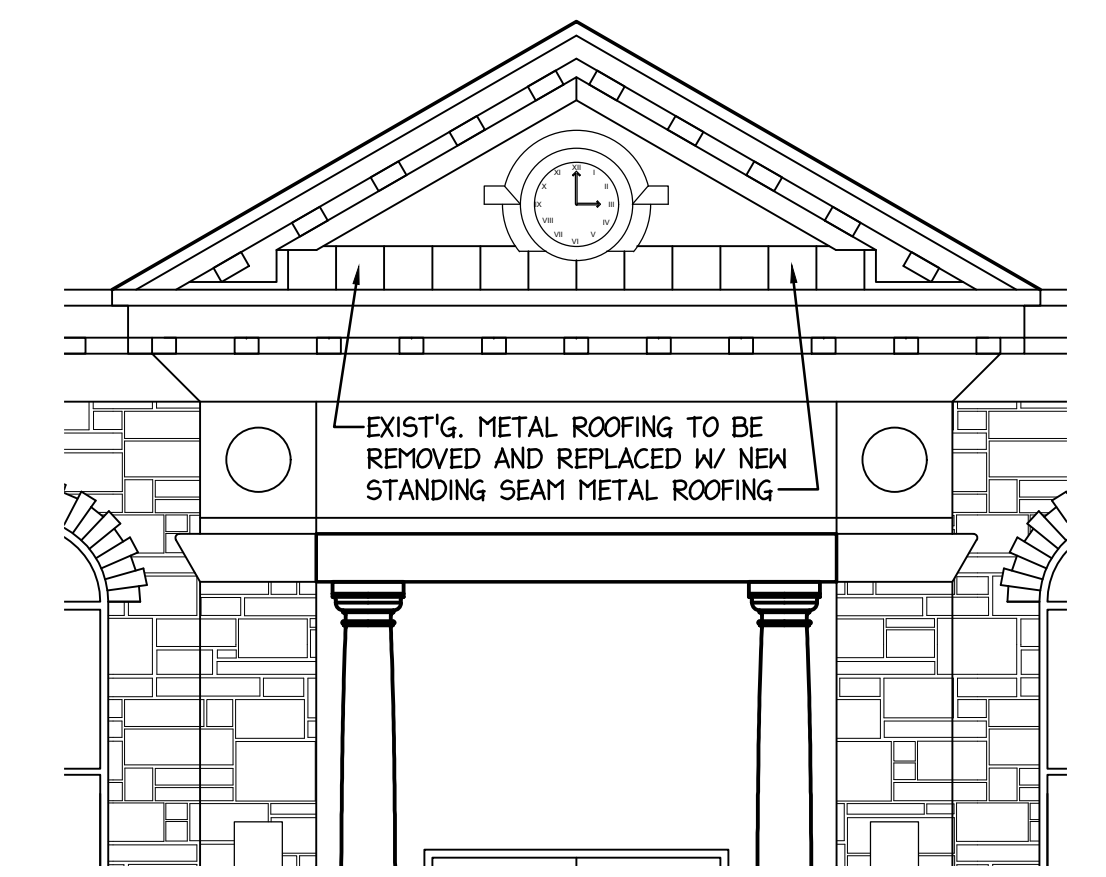
**1 BUILDING SECTION / INTERIOR ELEVATION**  
 A-4 SCALE: 1/4" = 1'-0"



**3 WAINSCOT SECTION / ELEVATIONS**  
 A-4 SCALE: 3" = 1'-0"

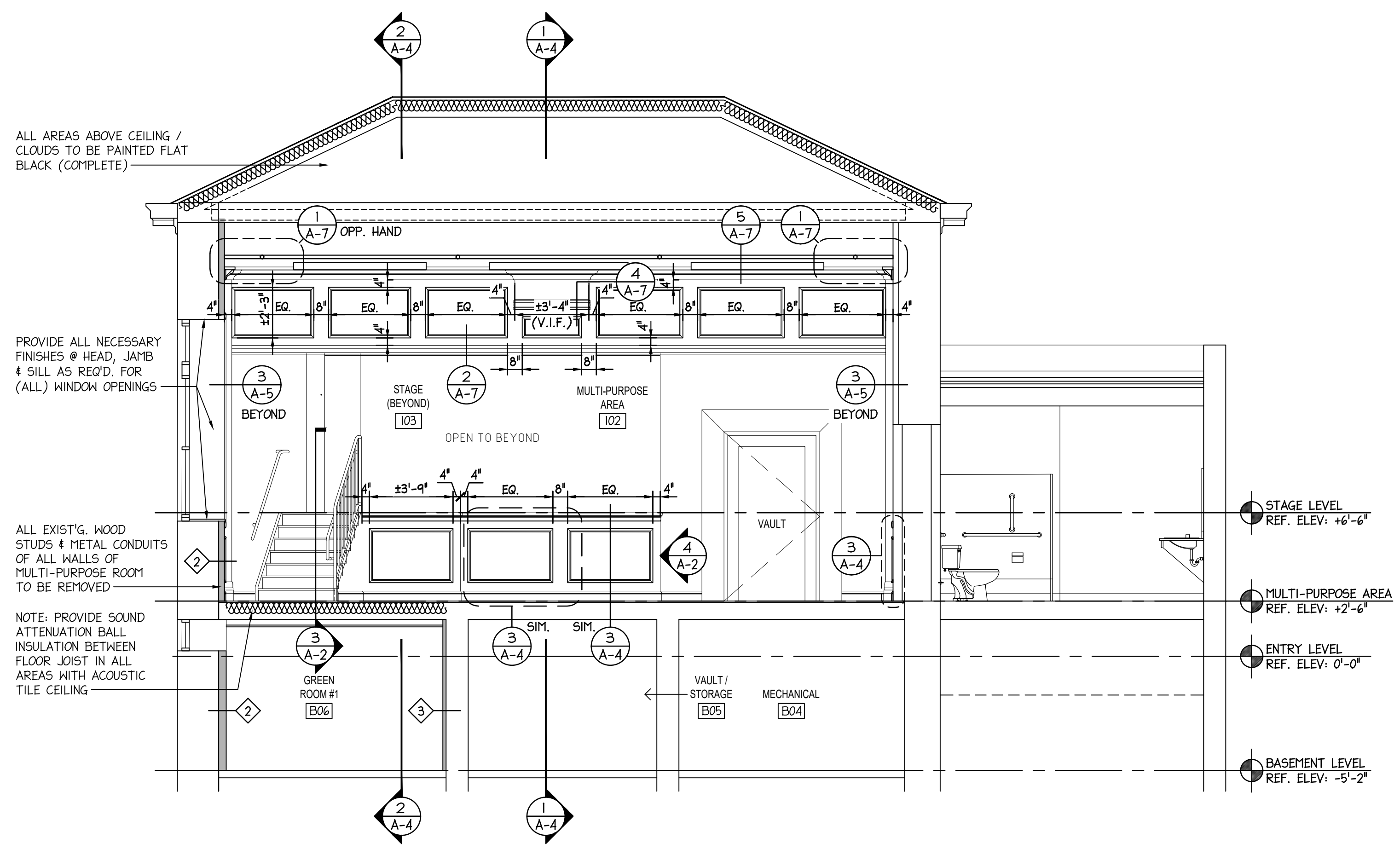


**2 BUILDING SECTION / INTERIOR ELEVATION**  
 A-4 SCALE: 1/4" = 1'-0"

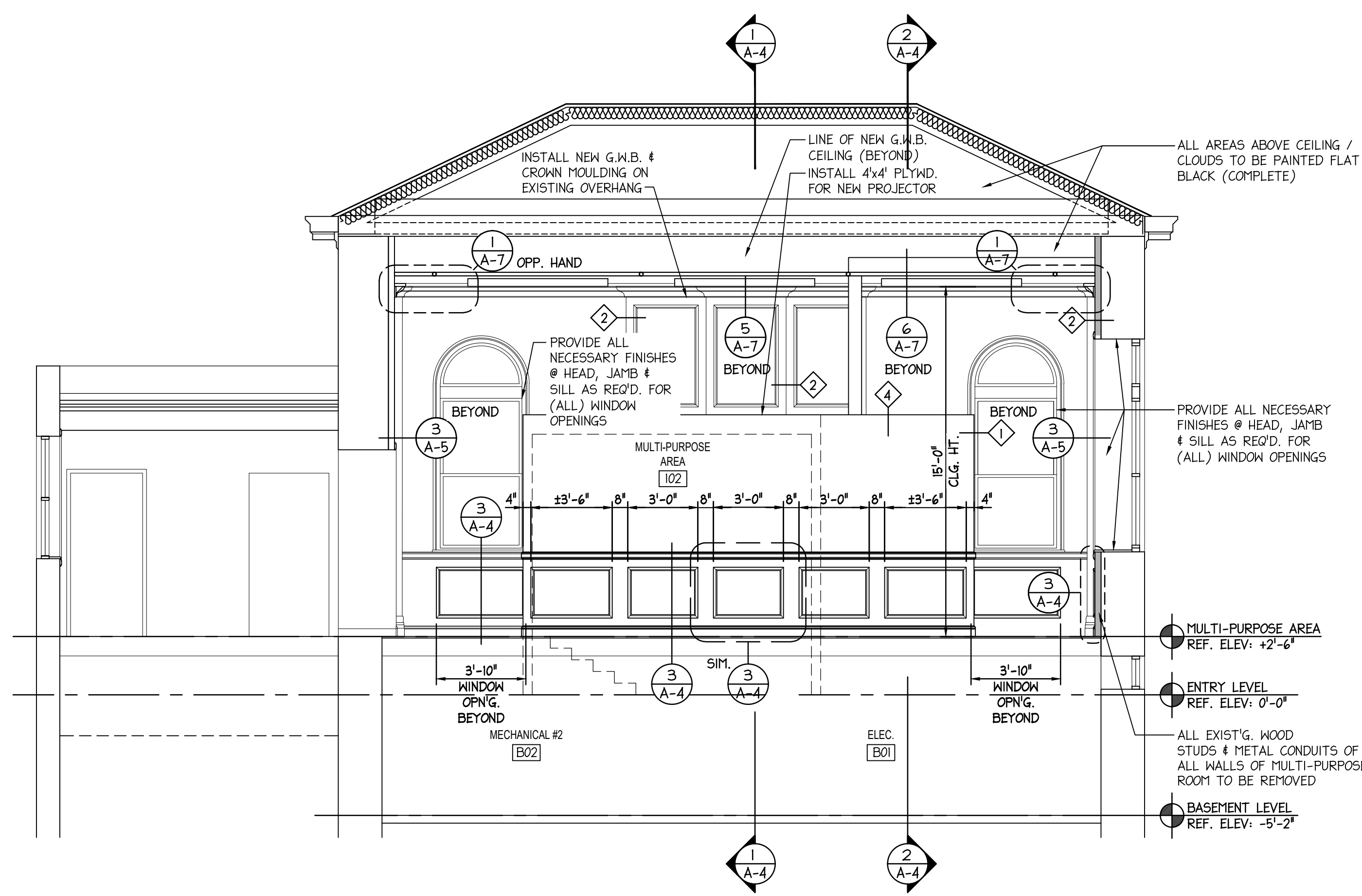


**4 ENTRY ROOF ELEVATION**  
 A-4 SCALE: 1/4" = 1'-0"

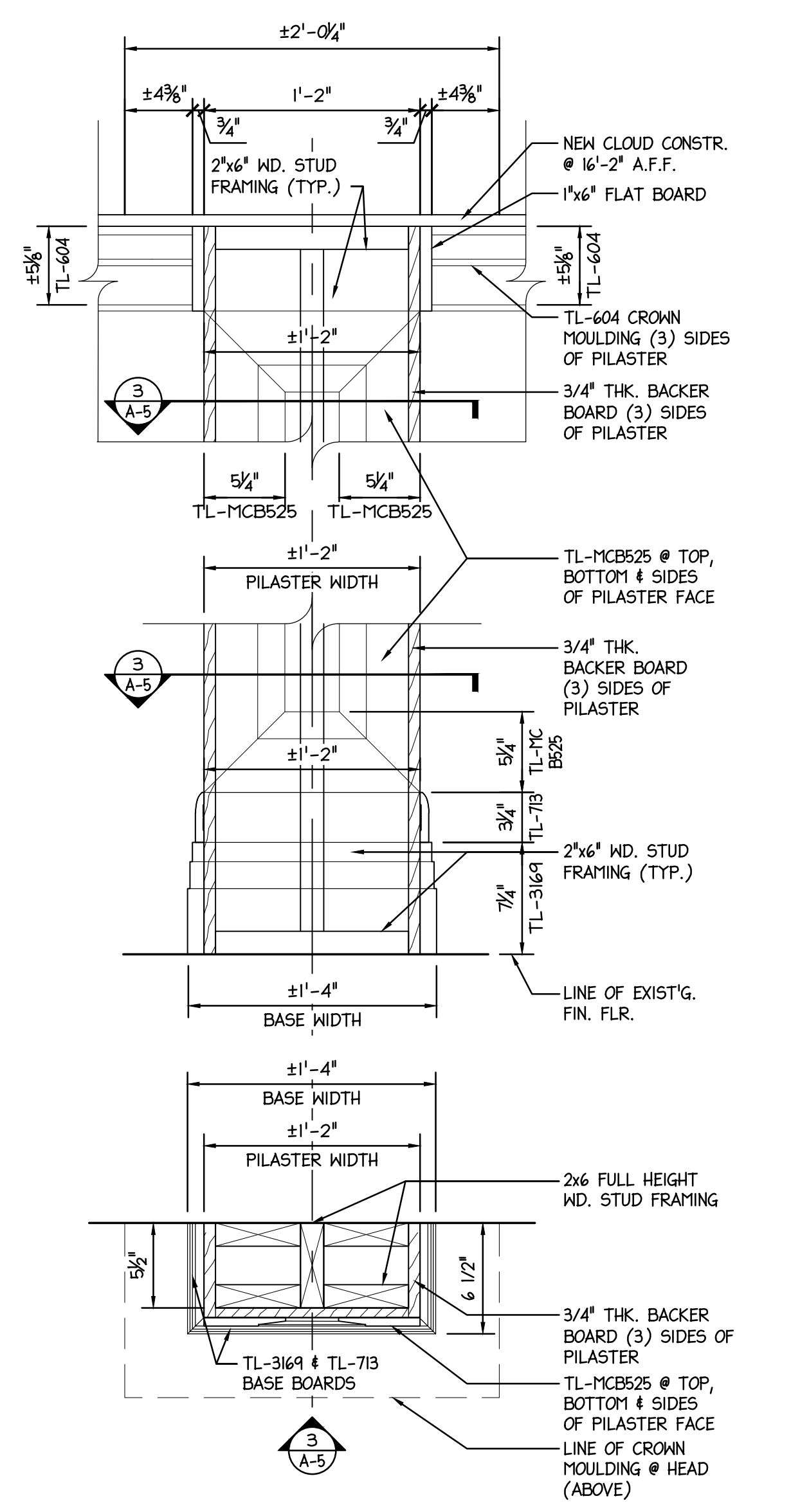
1/7/25	ISSUED FOR BID	
No.	DATE	DESCRIPTION
		REVISIONS
APPROVAL:		PROJECT:
		INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLoucester TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012
JOSEPH F. MCKERNAN JR., R.A. 100 DOBBS LANE SUITE 204 CHERRY HILL, NEW JERSEY 08034		TITLE: INTERIOR ELEVATIONS, WAINSCOT SECTION & ELEVATIONS
SEAL: JOSEPH F. MCKERNAN JR., R.A. NJ ARCH. AT 1984 - PA ARCH. RA-0442 - CT ARCH. 7024	SCALE: AS NOTED PROJECT NO: 10644 DATE: 1/7/25 DRAWN BY: GES CHECKED BY: MCKES	DRAWING NO: <b>A-4</b>



**2 BUILDING SECTION / INTERIOR ELEVATION**  
 SCALE: 1/4" = 1'-0"



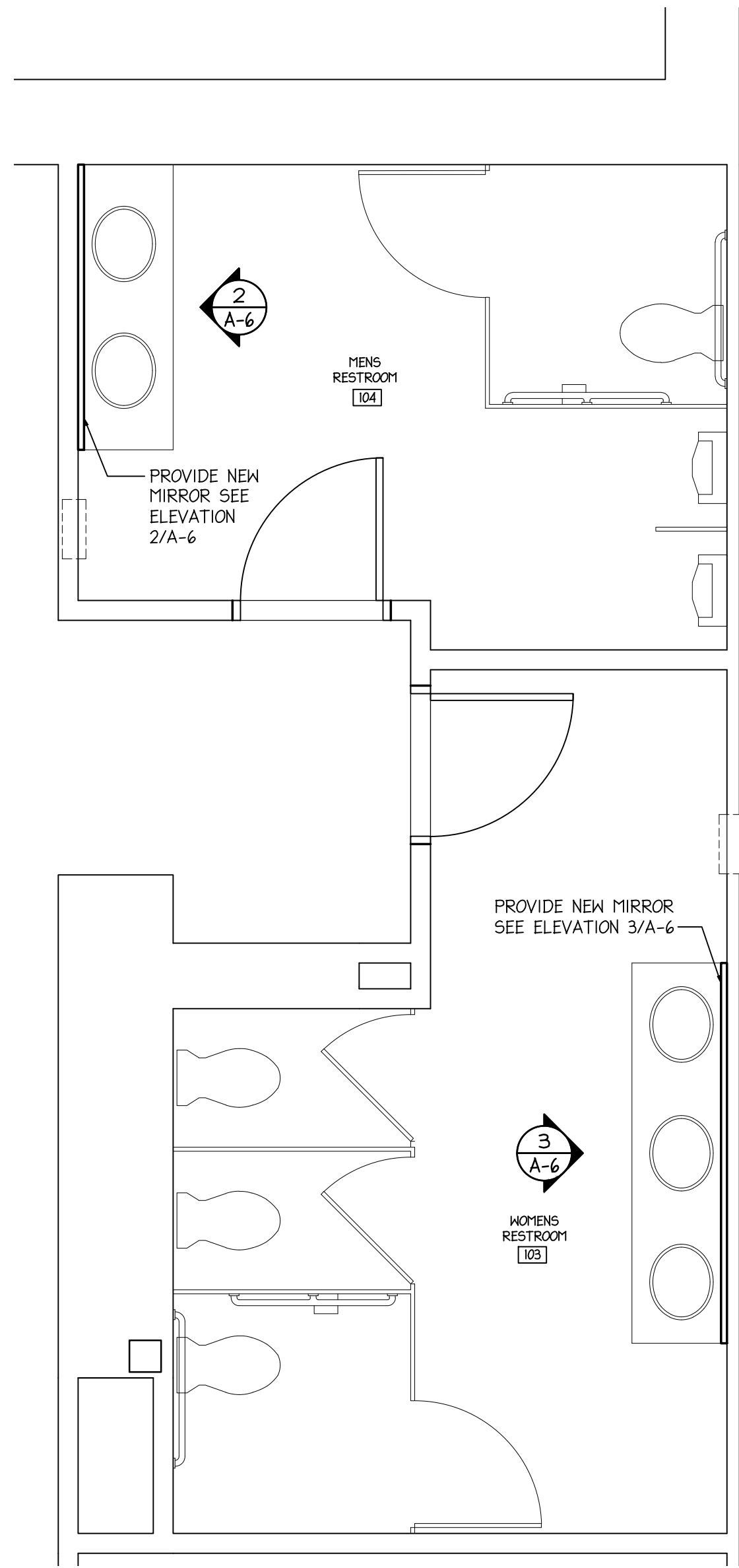
**1 BUILDING SECTION / INTERIOR ELEVATION**  
 SCALE: 1/4" = 1'-0"



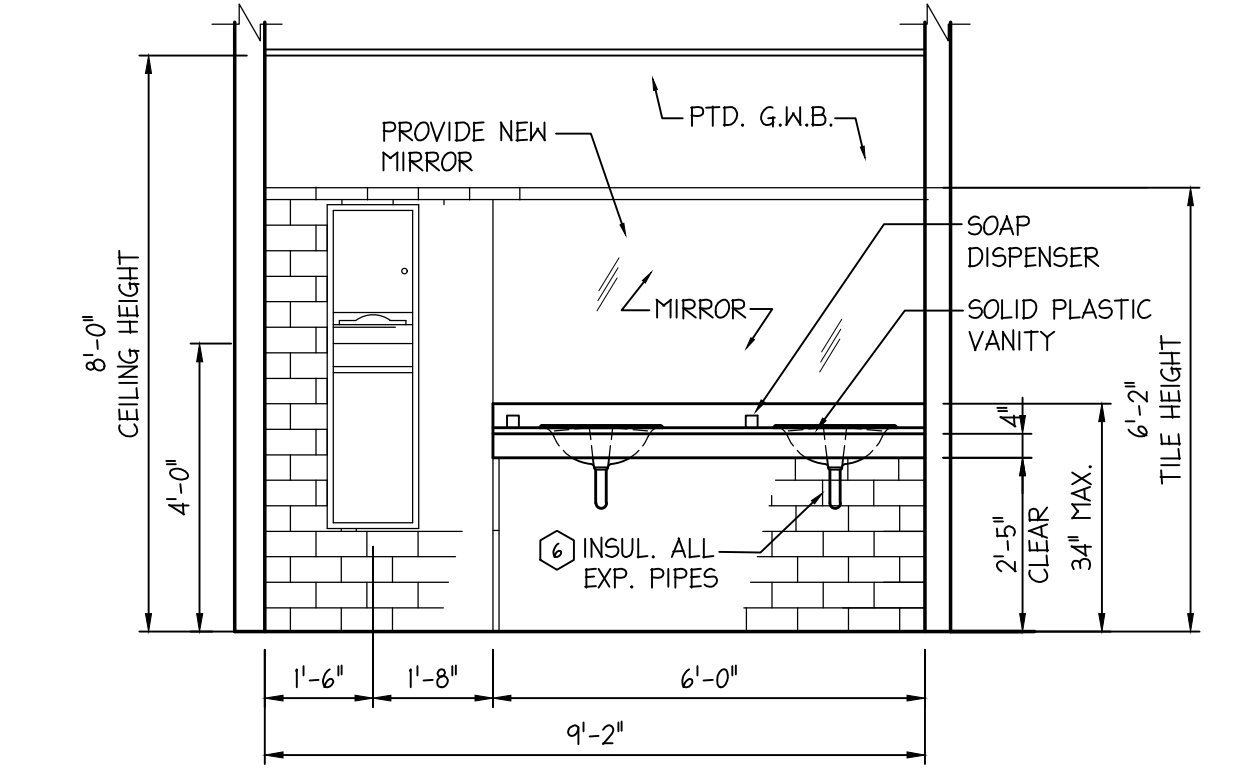
**3 PILASTER SECTION / ELEVATION**  
 SCALE: 1 1/2" = 1'-0"

1/7/25		ISSUED FOR BID	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT:	
		INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: INTERIOR ELEVATIONS, CONTROL AREA SECTIONS & ELEVATIONS	
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH. NO. 0084 - PA ARCH. NO. 0482 - CT. ARCH. 7024		SCALE: AS NOTED PROJNO.: 1016H DATE: 1/7/25 REV'D: CES DRAWN BY: CES CHECKED BY: MCK/JES	DRAWING NO: <b>A-5</b>

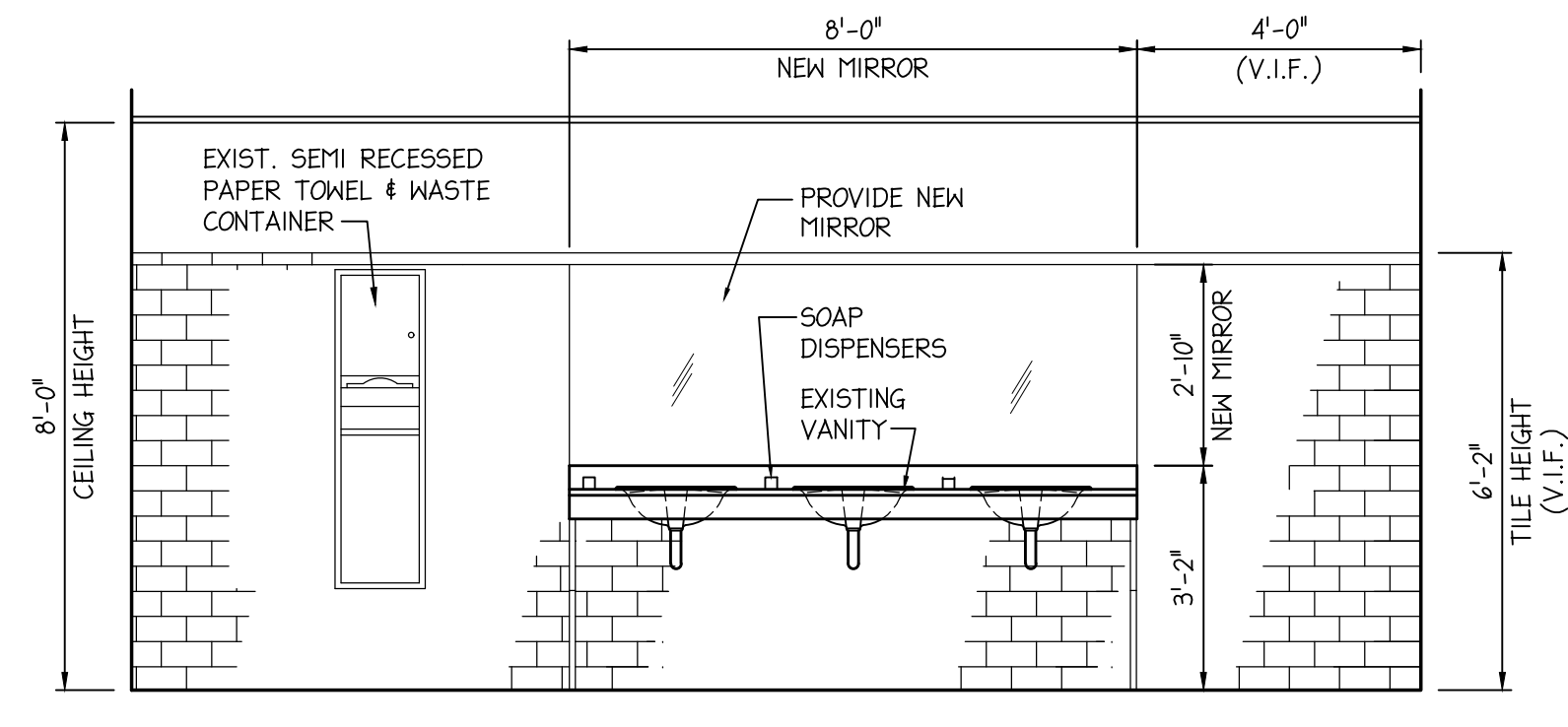




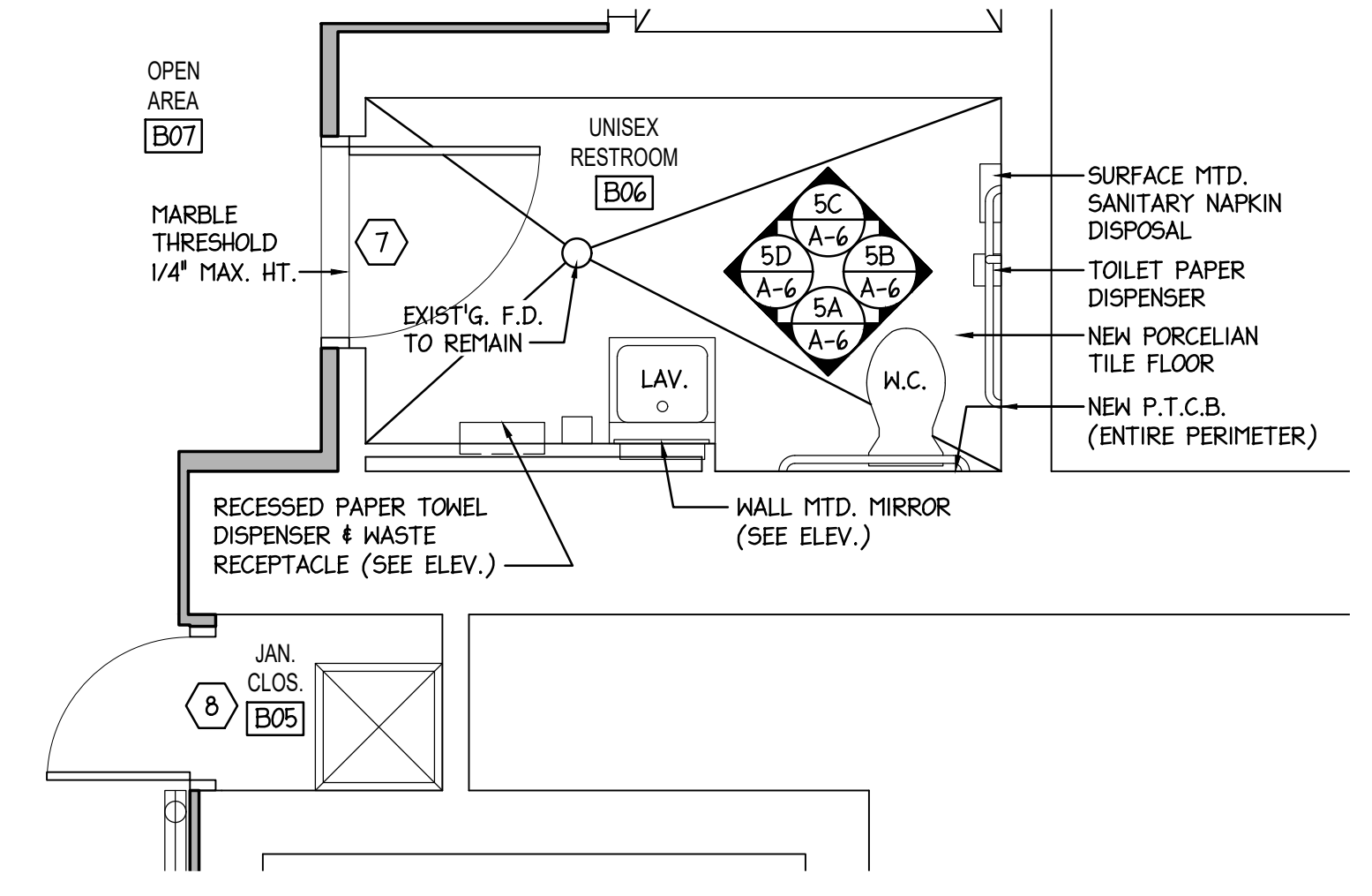
**1**  
**A-6** ENLARGED RESTROOM PLAN  
 SCALE: 3/8" = 1'-0"



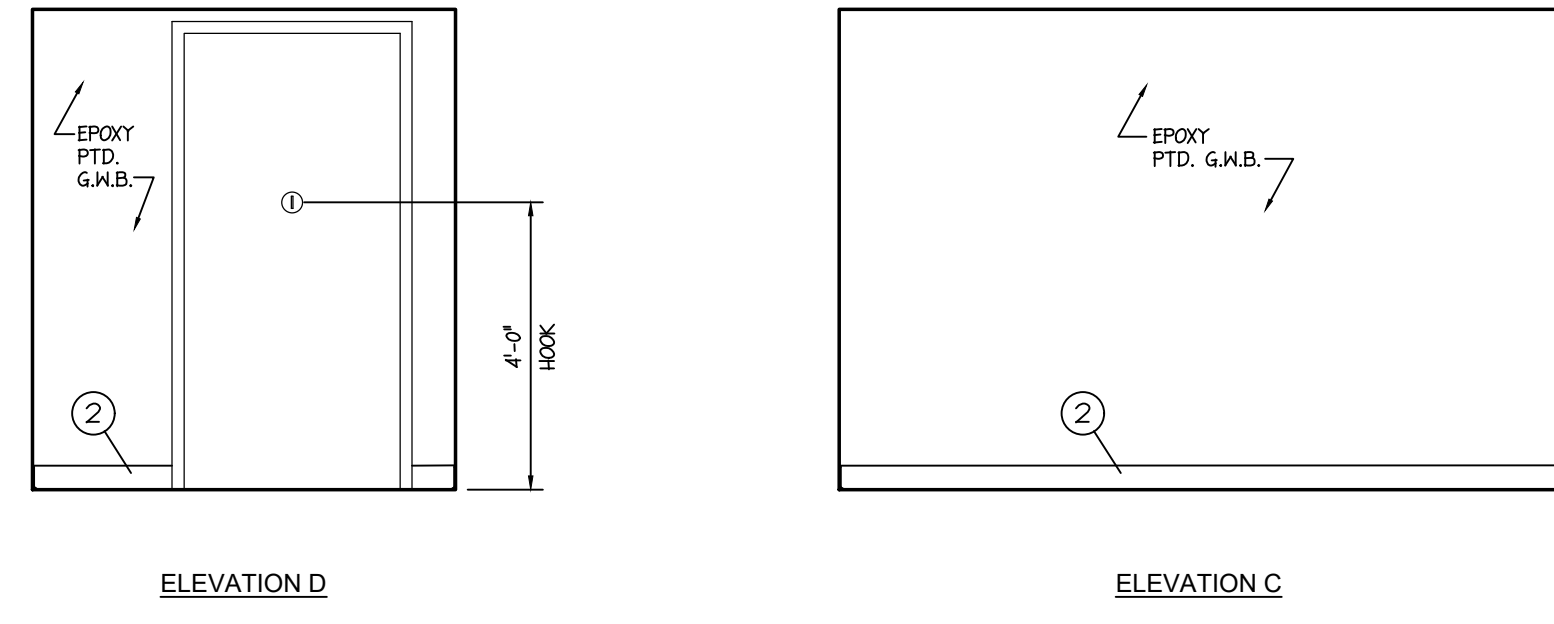
**2**  
**A-6** MEN'S RESTROOM ELEVATION: RM 104  
 SCALE: 3/8" = 1'-0"



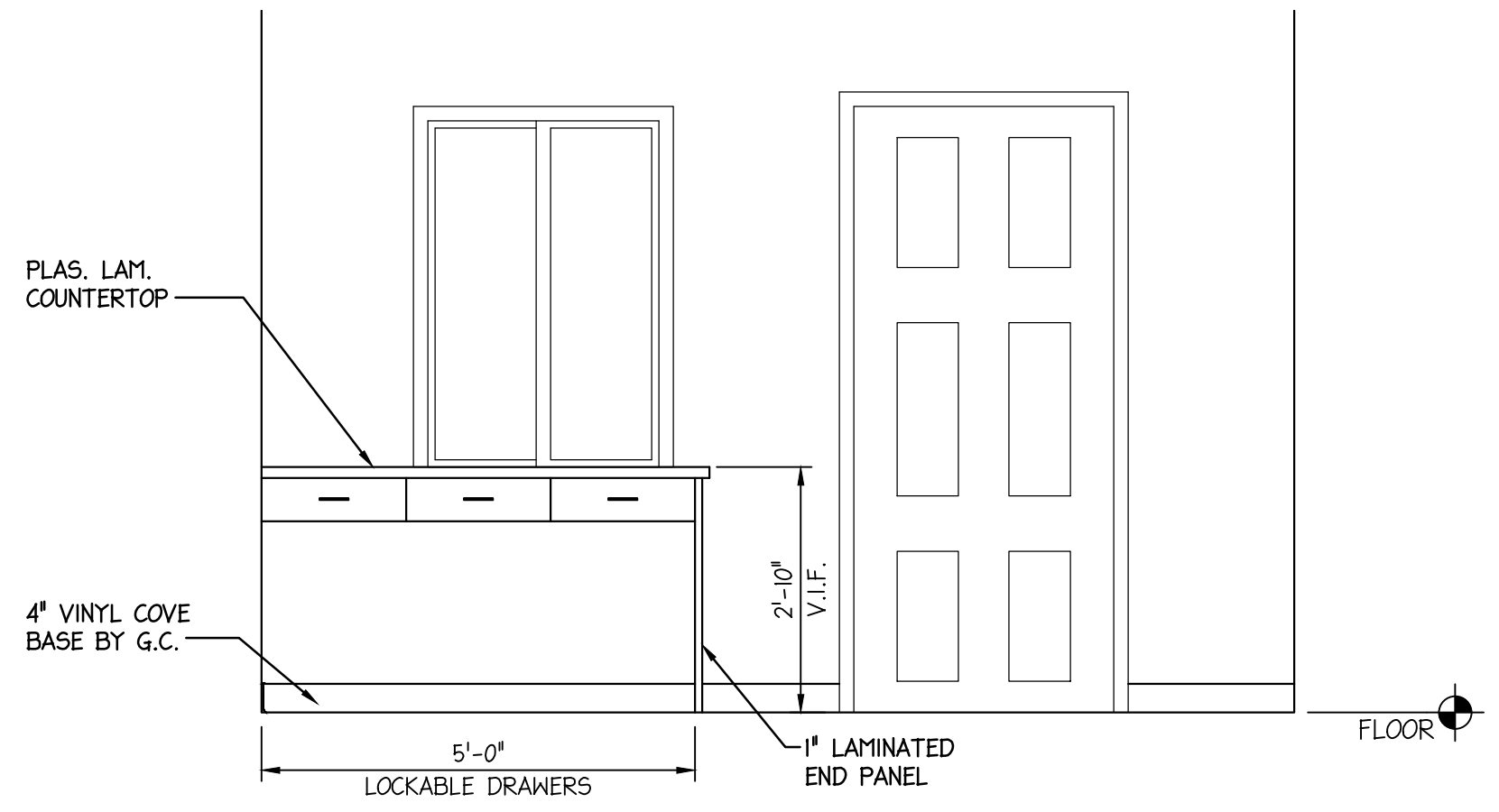
**3**  
**A-6** WOMEN'S RESTROOM ELEVATION: RM 103  
 SCALE: 3/8" = 1'-0"



**4**  
**A-6** ENLARGED UNISEX RESTROOM PLAN  
 SCALE: 3/8" = 1'-0"



**5**  
**A-6** UNISEX RESTROOM ELEVATIONS: RM B06  
 SCALE: 3/8" = 1'-0"

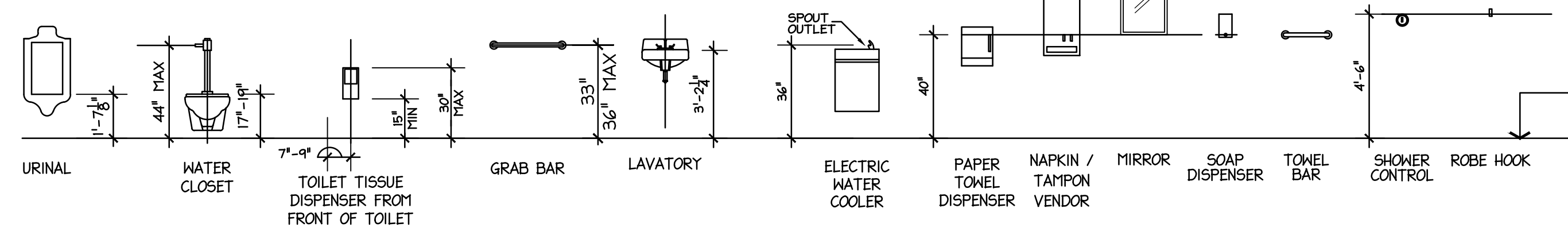


**6**  
**A-6** TICKET ROOM ELEV.  
 SCALE: 1/2" = 1'-0"

FIXTURE LEGEND	
ITEM NO.	ITEM
1	TRUEBRO LAV GUARD - UNDERSINK PIPING COVERS
2	RUBBER BASE
3	RECESSED PAPER TOWEL DISPENSER & WASTE RECEPTACLE
4	TOILET PAPER DISPENSER
5	HORIZONTAL GRAB BAR - 42"
6	HORIZONTAL GRAB BAR - 36"
7	VERTICAL GRAB BAR - 18"
8	MIRROR - 18 X 36"
9	WALL MOUNTED SOAP DISPENSER
10	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL

ROOM FINISH SCHEDULE						
FIRST FLOOR						
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	HEIGHT
100	ENTRY	LVT	WD	PT	EXPOSED	EXIST.
102	MULTI-PURPOSE AREA	LVT	WD	PT	ACT	15'-0" / 11'-8" WAINSCOT AT (SEE 2/A4 FOR CEILING HEIGHT)
103	STAGE	LVT	WD	PT	ACT	7'-10"
104	CONCESSION	LVT	WD	PT	ACT	8'-0"
BASEMENT						
B01	ELEC.	EXPOSED	-	-	EXPOSED	-
B02	MECHANICAL	EXPOSED	-	-	EXPOSED	-
B03	GREEN ROOM	LVT	RB	PT	ACT	6'-6"
B04	VAULT / STORAGE	EXPOSED	-	-	-	-
B05	JANITOR CLOSET	LVT	RB	PT	ACT	6'-6"
B06	UNISEX RESTROOM	LVT	RB	PT	ACT	6'-8"
B07	OPEN AREA	LVT	RB	PT	ACT	6'-8"
B08	SPRINKLER	EXPOSED	-	-	EXPOSED	-
B09	STORAGE	LVT	RB	PT	ACT	6'-8"
B10	CLOSET	LVT	RB	PT	ACT	-
B11	STAIR	RB	RB	PT	ACT	# 1 HOUR FIRE RATED (U.L.-L521)
B12	OFFICE	LVT	PB	PT	ACT	7'-4"
B13	PASSAGE	LVT	RB	PT	ACT	7'-4" VERIFY CEILING HEIGHT

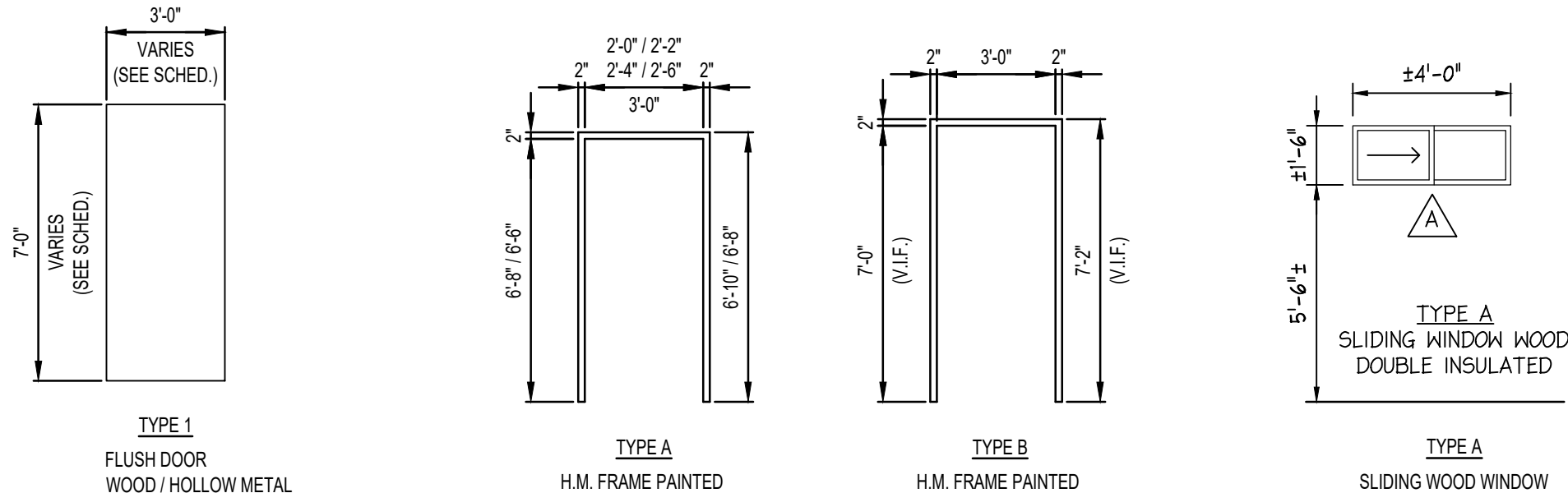
TYPICAL MOUNTING HEIGHTS



1/7/25	ISSUED FOR BID	
No.	DATE	DESCRIPTION
REVISIONS		
APPROVAL:		PROJECT:
		INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: ENLARGED RESTROOM PLANS, ELEVATIONS & DETAILS
SEAL:		SCALE: AS NOTED
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH. NO. 0084 - PA ARCH. RA-0082 - CT ARCH. 7034		DRAWING NO: <b>A-6</b>
DISMISSED MUST BE VERIFIED BY PROPERTY OF ANY DISBURSANCES BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.		SCALE: AS NOTED
DATE: 1/7/25		PROJECT NO: 1016H
REV'D BY: GES		DRAWN BY: GES
CHECKED BY: MCK/RES		DATE: 1/7/25
DATE: 1/7/25		PROJECT NO: 1016H

DOOR NO.	OPENING SIZE	TYPE	THICK	MAT.	FRAME					LABEL	REMARKS
					TYPE	MAT.	HEAD	JAMB	SILL		
1	3'-0" x 7'-0"	1	1 3/4"	H.M.	B	H.M.	1	1	ALUM.	-	-
2	3'-0" x 7'-0"	1	1 3/4"	WD.	A	H.M.	2	2	-	-	DOOR RELOCATED TO NEW LOCATION
3	2'-6" x 6'-8"	1	1 3/4"	WD.	A	H.M.	2	2	-	-	1 HR.
4	2'-0" x 6'-8"	1	1 3/4"	WD.	A	H.M.	2	2	-	-	1 HR.
5	3'-0" x 6'-8"	1	1 3/4"	WD.	A	H.M.	2	2	-	-	1 HR.
6	2'-8" x 6'-6"	1	1 3/4"	WD.	A	H.M.	2	2	-	-	-
7	3'-0" x 6'-6"	1	1 3/4"	WD.	A	H.M.	3	3	-	-	-
8	(2)3'-0" x 6'-6"	1	1 3/4"	WD.	A	H.M.	2	2	MARBLE	-	-
9	2'-3" x 6'-6"	1	1 3/4"	WD.	A	H.M.	2	2	-	-	-
10	3'-0" x 6'-6"	1	1 3/4"	WD.	A	H.M.	2	2	-	-	-
11	3'-0" x 6'-6"	1	1 3/4"	WD.	A	H.M.	2	2	-	-	-

NOTE: FRAMES ARE PAINTED HOLLOW METAL W/ WOOD TRIM

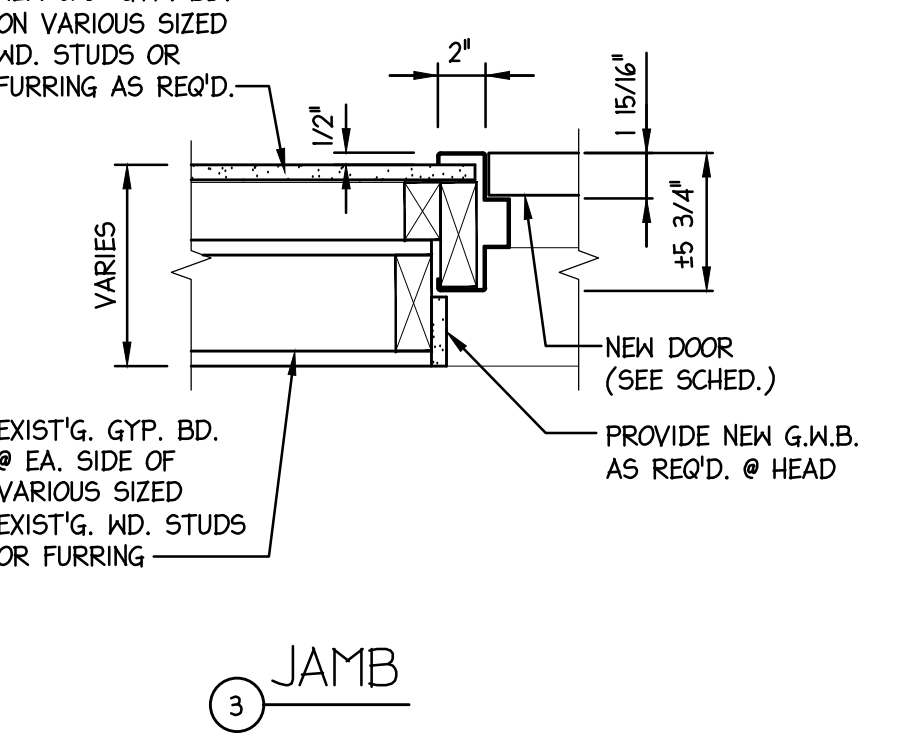
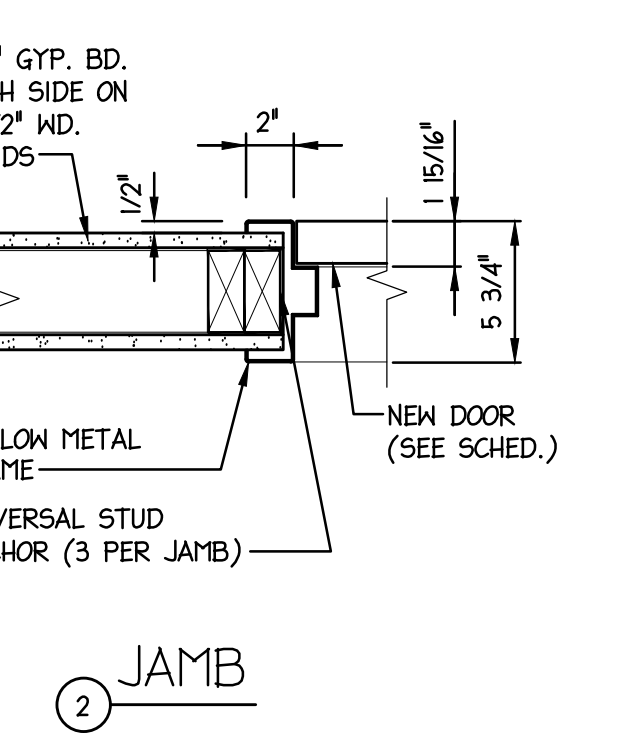
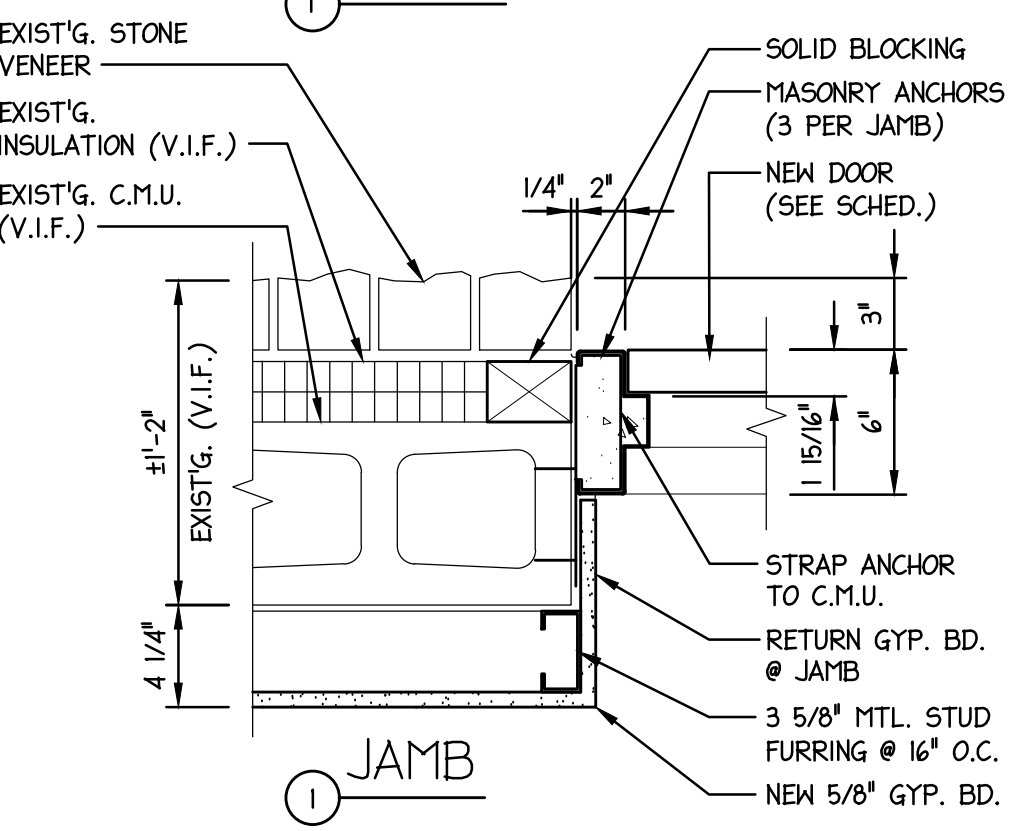
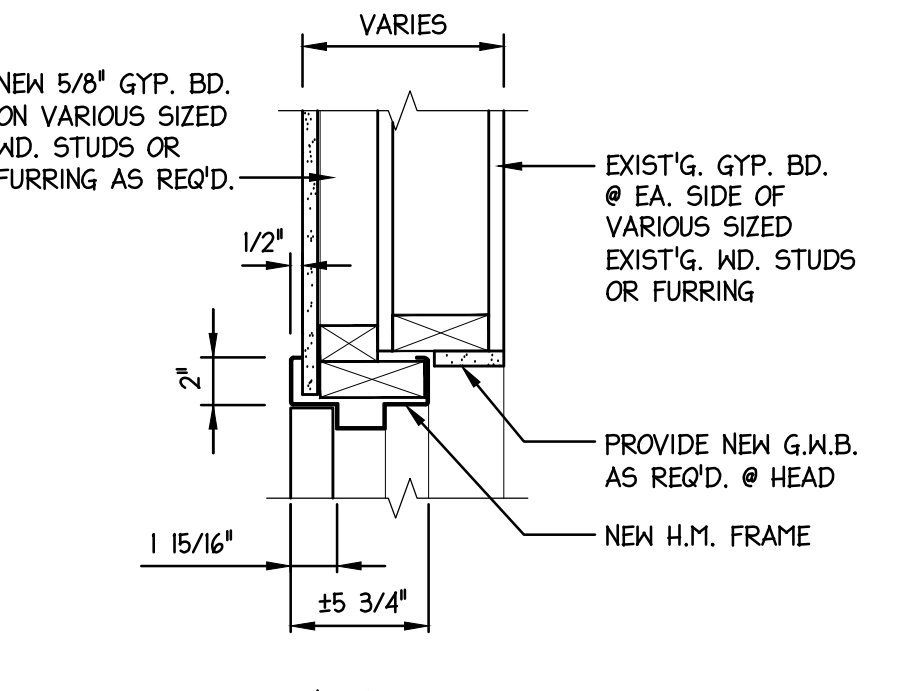
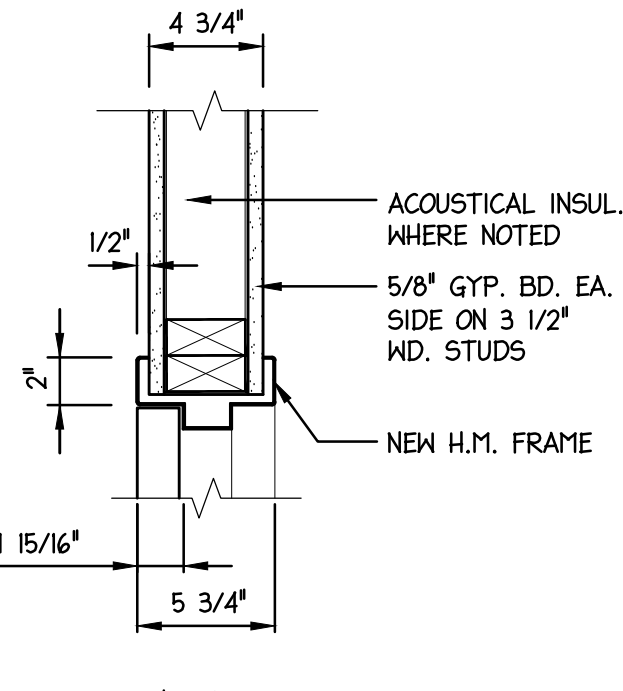
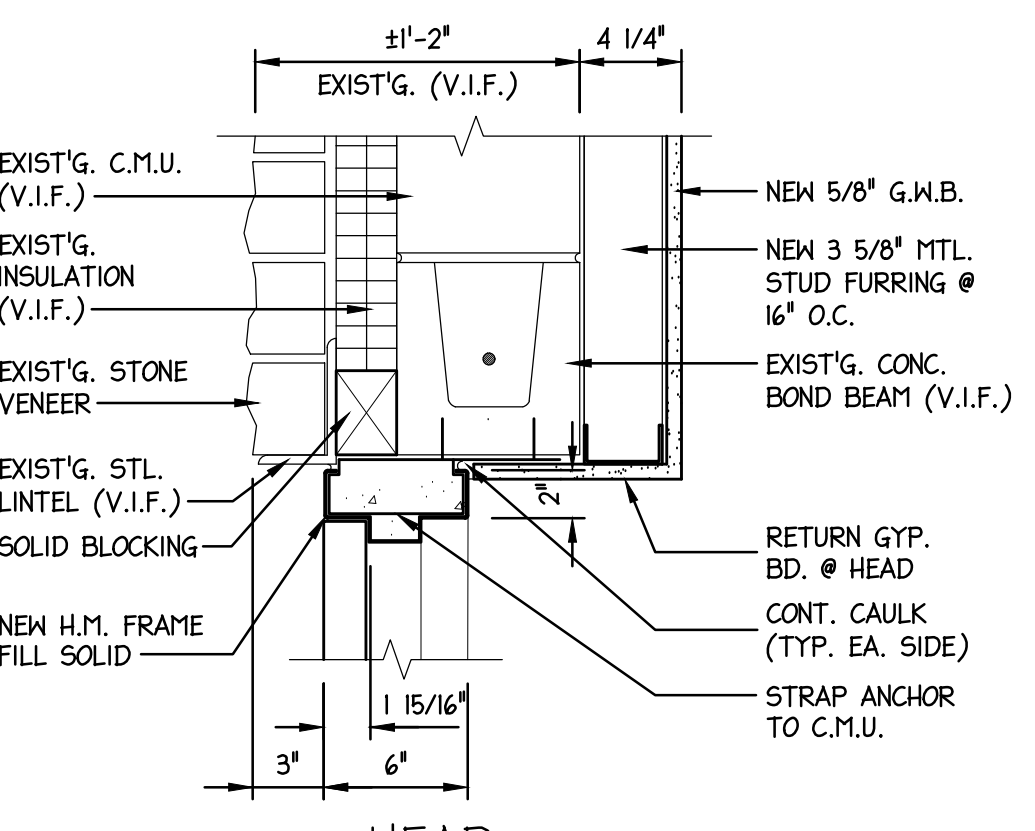


NOTE:  
 • G.C. TO VERIFY ALL WINDOW DIMENSIONS PRIOR TO INSTALLATION  
 • WINDOWS TO BE PELLA WOOD WINDOWS OR EQUAL (TYP.)

**DOOR TYPES**  
SCALE: 1/4" = 1'-0"

**FRAME TYPES**  
SCALE: 1/4" = 1'-0"

**WINDOW TYPES**  
SCALE: 1/4" = 1'-0"



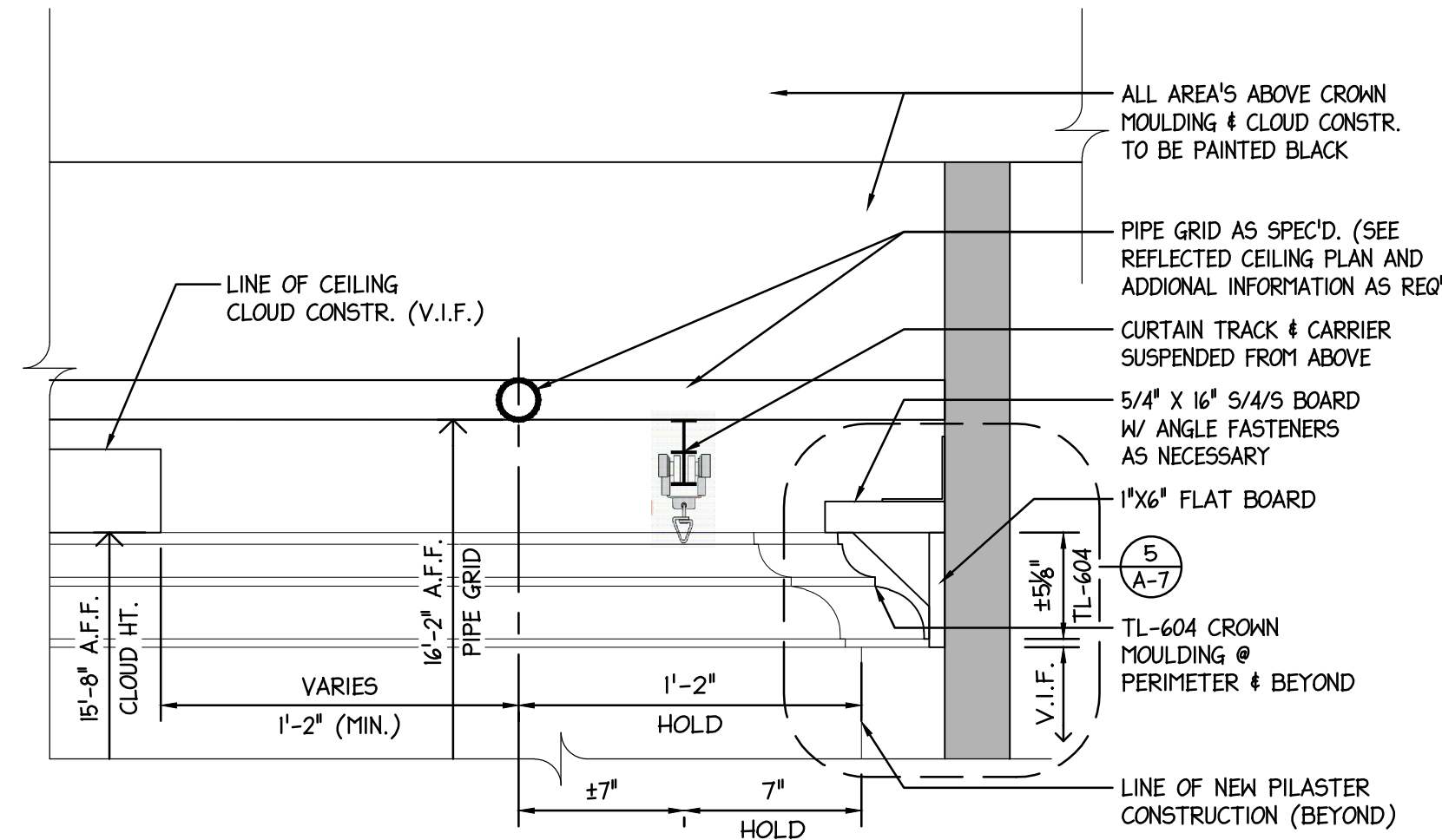
**HEAD & JAMB TYPES**  
SCALE: 1-1/2" = 1'-0"

**DOOR & FRAME NOTES**

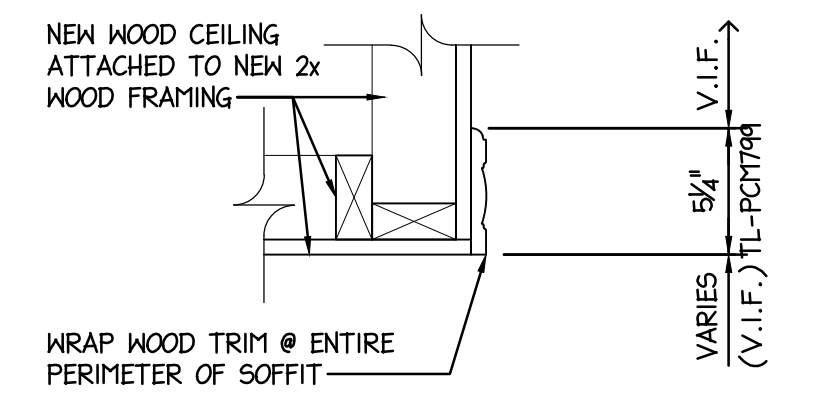
- VERIFY SIZES OF OPENINGS IN FIELD PRIOR TO ORDERING.
- SUBMIT DOOR, FRAME & HARDWARE SCHEDULE TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
- ALL HOLLOW METAL FRAMES TO BE KNOCK DOWN AND 20 GAUGE MIN. STEEL.
- ALL SOLID CORE WOOD (M) DOORS TO HAVE A BIRCH VENEER BOTH SIDES W/ A NATURAL CLEAR FINISH UNLESS NOTED OTHERWISE.
- ALL GLAZING IN DOORS & WINDOWS TO BE TEMPERED SAFETY GLASS (TSG) AS SPECIFIED IN CODE.

**HARDWARE SCHEDULE NOTES**

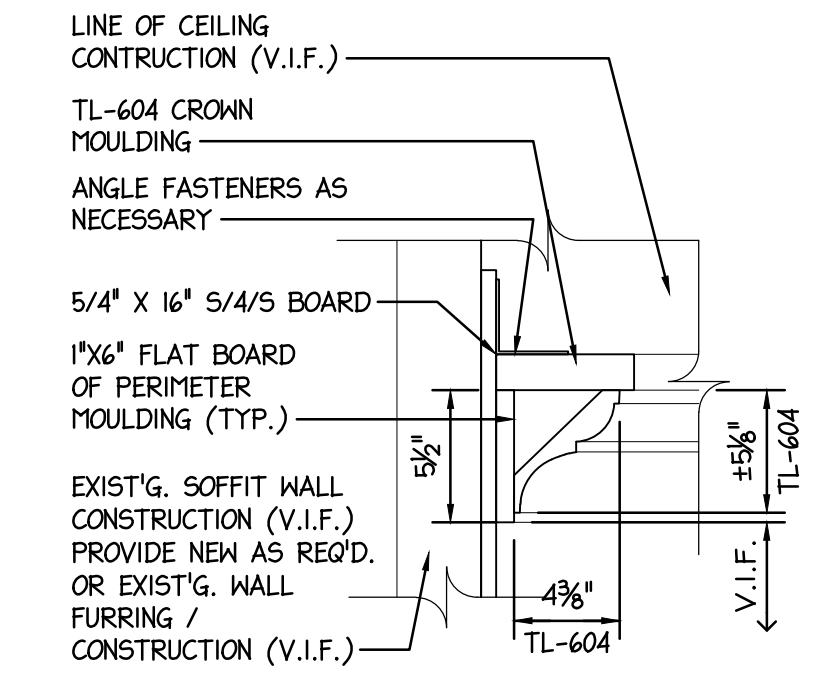
- CONTRACTOR TO SUBMIT DOOR HARDWARE SCHEDULE FOR ARCHITECT'S APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- CONTRACTOR TO PROVIDE COMPLETE PROFESSIONALLY PREPARED WIRING DIAGRAMS FOR ANY OPENINGS REQUIRING ELECTRONIC HARDWARE.
- CONTRACTOR TO PROVIDE COMPLETE OPERATIONAL DESCRIPTIONS OF ELECTRONIC COMPONENTS LISTED BY THE OPENING IN THE HARDWARE SUBMITTALS. DETAIL HOW EACH ELECTRICAL COMPONENT FUNCTIONS WITHIN THE OPENING INCORPORATING ALL CONDITIONS OF INGRESS AND EGRESS.
- PROVIDE ELEVATION DRAWINGS OF ELECTRONIC HARDWARE AND SYSTEMS IDENTIFYING LOCATIONS OF THE SYSTEM COMPONENTS WITH RESPECT TO THEIR PLACEMENT IN THE DOOR OPENINGS.



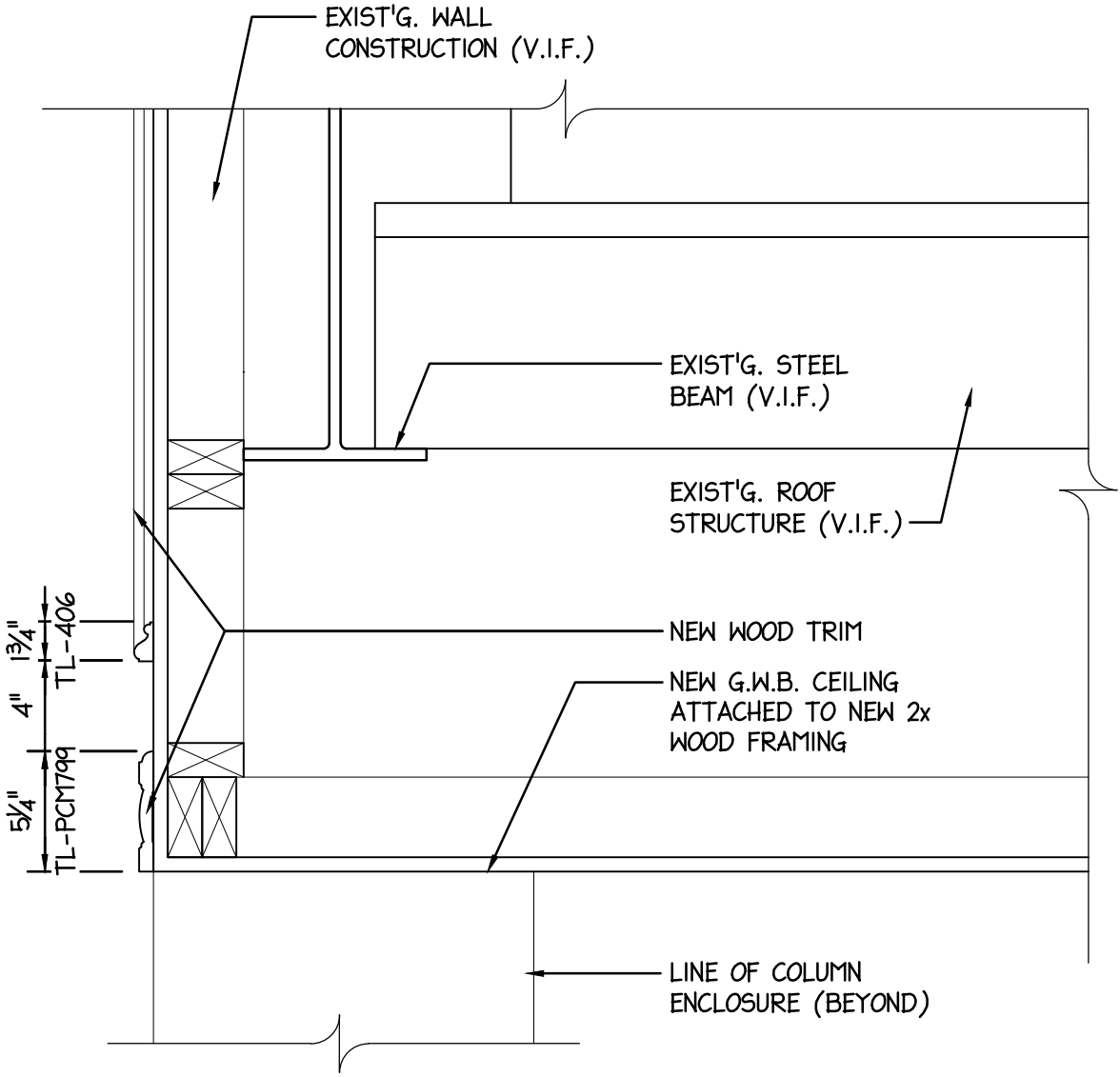
**1 TYP. CLOUD / PIPE GRID DETAIL**  
SCALE: 1 1/2" = 1'-0"



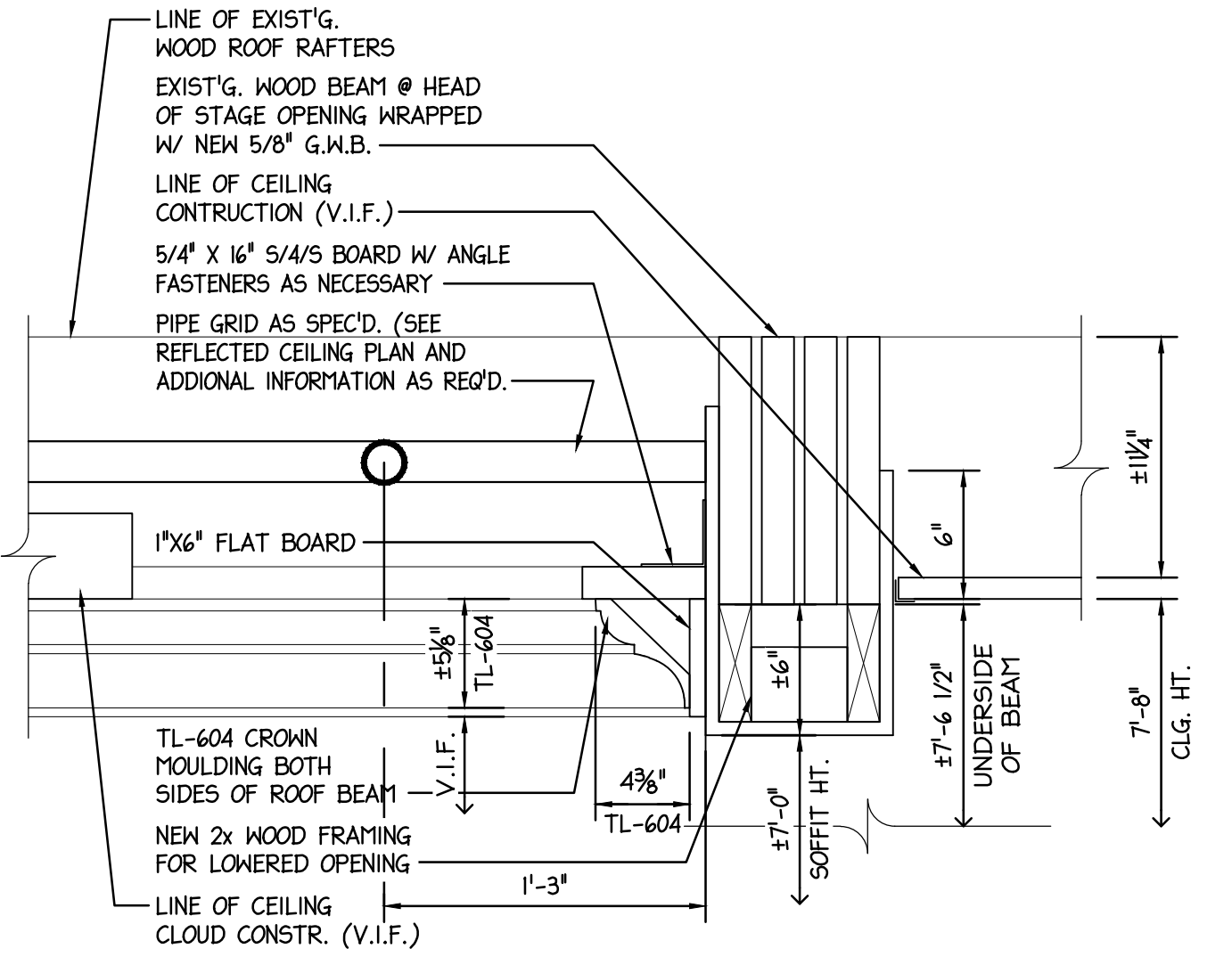
**4 MISC. SOFFIT SECTION**  
SCALE: 1 1/2" = 1'-0"



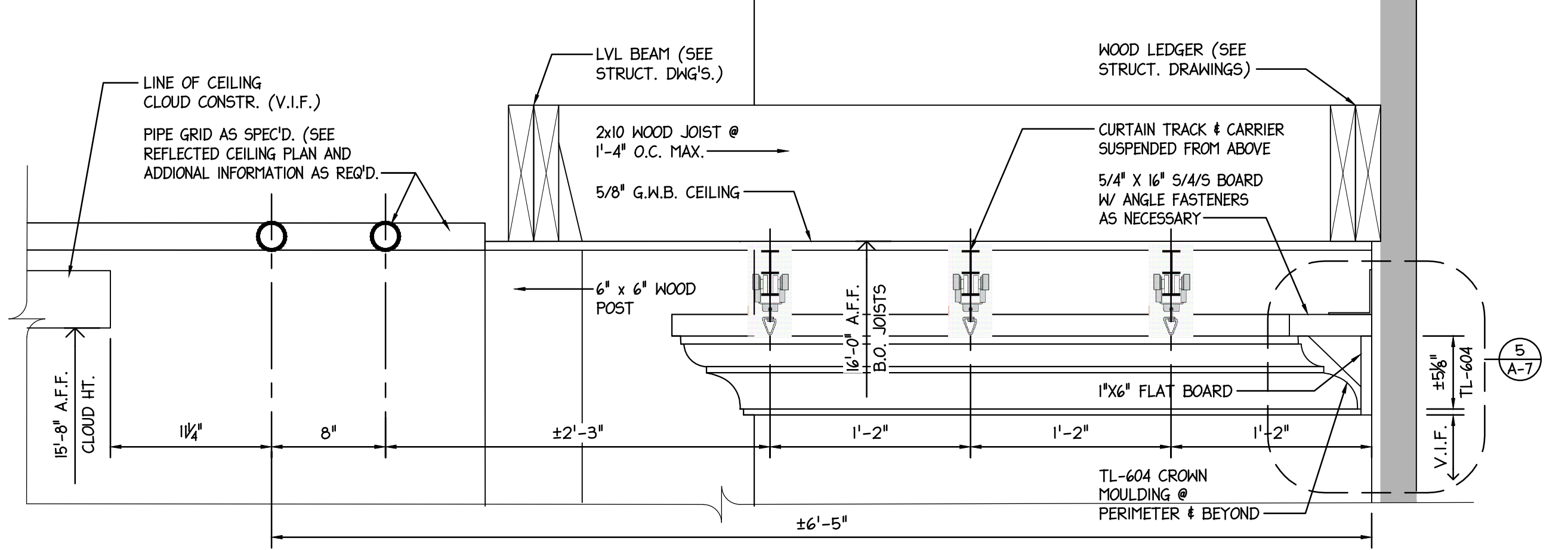
**5 TYP. PERIMETER MOULDING DETAIL**  
SCALE: 1 1/2" = 1'-0"



**2 MISC. ROOF BEAM SECTION #3**  
SCALE: 1 1/2" = 1'-0"



**3 STAGE HEAD DETAIL**  
SCALE: 1 1/2" = 1'-0"

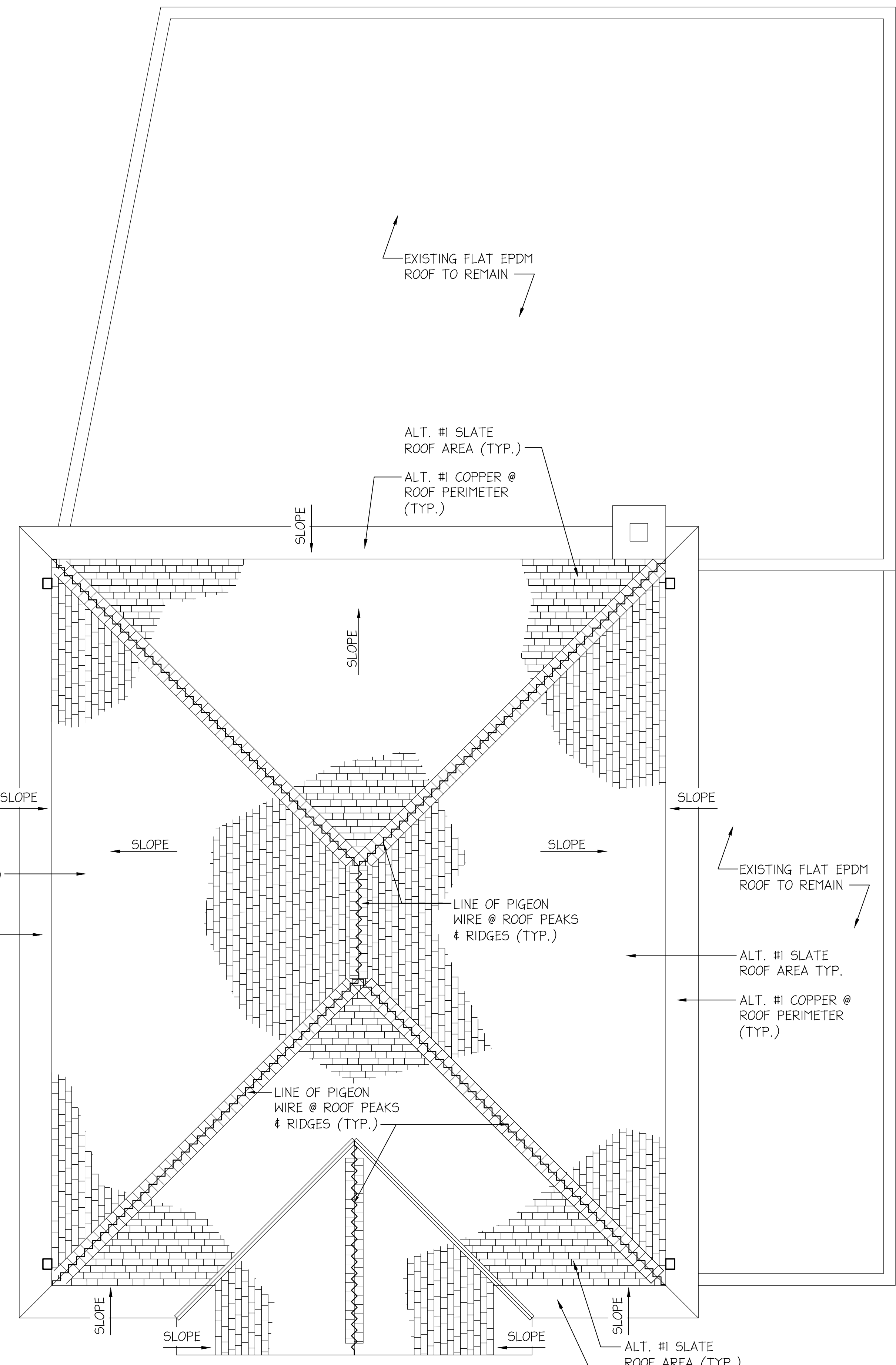


**6 CEILING FRAMING DETAIL**  
SCALE: 1 1/2" = 1'-0"

Jan 13, 2025 - 3:07pm  
 J:\1016H Community Center\CAD\24 12-30-24 Updated Working Drawings\1016H Working Drawings Updated File.dwg  
 PLOT DATE & TIME:  
 FILE PATH:

1/7/25		ISSUED FOR BID	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT:	
		<b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE:          GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH. REG. NO. 1044		TITLE: <b>DOOR SCHEDULE, TYPES, NOTES &amp;          DETAILS, PLASTER SETINGS &amp; DETAILS</b>	
SCALE: AS NOTED PROJECT NO: 1016H DATE: 1/7/25 REV'D: GES DRAWN BY: GES CHECKED BY: PK/SES		DRAWING NO: <b>A-7</b>	

PLOT DATE & TIME: Jan 13, 2025 - 3:08pm  
 FILE PATH: J:\1016H Community Center\CAD\24 12-30-24 Updated Working Drawings\1016H Working Drawings Updated File.dwg

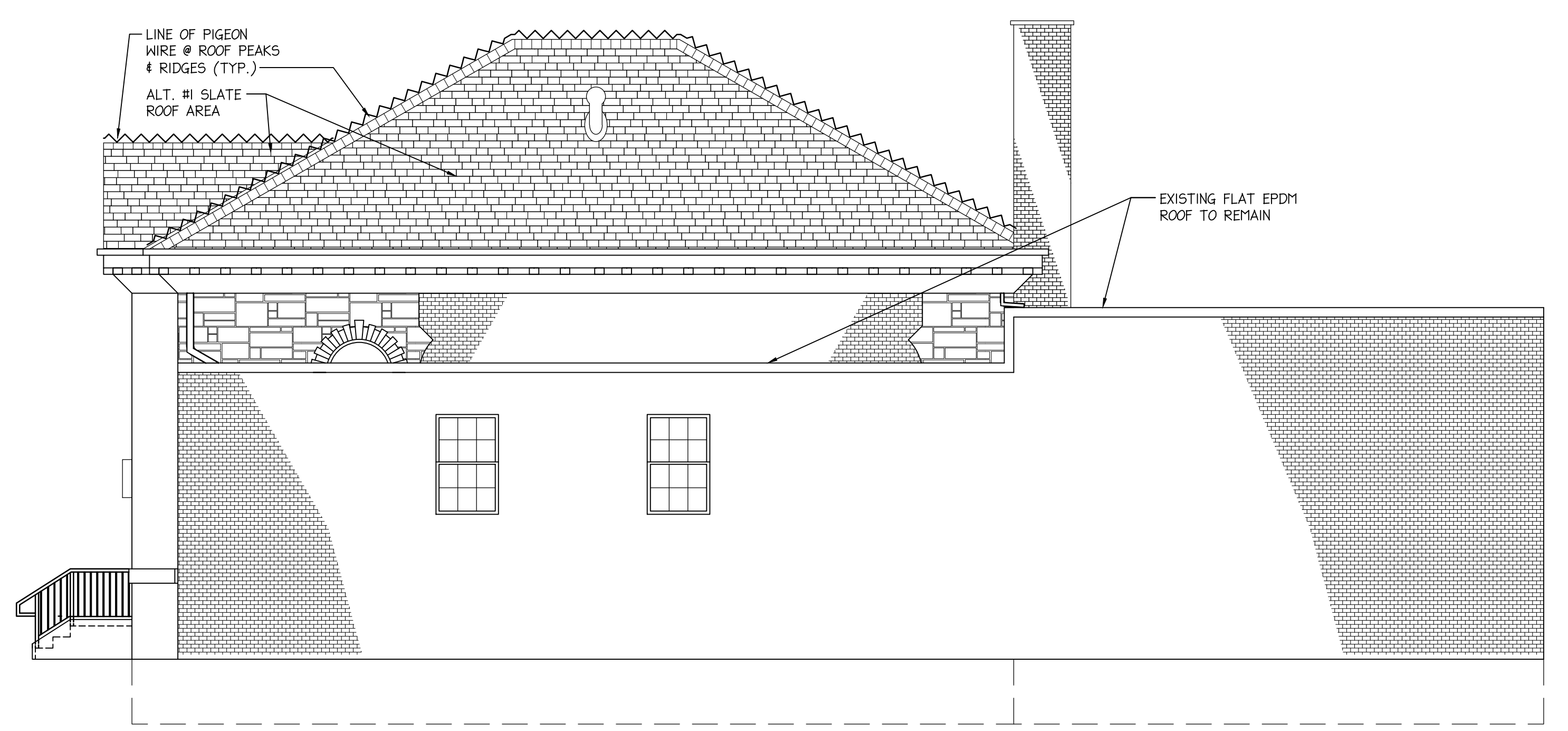


**1 ALTERNATE #1 ROOF PLAN**  
 ALT-1 SCALE: 1/4" = 1'-0"

ALTERNATE #1 - CONTRACTOR TO PROVIDE PRICE TO REMOVE EXISTING SLATE ROOF & COPPER PERIMETER AND INSTALL NEW SLATE ROOF SYSTEM w/ COPPER PERIMETER.



**2 ALTERNATE #1 FRONT ELEVATION**  
 ALT-1 SCALE: 3/16" = 1'-0"



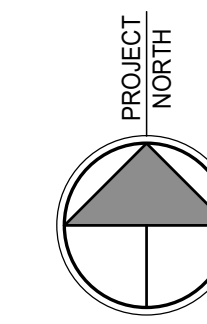
**3 ALTERNATE #1 RIGHT SIDE ELEVATION**  
 ALT-1 SCALE: 3/16" = 1'-0"

No.	DATE	DESCRIPTION	REV'D BY
	1/7/25	ISSUED FOR BID	
REVISIONS			
APPROVAL:		PROJECT:	
		<b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE:          GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER          3 SOUTH BLACK HORSE PIKE          BLACKWOOD, NEW JERSEY, 08012</b>	
<b>Joseph F. McKernan Jr., Architects &amp; Associates</b> 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: <b>EXTERIOR ELEVATIONS &amp;          ROOF PLAN</b>	
JOSEPH F. MCKERNAN JR., R.A. <small>NJ ARCH. NO. 0084 - PA ARCH. RA-0042 - CT ARCH. 7034</small>		SEAL:	DRAWING NO: <b>ALT-1</b>
<small>CONTRACTOR MUST BE VERIFIED BY PROJECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.</small>		SCALE: AS NOTED PROJECT NO: 1016H DATE: 1/7/25 REV'D: GES DRAWN BY: GES CHECKED BY: PJC/GES	REVISIONS & WORK: <small>REVISION 001</small>









### BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

1. FINISH FLOOR ELEVATION = -3'-5" FROM DATUM EL. 0'-0". U.N.O. FIELD VERIFY EXISTING FLOOR ELEVATIONS.
2. BOTTOM OF FOOTING ELEVATION SHALL BE -1'-0" BELOW FINISH FLOOR ELEVATION UNLESS NOTED THUS (-#'-#") ON PLAN.
3. (E) & EXIST' DENOTES EXISTING.
4. [Symbol] DENOTES EXTENT OF REINFORCED CONC WALLS. SEE PLAN AND APPLICABLE SECTIONS FOR THICKNESS AND REINFORCING.
5. SECTIONS SHOWN ON PLAN APPLY TO SIMILAR CONDITIONS THROUGHOUT THE BUILDING.
6. SEE DRAWINGS S0.0 THRU S0.2 FOR STRUCTURAL NOTES.
7. \* DENOTES BOTTOM OF NEW FOUNDATION TO MATCH BOTTOM OF EXISTING FOUNDATION. BOTTOM OF EXISTING FOUNDATION TO BE FIELD VERIFIED.
8. ALL EXISTING CONDITIONS MUST BE FIELD VERIFIED BEFORE ANY NEW WORK IS PERFORMED.
9. (VIF) DENOTES TO VERIFY IN FIELD.
10. SEE ARCHITECTURAL DRAWINGS FOR ALL REQUIRED DEMOLITION PRIOR TO START OF NEW WORK.

**FOUNDATION ELECTRICAL GROUNDING NOTE:**  
 THE BUILDING ELECTRICAL GROUNDING SYSTEM SHALL BE BONDED TO THE FOUNDATION REBAR IN ACCORDANCE WITH THE REQUIREMENTS OF N.J.A.C. 5:23-3.4 AND N.E.C. 2014, SECTION 250-52 (A) (3). CONTRACTOR SHALL COORDINATE WITH PROJECT ELECTRICAL DRAWINGS FOR REQUIREMENTS. ATTACHMENT OF ELECTRICAL GROUNDING SYSTEM TO FOUNDATION REBAR SHALL BE MADE PRIOR TO PLACEMENT OF CONCRETE FOR THE FOUNDATION.

### FOOTING SCHEDULE

MARK	SIZE	REINFORCING
F20.12	2'-0"x1'-0" CONT	(3) #4 LONG WAY BOT #4 @ 12" SHORT WAY BOT
F30	3'-0"x3'-0"x1'-0"	(4) #4 BOT EACH WAY

#### FOOTING SCHEDULE NOTES:

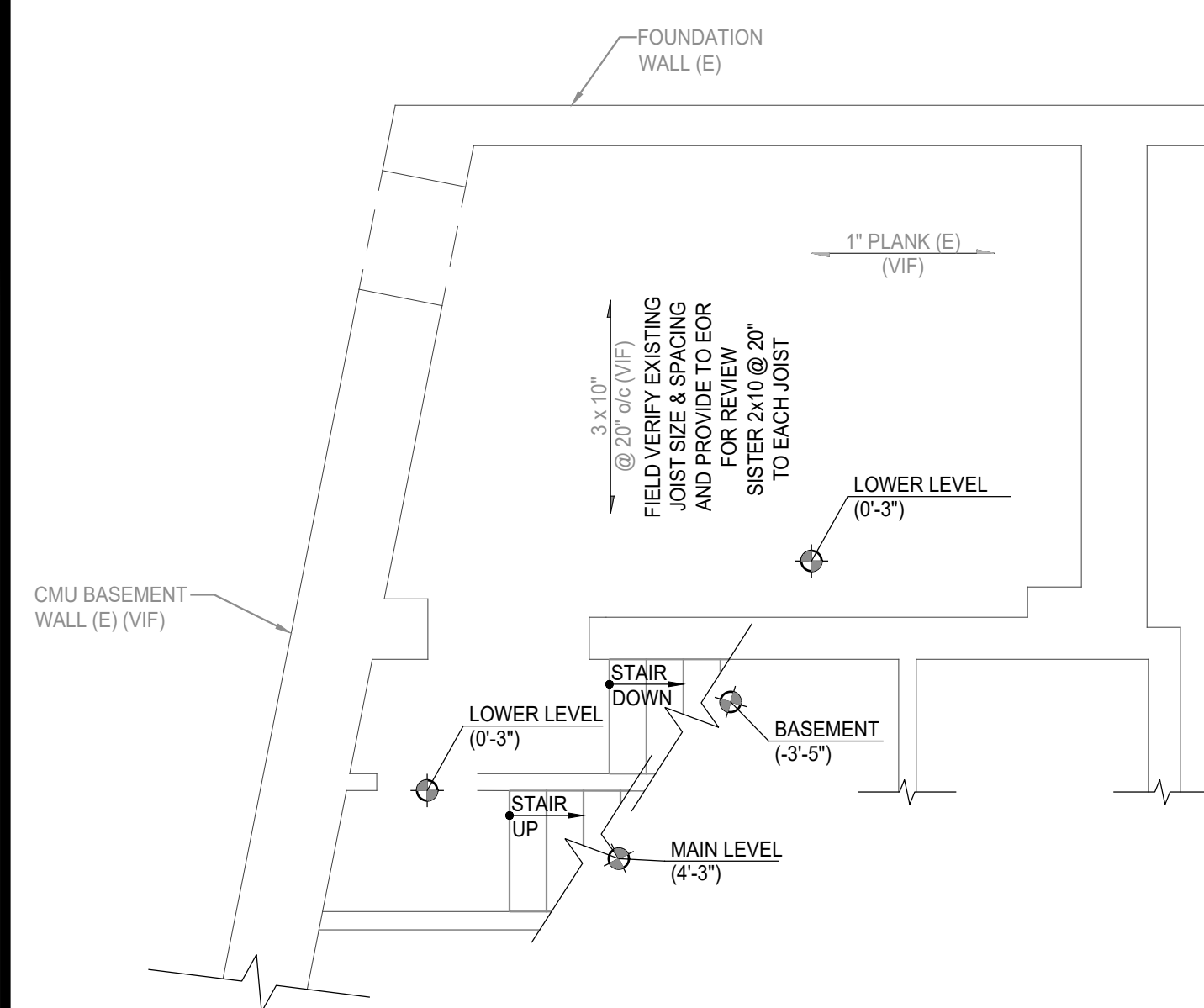
1. ALL FOUNDATIONS HAVE BEEN DESIGNED USING A SAFE ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF.
2. REFER TO THE FOUNDATION INVESTIGATION REPORT LISTED IN THE STRUCTURAL NOTES ON DRAWING S-X FOR ADDITIONAL INFORMATION REGARDING THE FOUNDATION CONSTRUCTION.

### WOOD POST SCHEDULE

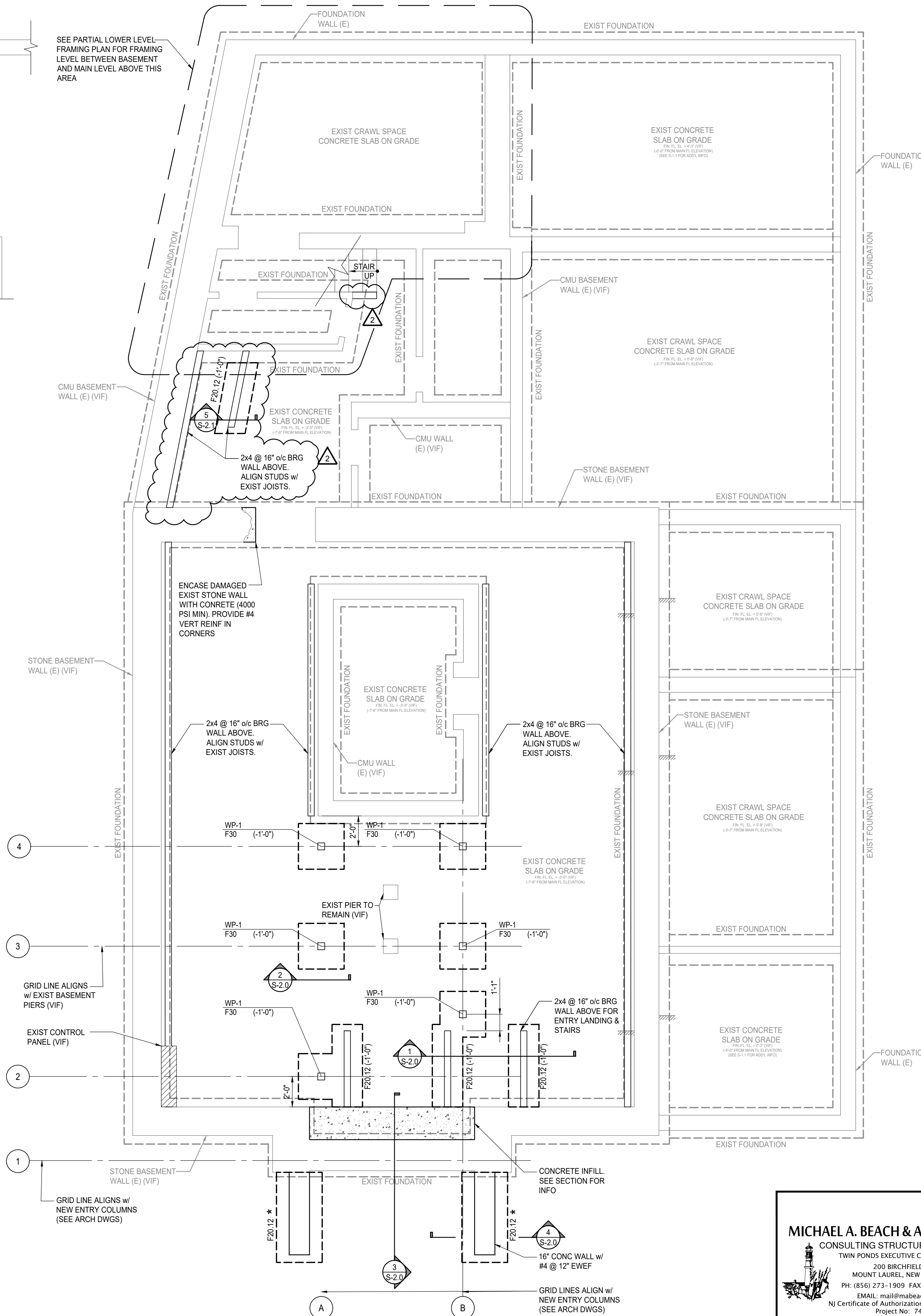
MARK	SIZE	COLUMN BASE CONNECTION	COLUMN CAP CONNECTION
WP-1	6x6 PT POST	(2) SIMPSON RPBZ & 1" CFS STANDOFF w/ (4) 3/8" HILTI KWIK BOLT T2 (STD EMBED) TO CONC & (8) 1/4" x 1 1/2" SDS TO POST	SIMPSON BC52-3/6 w/ (12) 0.162 x 3 1/2" NAILS TO BEAM & (8) 0.162 x 3 1/2" NAILS TO POST
ALTERNATE CONNECTIONS		SIMPSON AB466Z w/ (1) 5/8" HILTI KWIK BOLT T2 (STD EMBED) TO CONC & (8) 0.162 x 3 1/2" NAILS TO POST	SIMPSON CCG4 62-S-50SDS w/ (16) 1/4" x 2 1/4" SDS SCREWS TO BEAM & (14) 1/4" x 2 1/4" SDS SCREWS TO POST

#### NOTES:

1. PT POSTS TO BE SOUTHERN PINE No. 1



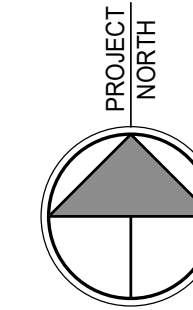
**PARTIAL LOWER LEVEL FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



**MICHAEL A. BEACH & ASSOCIATES, LLC**  
 CONSULTING STRUCTURAL ENGINEERING  
 TWIN PONDS EXECUTIVE CAMPUS, SUITE 205  
 200 BIRCHFIELD DRIVE  
 MOUNT LAUREL, NEW JERSEY 08054  
 PH: (856) 273-1909 FAX: (856) 273-1480  
 EMAIL: mail@mabeach.com  
 NJ Certificate of Authorization No. 24GA27962200  
 Project No. 747.216

TIMOTHY D. JENNINGS  
 PROFESSIONAL ENGINEER  
 NJ LIC. NO. 24GE03838500

1/7/2025	ISSUED FOR BID - PHASE 2	TDU & WB
4/3/2024	RFI #11-14 COORDINATION	TDU
12/05/2023	PERMIT SET	TDU & WB
No.	DATE	DESCRIPTION
REVISIONS		
APPROVAL:	PROJECT:	
INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLoucester TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
<b>Joseph F. McKernan Jr., Architects &amp; Associates</b> 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: <b>FOUNDATION PLAN</b>
JOSEPH F. MCKERNAN JR., R.A. <small>NO. ARCH. IN 10864 PA. ARCH. 64-01482-1, CT. ARCH. 7234</small>	SCALE: AS NOTED PROJNO: 1016H DATE: 1/7/25 REVNO: 1 DRAWN BY: AD/UG CHECKED BY: TDU	DRAWING NO: <b>S-1.0</b>



### MAIN FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

DESIGN LIVE LOAD = 100 PSF

1. FINISH FLOOR ELEVATION = + 4'-3" FROM DATUM ELEVATION 0'-0" (TYP UNO) (VIF).
2. 3/4" DENOTES SPAN OF 3/4" PLYWOOD FLOORING. SEE PLAN FOR NAILING REQUIREMENTS.
3. SECTIONS SHOWN ON PLAN APPLY TO SIMILAR CONDITIONS THROUGHOUT THE BUILDING.
4. SEE DRAWINGS S0.0 THRU S0.2 FOR STRUCTURAL NOTES.
5. ALL EXISTING CONDITIONS MUST BE FIELD VERIFIED BEFORE ANY NEW WORK IS PERFORMED.
6. (VIF) DENOTES TO VERIFY IN FIELD.
7. SEE ARCHITECTURAL DRAWINGS FOR ALL REQUIRED DEMOLITION PRIOR TO START OF NEW WORK.
8. (E) & 'EXIST' DENOTES EXISTING.
9. [Hatched Area] DENOTES EXTENT OF FLOOR OVER-FRAMING.
10. (LO) DENOTES TOP OF BEAM TO BE AT UNDERSIDE OF JOISTS.

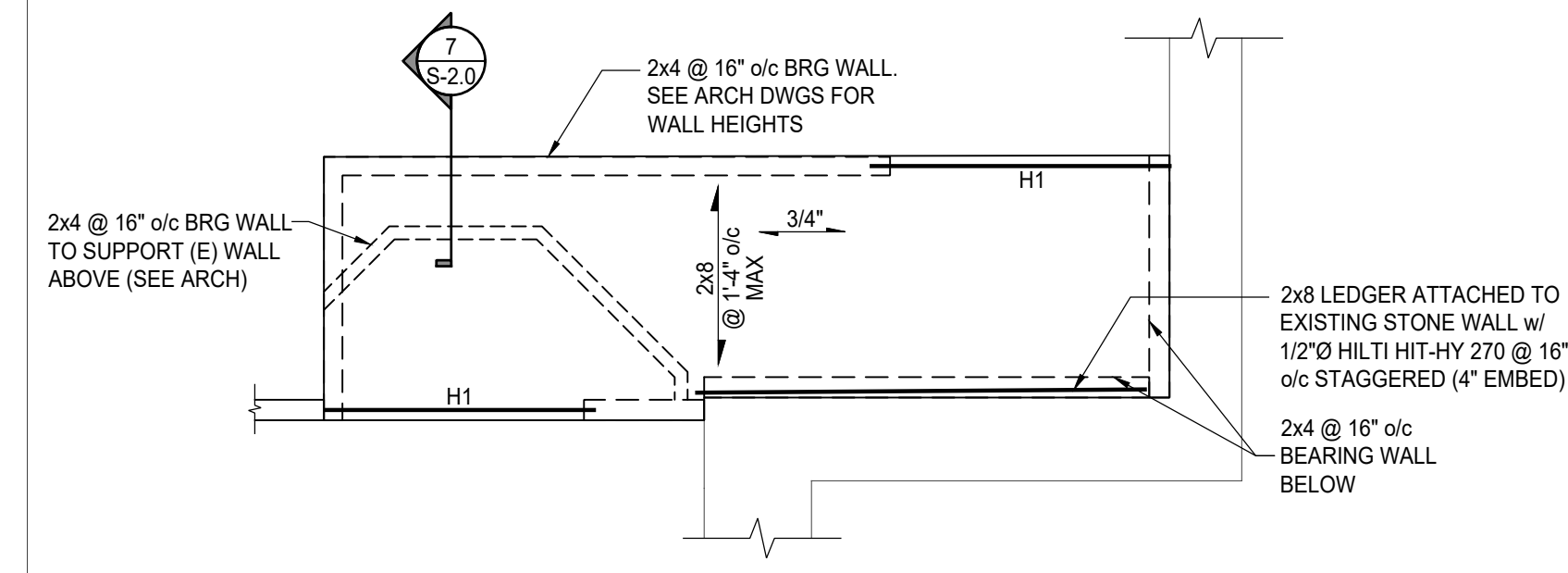
**STUD BEARING WALL CONSTRUCTION NOTE**  
 1. ALL STUDS IN BEARING WALLS SHALL MEET MINIMUM PROPERTIES OF SPF No 1/2. SEE STRUCTURAL NOTES FOR MORE INFORMATION.  
 2. ALL BEARING WALL STUDS SHALL BE AT A MAXIMUM 16" o/c SPACING & SHALL ALIGN WITH FLOOR JOISTS FOR FULL HEIGHT OF WALL. WHERE A JOIST DOES NOT ALIGN WITH THE STUD, A STUD SHALL BE ADDED.

**NOTE FOR PLYWOOD**  
 PLYWOOD FOR FLOORS SHALL BE 23/32" THICK (3/4" NOMINAL), 24" SPAN RATING APA RATED SHEATHING, EXPOSURE 1. ALL JOINTS SHALL BE STAGGERED. ALL EDGES SHALL BE TONGUE & GROOVE NAIL TO SUPPORTING FLOOR STRUCTURE W/10d NAILS @ 6" o/c AT SUPPORTED PANEL EDGES. SPACE 10d NAILS AT MAX 12" o/c ALONG INTERMEDIATE FRAMING MEMBERS.

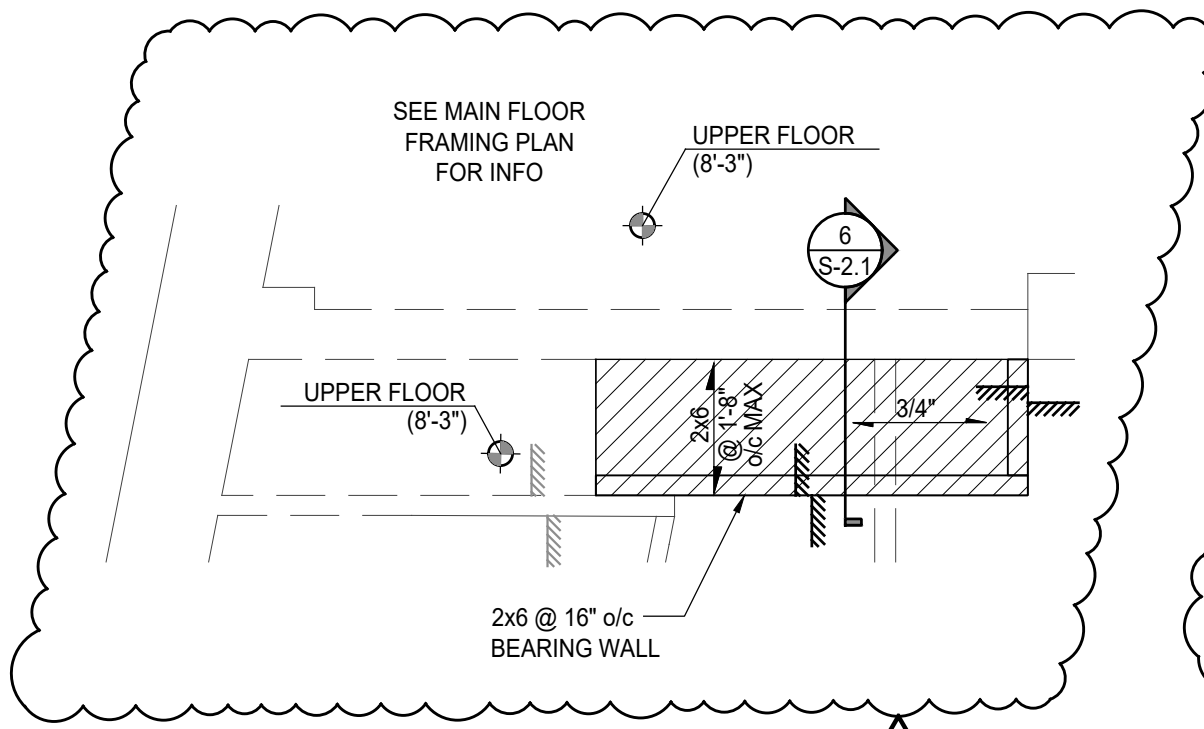
### HEADER SCHEDULE

MARK	SIZE	REMARKS
H1	(2) 2x10 w/ 1/2" PLYWOOD SPACER	-----

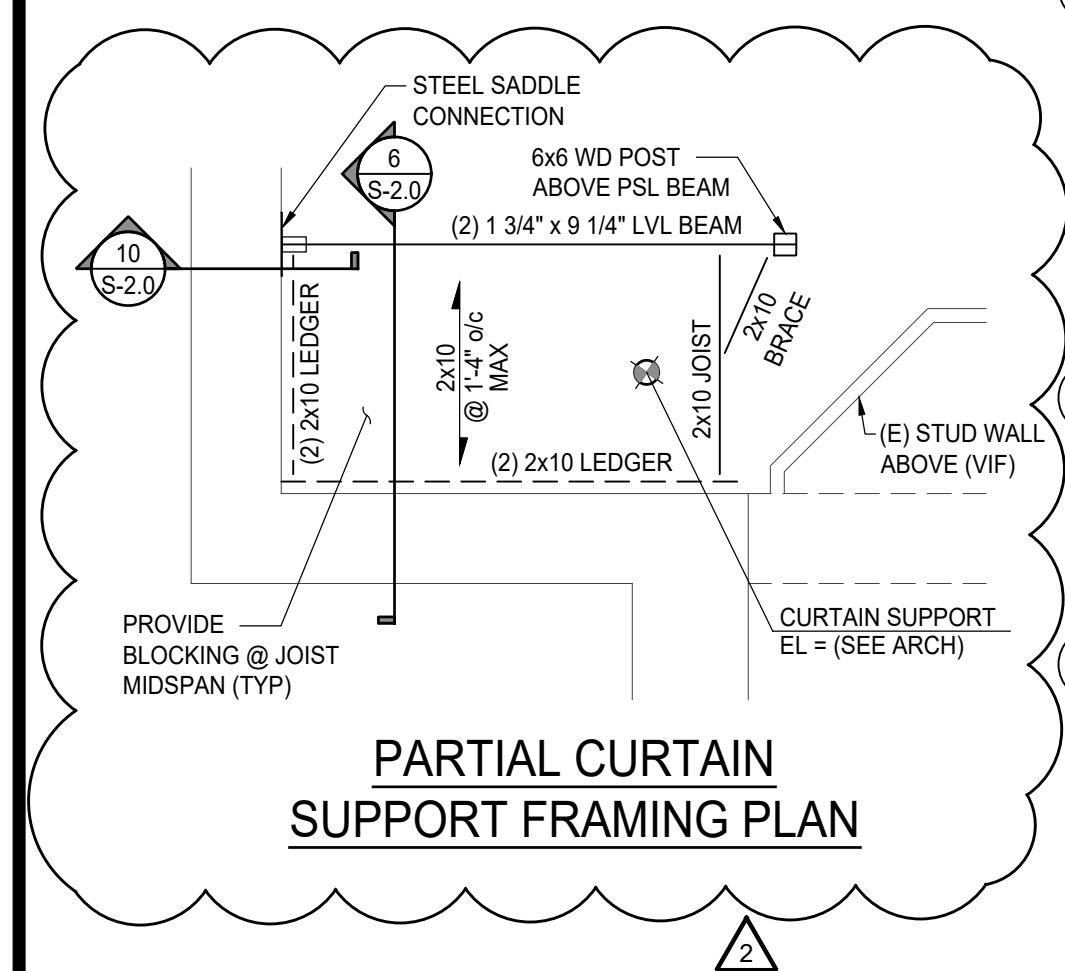
1. WOOD FOR ALL HEADERS SHALL BE SPRUCE-PINE-FIR #1/2 (UNO). SEE NOTES ON S0.0-S0.2 FOR MORE INFO.
2. PROVIDE A MINIMUM OF (1) KING STUD & (2) JAMB STUDS @ ALL INTERIOR HEADER & WOOD BEAM BEARING (UNO); PROVIDE A MINIMUM OF (2) KING STUD & (3) JAMB STUDS @ ALL EXTERIOR HEADER & WOOD BEAM BEARING (UNO).



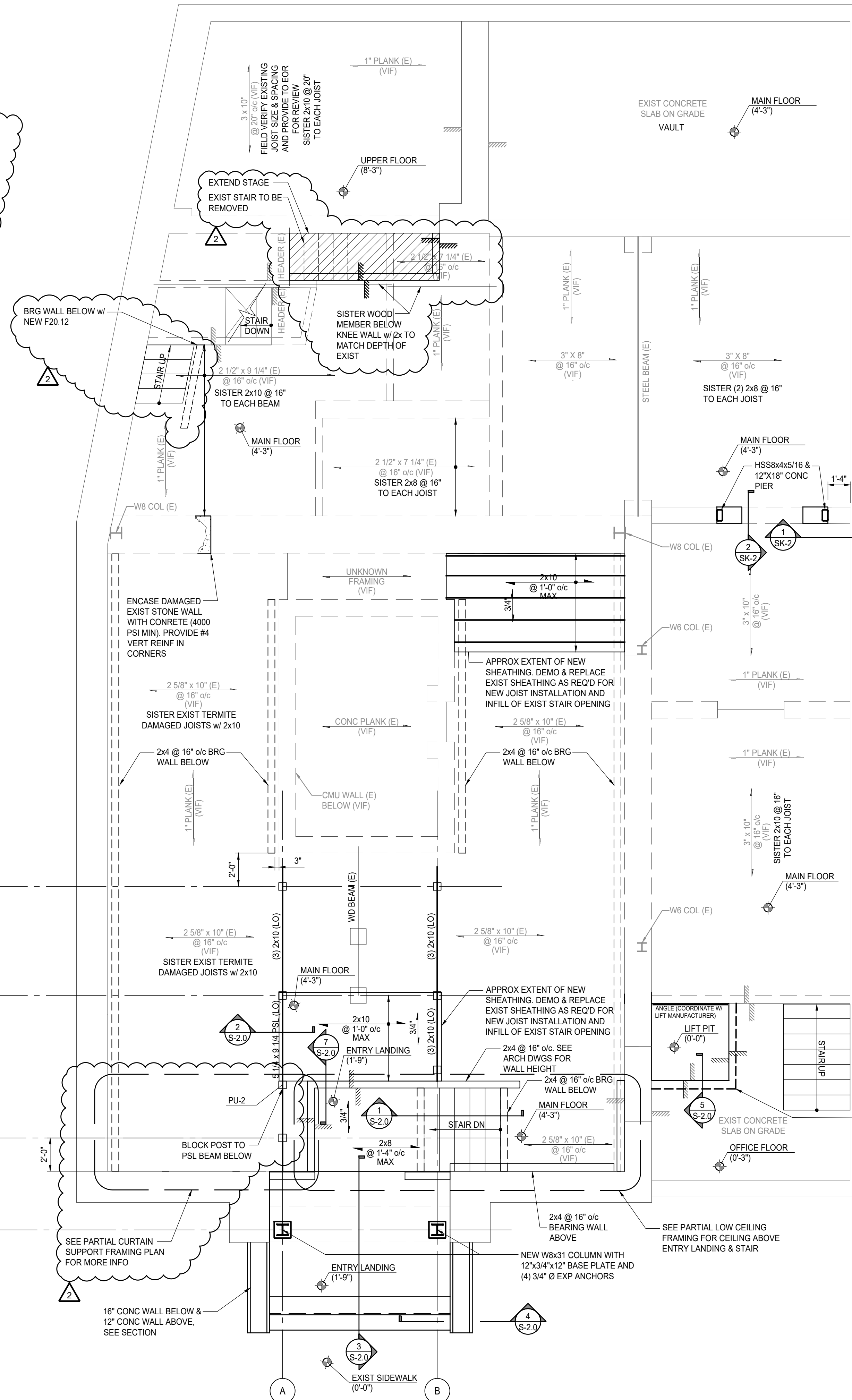
PARTIAL LOW CEILING ABOVE ENTRY LANDING & STAIR FRAMING PLAN



PARTIAL STAGE EXTENSION FRAMING PLAN



PARTIAL CURTAIN SUPPORT FRAMING PLAN



No.	DATE	DESCRIPTION	REV'D BY
1	1/7/2025	ISSUED FOR BID - PHASE 2	TJU & WB
2	4/3/2024	RFI #11-14 COORDINATION	TJU
3	12/05/2023	PERMIT SET	TJU & WB

APPROVAL:	PROJECT:
	INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012

APPROVAL:	PROJECT:
	<b>MAIN FLOOR FRAMING PLAN</b>

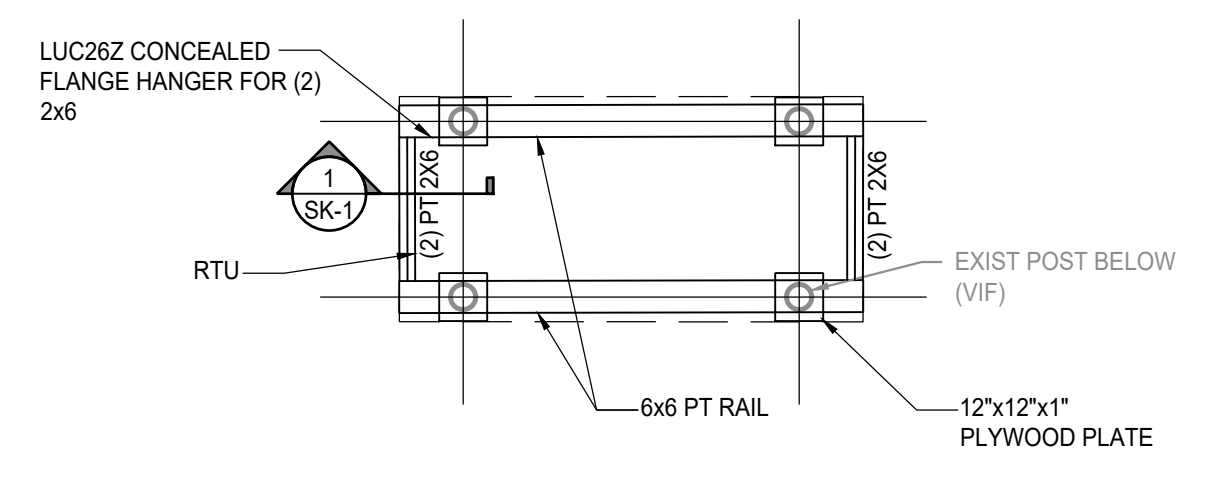
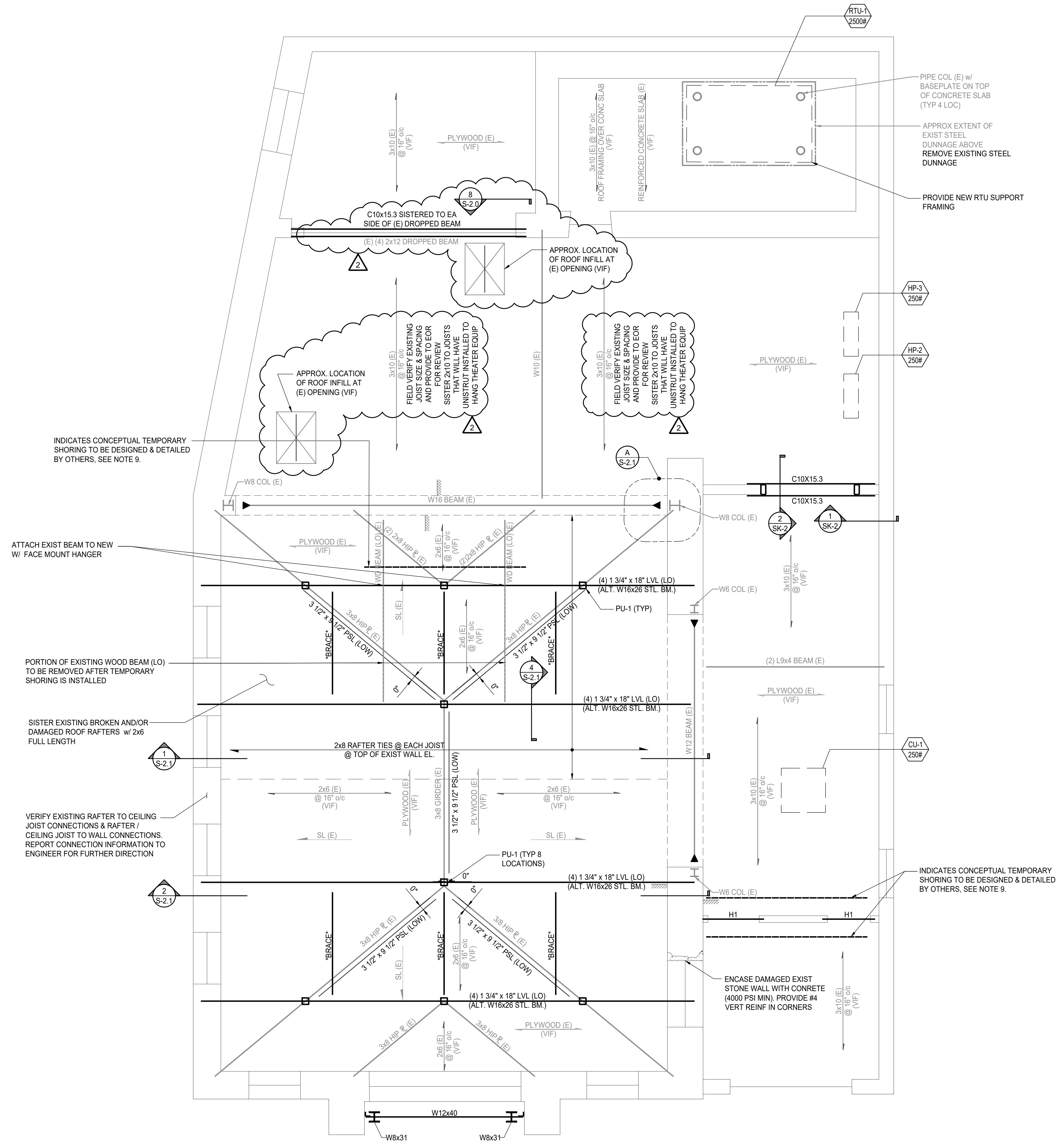
NO.	DATE	DESCRIPTION	REV'D BY
1	1/7/25	SCALE: AS NOTED	TJU
2	4/3/24	PROJNO: 1016H	TJU
3	12/05/2023	DATE: 1/7/25	TJU

**MICHAEL A. BEACH & ASSOCIATES, LLC**  
 CONSULTING STRUCTURAL ENGINEERING  
 TWIN PONDS EXECUTIVE CAMPUS, SUITE 205  
 200 BIRCHFIELD DRIVE  
 MOUNT LAUREL, NEW JERSEY 08054  
 PH: (856) 273-1909 FAX: (856) 273-1480  
 EMAIL: mail@mabeachassoc.com  
 NJ Certificate of Authorization No. 24GA27962200  
 Project No. 747.216

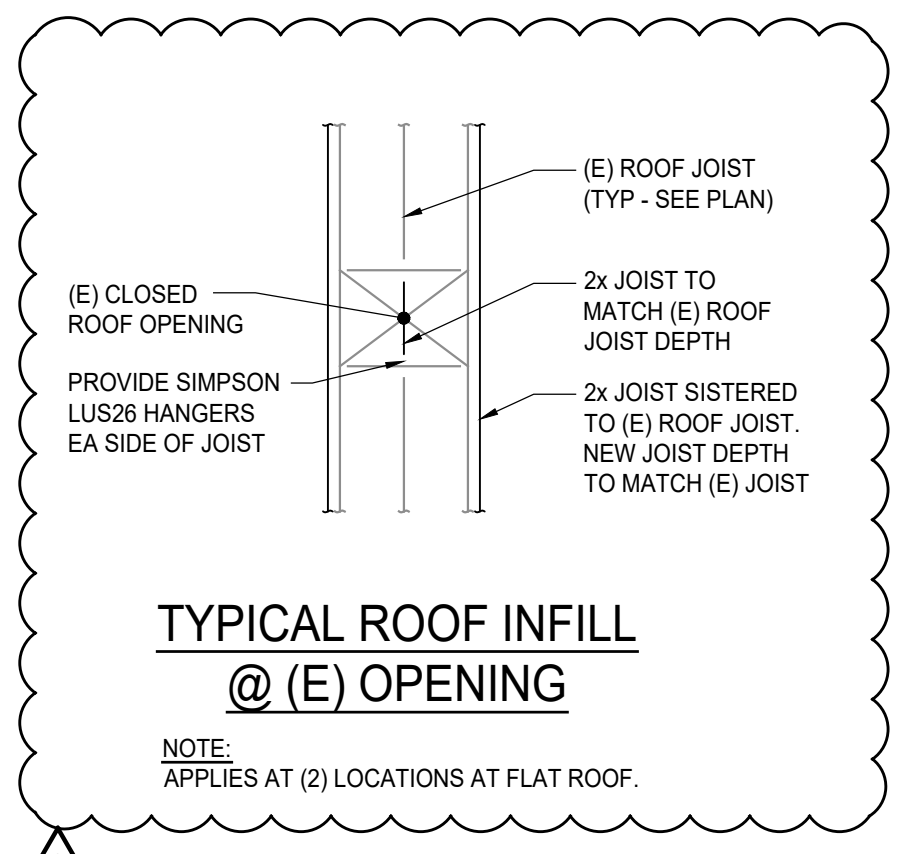
TIMOTHY D. JENNINGS  
 PROFESSIONAL ENGINEER  
 NJ LIC. NO. 24GE03838500

S-1.1





**RTU SUPPORT FRAMING**



**ROOF FRAMING PLAN**

SCALE: 1/4" = 1'-0"

DESIGN LIVE LOAD = 30 PSF

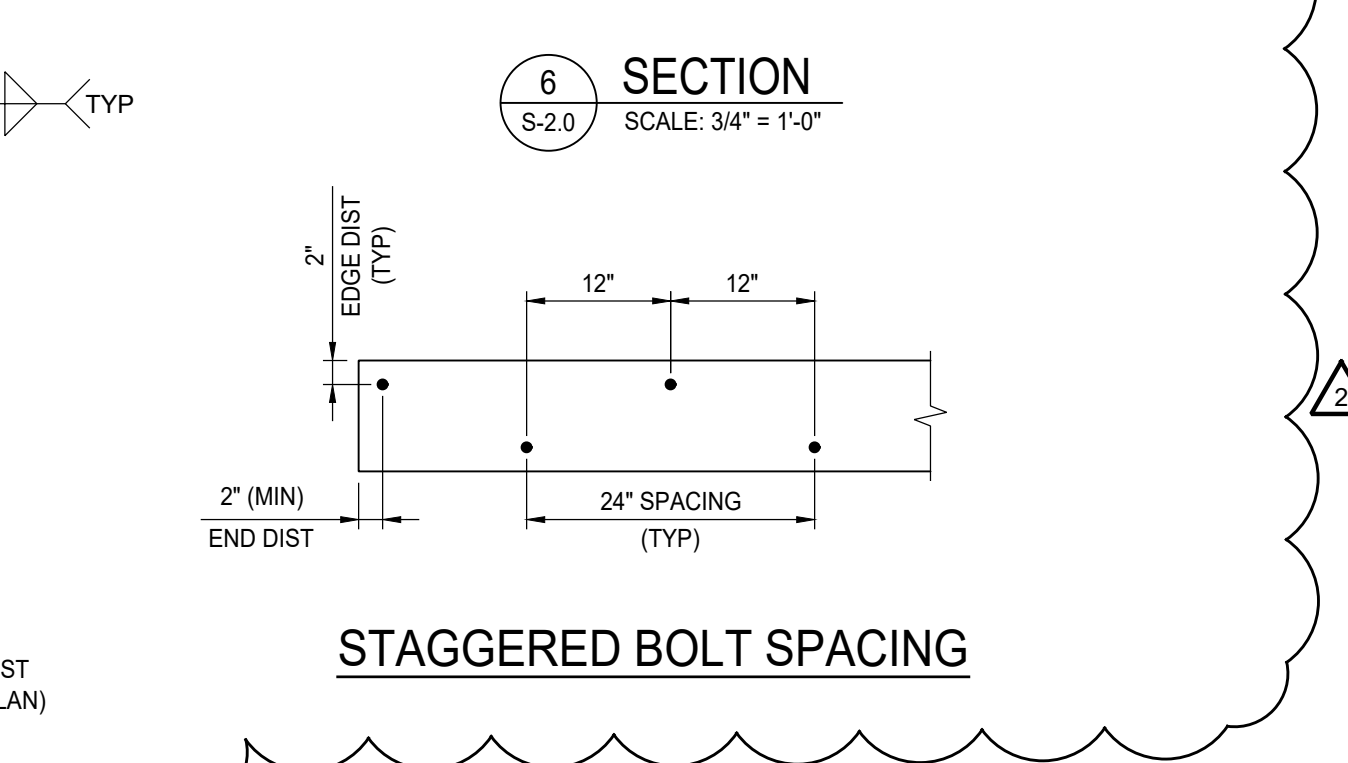
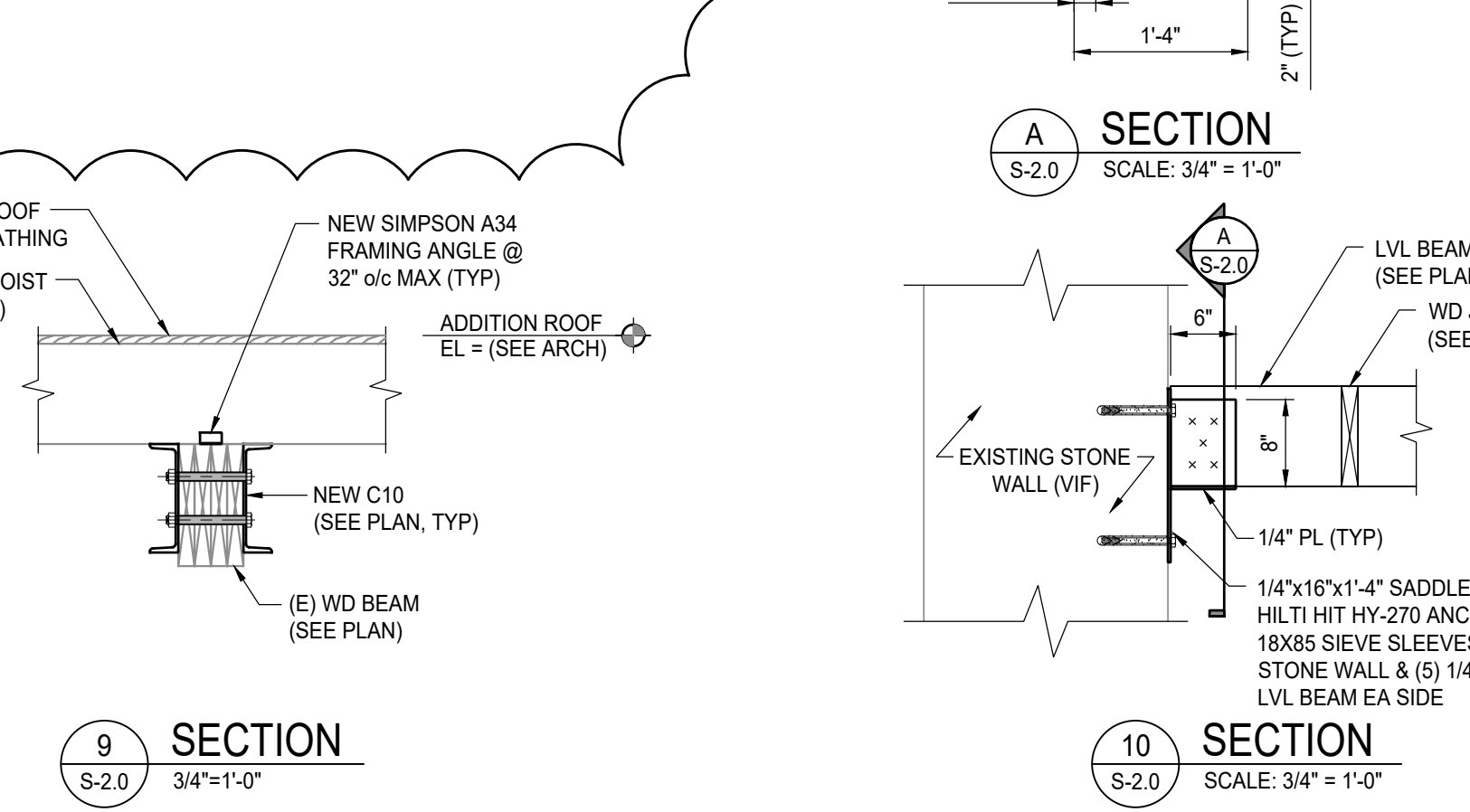
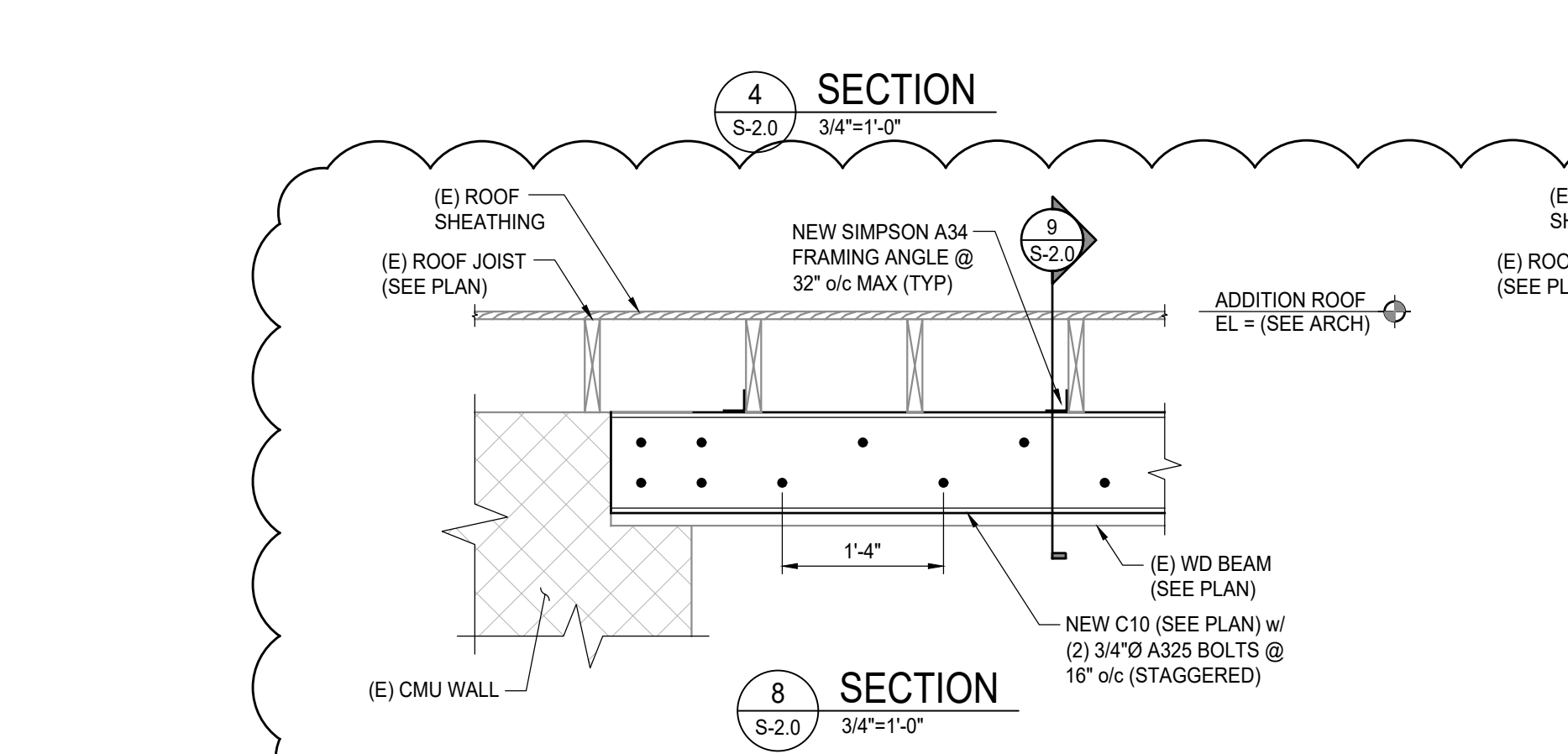
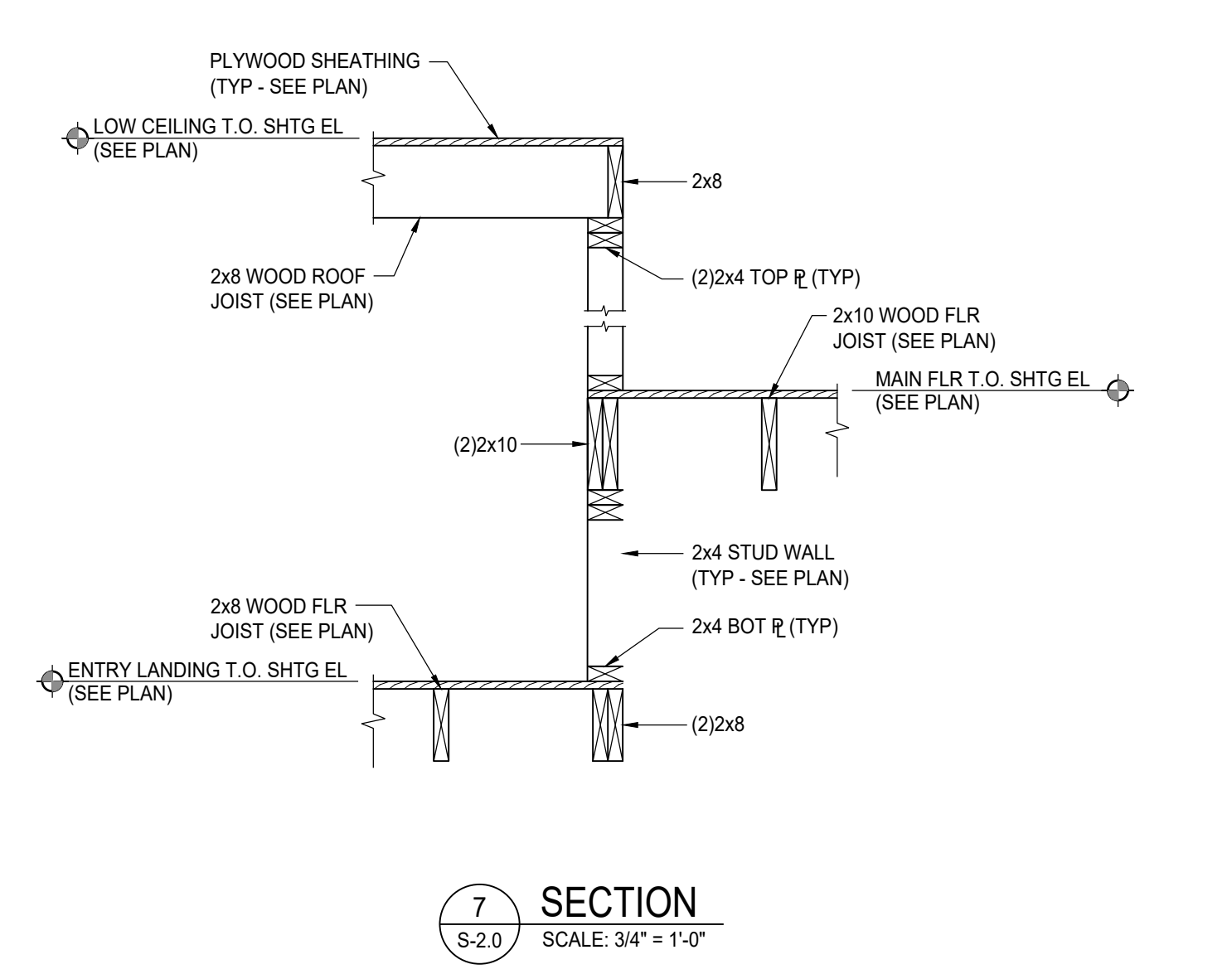
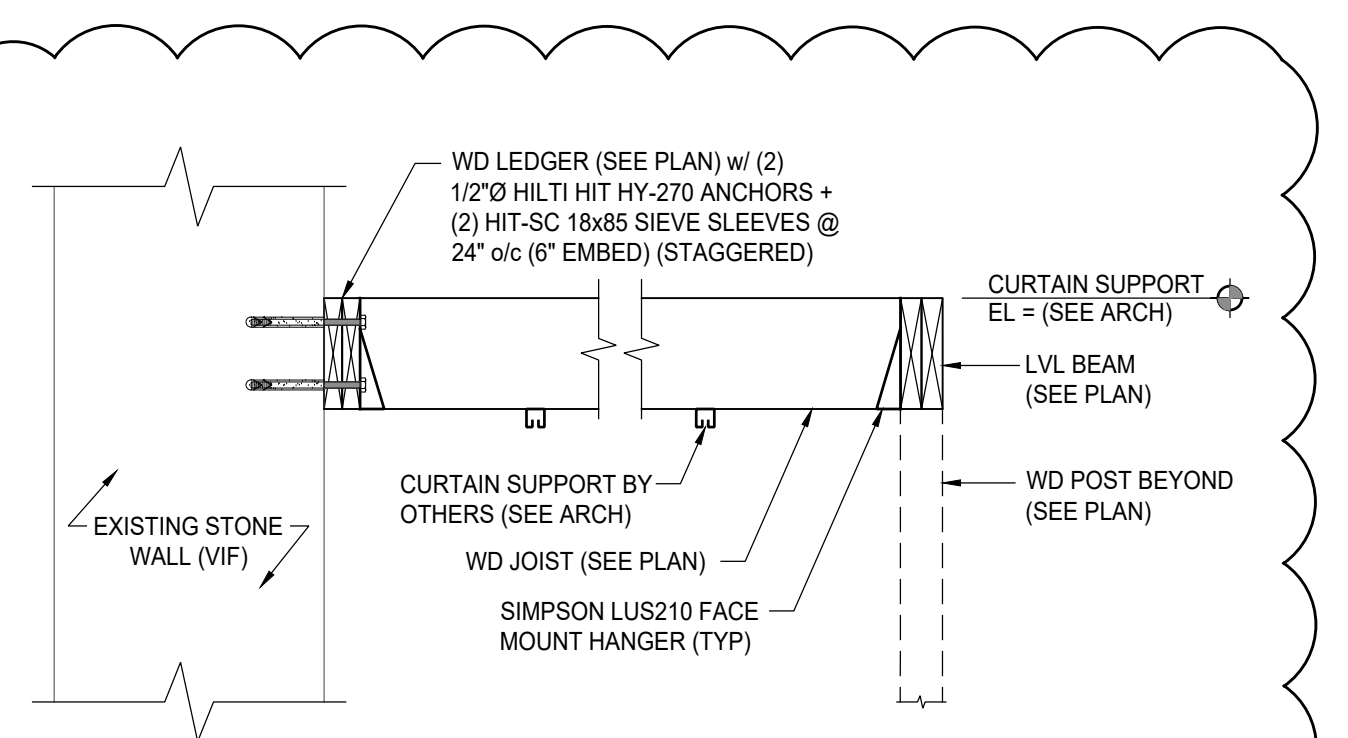
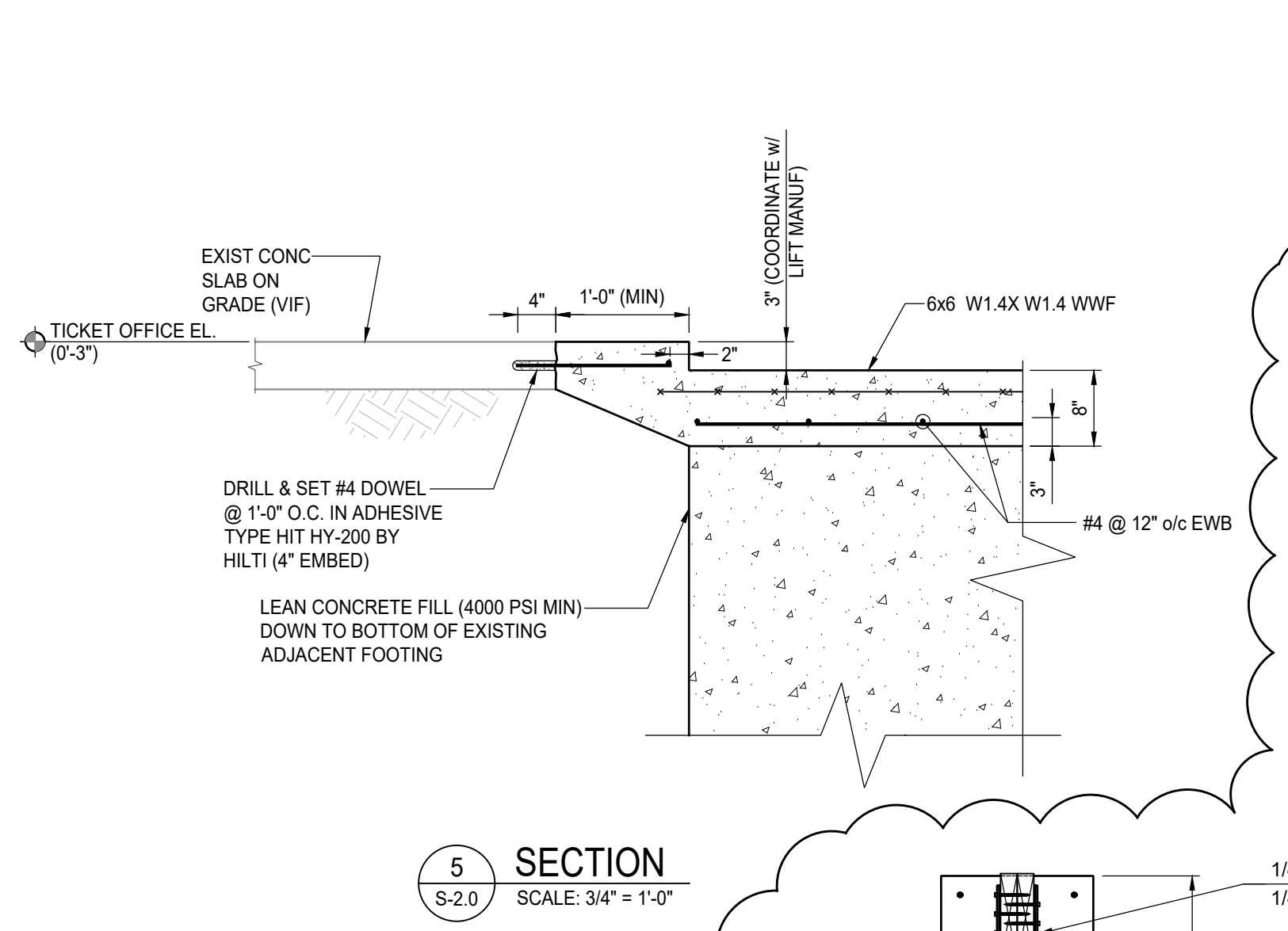
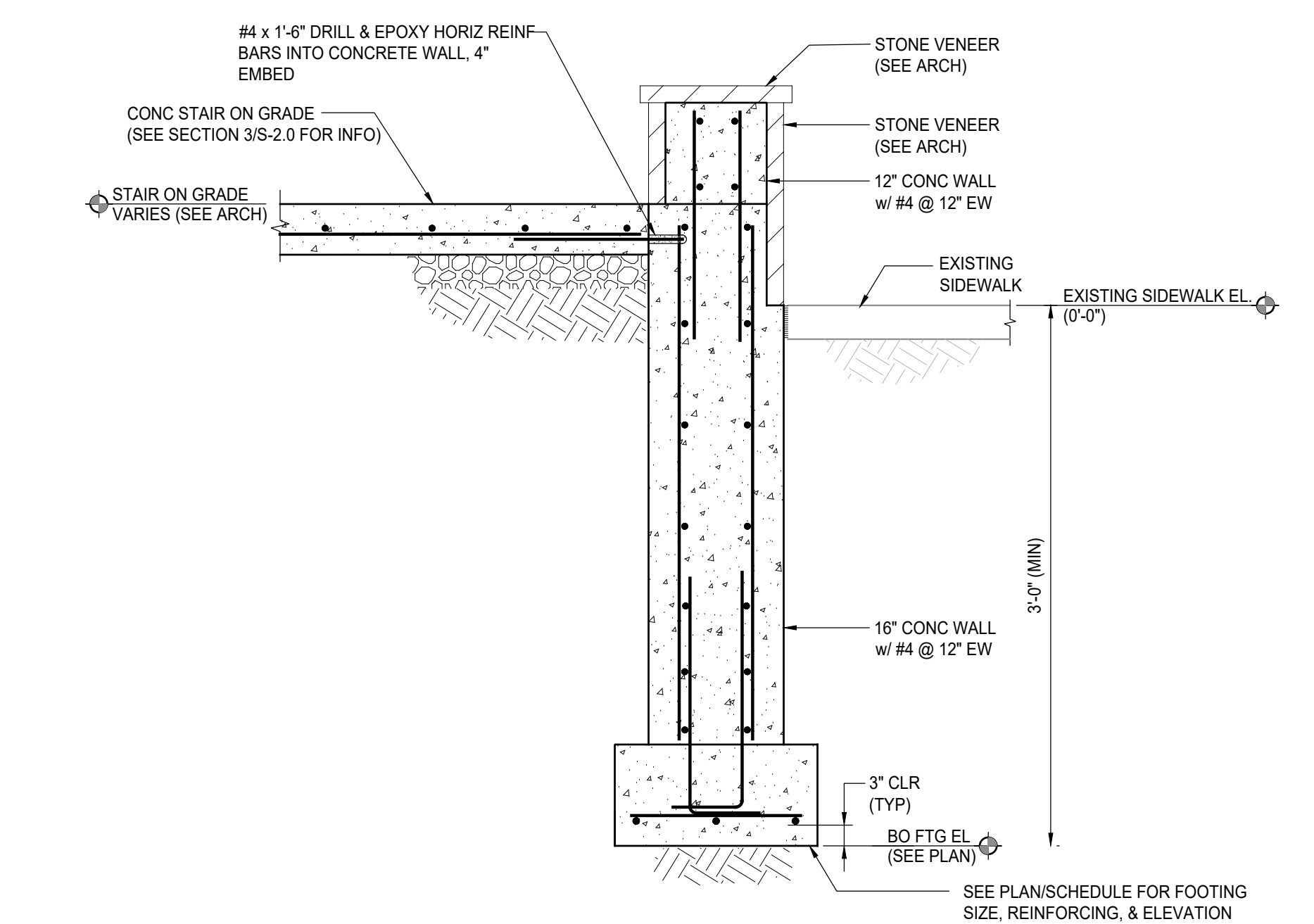
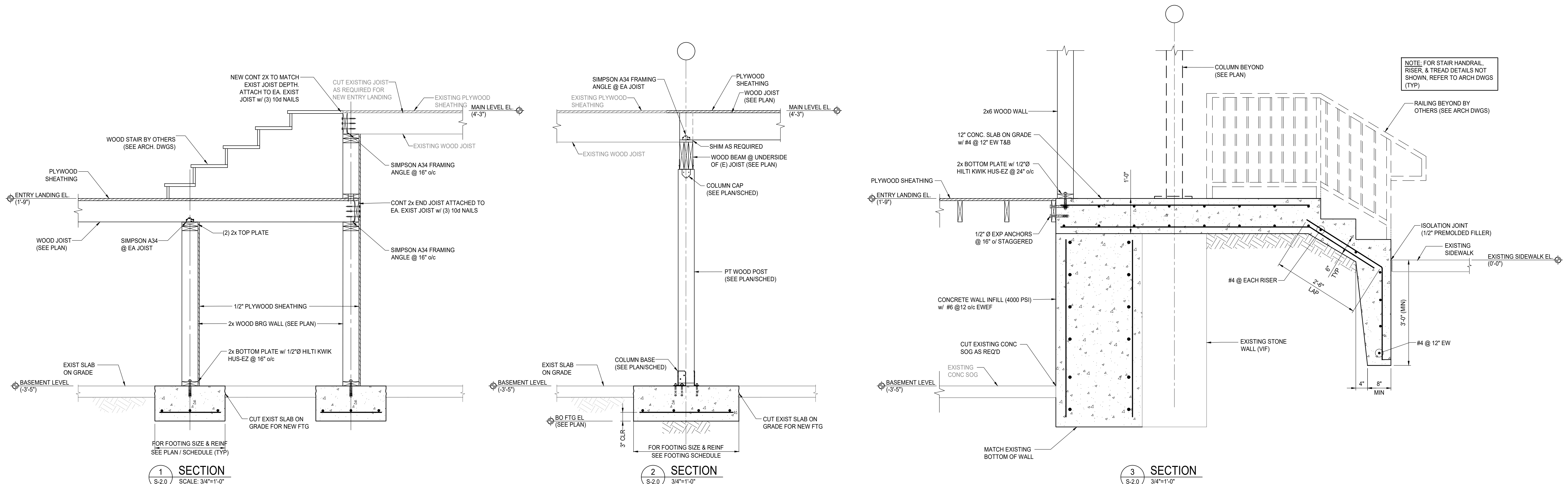
- EXISTING ROOF ELEVATIONS VARY (VIF).
- DENOTES BEAM TO COLUMN MOMENT CONNECTION. SEE DETAIL ON S-2.0.
- SECTIONS SHOWN ON PLAN APPLY TO SIMILAR CONDITIONS THROUGHOUT THE BUILDING.
- SEE DRAWINGS S0.0 THRU S0.2 FOR STRUCTURAL NOTES.
- ALL EXISTING CONDITIONS MUST BE FIELD VERIFIED BEFORE ANY NEW WORK IS PERFORMED.
- (VIF) DENOTES TO VERIFY IN FIELD.
- SEE ARCHITECTURAL DRAWINGS FOR ALL REQUIRED DEMOLITION PRIOR TO START OF NEW WORK.
- (E) & 'EXIST' DENOTES EXISTING.
- CONCEPTUAL SHORING IS SHOWN ON PLAN. DESIGN AND DETAIL OF TEMPORARY SHORING IS A DELEGATED DESIGN. SEE DELEGATED DESIGN SCHEDULE ON S0.2 FOR ADDITIONAL INFORMATION. TEMPORARY SHORING TO BE PROVIDED ON THE JOB AS REQUIRED FOR NEW WORK.
- 'BRACE' INDICATES (2) 2x10 BEAM BRACE @ 1/4 POINTS OF BEAM (MAX 10' O.C., V.I.F.) (ALT. W6x15 STL BM.) SEE DETAILS ON S-2.1 FOR ADDITIONAL INFORMATION.
- (LO) INDICATES BOTTOM OF BEAM TO BE AT TOP OF EXISTING WALL, SEE DETAILS ON S-2.1.
- (LOW) INDICATES TOP OF BEAM TO BE TIGHT TO UNDERSIDE OF EXISTING ROOF RIDGE AND HIP BEAMS.

WOOD POST-UP SCHEDULE			
MARK	SIZE	COLUMN BASE CONNECTION	COLUMN CAP CONNECTION
PU-1	5 1/4" x 5 1/4" LVL POST	SIMPSON CCG7-1-6SDS2.5 w/ (16) 1/4" x 2 1/2" SDS TO BEAM & (14) 1/4" x 2 1/2" SDS TO POST	SIMPSON ECCO3-6SD2.5 w/ (14) 1/4" x 2 1/2" SDS TO BEAM & (14) 1/4" x 2 1/2" SDS TO POST
PU-1 ALT. BID CONNECTION		(2) 1/4" PLATES WELDED TO BM TOP FLANGE w/ (2) 3/4" Ø BOLTS THROUGH PLATE AND POST	SIMPSON ECCO3-6SD2.5 w/ (14) 1/4" x 2 1/2" SDS TO BEAM & (14) 1/4" x 2 1/2" SDS TO POST
PU-2	6x6	SIMPSON CCG6SDS2.5 w/ (16) 1/4" x 2 1/2" SDS TO BEAM & (14) 1/4" x 2 1/2" SDS TO POST	SIMPSON ECCO4-6SDS2.5 w/ (14) 1/4" x 2 1/2" SDS TO BEAM & (14) 1/4" x 2 1/2" SDS TO POST

**MICHAEL A. BEACH & ASSOCIATES, LLC**  
 CONSULTING STRUCTURAL ENGINEERING  
 TWIN PONDS EXECUTIVE CAMPUS, SUITE 205  
 200 BIRCHFIELD DRIVE  
 MOUNT LAUREL, NEW JERSEY 08054  
 PH: (856) 273-1909 FAX: (856) 273-1480  
 EMAIL: mail@mabeachassoc.com  
 NJ Certificate of Authorization No. 24GA27962200  
 Project No. 747.216

TIMOTHY D. JENNINGS  
 PROFESSIONAL ENGINEER  
 NJ LIC. NO. 24GE03838500

1/7/2025	ISSUED FOR BID - PHASE 2	TJU & WB
4/3/2024	RFI #11-14 COORDINATION	TJU
12/05/2023	PERMIT SET	TJU & WB
No.	DATE	DESCRIPTION
REVISIONS		
APPROVAL:	PROJECT:	
<b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE:          GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		<b>TITLE: ROOF FRAMING PLAN</b>
JOSEPH F. MCKERNAN JR., R.A. <small>NY ARCH. # 10884 PA ARCH. #A-01402-1, CT ARCH. 7024</small>	SEAL:	DRAWING NO: <b>S-1.2</b>
<small>CONTRACTOR MUST BE VERIFIED BY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.</small>		SCALE: AS NOTED DATE: 1/7/25 REV'D: AD/CG DRAWN BY: TJU
<small>FORMER ARCHITECTS &amp; ENGINEERS</small>		<small>CHANGED BY: TJU</small>

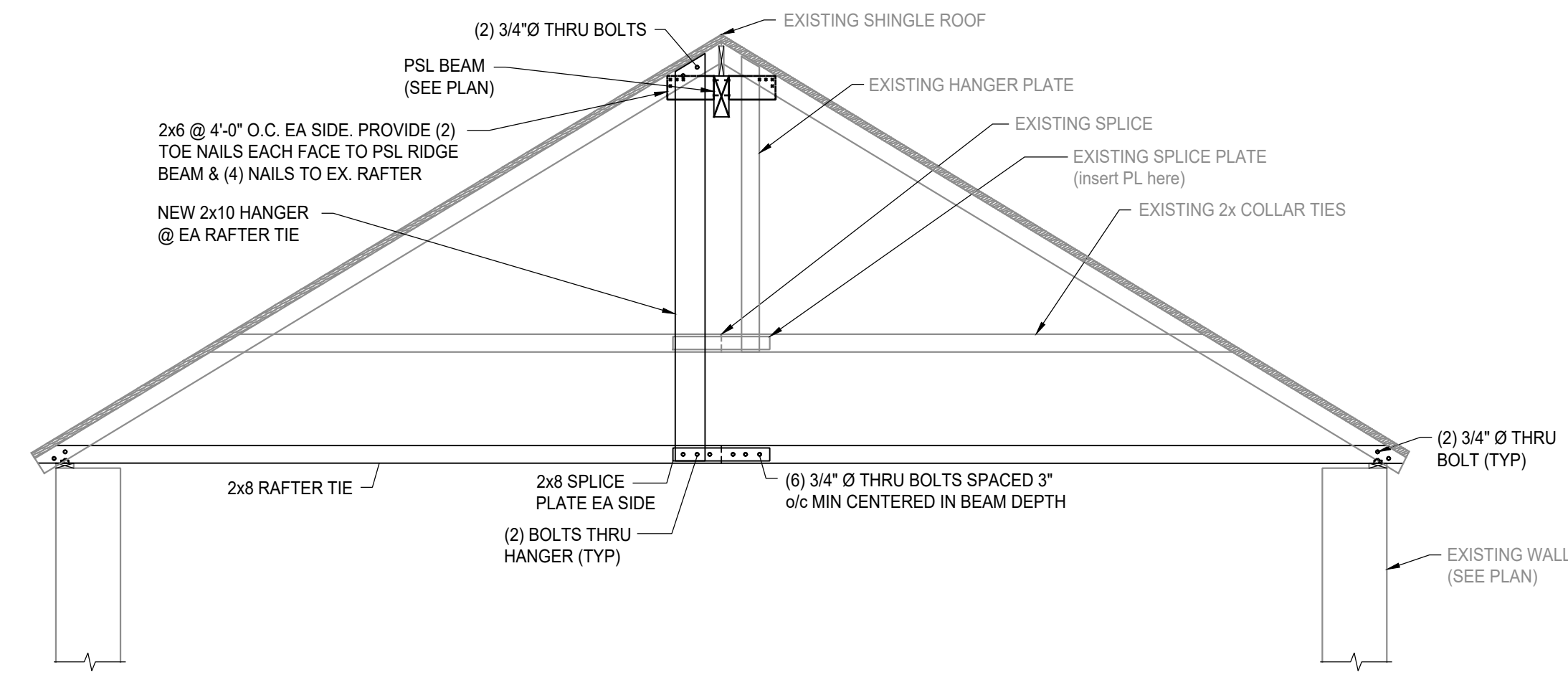


1/7/2025	ISSUED FOR BID - PHASE 2	TJU & WB
4/3/2024	RFI #11-14 COORDINATION	TJU
12/05/2023	PERMIT SET	TJU & WB
No.	DATE	DESCRIPTION
REVISIONS		
APPROVAL:	PROJECT:	
<b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
<b>Joseph F. McKernan Jr., Architects &amp; Associates</b> 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		<b>SECTIONS &amp; DETAILS</b>
JOSEPH F. MCKERNAN JR., R.A. <small>RA 08034-10864 PA 08034-01482-1 CT 06037-7324</small>	SEAL:	SCALE: AS NOTED PROJECT: 1016H DATE: 1/7/25 REV'D: DRAWN BY: AD/CG CHECKED BY: TJU
<small>CONTRACTOR MUST BE VERIFIED BY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. VERIFY WITH ARCHITECT.</small>		
<small>FORMING, BRACING &amp; REBAR: REPRINT CODE</small>		

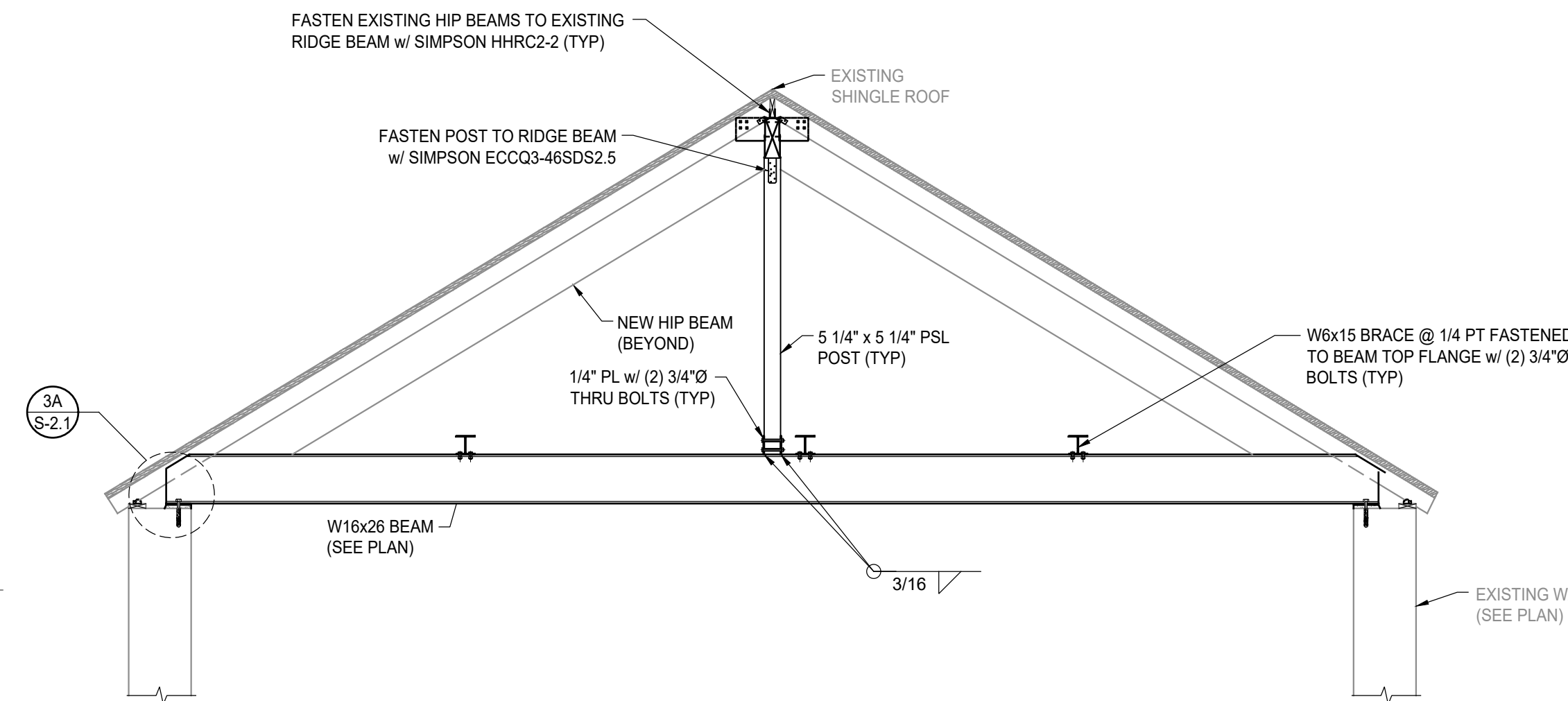
**MICHAEL A. BEACH & ASSOCIATES, LLC**  
 CONSULTING STRUCTURAL ENGINEERING  
 TWIN PONDS EXECUTIVE CAMPUS, SUITE 205  
 200 BIRCHFIELD DRIVE  
 MOUNT LAUREL, NEW JERSEY 08054  
 PH: (856) 273-1909 FAX: (856) 273-1480  
 EMAIL: mail@maeassoc.com  
 NJ Certificate of Authorization No. 24GA27962200  
 Project No. 747.216

TIMOTHY D. JENNINGS  
 PROFESSIONAL ENGINEER  
 NJ LIC. NO. 24GE03838500

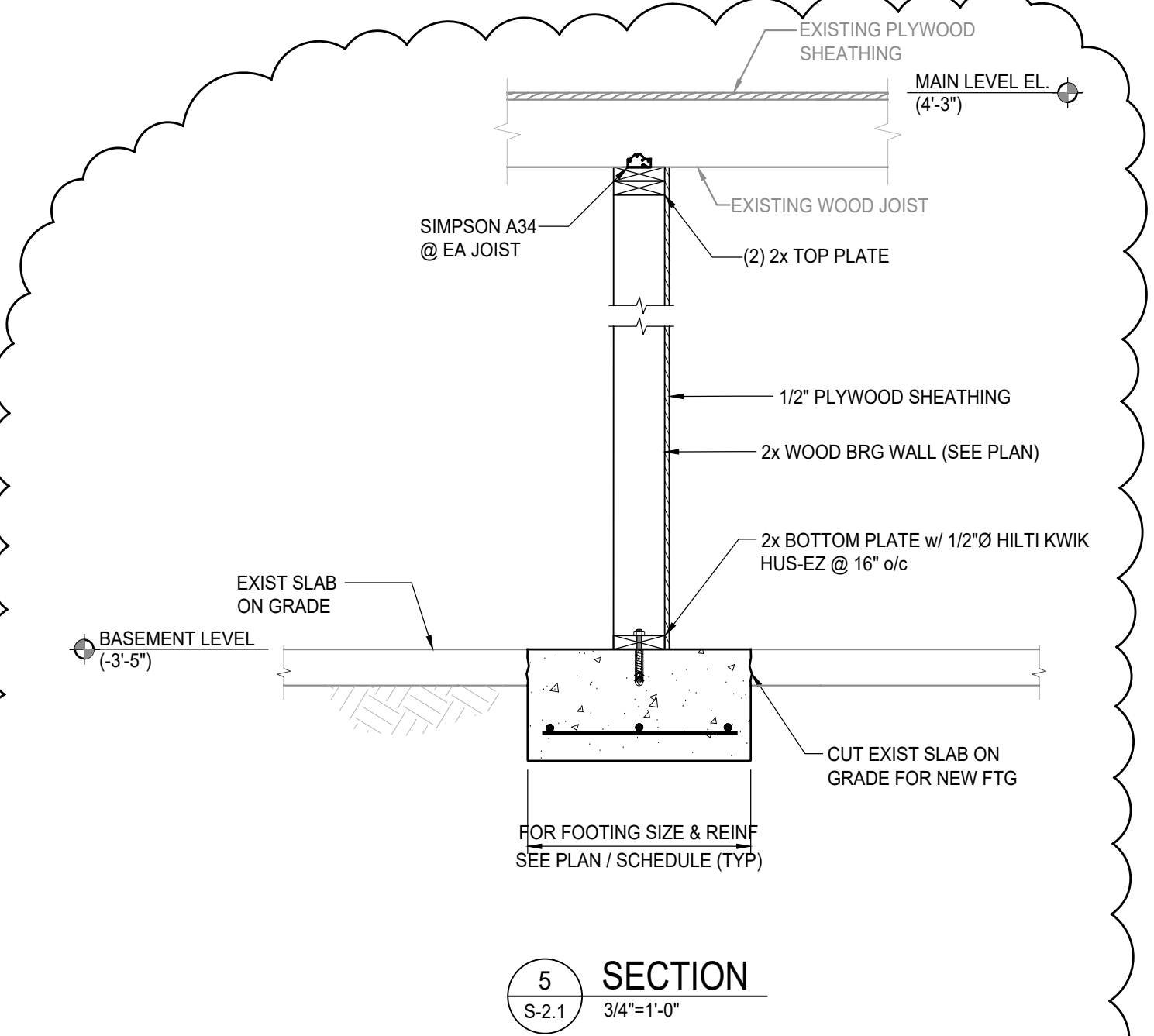
**S-2.0**



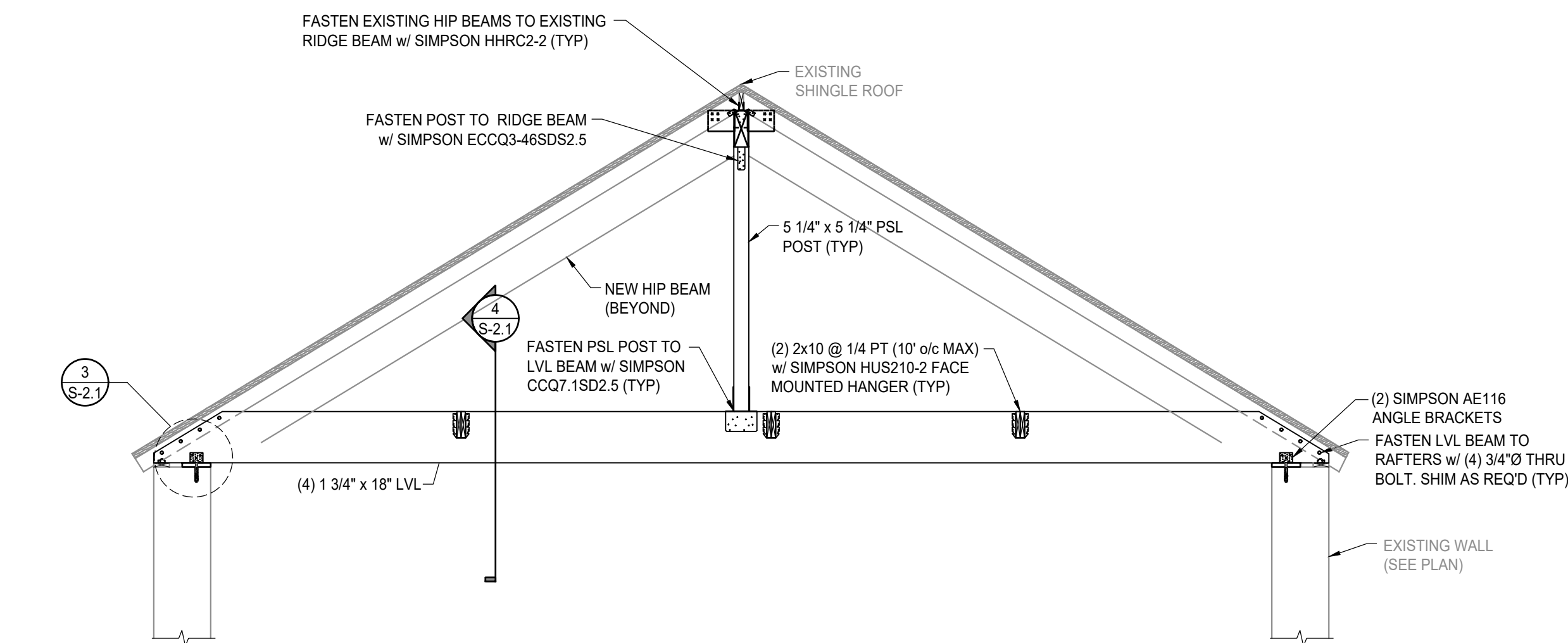
1 RAFTER TIE ASSEMBLY DETAIL  
S-2.1 NOT TO SCALE



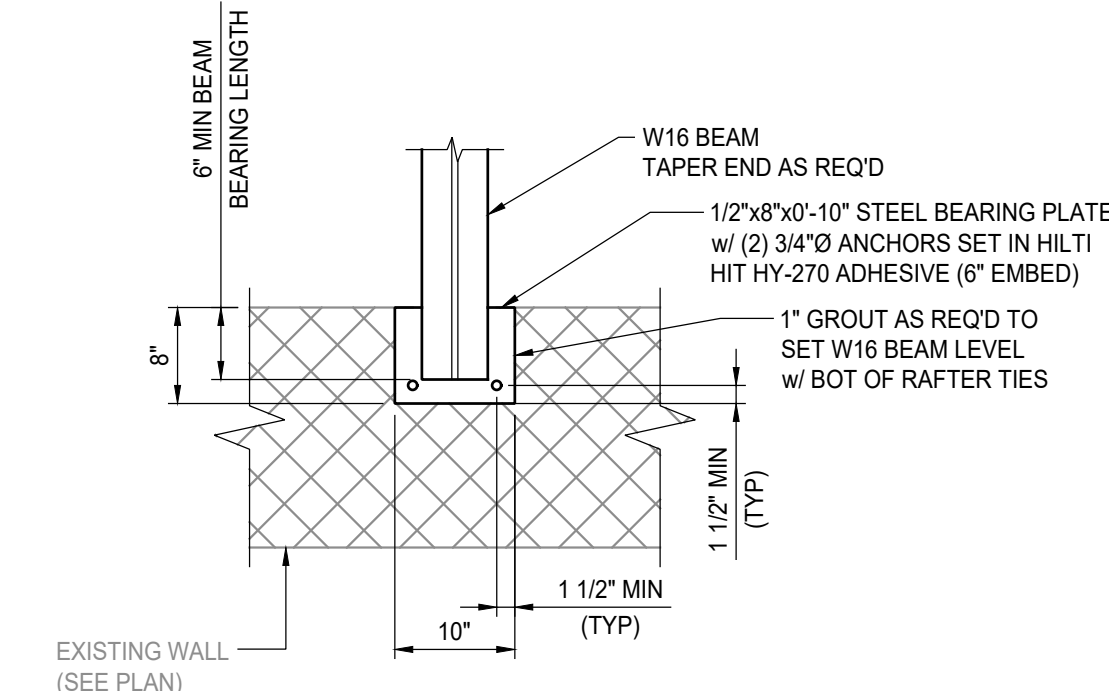
2A STEEL ALTERNATE ROOF BEAM ASSEMBLY DETAIL  
S-2.1 NOT TO SCALE



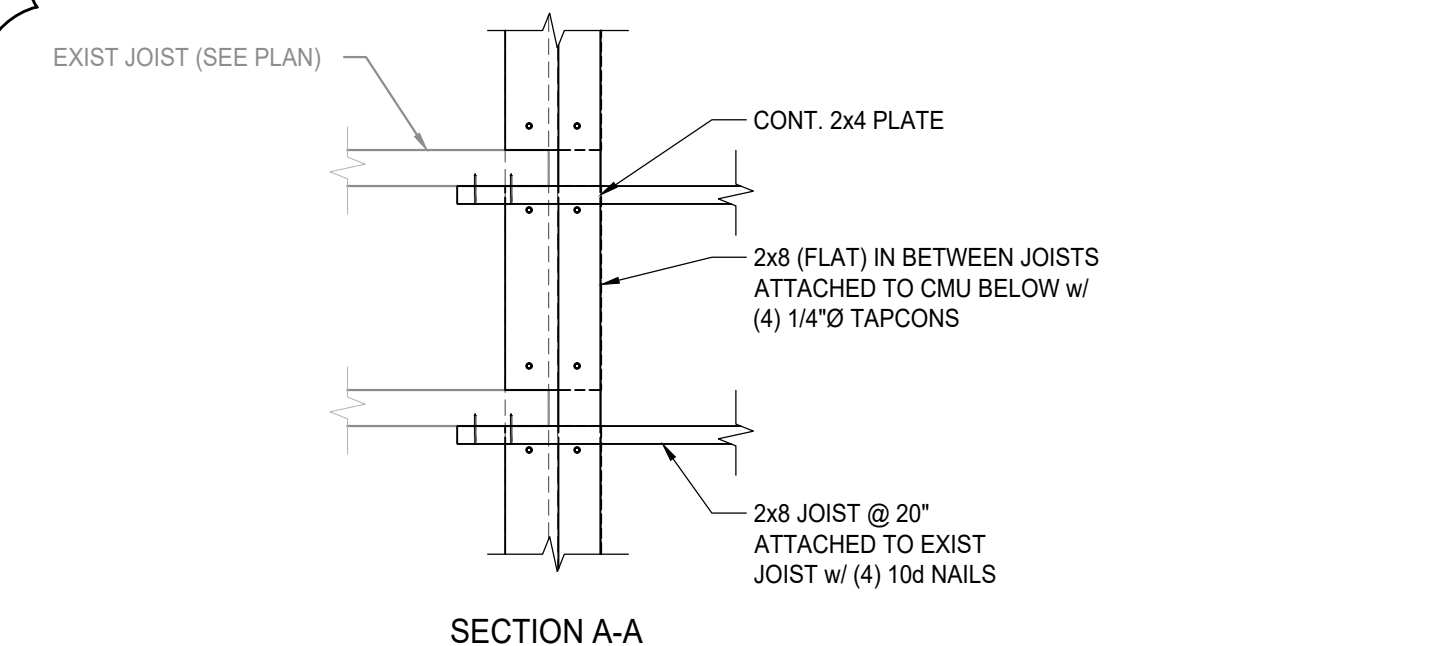
5 SECTION  
S-2.1 3/4\"/>



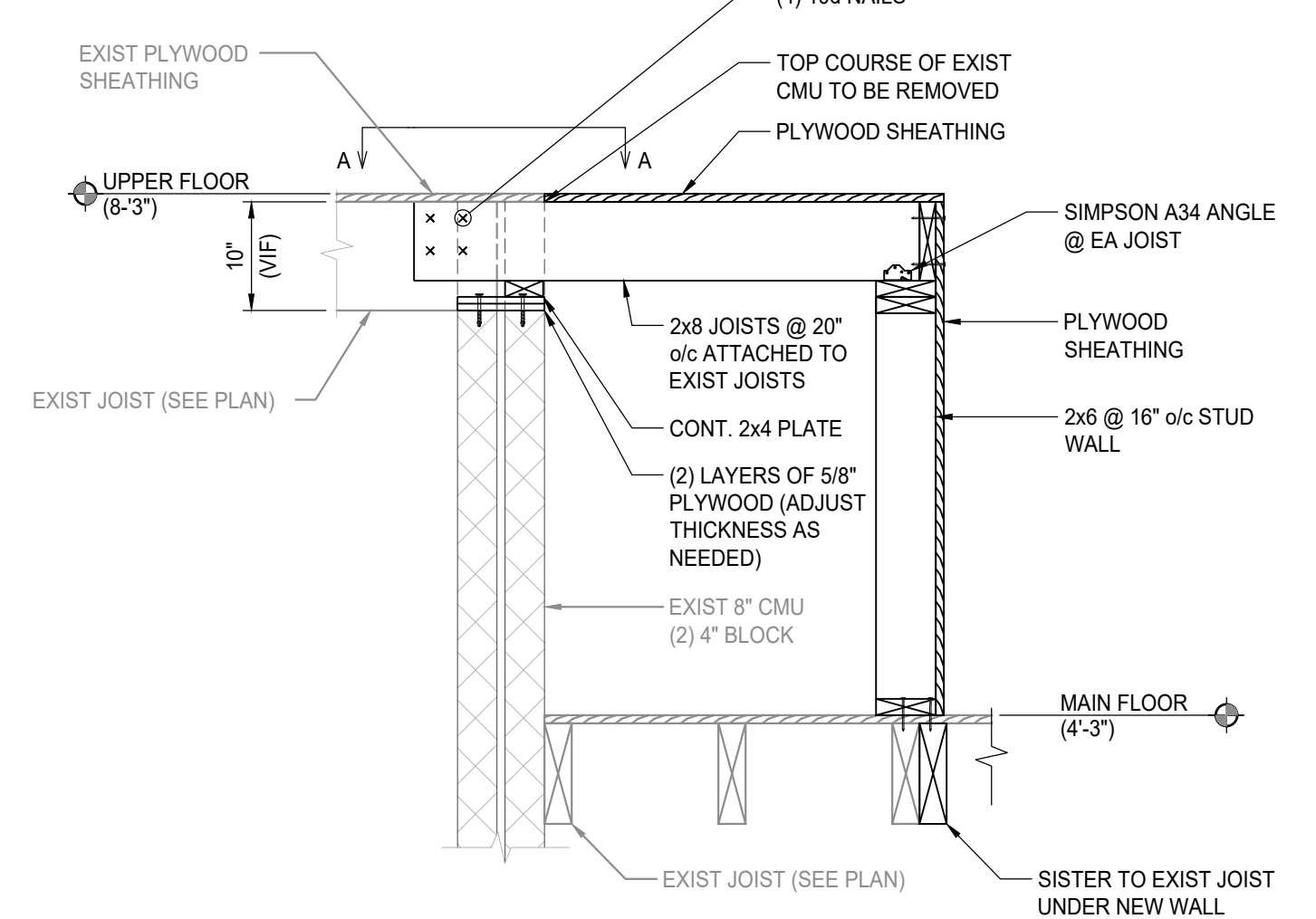
2 WOOD ROOF BEAM ASSEMBLY DETAIL  
S-2.1 NOT TO SCALE



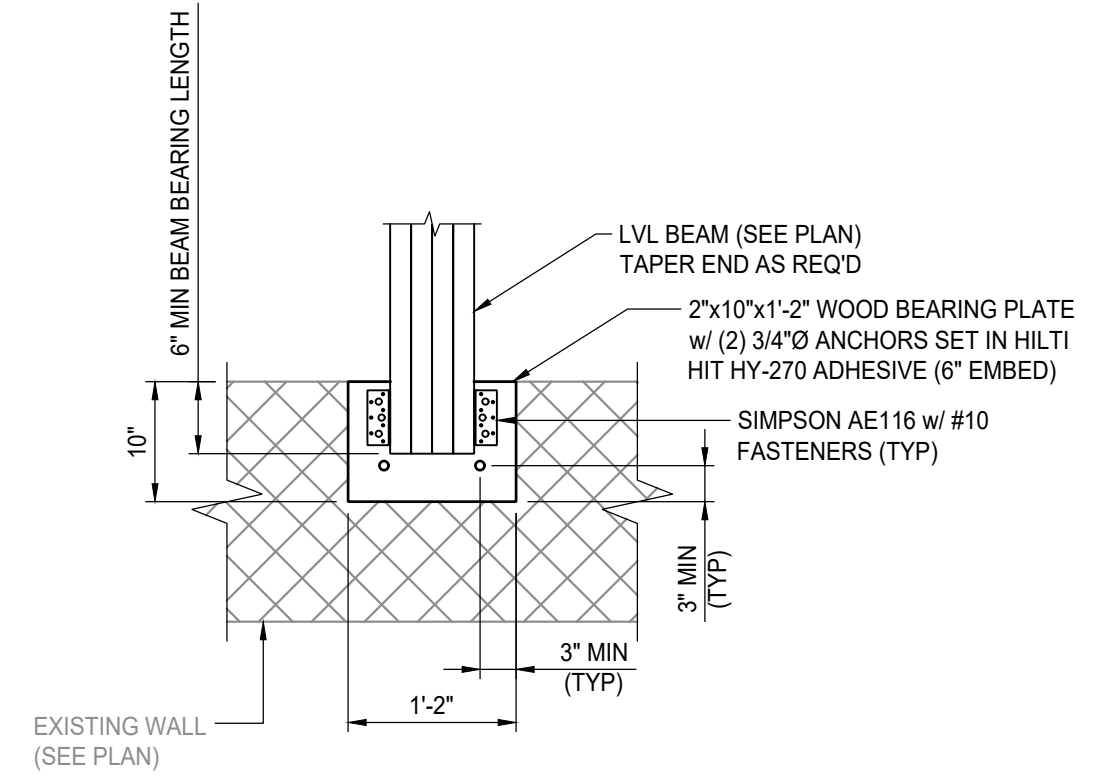
3A PLAN DETAIL  
S-2.1 SCALE: 3/4\"/>



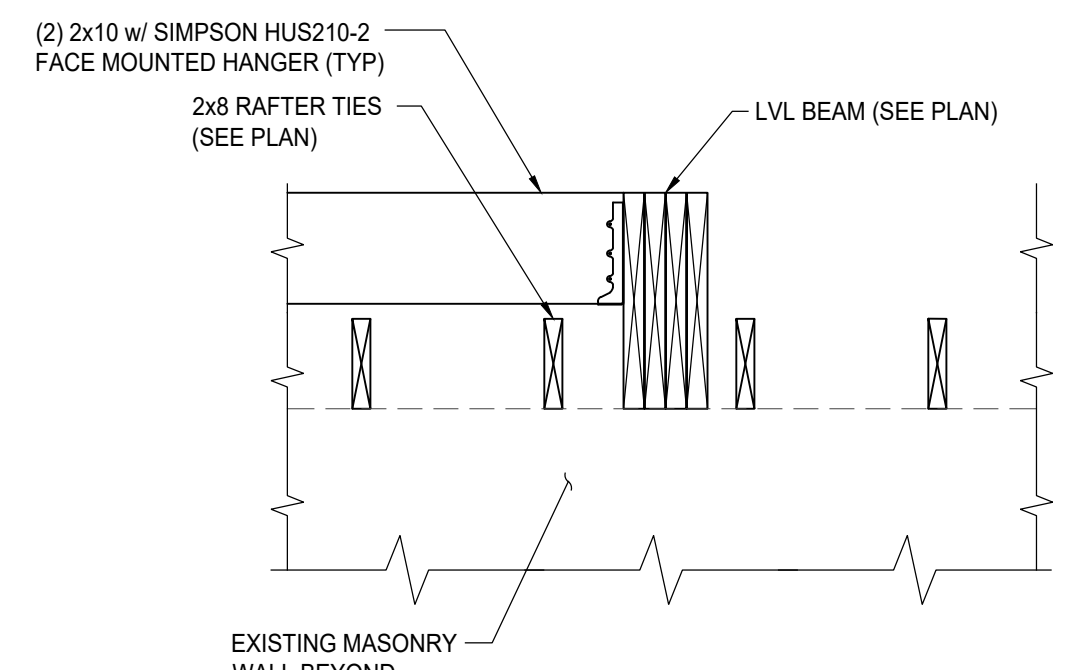
SECTION A-A



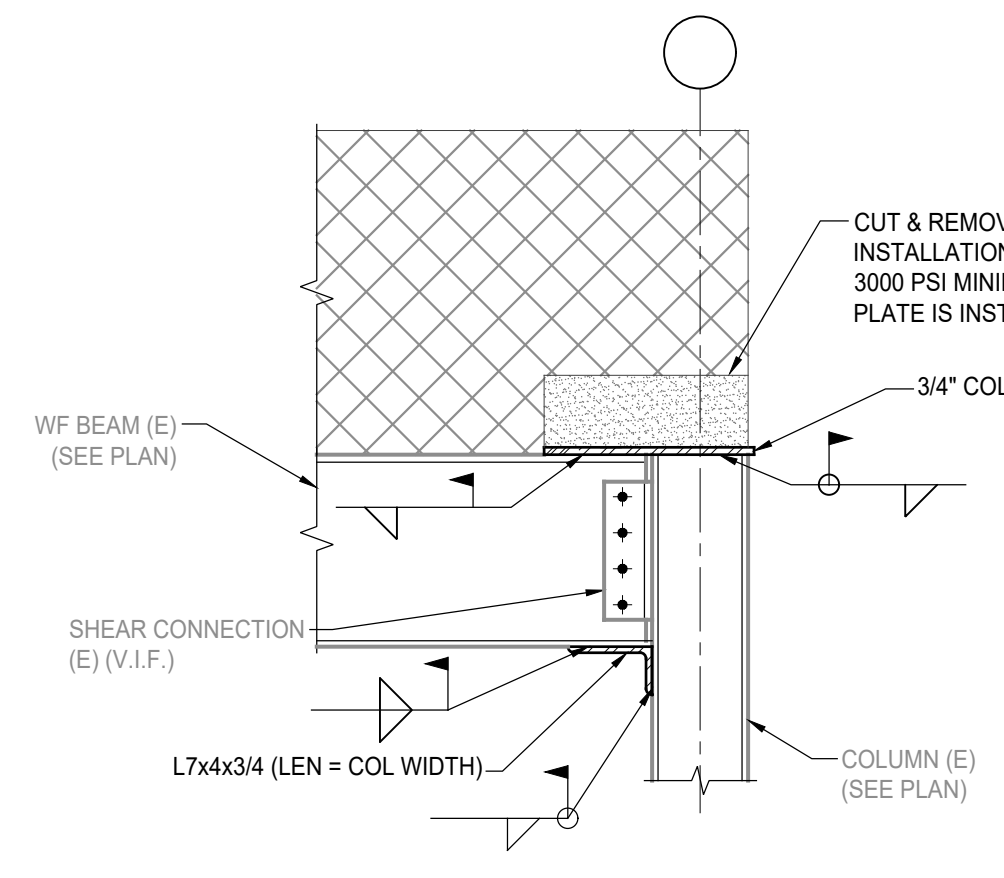
6 SECTION  
S-2.1 3/4\"/>



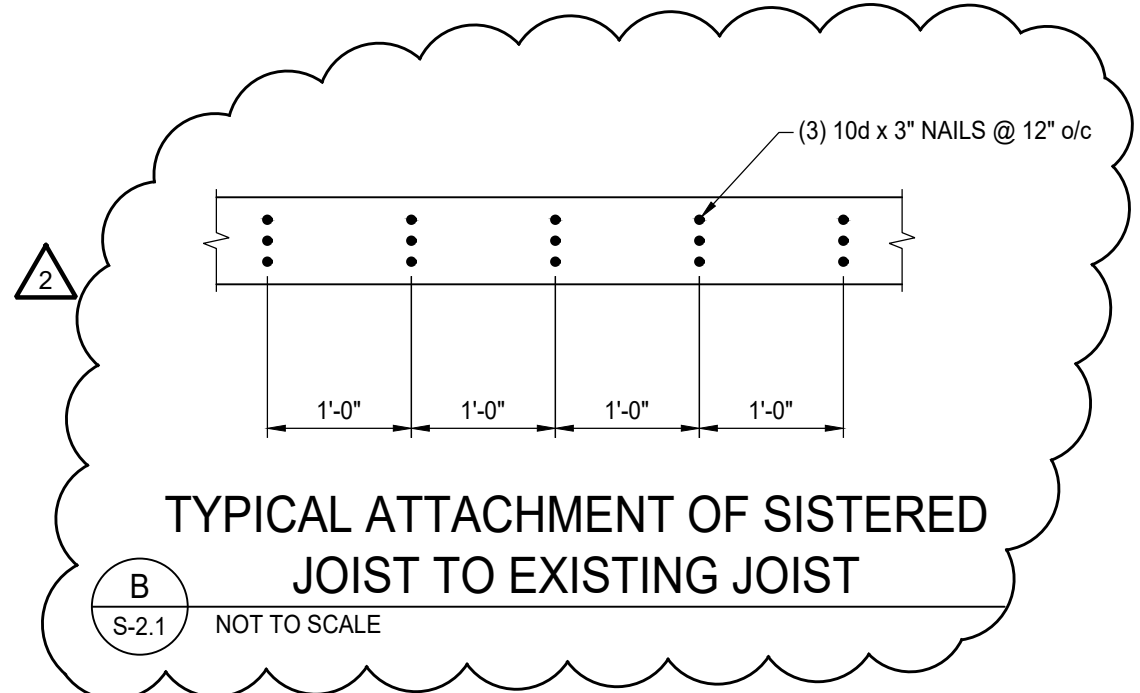
3 PLAN DETAIL  
S-2.1 SCALE: 3/4\"/>



4 SECTION  
S-2.1 SCALE: 3/4\"/>



A TYPICAL MOMENT CONNECTION DETAIL  
S-2.1 SCALE: 3/4\"/>



B TYPICAL ATTACHMENT OF SISTERED JOIST TO EXISTING JOIST  
S-2.1 NOT TO SCALE

**MICHAEL A. BEACH & ASSOCIATES, LLC**  
CONSULTING STRUCTURAL ENGINEERING  
TWIN PONDS EXECUTIVE CAMPUS, SUITE 205  
200 BIRCHFIELD DRIVE  
MOUNT LAUREL, NEW JERSEY 08054  
PH: (856) 273-1909 FAX: (856) 273-1480  
EMAIL: mail@mabeachassoc.com  
NJ Certificate of Authorization No. 24GA27962200  
Project No. 747.216

TIMOTHY D. JENNINGS  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 24GE03838500

1/7/2025	ISSUED FOR BID - PHASE 2	TJU & WB
4/3/2024	RFI #11-14 COORDINATION	TJU
12/05/2023	PERMIT SET	TJU & WB
No.	DATE	DESCRIPTION
REVISIONS		
APPROVAL:	PROJECT:	REVD. BY:

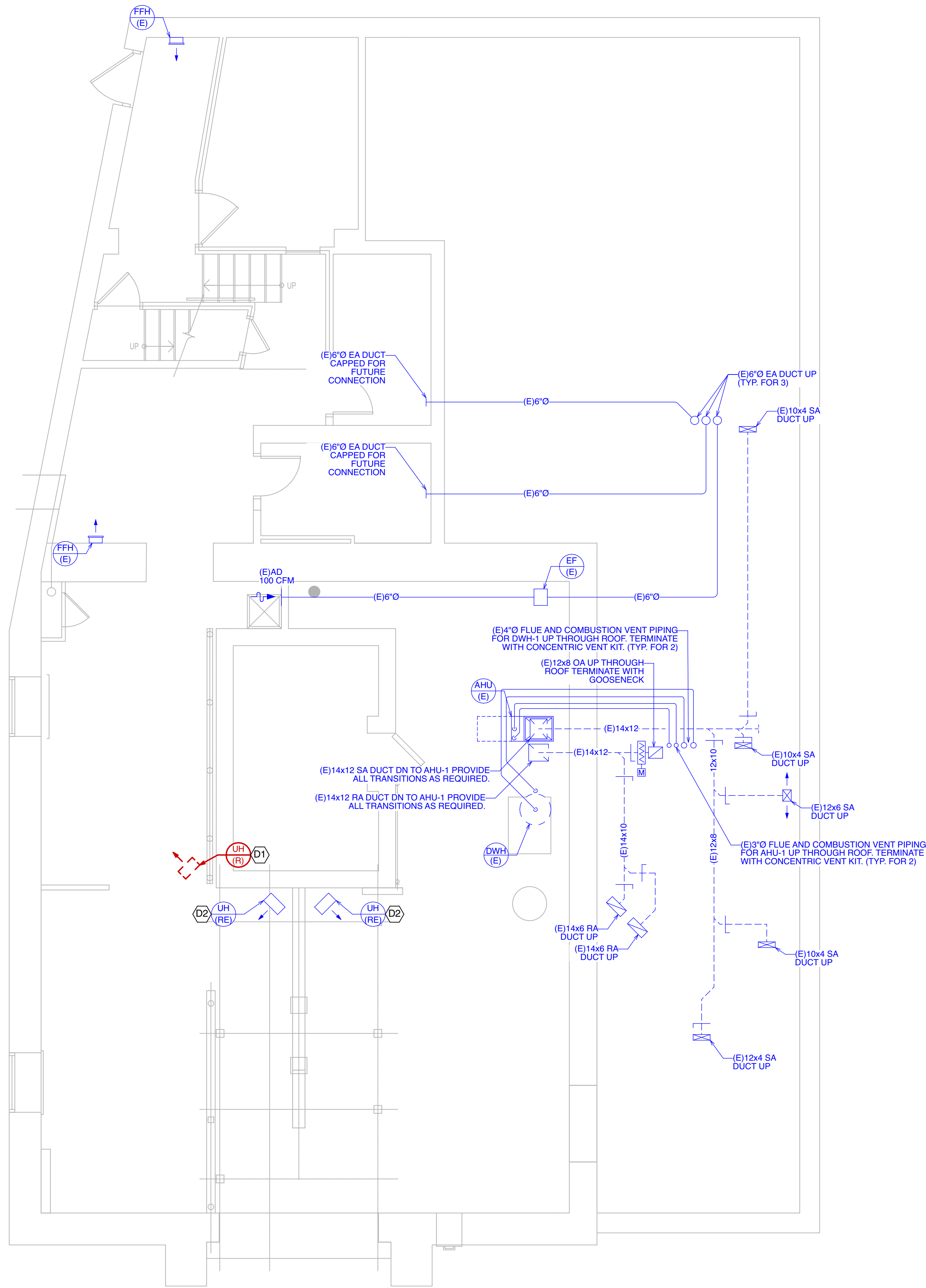
INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE:  
**GLoucester TWP. BLACK BOX COMMUNITY CENTER**  
3 SOUTH BLACK HORSE PIKE  
BLACKWOOD, NEW JERSEY, 08012

Joseph F. McKernan Jr., Architects & Associates  
100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034

**SECTIONS & DETAILS**

JOSEPH F. MCKERNAN JR., R.A. NJ ARCH. # 10884 PA ARCH. #A-01482-1 CT ARCH. 7234	SCALE: AS NOTED	DRAWING NO:
CONTRACTOR MUST VERIFY THE ACCURACY OF ALL DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. VERIFY WITH THE SCALE SHOWN.	PROJECT NO: 1016H	DATE: 1/7/25
REVISIONS:	DRAWN BY: AD/CG	CHECKED BY: TJU

**S-2.1**



**1** BASEMENT DEMOLITION MECHANICAL PLAN  
SCALE: 1/4" = 1' - 0"

**DEMOLITION GENERAL NOTES**

- REMOVE DESIGNATED ELEMENTS AS SHOWN ON DRAWINGS.
- ALL MECHANICAL EQUIPMENT AND ASSOCIATED APPURTENANCES DESCRIBED SHALL BE REMOVED AND DEMOLISHED.
- ALL ELECTRICAL WIRING SHALL BE DEMOLISHED BACK TO MAIN PANEL UNLESS INDICATED TO BE RECONNECTED.
- COMPLY WITH APPLICABLE NFPA STANDARDS WHEN TORCH CUTTING.
- PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES AS REQUIRED.
- OBTAIN WRITTEN CONSENT OF OWNER PRIOR TO TORCH CUTTING.
- ERECT AND MAINTAIN TEMPORARY PARTITIONS TO PREVENT SPREAD OF DUST, FUMES, NOISE AND SMOKE TO PROVIDE FOR CONTINUING OWNER OCCUPANCY.
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT BUILDING AREAS. MAINTAIN PROTECTED LEGAL EGRESS AND ACCESS AT ALL TIMES. KEEP REQUIRED EXIT WAYS UNENCUMBERED AT ALL TIMES AND ARTIFICIALLY LIGHTED.
- ALL SYSTEMS CONTAINING REFRIGERANTS SHALL BE EVACUATED FOR REFRIGERANT RECYCLING PRIOR TO DEMOLITION.
- REMOVE DEMOLISHED MATERIALS FROM SITE AS WORK PROGRESSES AND DISPOSE OF IN A PROPER, LEGAL MANNER. UPON COMPLETION OF WORK, LEAVE AREAS OF WORK IN BROOM CLEAN CONDITION AT THE END OF EACH DAY.
- COORDINATE ALL DEMOLITION WORK WITH FACILITIES MANAGEMENT PRIOR TO SHUT DOWN THE SERVICE MAINS TO PERFORM THE REQUIRED WORK.
- PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONSTRUCTION MANAGER SHALL WALK THE PROJECT WITH THE CONTRACTOR PERFORMING THIS WORK TO CONFIRM THE EXTENT OF DEMOLITION.
- THE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING THEIR PROPOSAL TO VERIFY ACTUAL SITE CONDITIONS AND ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO SUBMITTING THEIR BID. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK EXPOSED AND CONCEALED, WHETHER OR NOT SHOWN ON DRAWINGS, NECESSARY FOR THE EFFECTIVE INSTALLATION AND PERFORMANCE OF NEW SYSTEM. THE CONTRACTOR SHALL ALSO INCLUDE TEMPORARY REMOVAL AND REINSTALLATION OF EXISTING WORK WHEREVER NECESSARY. THE OWNER SHALL NOT ACCEPT (NOR THE CONTRACTOR PAID) EXTRA COSTS ASSOCIATED WITH THE DEMOLITION AND/OR TEMPORARY REMOVAL/REINSTALLATION WORK FROM THE CONTRACTOR.
- CONTRACTOR SHALL PATCH ROOF AS REQUIRED AND SEAL WATER TIGHT (CONTRACTOR SHALL COORDINATE ALL ROOF WORK WITH EXISTING ROOF CONTRACTOR IN ORDER NOT TO VOID EXISTING ROOF WARRANTY).

**DEMOLITION SHEET NOTES**

- (1D) CONTRACTOR SHALL CAREFULLY REMOVE AND PLACE IN STORAGE EXISTING UNIT HEATER FOR POTENTIAL USE BY BUILDING OWNER. VERIFY EXACT LOCATION OF EXISTING HEATER IN THE FIELD.
- (2D) CONTRACTOR SHALL CAREFULLY REMOVE AND RELOCATE EXISTING UNIT HEATER TO NEW LOCATION. REFER TO SHEET M-0.0 FOR NEW UNIT HEATER LOCATION.

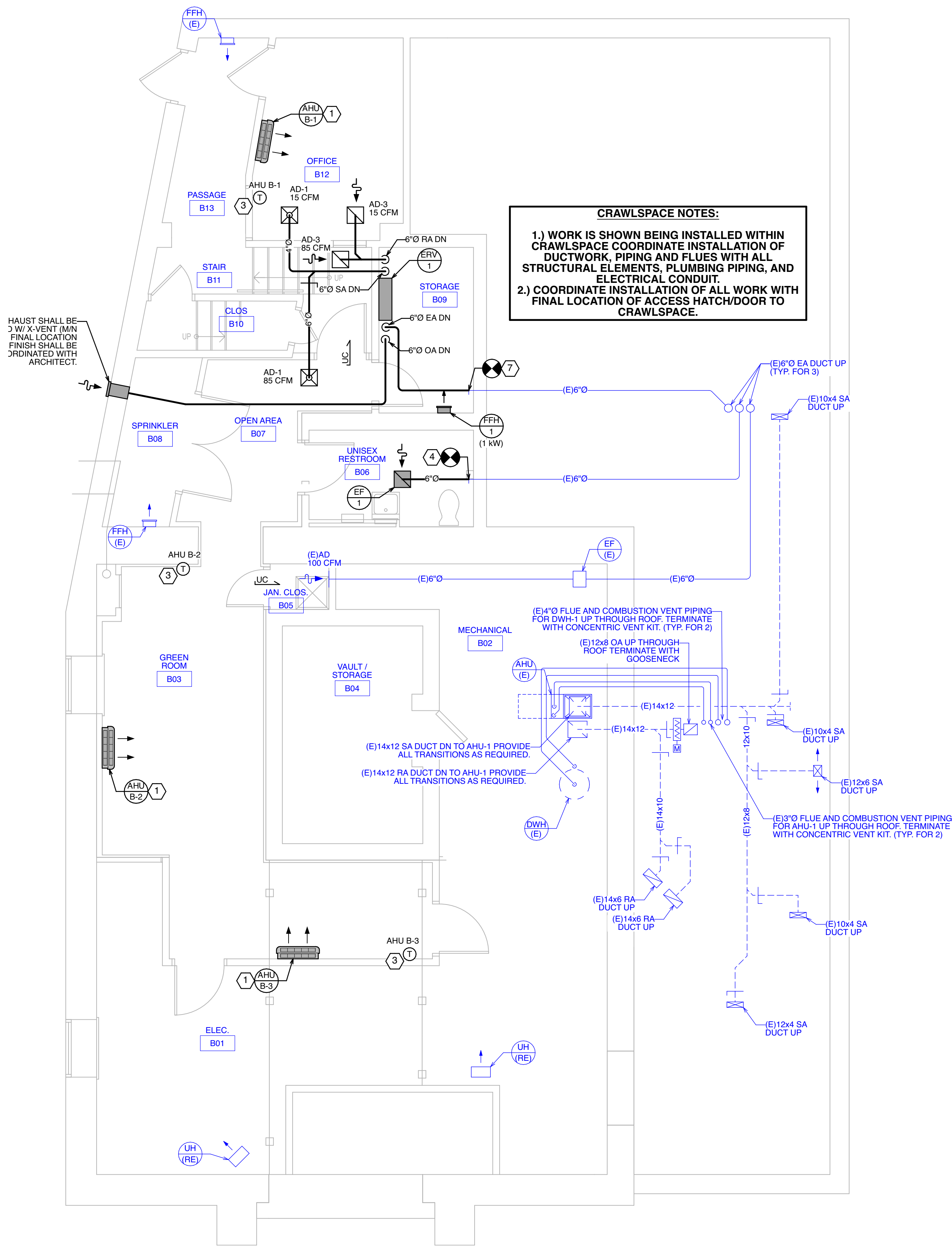
**DRAWING SYMBOLS**

- (E) EXISTING MECHANICAL WORK TO REMAIN
- (R) EXISTING MECHANICAL WORK TO BE DEMOLISHED AND REMOVED
- (RE) EXISTING MECHANICAL WORK TO BE RELOCATED
- EXISTING MECHANICAL WORK TO REMAIN
- - - EXISTING MECHANICAL WORK TO BE DEMOLISHED AND REMOVED
- NEW MECHANICAL WORK

**EXISTING CONDITIONS NOTES**

- ALL THE EXISTING DUCTWORK SIZES, LOCATIONS, EXISTING MECHANICAL EQUIPMENT LOCATIONS, TAGS, EXISTING ARCHITECTURAL PLANS, ETC., HAVE BEEN DOCUMENTED BASED OFF A SITE SURVEY CONDUCTED BY HOLSTEIN WHITE, INC. (ENGINEER) ON APRIL 11, 2023.
- ALTHOUGH THE EXISTING CONDITIONS HAVE BEEN MODIFIED PER OBSERVATIONS IN THE FIELD, THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM FINAL FIELD VERIFICATION OF ALL OF THE EXISTING CONDITIONS PRIOR TO COMMENCING WORK.

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: BASEMENT DEMOLITION MECHANICAL PLAN	
HOLSTEIN WHITE 3800 Madison Blvd., Suite 103 Trenton, NJ 08611 P: (609) 392-7700 F: (609) 392-7709 www.holsteinwhite.com		SEAL: SCOTT A. WHITE NJ REG. NO. 24626467000 NJ AUTH. NO. 24626467000 EXPIRES 2024	SCALE: AS NOTED DRAWING NO: DM-0.0 PRELIM: 10/18H DATE: 1/7/25 REV'D: DRAWN BY: SA CHECK BY: SW



**CRAWLSPACE NOTES:**

- 1.) WORK IS SHOWN BEING INSTALLED WITHIN CRAWLSPACE COORDINATE INSTALLATION OF DUCTWORK, PIPING AND FLUES WITH ALL STRUCTURAL ELEMENTS, PLUMBING PIPING, AND ELECTRICAL CONDUIT.
- 2.) COORDINATE INSTALLATION OF ALL WORK WITH FINAL LOCATION OF ACCESS HATCH/DOOR TO CRAWLSPACE.

**SEQUENCE OF OPERATIONS : EXISTING AHU**

A. AIR HANDLING UNITS: THE AIR HANDLING SYSTEM IS EQUIPPED WITH A GAS-FIRED FURNACE, DX COOLING COIL AND SUPPLY AIR FAN. THE AIR HANDLING UNIT WILL BE CONTROLLED BY STANDALONE THERMOSTATIC CONTROLS.

B. OCCUPANCY: A USER ADJUSTABLE OCCUPANCY SCHEDULE WILL BE ESTABLISHED AND MAINTAINED BY THE BUILDING OWNER/OPERATOR. OCCUPIED AND UNOCCUPIED HEATING AND COOLING SETPOINTS WILL BE ESTABLISHED. THE FAN SYSTEM WILL MAINTAIN SPACE CONDITIONS TO THE OCCUPIED AND UNOCCUPIED SETPOINTS BASED ON THIS OPERATING SCHEDULE.

INITIAL SETPOINTS:  
 OCCUPIED HEATING = 70°F  
 OCCUPIED COOLING = 74°F  
 UNOCCUPIED HEATING = 65°F  
 UNOCCUPIED COOLING = 82°F

IN "OCCUPIED MODE" THE OUTSIDE AIR MOTOR-OPERATED DAMPER SHALL OPEN AND FAN SHALL RUN CONTINUOUSLY. IN THE UNOCCUPIED MODE THE OUTSIDE AIR DAMPER SHALL CLOSE. THE FAN SYSTEM WILL SHUTDOWN, BUT WILL CYCLE AS NECESSARY TO MAINTAIN UNOCCUPIED SETPOINTS.

C. OPTIMAL START: AN OPTIMAL START ROUTINE WILL CALCULATE AN EARLY START TIME TO BRING SPACE CONDITIONS TO WITHIN OCCUPIED SETPOINTS BY THE BEGINNING OF THE SCHEDULED OCCUPANCY TIME PERIOD. THE OPTIMAL START ROUTINE FACTORS SPACE TEMPERATURE(S) AND OUTDOOR CONDITIONS TO CALCULATE AND LEARN THE START-UP RECOVERY TIME FROM THE UN-OCCUPIED MODE.

D. FAN SYSTEM CONTROL: THE FAN SYSTEM WILL BE ENABLED TO RUN IN THE OCCUPIED MODE. THE SUPPLY FAN WILL START AND RUN CONTINUOUSLY. ALL SAFETY DEVICES MUST BE "CLEAR" TO ALLOW RUN PERMISSIVE. FAN STATUS WILL BE MONITORED VIA CURRENT SENSING SWITCH. ALL CONTROL LOOPS WILL BE ENABLED BASED ON PROOF OF THE SUPPLY FAN, UNLESS OTHERWISE SPECIFIED.

E. HEATING: THE GAS HEAT WILL MODULATE TO MAINTAIN THE ZONE TEMPERATURE SETPOINT. UPON A FALL IN ZONE TEMPERATURE BELOW SETPOINT THE GAS HEATING VALVE WILL MODULATE OPEN. UPON A RISE IN ZONE TEMPERATURE THE REVERSE WILL OCCUR.

F. COOLING - D/X: D/X COOLING WILL BE ENERGIZED TO MAINTAIN THE ZONE TEMPERATURE TO SETPOINT. UPON A RISE IN ZONE TEMPERATURE ABOVE SETPOINT D/X COOLING WILL BE ENERGIZED. UPON A FALL IN TEMPERATURE THE REVERSE WILL OCCUR.

**GENERAL NOTES**

1. ALL BRANCH DUCTWORK SHALL HAVE BALANCING DAMPERS.
2. COORDINATE ALL AIR DEVICES WITH LIGHTING AND REFLECTED CEILING PLANS.
3. IT IS THE INTENT TO MAINTAIN THE CEILING HEIGHTS AS SHOWN ON THE REFLECTED CEILING PLANS.
4. DUCTWORK SHOULD BE INSTALLED AS TIGHT AS POSSIBLE TO THE STRUCTURAL FRAMING AND DECK.
5. MECHANICAL CONTRACTOR SHALL FURNISH ALL REQUIRED CEILING ACCESS PANELS AND WALL OPENINGS TO SERVICE ALL MECHANICAL EQUIPMENT, INSTALLED BY G.C. COORDINATED ALL LOCATIONS AND SIZES WITH ARCHITECT PRIOR TO INSTALLATION.
6. ALL TRANSVERSE JOINTS AND LONGITUDINAL SEAMS SHALL BE SEALED WITH RCD#8 LOW-VOC MASTIC. ALL DUCTWORK SHALL BE IN ACCORDANCE WITH SMACNA'S SEAL CLASS "B".
7. ALL DUCTWORK SIZES SHOWN ON PLAN ARE CLEAR I.D. DIMENSIONS. ALL SUPPLY AND RETURN DUCTWORK SHALL BE INSULATED.
8. CONTRACTOR SHALL COORDINATE ALL REQUIRED ROOF CUTTING AND PATCHING WITH CURRENT ROOFING CONTRACTOR TO MAINTAIN ROOF WARRANTY. COORDINATE ALL WORK WITH LANDLORD PRIOR TO CONSTRUCTION.

**SHEET NOTES**

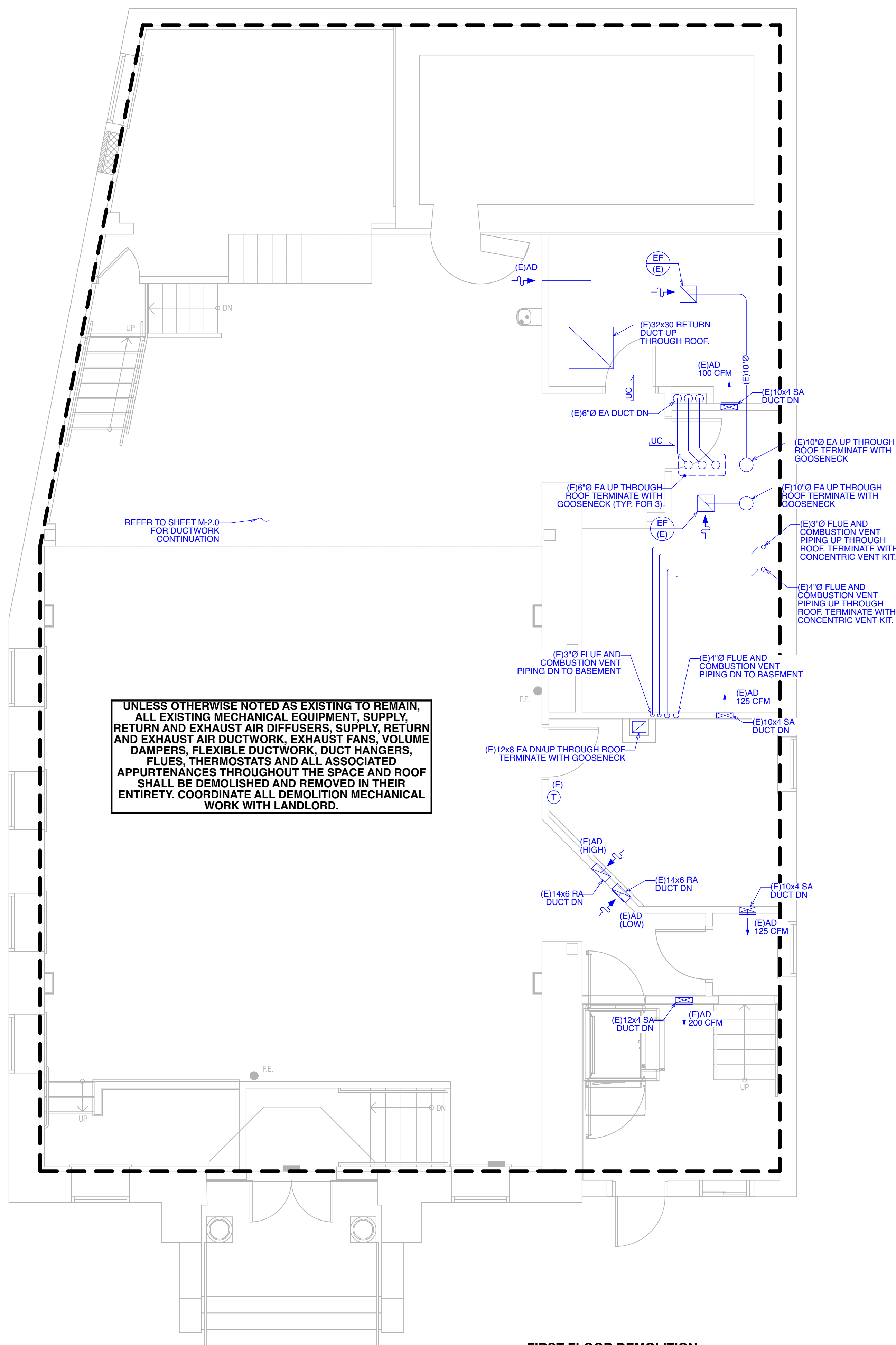
- 1 REFER TO THE FOLLOWING NOTES FOR EACH AHU:
  - RUN REFRIGERANT PIPING FROM INDOOR AIR HANDLING UNIT TO CORRESPONDING OUTDOOR CONDENSING UNIT. SIZE REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL RUNS WITH ARCHITECT.
  - CONDENSATE SHALL DRAIN TO MOP RECEPTOR IN BASEMENT. REFER TO PLUMBING PLANS FOR SIZE AND LOCATION.
  - COORDINATE THE FINAL LOCATION OF AHU W/ ARCHITECT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL REQUIRED MAINTENANCE CLEARANCES.
- 2 REFER TO THE FOLLOWING NOTES FOR EACH CU/HP:
  - INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND PROVIDE ALL REQUIRED MAINTENANCE CLEARANCES.
  - ROUTE REFRIGERANT PIPING TO CORRESPONDING AHU. SIZE REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL RUNS WITH ARCHITECT.
  - CONDENSING UNIT SHALL BE MOUNTED ON PATE EQUIPMENT SUPPORTS.
- 3 INDICATES LOCATION OF NEW SEVEN-DAY ELECTRONIC PROGRAMMABLE THERMOSTAT WITH OCCUPIED AND UNOCCUPIED CAPABILITIES TO OPERATE NEW OUTSIDE AIR DAMPER. PROVIDE NON-TAMPER TRANSPARENT ENCLOSURE FOR THERMOSTAT. COORDINATE ENCLOSURE AND FINAL LOCATION MOUNTING HEIGHT OF THE THERMOSTAT WITH ARCHITECT.
- 4 THE NEW 6"Ø EA DUCT INTO EXISTING 6"Ø EA DUCT UP THROUGH ROOF. VERIFY EXACT SIZE, LOCATION AND ROUTING OF EXISTING DUCTWORK IN THE FIELD.
- 5 PROVIDE TRANSITION FROM NEW 32"Ø SA DUCT INTO EXISTING 32x16 SA DUCT THROUGH WALL. VERIFY EXACT SIZE, LOCATION AND ROUTING OF EXISTING DUCTWORK IN THE FIELD.
- 6 THE NEW 32"Ø SA DUCT INTO EXISTING 32"Ø ROOF MOUNTED SA MAIN. VERIFY EXACT SIZE, LOCATION AND ROUTING OF EXISTING DUCTWORK IN THE FIELD.
- 7 THE NEW 6"Ø EA DUCT FROM ERV INTO EXISTING 6"Ø EA DUCT UP THROUGH ROOF. VERIFY EXACT SIZE, LOCATION AND ROUTING OF EXISTING DUCTWORK IN THE FIELD.

**DRAWING SYMBOLS**

(E) EXISTING MECHANICAL WORK TO REMAIN  
 (R) EXISTING MECHANICAL WORK TO BE DEMOLISHED AND REMOVED  
 (RE) EXISTING MECHANICAL WORK TO BE RELOCATED  
 — EXISTING MECHANICAL WORK TO REMAIN  
 - - - EXISTING MECHANICAL WORK TO BE DEMOLISHED AND REMOVED  
 — NEW MECHANICAL WORK

**1 BASEMENT MECHANICAL PLAN**  
 SCALE: 1/4" = 1' - 0"

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: BASEMENT MECHANICAL PLAN	
 3800 Madison Blvd., Suite 103 Newark, NJ 07102 P: (973) 322-7700 F: (973) 322-7709 www.holsteinwhite.com		SCALE: AS NOTED DRAWING NO: M-0.0 DATE: 1/16/25 REV'D: 1/7/25 DRAWN BY: SA CHECKED BY: SW	



REFER TO SHEET M-2.0 FOR DUCTWORK CONTINUATION

UNLESS OTHERWISE NOTED AS EXISTING TO REMAIN, ALL EXISTING MECHANICAL EQUIPMENT, SUPPLY, RETURN AND EXHAUST AIR DIFFUSERS, SUPPLY, RETURN AND EXHAUST AIR DUCTWORK, EXHAUST FANS, VOLUME DAMPERS, FLEXIBLE DUCTWORK, DUCT HANGERS, FLUES, THERMOSTATS AND ALL ASSOCIATED APPURTENANCES THROUGHOUT THE SPACE AND ROOF SHALL BE DEMOLISHED AND REMOVED IN THEIR ENTIRETY. COORDINATE ALL DEMOLITION MECHANICAL WORK WITH LANDLORD.

**1** FIRST FLOOR DEMOLITION MECHANICAL PLAN  
SCALE: 1/4" = 1' - 0"

**DEMOLITION GENERAL NOTES**

- REMOVE DESIGNATED ELEMENTS AS SHOWN ON DRAWINGS.
- ALL MECHANICAL EQUIPMENT AND ASSOCIATED APPURTENANCES DESCRIBED SHALL BE REMOVED AND DEMOLISHED.
- ALL ELECTRICAL WIRING SHALL BE DEMOLISHED BACK TO MAIN PANEL UNLESS INDICATED TO BE RECONNECTED.
- COMPLY WITH APPLICABLE NFPA STANDARDS WHEN TORCH CUTTING.
- PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES AS REQUIRED.
- OBTAIN WRITTEN CONSENT OF OWNER PRIOR TO TORCH CUTTING.
- ERECT AND MAINTAIN TEMPORARY PARTITIONS TO PREVENT SPREAD OF DUST, FUMES, NOISE AND SMOKE TO PROVIDE FOR CONTINUING OWNER OCCUPANCY.
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT BUILDING AREAS. MAINTAIN PROTECTED LEGAL EGRESS AND ACCESS AT ALL TIMES. KEEP REQUIRED EXIT WAYS UNENCUMBERED AT ALL TIMES AND ARTIFICIALLY LIGHTED.
- ALL SYSTEMS CONTAINING REFRIGERANTS SHALL BE EVACUATED FOR REFRIGERANT RECYCLING PRIOR TO DEMOLITION.
- REMOVE DEMOLISHED MATERIALS FROM SITE AS WORK PROGRESSES AND DISPOSE OF IN A PROPER, LEGAL MANNER. UPON COMPLETION OF WORK, LEAVE AREAS OF WORK IN BROOM CLEAN CONDITION AT THE END OF EACH DAY.
- COORDINATE ALL DEMOLITION WORK WITH FACILITIES MANAGEMENT PRIOR TO SHUT DOWN THE SERVICE MAINS TO PERFORM THE REQUIRED WORK.
- PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONSTRUCTION MANAGER SHALL WALK THE PROJECT WITH THE CONTRACTOR PERFORMING THIS WORK TO CONFIRM THE EXTENT OF DEMOLITION.
- THE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING THEIR PROPOSAL TO VERIFY ACTUAL SITE CONDITIONS AND ANY DISCOVERED DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO SUBMITTING THEIR BID. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK EXPOSED AND CONCEALED, WHETHER OR NOT SHOWN ON DRAWINGS, NECESSARY FOR THE EFFECTIVE INSTALLATION AND PERFORMANCE OF NEW SYSTEM. THE CONTRACTOR SHALL ALSO INCLUDE TEMPORARY REMOVAL AND REINSTALLATION OF EXISTING WORK WHEREVER NECESSARY. THE OWNER SHALL NOT ACCEPT (NOR THE CONTRACTOR PAID) EXTRA COSTS ASSOCIATED WITH THE DEMOLITION AND/OR TEMPORARY REMOVAL/REINSTALLATION WORK FROM THE CONTRACTOR.
- CONTRACTOR SHALL PATCH ROOF AS REQUIRED AND SEAL WATER TIGHT (CONTRACTOR SHALL COORDINATE ALL ROOF WORK WITH EXISTING ROOF CONTRACTOR IN ORDER NOT TO VOID EXISTING ROOF WARRANTY).

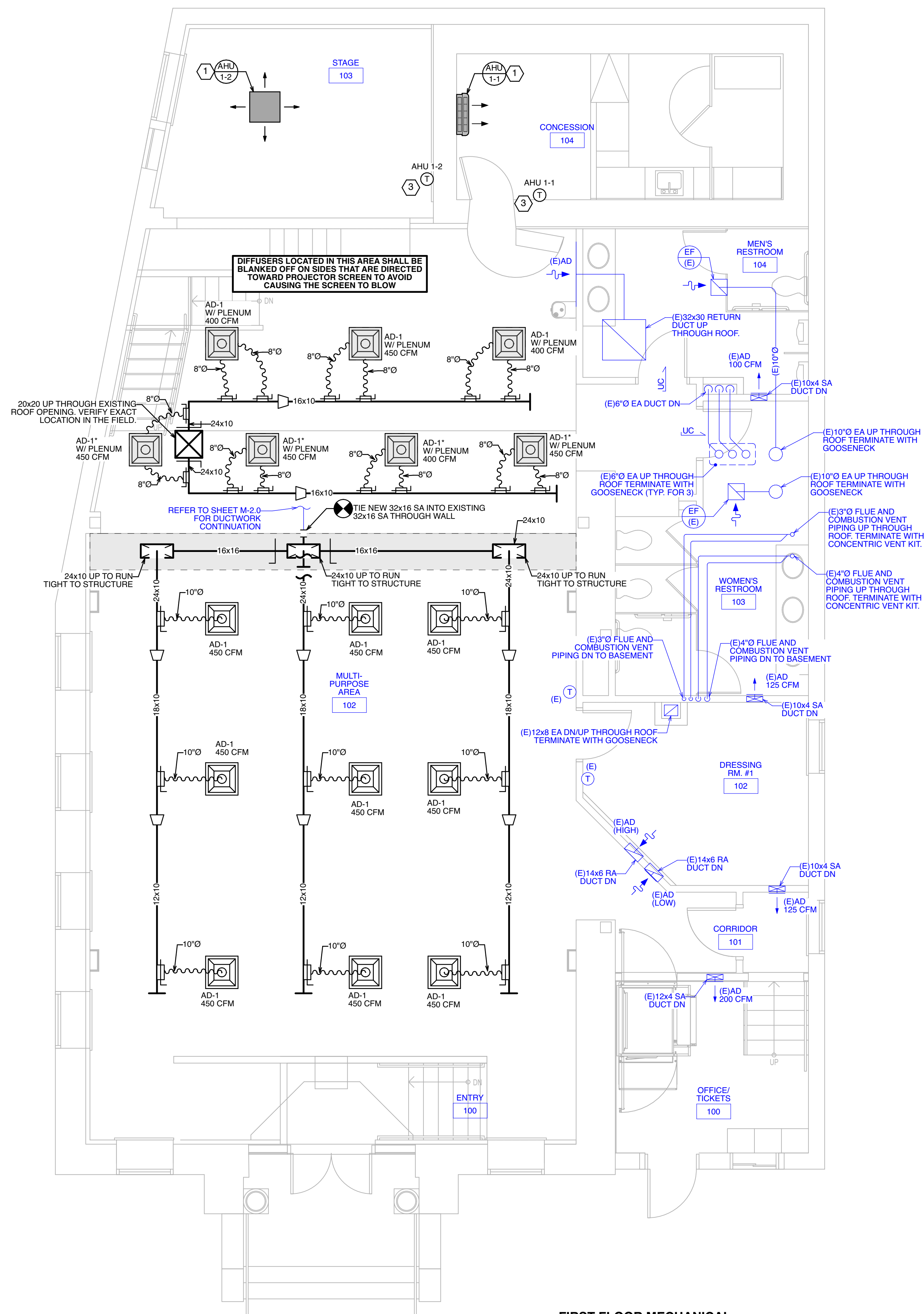
**DRAWING SYMBOLS**

- (E) EXISTING MECHANICAL WORK TO REMAIN
- (R) EXISTING MECHANICAL WORK TO BE DEMOLISHED AND REMOVED
- (RE) EXISTING MECHANICAL WORK TO BE RELOCATED
- EXISTING MECHANICAL WORK TO REMAIN
- - - EXISTING MECHANICAL WORK TO BE DEMOLISHED AND REMOVED
- NEW MECHANICAL WORK

**EXISTING CONDITIONS NOTES**

- ALL THE EXISTING DUCTWORK SIZES, LOCATIONS, EXISTING MECHANICAL EQUIPMENT LOCATIONS, TAGS, EXISTING ARCHITECTURAL PLANS, ETC., HAVE BEEN DOCUMENTED BASED OFF A SITE SURVEY CONDUCTED BY HOLSTEIN WHITE, INC. (ENGINEER) ON APRIL 11, 2023.
- ALTHOUGH THE EXISTING CONDITIONS HAVE BEEN MODIFIED PER OBSERVATIONS IN THE FIELD, THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM FINAL FIELD VERIFICATION OF ALL OF THE EXISTING CONDITIONS PRIOR TO COMMENCING WORK.

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: FIRST FLOOR DEMOLITION MECHANICAL PLAN	
SEAL:		SCALE: AS NOTED	DRAWING NO: DM-1.0
HOLSTEIN WHITE 3800 Madison Blvd, Suite 103 Trenton, NJ 08611 P: (609) 392-7779 F: (609) 392-7709 www.holsteinwhite.com		DATE: 1/16/25 REV'D: 1/7/25 DRAWN BY: SA CHKD BY: SW	
SCOTT A. WHITE NJ REG. NO. 34626467000 NJ AUTH. NO. 24626467000		AMENDMENTS MUST BE VERIFIED BY CONTRACTOR WITH THE ARCHITECT OR AN EXPERIENCED MECHANICAL ENGINEER. DO NOT SCALE DRAWING.	
COPYRIGHT 2024			



**1** FIRST FLOOR MECHANICAL PLAN  
SCALE: 1/4" = 1' - 0"

**GENERAL NOTES**

- ALL BRANCH DUCTWORK SHALL HAVE BALANCING DAMPERS.
- COORDINATE ALL AIR DEVICES WITH LIGHTING AND REFLECTED CEILING PLANS.
- IT IS THE INTENT TO MAINTAIN THE CEILING HEIGHTS AS SHOWN ON THE REFLECTED CEILING PLANS.
- DUCTWORK SHOULD BE INSTALLED AS TIGHT AS POSSIBLE TO THE STRUCTURAL FRAMING AND DECK.
- MECHANICAL CONTRACTOR SHALL FURNISH ALL REQUIRED CEILING ACCESS PANELS AND WALL OPENINGS TO SERVICE ALL MECHANICAL EQUIPMENT, INSTALLED BY G.C. COORDINATED ALL LOCATIONS AND SIZES WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL TRANSVERSE JOINTS AND LONGITUDINAL SEAMS SHALL BE SEALED WITH RCD#8 LOW-VOC MASTIC. ALL DUCTWORK SHALL BE IN ACCORDANCE WITH SMACNA'S SEAL CLASS "B".
- ALL DUCTWORK SIZES SHOWN ON PLAN ARE CLEAR I.D. DIMENSIONS. ALL SUPPLY AND RETURN DUCTWORK SHALL BE INSULATED.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED ROOF CUTTING AND PATCHING WITH CURRENT ROOFING CONTRACTOR TO MAINTAIN ROOF WARRANTY. COORDINATE ALL WORK WITH LANDLORD PRIOR TO CONSTRUCTION.

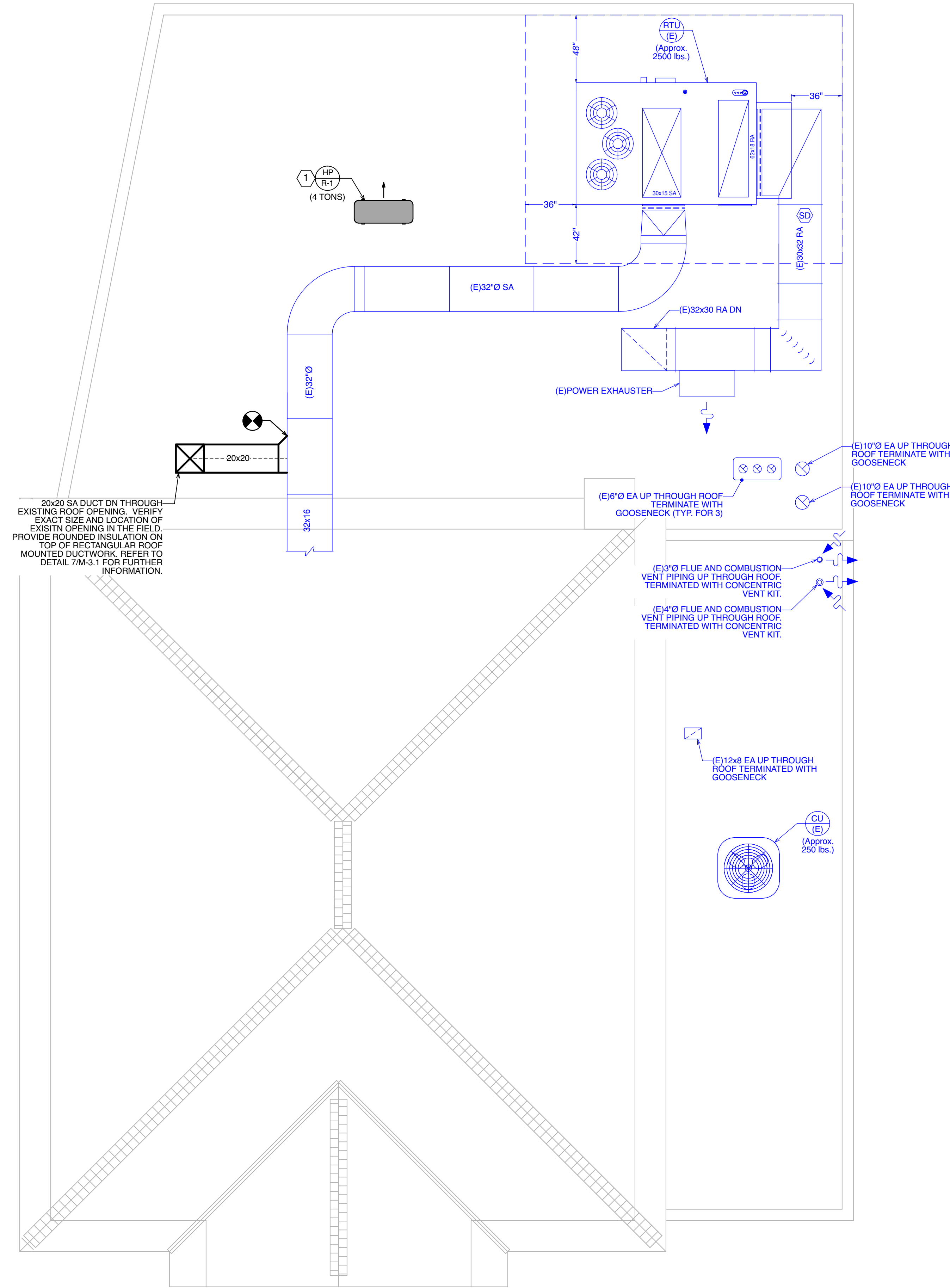
**SHEET NOTES**

- REFER TO THE FOLLOWING NOTES FOR EACH AHU:
  - RUN REFRIGERANT PIPING FROM INDOOR AIR HANDLING UNIT TO CORRESPONDING OUTDOOR CONDENSING UNIT. SIZE REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL RUNS WITH ARCHITECT.
  - CONDENSATE SHALL DRAIN TO MOP RECEPTOR IN BASEMENT. REFER TO PLUMBING PLANS FOR SIZE AND LOCATION.
  - COORDINATE THE FINAL LOCATION OF AHU W/ ARCHITECT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL REQUIRED MAINTENANCE CLEARANCES.
- REFER TO THE FOLLOWING NOTES FOR EACH CU/HP:
  - INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND PROVIDE ALL REQUIRED MAINTENANCE CLEARANCES.
  - ROUTE REFRIGERANT PIPING TO CORRESPONDING AHU. SIZE REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL RUNS WITH ARCHITECT.
  - CONDENSING UNIT SHALL BE MOUNTED ON PATE EQUIPMENT SUPPORTS.
- INDICATES LOCATION OF NEW SEVEN-DAY ELECTRONIC PROGRAMMABLE THERMOSTAT WITH OCCUPIED AND UNOCCUPIED CAPABILITIES TO OPERATE NEW OUTSIDE AIR DAMPER. PROVIDE NON-TAMPER TRANSPARENT ENCLOSURE FOR THERMOSTAT. COORDINATE ENCLOSURE AND FINAL LOCATION MOUNTING HEIGHT OF THE THERMOSTAT WITH ARCHITECT.
- TIE NEW 6" EA DUCT INTO EXISTING 6" EA DUCT UP THROUGH ROOF. VERIFY EXACT SIZE, LOCATION AND ROUTING OF EXISTING DUCTWORK IN THE FIELD.
- PROVIDE TRANSITION FROM NEW 32" SA DUCT INTO EXISTING 32" SA DUCT THROUGH WALL. VERIFY EXACT SIZE, LOCATION AND ROUTING OF EXISTING DUCTWORK IN THE FIELD.
- TIE NEW 32" SA DUCT INTO EXISTING 32" ROOF MOUNTED SA MAIN. VERIFY EXACT SIZE, LOCATION AND ROUTING OF EXISTING DUCTWORK IN THE FIELD.
- TIE NEW 6" EA DUCT FROM ERV INTO EXISTING 6" EA DUCT UP THROUGH ROOF. VERIFY EXACT SIZE, LOCATION AND ROUTING OF EXISTING DUCTWORK IN THE FIELD.

**DRAWING SYMBOLS**

- (E) EXISTING MECHANICAL WORK TO REMAIN
- (R) EXISTING MECHANICAL WORK TO BE DEMOLISHED AND REMOVED
- (RE) EXISTING MECHANICAL WORK TO BE RELOCATED
- EXISTING MECHANICAL WORK TO REMAIN
- - - EXISTING MECHANICAL WORK TO BE DEMOLISHED AND REMOVED
- NEW MECHANICAL WORK

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: FIRST FLOOR MECHANICAL PLAN	
HOLSTEIN WHITE 3800 Madison Blvd., Suite 103 Trenton, PA 19103 © 2010, 2012, 2014 P: (610) 322-7709 www.holsteinwhite.com		SCALE: AS NOTED	DRAWING NO: M-1.0
SCOTT A. WHITE NJ REG. NO. 346264700 NJ AUTH. NO. 24626483700		PROJNO.: 1016H DATE: 1/7/25 REV'D: DRAWN BY: SA CHKD BY: SW	



20x20 SA DUCT DN THROUGH EXISTING ROOF OPENING. VERIFY EXACT SIZE AND LOCATION OF EXISTING OPENING IN THE FIELD. PROVIDE ROUNDED INSULATION ON TOP OF RECTANGULAR ROOF MOUNTED DUCTWORK. REFER TO DETAIL 7M-3.1 FOR FURTHER INFORMATION.

**1 ROOF MECHANICAL PLAN**  
SCALE: 1/4" = 1' - 0"

**SEQUENCE OF OPERATIONS : EXISTING RTU**

A. OCCUPANCY: A USER ADJUSTABLE OCCUPANCY SCHEDULE WILL BE ESTABLISHED AND MAINTAINED BY THE BUILDING OWNER/OPERATOR. OCCUPIED AND UNOCCUPIED HEATING AND COOLING SETPOINTS WILL BE ESTABLISHED. THE FAN SYSTEM WILL MAINTAIN SPACE CONDITIONS TO THE OCCUPIED AND UNOCCUPIED SETPOINTS BASED ON THIS OPERATING SCHEDULE.

INITIAL SETPOINTS:  
 OCCUPIED HEATING = 70°F  
 OCCUPIED COOLING = 74°F  
 UNOCCUPIED HEATING = 65°F  
 UNOCCUPIED COOLING = 82°F

B. OPTIMAL START: AN OPTIMAL START ROUTINE WILL CALCULATE AN EARLY START TIME TO BRING SPACE CONDITIONS TO WITHIN OCCUPIED SETPOINTS BY THE BEGINNING OF THE SCHEDULED OCCUPANCY TIME PERIOD. THE OPTIMAL START ROUTINE FACTORS TEMPERATURE(S) AND OUTDOOR CONDITIONS TO CALCULATE AND LEARN THE START-UP RECOVERY TIME FROM THE UN-OCCUPIED MODE.

C. FIRE / SMOKE - SAFETY DEVICE: UPON ACTIVATION OF THE FIRE/SMOKE SAFETY DEVICE, THE FAN SYSTEM WILL SHUTDOWN AND CEASE ALL FUNCTION, EXCEPT WHERE SPECIFIED OTHERWISE. A MANUAL RESET OF THE DEVICE WILL BE REQUIRED TO ALLOW THE SYSTEM RE-START IN ITS APPROPRIATE MODE OF OPERATION. AN ALARM WILL BE ACTIVATED AT THE OPERATOR'S TERMINAL.

D. COOLING: WHEN FREE COOLING IS NOT AVAILABLE, THE COMPRESSORS WILL BE CONTROLLED BY THE ZONE THERMOSTAT. WHEN FREE COOLING IS AVAILABLE, THE OUTDOOR AIR DAMPER IS MODULATED BY THE ECONOMIZER CONTROL TO PROVIDE A 50°F TO 55°F MIXED AIR TEMPERATURE INTO THE ZONE. AS THE MIXED AIR TEMPERATURE FLUCTUATES ABOVE 65°F OR BELOW 60°F, DAMPERS WILL BE MODULATED (OPEN OR CLOSE) TO BRING THE MIXED AIR TEMPERATURE BACK WITHIN CONTROL. IF MECHANICAL COOLING IS UTILIZED WITH FREE COOLING, THE OUTDOOR AIR DAMPER WILL MAINTAIN ITS CURRENT POSITION AT THE TIME THE COMPRESSOR IS STARTED. IF THE INCREASE IN COOLING CAPACITY CAUSES THE MIXED AIR TEMPERATURE TO DROP BELOW 45°F, THEN THE OUTDOOR AIR DAMPER POSITION WILL BE DECREASED TO THE MINIMUM POSITION. IF THE MIXED AIR TEMPERATURE CONTINUES TO FALL, THE OUTDOOR AIR DAMPER WILL CLOSE. CONTROL RETURNS TO NORMAL ONCE THE MIXED AIR TEMPERATURE RISES ABOVE 48°F. THE POWER EXHAUST FANS WILL BE ENERGIZED AND DE-ENERGIZED AS THE OUTDOOR AIR DAMPER OPENS AND CLOSES.

FIELD INSTALLED ACCESSORY CO2 SENSORS ARE TO BE CONNECTED TO THE ECONOMIZER CONTROL FOR A DEMAND CONTROLLED VENTILATION SEQUENCE. AS THE CO2 LEVEL IN THE ZONE INCREASES ABOVE THE CO2 SETPOINT, THE MINIMUM POSITION OF THE DAMPER WILL BE INCREASED PROPORTIONALLY. AS THE CO2 LEVEL DECREASES BECAUSE OF THE INCREASE IN FRESH AIR, THE OUTDOOR AIR DAMPER WILL BE PROPORTIONALLY CLOSED. FOR ECONOMIZER OPERATION, THERE MUST BE A THERMOSTAT CALL FOR THE FAN. IF THE UNIT IS OCCUPIED AND THE FAN IS ON, THE DAMPER WILL OPERATE AT MINIMUM POSITION. OTHERWISE, THE DAMPER WILL BE CLOSED.

WHEN THE ECONOMIZER CONTROL IS IN THE OCCUPIED MODE AND A CALL FOR COOLING EXISTS (Y1 NOT ON THE THERMOSTAT), THE CONTROL WILL FIRST CHECK FOR INDOOR FAN OPERATION. IF THE FAN IS NOT ON, THEN COOLING WILL NOT BE ACTIVATED. IF THE FAN IS ON, THEN THE CONTROL WILL OPEN THE ECONOMIZER DAMPER TO THE MINIMUM POSITION.

ON THE INITIAL POWER TO THE ECONOMIZER CONTROL, IT WILL TAKE THE DAMPER UP TO 2-1/2 MINUTES BEFORE IT BEGINS TO POSITION ITSELF. AFTER THE INITIAL POWER-UP, FURTHER CHANGES IN DAMPER POSITION CAN TAKE UP TO 30 SECONDS TO INITIATE. DAMPER MOVEMENT FROM FULL CLOSED TO FULL OPEN (OR VICE VERSA) WILL TAKE BETWEEN 1-1/2 AND 2-1/2 MINUTES. IF FREE COOLING CAN BE USED AS DETERMINED FROM THE APPROPRIATE CHANGEOVER COMMAND SWITCH, DRY BULB ENTHALPY CURVE, DIFFERENTIAL DRY BULB OR DIFFERENTIAL ENTHALPY), THEN THE CONTROL WILL MODULATE THE DAMPERS OPEN TO MAINTAIN THE MIXED AIR TEMPERATURE SETPOINT AT 50°F TO 55°F. IF THERE IS A FURTHER DEMAND FOR COOLING (COOLING SECOND STAGE - Y2 IS ENERGIZED), THEN THE CONTROL WILL BRING ON COMPRESSOR STAGE 1 TO MAINTAIN THE MIXED AIR TEMPERATURE SETPOINT. THE ECONOMIZER DAMPER WILL BE OPEN AT MAXIMUM POSITION.

E. HEATING: WHEN THE THERMOSTAT CALLS FOR HEATING, POWER IS SENT TO W ON THE INTEGRATED GAS CONTROLLER (IGC) BOARD. AN LED ON THE IGC BOARD TURNS ON AND REMAINS ON DURING NORMAL OPERATION. A CHECK IS MADE TO ENSURE THAT THE ROLLOUT SWITCH AND LIMIT SWITCH ARE CLOSED. IF THE CHECK WAS SUCCESSFUL, THE INDUCED-DRAFT MOTOR IS ENERGIZED AND WHEN ITS SPEED IS SATISFACTORY, AS PROVEN BY THE "HALL EFFECT" SENSOR, THE IGNITION ACTIVATION PERIOD BEGINS. THE BURNERS WILL IGNITE WITHIN 5 SECONDS. IF THE BURNERS DO NOT LIGHT, THERE IS A 22-SECOND DELAY BEFORE ANOTHER 5-SECOND ATTEMPT. THIS SEQUENCE IS REPEATED FOR 15 MINUTES OR UNTIL THE BURNERS LIGHT. IF, AFTER THE 15 MINUTES, THE BURNERS STILL HAVE NOT LIT, HEATING IS LOCKED OUT. TO RESET THE CONTROL, BREAK 24V POWER TO THE THERMOSTAT.

WHEN IGNITION OCCURS, THE IGC BOARD WILL CONTINUE TO MONITOR THE CONDITION OF THE ROLLOUT SWITCH, THE LIMIT SWITCHES, THE "HALL EFFECT" SENSOR, AS WELL AS THE FLAME SENSOR. 45-SECONDS AFTER IGNITION OCCURS, ASSUMING THE UNIT IS CONTROLLED THROUGH A ROOM THERMOSTAT SET FOR FAN AUTO, THE INDOOR FAN MOTOR WILL ENERGIZE (AND THE OUTDOOR AIR DAMPERS WILL OPEN TO THEIR MINIMUM POSITION). IF, FOR SOME REASON, THE OVER-TEMPERATURE LIMIT OPENS PRIOR TO THE START OF THE INDOOR FAN BLOWER, THE UNIT WILL SHORTEN THE 45-SECOND DELAY TO 5-SECONDS LESS THAN THE TIME FROM INITIATION OF HEAT TO WHEN THE LIMIT TRIPPED. GAS WILL NOT BE INTERRUPTED TO THE BURNERS AND HEATING WILL CONTINUE. ONCE THE FAN-ON DELAY HAS BEEN MODIFIED, IT WILL NOT CHANGE BACK TO 45-SECONDS UNTIL POWER IS RESET TO THE CONTROL.

ON UNITS WITH 2 STAGES OF HEAT, WHEN ADDITIONAL HEAT IS REQUIRED, W2 CLOSES AND INITIATES POWER TO THE SECOND STAGE OF THE MAIN GAS VALVE. WHEN THE THERMOSTAT IS SATISFIED, W1 AND W2 OPEN AND THE GAS VALVE CLOSSES, INTERRUPTING THE FLOW OF GAS TO THE MAIN BURNERS.

IF THE CALL FOR W1 LASTED LESS THAN 1 MINUTE, THE HEATING CYCLE WILL NOT TERMINATE UNTIL 1 MINUTE AFTER W1 BECAME ACTIVE. IF THE UNIT IS CONTROLLED THROUGH A ROOM THERMOSTAT SET FOR FAN AUTO, THE INDOOR FAN MOTOR WILL CONTINUE TO OPERATE FOR AN ADDITIONAL 45-SECONDS THEN STOP. IF THE OVER-TEMPERATURE LIMIT OPENS AFTER THE INDOOR MOTOR IS STOPPED, BUT WITHIN 10 MINUTES OF W1 BECOMING INACTIVE, ON THE NEXT CYCLE THE TIME WILL BE EXTENDED BY 15-SECONDS. THE MAXIMUM DELAY IS 3 MINUTES. ONCE MODIFIED, THE FAN OFF DELAY WILL NOT CHANGE BACK TO 45-SECONDS UNLESS POWER IS RESET TO THE CONTROL. AN LED INDICATOR IS PROVIDED ON THE IGC TO MONITOR OPERATION.

F. HUMID-MIZER DEHUMIDIFICATION SYSTEM: UNITS WITH THE FACTORY EQUIPPED HUMID-MIZER OPTION ARE CAPABLE OF PROVIDING MULTIPLE MODES OF IMPROVED DEHUMIDIFICATION AS A VARIATION OF THE NORMAL COOLING CYCLE. THE HUMID-MIZER OPTION INCLUDES ADDITIONAL VALVES IN THE LIQUID LINE AND DISCHARGE LINE OF EACH REFRIGERANT CIRCUIT. A SMALL REHEAT CONDENSER COIL DOWNSTREAM OF THE EVAPORATOR, AND MOTORMASTER VARIABLE-SPEED CONTROL OF SOME OR ALL OUTDOOR FANS. OPERATION OF THE REVISED REFRIGERANT CIRCUIT FOR EACH MODE IS DESCRIBED BELOW.

THE HUMID-MIZER SYSTEM PROVIDES THREE MODES OF OPERATION: COOL, REHEAT1 AND REHEAT2:

COOL MODE	PROVIDES A NORMAL RATIO OF SENSIBLE AND LATENT COOLING EFFECT FROM THE EVAPORATOR COIL.
REHEAT1	PROVIDES INCREASED LATENT COOLING WHILE SLIGHTLY REDUCING THE SENSIBLE COOLING EFFECT.
REHEAT2	PROVIDES NORMAL LATENT COOLING BUT WITH NULL OR MINIMUM SENSIBLE COOLING EFFECT DELIVERED TO THE SPACE.

THE REHEAT1 AND REHEAT2 MODES ARE AVAILABLE WHEN THE UNIT IS NOT IN A HEATING MODE AND WHEN THE LOW AMBIENT LOCKOUT SWITCH IS CLOSED.

**GENERAL NOTES**

- ALL BRANCH DUCTWORK SHALL HAVE BALANCING DAMPERS.
- COORDINATE ALL AIR DEVICES WITH LIGHTING AND REFLECTED CEILING PLANS.
- IT IS THE INTENT TO MAINTAIN THE CEILING HEIGHTS AS SHOWN ON THE REFLECTED CEILING PLANS.
- DUCTWORK SHOULD BE INSTALLED AS TIGHT AS POSSIBLE TO THE STRUCTURAL FRAMING AND DECK.
- MECHANICAL CONTRACTOR SHALL FURNISH ALL REQUIRED CEILING ACCESS PANELS AND WALL OPENINGS TO SERVICE ALL MECHANICAL EQUIPMENT, INSTALLED BY G.C. COORDINATED ALL LOCATIONS AND SIZES WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL TRANSVERSE JOINTS AND LONGITUDINAL SEAMS SHALL BE SEALED WITH RCD#8 LOW-VOC MASTIC. ALL DUCTWORK SHALL BE IN ACCORDANCE WITH SMACNA'S SEAL CLASS "B".
- ALL DUCTWORK SIZES SHOWN ON PLAN ARE CLEAR I.D. DIMENSIONS. ALL SUPPLY AND RETURN DUCTWORK SHALL BE INSULATED.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED ROOF CUTTING AND PATCHING WITH CURRENT ROOFING CONTRACTOR TO MAINTAIN ROOF WARRANTY. COORDINATE ALL WORK WITH LANDLORD PRIOR TO CONSTRUCTION.

**SHEET NOTES**

- REFER TO THE FOLLOWING NOTES FOR EACH AHU:
  - RUN REFRIGERANT PIPING FROM INDOOR AIR HANDLING UNIT TO CORRESPONDING OUTDOOR HEAT PUMP. SIZE REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL RUNS WITH ARCHITECT.
  - CONDENSATE SHALL DRAIN TO MOP RECEPTOR IN BASEMENT. PROVIDE CONDENSATE PUMP.
  - COORDINATE THE FINAL LOCATION OF AHU W/ ARCHITECT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL REQUIRED MAINTENANCE CLEARANCES.
- REFER TO THE FOLLOWING NOTES FOR EACH AHU:
  - RUN REFRIGERANT PIPING FROM INDOOR AIR HANDLING UNIT TO CORRESPONDING OUTDOOR CONDENSING UNIT. SIZE REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL RUNS WITH ARCHITECT.
  - CONDENSATE SHALL DRAIN TO FLOOR DRAIN IN STORAGE ROOM. REFER TO PLUMBING PLANS FOR SIZE AND LOCATION.
  - COORDINATE THE FINAL LOCATION OF AHU W/ ARCHITECT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL REQUIRED MAINTENANCE CLEARANCES.
- REFER TO THE FOLLOWING NOTES FOR EACH CU/HP:
  - INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND PROVIDE ALL REQUIRED MAINTENANCE CLEARANCES.
  - ROUTE REFRIGERANT PIPING TO CORRESPONDING AHU. SIZE REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL RUNS WITH ARCHITECT.
  - CONDENSING UNIT SHALL BE MOUNTED ON PATE EQUIPMENT SUPPORTS.
- INDICATES LOCATION OF NEW SEVEN-DAY ELECTRONIC PROGRAMMABLE THERMOSTAT WITH OCCUPIED AND UNOCCUPIED CAPABILITIES TO OPERATE NEW OUTSIDE AIR DAMPER. PROVIDE NON-TAMPER TRANSPARENT ENCLOSURE FOR THERMOSTAT. COORDINATE ENCLOSURE AND FINAL LOCATION MOUNTING HEIGHT OF THE THERMOSTAT WITH ARCHITECT.

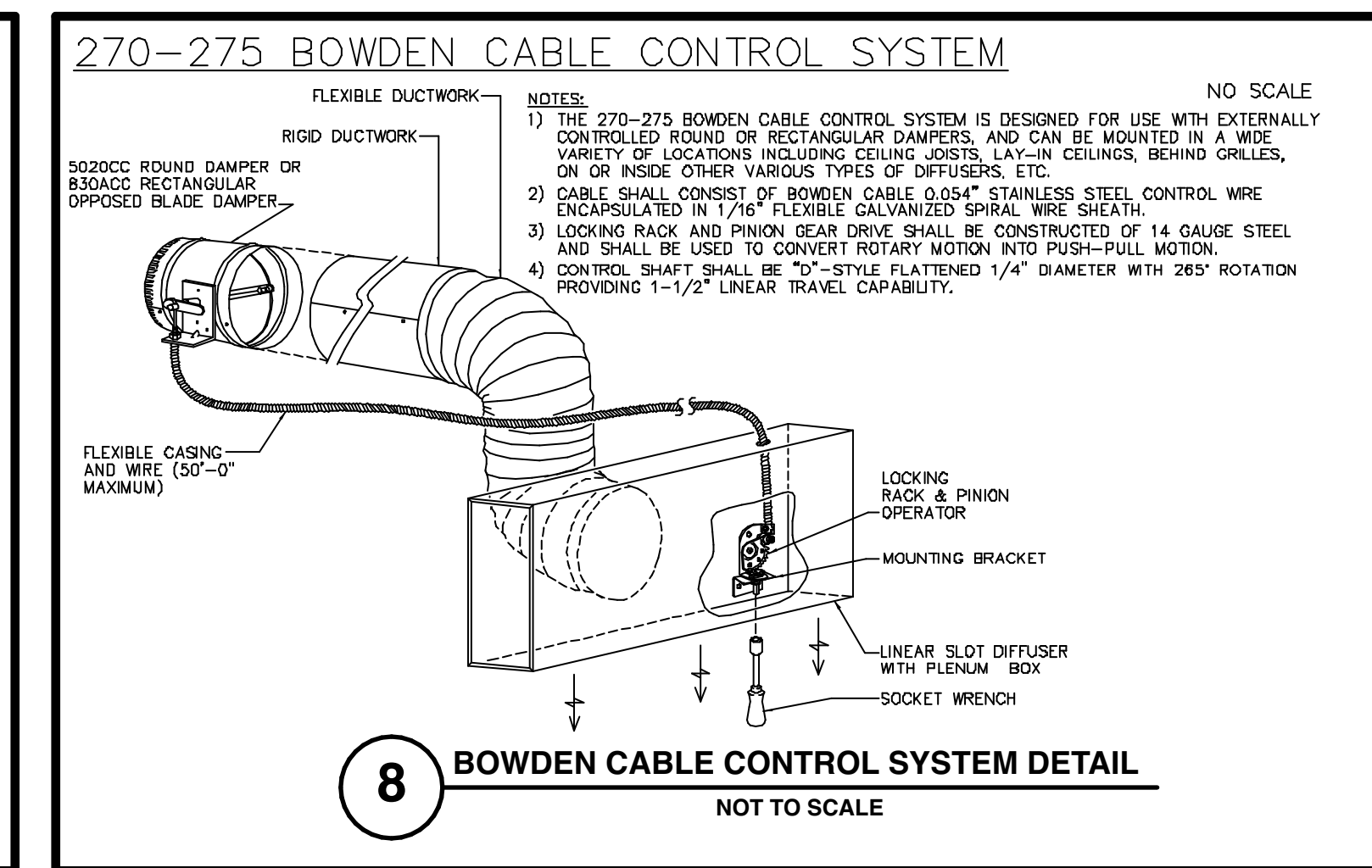
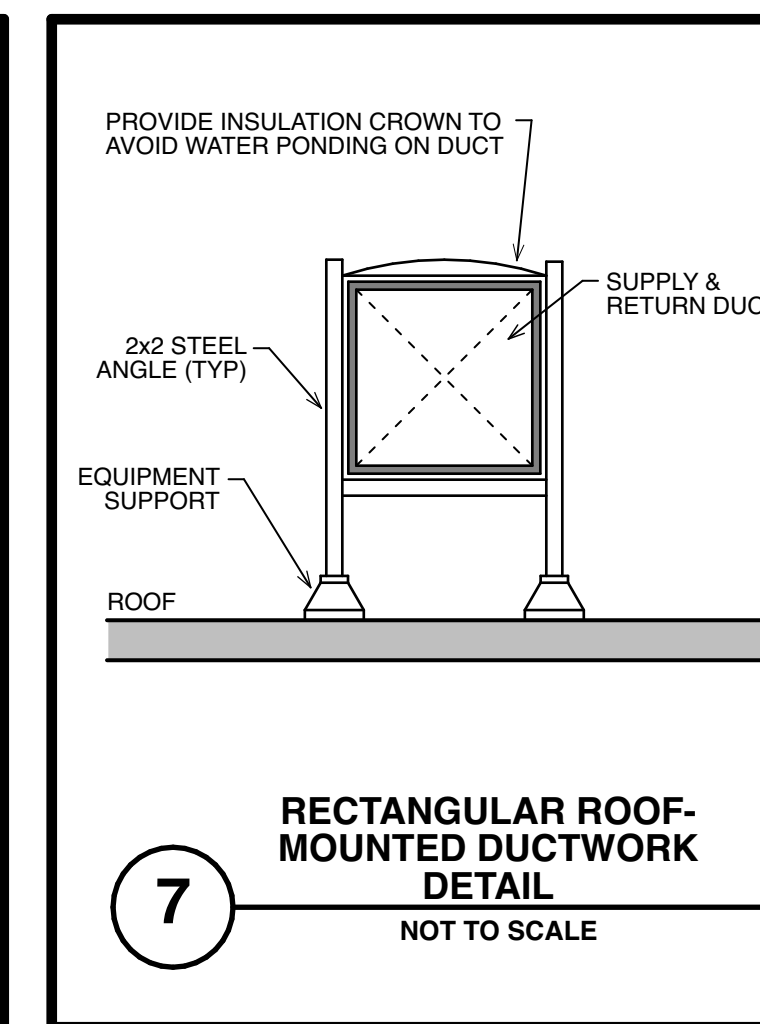
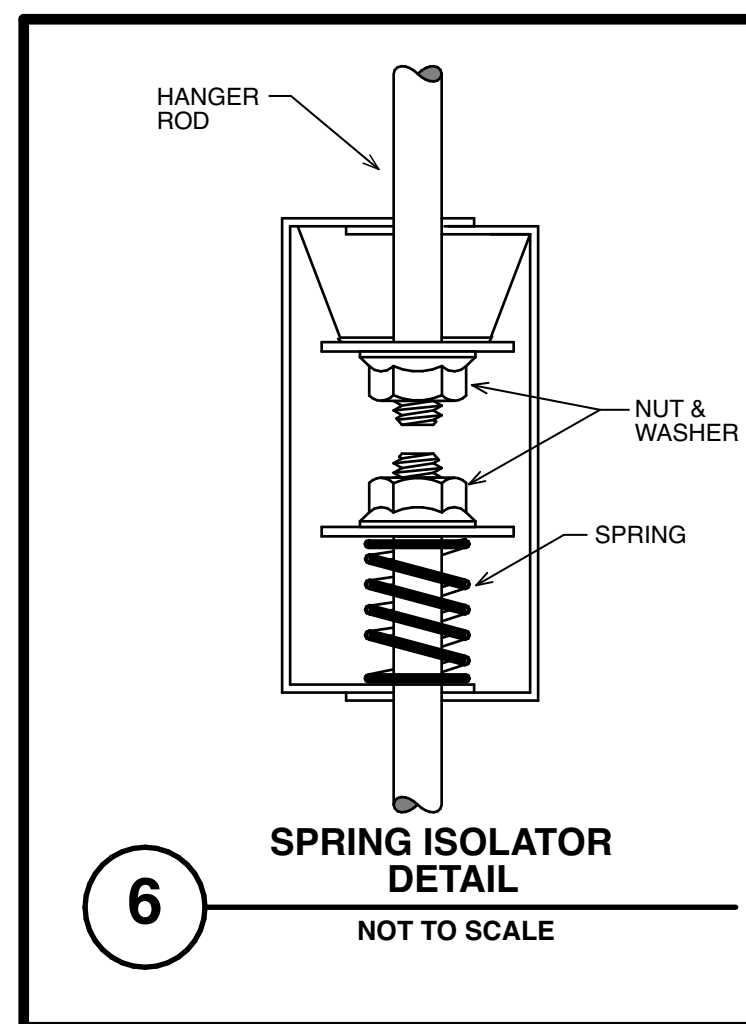
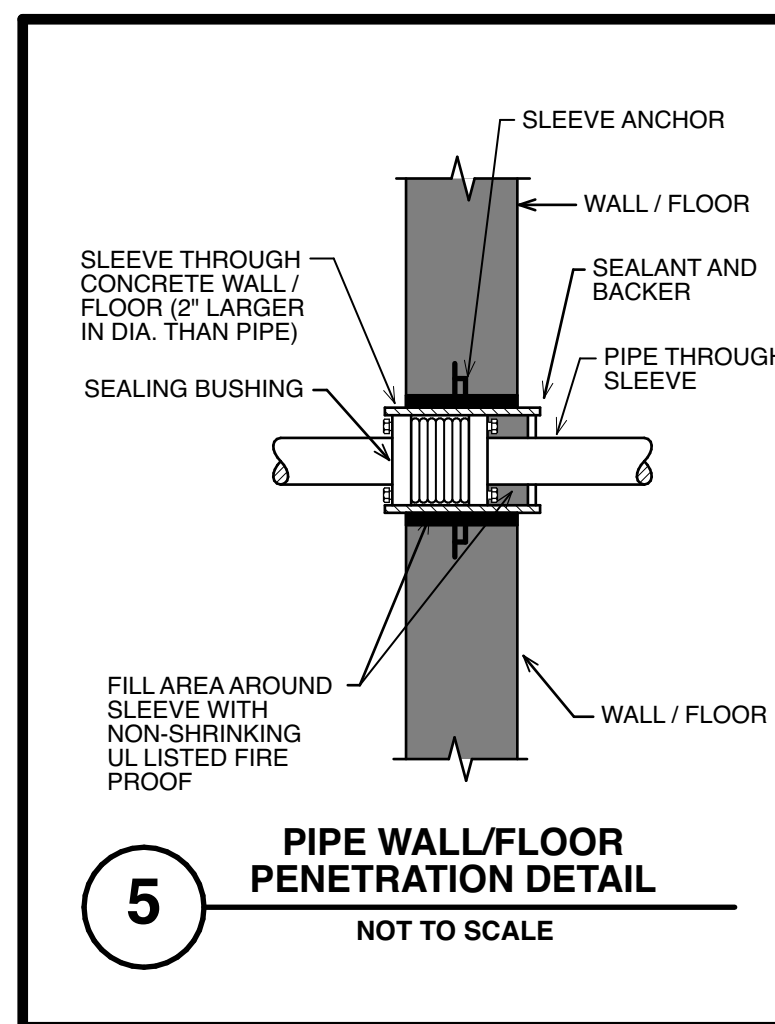
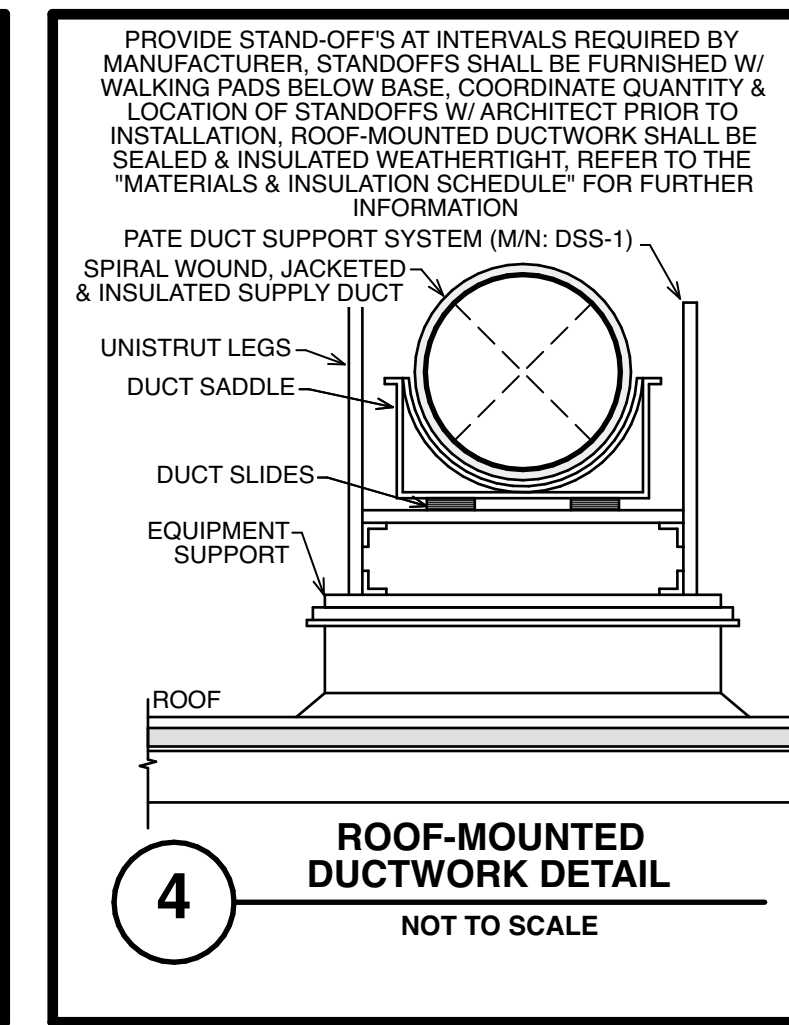
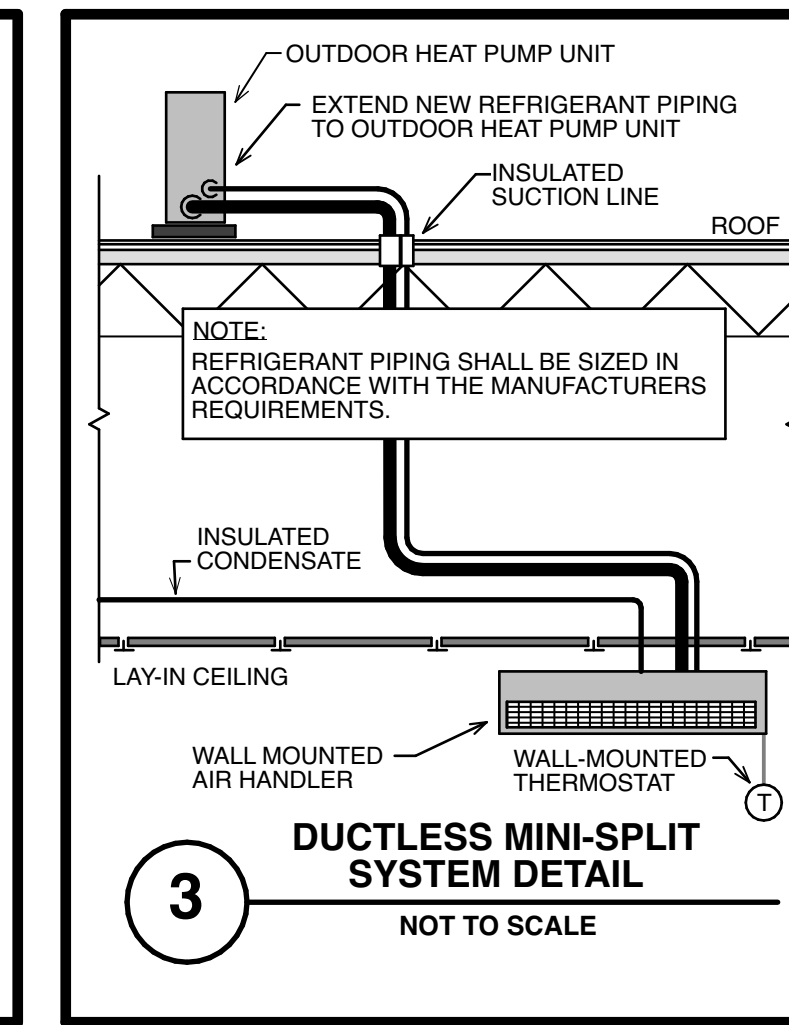
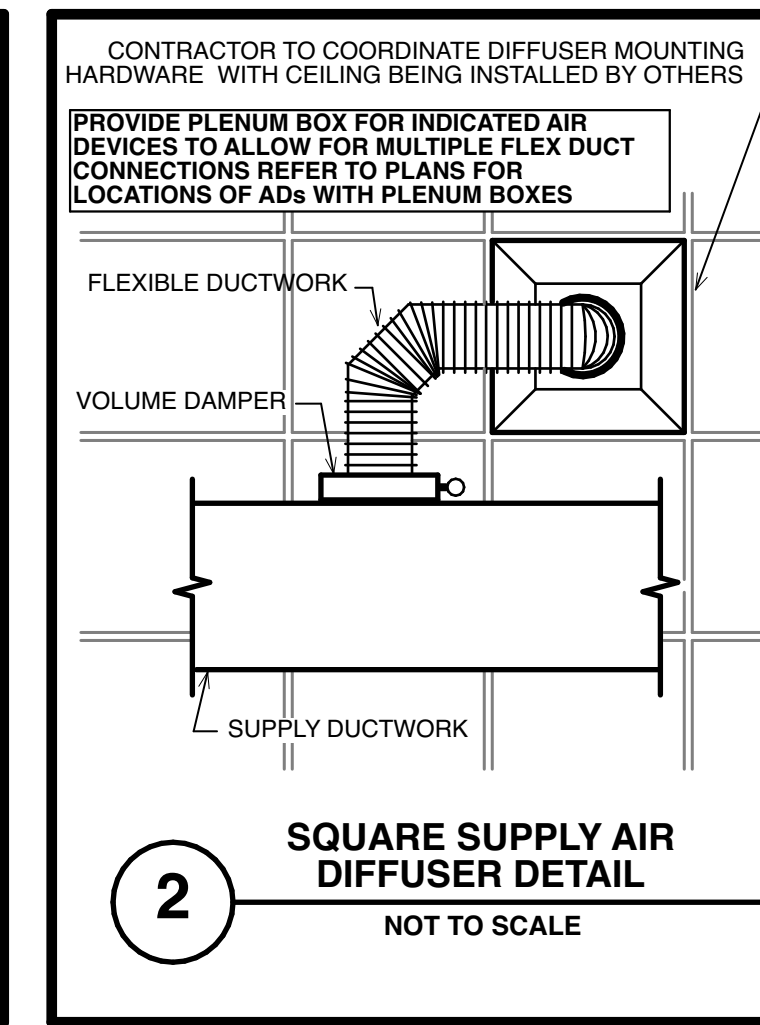
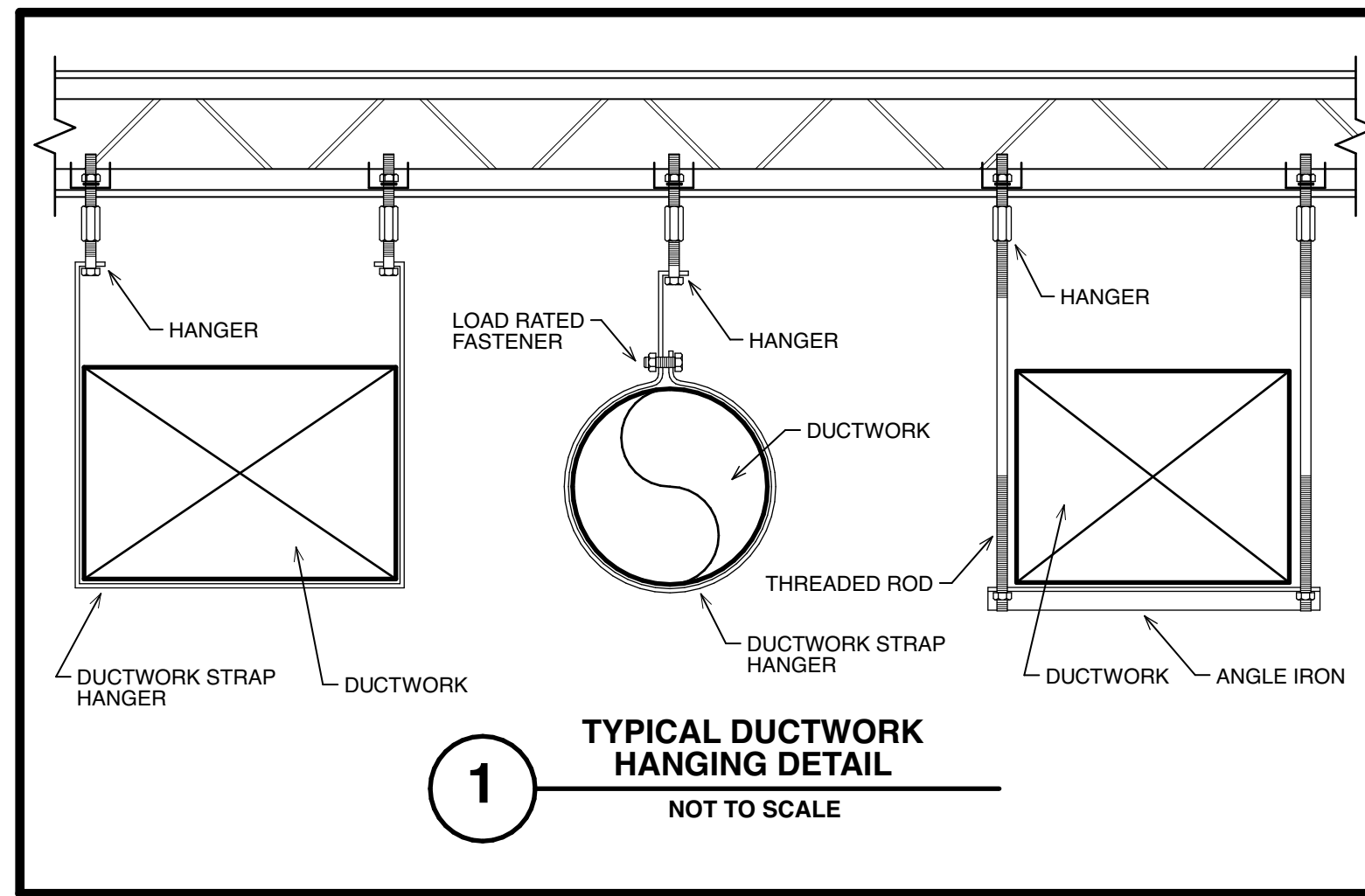
**DRAWING SYMBOLS**



- (E) EXISTING MECHANICAL WORK TO REMAIN
- (R) EXISTING MECHANICAL WORK TO BE DEMOLISHED AND REMOVED
- (RE) EXISTING MECHANICAL WORK TO BE RELOCATED
- EXISTING MECHANICAL WORK TO REMAIN
- - - EXISTING MECHANICAL WORK TO BE DEMOLISHED AND REMOVED
- NEW MECHANICAL WORK

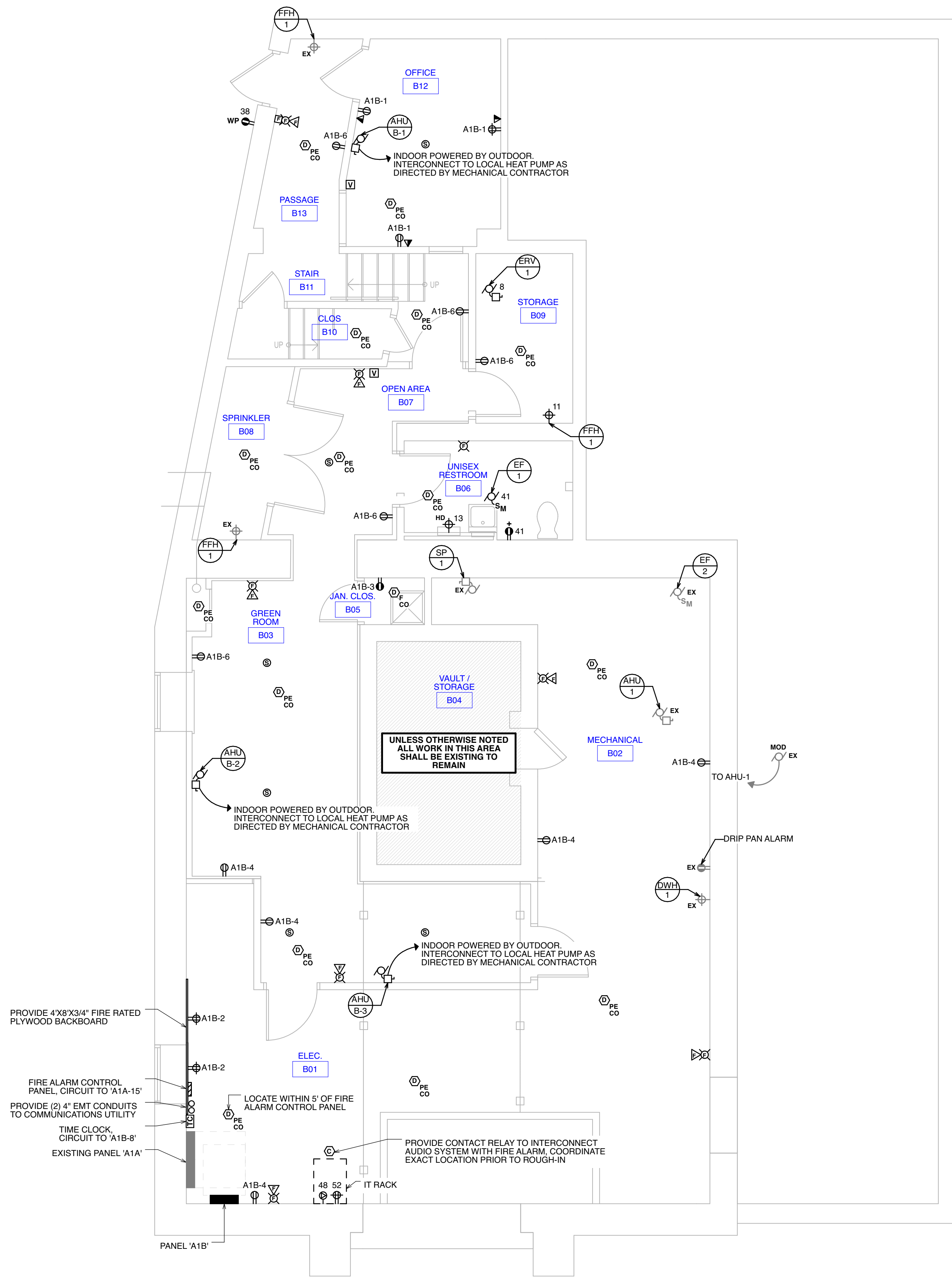
1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: ROOF MECHANICAL PLAN	
HOLSTEIN WHITE 3800 Macombs Blvd., Suite 103 Towamencin, PA 15033 P: (724) 322-7700 www.holsteinwhite.com		SCALE: AS NOTED	DRAWING NO: M-2.1
SCOTT A. WHITE NJ REG. NO. 34626467000 NJ AUTH. NO. 24626467000		DATE: 1/16/24	DATE: 1/7/25
DESIGN: SA CHECK: SW		PREPARED BY: SA DATE: 1/16/24	DATE: 1/7/25







No.	DATE	DESCRIPTION	REV'D BY
	1/7/25	Issued for Bid	
REVISIONS			
APPROVAL:		PROJECT: <b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012</b>	
 Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: <b>MECHANICAL DETAILS</b>	
 HOLSTEIN WHITE 3800 Madison Blvd., Suite 103 Trenton, NJ 08611 P: (609) 392-2779 www.holsteinwhite.com		SCALE: AS NOTED PROJ. NO.: 10161H DATE: 1/7/25 REV'D: DRAWN BY: SA CHKD BY: SW	DRAWING NO: <b>M-3.1</b>

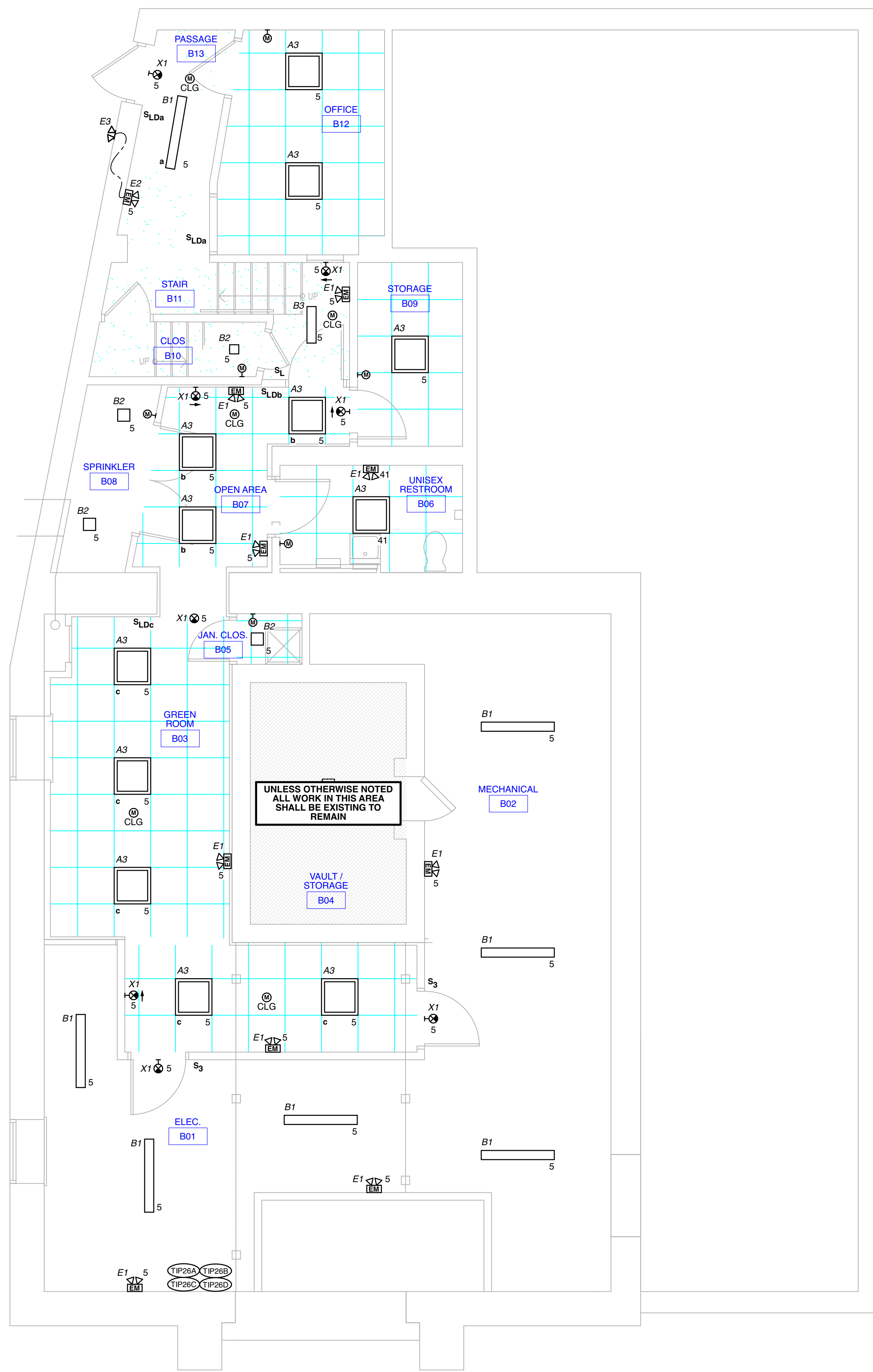


**1 BASEMENT POWER PLAN**  
SCALE: 1/4" = 1' - 0"

- ### DEMOLITION NOTES
- WHERE EXISTING FACILITIES ARE BEING ALTERED, DISCONNECT AND REMOVE OR RELOCATE ALL EXISTING ELECTRICAL WORK THAT INTERFERES WITH OR IS NECESSARY BECAUSE OF NEW CONSTRUCTION AS SPECIFIED, SHOWN OR REQUIRED.
  - PERFORM ALTERATION AND ADDITIONS TO PRESENT ELECTRICAL SYSTEM WITH AM MINIMUM INTERRUPTION IN THE OPERATION OF THESE SYSTEMS. OBTAIN WRITTEN CLEARANCE FROM OWNER FOR SUCH INTERRUPTIONS AND SCHEDULE SAME AT WHATEVER TIME SPECIFIED IN WRITING BY OWNER.
  - WHERE SPECIFIED OR REQUIRED, EXTEND EXISTING SYSTEMS OR TIE INTO SAME TO PROVIDE A COMPLETE COORDINATED ELECTRICAL SYSTEM TO SATISFACTION OF OWNER AND ARCHITECT.
  - ALL EXISTING WORK TO REMAIN, BUT DISTURBED AND DISCONNECTED BECAUSE OF ALTERATIONS AND NEW CONSTRUCTION SHALL BE REPLACED AND PUT IN OPERATING CONDITION UNLESS INSTRUCTED OTHERWISE IN WRITING BY OWNER OR ARCHITECT.
  - EXISTING BRANCH CIRCUITS NOT SHOWN SHALL REMAIN INTACT TO EXTENT PRACTICABLE, AND SHALL BE EXTENDED AS REQUIRED.
  - DISCONNECT AND REMOVE EXISTING WIRING DEVICES, LIGHTING FIXTURES, AND ASSOCIATED BRANCH CIRCUIT WIRING NO LONGER REQUIRED BY NEW CONSTRUCTION.
  - PERFORM ALL WORK NECESSARY TO PERMIT OPERATION OF ALL EXISTING SYSTEMS DURING THE CONSTRUCTION PERIOD. PROVIDE AND MAINTAIN APPLICABLE APPROVED TEMPORARY WIRING TO MEET THIS REQUIREMENT.
  - DEMOLISH AND REMOVE EXISTING ELECTRICAL EQUIPMENT, FEEDERS AND CONDUIT NO LONGER REQUIRED BY NEW CONSTRUCTION BACK TO ELECTRICAL PANEL.
  - ALL CIRCUIT BREAKERS NO LONGER REQUIRED BY NEW CONSTRUCTION SHALL BE MADE SPARE AND SET OPEN POSITION.
  - ELECTRICAL CONTRACTOR SHALL UPDATE PANEL DIRECTORIES AT THE COMPLETION OF WORK.
  - THE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING HIS PROPOSAL TO VERIFY ACTUAL SITE CONDITIONS AND ANY DISCOVERED DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO SUBMITTING THEIR BID. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK EXPOSED AND CONCEALED, WHETHER OR NOT SHOWN ON DRAWINGS, NECESSARY FOR THE EFFECTIVE INSTALLATION AND PERFORMANCE OF NEW SYSTEM. THE OWNER SHALL NOT ACCEPT (NOR THE CONTRACTOR PAID) EXTRA COSTS ASSOCIATED WITH THE DEMOLITION AND/OR TEMPORARY REMOVAL/REINSTALLATION WORK FROM THE CONTRACTOR.

- ### DRAWING NOTES
- FIELD VERIFY LOCATION OF ALL WIRING DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN.
  - COORDINATE INSTALLATION OF HVAC EQUIPMENT WITH MECHANICAL CONTRACTOR AND WIRE DISCONNECT SWITCHES FURNISHED BY MECHANICAL CONTRACTOR.
  - MOTORIZED DAMPERS REFER TO MECHANICAL PLANS FOR EXACT LOCATION, INTERCONNECT TO LOCAL AHU AS DIRECTED BY M.C.
  - UNLESS OTHERWISE NOTED, ALL POWER SHALL BE CIRCUITED TO PANEL 'A1A'.
  - UNLESS OTHERWISE NOTED, COORDINATE WITH OWNER'S LOW-VOLTAGE VENDOR EXACT LOCATION OF ALL LOW-VOLTAGE EQUIPMENT LOCATIONS. ELECTRICAL CONTRACTOR SHALL PROVIDE BACKBOX, CONDUIT, AND PULL STRING FOR ALL LOW-VOLTAGE DEVICES SHOWN ON PLAN. THEATER LOW-VOLTAGE EQUIPMENT SHALL BE FURNISHED UNDER A SEPARATE CONTRACT. OBTAIN COPY OF LOW-VOLTAGE SUB-CONTRACTOR PLANS. GENERAL CONTRACTOR SHALL PROVIDE 120 VOLT POWER AS REQUIRED FOR LOW-VOLTAGE SYSTEMS. LOW-VOLTAGE SYSTEMS INCLUDED BUT ARE NOT LIMITED TO SPEAKERS, VOLUME CONTROL, AND DATA.



1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:	PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: BASEMENT POWER PLAN	
 <small>3800 Madison Blvd., Suite 103 Trenton, PA 19103 © 2010, 2022-2023 P: 202.222.7709 www.holsteinwhite.com</small>	SCALE: AS NOTED	DATE: 10/16/24	E-0.0
	<small>CONTRACTOR MUST BE VERIFIED BY ARCHITECT OR AN EXPERIENCED BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.</small>	<small>PROJNO: 1016H</small> <small>DATE: 1/7/25</small> <small>REV'D:</small> <small>DRAWN BY: EP</small> <small>CHECKED BY: RG</small>	



**1 BASEMENT LIGHTING PLAN**  
SCALE: 1/4" = 1' - 0"

- ### DEMOLITION NOTES
- WHERE EXISTING FACILITIES ARE BEING ALTERED, DISCONNECT AND REMOVE OR RELOCATE ALL EXISTING ELECTRICAL WORK THAT INTERFERES WITH OR IS NECESSARY BECAUSE OF NEW CONSTRUCTION AS SPECIFIED, SHOWN OR REQUIRED.
  - PERFORM ALTERATION AND ADDITIONS TO PRESENT ELECTRICAL SYSTEM WITH AM MINIMUM INTERRUPTION IN THE OPERATION OF THESE SYSTEMS. OBTAIN WRITTEN CLEARANCE FROM OWNER FOR SUCH INTERRUPTIONS AND SCHEDULE SAME AT WHATEVER TIME SPECIFIED IN WRITING BY OWNER.
  - WHERE SPECIFIED OR REQUIRED, EXTEND EXISTING SYSTEMS OR TIE INTO SAME TO PROVIDE A COMPLETE COORDINATED ELECTRICAL SYSTEM TO SATISFACTION OF OWNER AND ARCHITECT.
  - ALL EXISTING WORK TO REMAIN, BUT DISTURBED AND DISCONNECTED BECAUSE OF ALTERATIONS AND NEW CONSTRUCTION SHALL BE REPLACED AND PUT IN OPERATING CONDITION UNLESS INSTRUCTED OTHERWISE IN WRITING BY OWNER OR ARCHITECT.
  - EXISTING BRANCH CIRCUITS NOT SHOWN SHALL REMAIN INTACT TO EXTENT PRACTICABLE, AND SHALL BE EXTENDED AS REQUIRED.
  - DISCONNECT AND REMOVE EXISTING WIRING DEVICES, LIGHTING FIXTURES, AND ASSOCIATED BRANCH CIRCUIT WIRING NO LONGER REQUIRED BY NEW CONSTRUCTION.
  - PERFORM ALL WORK NECESSARY TO PERMIT OPERATION OF ALL EXISTING SYSTEMS DURING THE CONSTRUCTION PERIOD. PROVIDE AND MAINTAIN APPLICABLE APPROVED TEMPORARY WIRING TO MEET THIS REQUIREMENT.
  - DEMOLISH AND REMOVE EXISTING ELECTRICAL EQUIPMENT, FEEDERS AND CONDUIT NO LONGER REQUIRED BY NEW CONSTRUCTION BACK TO ELECTRICAL PANEL.
  - ALL CIRCUIT BREAKERS NO LONGER REQUIRED BY NEW CONSTRUCTION SHALL BE MADE SPARE AND SET OPEN POSITION.
  - ELECTRICAL CONTRACTOR SHALL UPDATE PANEL DIRECTORIES AT THE COMPLETION OF WORK.
  - THE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING HIS PROPOSAL TO VERIFY ACTUAL SITE CONDITIONS AND ANY DISCOVERED DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO SUBMITTING THEIR BID. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK EXPOSED AND CONCEALED, WHETHER OR NOT SHOWN ON DRAWINGS, NECESSARY FOR THE EFFECTIVE INSTALLATION AND PERFORMANCE OF NEW SYSTEM. THE OWNER SHALL NOT ACCEPT (NOR THE CONTRACTOR PAID) EXTRA COSTS ASSOCIATED WITH THE DEMOLITION AND/OR TEMPORARY REMOVAL/REINSTALLATION WORK FROM THE CONTRACTOR.

- ### DRAWING NOTES
- FIELD VERIFY LOCATION OF ALL WIRING DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN.
  - FIELD VERIFY EXACT LOCATIONS OF ALL LIGHTING FIXTURES WITH ARCHITECT PRIOR TO ROUGH-IN.
  - UNLESS OTHERWISE NOTED ALL LIGHTING SHALL BE CIRCUITED TO 'A1B'.
  - EMERGENCY LIGHTING AND EXIT SIGNS SHALL BE CONNECTED TO LINE SIDE OF LOCAL LIGHTING CONTROL.

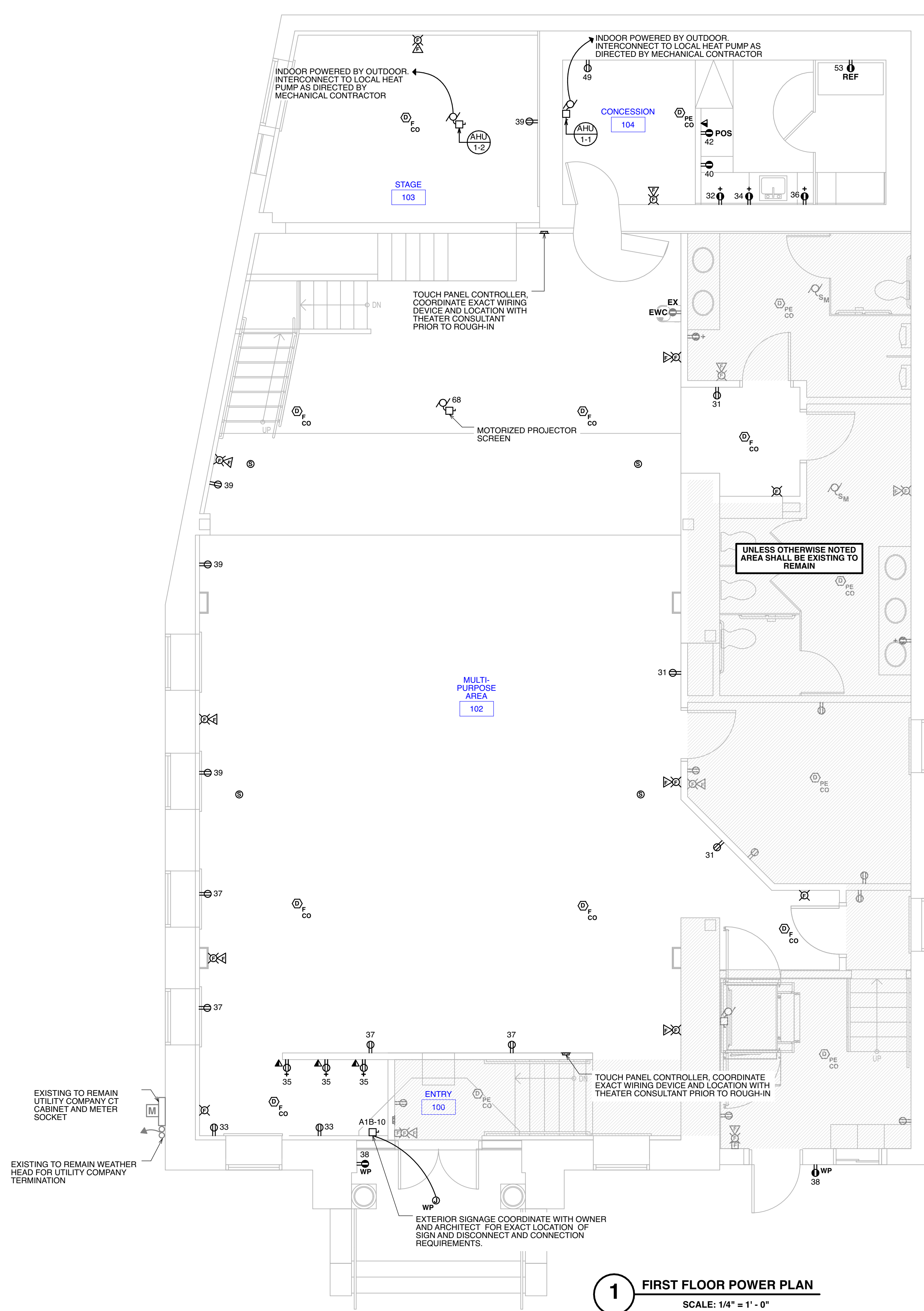
1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
 Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: BASEMENT LIGHTING PLAN	
 HOLSTEIN WHITE 3800 Madison Blvd., Suite 103 Trenton, PA 19103 © 2010, 2022, 2023 P: (202) 322-7709 www.holsteinwhite.com		SEAL: JEFFREY E. HOLSTEIN NJ P.E. NO. 3462648430 NJ AUTH. NO. 24GCB143702	SCALE: AS NOTED PROJ. NO.: 10161H DATE: 1/7/25 REV'D: DRAWN BY: EP CKD BY: RG
		DRAWING NO. E-0.1	

**DEMOLITION NOTES**



- WHERE EXISTING FACILITIES ARE BEING ALTERED, DISCONNECT AND REMOVE OR RELOCATE ALL EXISTING ELECTRICAL WORK THAT INTERFERES WITH OR IS NECESSARY BECAUSE OF NEW CONSTRUCTION AS SPECIFIED, SHOWN OR REQUIRED.
- PERFORM ALTERATION AND ADDITIONS TO PRESENT ELECTRICAL SYSTEM WITH AM MINIMUM INTERRUPTION IN THE OPERATION OF THESE SYSTEMS. OBTAIN WRITTEN CLEARANCE FROM OWNER FOR SUCH INTERRUPTIONS AND SCHEDULE SAME AT WHATEVER TIME SPECIFIED IN WRITING BY OWNER.
- WHERE SPECIFIED OR REQUIRED, EXTEND EXISTING SYSTEMS OR TIE INTO SAME TO PROVIDE A COMPLETE COORDINATED ELECTRICAL SYSTEM TO SATISFACTION OF OWNER AND ARCHITECT.
- ALL EXISTING WORK TO REMAIN, BUT DISTURBED AND DISCONNECTED BECAUSE OF ALTERATIONS AND NEW CONSTRUCTION SHALL BE REPLACED AND PUT IN OPERATING CONDITION UNLESS INSTRUCTED OTHERWISE IN WRITING BY OWNER OR ARCHITECT.
- EXISTING BRANCH CIRCUITS NOT SHOWN SHALL REMAIN INTACT TO EXTENT PRACTICABLE, AND SHALL BE EXTENDED AS REQUIRED.
- DISCONNECT AND REMOVE EXISTING WIRING DEVICES, LIGHTING FIXTURES AND ASSOCIATED BRANCH CIRCUIT WIRING NO LONGER REQUIRED BY NEW CONSTRUCTION.
- PERFORM ALL WORK NECESSARY TO PERMIT OPERATION OF ALL EXISTING SYSTEMS DURING THE CONSTRUCTION PERIOD. PROVIDE AND MAINTAIN APPLICABLE APPROVED TEMPORARY WIRING TO MEET THIS REQUIREMENT.
- DEMOLISH AND REMOVE EXISTING ELECTRICAL EQUIPMENT, FEEDERS AND CONDUIT NO LONGER REQUIRED BY NEW CONSTRUCTION BACK TO ELECTRICAL PANEL.
- ALL CIRCUIT BREAKERS NO LONGER REQUIRED BY NEW CONSTRUCTION SHALL BE MADE SPARE AND SET OPEN POSITION.
- ELECTRICAL CONTRACTOR SHALL UPDATE PANEL DIRECTORIES AT THE COMPLETION OF WORK.
- THE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING HIS PROPOSAL TO VERIFY ACTUAL SITE CONDITIONS AND ANY DISCOVERED DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO SUBMITTING THEIR BID. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK EXPOSED AND CONCEALED, WHETHER OR NOT SHOWN ON DRAWINGS, NECESSARY FOR THE EFFECTIVE INSTALLATION AND PERFORMANCE OF NEW SYSTEM. THE OWNER SHALL NOT ACCEPT (NOR THE CONTRACTOR PAID) EXTRA COSTS ASSOCIATED WITH THE DEMOLITION AND/OR TEMPORARY REMOVAL/REINSTALLATION WORK FROM THE CONTRACTOR.

**DRAWING NOTES**

- FIELD VERIFY LOCATION OF ALL WIRING DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN.
- COORDINATE INSTALLATION OF HVAC EQUIPMENT WITH MECHANICAL CONTRACTOR AND WIRE DISCONNECT SWITCHES FURNISHED BY MECHANICAL CONTRACTOR.
- MOTORIZED DAMPERS REFER TO MECHANICAL PLANS FOR EXACT LOCATION, INTERCONNECT TO LOCAL AHU AS DIRECTED BY M.C.
- UNLESS OTHERWISE NOTED, ALL POWER SHALL BE CIRCUITED TO PANEL 'A1A'.
- UNLESS OTHERWISE NOTED, COORDINATE WITH OWNER'S LOW-VOLTAGE VENDOR EXACT LOCATION OF ALL LOW-VOLTAGE EQUIPMENT LOCATIONS. ELECTRICAL CONTRACTOR SHALL PROVIDE BACKBOX, CONDUIT AND PULL STRING FOR ALL LOW-VOLTAGE DEVICES SHOWN ON PLAN. THEATER LOW-VOLTAGE EQUIPMENT SHALL BE FURNISHED UNDER A SEPARATE CONTRACT. OBTAIN COPY OF LOW-VOLTAGE SUB-CONTRACTOR PLANS. GENERAL CONTRACTOR SHALL PROVIDE 120 VOLT POWER AS REQUIRED FOR LOW-VOLTAGE SYSTEMS. LOW-VOLTAGE SYSTEMS INCLUDED BUT ARE NOT LIMITED TO SPEAKERS, VOLUME CONTROL, AND DATA.



**1 FIRST FLOOR POWER PLAN**  
SCALE: 1/4" = 1' - 0"

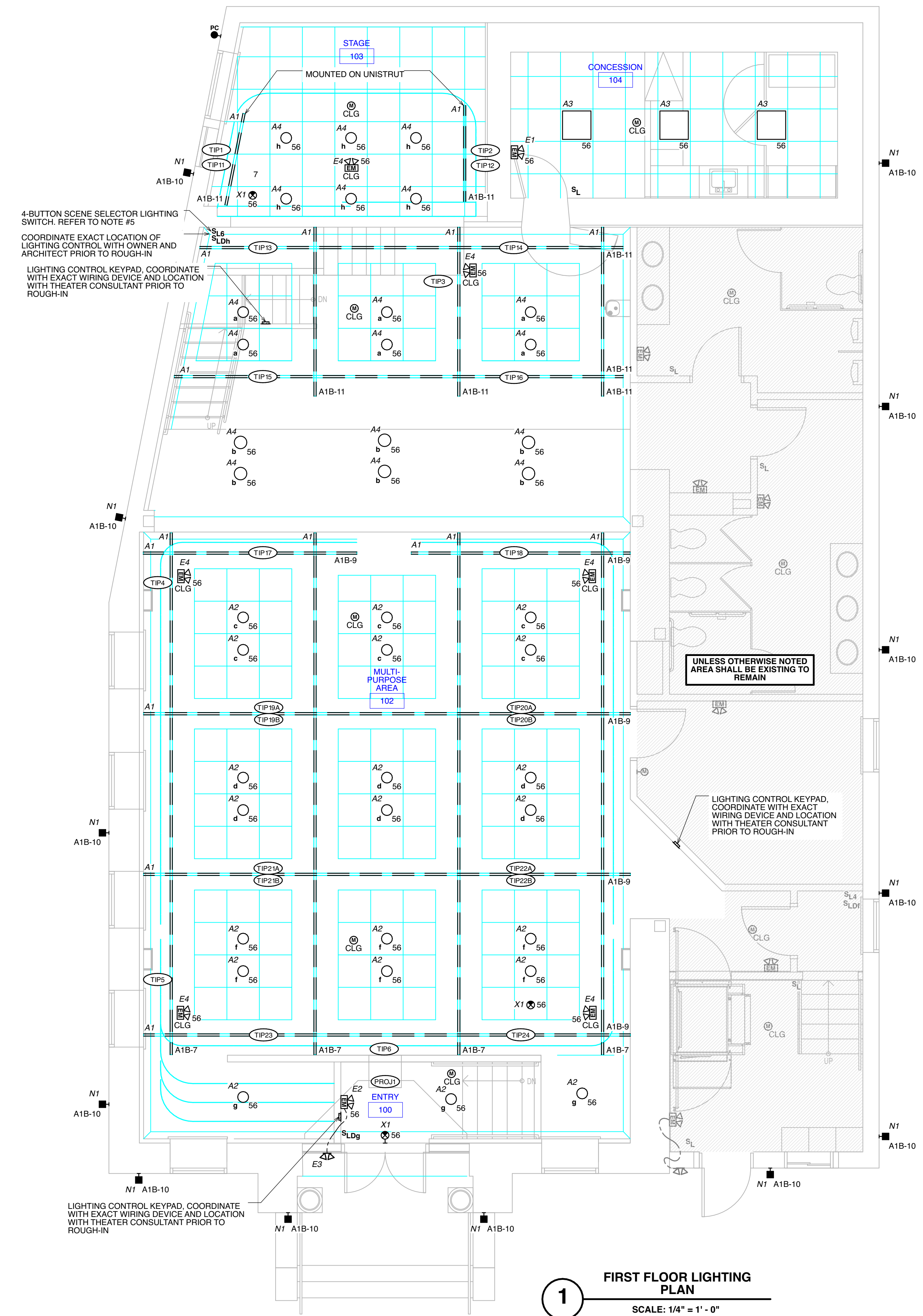
1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
 Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: FIRST FLOOR POWER PLAN	
 HOLSTEIN WHITE 3800 Madison Blvd., Suite 103 Trenton, PA 19103 © 2018, 2022, 2024 P: 215.322.7709 www.holsteinwhite.com		SCALE: AS NOTED PROJ. NO.: 1016H DATE: 1/7/25 REV'D: _____ DRAWN BY: EP CHK'D BY: RG	E-1.0

**DEMOLITION NOTES**

- WHERE EXISTING FACILITIES ARE BEING ALTERED, DISCONNECT AND REMOVE OR RELOCATE ALL EXISTING ELECTRICAL WORK THAT INTERFERES WITH OR IS NECESSARY BECAUSE OF NEW CONSTRUCTION AS SPECIFIED, SHOWN OR REQUIRED.
- PERFORM ALTERATION AND ADDITIONS TO PRESENT ELECTRICAL SYSTEM WITH AM MINIMUM INTERRUPTION IN THE OPERATION OF THESE SYSTEMS. OBTAIN WRITTEN CLEARANCE FROM OWNER FOR SUCH INTERRUPTIONS AND SCHEDULE SAME AT WHATEVER TIME SPECIFIED IN WRITING BY OWNER.
- WHERE SPECIFIED OR REQUIRED, EXTEND EXISTING SYSTEMS OR TIE INTO SAME TO PROVIDE A COMPLETE COORDINATED ELECTRICAL SYSTEM TO SATISFACTION OF OWNER AND ARCHITECT.
- ALL EXISTING WORK TO REMAIN, BUT DISTURBED AND DISCONNECTED BECAUSE OF ALTERATIONS AND NEW CONSTRUCTION SHALL BE REPLACED AND PUT IN OPERATING CONDITION UNLESS INSTRUCTED OTHERWISE IN WRITING BY OWNER OR ARCHITECT.
- EXISTING BRANCH CIRCUITS NOT SHOWN SHALL REMAIN INTACT TO EXTENT PRACTICABLE, AND SHALL BE EXTENDED AS REQUIRED.
- DISCONNECT AND REMOVE EXISTING WIRING DEVICES, LIGHTING FIXTURES, AND ASSOCIATED BRANCH CIRCUIT WIRING NO LONGER REQUIRED BY NEW CONSTRUCTION.
- PERFORM ALL WORK NECESSARY TO PERMIT OPERATION OF ALL EXISTING SYSTEMS DURING THE CONSTRUCTION PERIOD. PROVIDE AND MAINTAIN APPLICABLE APPROVED TEMPORARY WIRING TO MEET THIS REQUIREMENT.
- DEMOLISH AND REMOVE EXISTING ELECTRICAL EQUIPMENT, FEEDERS AND CONDUIT NO LONGER REQUIRED BY NEW CONSTRUCTION BACK TO ELECTRICAL PANEL.
- ALL CIRCUIT BREAKERS NO LONGER REQUIRED BY NEW CONSTRUCTION SHALL BE MADE SPARE AND SET OPEN POSITION.
- ELECTRICAL CONTRACTOR SHALL UPDATE PANEL DIRECTORIES AT THE COMPLETION OF WORK.
- THE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING HIS PROPOSAL TO VERIFY ACTUAL SITE CONDITIONS AND ANY DISCOVERED DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO SUBMITTING THEIR BID. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK EXPOSED AND CONCEALED, WHETHER OR NOT SHOWN ON DRAWINGS, NECESSARY FOR THE EFFECTIVE INSTALLATION AND PERFORMANCE OF NEW SYSTEM. THE OWNER SHALL NOT ACCEPT (NOR THE CONTRACTOR PAID) EXTRA COSTS ASSOCIATED WITH THE DEMOLITION AND/OR TEMPORARY REMOVAL/REINSTALLATION WORK FROM THE CONTRACTOR.

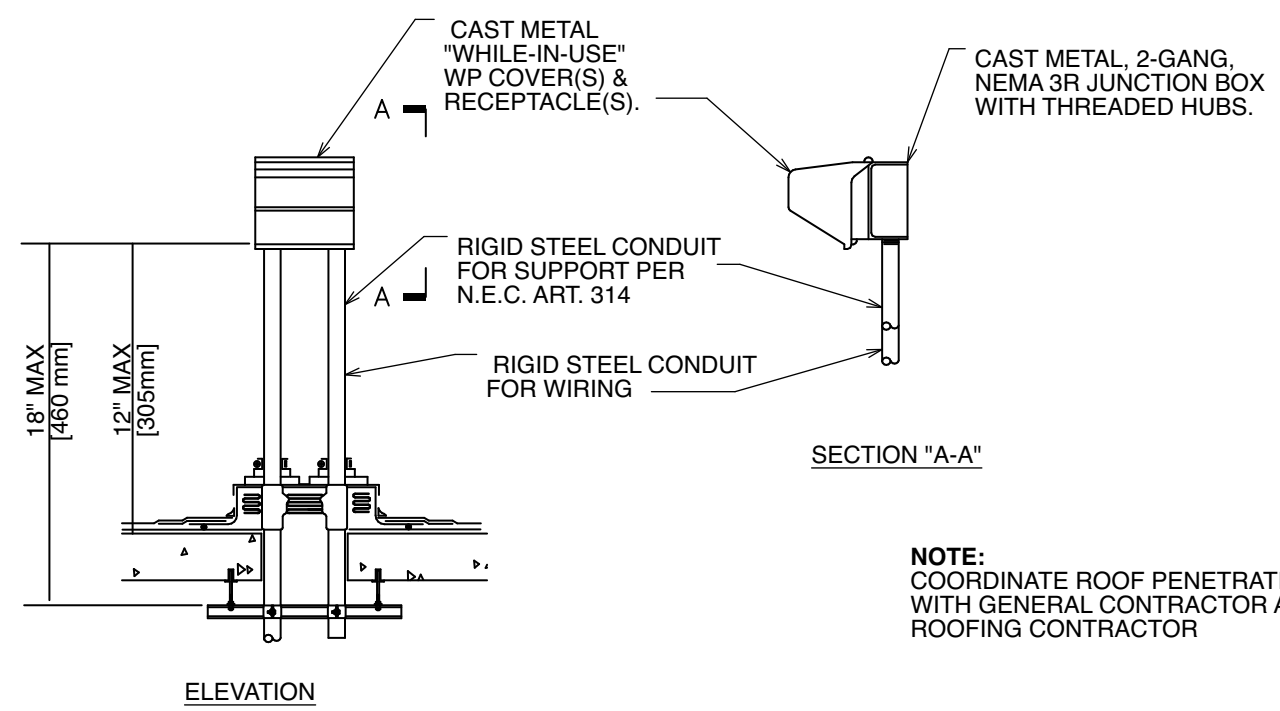
**DRAWING NOTES**

- FIELD VERIFY LOCATION OF ALL WIRING DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN.
- FIELD VERIFY EXACT LOCATIONS OF ALL LIGHTING FIXTURES WITH ARCHITECT PRIOR TO ROUGH-IN.
- UNLESS OTHERWISE NOTED ALL LIGHTING SHALL BE CIRCUITED TO 'A1'.
- EMERGENCY LIGHTING AND EXIT SIGNS SHALL BE CONNECTED TO LINE SIDE OF LOCAL LIGHTING CONTROL.
- SCENE SELECTOR SWITCH SHALL HAVE CAPABILITY TO CONTROL ZONES 'a,b,c,d,f,g' REFER TO LIGHTING PLANS FOR LOCATION OF SWITCH. REFER TO DETAIL #4 ON DRAWING E-3.1.
- COORDINATE CONTROLS OF ALL THEATRICAL LIGHTING WITH THEATER CONSULTANT PRIOR TO ROUGH-IN.



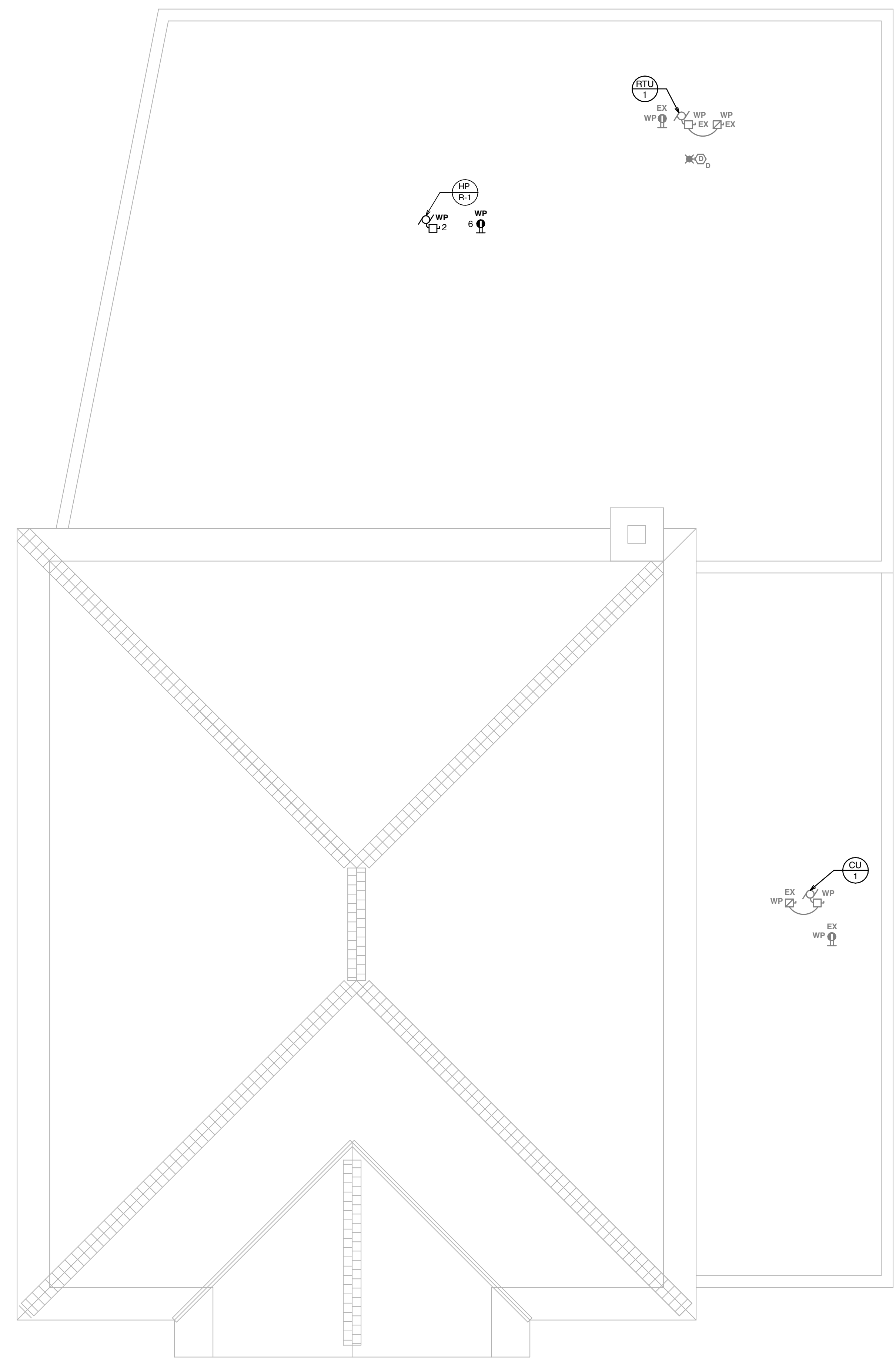
**1** FIRST FLOOR LIGHTING PLAN  
SCALE: 1/4" = 1' - 0"

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:	PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: FIRST FLOOR LIGHTING PLAN	
SEAL:	DATE: 10/16/24	SCALE: AS NOTED	DRAWING NO: E-1.1
JEFFREY E. HOLSTEIN NJ License No. 24620464300 NJ AUTHORITY NO. 246204643000	DATE: 1/7/25	PROJ. NO: 24620464300	CHKD BY: EP
			REV'D: RG



NOTE:  
COORDINATE ROOF PENETRATIONS  
WITH GENERAL CONTRACTOR AND  
ROOFING CONTRACTOR

**2** ROOF MOUNTED RECEPTACLE DETAIL  
NOT TO SCALE



**1** ROOF POWER PLAN  
SCALE: 1/4" = 1' - 0"

**DEMOLITION NOTES**

- WHERE EXISTING FACILITIES ARE BEING ALTERED, DISCONNECT AND REMOVE OR RELOCATE ALL EXISTING ELECTRICAL WORK THAT INTERFERES WITH OR IS NECESSARY BECAUSE OF NEW CONSTRUCTION AS SPECIFIED, SHOWN OR REQUIRED.
- PERFORM ALTERATION AND ADDITIONS TO PRESENT ELECTRICAL SYSTEM WITH AM MINIMUM INTERRUPTION IN THE OPERATION OF THESE SYSTEMS. OBTAIN WRITTEN CLEARANCE FROM OWNER FOR SUCH INTERRUPTIONS AND SCHEDULE SAME AT WHATEVER TIME SPECIFIED IN WRITING BY OWNER.
- WHERE SPECIFIED OR REQUIRED, EXTEND EXISTING SYSTEMS OR TIE INTO SAME TO PROVIDE A COMPLETE COORDINATED ELECTRICAL SYSTEM TO SATISFACTION OF OWNER AND ARCHITECT.
- ALL EXISTING WORK TO REMAIN, BUT DISTURBED AND DISCONNECTED BECAUSE OF ALTERATIONS AND NEW CONSTRUCTION SHALL BE REPLACED AND PUT IN OPERATING CONDITION UNLESS INSTRUCTED OTHERWISE IN WRITING BY OWNER OR ARCHITECT.
- EXISTING BRANCH CIRCUITS NOT SHOWN SHALL REMAIN INTACT TO EXTENT PRACTICABLE, AND SHALL BE EXTENDED AS REQUIRED.
- DISCONNECT AND REMOVE EXISTING WIRING DEVICES, LIGHTING FIXTURES, AND ASSOCIATED BRANCH CIRCUIT WIRING NO LONGER REQUIRED BY NEW CONSTRUCTION.
- PERFORM ALL WORK NECESSARY TO PERMIT OPERATION OF ALL EXISTING SYSTEMS DURING THE CONSTRUCTION PERIOD. PROVIDE AND MAINTAIN APPLICABLE APPROVED TEMPORARY WIRING TO MEET THIS REQUIREMENT.
- DEMOLISH AND REMOVE EXISTING ELECTRICAL EQUIPMENT, FEEDERS AND CONDUIT NO LONGER REQUIRED BY NEW CONSTRUCTION BACK TO ELECTRICAL PANEL.
- ALL CIRCUIT BREAKERS NO LONGER REQUIRED BY NEW CONSTRUCTION SHALL BE MADE SPARE AND SET OPEN POSITION.
- ELECTRICAL CONTRACTOR SHALL UPDATE PANEL DIRECTORIES AT THE COMPLETION OF WORK.
- THE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING HIS PROPOSAL TO VERIFY ACTUAL SITE CONDITIONS AND ANY DISCOVERED DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO SUBMITTING THEIR BID. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK EXPOSED AND CONCEALED, WHETHER OR NOT SHOWN ON DRAWINGS, NECESSARY FOR THE EFFECTIVE INSTALLATION AND PERFORMANCE OF NEW SYSTEM. THE OWNER SHALL NOT ACCEPT (NOR THE CONTRACTOR PAID) EXTRA COSTS ASSOCIATED WITH THE DEMOLITION AND/OR TEMPORARY REMOVAL/REINSTALLATION WORK FROM THE CONTRACTOR.

**DRAWING NOTES**

- FIELD VERIFY LOCATION OF ALL WIRING DEVICES WITH ARCHITECT PRIOR TO ROUGH-IN.
- COORDINATE INSTALLATION OF HVAC EQUIPMENT WITH MECHANICAL CONTRACTOR AND WIRE DISCONNECT SWITCHES FURNISHED BY MECHANICAL CONTRACTOR.
- MOTORIZED DAMPERS REFER TO MECHANICAL PLANS FOR EXACT LOCATION, INTERCONNECT TO LOCAL AHU AS DIRECTED BY M.C.
- UNLESS OTHERWISE NOTED, ALL POWER SHALL BE CIRCUITED TO PANEL 'A1A'.

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:	PROJECT: <b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012</b>		
	Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: <b>ROOF POWER PLAN</b>
	SEAL: JEFFREY E. HOLSTEIN NJ REG. NO. 3462048430 NJ AUTH. NO. 2462048430	SCALE: AS NOTED PROJ. NO.: 1016H DATE: 1/7/25 REV'D: DRAWN BY: EP CHKD BY: RG	DRAWING NO.: <b>E-2.0</b>

## ELECTRICAL SPECIFICATIONS

- Contractor shall provide all labor, materials, tools, apparatus and equipment required to complete his work in accordance with the contract documents, codes, laws and ordinances, and accepted trade procedures.
- The contractor by his acceptance of the contract guarantees that all work installed shall be free from all defects in workmanship and materials and that all apparatus furnished by him shall develop the capacities and characteristics specified. He further guarantees that it, during a period of one (1) year from the date of the certificate of completion and acceptance of the work, any such defects in workmanship, material or performance appear, such defects shall be remedied by him without cost to the owner. If the contractor fails to remedy the defects as outlined within a reasonable length of time, to be specified in a notice from the owner's authorized representative to the contractor, the owner will have such work done, and he will charge the cost to the contractor.
- The contractor shall visit the site before he submits his proposal. He shall examine all existing conditions which affect the work. The submission of the proposal shall be considered evidence that this requirement has been fulfilled. No extra payment will be allowed for additional work made necessary by the failure to visit the site.
- Electrical equipment shall be installed in a neat and workmanlike manner in accordance with latest and best practices of the trade. Only mechanics skilled in this type of Work shall be employed and utilized by Contractor for this Division in the execution of this Work.
- The contract drawings are diagrammatic and indicate the general arrangement of all systems and work included in the contract. The contract drawings are not to be scaled. The architectural contract drawings and details together with the other contract documents shall be examined for all dimensional information.
- The contractor shall, without additional costs to the owner, make reasonable modifications in the layout of his work in order to prevent conflicts with the work of other trades or for the proper execution of his work.
- The contractor shall provide and maintain in good order a complete set of blue-line prints of the contract drawings. As the work progresses, the actual location of all work shall be clearly recorded, including all changes to the contract and equipment size and type. These prints shall be available at the site for inspection at all times. At the conclusion of the work, the contractor shall, at his own expense, obtain a set of reproducible of the original contract drawings, and utilizing the symbols on the contract drawings, shall incorporate all "as built" data in a clearly legible and reproducible manner. All schedules shall be corrected to indicate "as built" conditions. All revisions shall be incorporated on these reproducible including all sketches and written directives. All concealed equipment, manholes, pull and junction boxes, etc. shall be dimensionally located from the building structure. As a condition for acceptance of the work, the "as built" reproducible and one (1) set of prints shall be signed, dated and delivered to the engineer.
- The lighting controls shall be commissioned per Philadelphia L&I's requirements. This should be submitted as a shop drawing for review by the engineer and owner. Final payment is predicated upon approval of this shop drawing. The shop drawing submittal should include the following:
  - Drawings that include the location and catalogue number of each lighting control;
  - An operating and maintenance manual;
  - A report of functional testing including results, deficiencies, and corrective actions.
- The contractor shall supply all labor required to perform all work which may be claimed by trade organizations within his jurisdiction. All work shall be performed without any additional cost to the owner regardless of which section of the contract documents the work is described. The contractor shall be responsible to verify with all local organizations the extent of any collective bargaining agreements and/or any jurisdictional decisions rendered regarding disputes between the respective trades, and provide and install his work in accordance with the accepted trade practices in the area.
- The entire installation shall conform with all pertinent codes and regulations of the local, municipal, county, state, and federal authorities, The National Board of Fire Underwriters, the codes of the International Codes Council, the codes of the National Fire Protective Association, the New Jersey Uniform Construction Codes, and all other regulatory bodies having jurisdiction. All materials and equipment shall bear the stamps or seals of the NFPA, ASME, NEMA, IEEE, UL and other recognized industry regulatory groups.
- The contractor shall give all necessary notices, obtain all permits, pay all governmental taxes, fees and other costs in connection with his work. He shall file all necessary plans, and prepare all other documents including additional detailed plans that are required for compliance with applicable laws, ordinances, rules and regulations.
- Before starting any work under this contract, file for inspection with the Middle Department Inspection Agency or other certified Agency. Upon completion of the work, furnish Electrical Certificates from said Agency for all Electrical equipment and systems installed or furnished and installed as part of the work.
- The contractor shall at all times keep the premises free from the accumulation of waste materials or rubbish caused by his employees or work. At the completion of the work, he shall remove all superfluous materials, equipment and debris resulting from the work.
- All feeder wiring shall be soft drawn copper of 98% conductivity, installed in code conforming metallic raceways or cable assemblies. All wiring shall be copper, thermoplastic covered insulated Type 75° C. THW or 90° C. Type THHN, 600-volt rated. Wire No. 8 AWG and smaller shall be solid. Wire larger than No. 8 shall be stranded.
- All wiring shall be insulated copper conductors installed in code conforming raceways or cable assemblies.
- All wiring shall be run concealed wherever possible. All exposed conduit shall be EMT or rigid steel as required. Flexible conduit shall be smooth liquidtight with appropriate fittings. Conduit drops from above ceiling shall be structurally secured and supported. Cable assemblies used for branch circuits shall not be run exposed. Cable assemblies shall be permitted exposed for final connections to Mechanical and Plumbing equipment and shall be limited to 6 feet total length, routing shall not interfere with equipment workspace.
- Where conductors connect directly to equipment, the insulation temperature rating of the conductor shall meet or exceed the equipment temperature rating.
- Color code conductors to designate neutral conductor and phases. Color coding shall conform with existing building standard.
- Exercise great care in maintaining a uniform and consistent arrangement of phase conductors on all systems. Throughout the entire wiring systems, each phase conductor must always be in the same physical position with respect to the other phase wires at equipment terminals.
- Grounding shall comply with Article 250 of NEC and to approval of local Underwriters inspection authorities.
- Panelboards shall be dead front type with plated aluminum bus, bolt-on breakers, fully rated neutral bus and grounding bus block. Cabinet shall be code steel, NEMA 1, minimum 20" wide, 5-3/4" deep. Cover shall have door and trim and adjustable clamps, gray baked finish, and tumbler type key lock. "Spaces" shall be fully bussed and drilled, ready for breaker installation.
- Contractor shall provide updated panel schedules at completion of project for all panels affected by scope of work.
- Circuit Breakers shall be molded case, bolted, thermal magnetic trip in each pole, enclosure-compensated to carry full rated load at 40°C, trip-free handles shall clearly indicate trip, on and off condition, quick-make and quick-break action. Lugs approved for copper and aluminum conductors and compression type. Ground Fault type breakers shall be provided with thermal and magnetic protection, UL Class A, 5 milliamperes ground fault sensitivity, where required. Circuit breakers used as switches in 120 volt circuits feeding incandescent, fluorescent and HID fixtures shall be approved for such use and marked "SWD", per NEC. Circuit breakers serving Heating and Air Conditioning equipment shall be HACR rated.
- Provide all labor, materials and equipment required to provide electric power to meet the requirements for heating, ventilating, air-conditioning and plumbing systems. Fully coordinate installation of electrical wiring and equipment with installation of electrically operated mechanical equipment provided by the Mechanical and Plumbing Contractors. Install disconnect switches, motor starters, and control transformers with Mechanical and Plumbing Contractors. Provide final equipment electrical terminations. All internal equipment wiring shall be by manufacturer.
- Test equipment, including panelboards and all other equipment and wiring for unintended grounds, short circuits, open circuits, continuity, current leakage, and that equipment will operate as specified. Test feeders for insulation resistance; for load balance the final installation, and for overall operation of systems. Furnish labor and material required for making such tests and make corrections necessary to balance the load and to obtain proper operation.
- Where existing facilities are being altered, disconnect and remove or relocate all existing electrical work that interferes with or is necessary because of new construction as specified, shown or required.
- Perform alterations and additions to present electrical systems with a minimum interruption in the operation of these systems. Obtain written clearance from Owner for such interruptions and schedule same at whatever time specified in writing by Owner.
- Perform alteration of utilities and services in accordance with the rules, regulations and requirements of the involved utility companies and regulatory agencies having jurisdiction.
- Arrange and pay for the relocation, disconnection or removal of existing utilities and services where shown and where such utilities or services interfere with new construction, whether shown or not. Provide all excavation, backfilling and paving, manholes, and cables required by such work.
- Fully coordinate installation, wiring and connection of service and distribution systems with the owner, PSE&G and all contractors.
- Coordinate with Power Company; inform them of the proposed work; obtain their approval before beginning work; comply with their requirements for details of installation and materials used.
- Determine and pay any and all charges required by Power Company. Have electrical service available when required by construction schedule.
- Fully coordinate installation, wiring and connection of service and distribution systems with the owner and PSE&G.
- Coordinate with Power Company; inform them of the proposed work; obtain their approval before beginning work; comply with their requirements for details of installation and materials used.
- Verify locations of existing underground services in the area of construction. Verify existing locations of underground electrical services, natural gas piping, water services and sanitary piping, which may affect work.
- Submit Shop Drawings and complete product data of the incoming electric service equipment to the PSE&G for their review and approval prior to approval by Engineer.
- Lay out all work from approved building and property lines and benchmarks. Verify and be responsible for the correctness of all measurements in connection with work. Any change made in major overall dimensions as shown which affect the physical size, shape, or location of any part of the Work, whether due to a check or mistake or to the use of equipment of a manufacturer other than that used as the basis of design shall not cause any interference with other work.
- Electrical equipment shall not interfere in any way with other material or equipment and shall provide adequate working space; see Requirements for Electrical Installations, Article 110 and other related articles of the National Electrical Code.
- Provide materials, equipment, supplies and labor necessary as required to adequately support, brace and strengthen all equipment and materials furnished as part of this work.
- Locations are subject to changes that may be necessary to avoid obstacles in building construction. Verify all dimensions and conditions at site. Check layout for sizes and clearances, and provide so that the apparatus and material may be installed and operated satisfactorily in space provided. Install equipment and raceways to preserve headroom and to keep openings and passageways clear.
- Protect all conduit, fittings, panelboards, switchgear, transformers and other equipment before and during installation and keep clean.
- Identify each switchboard, panel, panelboard, and other electrical equipment as to nature, service and purpose, by means of permanently attached, approved size, laminated phenolic nameplates.
- Where sleeves containing a single conduit penetrate FIRE RATED walls, floors, partitions or slabs, fill and seal conduit to the sleeve with a 1-part intumescent caulk/pully sealant creating a fire stop equal to or exceeding fire rating of construction material being penetrated. Fire sealant shall prevent spread of flame, smoke, air and water through the sleeve and shall pass 3-hour test per ASTM E814 and UL 1479. Fire sealant shall be installed in accordance with manufacturer's written instructions. Where sleeves containing multiple conduits or multiple cables penetrate FIRE RATED walls, floors, partitions or slabs, fill and seal spaces between the conduits or cables and the sleeves with 2-part intumescent foam sealant creating a fire stop equal to or exceeding fire rating of construction material being penetrated. Fire sealant shall prevent spread of flame, smoke, air and water through the sleeve and shall pass 3-hour test per ASTM E814 and UL 1479. Fire sealant shall be installed in accordance with manufacturer's written instructions. Where sleeves penetrate exterior walls, fill and seal ends around conduits and/or cables with duct sealant compound equal to Solotite KN-1146, or Link Seal. Install seals in accordance with the manufacturer's recommendations to provide air tightness above ground and hydrostatic sealing below grade. Caulking or other type mastic is not acceptable. Where wiring devices are placed in fire rated construction, fire rating of installed assembly shall meet or exceed the rating of the construction.

## ELECTRICAL STANDARD MOUNTING HEIGHTS

9" Below Finished Ceiling	●	Wall-Mounted Clocks, Program Bells, Fire Alarm Gongs and Horns
10'-0"	●	Battery Lighting Units and Remote Wall Mounted Lighting Heads (Or 1'-0" Below Finished Ceiling)
8'-6"	●	Pendant Hung Industrial and Strip Lighting Fixtures
Center Above Door or Window Opening	●	Warning and Signaling Fixtures/Signs
6'-8" or 6" Below Finished Ceiling	●	Fire Alarm Illuminated Flashing Lights (Lowest of the two Heights). <b>Mounting Height to the Bottom of Device.</b>
6'-8"	●	Top of Back-Mounted Wall Exit Signs (Not Mounted Above Doors)
6'-6"	●	Top of Flush and Surface Mounted Electrical Panelboards and Communication System Cabinets
6'-0"	●	Top of Highest Electrical Safety Disconnect Switches, Magnetic Motor Starters and Contactors
4'-6"	●	Wall Mounted Telephones and Pay Stations (3'-6" at Handicap Locations)
4'-0"	●	Top of Highest Circuit Breaker in Accessible Load Centers
3'-6"	●	Fire Alarm Pull Stations
3'-4"	●	Wall Mounted Electrical Device Lighting Switches
2'-0"	●	Electrical Receptacles in Mechanical Spaces, Electrical and Elevator Rooms
1'-6"	●	Electrical Receptacles, Television Outlets, Telephone Outlets, and Computer Outlets
0'-0"	●	Finished Floor

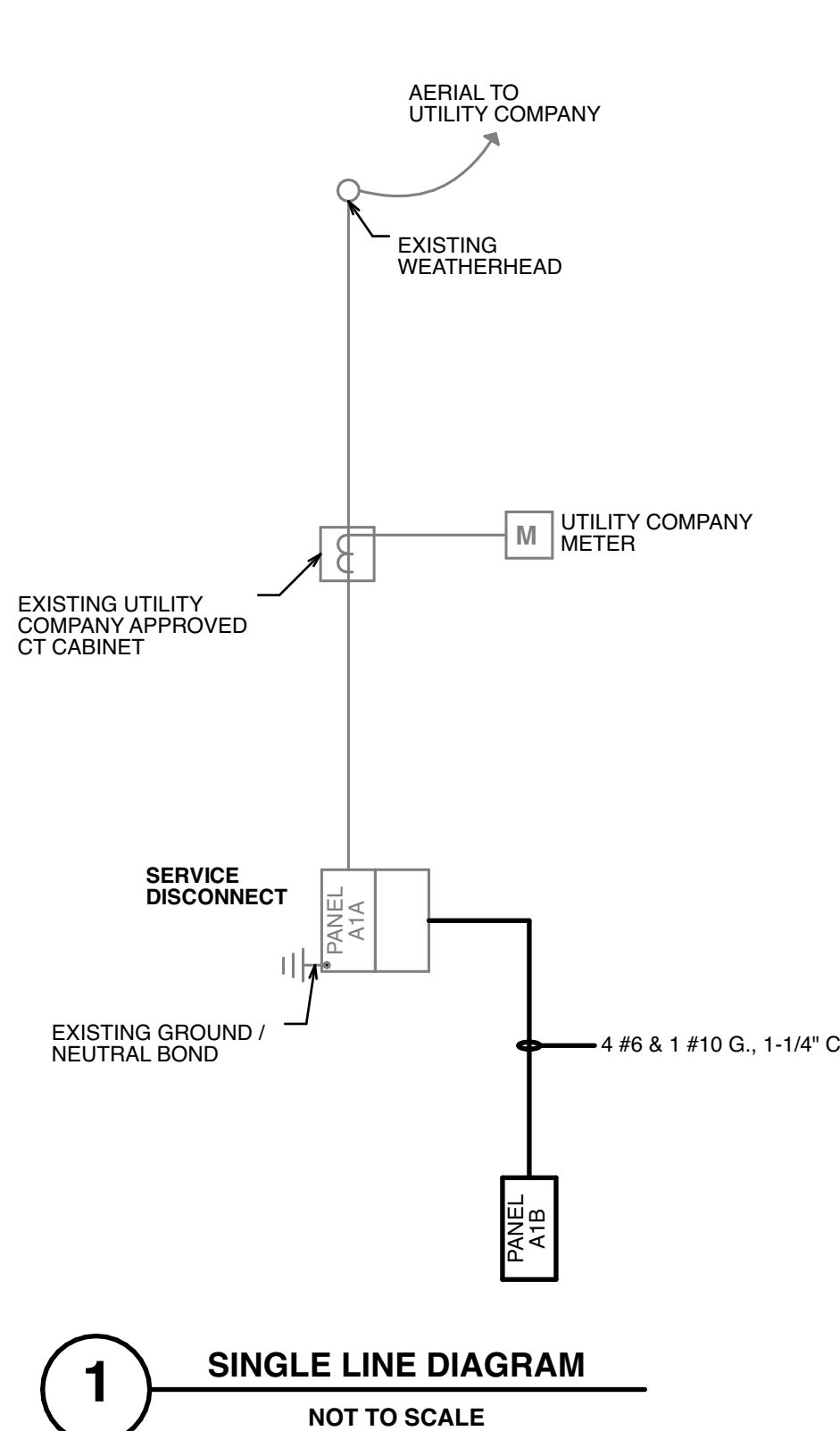
Mounting Heights to center of outlets unless otherwise noted. In masonry construction the mounting heights shall be used for reference to the nearest block or brick coursing. The above mounting heights shall be adhered to unless specifically noted or detailed on the Architectural drawings or specifications.

## ELECTRICAL SYMBOLS

CLG	Ceiling Mounted	⊠	Circuit Number At Panel
EWC	Electric Water Cooler	⊠	Switch Leg Designation
EX	Existing to Remain	⊠	Fixture Type Designation
MOD	Motorized Damper	⊠	
POS	Point of Sales	⊠	LED Lighting Fixture, Refer to Lighting Fixture Schedule for More Information
RF	Refrigerator	⊠	
WP	Weatherproof	⊠	
+	Device Mounted Above Counter Top	⊠	
⊠	Duplex Receptacle - 125V, 2P, 3W	⊠	Exterior Lighting Fixture - Pole or Wall Mounted
⊠	Quadruplex Receptacle - 125V, 2P, 3W	⊠	Exit Sign - Ceiling or Wall Mounted
⊠	GFI Duplex Receptacle - 125V, 2P, 3W	⊠	Emergency Battery Pack
⊠	Solid Connection to Equipment	⊠	Dual Remote Lighting Heads
⊠	Single Receptacle - 250V, 2P, 3W	S	Single Pole Switch
⊠	Communication System Outlet	SL	Low Voltage Switch
⊠	Junction Box	SD	Dimmer Switch
⊠	Speaker	SA	Switch Controlling Device Indicated
⊠	Volume Control	S3	Three Way Switch
⊠	Remote Condition Light	SM	Manual Motor Switch
⊠	Alarm Initiating Contact	⊠	Wall Mounted Occupancy Sensor
⊠	Automatic Detector [Detector Control Function]	⊠	Ceiling Mounted Occupancy Sensor
⊠	D - Duct Mounted, Smoke Ionization	⊠	Photocell Control Switch
⊠	F - Thermal, Fixed Temperature	⊠	Contact
⊠	PE - Smoke PhotoElectric	⊠	Fire Alarm Control Panel
⊠	CO - Carbon Monoxide	⊠	Ground Rod
⊠	Fire Alarm Horn	⊠	Electrical Panel
⊠	Fire Alarm Manual Pull Station	⊠	Utility Company Meter
⊠	Unfused Disconnect Switch	⊠	Current Transformer
⊠	Fused Disconnect Switch	⊠	Equipment Identification Number
⊠	Motor	⊠	

## SINGLE LINE DIAGRAM NOTES

- UNLESS OTHERWISE NOTED, ALL DEVICES AND SPACES ARE 3 POLE.
- UNLESS OTHERWISE NOTED, ALL ABOVE GRADE CONDUITORS SHALL BE COPPER, TYPE THW, RATED 75°C.
- UNLESS OTHERWISE NOTED ALL BELOW GRADE CONDUITORS SHALL BE COPPER, TYPE XHHW-2, RATED 75°C.
- UNLESS OTHERWISE NOTED, ALL INTERIOR CONDUITS SHALL BE EMT.
- UNLESS OTHERWISE NOTED ALL UNDERGROUND AND EXTERIOR CONDUITS SHALL BE SCHEDULE 40 PVC.
- LIGHT LINEWEIGHT INDICATES EXISTING EQUIPMENT.
- HEAVY LINEWEIGHT INDICATES NEW EQUIPMENT.
- ALL EQUIPMENT SHALL BE SERIES RATED TO WITHSTAND THE AVAILABLE SHORT CIRCUIT CURRENT.
- CONTRACTOR SHALL PROVIDE PERMANENT LABELS ON ALL ELECTRICAL AND HVAC EQUIPMENT INDICATING THE MAXIMUM AVAILABLE FAULT CURRENT.



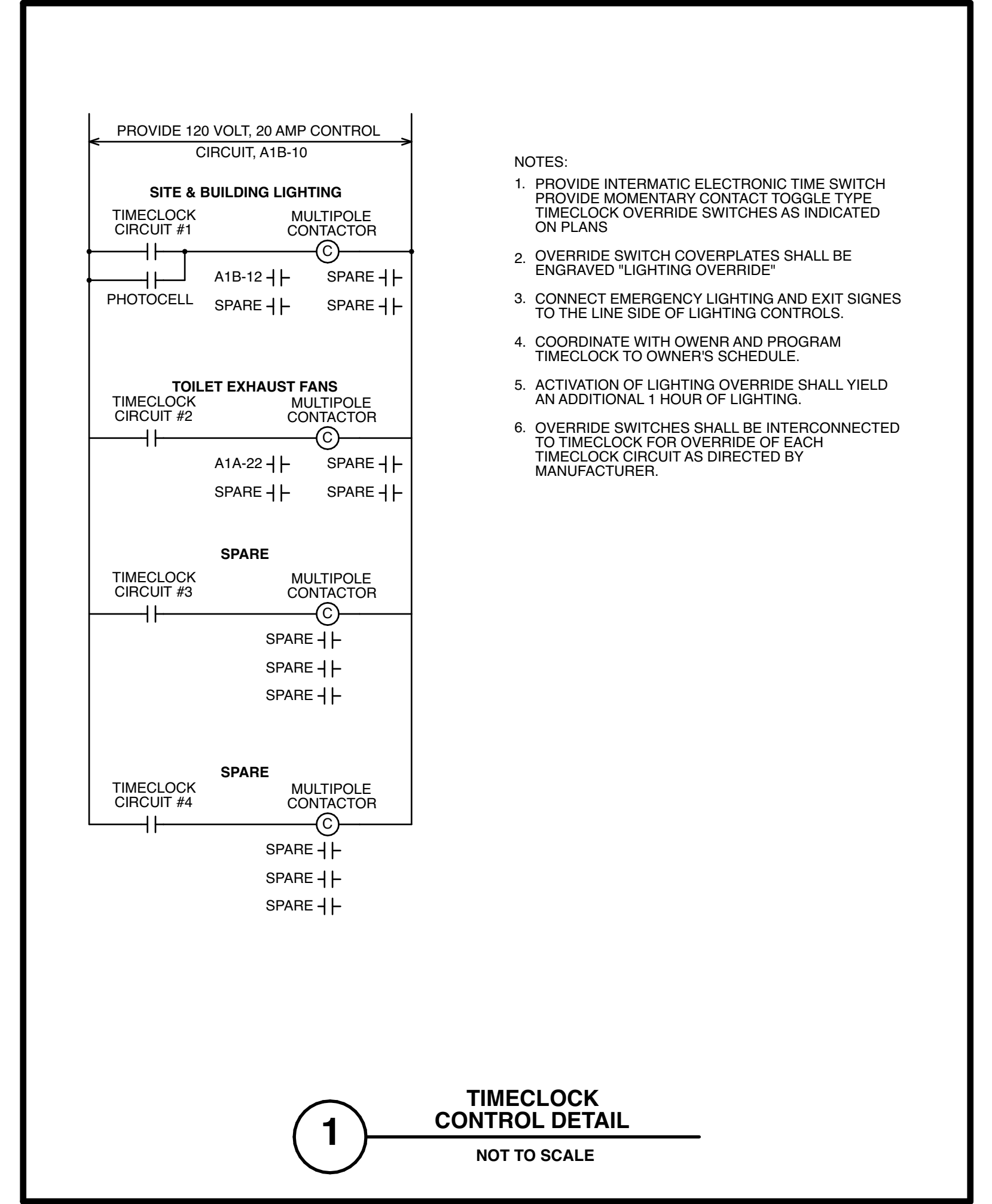
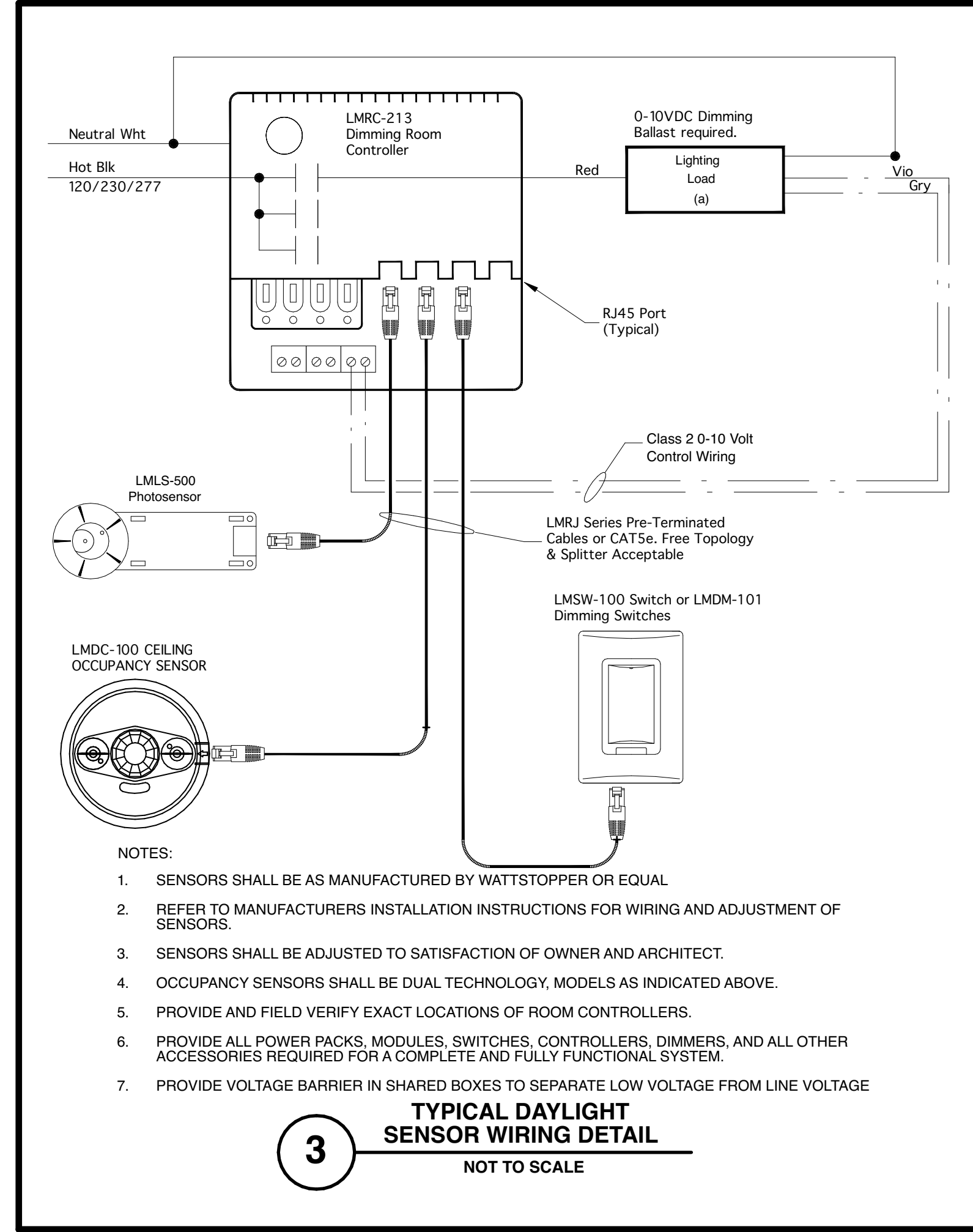
No.	DATE	DESCRIPTION	ISSUED FOR BID	REVISED	REV BY
1	7/7/25				
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012			
 Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: ELECTRICAL SCHEDULES & DETAILS DRAWING NO: E-3.0			
SCALE:	AS NOTED	DATE:	7/7/25	DESIGNED BY:	EP
REVISED BY:	RG	DATE:		CHECKED BY:	EP
SCALE:	AS NOTED	DATE:	7/7/25	DESIGNED BY:	EP
REVISED BY:	RG	DATE:		CHECKED BY:	EP
 Jeffrey E. Holstein 1000 American Blvd., Suite 103 Newark, NJ 07102 P: 973-252-7700 F: 973-252-7709 www.holstein78.com		LICENSED ARCHITECT & ENGINEER NJ ARCH. NO. 246264840 NJ ELECTR. NO. 2462648370			



LIGHTING FIXTURE SCHEDULE										
Type	Manufacturer	Catalog No.	Lamps			Volts	Mounting	Remarks		
			No.	Watts	Type					
<b>Interior Lighting</b>										
A1	Armstrong	39-S-1-L-B-G-R-S-5-XX-1-1-E	7		LED 3500K	120	Recessed	Cloud lighting system located in Multipurpose Area. Provide fixture with 0-10V dimming. Provide all options for a complete and operational system in satisfaction with Owner. Coordinate exact fixture, finish and lengths with Owner, Architect and Theater Consultant.		
A2	Elite Lighting	H#8-LED-RGBW-LENGN-65K-18K-2000L-ELD0DMX-1-120-H#8-8501-W-WH-WD-90+	29		LED 3500K	120	Recessed	8" LED downlight fixture located in Multipurpose Area. Provide fixture with 0-10V dimming. Provide fixture with RGBW color tuning. Coordinate exact fixture and finish with Owner and Architect prior to rough-in.		
A3	ILP Lighting	VAT24-43L-U-40	29		LED 3500K	120	Recessed	LED 2"x2" fixture located in green rooms, concession, and stage. Provide fixture with 0-10V dimming. Coordinate exact fixture and finish with Owner and Architect prior to rough-in.		
A4	Elite Lighting	H#8-LED-RGBW-LENGN-65K-18K-2000L-ELD0DMX-1-120-H#8-8501-W-WH-WD-90+	29		LED 3500K	120	Recessed	8" LED downlight fixture located in Multipurpose Area. Provide fixture with 0-10V dimming. Provide fixture with RGBW color tuning. Coordinate exact fixture and finish with Owner and Architect prior to rough-in.		
B1	ILP Lighting	VS4-4L-U-50-FRL	33		LED 3500K	120	Surface	LED 4" strip fixture located in back of house areas. Provide fixture with 0-10V dimming. Coordinate exact fixture and finish with Owner and Architect prior to rough-in.		
B2	Green Creative Lighting	NYX-NC-8-SQ-F15-9-CCT5S-DUALDIM	15		LED 3500K	120	Recessed	8" downlight located in back of house areas. Field selectable color temperature shall be set to 3500 kelvin. Coordinate exact fixture and finish with Owner and Architect prior to purchase.		
B3	ILP Lighting	VS2-4L-U-50-FRL	19		LED 3500K	120	Surface	LED 2" strip fixture located in back of house areas. Provide fixture with 0-10V dimming. Coordinate exact fixture and finish with Owner and Architect prior to rough-in.		
<b>Exterior Lighting</b>										
N1	Teron Lighting	CDSQ-L14-U-X-40K	14		LED 4000K	120	Surface	Wet location listed LED wall sconce. Coordinate exact fixture and finish with Owner and Architect prior to rough-in.		
<b>Emergency Lighting</b>										
E1	Evenlite	TEBL3W	2	3	LED	120V / 9.6VDC	Surface	Indoor battery pack w/ dual 9.6V/2W LED lighting heads, lithium-ion battery, white housing.		
E2	Evenlite	TEBL5W	2	3	LED	120V / 9.6VDC	Surface	Indoor battery pack w/ dual 9.6V/2W LED lighting heads & remote head capabilities, lithium-ion battery, white housing.		
E3	Evenlite	PRWLED2-MV	2	1	LED	120V / 9.6VDC	Surface	Outdoor dual remote 9.6V/2W LED lighting head		
E4	Evenlite	DP-2E18-2-W69-B	2	9	LED	120V / 6VDC	Recessed	Ceiling mounted indoor battery pack w/ dual 6V/9W LED lighting heads, lithium-ion battery, black housing.		
X1	Evenlite	TLX-EM-RU-W			LED	120	As Indicated	LED exit sign, red letters, number of faces and directional arrows as indicated on plan or required by installed location, integral battery to provide 90 minutes of illumination.		

Notes:

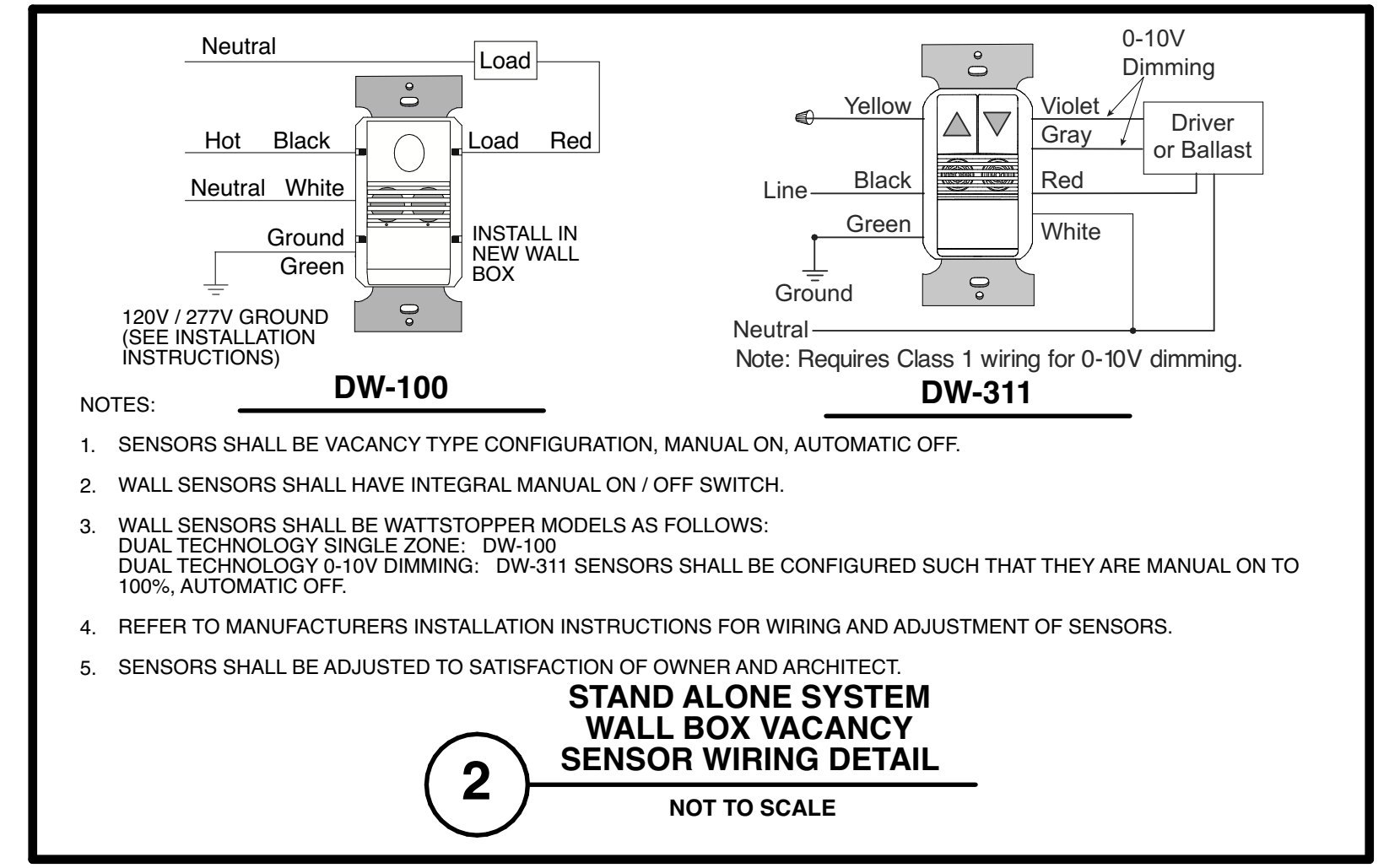
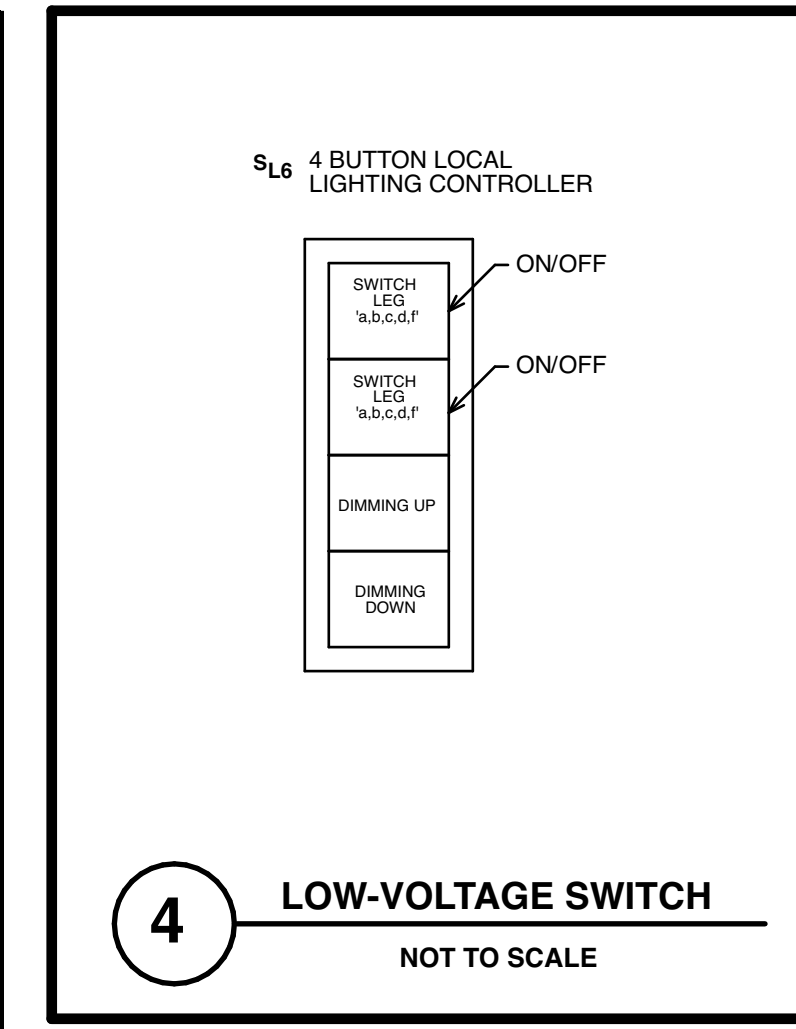
- In addition to those indicated above, refer to Architectural drawings and provide all fixtures specified.
- All fixtures shall be provided with lamping.
- Confirm final fixture options and color selection with Architect prior to purchase.
- Refer to specifications for detailed requirements for construction, handling, ballasts, lamps, etc.
- Coordinate fixture location and mounting requirements with Architectural drawings and details.
- Refer to Architectural reflected ceiling plans for ceiling types and conditions affecting mounting and installation of lighting fixtures.
- Coordinate exact fixture color temperature with owner and architect prior to purchase.



COMMON SPACE TYPES	LIGHTING CONTROL MATRIX											
	CONTROL FUNCTIONS AND REQUIREMENTS											
DESCRIPTION	CONTROL TYPE	SENSOR(S)	LOCAL CONTROL	RESTRICTED TO MANUAL ON	RESTRICTED TO PARTIAL AUTOMATIC ON	BILEVEL LIGHTING CONTROL	AUTOMATIC DAYLIGHT RESPONSIVE CONTROLS FOR SIDELIGHTING	AUTOMATIC DAYLIGHT RESPONSIVE CONTROLS FOR TOPLIGHTING	AUTOMATIC PARTIAL OFF	AUTOMATIC FULL OFF	SCHEDULE SHUTOFF	NOTES
MULTIPURPOSE ROOM	DIMMING	VACANCY	X	X		X	X	X		X		1, 2, 4, 5, 6, 7, 9, 10
CORRIDOR	DIMMING	VACANCY	X				N/A	N/A	X			1, 2, 3, 4, 5, 6, 7, 9, 10
ELECTRICAL/MECHANICAL ROOM	ON/OFF	N/A	X									5
LOBBY	DIMMING	VACANCY	X	X			N/A	N/A		X		1, 2, 4, 5, 6, 7, 9, 10
ENCLOSED OFFICE	DIMMING	VACANCY	X	X		X	N/A	N/A		X		1, 2, 4, 5, 6, 7, 9, 10
RESTROOM	ON/OFF	VACANCY	X				N/A	N/A		X		1, 2, 4, 5, 6, 7, 9, 10
GENERAL SEATING AREA	DIMMING	VACANCY	X	X		X	N/A	N/A		X		1, 2, 4, 5, 6, 7, 9, 10
STORAGE ROOM (>50 SQFT AND <1000 SQFT)	ON/OFF	VACANCY	X	X			X	X		X		1, 2, 4, 5, 6, 7, 9, 10
STORAGE ROOM (>1000 SQFT)	ON/OFF	VACANCY	X	X			X	X		X		1, 2, 4, 5, 6, 7, 9, 10

NOTES:

- SENSOR FAILURE SHALL RESULT IN 100% ILLUMINATION.
- AUTO/SCHEDULED OFF.
- FIXTURE SHALL AUTOMATICALLY BE REDUCED TO AT LEAST 50% WITHIN 20 MINUTES OF ALL OCCUPANTS LEAVING THE SPACE.
- FIXTURE SHALL AUTOMATICALLY INCREASE ILLUMINATION TO 100% WHEN OCCUPIED.
- ALL LIGHTING CONTROLS SHALL BE IN ACCORDANCE WITH ASHRAE 90.1 2016, AND LOCAL ORDINANCES
- PROVIDE ALL POWER PACKS, MODULES, SWITCHES, CONTROLLERS, DIMMERS, RELAYS, AND ALL OTHER ACCESSORIES REQUIRED FOR A COMPLETE AND FULLY FUNCTIONAL SYSTEM.
- REFER TO DRAWING E-3.3 FOR LIGHTING CONTROL DETAILS.
- LOW-VOLTAGE LIGHTING CONTROLS SHALL UTILIZE MULTIPLE BUTTON CONFIGURATION TO MINIMIZE NUMBER OF DEVICES PER ROOM.
- STAND ALONE CONTROL, SEE DETAIL #3 & #4 ON DRAWING E-3.3.
- INCLUDE PROGRAMMING AND START-UP FOR A COMPLETE AND OPERATIONAL SYSTEM TO THE SATISFACTION OF THE OWNER.
- COORDINATE CONTROLS OF ALL THEATRICAL LIGHTING WITH THEATER CONSULTANT PRIOR TO ROUGH-IN.



1/7/25	Issued for Bid	
No.	DATE	DESCRIPTION
REVISIONS		
APPROVAL:	PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: ELECTRICAL SCHEDULES & DETAILS
HOLSTEIN WHITE	SEAL: JEFFREY E. HOLSTEIN NJ REG. NO. 2462044430 NJ AUTH. NO. 24620443702	SCALE: AS NOTED PROJ. NO.: 1016H DATE: 1/7/25 REV. DATE: DRAWN BY: EP CHKD BY: RG
3800 Madison Blvd., Suite 103 Trenton, PA 19103 © 2018, 2022 JWH P: (610) 322-7709 www.holsteinwhite.com		DRAWING NO: E-3.1



**EXISTING CONDITIONS NOTE**

- ALL THE EXISTING PIPE SIZES AND LOCATIONS, THE PLUMBING FIXTURE LOCATIONS AND TAGS, THE EXISTING ARCHITECTURAL FLOOR PLANS, ETC., HAVE BEEN DOCUMENTED BASED OFF SURVEY DATA HOLSTEIN WHITE, INC. (ENGINEER) CONDUCTED ON APRIL 11, 2023.
- ALTHOUGH THE EXISTING CONDITIONS DOCUMENTED ON THESE PLANS HAVE BEEN MODIFIED PER OBSERVATIONS IN THE FIELD, THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM FINAL FIELD VERIFICATION OF ALL OF THE EXISTING CONDITIONS PRIOR TO COMMENCING WORK TO CONFIRM ALL EXISTING CONDITIONS AND LOCATIONS OF ALL PLUMBING FIXTURES, VALVES, PIPING, ETC.

**DRAWING SYMBOLS**

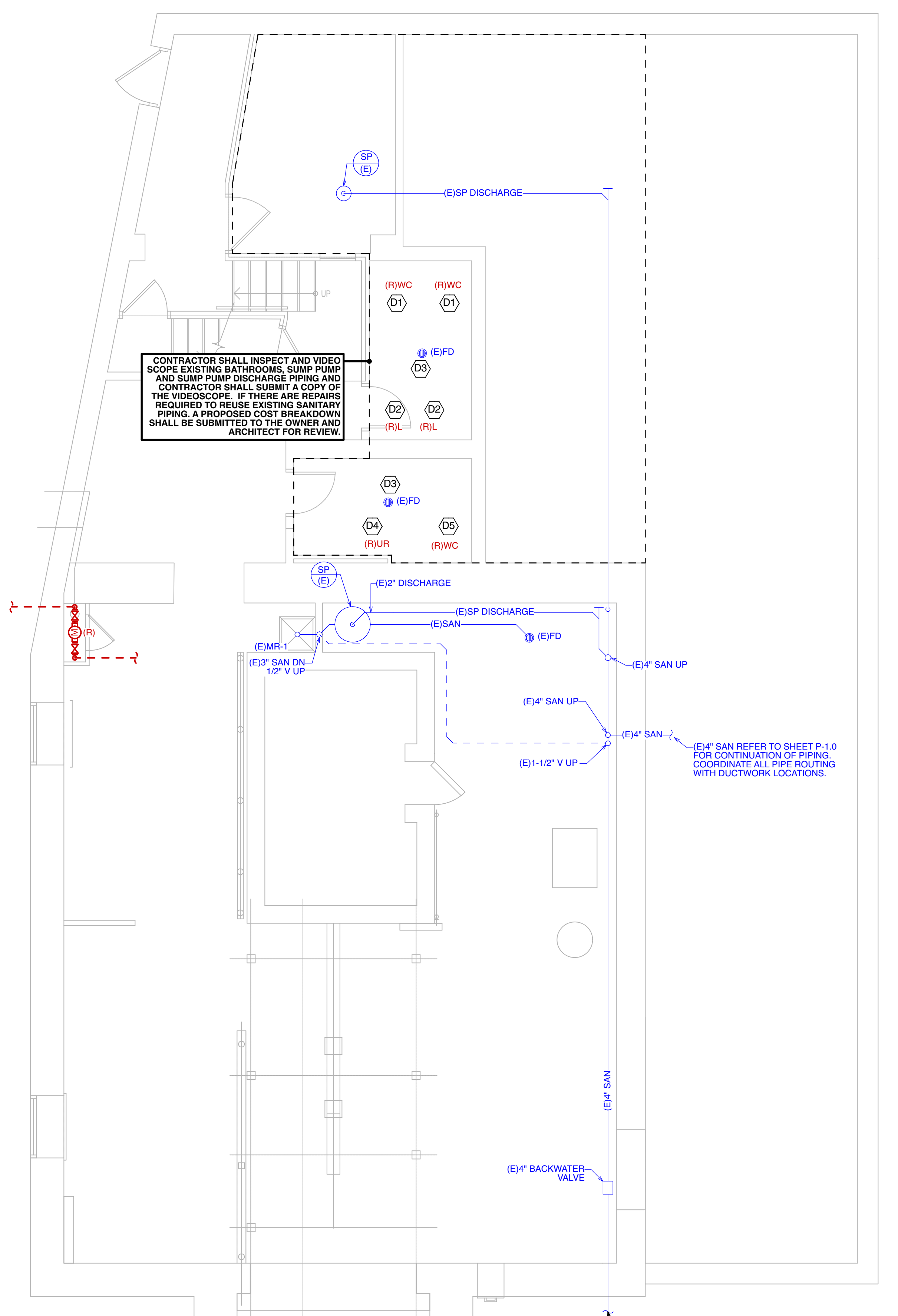
- (E) EXISTING PLUMBING WORK TO REMAIN
- EXISTING PLUMBING WORK TO REMAIN
- (R) EXISTING PLUMBING WORK TO BE DEMOLISHED AND REMOVED
- - - EXISTING PLUMBING WORK TO REMAIN
- NEW SANITARY WORK
- - - NEW VENTING WORK
- - - NEW COLD WATER PLUMBING WORK
- - - NEW HOT WATER PLUMBING WORK
- - - NEW NATURAL GAS PIPING WORK
- ⊙ POINT OF CONNECTION TO EXISTING
- ⊠ POINT OF DEMOLITION, CUT AND CAP

**DEMOLITION GENERAL NOTES**

- REMOVE DESIGNATED ELEMENTS AS SHOWN ON DRAWINGS.
- ALL PLUMBING EQUIPMENT AND ASSOCIATED WATER AND SANITARY PIPING DESCRIBED SHALL BE DEMOLISHED AND REMOVED. CAP AT MAIN.
- COMPLY WITH APPLICABLE NFPA STANDARDS WHEN TORCH CUTTING.
- PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES AS REQUIRED.
- OBTAIN WRITTEN CONSENT OF OWNER PRIOR TO TORCH CUTTING.
- ERECT AND MAINTAIN TEMPORARY PARTITIONS TO PREVENT SPREAD OF DUST, FUMES, NOISE AND SMOKE TO PROVIDE FOR CONTINUING OWNER OCCUPANCY.
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT BUILDING AREAS. MAINTAIN PROTECTED LEGAL EGRESS AND ACCESS AT ALL TIMES. KEEP REQUIRED EXIT WAYS UNENCUMBERED AT ALL TIMES AND ARTIFICIALLY LIGHTED.
- REMOVE DEMOLISHED MATERIALS FROM SITE AS WORK PROGRESSES AND DISPOSE OF IN A PROPER, LEGAL MANNER. UPON COMPLETION OF WORK, LEAVE AREAS OF WORK IN BROOM CLEAN CONDITION AT THE END OF EACH DAY.
- COORDINATE ALL DEMOLITION WORK WITH LANDLORD PRIOR TO SHUT DOWN THE SERVICE MAINS TO PERFORM THE REQUIRED WORK.
- PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONSTRUCTION MANAGER SHALL WALK THE PROJECT WITH THE CONTRACTOR PERFORMING THIS WORK TO CONFIRM THE EXTENT OF DEMOLITION.
- THE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING THEIR PROPOSAL. VERIFY ACTUAL SITE CONDITIONS AND ANY DISCOVERED DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO SUBMITTING THEIR BID. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK EXPOSED AND CONCEALED, WHETHER OR NOT SHOWN ON DRAWINGS, NECESSARY FOR THE EFFECTIVE INSTALLATION AND PERFORMANCE OF NEW SYSTEM. THE CONTRACTOR SHALL ALSO INCLUDE TEMPORARY REMOVAL AND REINSTALLATION OF EXISTING WORK WHEREVER NECESSARY. THE OWNER SHALL NOT ACCEPT (NOR THE CONTRACTOR PAID) EXTRA COSTS ASSOCIATED WITH THE DEMOLITION AND/OR TEMPORARY REMOVAL/REINSTALLATION WORK FROM THE CONTRACTOR.
- CONTRACTOR SHALL PATCH ROOF AS REQUIRED AND SEAL WATERTIGHT. (CONTRACTOR SHALL COORDINATE ALL ROOF WORK WITH EXISTING ROOF CONTRACTOR IN ORDER NOT TO VOID EXISTING ROOF WARRANTY).

**SHEET NOTES**

- (D1) WATER CLOSET SHALL BE DEMOLISHED AND REMOVED IN ITS ENTIRETY INCLUDING ALL COLD WATER PIPING (INCLUDING SHUT-OFFS, SUPPLY HOSES, ESCUTCHEONS, ETC.), SANITARY WASTE AND VENT PIPING (INCLUDING TRAP, ESCUTCHEONS, ETC.) AND ALL ASSOCIATED APPURTENANCES IN THEIR ENTIRETY. VERIFY EXACT LOCATION OF EXISTING SANITARY AND VENT PIPING IN THE FIELD.
- (D2) LAVATORY SHALL BE DEMOLISHED AND REMOVED IN ITS ENTIRETY INCLUDING ALL COLD AND HOT WATER PIPING (INCLUDING SHUT-OFFS, SUPPLY HOSES, ESCUTCHEONS, ETC.), SANITARY WASTE AND VENT PIPING (INCLUDING TRAP, ESCUTCHEONS, ETC.) AND ALL ASSOCIATED APPURTENANCES IN THEIR ENTIRETY. VERIFY EXACT LOCATION OF EXISTING SANITARY AND VENT PIPING IN THE FIELD.
- (D3) CONTRACTOR SHALL CLEAN/REFURBISH EXISTING TO REMAIN FLOOR DRAIN. EXISTING TO REMAIN FLOOR DRAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT EXISTING ARE FUNCTIONAL AND SHALL PROVIDE ZURN TRAP SEAL M/N: Z1072-2. VERIFY EXACT LOCATION OF EXISTING FLOOR DRAIN IN THE FIELD.
- (D4) URINAL SHALL BE DEMOLISHED AND REMOVED IN ITS ENTIRETY INCLUDING ALL COLD WATER PIPING (INCLUDING SHUT-OFFS, SUPPLY HOSES, ESCUTCHEONS, ETC.), SANITARY WASTE AND VENT PIPING (INCLUDING TRAP, ESCUTCHEONS, ETC.) SHALL BE DEMOLISHED BACK TO WALL FOR FUTURE TIE IN BY LAVATORY. VERIFY EXACT LOCATION OF EXISTING FIXTURE AND PIPING IN THE FIELD.
- (D5) CONTRACTOR SHALL REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET (REFER TO PLUMBING FIXTURE SCHEDULE ON P-3.0). CONTRACTOR SHALL MODIFY EXISTING SANITARY AND VENT PIPING AS REQUIRED TO INSTALL NEW FIXTURE. VERIFY EXACT LOCATION OF EXISTING SANITARY AND VENT PIPING IN THE FIELD.





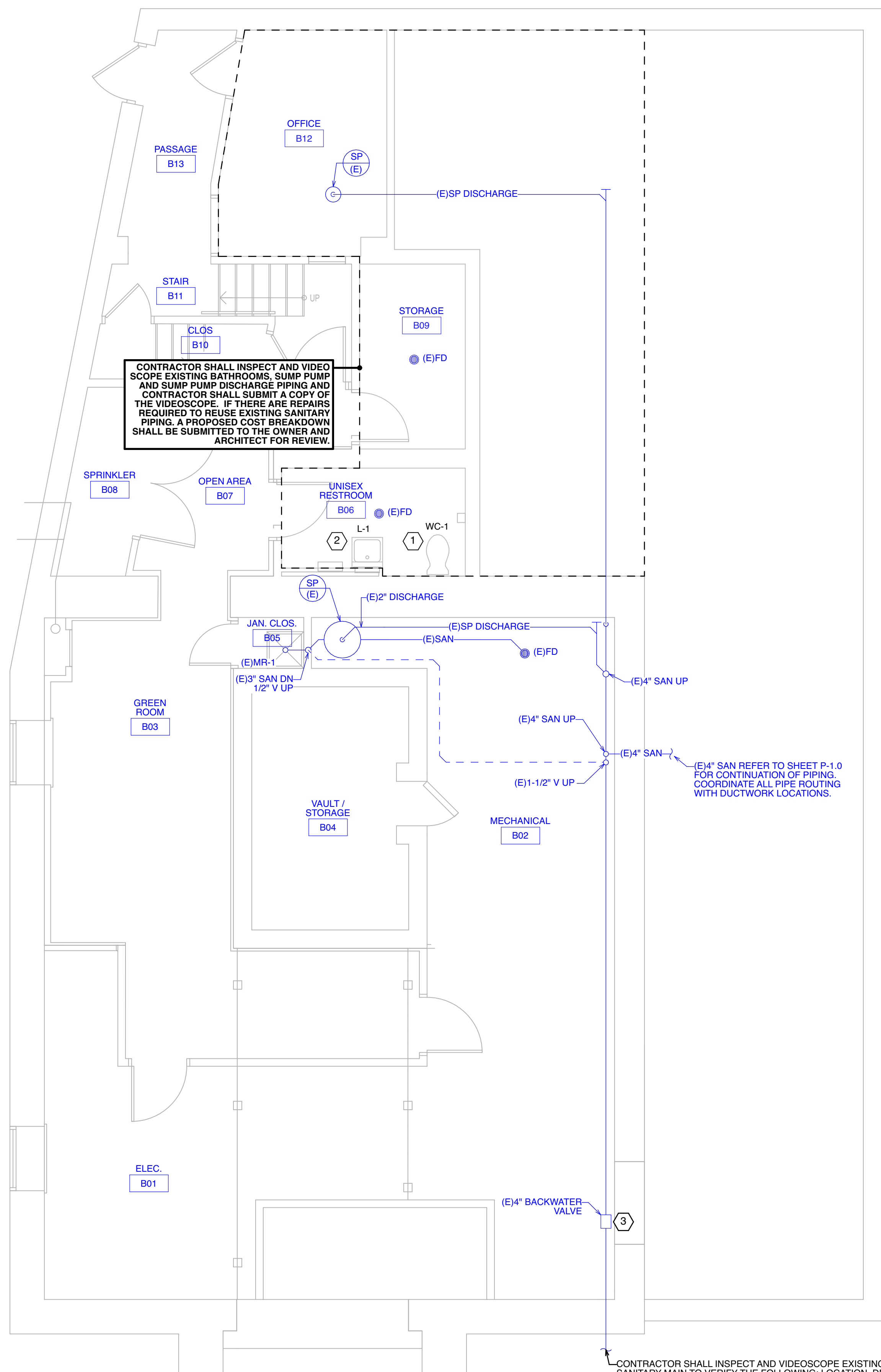
CONTRACTOR SHALL INSPECT AND VIDEO SCOPE EXISTING BATHROOMS, SUMP PUMP AND SUMP PUMP DISCHARGE PIPING AND CONTRACTOR SHALL SUBMIT A COPY OF THE VIDEOSCOPE. IF THERE ARE REPAIRS REQUIRED TO REUSE EXISTING SANITARY PIPING, A PROPOSED COST BREAKDOWN SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT FOR REVIEW.

(E)4\"/>

CONTRACTOR SHALL INSPECT AND VIDEOSCOPE EXISTING SANITARY MAIN TO VERIFY THE FOLLOWING: LOCATION, DEPTH, DIRECTION OF FLOW AND CONDITION OF THE EXISTING SEWER LATERAL. CONTRACTOR SHALL SUBMIT A COPY OF THE VIDEOSCOPE. IF THERE ARE REPAIRS REQUIRED TO REUSE EXISTING SANITARY LATERAL, A PROPOSED COST BREAKDOWN SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT FOR REVIEW.

**BASEMENT DEMOLITION PLUMBING PLAN**  
SCALE: 1/4" = 1' - 0"

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
 Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: BASEMENT DEMOLITION PLUMBING PLAN	
 HOLSTEIN WHITE 3800 Madison Blvd, Suite 103 Trenton, PA 19103 © 2013, 2022, 2023 P: 202.222.7709 www.holsteinwhite.com		SCALE: AS NOTED PROJ. NO.: 1016H DATE: 1/7/25 REV. DATE: 1/7/25 DRAWN BY: SA CHKD BY: SW	DRAWING NO.: DP-0.0
SCOTT A. WHITE NJ REG. NO. 3462646700 NJ AUTH. NO. 2462646700		<small>DESIGNER: JFW CHECKER: JFW DATE: 1/7/25</small>	



**1 BASEMENT SANITARY PLAN**  
SCALE: 1/4" = 1' - 0"

**EXISTING CONDITIONS NOTE**

- ALL THE EXISTING PIPE SIZES AND LOCATIONS, THE PLUMBING FIXTURE LOCATIONS AND TAGS, THE EXISTING ARCHITECTURAL FLOOR PLANS, ETC., HAVE BEEN DOCUMENTED BASED OFF SURVEY DATA HOLSTEIN WHITE, INC. (ENGINEER) CONDUCTED ON APRIL 11, 2023.
- ALTHOUGH THE EXISTING CONDITIONS DOCUMENTED ON THESE PLANS HAVE BEEN MODIFIED PER OBSERVATIONS IN THE FIELD, THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM FINAL FIELD VERIFICATION OF ALL OF THE EXISTING CONDITIONS PRIOR TO COMMENCING WORK TO CONFIRM ALL EXISTING CONDITIONS AND LOCATIONS OF ALL PLUMBING FIXTURES, VALVES, PIPING, ETC.

**DRAWING SYMBOLS**

- (E) EXISTING PLUMBING WORK TO REMAIN
- EXISTING PLUMBING WORK TO REMAIN
- (R) EXISTING PLUMBING WORK TO BE DEMOLISHED AND REMOVED
- - - EXISTING PLUMBING WORK TO REMAIN
- NEW SANITARY WORK
- - - NEW VENTING WORK
- - - NEW COLD WATER PLUMBING WORK
- - - NEW HOT WATER PLUMBING WORK
- NEW NATURAL GAS PIPING WORK
- ⊕ POINT OF CONNECTION TO EXISTING
- ⊕ POINT OF DEMOLITION, CUT AND CAP

**DRAWING NOTES**

- REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATIONS OF ALL THE FURNITURE, PLUMBING FIXTURES, AND EQUIPMENT.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND PIPING WITH THE LOCATION OF ALL FOOTERS AND EXISTING UTILITY PIPING.
- CONTRACTOR SHALL VERIFY THE EXACT SIZE AND LOCATION OF EXISTING SANITARY AND DOMESTIC WATER PIPING IN THE FIELD. COORDINATE THE INSTALLATION OF THE NEW PIPING WITH THE EXISTING LOCATION.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE NEW PIPING WITH THE LOCATION OF THE PIPING, DUCT WORK, EQUIPMENT, ARCHITECTURAL PLANS, AND STRUCTURAL ELEMENTS IN THE FIELD.
- ALL PIPING CONNECTIONS ARE SHOWN DIAGRAMMATICALLY. CONTRACTOR SHALL VERIFY FINAL CONNECTION POINTS IN FIELD.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF ALL ROOF AND EXTERIOR WALL PENETRATIONS IN THE FIELD WITH LANDLORD PRIOR TO ROUGHING-IN.
- CONTRACTOR SHALL COORDINATE ALL DOMESTIC WATER PIPING WITHIN THERMAL ENVELOPE OF THE BUILDING TO PREVENT FREEZING.
- CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS WITH EXISTING ROOFING CONTRACTOR AS TO NOT VOID ROOF WARRANTY.

**SHEET NOTES**

- CONTRACTOR SHALL REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET (REFER TO PLUMBING FIXTURE SCHEDULE ON P-3.0). CONTRACTOR SHALL MODIFY EXISTING SANITARY PIPING AS REQUIRED TO INSTALL NEW FIXTURES. VERIFY EXACT LOCATION OF EXISTING SANITARY PIPING IN THE FIELD.
- CONTRACTOR SHALL INSTALL NEW LAVATORY IN EXISTING URINAL LOCATION (REFER TO PLUMBING FIXTURE SCHEDULE ON P-3.0). CONTRACTOR SHALL MODIFY EXISTING SANITARY PIPING AS REQUIRED TO INSTALL NEW LAVATORY. VERIFY EXACT LOCATION OF EXISTING SANITARY PIPING IN THE FIELD.
- CONTRACTOR SHALL INSPECT AND REPAIR (E) BACKWATER VALVE AS REQUIRED. PROVIDE A CONTINGENCY PRICE TO REPLACE THE 4" BACKWATER VALVE.
- CONTRACTOR SHALL INSPECT EXISTING DOWNSPOUT AND DRAINS AND PROVIDE CONTINGENCY TO REPLACE DOWNSPOUT AND ASSOCIATED DRAIN.
- CONTRACTOR SHALL EXTEND AND CONNECT NEW 2"Ø SAN INTO EXISTING SAN MAIN. VERIFY EXACT SIZE AND LOCATION OF EXISTING MAIN IN THE FIELD.
- CONTRACTOR SHALL EXTEND AND CONNECT NEW 1-1/2"Ø VENT INTO EXISTING VENT MAIN. VERIFY EXACT SIZE AND LOCATION OF EXISTING MAIN IN THE FIELD.

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
		REVISIONS	
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: BASEMENT SANITARY PLAN	
HOLSTEIN WHITE 3800 Madison Blvd., Suite 103 Newark, NJ 07102 P: (973) 322-7711 F: (973) 322-7709 www.holsteinwhite.com		SEAL: SCOTT A. WHITE NJ REG. NO. 3462646700 NJ AUTH. NO. 2462646700	SCALE: AS NOTED PROJ. NO.: 1016H DATE: 1/7/25 REV. NO.: DRAWN BY: SA CHECK BY: SW
		DRAWING NO. P-0.0	

**EXISTING CONDITIONS NOTE**

- ALL THE EXISTING PIPE SIZES AND LOCATIONS, THE PLUMBING FIXTURE LOCATIONS AND TAGS, THE EXISTING ARCHITECTURAL FLOOR PLANS, ETC., HAVE BEEN DOCUMENTED BASED OFF SURVEY DATA HOLSTEIN WHITE, INC. (ENGINEER) CONDUCTED ON APRIL 11, 2023.
- ALTHOUGH THE EXISTING CONDITIONS DOCUMENTED ON THESE PLANS HAVE BEEN MODIFIED PER OBSERVATIONS IN THE FIELD, THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM FINAL FIELD VERIFICATION OF ALL OF THE EXISTING CONDITIONS PRIOR TO COMMENCING WORK TO CONFIRM ALL EXISTING CONDITIONS AND LOCATIONS OF ALL PLUMBING FIXTURES, VALVES, PIPING, ETC.

**DRAWING NOTES**

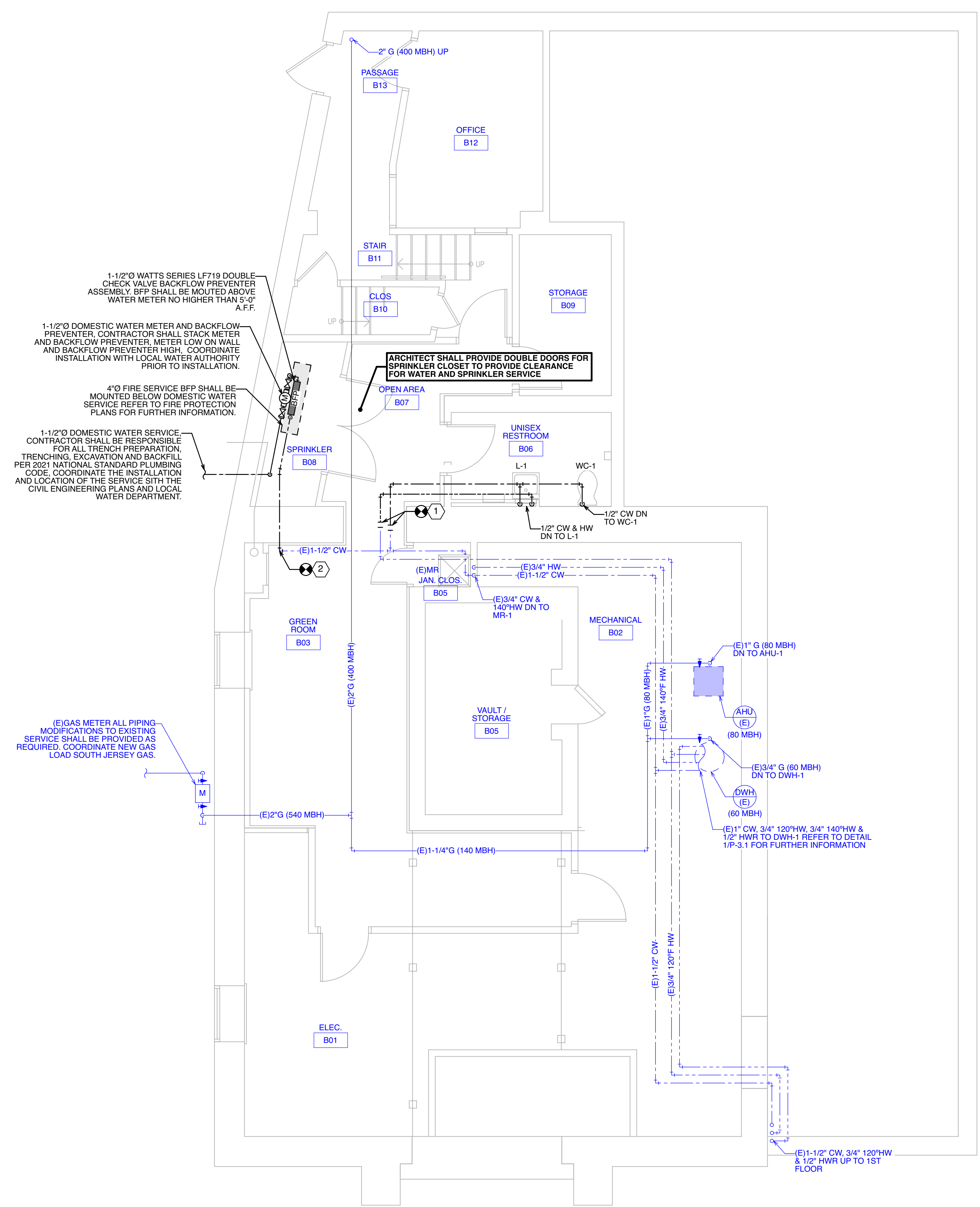
- REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATIONS OF ALL THE FURNITURE, PLUMBING FIXTURES, AND EQUIPMENT.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND PIPING WITH THE LOCATION OF ALL FOOTERS AND EXISTING UTILITY PIPING.
- CONTRACTOR SHALL VERIFY THE EXACT SIZE AND LOCATION OF EXISTING SANITARY AND DOMESTIC WATER PIPING IN THE FIELD. COORDINATE THE INSTALLATION OF THE NEW PIPING WITH THE EXISTING LOCATION.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE NEW PIPING WITH THE LOCATION OF THE PIPING, DUCT WORK, EQUIPMENT, ARCHITECTURAL PLANS, AND STRUCTURAL ELEMENTS IN THE FIELD.
- ALL PIPING CONNECTIONS ARE SHOWN DIAGMATICALLY. CONTRACTOR SHALL VERIFY FINAL CONNECTION POINTS IN FIELD.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF ALL ROOF AND EXTERIOR WALL PENETRATIONS IN THE FIELD WITH LANDLORD PRIOR TO ROUGHING-IN.
- CONTRACTOR SHALL COORDINATE ALL DOMESTIC WATER PIPING WITHIN THERMAL ENVELOPE OF THE BUILDING TO PREVENT FREEZING.
- CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS WITH EXISTING ROOFING CONTRACTOR AS TO NOT VOID ROOF WARRANTY.

**DRAWING SYMBOLS**



(E) EXISTING PLUMBING WORK TO REMAIN  
 — EXISTING PLUMBING WORK TO REMAIN  
 (R) EXISTING PLUMBING WORK TO BE DEMOLISHED AND REMOVED  
 - - - EXISTING PLUMBING WORK TO REMAIN  
 — NEW SANITARY WORK  
 - - - NEW VENTING WORK  
 - - - NEW COLD WATER PLUMBING WORK  
 - - - NEW HOT WATER PLUMBING WORK  
 — NEW NATURAL GAS PIPING WORK  
 ⊗ POINT OF CONNECTION TO EXISTING  
 ⊠ POINT OF DEMOLITION, CUT AND CAP

**SHEET NOTES**

- EXTEND AND CONNECT NEW 1/2" CW AND 1/2" HW INTO EXISTING COLD AND HOT WATER MAINS. VERIFY EXACT LOCATION AND SIZE OF EXISTING MAINS IN THE FIELD.
- EXTEND AND CONNECT NEW 1-1/2" CW FROM NEW METER INTO EXISTING COLD WATER MAIN. VERIFY EXACT LOCATION AND SIZE OF EXISTING MAINS IN THE FIELD.



**1 BASEMENT DOMESTIC WATER PLAN**  
 SCALE: 1/4" = 1' - 0"

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: <b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCHESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
 Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: <b>BASEMENT DOMESTIC WATER PLAN</b>	
 HOLSTEIN WHITE 3800 Madison Blvd., Suite 103 Trenton, NJ 08611 P: (609) 322-7709 www.holsteinwhite.com		SEAL: SCOTT A. WHITE NJ REG. NO. 346264700 NJ AUTH. NO. 24626483700	SCALE: AS NOTED PROJ. NO.: 1016H DATE: 1/7/25 REV'D: DRAWN BY: SA CHECKED BY: SW
		<b>P-0.1</b>	

**EXISTING CONDITIONS NOTE**

- ALL THE EXISTING PIPE SIZES AND LOCATIONS, THE PLUMBING FIXTURE LOCATIONS AND TAGS, THE EXISTING ARCHITECTURAL FLOOR PLANS, ETC., HAVE BEEN DOCUMENTED BASED OFF SURVEY DATA HOLSTEIN WHITE, INC. (ENGINEER) CONDUCTED ON APRIL 11, 2023.
- ALTHOUGH THE EXISTING CONDITIONS DOCUMENTED ON THESE PLANS HAVE BEEN MODIFIED PER OBSERVATIONS IN THE FIELD, THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM FINAL FIELD VERIFICATION OF ALL OF THE EXISTING CONDITIONS PRIOR TO COMMENCING WORK TO CONFIRM ALL EXISTING CONDITIONS AND LOCATIONS OF ALL PLUMBING FIXTURES, VALVES, PIPING, ETC.

**DRAWING NOTES**

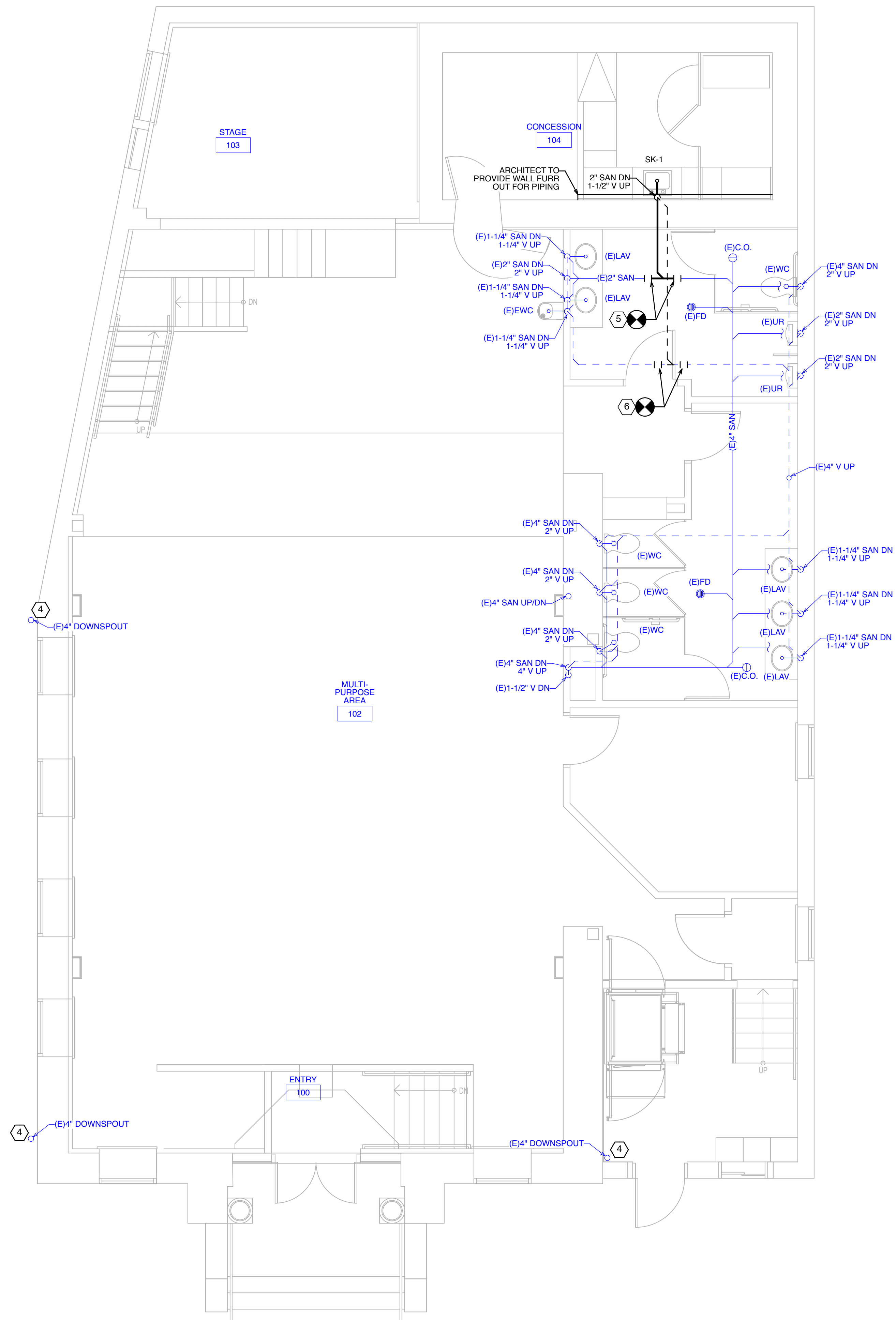
- REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATIONS OF ALL THE FURNITURE, PLUMBING FIXTURES, AND EQUIPMENT.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND PIPING WITH THE LOCATION OF ALL FOOTERS AND EXISTING UTILITY PIPING.
- CONTRACTOR SHALL VERIFY THE EXACT SIZE AND LOCATION OF EXISTING SANITARY AND DOMESTIC WATER PIPING IN THE FIELD. COORDINATE THE INSTALLATION OF THE NEW PIPING WITH THE EXISTING LOCATION.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE NEW PIPING WITH THE LOCATION OF THE PIPING, DUCT WORK, EQUIPMENT, ARCHITECTURAL PLANS, AND STRUCTURAL ELEMENTS IN THE FIELD.
- ALL PIPING CONNECTIONS ARE SHOWN DIAGRAMMATICALLY. CONTRACTOR SHALL VERIFY FINAL CONNECTION POINTS IN FIELD.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF ALL ROOF AND EXTERIOR WALL PENETRATIONS IN THE FIELD WITH LANDLORD PRIOR TO ROUGHING-IN.
- CONTRACTOR SHALL COORDINATE ALL DOMESTIC WATER PIPING WITHIN THERMAL ENVELOPE OF THE BUILDING TO PREVENT FREEZING.
- CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS WITH EXISTING ROOFING CONTRACTOR AS TO NOT VOID ROOF WARRANTY.

**DRAWING SYMBOLS**



(E) EXISTING PLUMBING WORK TO REMAIN  
 (R) EXISTING PLUMBING WORK TO BE DEMOLISHED AND REMOVED  
 - - - EXISTING PLUMBING WORK TO REMAIN  
 ——— NEW SANITARY WORK  
 - - - NEW VENTING WORK  
 - - - NEW COLD WATER PLUMBING WORK  
 - - - NEW HOT WATER PLUMBING WORK  
 - - - NEW NATURAL GAS PIPING WORK  
 ○ POINT OF CONNECTION TO EXISTING  
 ⊠ POINT OF DEMOLITION, CUT AND CAP

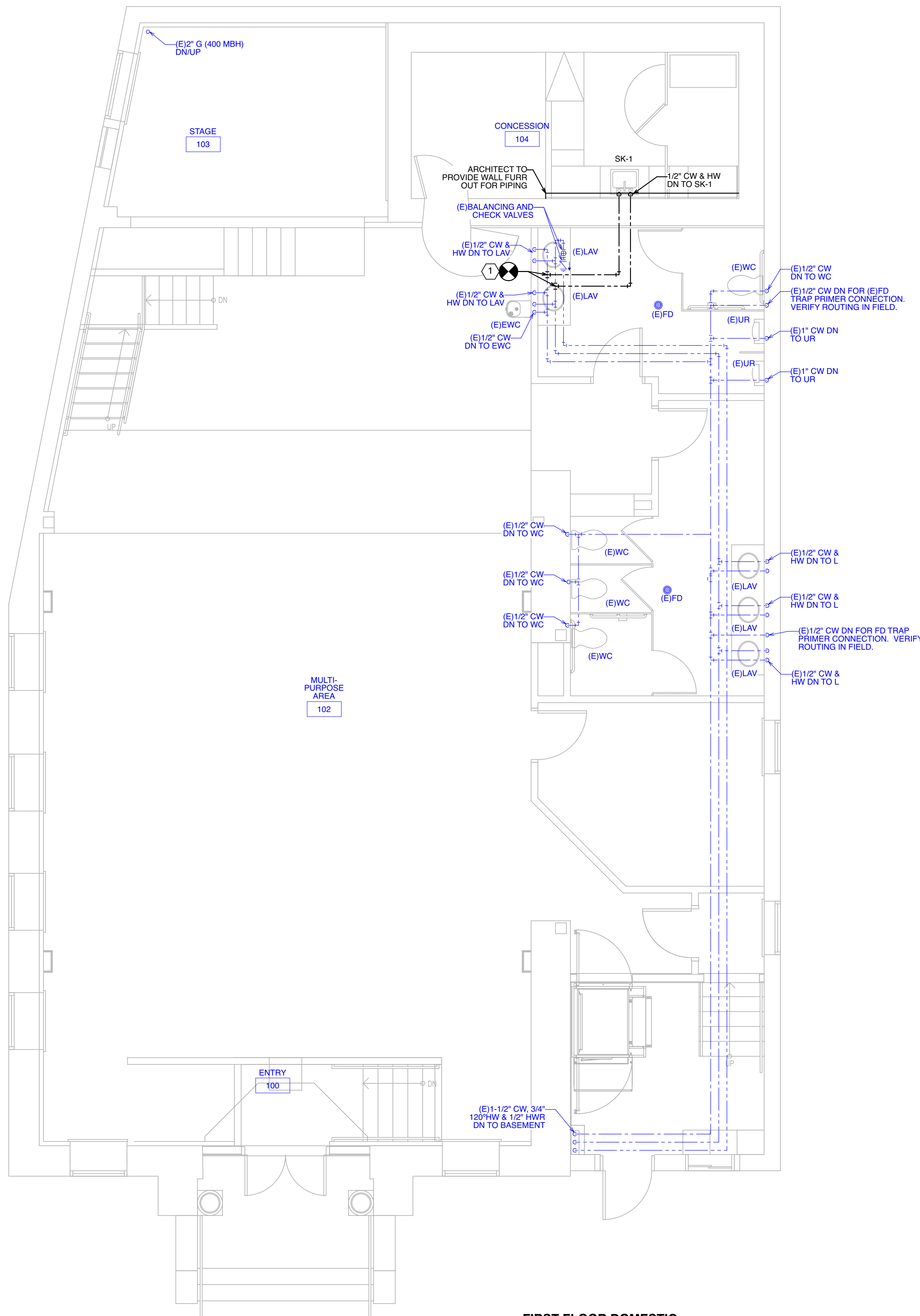
**SHEET NOTES**

- CONTRACTOR SHALL REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET (REFER TO PLUMBING FIXTURE SCHEDULE ON P-3.0). CONTRACTOR SHALL MODIFY EXISTING SANITARY PIPING AS REQUIRED TO INSTALL NEW FIXTURES. VERIFY EXACT LOCATION OF EXISTING SANITARY PIPING IN THE FIELD.
- CONTRACTOR SHALL INSTALL NEW LAVATORY IN EXISTING URINAL LOCATION (REFER TO PLUMBING FIXTURE SCHEDULE ON P-3.0). CONTRACTOR SHALL MODIFY EXISTING SANITARY PIPING AS REQUIRED TO INSTALL NEW LAVATORY. VERIFY EXACT LOCATION OF EXISTING SANITARY PIPING IN THE FIELD.
- CONTRACTOR SHALL INSPECT AND REPAIR (E) BACKWATER VALVE AS REQUIRED. PROVIDE A CONTINGENCY PRICE TO REPLACE THE 4" BACKWATER VALVE.
- CONTRACTOR SHALL INSPECT EXISTING DOWNSPOUT AND DRAINS AND PROVIDE CONTINGENCY TO REPLACE DOWNSPOUT AND ASSOCIATED DRAIN.
- CONTRACTOR SHALL EXTEND AND CONNECT NEW 2"Ø SAN INTO EXISTING SAN MAIN. VERIFY EXACT SIZE AND LOCATION OF EXISTING MAIN IN THE FIELD.
- CONTRACTOR SHALL EXTEND AND CONNECT NEW 1-1/2"Ø VENT INTO EXISTING VENT MAIN. VERIFY EXACT SIZE AND LOCATION OF EXISTING MAIN IN THE FIELD.



**1** FIRST FLOOR SANITARY PLAN  
 SCALE: 1/4" = 1' - 0"

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
 Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: FIRST FLOOR SANITARY PLAN	
 HOLSTEIN WHITE 3800 Madison Blvd. Suite 103 Trenton, PA 19103 © 2013, 2022, 2023 P: (202) 222-7709 www.holsteinwhite.com		SCALE: AS NOTED PROLD.: 10/16H DATE: 1/7/25 REV'D: DRAWN BY: SA CHKD BY: SW	DRAWING NO: <b>P-1.0</b>
SEAL: SCOTT A. WHITE NJ REG. NO. 34626467000 NJ AUTH. NO. 24626467000 EXPIRES 2024		CONTRACTOR MUST BE VERIFIED BY ARCHITECT OR AN OCCUPANCY INSPECTOR BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.	



**1** FIRST FLOOR DOMESTIC WATER PLAN  
SCALE: 1/4" = 1' - 0"

**EXISTING CONDITIONS NOTE**

- ALL THE EXISTING PIPE SIZES AND LOCATIONS, THE PLUMBING FIXTURE LOCATIONS AND TAGS, ETC., HAVE BEEN DOCUMENTED BASED OFF SURVEY DATA HOLSTEIN WHITE, INC. (ENGINEER) CONDUCTED ON APRIL 11, 2023.
- ALTHOUGH THE EXISTING CONDITIONS DOCUMENTED ON THESE PLANS HAVE BEEN MODIFIED PER OBSERVATIONS IN THE FIELD, THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM FINAL FIELD VERIFICATION OF ALL OF THE EXISTING CONDITIONS PRIOR TO COMMENCING WORK TO CONFIRM ALL EXISTING CONDITIONS AND LOCATIONS OF ALL PLUMBING FIXTURES, VALVES, PIPING, ETC.

**DRAWING SYMBOLS**



- (E) EXISTING PLUMBING WORK TO REMAIN
- EXISTING PLUMBING WORK TO REMAIN
- (R) EXISTING PLUMBING WORK TO BE DEMOLISHED AND REMOVED
- - - EXISTING PLUMBING WORK TO REMAIN
- NEW SANITARY WORK
- - - NEW VENTING WORK
- - - NEW COLD WATER PLUMBING WORK
- - - NEW HOT WATER PLUMBING WORK
- - - NEW NATURAL GAS PIPING WORK
- ⊗ POINT OF CONNECTION TO EXISTING
- ⊠ POINT OF DEMOLITION, CUT AND CAP

**DRAWING NOTES**

- REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATIONS OF ALL THE FURNITURE, PLUMBING FIXTURES, AND EQUIPMENT.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND PIPING WITH THE LOCATION OF ALL FOOTERS AND EXISTING UTILITY PIPING.
- CONTRACTOR SHALL VERIFY THE EXACT SIZE AND LOCATION OF EXISTING SANITARY AND DOMESTIC WATER PIPING IN THE FIELD. COORDINATE THE INSTALLATION OF THE NEW PIPING WITH THE EXISTING LOCATION.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE NEW PIPING WITH THE LOCATION OF THE PIPING, DUCT WORK, EQUIPMENT, ARCHITECTURAL PLANS, AND STRUCTURAL ELEMENTS IN THE FIELD.
- ALL PIPING CONNECTIONS ARE SHOWN DIAGRAMMATICALLY. CONTRACTOR SHALL VERIFY FINAL CONNECTION POINTS IN FIELD.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF ALL ROOF AND EXTERIOR WALL PENETRATIONS IN THE FIELD WITH LANDLORD PRIOR TO ROUGHING-IN.
- CONTRACTOR SHALL COORDINATE ALL DOMESTIC WATER PIPING WITHIN THERMAL ENVELOPE OF THE BUILDING TO PREVENT FREEZING.
- CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS WITH EXISTING ROOFING CONTRACTOR AS TO NOT VOID ROOF WARRANTY.

**SHEET NOTES**

- TIE NEW 1/2" CW AND 1/2" HW INTO EXISTING COLD AND HOT WATER MAINS. VERIFY EXACT SIZE, LOCATION AND ROUTING OF EXISTING COLD AND HOT WATER MAINS IN THE FIELD.
- EXTEND AND CONNECT NEW 1-1/2" CW FROM NEW METER INTO EXISTING COLD WATER MAIN. VERIFY EXACT LOCATION AND SIZE OF EXISTING MAINS IN THE FIELD.

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
 Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: FIRST FLOOR DOMESTIC WATER PLAN	
 HOLSTEIN WHITE 3800 Madison Blvd., Suite 103 Trenton, NJ 08611 P: (609) 322-7700 www.holsteinwhite.com		SEAL: SCOTT A. WHITE NJ REG. NO. 246264700 NJ AUTH. NO. 246264700	SCALE: AS NOTED PROJ. NO.: 1016H DATE: 1/7/25 REV'D: DRAWN BY: SA CHK'D BY: SW
		DRAWING NO. P-1.1	

**PLUMBING FIXTURE SCHEDULE**

NOTE: ALL PLUMBING FIXTURES AND FAUCETS SHALL BE PROVIDED IN CUSTOM COLORS AND FINISHES. COORDINATE COLOR & FIXTURE SELECTION WITH THE ARCHITECT AND OWNER.

Table with columns: Tag, Fixture Type, Mount, Fixture Mfr./Model #, Domestic Water CWS, HWS, Drain, Trap, Faucet Mfr./Model #, Flush Valve Mfr./Model #, Seat Mfr./Model #, Remarks.

**Notes:**

- 1. Provide Water Hammer Arresters (WHA). Similar to Zurn Wilkins 1260XL...
2. Provide Trap Seal. Similar to Zurn Z1072-2...
3. Provide Individual Quarter-Turn, Lead-Free Shut-Off Valves...
4. Provide Floor Cleanouts (FCO). Similar to Zurn Z1400-BZ...
5. Provide Wall Cleanouts (WCO). Similar to Zurn Z1445...

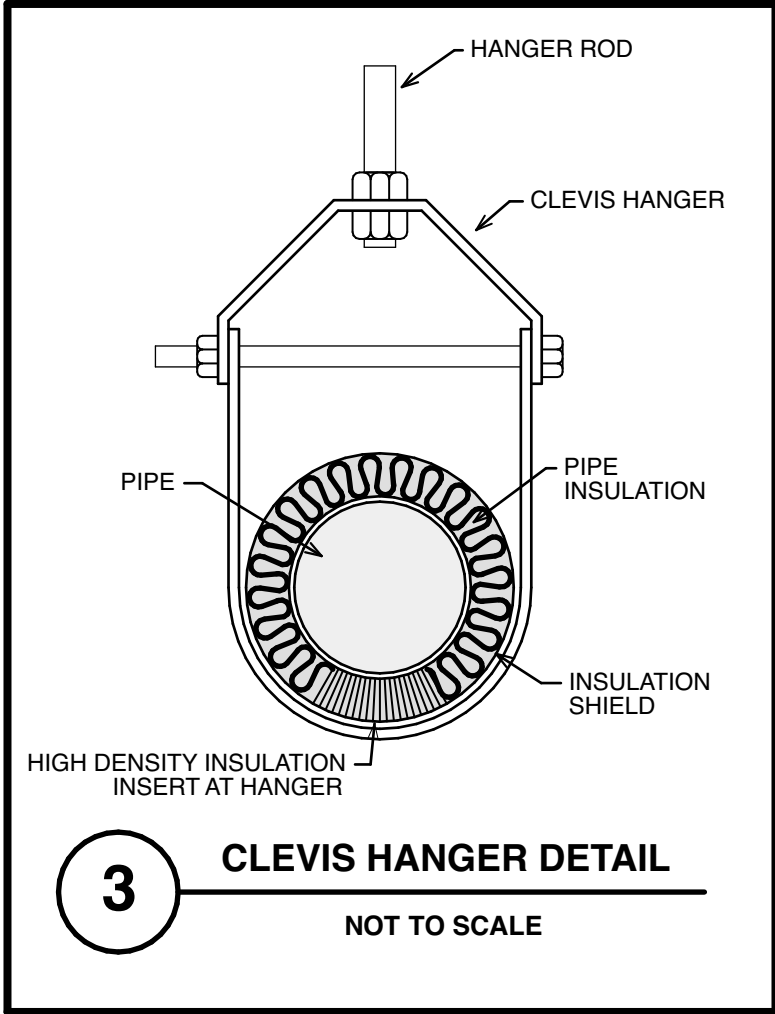
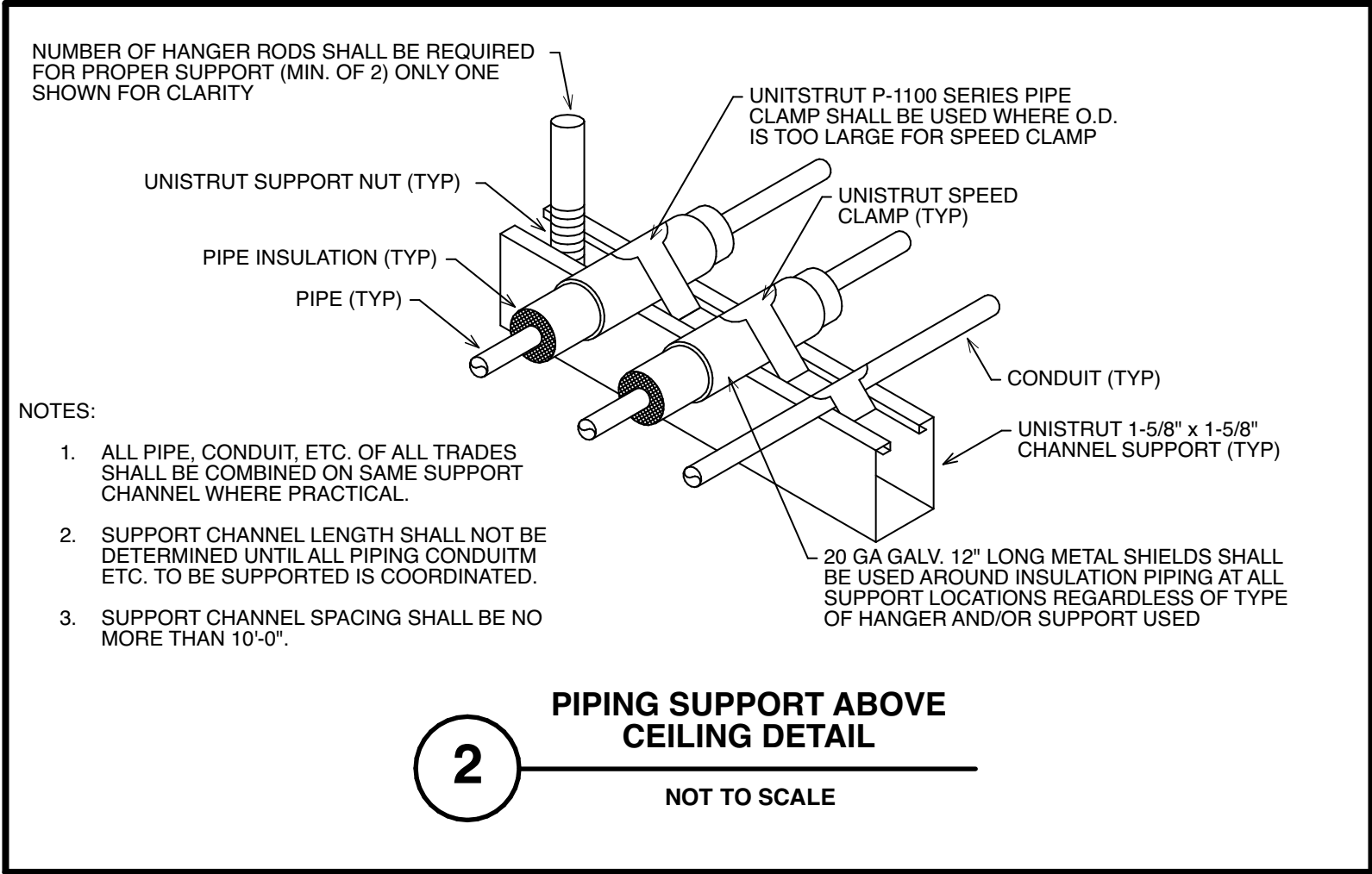
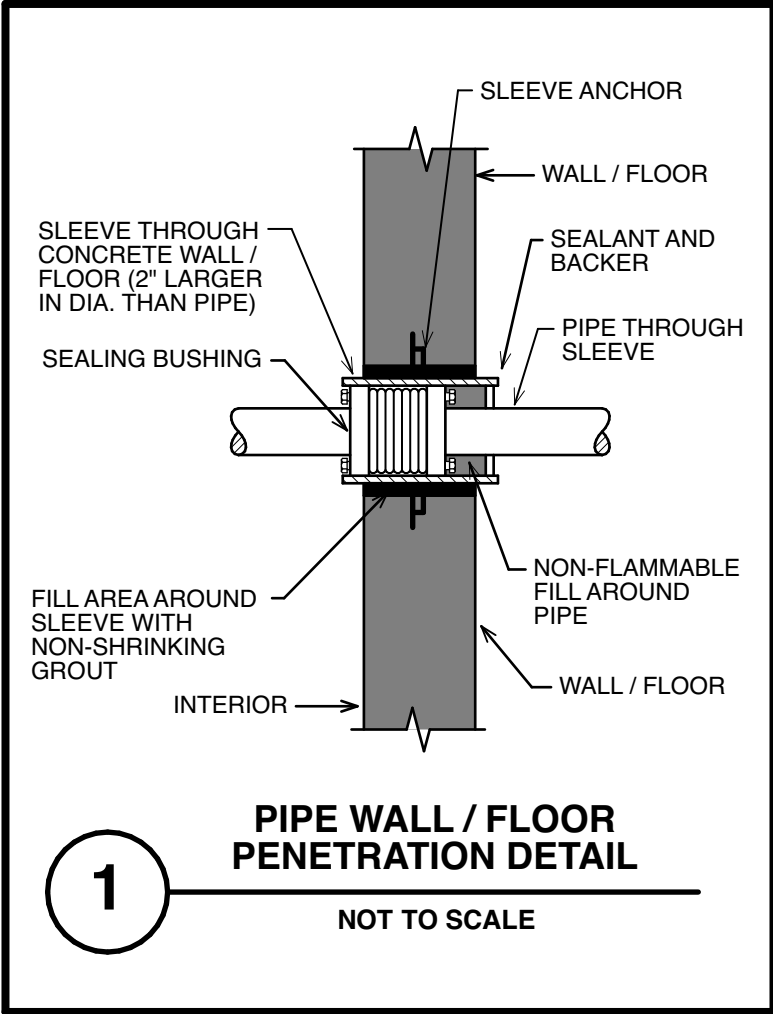
**MATERIAL AND INSULATION SCHEDULE**

Table with columns: System, Material Basis of Design, Insulation Basis of Design, Insulation Type, Insulation Wall (in), Vapor Barrier, Remarks.

**PLUMBING SPECIFICATIONS**

**GENERAL WORK:**

- 1. The Contractor shall provide all labor, materials, tools, apparatus and equipment...
2. In preparing his estimate, the contractor shall review all of the contract documents...
3. The contractor by his acceptance of the contract guarantees that all work installed...
4. The contractor shall visit the site before he submits his proposal...
5. Plumbing work shall be installed in a neat and workmanlike manner...
6. The contract drawings are diagrammatic and indicate the general arrangement...
7. The contractor shall follow the contract drawings in laying out his work...
8. The contractor shall, without additional costs to the owner, make reasonable modifications...
9. The contractor shall supply all labor required to perform all work which may be dictated...
10. The entire installation shall conform with all pertinent codes and regulations...
11. The contractor shall give all necessary notices, obtain all permits...
12. The contractor shall coordinate with the General Contractor and locate all required cutting...
13. All work shall be installed in strict accordance with the equipment manufacturer's...
14. Coordinate to assure that all work of all trades will be concealed within the wall...
15. Provide supports, hangers, flexible pipe connections, vibration isolation...
16. The contractor shall provide and maintain in good order a complete set of blue-line prints...



**ELECTRICAL COORDINATION**

- 1. IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO COORDINATE THE LOCATIONS OF PIPING WITH THE ELECTRICAL CONTRACTOR...
2. COORDINATION OF PIPING LOCATIONS SHALL BE SOLELY THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR...
3. PER NFPA 70, ARTICLE 110.26(F); DEDICATED EQUIPMENT SPACE SHALL APPLY TO SWITCHBOARDS, DISTRIBUTION PANELS, AND MOTOR CONTROL CENTERS...

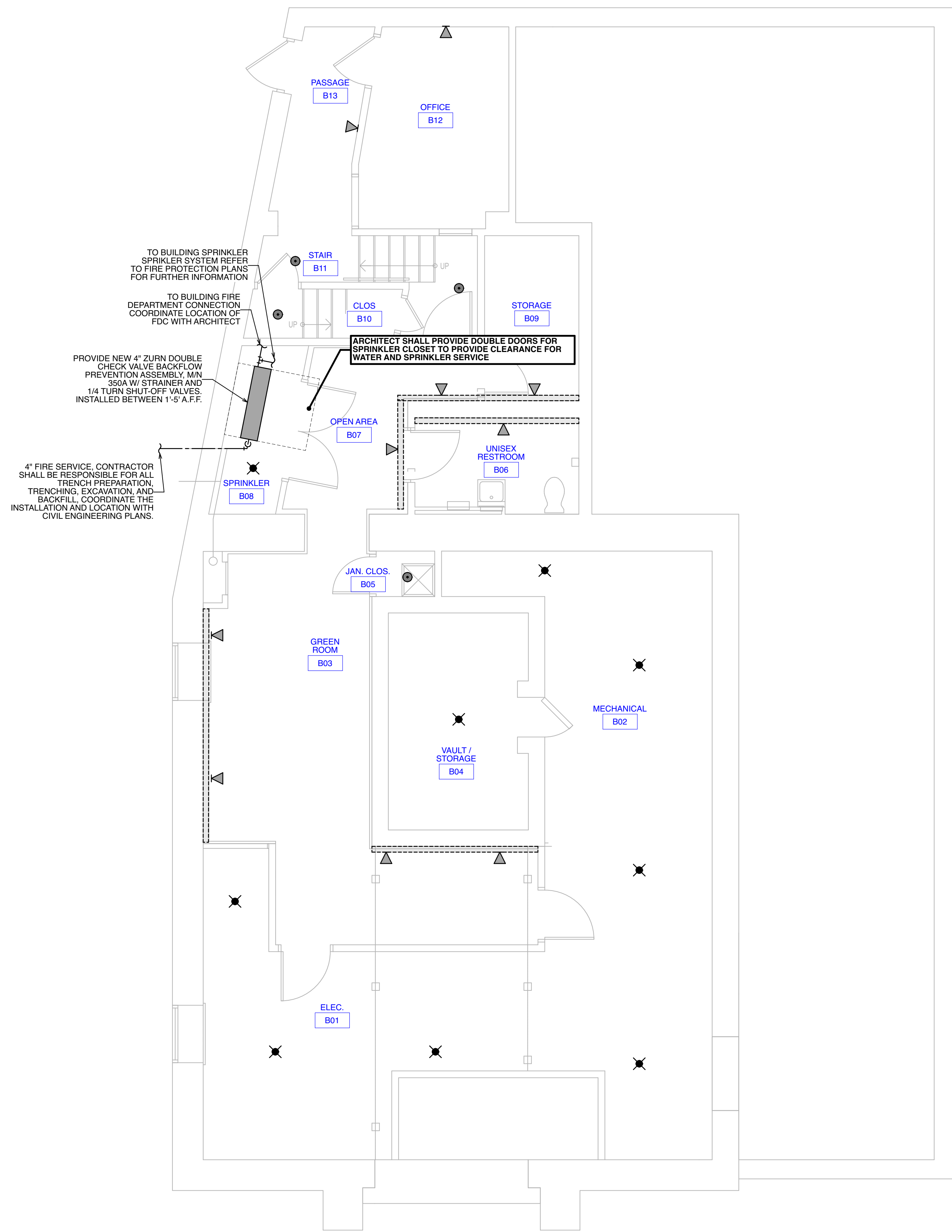
**PLUMBING SYMBOLS, INDICATIONS, & ABBREVIATIONS**

Table listing symbols for equipment designation tags, valves, pumps, and abbreviations.

Project information including date (7/7/25), project name (INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER), location (3 SOUTH BLACKHORSE PIKE, BLACKWOOD, NEW JERSEY, 08012), architect (Joseph F. McKernan Jr., Architects & Associates), and drawing title (PLUMBING SCHEDULES & DETAILS).

P-2.0





**GENERAL NOTES**

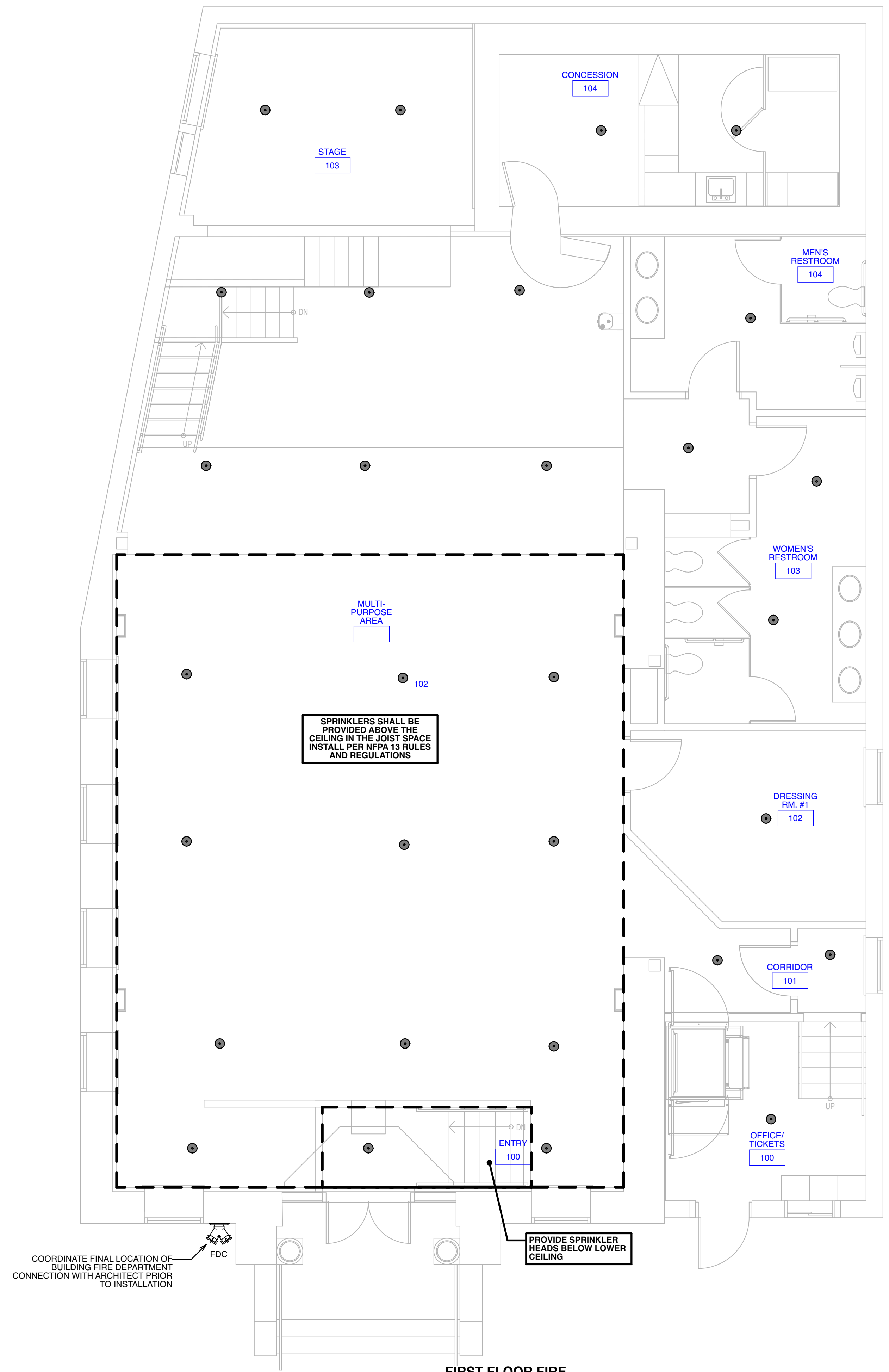
- SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR THE CALCULATION, DESIGN APPROVAL, CONFORMANCE AND OPERATION OF WET AND/OR DRY FIRE PROTECTION AND/OR SUPPRESSION SYSTEMS. THE PLACEMENT OF THIS INFORMATION ON THE DRAWINGS IS FOR IDENTIFICATION ONLY.
- SPRINKLER CONTRACTOR SHALL PROVIDE A COMPLETE FIRE PROTECTION SYSTEM AS SHOWN ON PLANS AND AS REQUIRED. HE IS SOLELY RESPONSIBLE TO PROVIDE A COMPLETE WORKING SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13, STATE OF NEW JERSEY AND LOCAL CODES, AND THE OWNER'S INSURANCE UNDERWRITER'S REQUIREMENT.
- SPRINKLER CONTRACTOR SHALL PAY FOR PERMITS, INSPECTIONS, TESTS AND APPROVALS RELATED TO THE SPRINKLER SYSTEM AS REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION. THIS INCLUDES SUPPLYING ERECTION DRAWINGS TO THE ARCHITECT IN ACCORDANCE WITH THE GENERAL CONDITIONS AND THE MECHANICAL TRADE REQUIREMENTS OF THE PROJECT.
- THE AREA WITHIN THE SCOPE OF THIS PROJECT IS TO BE 100% PROTECTED BY THE FIRE SUPPRESSION SYSTEM AND SHOULD BE INSTALLED PER NFPA.
- THE COMPLETE SPRINKLER INSTALLATION SHALL INCLUDE THE FOLLOWING: CONNECTION TO THE FIRE MAIN OR TO MAIN IN UTILITY METER VAULT AS REQUIRED. ALL CONTROL VALVES, CHECK VALVES, ALARM VALVES AND NECESSARY TIE-IN, WATER MOTOR GONG FLOW SWITCH, APPARATUS AND THE TIE-IN TO THE BUILDING FIRE ALARM SYSTEM, ALL PIPE, VALVES, FITTINGS, AND SPRINKLER HEADS INCLUDING SPARE HEADS IN A CABINET. ALL INSERTS, HANGERS AND SUPPORTS FOR PIPE AND EQUIPMENT.
- SPRINKLER HEADS SHALL BE APPROVED TYPE OF PROPER TEMPERATURE RATING FOR ITS PARTICULAR LOCATION. FIRE DEPARTMENT CONNECTIONS SHALL BE CHROME PLATED BRASS, WITH CONNECTIONS IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT REGULATIONS. ALL CONTROLS, DRAINS, TEST VALVES, AND ALARM VALVES SHALL BE PROVIDED WITH IDENTIFICATION SIGNS OF THE STANDARD DESIGN ADOPTED BY THE AUTOMATIC SPRINKLER INDUSTRY.
- SPRINKLER CONTRACTOR SHALL COORDINATE THE ROUTING OF ALL PIPING WITH THE LOCATIONS OF ALL PLUMBING PIPING, HVAC DUCTWORK & EQUIPMENT, ELECTRICAL CONDUIT, AND STRUCTURAL ELEMENTS. COORDINATE WITH ALL TRADES INVOLVED IN THE PROJECT.

**FIRE PROTECTION SYMBOLS**

- = CONCEALED WET SPRINKLER HEAD W/ COVERPLATE
- ✕ = UPRIGHT WET SPRINKLER HEAD
- ◀ = SIDEWALL WET SPRINKLER HEAD IN WALL

**1** BASEMENT FIRE PROTECTION  
SCALE: 1/4" = 1' - 0"

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:	PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
	Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: BASEMENT FIRE PROTECTION
	SEAL: SCOTT A. WHITE NJ REG. NO. 34626467000 NJ AUTH. NO. 24626467000	SCALE: AS NOTED PROJ. NO.: 1016H DATE: 1/7/25 REV'D: DRAWN BY: SA CHKD BY: SW	DRAWING NO.: <b>FP-0.0</b>





**1** FIRST FLOOR FIRE PROTECTION  
SCALE: 1/4" = 1' - 0"

**GENERAL NOTES**

- SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR THE CALCULATION, DESIGN APPROVAL, CONFORMANCE AND OPERATION OF WET AND/OR DRY FIRE PROTECTION AND/OR SUPPRESSION SYSTEMS. THE PLACEMENT OF THIS INFORMATION ON THE DRAWINGS IS FOR IDENTIFICATION ONLY.
- SPRINKLER CONTRACTOR SHALL PROVIDE A COMPLETE FIRE PROTECTION SYSTEM AS SHOWN ON PLANS AND AS REQUIRED. HE IS SOLELY RESPONSIBLE TO PROVIDE A COMPLETE WORKING SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13, STATE OF NEW JERSEY AND LOCAL CODES, AND THE OWNER'S INSURANCE UNDERWRITER'S REQUIREMENT.
- SPRINKLER CONTRACTOR SHALL PAY FOR PERMITS, INSPECTIONS, TESTS AND APPROVALS RELATED TO THE SPRINKLER SYSTEM AS REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION. THIS INCLUDES SUPPLYING ERECTION DRAWINGS TO THE ARCHITECT IN ACCORDANCE WITH THE GENERAL CONDITIONS AND THE MECHANICAL TRADE REQUIREMENTS OF THE PROJECT.
- THE AREA WITHIN THE SCOPE OF THIS PROJECT IS TO BE 100% PROTECTED BY THE FIRE SUPPRESSION SYSTEM AND SHOULD BE INSTALLED PER NFPA.
- THE COMPLETE SPRINKLER INSTALLATION SHALL INCLUDE THE FOLLOWING: CONNECTION TO THE FIRE MAIN OR TO MAIN IN UTILITY METER VAULT AS REQUIRED. ALL CONTROL VALVES, CHECK VALVES, ALARM VALVES AND NECESSARY TIE-IN, WATER MOTOR GONG FLOW SWITCH, APPARATUS AND THE TIE-IN TO THE BUILDING FIRE ALARM SYSTEM. ALL PIPE, VALVES, FITTINGS, AND SPRINKLER HEADS INCLUDING SPARE HEADS IN A CABINET. ALL INSERTS, HANGERS AND SUPPORTS FOR PIPE AND EQUIPMENT.
- SPRINKLER HEADS SHALL BE APPROVED TYPE OF PROPER TEMPERATURE RATING FOR ITS PARTICULAR LOCATION. FIRE DEPARTMENT CONNECTIONS SHALL BE CHROME PLATED BRASS, WITH CONNECTIONS IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT REGULATIONS. ALL CONTROLS, DRAINS, TEST VALVES, AND ALARM VALVES SHALL BE PROVIDED WITH IDENTIFICATION SIGNS OF THE STANDARD DESIGN ADOPTED BY THE AUTOMATIC SPRINKLER INDUSTRY.
- SPRINKLER CONTRACTOR SHALL COORDINATE THE ROUTING OF ALL PIPING WITH THE LOCATIONS OF ALL PLUMBING PIPING, HVAC DUCTWORK & EQUIPMENT, ELECTRICAL CONDUIT, AND STRUCTURAL ELEMENTS. COORDINATE WITH ALL TRADES INVOLVED IN THE PROJECT.

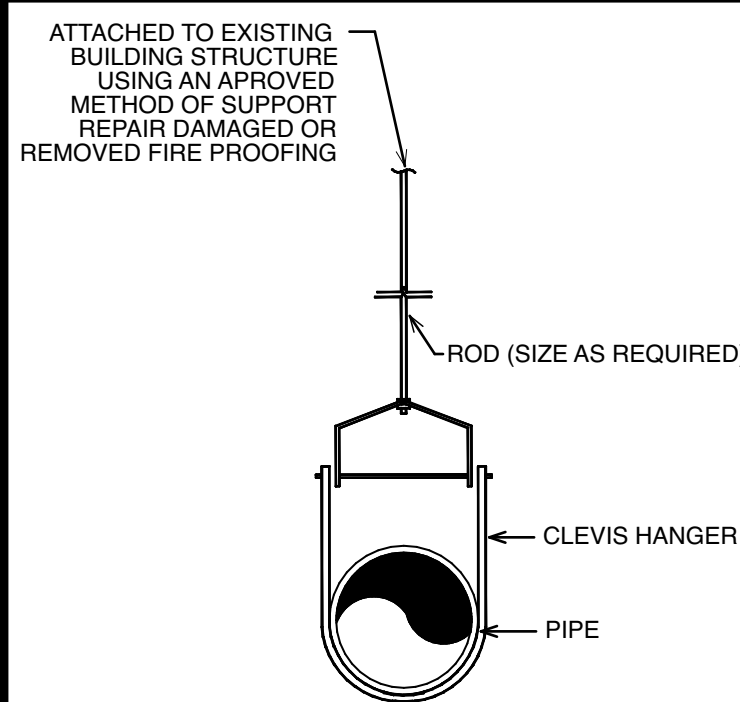
**FIRE PROTECTION SYMBOLS**

- = CONCEALED WET SPRINKLER HEAD W/ COVERPLATE
- ✕ = UPRIGHT WET SPRINKLER HEAD
- ◀ = SIDEWALL WET SPRINKLER HEAD IN WALL

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:		PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
 Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: FIRST FLOOR FIRE PROTECTION	
 HOLSTEIN WHITE 3800 Madison Blvd., Suite 103 Bryn Mawr, PA 19003 © 2013, 2022, 2024 P: 215.322.7709 www.holsteinwhite.com		SEAL: SCOTT A. WHITE NJ REG. NO. 34626467000 NJ AUTH. NO. 24626467000	SCALE: AS NOTED DRAWING NO.: 1016H DATE: 1/7/25 REV'D BY: SA DRAWN BY: SA CHECKED BY: SW
		<b>FP-1.0</b>	

**FP DESIGN CRITERIA**

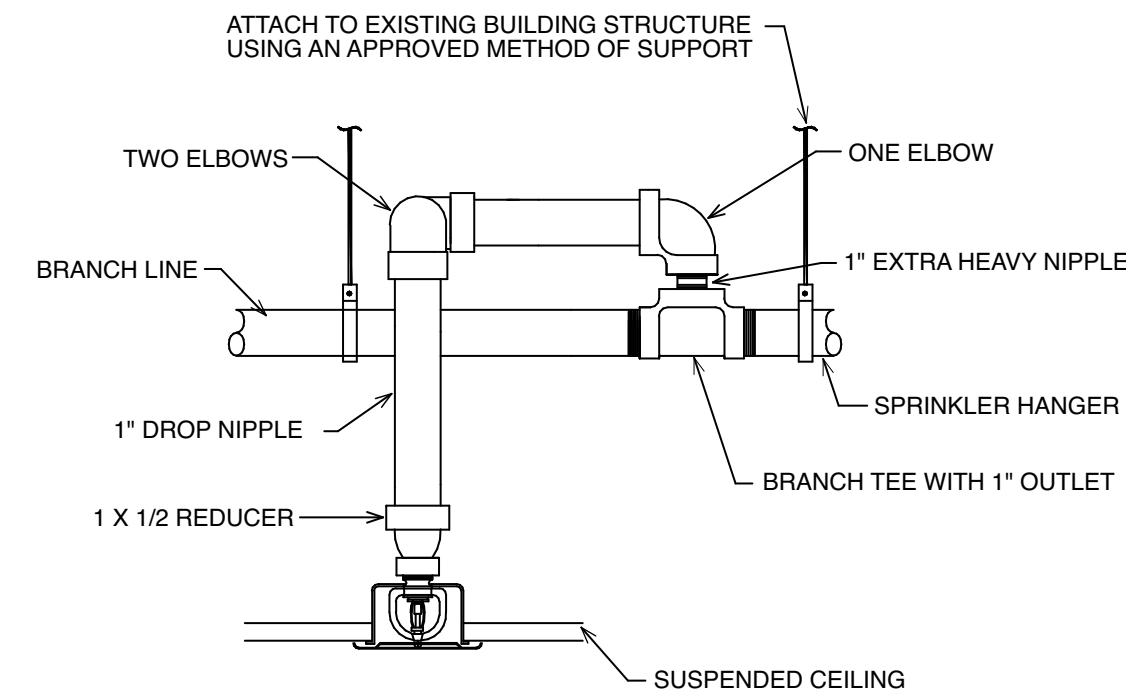
- "LIGHT HAZARD":** SPRINKLER PROTECTION SHOULD BE PROVIDED IN THE DEFINED AREAS DESIGNED (UNLESS INDICATED OTHERWISE) TO PROVIDE A DENSITY OF **0.10 GPM PER SQUARE FOOT** OVER THE MOST REMOTE **1,500 SQUARE FEET** WITH **100 GPM** RESERVED FOR HOSE STREAMS. SPRINKLER HEADS SHOULD BE RATED AT **165 DEGREES FAHRENHEIT**. IF A BUILDING HAS A ROOF CLEARANCE HEIGHT OF OVER 20 FEET A SOLID SUSPENDED CEILING SHOULD BE PROVIDED WITH SPRINKLERS ABOVE AND BELOW THE SUSPENDED CEILING. LIGHT HAZARD SHALL APPLY TO ALL SPACES EXCEPT MECHANICAL CLOSETS.
- "ORDINARY HAZARD, GROUP 1":** SPRINKLER PROTECTION SHOULD BE PROVIDED IN THE DEFINED AREAS DESIGNED (UNLESS INDICATED OTHERWISE) TO PROVIDE A DENSITY OF **0.25 GPM PER SQUARE FOOT** OVER THE MOST REMOTE **2,000 SQUARE FEET** WITH **250 GPM** RESERVED FOR HOSE STREAMS. SPRINKLER HEADS SHOULD BE RATED AT **165 DEGREES FAHRENHEIT**. IF A BUILDING HAS A ROOF CLEARANCE HEIGHT OF OVER 20 FEET A SOLID SUSPENDED CEILING SHOULD BE PROVIDED WITH SPRINKLERS ABOVE AND BELOW THE SUSPENDED CEILING. ORDINARY HAZARD, GROUP 1 SHALL APPLY TO ALL MECHANICAL CLOSETS.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING USE GROUP, OCCUPANCY CLASSIFICATION, FIRE-RESISTIVE CLASSIFICATION, CONTENT INFORMATION, LOCATION AND ARRANGEMENT OF STRUCTURE.
- REFER TO CIVIL UTILITY PLANS FOR WATER SERVICE LOCATION AND ALL SITE UTILITIES INFORMATION.



**2** TYPICAL HANGER DETAIL  
NOT TO SCALE

**GENERAL NOTES**

- SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR THE CALCULATION, DESIGN APPROVAL, CONFORMANCE AND OPERATION OF WET AND/OR DRY FIRE PROTECTION AND/OR SUPPRESSION SYSTEMS. THE PLACEMENT OF THIS INFORMATION ON THE DRAWINGS IS FOR IDENTIFICATION ONLY.
- SPRINKLER CONTRACTOR SHALL PROVIDE A COMPLETE FIRE PROTECTION SYSTEM AS SHOWN ON PLANS AND AS REQUIRED. HE IS SOLELY RESPONSIBLE TO PROVIDE A COMPLETE WORKING SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13R, STATE OF NEW JERSEY AND LOCAL CODES, AND THE OWNER'S INSURANCE UNDERWRITER'S REQUIREMENT.
- SPRINKLER CONTRACTOR SHALL PAY FOR PERMITS, INSPECTIONS, TESTS AND APPROVALS RELATED TO THE SPRINKLER SYSTEM AS REQUIRED BY ALL AUTHORITIES HAVING JURISDICTION. THIS INCLUDES SUPPLYING ERECTION DRAWINGS TO THE ARCHITECT IN ACCORDANCE WITH THE GENERAL CONDITIONS AND THE MECHANICAL TRADE REQUIREMENTS OF THE PROJECT.
- THE AREA WITHIN THE SCOPE OF THIS PROJECT IS TO BE 100% PROTECTED BY THE FIRE SUPPRESSION SYSTEM AND SHOULD BE INSTALLED PER NFPA.
- THE COMPLETE SPRINKLER INSTALLATION SHALL INCLUDE THE FOLLOWING: CONNECTION TO THE FIRE MAIN OR TO MAIN IN UTILITY METER VAULT AS REQUIRED; ALL CONTROL VALVES, CHECK VALVES, ALARM VALVES AND NECESSARY TIE-IN, WATER MOTOR GONG FLOW SWITCH, APPARATUS AND THE TIE-IN TO THE BUILDING FIRE ALARM SYSTEM, ALL PIPE, VALVES, FITTINGS, AND SPRINKLER HEADS INCLUDING SPARE HEADS IN A CABINET. ALL INSERTS, HANGERS AND SUPPORTS FOR PIPE AND EQUIPMENT.
- SPRINKLER HEADS SHALL BE APPROVED TYPE OF PROPER TEMPERATURE RATING FOR ITS PARTICULAR LOCATION. FIRE DEPARTMENT CONNECTIONS SHALL BE CHROME PLATED BRASS, WITH CONNECTIONS IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT REGULATIONS. ALL CONTROLS, DRAINS, TEST VALVES, AND ALARM VALVES SHALL BE PROVIDED WITH IDENTIFICATION SIGNS OF THE STANDARD DESIGN ADOPTED BY THE AUTOMATIC SPRINKLER INDUSTRY.
- SPRINKLER CONTRACTOR SHALL COORDINATE THE ROUTING OF ALL PIPING WITH THE LOCATIONS OF ALL PLUMBING PIPING, HVAC DUCTWORK & EQUIPMENT, ELECTRICAL CONDUIT, AND STRUCTURAL ELEMENTS. COORDINATE WITH ALL TRADES INVOLVED IN THE PROJECT.



**3** SPRINKLER HEAD IN SUSPENDED CEILING DETAIL  
NOT TO SCALE

**FIRE PROTECTION SPECIFICATIONS**

- FIRE PROTECTION SYSTEMS:**
- For the convenience of the Design/Build Fire Protection Contractors, a set of Fire Protection Specifications have been furnished to act as a design criteria enabling the Fire Protection Contractors to Bid on a defined scope of work. Major items such as the Fire Line, Compressors, etc. have been indicated and/or mentioned on our drawings for Building Preliminary Design only. The Fire Protection Contractor shall assume full responsibility for the final design requirements, coordination and installation of the fire protection systems.
  - The Fire Protection Contractor is to provide the fire protection system as shown on plans and/or as required. He is solely responsible to provide a complete working fire protection system designed and installed in accordance with NFPA 13, NFPA 24, State and Local Codes, Landlord Requirements, the Owner's Insurance Underwriter's requirement and as required by the local Fire Marshal.

**SPRINKLER SYSTEM AND BUILDING FIRE PROTECTION SYSTEMS:**

- All sprinkler work shall be installed in accordance with the requirements of the local rating bureau and the rules and regulations of the local and state codes. The Contractor shall be responsible for the calculation, design approval, conformance and operation of wet fire protection suppression systems. The placement of this section of the specification within this division is for identification only. The area within the scope of this project is to be 100% protected by the fire suppression system. The Engineer does not assume any responsibility or liability for the design, calculation, approval, review conformance and operation of the items included herewith and/or for the scope and adequacy of these systems.

- The complete sprinkler installation shall include but not be limited to the following:
  - All control valves, check valves, alarm valves and necessary tie-in.
  - Water motor gong flow switch, apparatus and the tie-in to the building fire alarm system.
  - All pipe, valves, fittings, and sprinkler heads including spare heads in a cabinet.
  - All inserts, hangers and supports for pipe and equipment. All hangers and inserts shall meet the approval of all authorities having jurisdiction.
- The contractor shall pay for permits, inspections, tests and approvals related to the sprinkler system as required by all authorities having jurisdiction. This includes supplying erection drawings to the architect in accordance with the general conditions and the mechanical trade requirements of the project specifications.
- All controls, drains, test valves, and alarm valves shall be provided with identification signs of the standard design adopted by the automatic sprinkler industry.
- Test piping and prove tight for two hours, as required by authorities having jurisdiction in the presence of said authorities, who shall be given ample notice before tests are made. Make preliminary tests and prove satisfactory before requesting witnessing of final test.
- Make tests in stages if so ordered by the Architect to facilitate work by others. Repair defects disclosed by tests, or, if required by the Architect replace defective work.
- Provide all equipment necessary to complete the sprinkler systems including electrical wiring, and related appurtenances as required.

**TEMPORARY FIRE PROTECTION:**

- Provide and maintain temporary piping, Siamese connections, hose valves, hose racks, as required by local fire department to protect floor areas during construction of building.
- Refer to local fire department rules for extent of work involved in required temporary fire protection.
- When directed, remove temporary equipment which is considered unsatisfactory; replace by permanent equipment as specified herein.

**PIPING INSTALLATION:**

- Underground piping shall be laid to bear on entire length. All elbows, bends, etc., shall be securely braced or clamped and provided with concrete thrust blocks in an approved manner.
- Hangers and supports shall be provided as required by code. Provide all necessary clamps and rods for properly supporting sprinkler risers and underground piping, all in strict accordance with requirements of N.F.P.A. Pamphlets No. 13 and 24. Sprinkler lines under ducts shall not be supported from duct work but shall be supported from building structure with trapeze hangers where necessary.
- Inspector's test pipe as required by code for system, extended down to globe valve not more than 6-feet above floor with discharge as shown on the drawings.
- Test connections as required by code, in riser at point opposite drain connection and equipped with side outlet globe valve. Provide an underwriter's approved gauge, in one outlet and plug for other outlet.
- Reductions in pipe sizes shall be made with one piece reducing fittings. Bushing will not be acceptable.
- Victaulic grooved piping system will be accepted on pipe 1-1/2 inches and larger in lieu of welded flanged or threaded methods. Plain end mechanical push on locking type fittings are accepted on pipe 2-inches and smaller in lieu of threaded method. Couplings and fittings shall be manufactured by Victaulic or an approved equal.
- All material and products shall be approved for the particular service selected by Underwriter's Laboratories, Inc., Factory Mutual, State's current IBC and local codes where applicable, and installed in accordance with NFPA 13, other applicable chapters and manufacturer's published recommendations.
- To assure system integrity and performance, all mechanical couplings, fittings, flanges, bolted branch outlets shall be furnished by the same manufacturer.

**SUPPORTS, HANGERS, INSERTS:**

- Support sprinkler piping from building structure by means of hangers, inserts, and other supports as per requirements of N.F.P.A. Pamphlet No. 13.

**FIRE PROTECTION SYSTEM SEALS:**

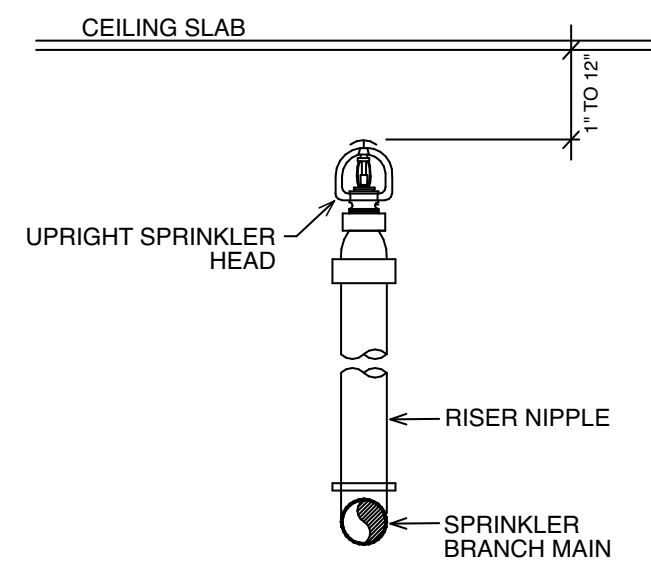
- Provide brass cross-line chain, all brass padlock, 2 keys for each manually operated shutoff valve required to be sealed in open position.

**SPRINKLER HEADS:**

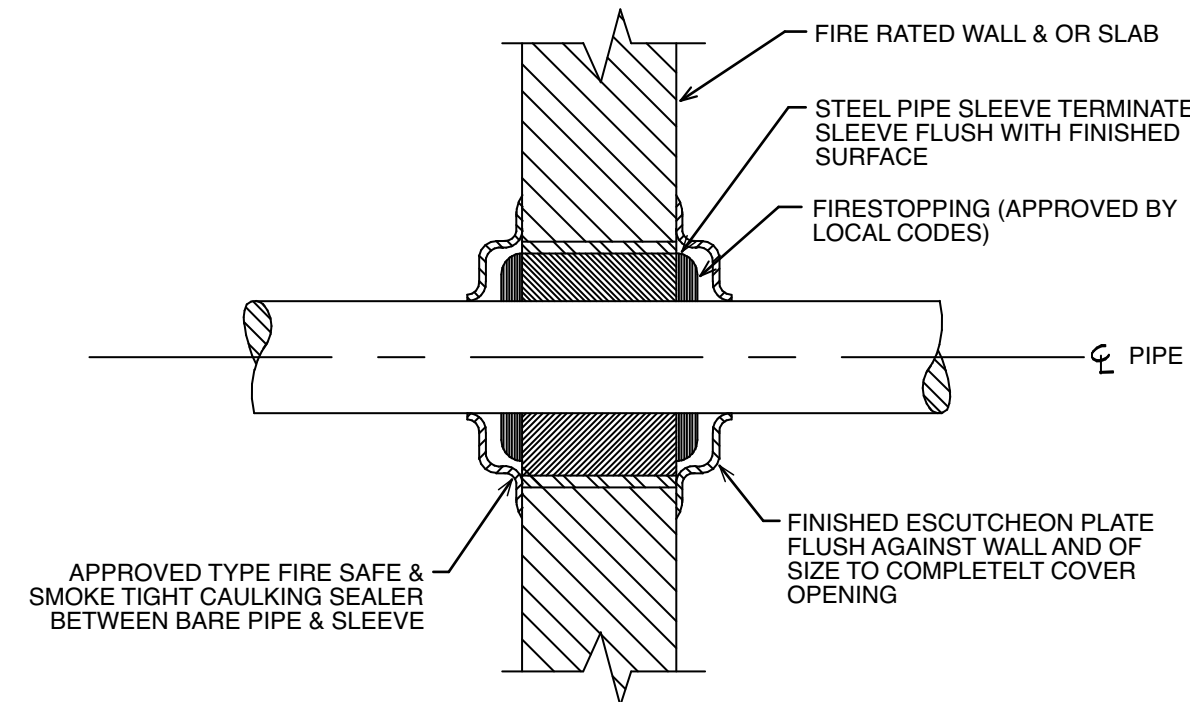
- Sprinkler heads shall be approved type of proper temperature rating for its particular location.
- Provide extra heads for each type with wrench and head cabinet.
- Concealed sprinkler heads with cover plates (color shall be selected by architect) and shall be used in finished areas and where ceilings are suspended.
- Sprinkler heads shall be installed in a "straight" and organized fashion, "Center of Tile" installation is required.

**GENERAL NOTES:**

- All spaces shall be fully protected.
- The Fire Protection Contractor shall submit a head layout to the Architect and Building Owner for review prior to erection of the work.
- The Fire Protection Contractor shall submit calculations, drawings, and shop drawings for review by the Engineer and shall coordinate their work with the other trades.
- The Contractor shall maintain as-built drawings and deliver them to the Owner upon completion of the project.



**1** UPRIGHT SPRINKLER HEAD DETAIL  
NOT TO SCALE



**4** TYPICAL PIPE THROUGH RATED WALL DETAIL  
NOT TO SCALE

**FIRE PROTECTION SYMBOLS**

- = CONCEALED WET SPRINKLER HEAD W/ COVERPLATE
- ✕ = UPRIGHT WET SPRINKLER HEAD
- ◁ = SIDEWALL WET SPRINKLER HEAD IN WALL

**ELECTRICAL COORDINATION**

- IT SHALL BE THE RESPONSIBILITY OF THE FIRE SUPPRESSION CONTRACTOR TO COORDINATE THE LOCATIONS OF SUPPRESSION SYSTEM PIPING WITH THE ELECTRICAL CONTRACTOR. FIRE SUPPRESSION PIPING SHALL NOT BE INSTALLED WITHIN THE DEDICATED EQUIPMENT SPACE REQUIRED FOR EXISTING OR NEW ELECTRICAL EQUIPMENT.
- COORDINATION OF PIPING LOCATIONS SHALL BE SOLELY THE RESPONSIBILITY OF THE FIRE SUPPRESSION CONTRACTOR. APPROVAL OF FIRE SUPPRESSION SUBMITTAL DRAWINGS DOES NOT RELEASE THE CONTRACTOR FROM COORDINATION RESPONSIBILITY. FINAL COORDINATION SHALL OCCUR IN FIELD WITH ELECTRICAL CONTRACTOR. FAILURE TO COMPLY WITH THIS REQUIREMENT MAY RESULT IN RELOCATION OF SUPPRESSION SYSTEM PIPING AT CONTRACTOR'S EXPENSE.
- PER NFPA 70, ARTICLE 110.26(F), DEDICATED EQUIPMENT SPACE SHALL APPLY TO SWITCHBOARDS, DISTRIBUTION PANELS, AND MOTOR CONTROL CENTERS. THE SPACE EQUAL TO THE WIDTH AND DEPTH OF THE EQUIPMENT AND EXTENDING FROM THE FLOOR TO A HEIGHT OF 6' ABOVE THE EQUIPMENT OR TO THE STRUCTURAL CEILING, WHICHEVER IS LOWER, SHALL BE DEDICATED TO THE ELECTRICAL INSTALLATION. NO PIPING, DUCTS, LEAK PROTECTION APPARATUS, OR OTHER EQUIPMENT FOREIGN TO THE ELECTRICAL INSTALLATION SHALL BE LOCATED IN THIS ZONE.

1/7/25		Issued for Bid	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:	PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER 3 SOUTH BLACKHORSE PIKE BLACKWOOD, NEW JERSEY 08012		
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: FIRE PROTECTION SCHEDULES AND DETAILS	
SCALE:	AS NOTED	DATE:	10/16H
DRAWINGS MUST BE VERIFIED BY CONTRACTOR WITH THE ARCHITECT OR AN OCCUPANCY BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.		REV'D:	1/7/25
HOLSTEIN WHITE 3800 Madison Blvd., Suite 103 Newark, NJ 07102 P: (973) 222-7709 F: (973) 222-7709 www.holsteinwhite.com		DRWN BY:	SA
SCOTT A. WHITE N.J. FIRE NO. 2462647700 N.J. AUTH. NO. 2462648143700		CHKD BY:	SW
		<b>FP-2.0</b>	

ABBREVIATIONS	
(EX)	EXISTING
(N)	NEW
[G#]	SEPARATION GROUP DESIGNATION
A	AMPERE, ARCHITECTURAL
AC	ALTERNATING CURRENT
AFF	ABOVE FINISHED FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
AIC	AMPERE INTERRUPTING CAPACITY
ALT	ALTERNATE
AV	AUDIO VISUAL
AVC	AUDIO VISUAL CONTRACTOR
B	BOTTOM
B/T	BETWEEN
C	CONDUIT
CANT	CANTILEVER
CB	CIRCUIT BREAKER
CFMF	COLD FORMED METAL FRAMING
CKT	CIRCUIT
CL, CL	CENTERLINE
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
CTR	CENTER
CU	COPPER
DC	DIRECT CURRENT
DIA	DIAMETER
DS	DISCONNECT SWITCH
DWG	DRAWING
E	ELECTRICAL
EA	EACH
EC	ELECTRICAL CONTRACTOR
EM	EMERGENCY
EMBD	EMBEDMENT
EMT	ELECTRICAL METALLIC TUBING
EQ	EQUAL
ETR	EXISTING TO REMAIN
FMC	FLEXIBLE METAL CONDUIT
FT	FEET
G	GROUND
GC	GENERAL CONTRACTOR
HORIZ	HORIZONTAL
HSS	HOLLOW STRUCTURAL SECTION
ID	INTERIOR DIAMETER
IFR	INHERENTLY FLAME RETARDANT
IG	ISOLATED GROUND
IMC	INTERMEDIATE METAL CONDUIT
IN	INCH
JB	JUNCTION BOX
L	ANGLE
LBS	POUNDS
LTG	LIGHTING
LV	LOW-VOLTAGE (I.E. TELEDATA)
M	MECHANICAL
MAX	MAXIMUM
MEP	MECHANICAL/ELECTRICAL/PLUMBING
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
NC	NOISE CRITERION
NEC	NATIONAL ELECTRICAL CODE
NIC	NOT IN CONTRACT
NO	NUMBER
NRC	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
OPP	OPPOSITE
PH	PHASE
PL	PLATE
QTY	QUANTITY
REF	REFERENCE
REV	REVISION
RMC	RIGID METAL CONDUIT
S	STRUCTURAL
SIM	SIMILAR
SPD	SURGE PROTECTION DEVICE
SPEC	SPECIFICATION(S)
STC	SOUND TRANSMISSION CLASS
T	TOP
T&B	TOP & BOTTOM
TBD	TO BE DETERMINED
THRU	THROUGH
TS	THEATRICAL SYSTEM(S)
TSC	THEATRICAL SYSTEM(S) CONTRACTOR
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
V	VOLT
VERT	VERTICAL
VIF	VERIFY IN FIELD
W	STEEL MEMBER (I.E. W24X32), WATTS, OR WIRE
W/	WITH
XFMR	TRANSFORMER

### SYMBOL LEGEND

**DRAWING TITLE**  
SCALE: 1/4" = 1'-0"  
GRAPHIC SCALE

**SECTION REFERENCE**  
SECTION CULLOUT  
SHEET

**ELEVATION REFERENCE**  
INTERIOR ELEVATION CULLOUT  
SHEET

**DETAIL REFERENCE**  
DETAIL CULLOUT  
SHEET

**KEY NOTE REFERENCE**  
DRAWING REVISION, SEE TITLEBLOCK

**CSI SPECIFICATION SECTION**  
12345

**SPEAKER, IN-CEILING**  
(SEE SCHEDULE)

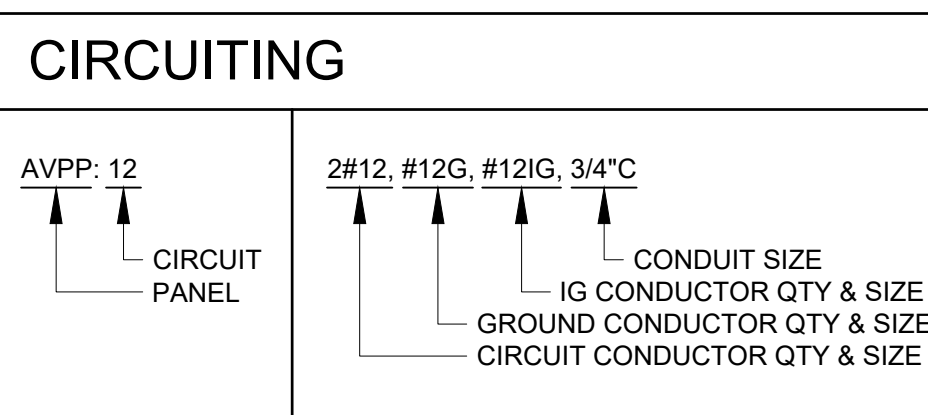
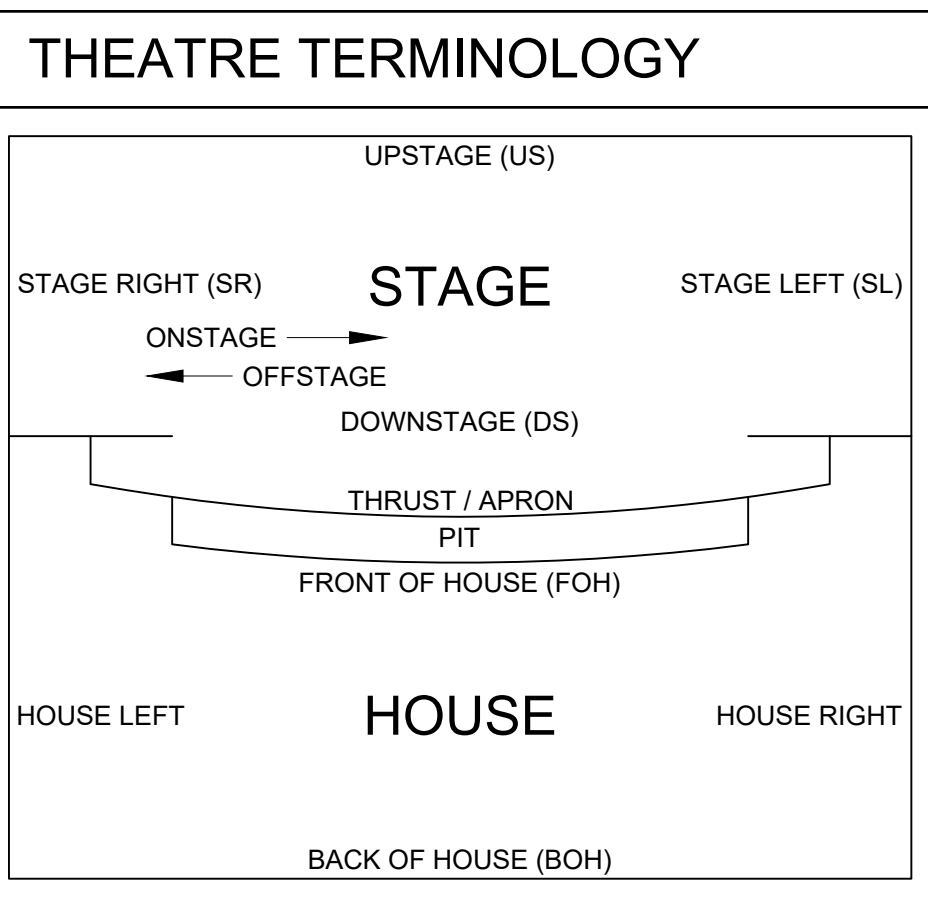
**TV/VIDEO DISPLAY, SIZE AS NOTED**  
90"

**DEVICE, WALL MOUNTED**  
(SEE DEVICE SCHEDULE)

**DEVICE, FLOOR OR CEILING MOUNTED**  
(SEE DEVICE SCHEDULE)

**AVPP: 01** POWER AT DEVICE, PANEL: CIRCUIT

DEVICE SYMBOLS ARE USED TO SPECIFY GENERIC LOCATIONS (I.E. WALL, FLOOR, CEILING), EXCEPT WHERE DIMENSIONS ARE PROVIDED. THE DEVICE MAY BE AN INTERFACE PLATE, JUNCTION BOX, RACK, PANEL, OR EQUIPMENT. SEE DEVICE SCHEDULE FOR ADDITIONAL INFORMATION.



### RECEPTACLES

- NEMA 5-20R DUPLEX RECEPTACLE SPECIFICATION GRADE
- NEMA 5-20R DOUBLE DUPLEX RECEPTACLE SPECIFICATION GRADE
- NEMA 5-20R SIMPLEX RECEPTACLE SPECIFICATION GRADE
- SPECIALTY RECEPTACLE SPECIFICATION GRADE
- QUANTITY NETWORK RECEPTACLE RJ-45, CAT6 TYP.
- SECONDARY IDENTIFIER (E.G. TYPE, IG, GFCI)
- PANEL: CIRCUIT

### SWITCHES

- SINGLE POLE SWITCH, 20A, 120/277V SPECIFICATION GRADE
- 3-WAY SWITCH, 20A, 120/277V (SIMILAR FOR 4-WAY) SPECIFICATION GRADE
- 0-10V DIMMER SWITCH, 120/277V LED COMPATIBLE SPECIFICATION GRADE
- SECONDARY IDENTIFIER (E.G. TYPE, 3, 4, D)
- PANEL: CIRCUIT

### LIGHT FIXTURE

PANEL: CIRCUIT

EMERGENCY FIXTURE  
FIXTURE TYPE SEE SCHEDULE

DMX UNIVERSE/ADDRESS

### MOUNTING HEIGHTS

1. UNLESS NOTED OTHERWISE, TYPICAL MOUNTING HEIGHTS ARE AS FOLLOWS:

DEVICE	HEIGHT:	REFERENCE:
POWER RECEPTACLE	18" AFF	CENTER
DATA RECEPTACLE	18" AFF	CENTER
LIGHT SWITCH/KEYPAD	48" AFF	TOP
TOUCH PANEL	48" AFF	TOP
INTERCOM STATION	48" AFF	TOP
PANELBOARD	78" AFF	TOP

### UNISTRUT

- ALL STRUT CHANNEL, FITTINGS, AND RELATED HARDWARE ARE SPECIFIED WITH UNISTRUT BRAND PART NUMBERS AND OPTIONS.
- OTHER MANUFACTURERS MAY BE PERMITTED, ONLY AFTER APPROVAL, PROVIDED THAT THE GAUGE, MATERIAL, FINISH, LOADING CAPACITY, WORKING LOAD LIMITS, LENGTHS, AND TRACEABILITY ARE EQUAL TO UNISTRUT.
- ALL STRUT CHANNEL SHALL BE 1-5/8" WIDE, 12 GAUGE, AND PREGALVANIZED, UNO.
- ALL STRUT FITTINGS SHALL BE ZINC PLATED, UNO.
- ALL CALCULATIONS MUST FACTOR THE FOLLOWING:
  - APPLICABLE PIERCED HOLE FACTOR
  - UNBRACED LENGTH FACTOR
  - CHANNEL SELF WEIGHT
  - MIDSPAN LOADING REDUCTION
- CANTILEVERED LOADS ARE PROHIBITED!

### CABLE PULL SYMBOLOLOGY

DEVICE REFERENCE (SEE SCHEDULE)  
UNIQUE IDENTIFIER  
CABLE QUANTITY  
CABLE TYPE (SEE LEGEND)  
CONDUIT SIZE, IF APPLICABLE  
DESTINATION DEVICE  
XYZ-N

FOR CONTRACTOR'S PLAN/RCP SHOP DRAWINGS

### CABLE PREP. & LABELING

MACHINE PRINTED LABEL, SEE DETAIL  
6" TYP. (1" MIN. - 12" MAX.)  
1" BLACK HEAT SHRINK  
WHITE (OR CLEAR) HEAT SHRINK ON SHIELD  
WIRE NUMBER

PANDUIT S100X225YAJ 1" W X 2.25" H SELF LAMINATING LABEL

### PLATE SYMBOL KEY

CONNECTOR TYPE  
CONNECTOR LABEL  
CONNECTOR GENDER

PLATE NAME  
PLATE MOUNTED CONNECTOR  
FEED THRU CONNECTOR  
CABLE

[TYPE]-[NUMBER]-[GROUP]  
[DEVICE ID] [CONNECTOR REF.]  
[TYPE]-[NUMBER]-[GROUP]  
[DEVICE ID] [CONNECTOR REF.]

\*SEE CABLE LEGEND FOR INSTALL CABLE TYPES (LETTER & NUMBER)  
\*\*PREMADE CABLES TO HAVE LETTER PREFIXES ONLY. (E.G. HDMI = V-, CAT6 PATCH CABLE = N-)

### STANDARDS

- AVIXA F501.01:2015 CABLE LABELING FOR AUDIOVISUAL SYSTEMS
- AVIXA F502.01:2018 RACK BUILDING FOR AUDIOVISUAL SYSTEMS
- ANSI F502.02:201X RACK DESIGN FOR AV SYSTEMS
- ANSI 10:2013 AUDIOVISUAL SYSTEMS PERFORMANCE VERIFICATION
- ANSI A102.01:2017 AUDIO COVERAGE UNIFORMITY
- ANSI E1.4-2 - 2021 ENTERTAINMENT TECHNOLOGY - STATICALLY SUSPENDED RIGGING SYSTEMS
- ANSI E1.8 - 2018 (R2023) ENTERTAINMENT TECHNOLOGY - LOUDSPEAKER ENCLOSURES INTENDED FOR OVERHEAD SUSPENSION - CLASSIFICATION, MANUFACTURE AND STRUCTURAL TESTING
- ANSI E1.11 - 2008 (R2018) ENTERTAINMENT TECHNOLOGY - USITT DMX512-A, ASYNCHRONOUS SERIAL DIGITAL DATA TRANSMISSION STANDARD FOR CONTROLLING LIGHTING EQUIPMENT AND ACCESSORIES
- ANSI E1.20 - 2010 ENTERTAINMENT TECHNOLOGY - RDM REMOTE DEVICE MANAGEMENT OVER USITT DMX512 NETWORKS
- ANSI E1.27-1 - 2006 (R2021) ENTERTAINMENT TECHNOLOGY - STANDARD FOR PORTABLE CONTROL CABLES FOR USE WITH ANSI E1.11 (DMX512-A) AND USITT DMX512/1990 PRODUCTS
- ANSI E1.31 - 2018 ENTERTAINMENT TECHNOLOGY - LIGHTWEIGHT STREAMING PROTOCOL FOR TRANSPORT OF DMX512 USING ACN
- ANSI E1.33 - 2019 ENTERTAINMENT TECHNOLOGY - (RDMnet) - MESSAGE TRANSPORT AND DEVICE MANAGEMENT OF ANSI E1.20 (RDM) COMPATIBLE AND SIMILAR DEVICES OVER IP NETWORKS
- ANSI E1.47 - 2020 ENTERTAINMENT TECHNOLOGY - RECOMMENDED GUIDELINES FOR ENTERTAINMENT RIGGING SYSTEM INSPECTIONS
- ANSI E1.53 - 2019 OVERHEAD MOUNTING OF LUMINARIES, LIGHTING ACCESSORIES, AND OTHER PORTABLE DEVICES: SPECIFICATION AND PRACTICE

### FUNCTIONAL SYMBOLOLOGY

#### CABLING

ELECTRICAL CONNECTION  
ELECTRICAL CONNECTION  
NO CONNECTION (CABLE BUNDLE)  
TERMINAL BLOCK

#### PORTABLE CABLING

RJ45 M (N1) RJ45 M

#### CONNECTIONS

ON PAGE CONNECTION FLAG  
OFF PAGE CONNECTION FLAG

#### CABLE LABELING

N1-001-G3 NET-1-1 CABLE LABEL (RIGHT)  
S12-001-G1 AMP1 CH1 CABLE LABEL (LEFT)

[TYPE]-[NUMBER]-[GROUP]  
[DEVICE ID] [CONNECTOR REF.]

\*SEE CABLE LEGEND FOR INSTALL CABLE TYPES (LETTER & NUMBER)  
\*\*PREMADE CABLES TO HAVE LETTER PREFIXES ONLY. (E.G. HDMI = V-, CAT6 PATCH CABLE = N-)

FOR CONTRACTOR'S SHOP DRAWINGS

### DEVICE SYMBOL KEY

MAKE MODEL  
MAKE & MODEL GENERAL DEVICE DESCRIPTION  
CONNECTOR LABEL  
CONNECTOR TYPE  
CONNECTOR GENDER  
DEVICE ID

### CONNECTOR TYPE KEY

SEE PLATE DRAWING(S) FOR MAKE/MODEL OF PLATE CONNECTORS.

1/4" = 1/4" PHONE JACK (FEMALE) (E.G. TR, TRS, TRSS)  
1/8" = 1/8" / 3.5MM PHONE JACK (FEMALE) (E.G. TR, TRS, TRSS)  
BNC = BAYONET NEILL-CONCELMAN, 50/75Ω  
DB9 = 9-PIN D-SUB SERIAL, MALE/FEMALE (I.E. DE-9)  
DVI = DIGITAL VISUAL INTERFACE, MALE/FEMALE (E.G. A.D.I.)  
DP = DISPLAYPORT, FEMALE  
HDMI = HIGH-DEF. MULTIMEDIA INTERFACE, FEMALE (E.G. A,B,C,D)  
NL\* = SPEAKER, FEMALE, \* = 2, 4, 8  
PH\* = PHOENIX (SCREW TERMINAL (ST), TERMINAL BLOCK (TB))  
RCA = RCA (LEFT = WHITE, RIGHT = RED, VIDEO = YELLOW)  
RJ45 = 8 POSITION 8 CONTACT (8P8C), MODULAR, FEMALE  
SFP = SMALL FORM-FACTOR PLUGGABLE, 1GB SFP+ = 10GB, SFP28 = 25GB, QSFP28 = 100GB  
USB = UNIVERSAL SERIAL BUS, FEMALE (E.G. A,B,C)  
VGA = VIDEO GRAPHICS ARRAY, MALE/FEMALE  
XLR\* = XLR, MALE/FEMALE

\* INDICATES QTY OF CONTACTS

### LOW-VOLTAGE RACEWAYS

- ALL RACEWAYS SHALL BE METALLIC, CONTINUOUS, EMT (UNO), LABELED, CONTAIN A PULL STRING, AND ALL ENDS/FITTINGS TO HAVE PLASTIC BUSHINGS.
- RACEWAYS IN SLAB, BELOW SLAB, OR ON-GRADE SHALL BE IMC.
- PROVIDE PULL BOXES EVERY 270 DEGREES OF BENDS AND AFTER EVERY 100 LINEAR FEET.
- NO RACEWAY TO BE FILLED GREATER THAN 40%.
- ALL RACEWAYS TO HAVE A PULL STRING INSTALLED AFTER PULLING ALL CABLING.
- CLOSE PROXIMITY CROSSING OF RACEWAYS MUST BE PERPENDICULARLY AT 90°.
- RACEWAYS SHALL COMPLY WITH THE DISTANCE SEPARATION REQUIREMENTS, PER GROUP TYPE, BELOW.

[G#] = GROUP DESIGNATION

GROUP 4 MIC/LINE 0.001-1V  
GROUP 5 POWER ≤120V  
GROUP 1 SPEAKER 4-70V  
GROUP 2 INTERCOM 18-33VDC  
GROUP 3 DATA/AUT/VIDEO/NETWORK

DISTANCE OF SEPARATION REQUIRED BETWEEN GROUPS

PROVIDE ADDITIONAL SEPARATION AS FOLLOWS:  
A. 120V<x<480V: 24" D. BALLASTS: 24"  
B. ≥480V: 36" E. ≥15kVA TRANSFORMERS: 96"  
C. DIMMED POWER: 24" F. POWER IN PVC CONDUIT: +12"

MAINTAIN SEPARATION WHEREVER PHYSICALLY POSSIBLE. SEE DETAILS FOR TYPICAL INSTALLATION METHODS. IN THE EVENT WHICH SEPARATION CAN NOT BE ACHIEVED, CONTACT CONSULTANT FOR REVIEW OF FIELD CONDITIONS.

### BACK BOXES

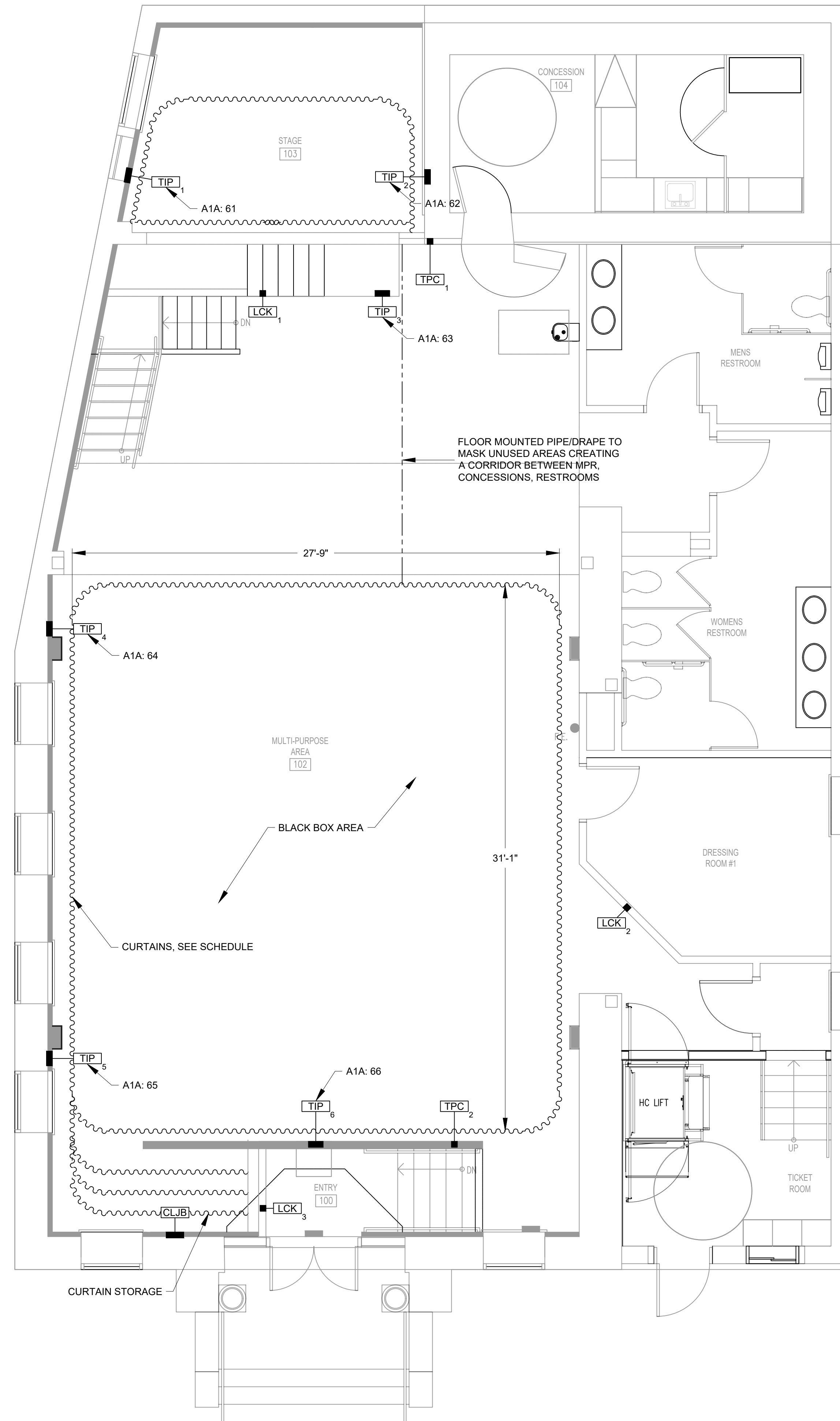
- 4-11/16" BOXES, 3-1/4" DEEP, KNOCKOUTS
  - RACO 260 (66.7 CU. IN.)
  - RACO 263 (113.3 CU. IN.)
  - LOW VOLTAGE PARTITION, RACO 981
  - 4-11/16" MUD RINGS & COVER PLATES (AS NEEDED)
- LARGE SCREW COVER BOXES, PAINTED, NO KNOCKOUTS
  - 6"x6"x4", HOFFMAN ASE6X6X4NK
  - 12"x12"x4", HOFFMAN ASE12X12X4NK
  - 12"x6"x4", HOFFMAN ASE12X6X4NK
  - 4"x4"x24", HOFFMAN A4424T1T

26 55 61

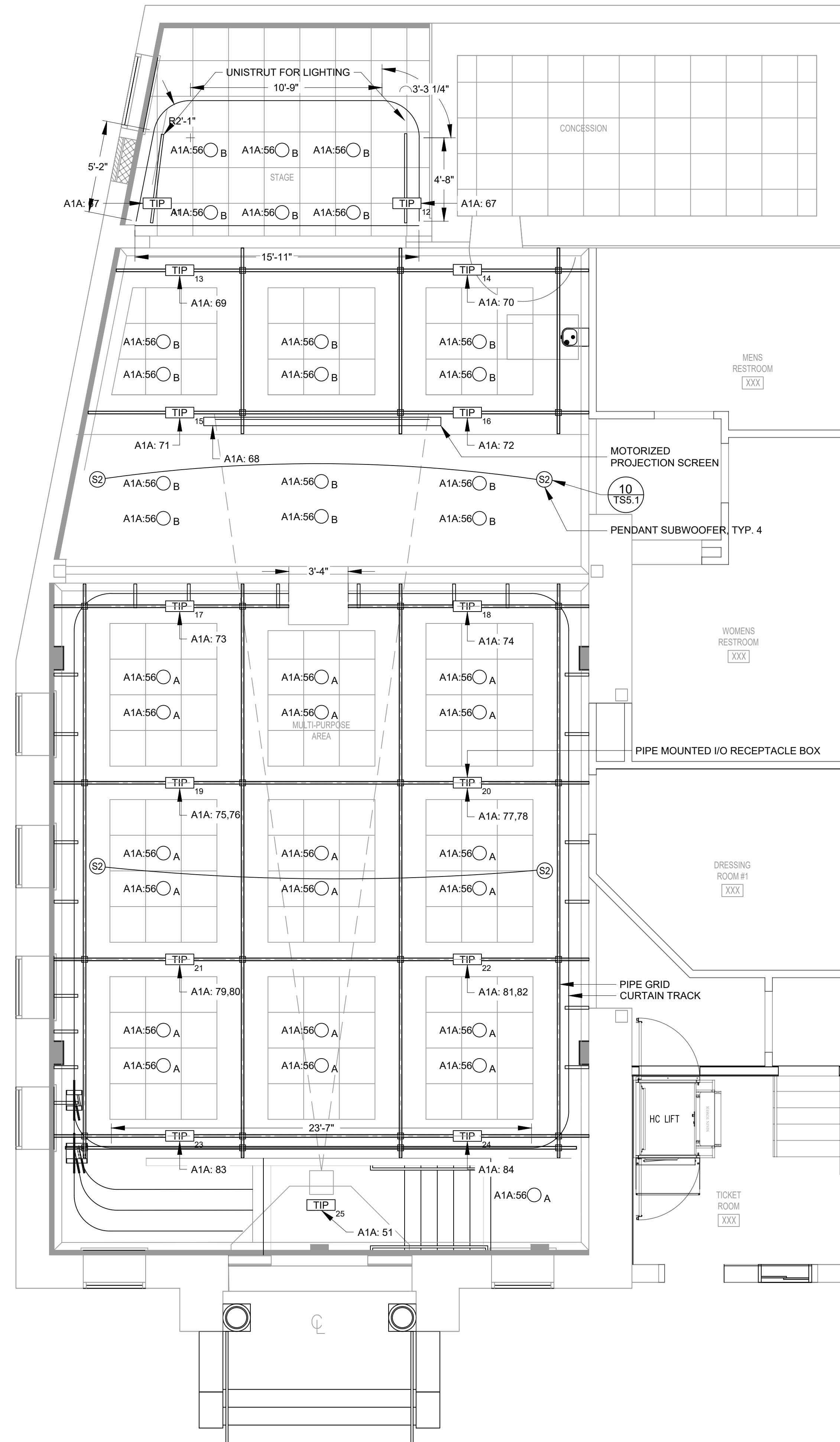
1406 Longfellow Drive, Cherry Hill, NJ 08003  
O +1 (856) 512 6400 | E usa@hewshott.com | hewshott.com

1/7/25	ISSUED FOR BID	
No.	DATE	DESCRIPTION
		REVISIONS
APPROVAL:	PROJECT:	
INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: COVER SHEET
JOSEPH F. MCKERNAN JR., R.A. <small>PA ARCH 01-1984 PA ARCH 04-0142-1, CT ARCH 7224</small>	SCALE: AS NOTED PROJNO: 106H DATE: 1/7/25 REVD: 6ES DRAWN BY: 6ES CHECKED BY: MC/6ES	DRAWING NO: <b>TS0.0</b>

PLOT DATE & TIME:  
FILE PATH:



**A FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

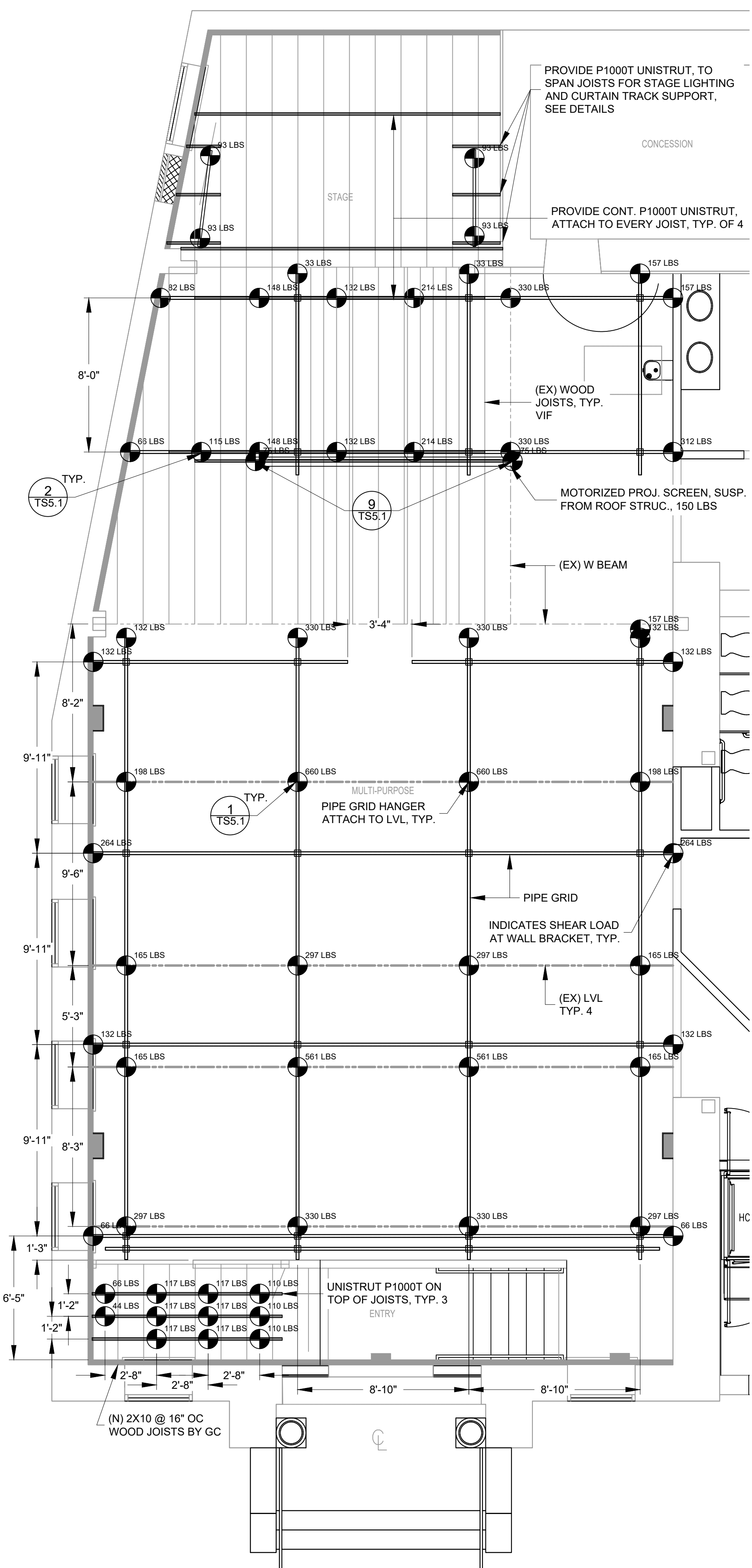


**B REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

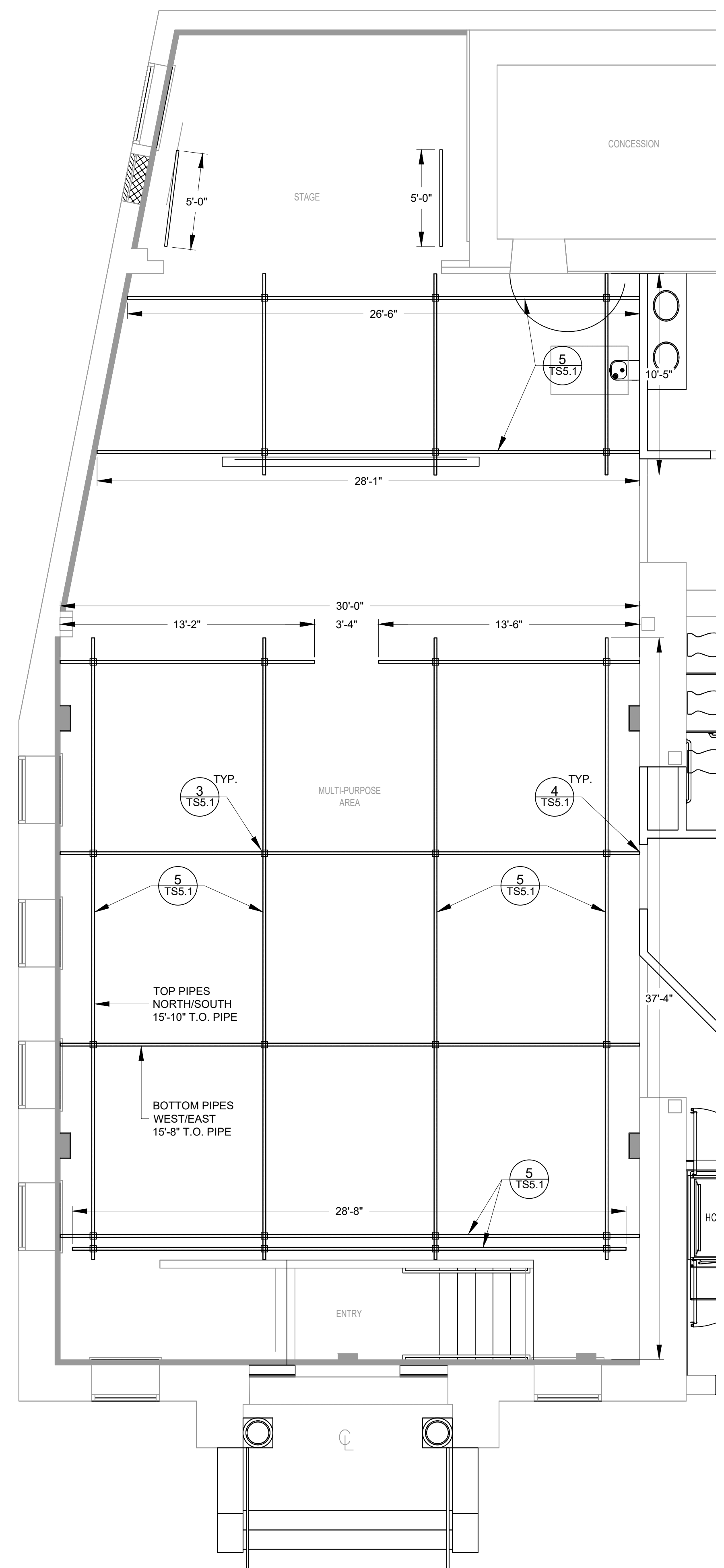
**hewshott**  
SIGHT + SOUND + EXPERIENCES  
1406 Longfellow Drive, Cherry Hill, NJ 08003  
O +1 (856) 512 6400 | E usa@hewshott.com | hewshott.com

1/7/25		ISSUED FOR BID	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:	PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
	Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: 1ST FLOOR PLAN & RCP
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH # 10984 - PA ARCH #A-01421-1 - CT ARCH 7224	SEAL:	CONTRACTOR MUST BE VERIFIED BY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.	SCALE: AS NOTED PROJECT NO: 1016H DATE: 1/7/25 REV'D BY: JES DRAWN BY: JES CHECKED BY: MC/JES
DRAWING NO: TS1.1			DATE: 1/7/25

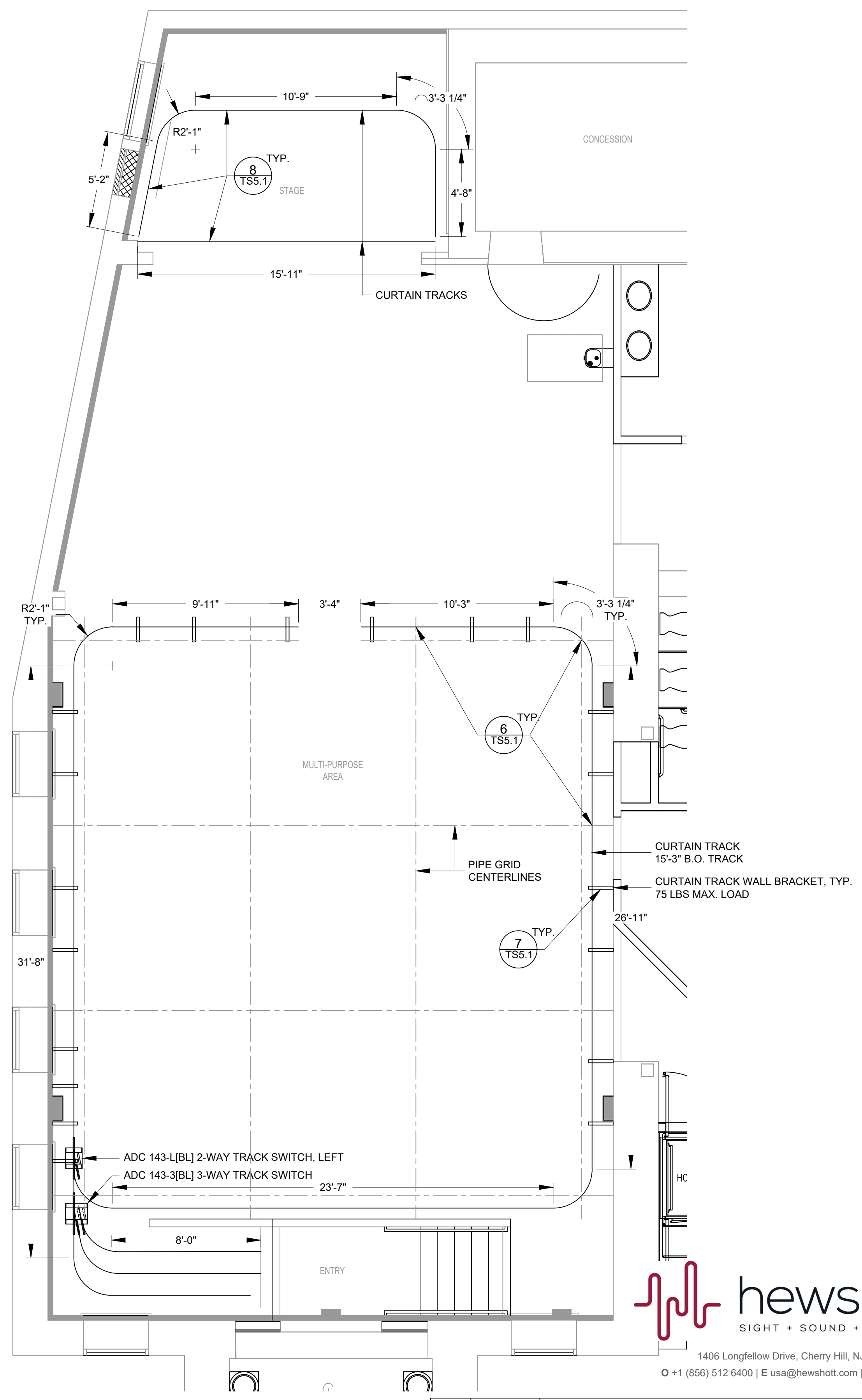
PLOT DATE & TIME:  
FILE PATH:



**A RIGGING RCP LOADS**  
SCALE: 1/4" = 1'-0"



**B PIPE GRID RCP**  
SCALE: 1/4" = 1'-0"

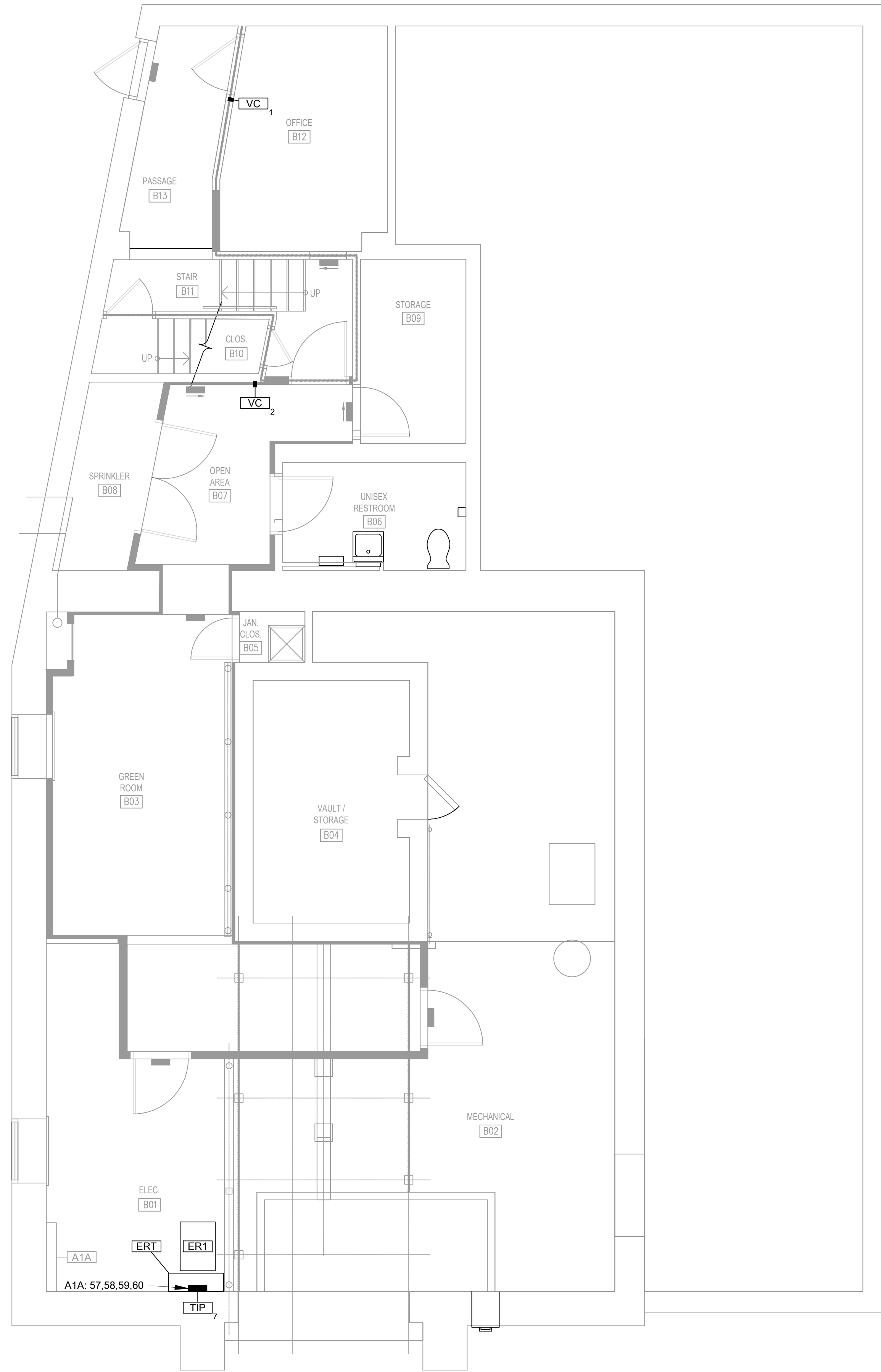


**C CURTAIN TRACK RCP**  
SCALE: 1/4" = 1'-0"

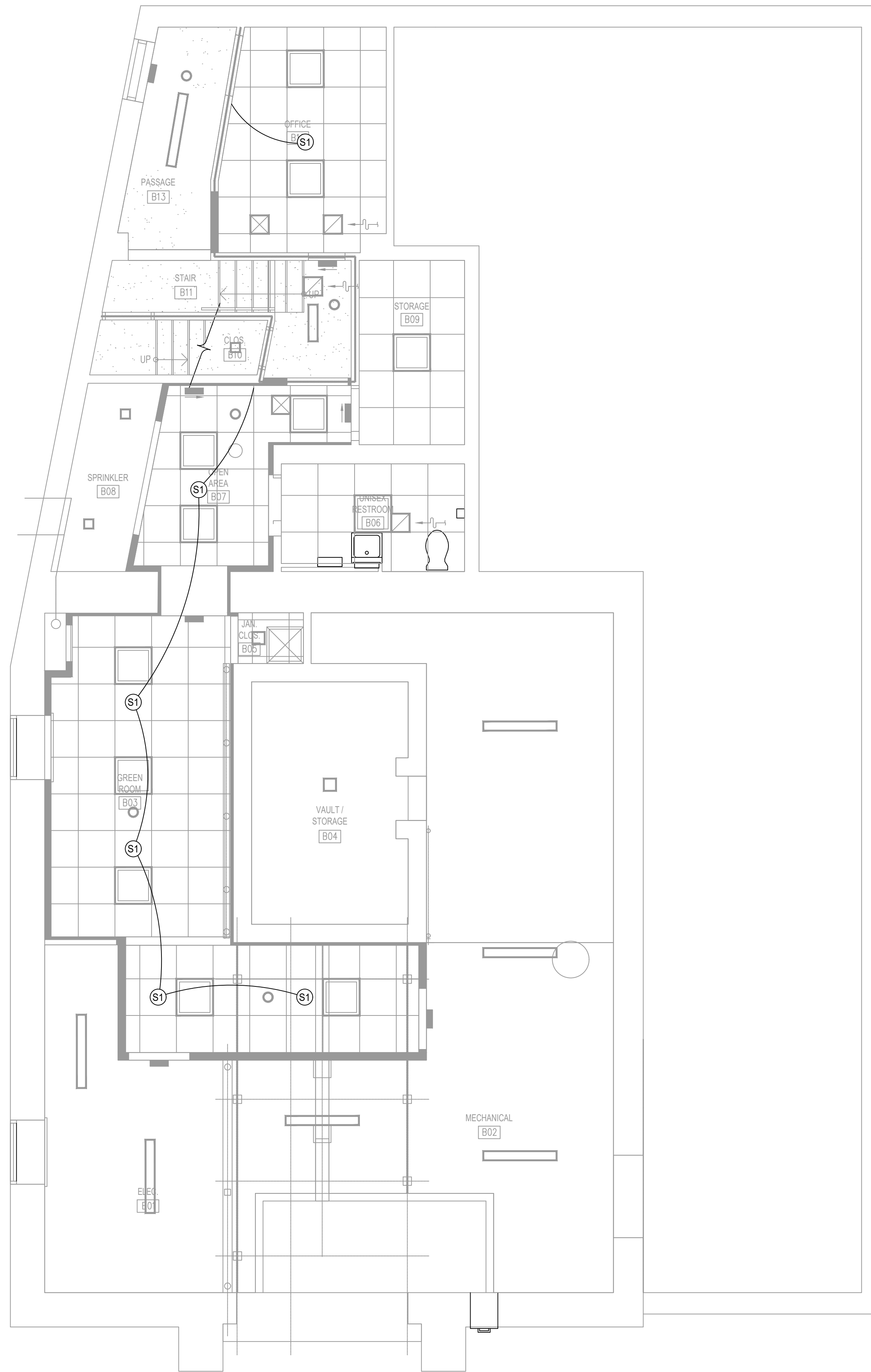


1/7/25		ISSUED FOR BID	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:	PROJECT:		
INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012			
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: <b>1ST FLOOR RIGGING RCP</b>	
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH # 10984 PA ARCH # 014923-1, CT ARCH 7024		SCALE: AS NOTED	DRAWING NO: <b>TS1.2</b>
CONTRACTOR MUST BE VERIFIED BY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.		PROJECT NO: 1016H	DATE: 1/7/25
DESIGNED: MCKERNAN & ASSOCIATES		REV'D BY: ES	DRAWN BY: MC/ES
COPYRIGHT 2025		CHG'D BY:	

PLOT DATE & TIME:  
FILE PATH:



**A BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**B BASEMENT REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

PLOT DATE & TIME:  
FILE PATH:

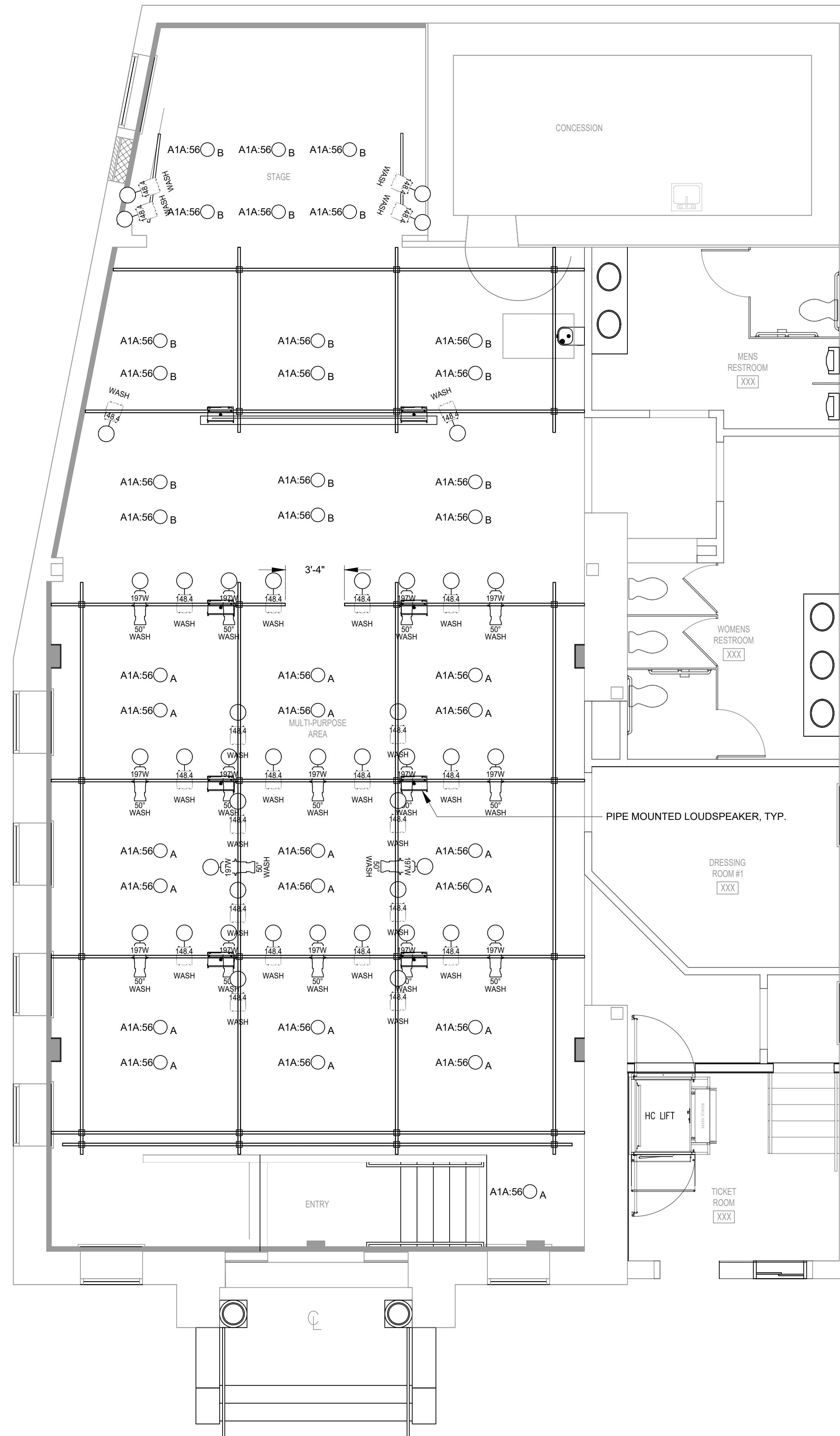
26 55 61

**hewshott**  
SIGHT + SOUND + EXPERIENCES  
1406 Longfellow Drive, Cherry Hill, NJ 08003  
O +1 (856) 512 6400 | E usa@hewshott.com | hewshott.com

No.	DATE	DESCRIPTION	REV'D BY
	1/7/25	ISSUED FOR BD	
REVISIONS			
APPROVAL:		PROJECT:	
		<b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
<b>Joseph F. McKernan Jr., Architects &amp; Associates</b> 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		<b>TITLE: BASEMENT FLOOR PLAN &amp; RCP</b>	
<small>JOSEPH F. MCKERNAN JR., R.A. NJ ARCH # 10984 - PA ARCH #A-014021-1 - CT ARCH 7234</small>		<small>CONTRACTOR MUST BE ADVISED BY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.</small>	
<small>SCALE: AS NOTED</small> <small>PROJNO: 1016H</small> <small>DATE: 1/7/25</small> <small>REV'D: ES</small> <small>DRAWN BY: MC/ES</small> <small>CHECKED BY: MC/ES</small>		<b>TS1.3</b>	

PLOT DATE & TIME:  
FILE PATH:

THEATRICAL FIXTURE SCHEDULE		
LEGEND	FIXTURE	NOTES
	ETC COLORSOURCE SPOT V, DEGREE AS NOTED	ADJUST SHUTTERS AS REQUIRED TO CONTROL LIGHT. DO NOT LEAVE FULLY SHUT
	ETC COLORSOURCE FRESNEL V	
ADDRESS 	ADDRESS 	
CIRCUIT 	CIRCUIT 	
WATTAGE 	WATTAGE 	
UNIT 	UNIT 	
LENS 	LENS 	
FOCUS 	FOCUS 	
<b>INSTALLATION NOTES:</b> 1. REMOVE ALL FIXTURES AND ACCESSORIES FROM PACKAGING 2. USE MINIMUM REQUIRED LENGTH OF POWER/DATA CABLE TO REACH DESIGNATED POWER/DATA RECEPTACLE. TIE UP ALL CABLE TO GRID WITH 1/8" TIELINE OR HOOK & LOOP 3. ALLOW ENOUGH CABLE SLACK TO FULLY FOCUS FIXTURE IN ANY DIRECTION 4. INSTALL ALL LENSES AS PER PLOT 5. FOCUS ALL FIXTURES AS PER PLOT 6. ADDRESS EACH FIXTURE SEPARATELY AS PER PLOT 7. ASSEMBLE, SETUP, AND PATCH LIGHTING CONTROLLER		



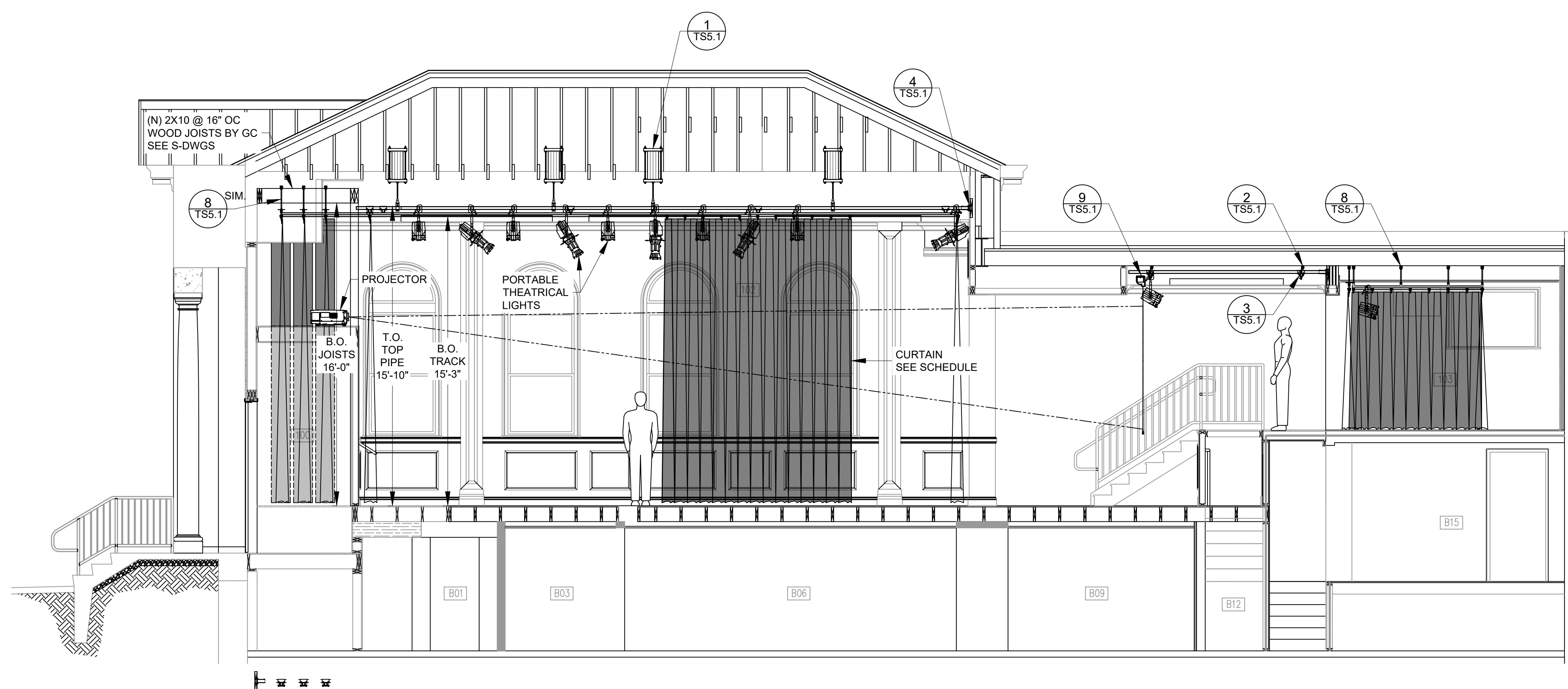
**A LIGHT PLOT**  
SCALE: 1/4" = 1'-0"

26 55 61

**hewshott**  
SIGHT + SOUND + EXPERIENCES  
1406 Longfellow Drive, Cherry Hill, NJ 08003  
O +1 (856) 512 6400 | E usa@hewshott.com | hewshott.com

1/7/25		ISSUED FOR BID	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:	PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
	Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: LIGHT PLOT
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH # 10864 - PA ARCH #A-014421-1, CT ARCH 7234	SEAL:	CONTRACTOR MUST BE VERIFIED BY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.	SCALE: AS NOTED PROJNO: 1016H DATE: 1/7/25 REV'D: 003 DRAWN BY: MCS CHECKED BY: MCS/SES
DRAWING NO: TS1.4		DRAWN BY: MCS/SES	






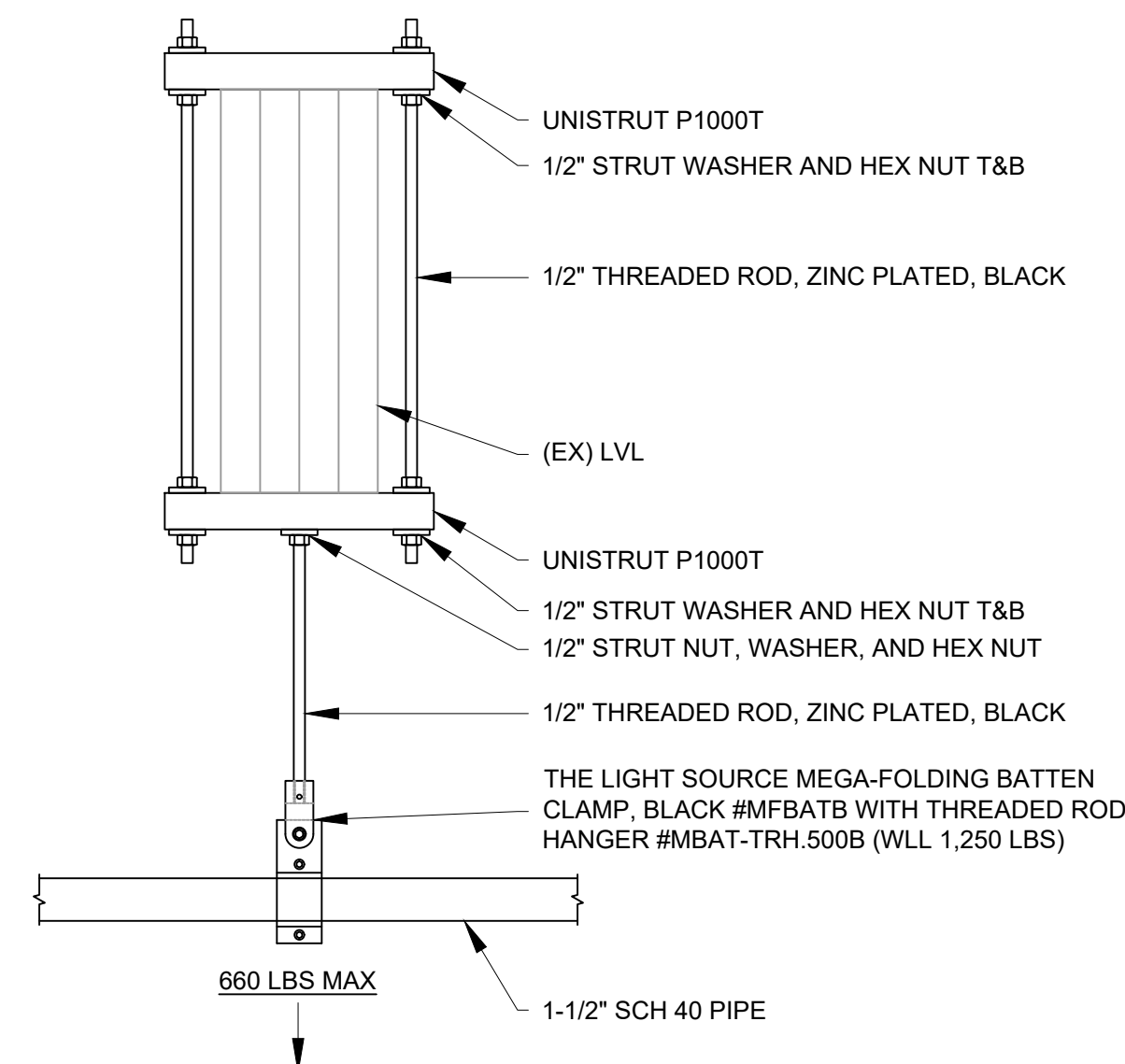
**A SECTION**  
 SCALE: 1/4" = 1'-0"  
 0' 2' 4' 6'  
 0' 1/2' 1' 2'

PLOT DATE & TIME:  
 FILE PATH:

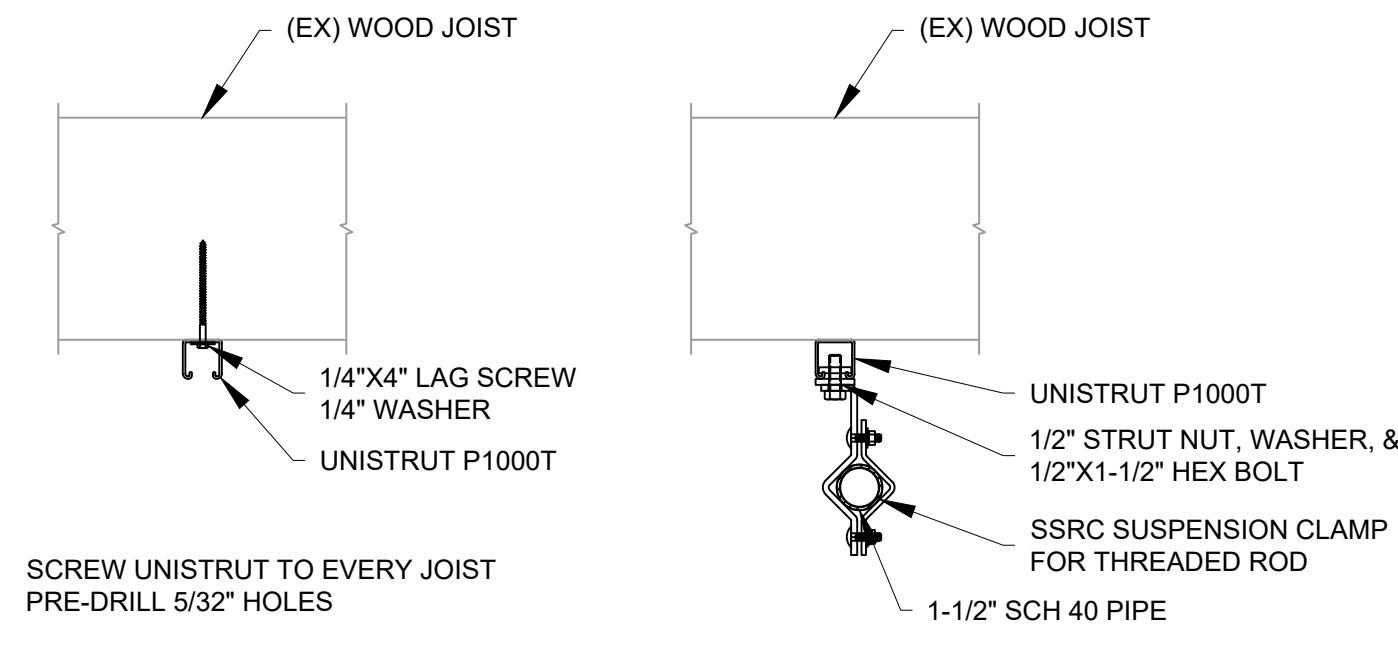
26 55 61

**hewshott**  
 SIGHT + SOUND + EXPERIENCES  
 1406 Longfellow Drive, Cherry Hill, NJ 08003  
 O +1 (856) 512 6400 | E usa@hewshott.com | hewshott.com

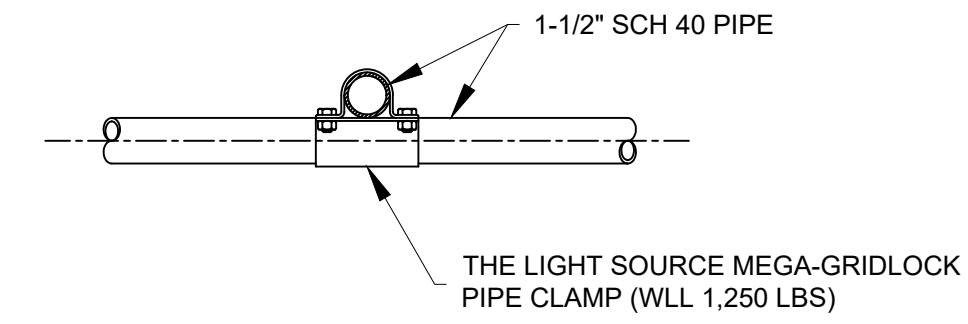
1/7/25		ISSUED FOR BD	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:	PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
	Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: SECTIONS 1
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH # 10984 - PA ARCH #A-014421-1 - CT ARCH 7224	SEAL:	CONTRACTOR MUST BE ADVISED BY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. VERIFY ALL NOT SCALE DRAWING.	SCALE: AS NOTED PROJECT NO: 1016H DATE: 1/7/25
		DRAWING NO: TS3.1	DRAWN BY: ES CHECKED BY: MC/ES



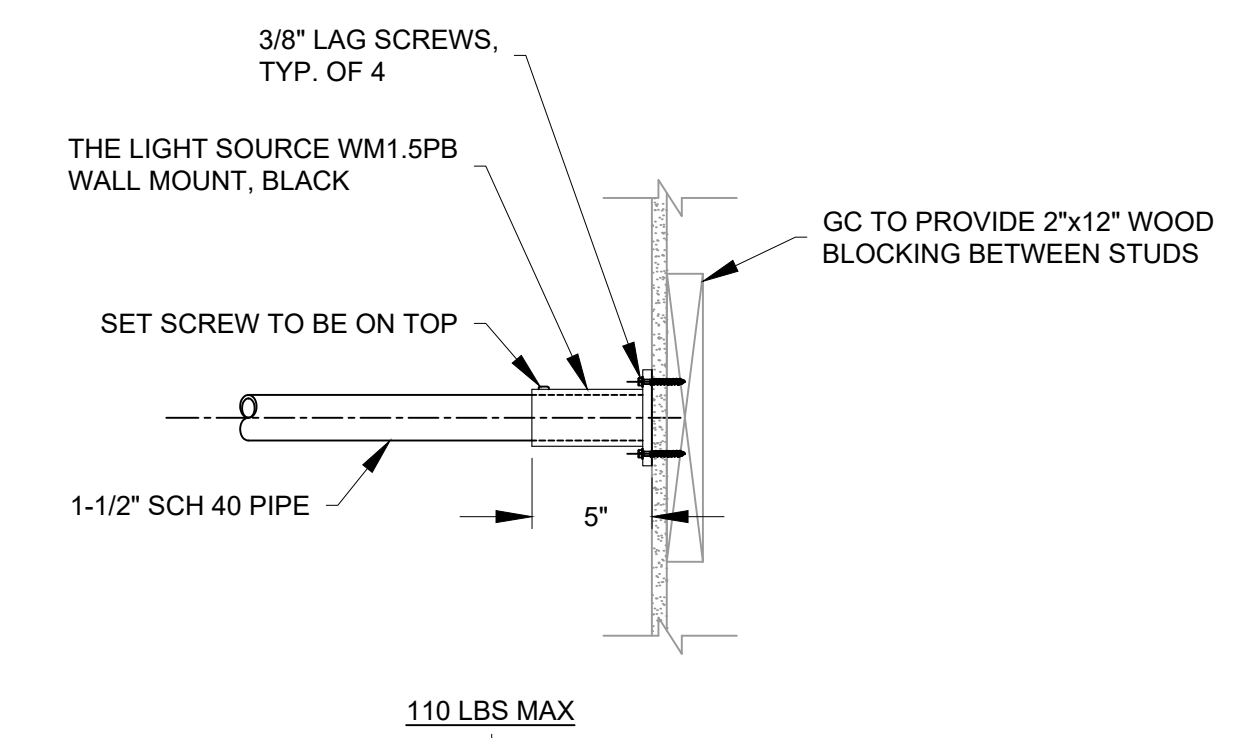
**1 PIPE GRID TO LVL**  
SCALE 1 1/2" = 1'-0"



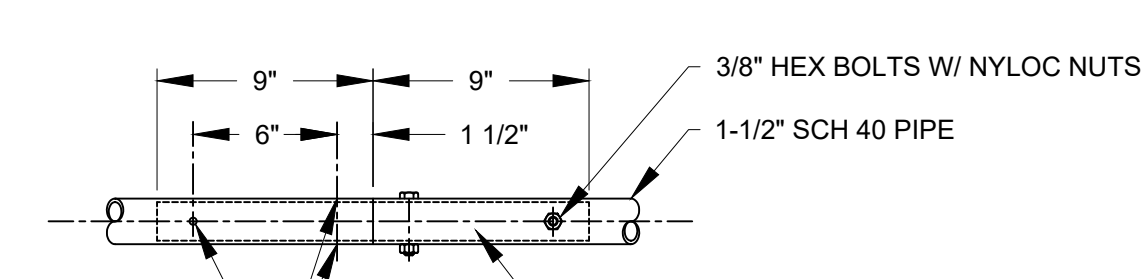
**2 PIPE GRID TO UNISTRUT**  
SCALE 1 1/2" = 1'-0"



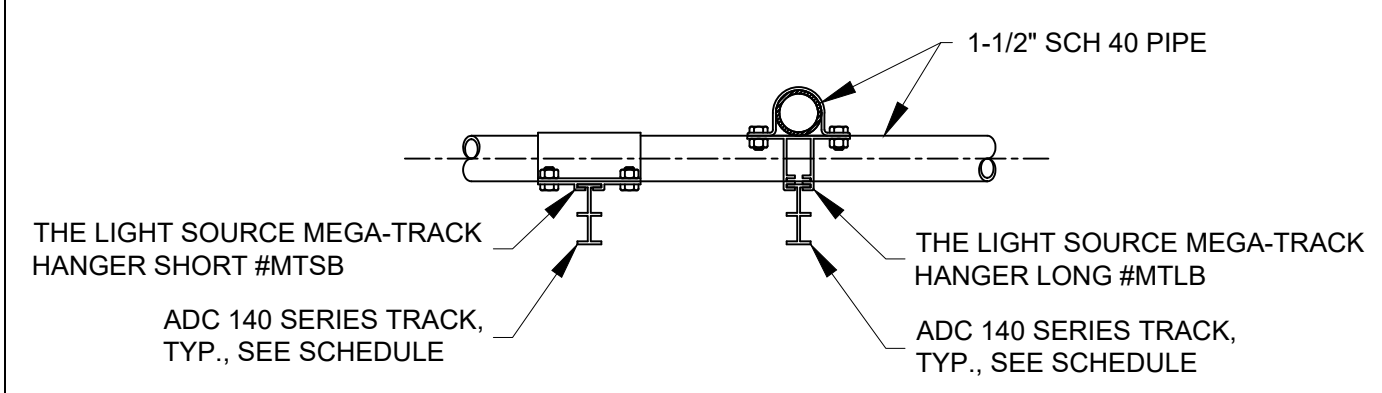
**3 PIPE GRID CLAMP**  
SCALE 1 1/2" = 1'-0"



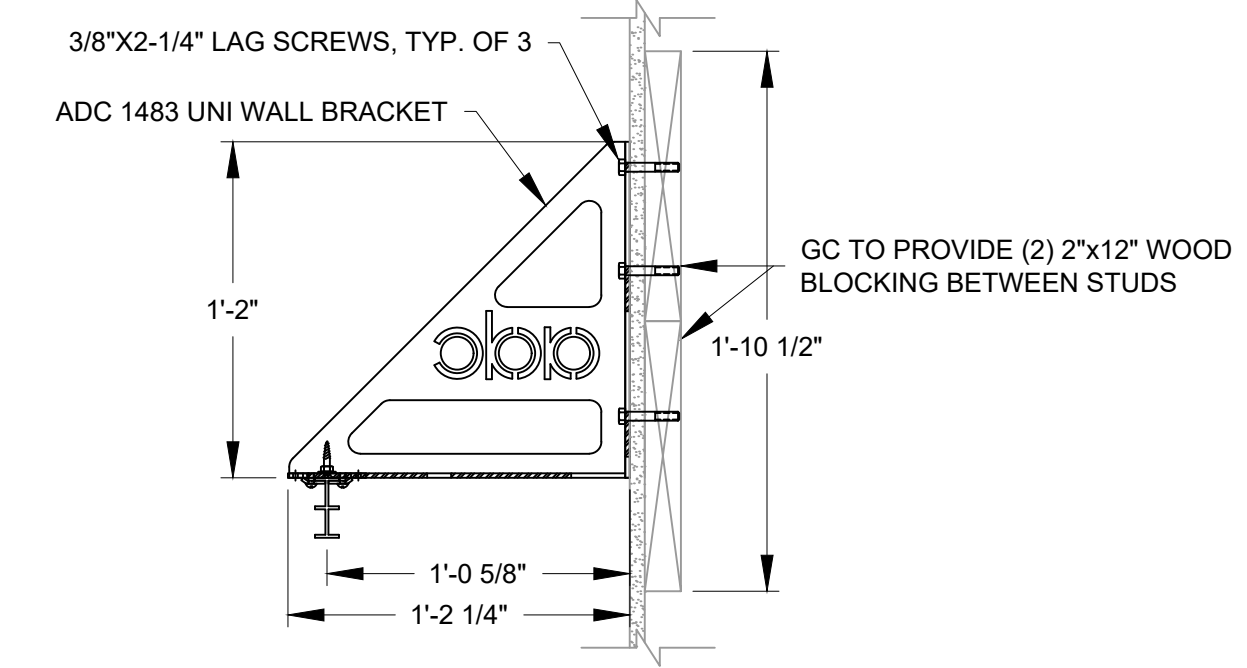
**4 PIPE TO WALL**  
SCALE 1 1/2" = 1'-0"



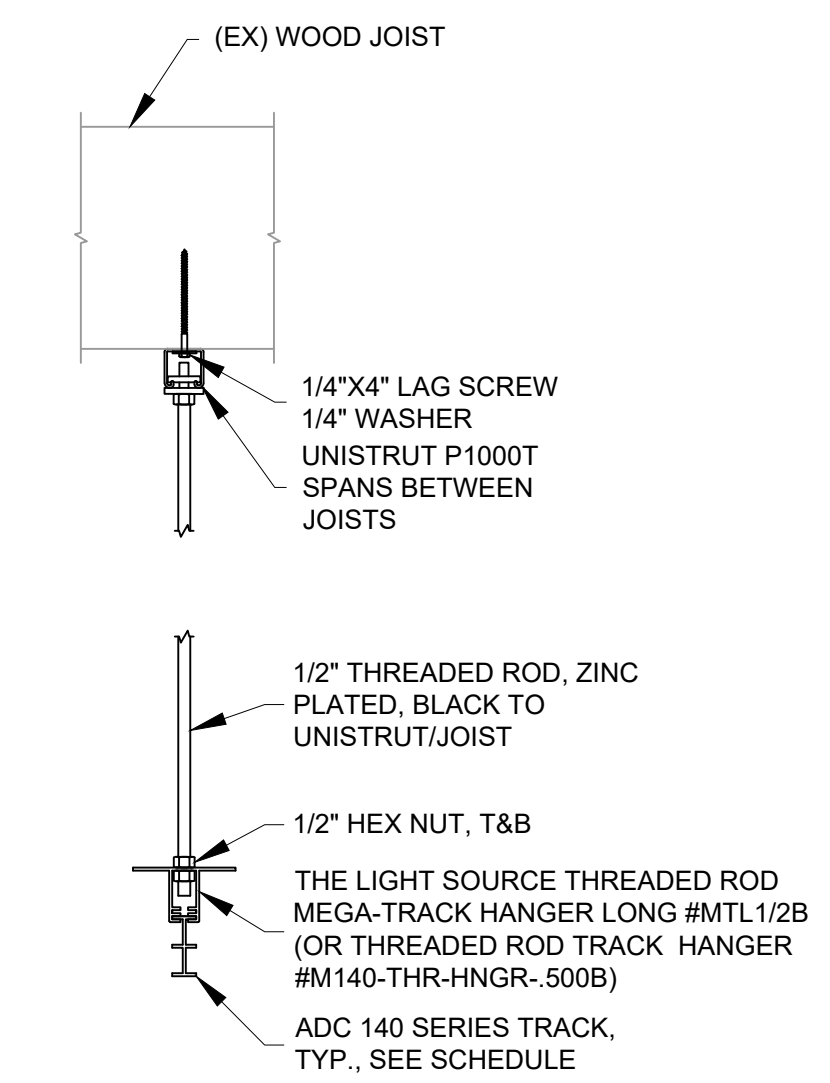
**5 1-1/2\"/>**



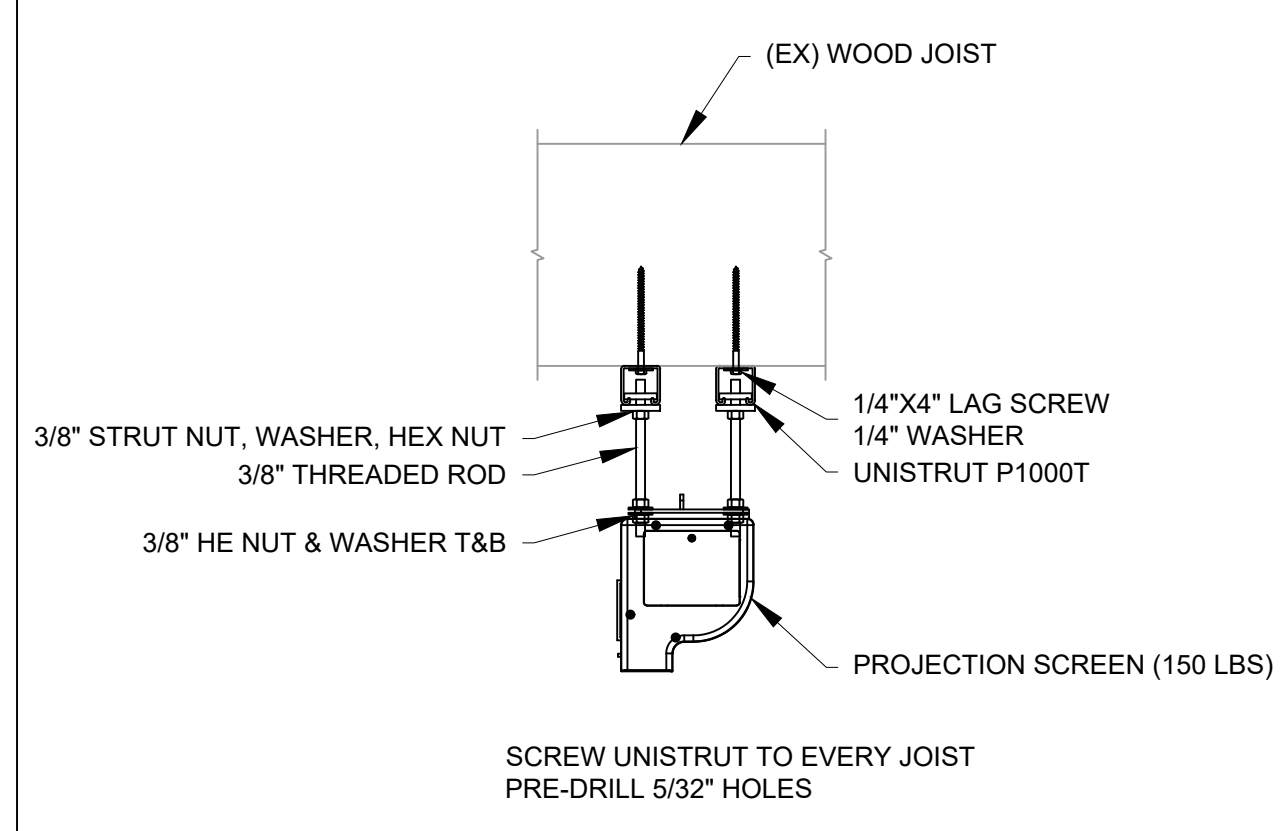
**6 TRACK TO PIPE GRID**  
SCALE 1 1/2" = 1'-0"



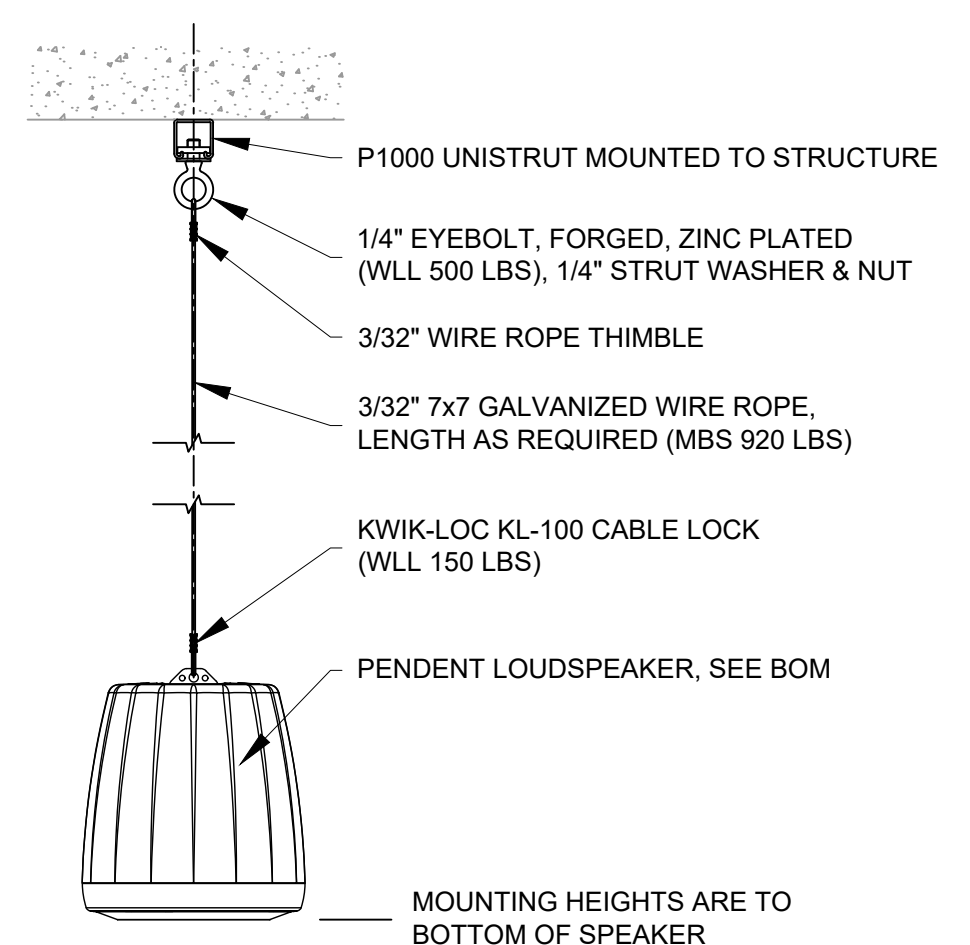
**7 TRACK TO WALL**  
SCALE 1 1/2" = 1'-0"



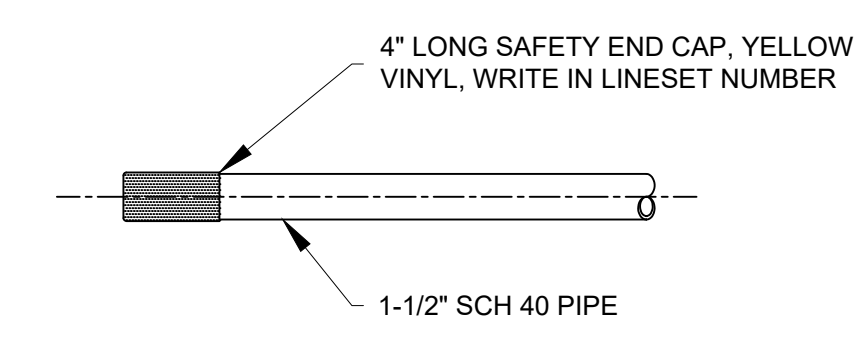
**8 TRACK TO JOIST/UNISTRUT**  
SCALE 1 1/2" = 1'-0"



**9 PROJECTION SCREEN TO UNISTRUT**  
SCALE 1 1/2" = 1'-0"



**10 PENDENT SPEAKER**  
SCALE: 1 1/2" = 1'-0"



**12 BATTEN LABELING**  
SCALE: 1 1/2" = 1'-0"

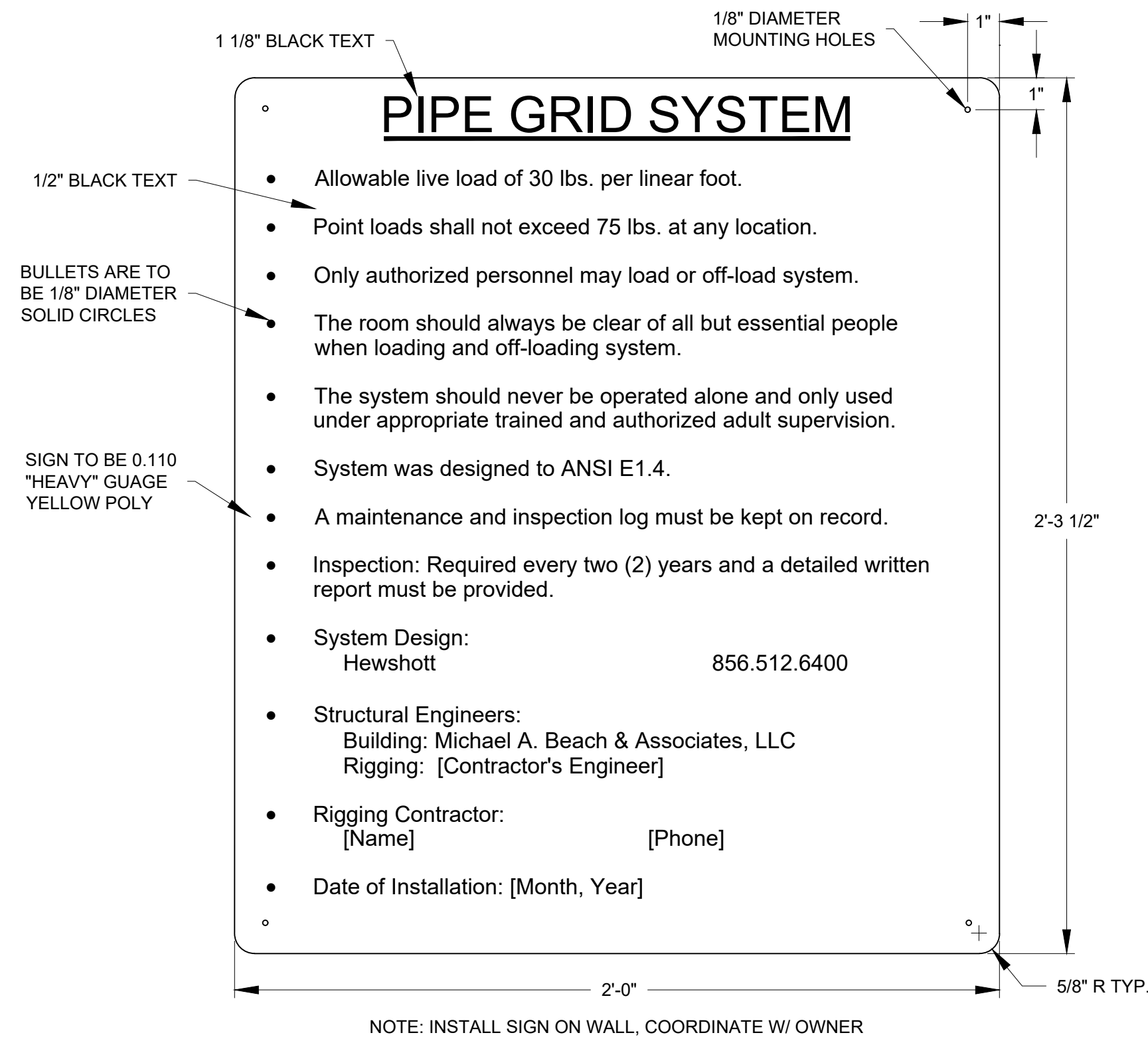
- NOTES:**
1. ALL RIGGING AND HARDWARE TO BE BLACK, U.N.O.
  2. ALL UNISTRUT AND PIPE TO BE CLEANED, PRIMED, AND PAINTED FLAT BLACK.
  3. PIPES ARE TO BE UNTHREADED. THREADED ENDS ARE PROHIBITED.
  4. ALL NUTS, BOLTS, WASHERS TO BE SAE GRADE 8 YELLOW ZINC PLATED, PAINTED FLAT BLACK, U.N.O.
  5. ALL EYEBOLTS TO BE FORGED, SHOULDERED, ZINC PLATED, AND PAINTED FLAT BLACK.
  6. ALL THREADED ROD TO BE GRADE 2, ZINC PLATED, AND PAINTED FLAT BLACK.
  7. ALL SHACKLES TO BE FORGED, BOLT-TYPE, GALVANIZED, AND PAINTED FLAT BLACK.
  8. ALL STATIC WIRE ROPE TO BE PAINTED FLAT BLACK.
  9. ALL CHAIN TO BE FLAT BLACK.
  10. ALL TURNBUCKLES TO BE FORGED AND HAVE NYLON TIE WRAPS TO PREVENT ROTATION.
  11. ALL BEAM CLAMPS TO BE GALVANIZED OR PLATED.
  12. APPLY MEDIUM STRENGTH BLUE LOCTITE ON ALL THREADS, U.N.O.
  13. UNISTRUT IS NOT PERMITTED IN A CANTILEVERED APPLICATION.

26 55 61

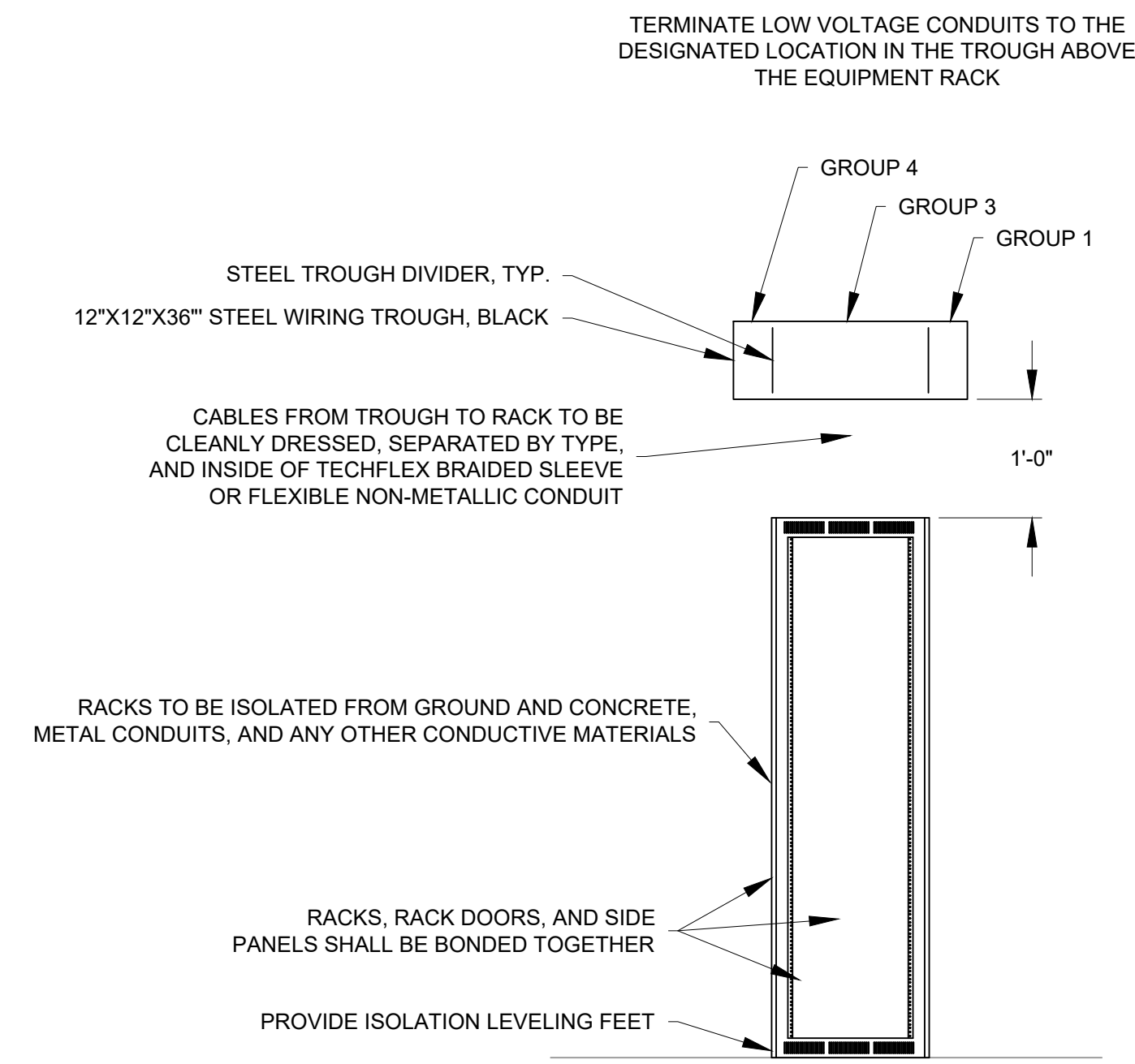
**hewshott**  
SIGHT + SOUND + EXPERIENCES  
1406 Longfellow Drive, Cherry Hill, NJ 08003  
O +1 (856) 512 6400 | E usa@hewshott.com | hewshott.com

1/7/25		ISSUED FOR BID	
No.	DATE	DESCRIPTION	REV'D BY
REVISIONS			
APPROVAL:	PROJECT:		
<b>INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012			
<b>Joseph F. McKernan Jr., Architects &amp; Associates</b> 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		<b>RIGGING DETAILS</b>	
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH # 10984 - PA ARCH #A-014021-1, CT ARCH 7234	SEAL:	DIMENSIONS MUST BE VERIFIED BY ARCHITECT OR REGISTERED PROFESSIONAL ENGINEER. VERIFY DIMENSIONS ON SITE. SCALE: AS NOTED.	SCALE: AS NOTED PROJNO: 1016H DATE: 1/7/25 REV'D: ES DRAWN BY: ES CHECKED BY: MC/ES
		<b>TS5.1</b>	

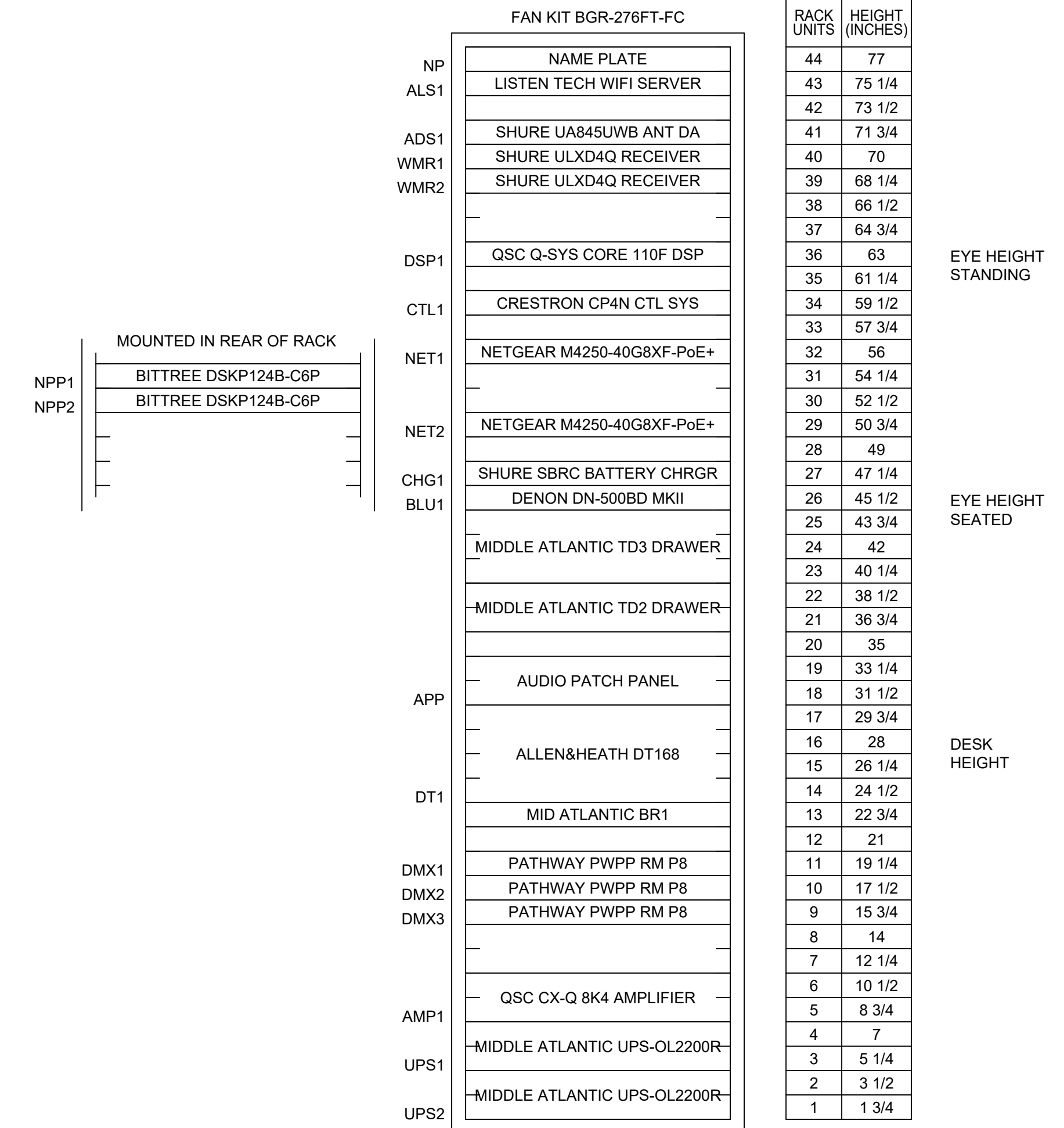
PLOT DATE & TIME:  
FILE PATH:



**1 SYSTEM SIGNAGE**  
SCALE 3" = 1'-0"



**2 EQUIPMENT RACK DETAIL**  
SCALE: N/A



**ER1 EQUIPMENT RACK ELEVATION**  
SCALE: 1-1/2" = 1'-0"

PLOT DATE & TIME:  
FILE PATH:

26 55 61



No.	DATE	DESCRIPTION	REV'D BY
1/7/25		ISSUED FOR BID	

PROJECT: INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE:  
**GLOUCESTER TWP. BLACK BOX COMMUNITY CENTER**  
3 SOUTH BLACK HORSE PIKE  
BLACKWOOD, NEW JERSEY, 08012

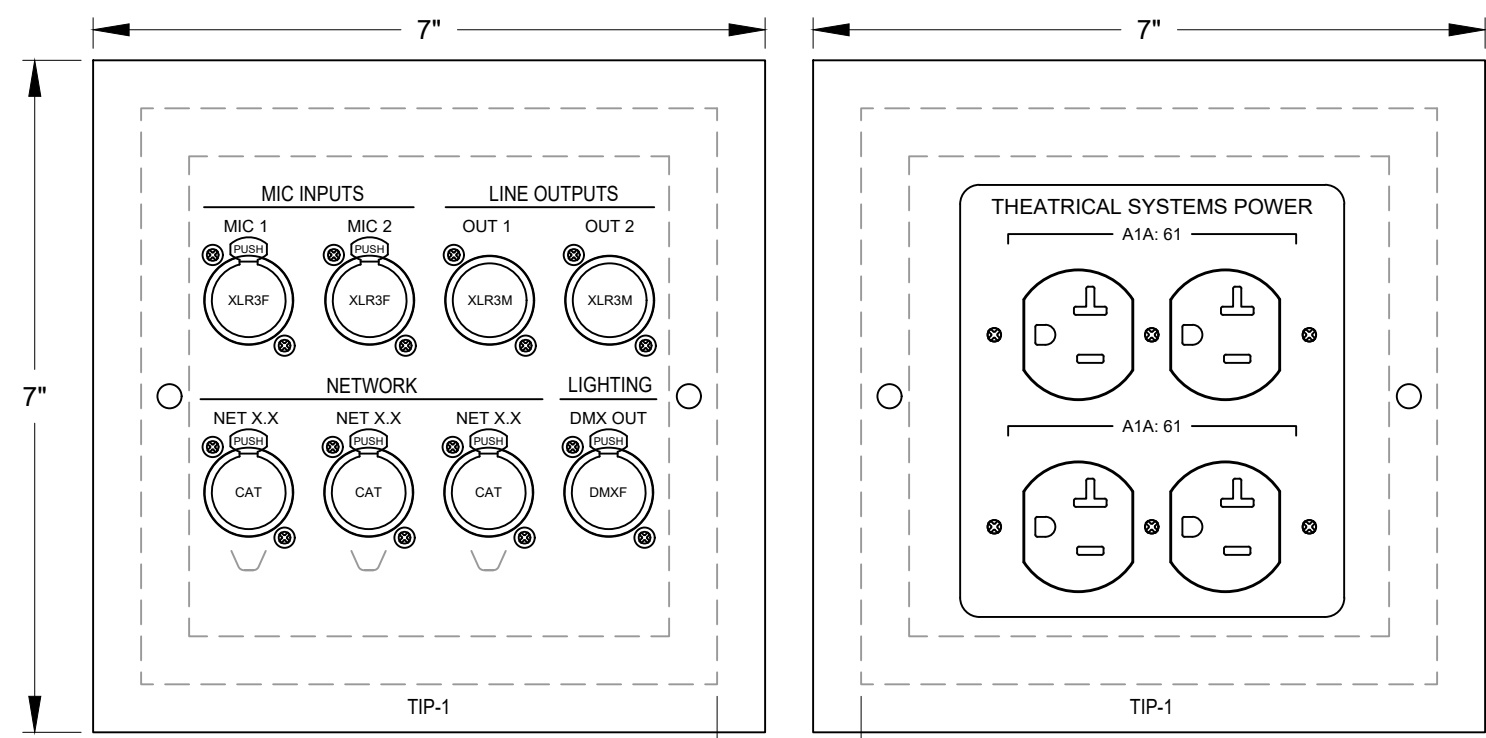
TITLE: RACK ELEVATION

APPROVAL: **Joseph F. McKernan Jr., Architects & Associates**  
100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034

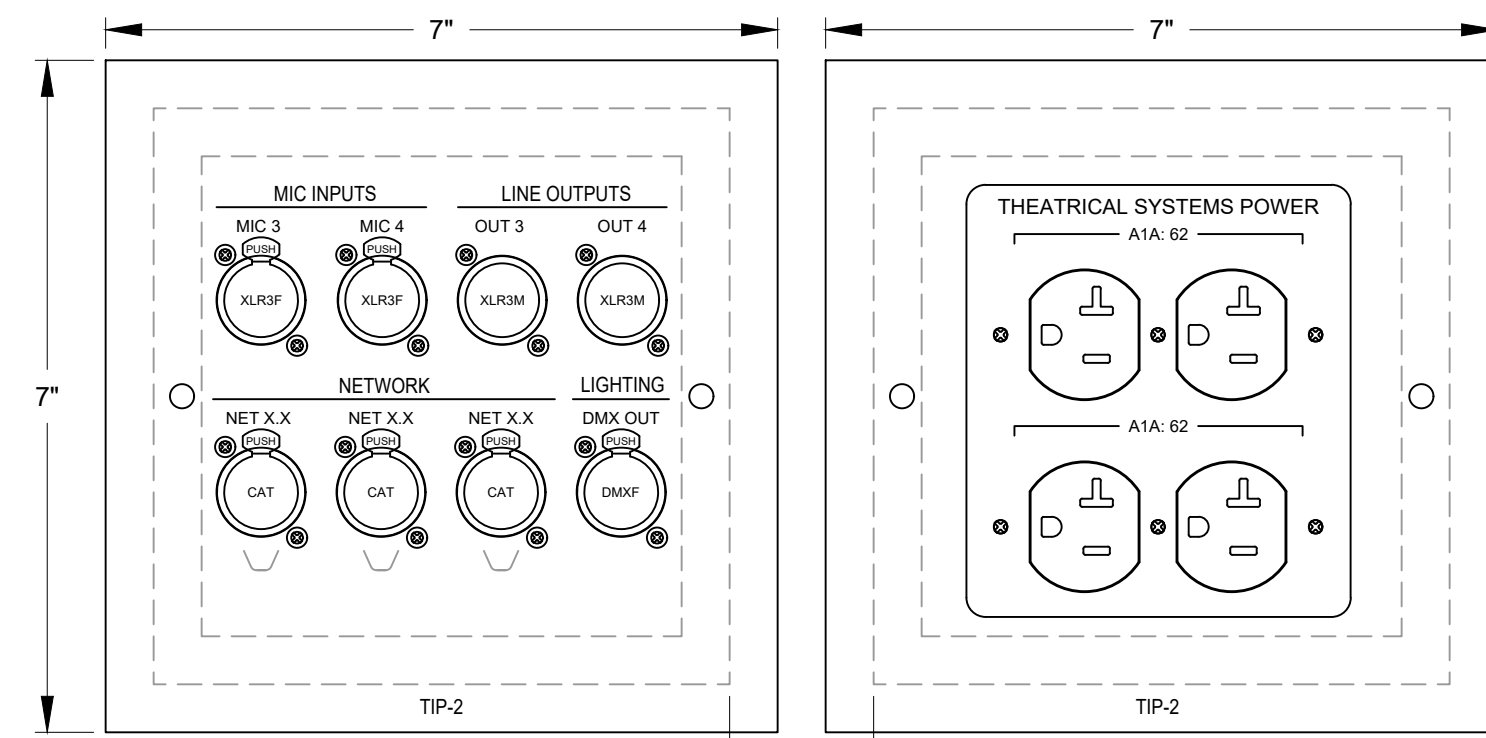
JOSEPH F. MCKERNAN JR., R.A.  
NJ ARCH # 10984 - PA ARCH #A-01402-1 - CT ARCH 7224

SCALE: AS NOTED  
DRAWING NO: TS5.2

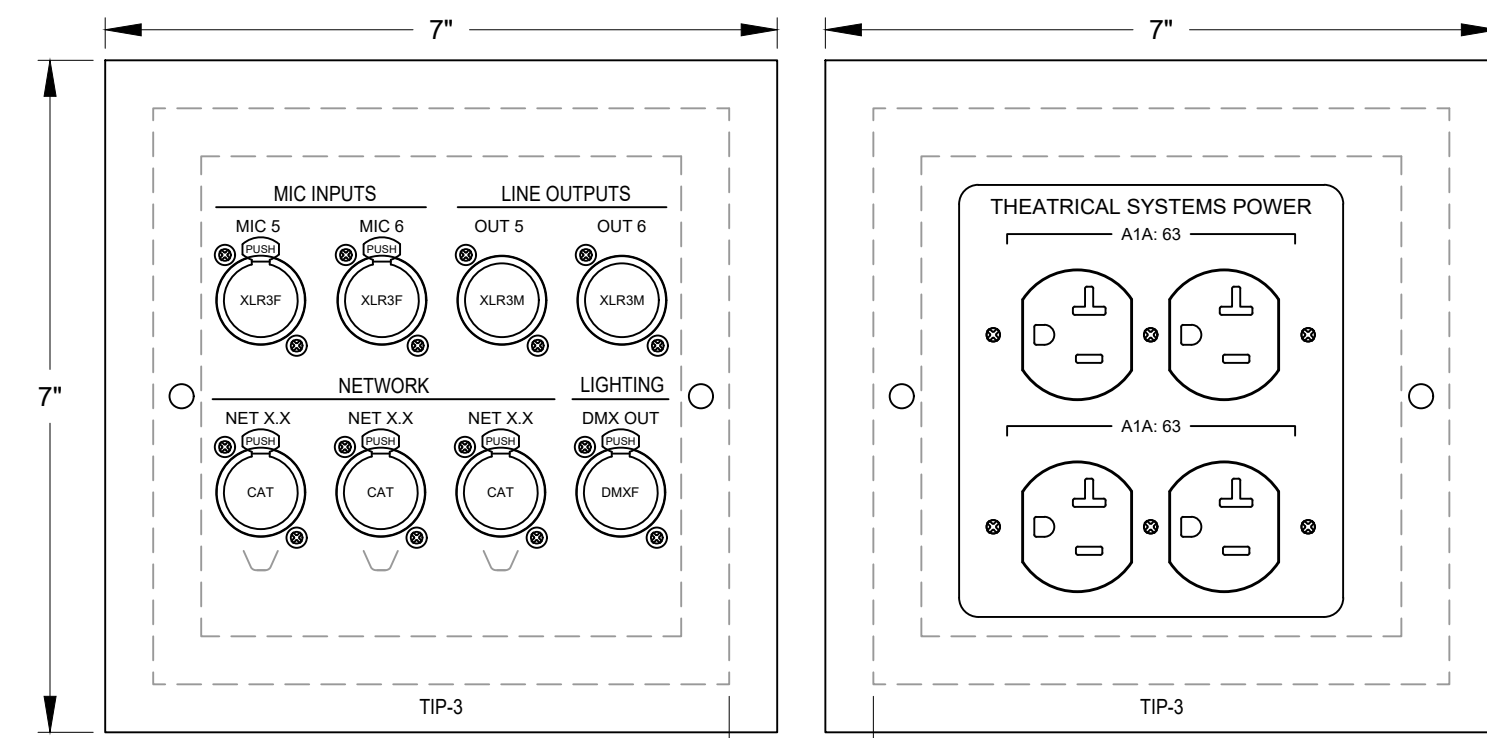
PROJNO: 10161  
DATE: 1/7/25  
REV'D: ES  
DRAWN BY: ES  
CHK'D BY: MC/ES



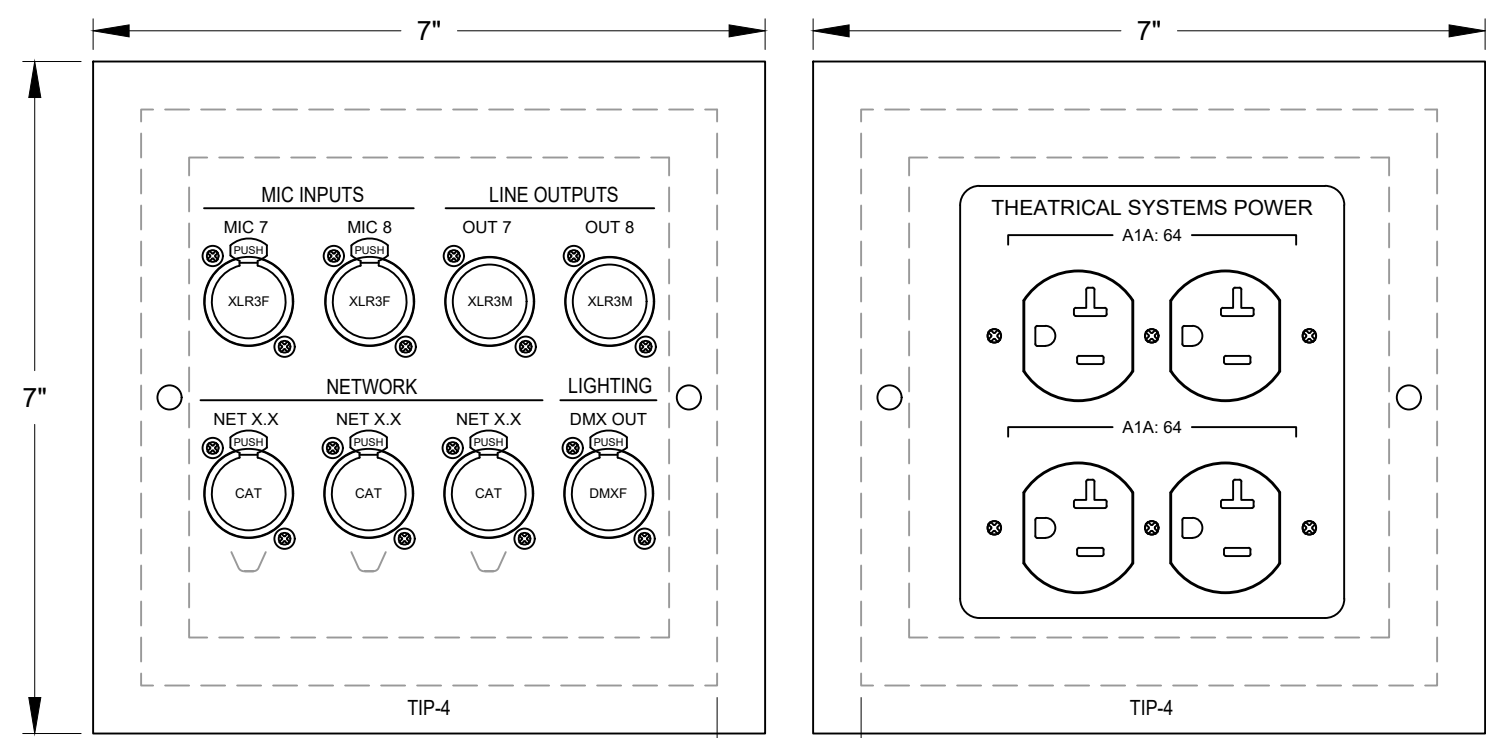
**TIP1 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"



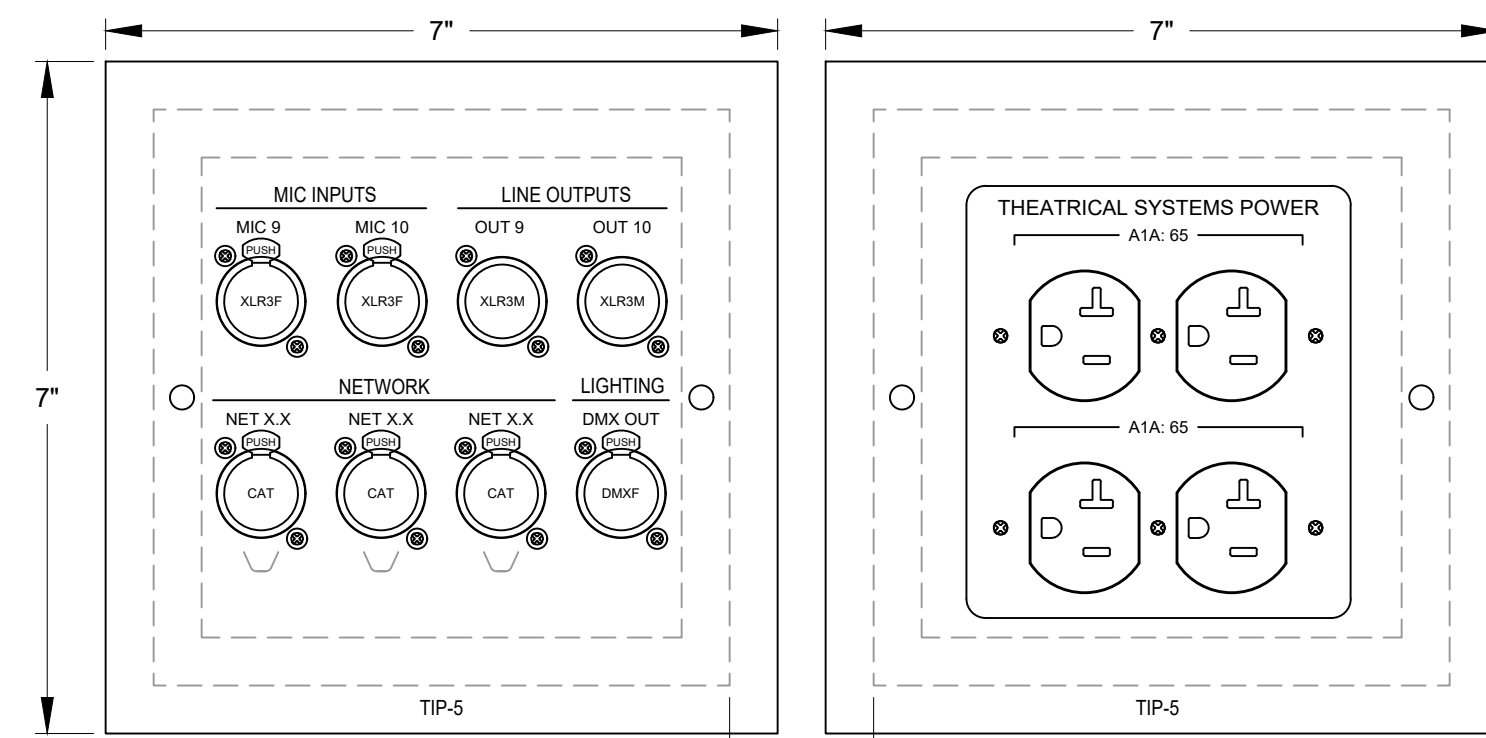
**TIP2 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"



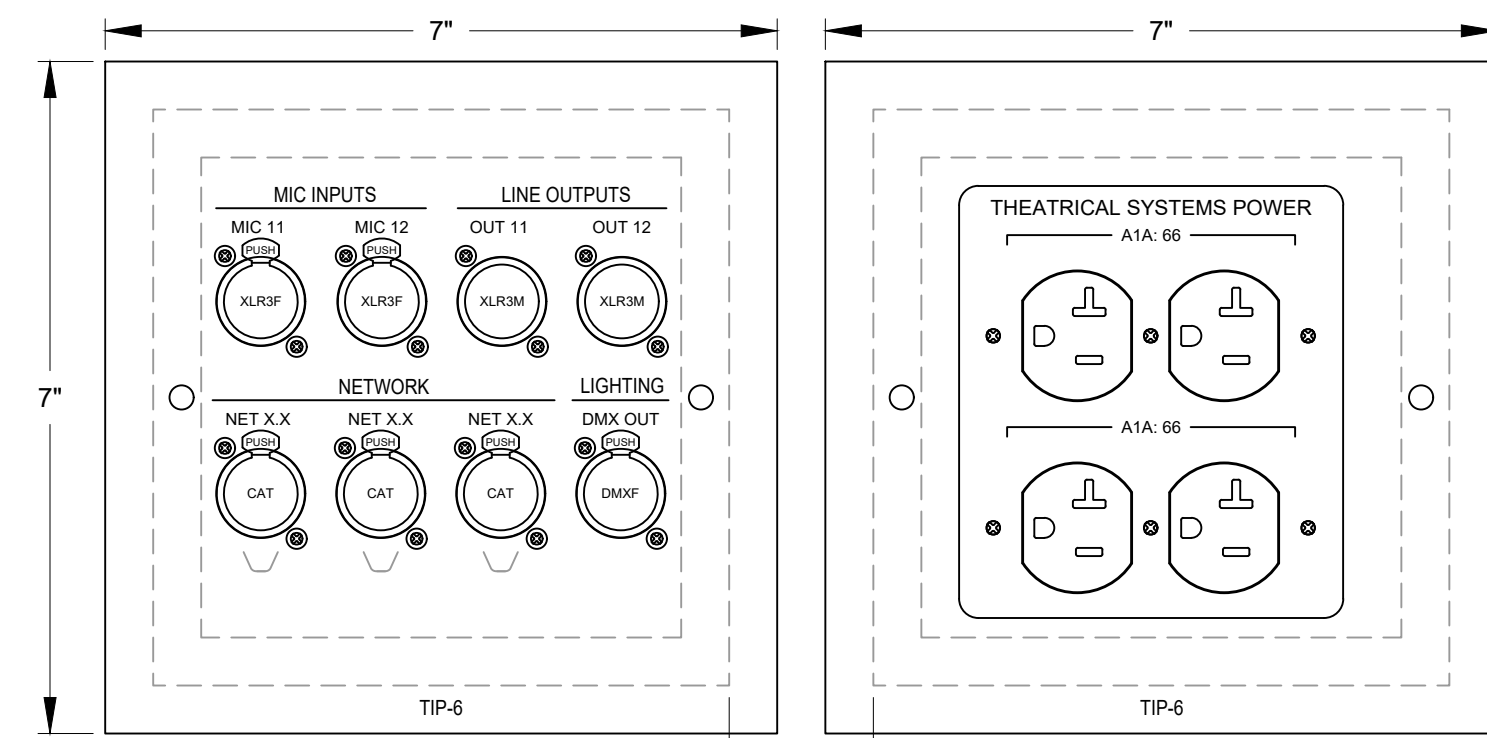
**TIP3 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"



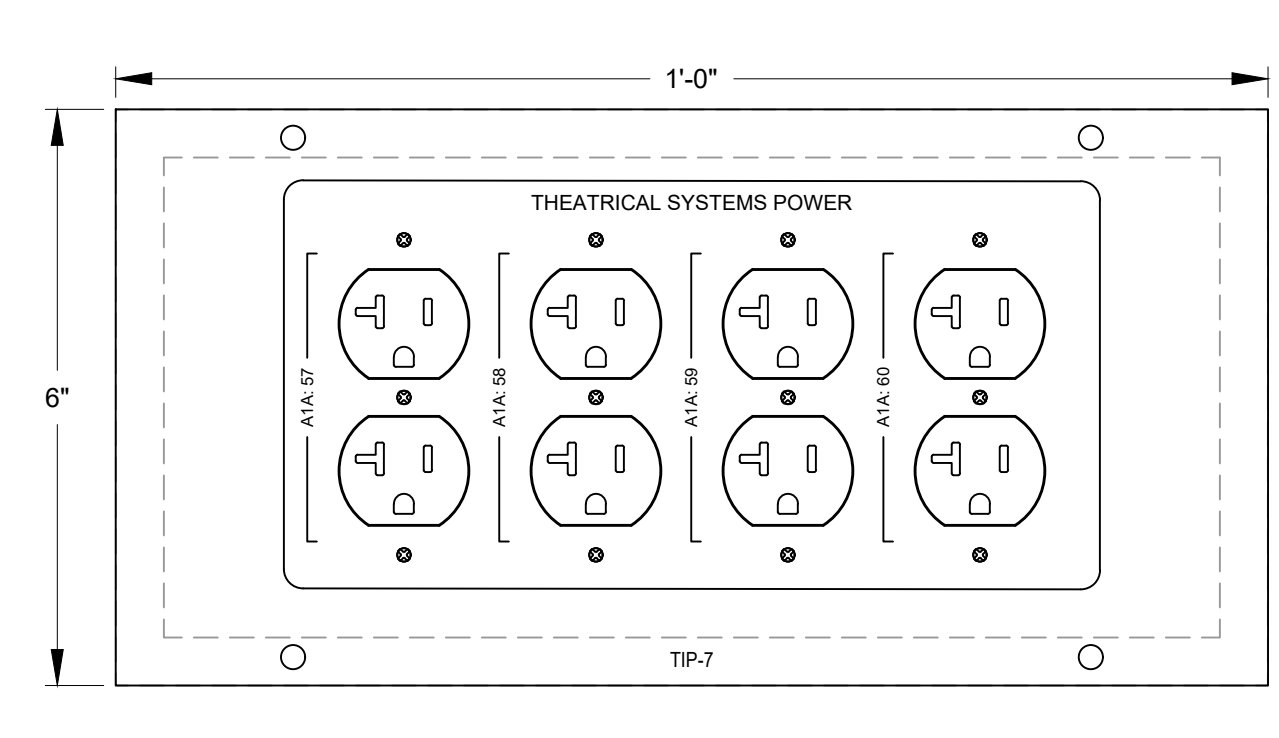
**TIP4 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"



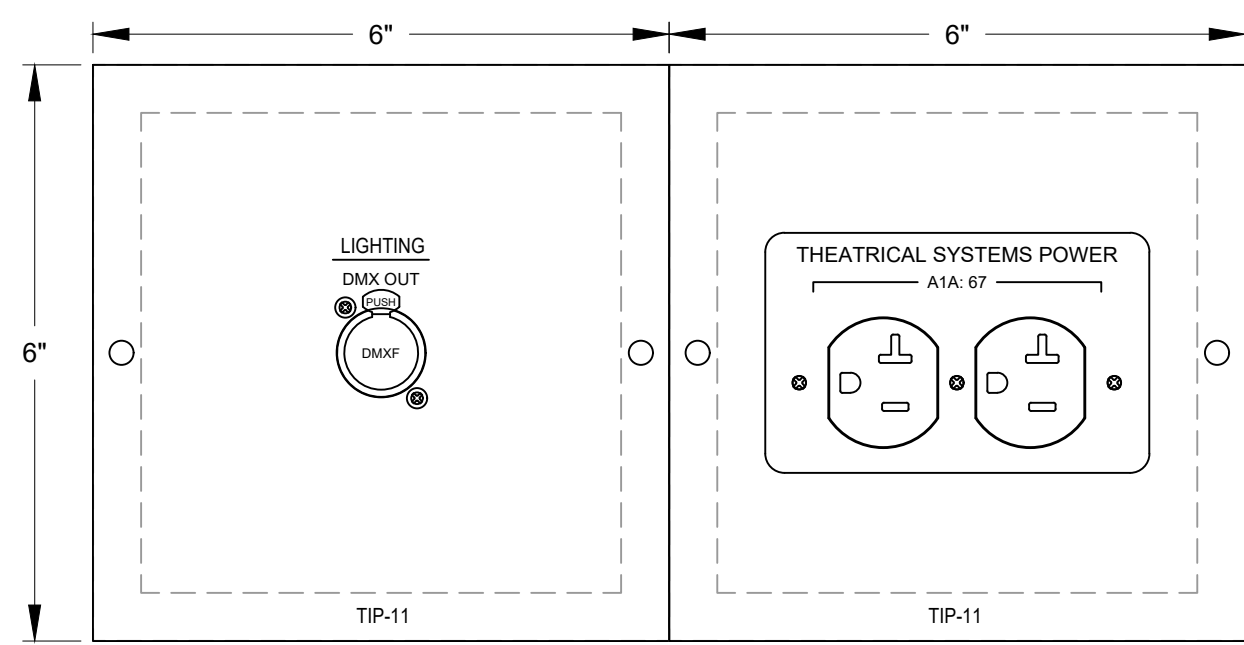
**TIP5 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"



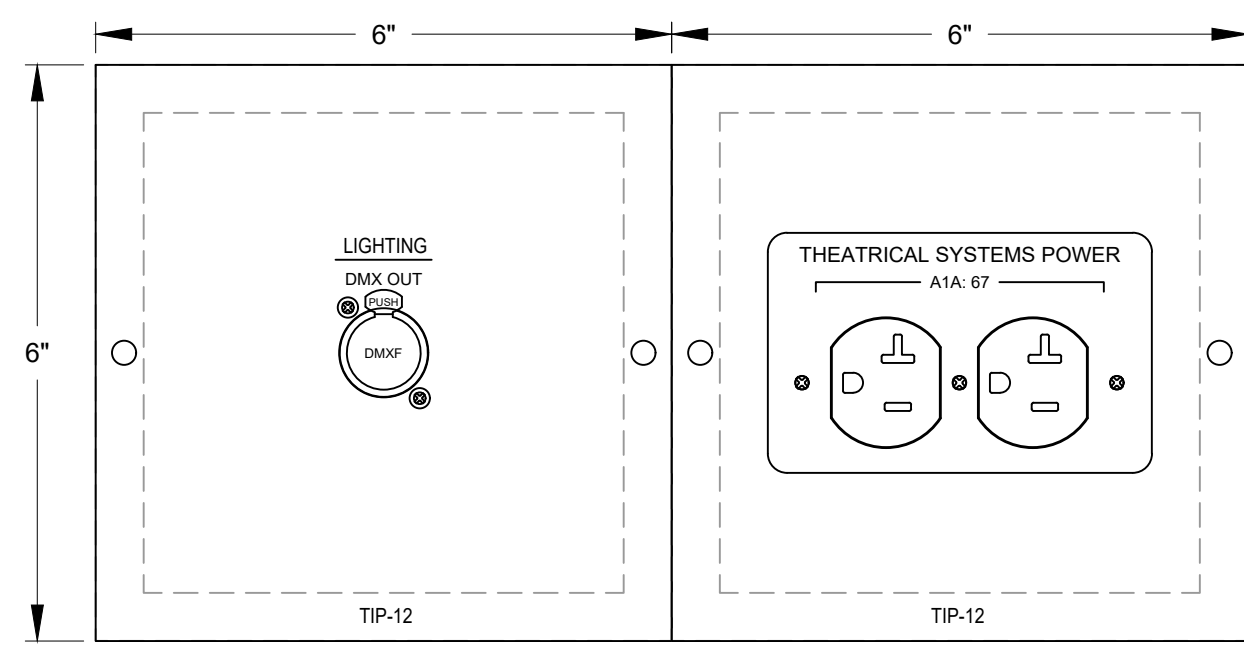
**TIP6 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"



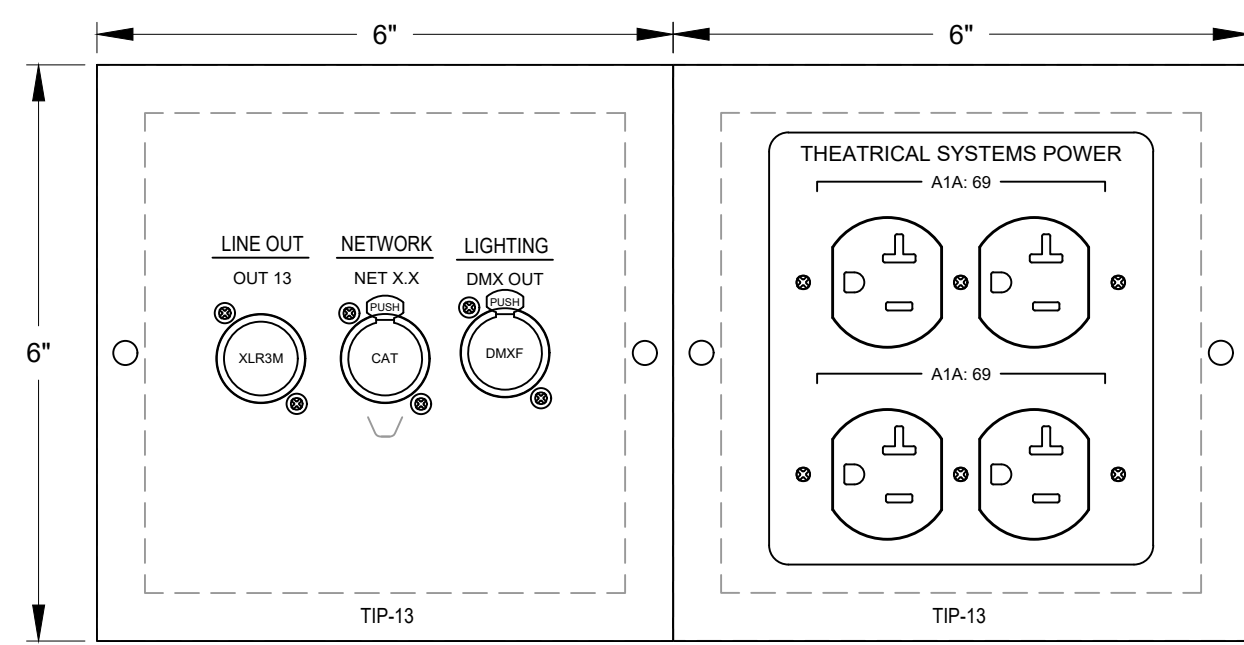
**TIP7 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"



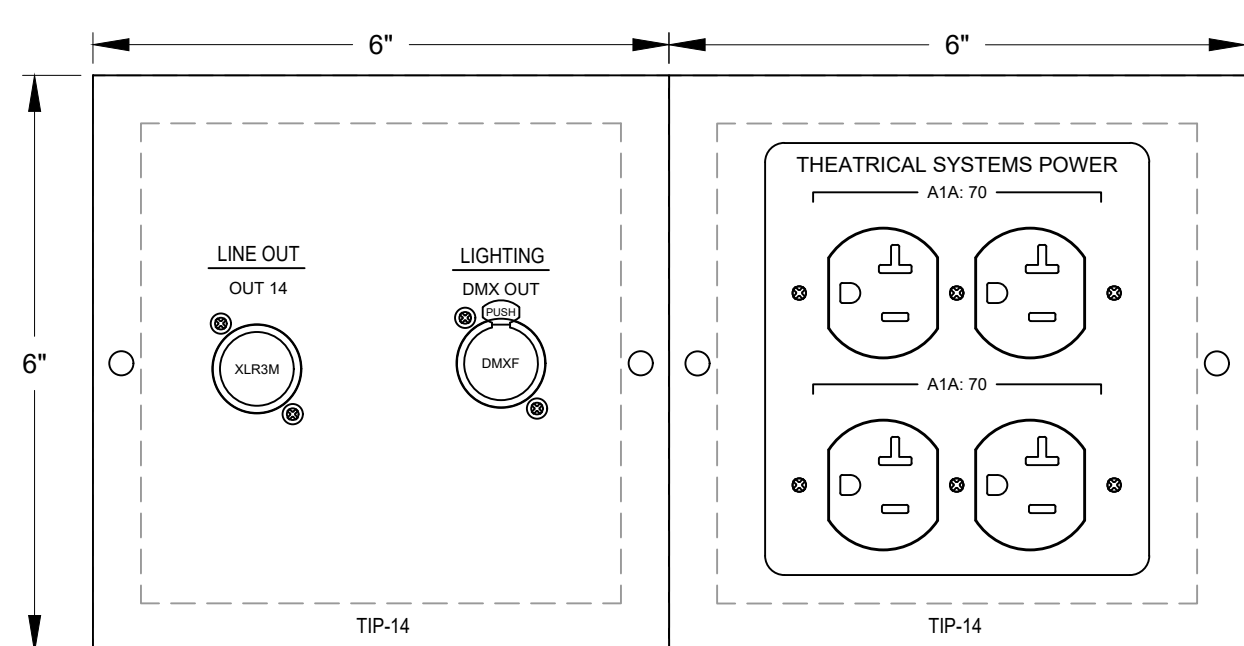
**TIP11 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"



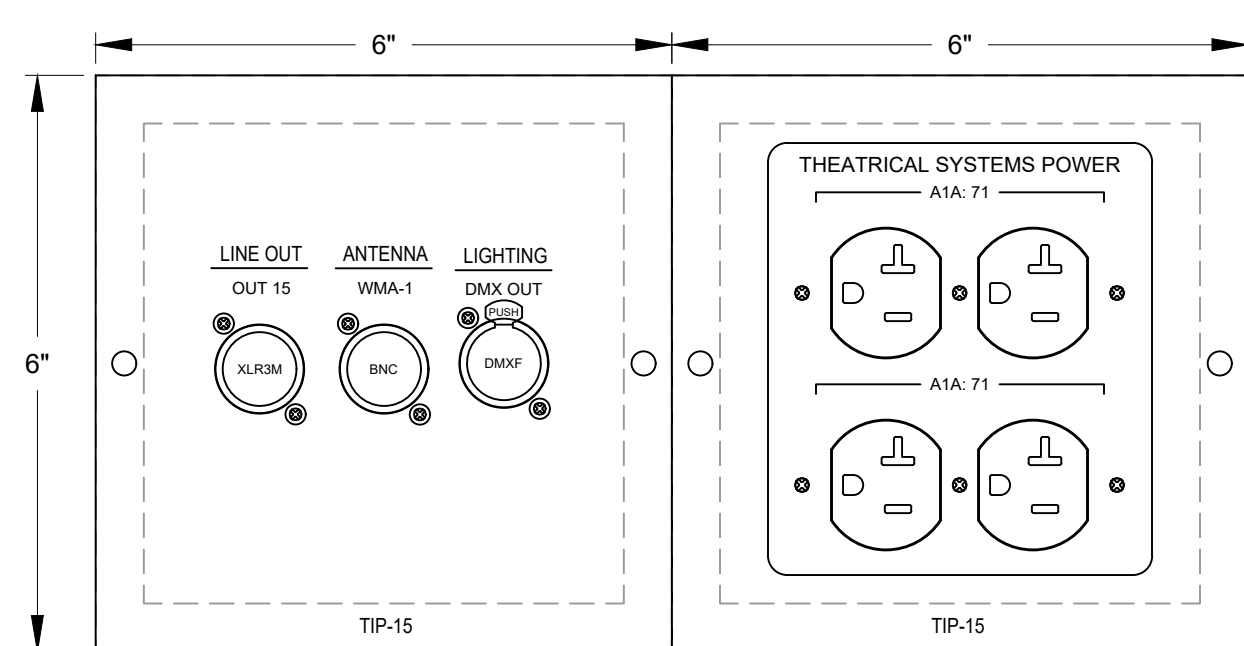
**TIP12 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"



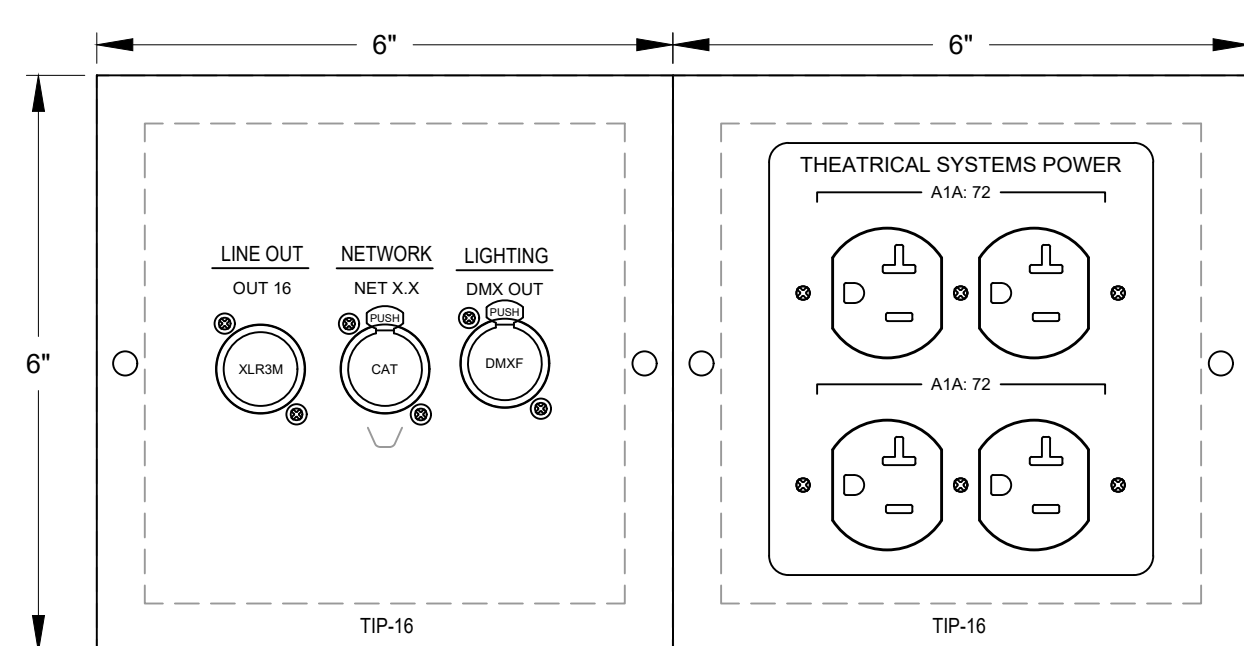
**TIP13 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"



**TIP14 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"

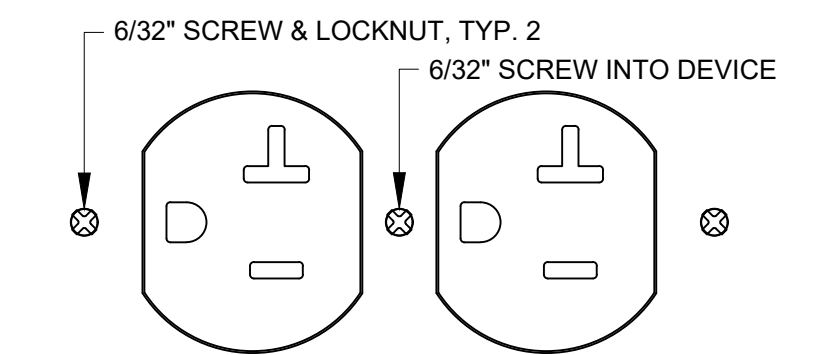


**TIP15 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"



**TIP16 TECHNICAL INTERFACE PLATE**  
SCALE: 6"=1'-0"

CONNECTORS		
LABEL	CONNECTOR	DESCRIPTION
BNC	NEUTRIK NBB75DF18-P	"D" SERIES, 75Ω, FEMALE-FEMALE, FEED THRU
CAT	NEUTRIK NE8FDV-Y110-B	"D" SERIES, FEMALE, RJ-45, IDC
CAT6A	NEUTRIK NE8FDX-Y6-B	"D" SERIES, FEMALE, RJ-45, IDC
DMXF	PATHWAY PWCON XLR5DF IDC5	"D" SERIES, FEMALE, IDC
DMXM	PATHWAY PWCON XLR5DM IDC5	"D" SERIES, MALE, IDC
XLR3F	NEUTRIK NC3FD-L-BAG-1	"D" SERIES, FEMALE, SOLDER
XLR3M	NEUTRIK NC3MD-L-BAG-1	"D" SERIES, MALE, SOLDER



- NOTES:**
- ALL PLATES ARE AS FOLLOWS UNLESS NOTED OTHERWISE.
  - PLATES BY RAPCO HORIZON, CONNECTORS BY NEUTRIK.
  - WALL PLATES TO BE 1/16" ALUMINUM WITH POWDER COAT FINISH.
  - RACK PANELS TO BE 1/16" FLANGED ALUMINUM WITH BLACK POWDER COAT FINISH.
  - LASER ENGRAVING AS PER DRAWING. TYPICAL LABEL TEXT IS 1/8" AND HEADING TEXT IS 5/32".
  - CONNECTORS TO BE REAR MOUNTED.

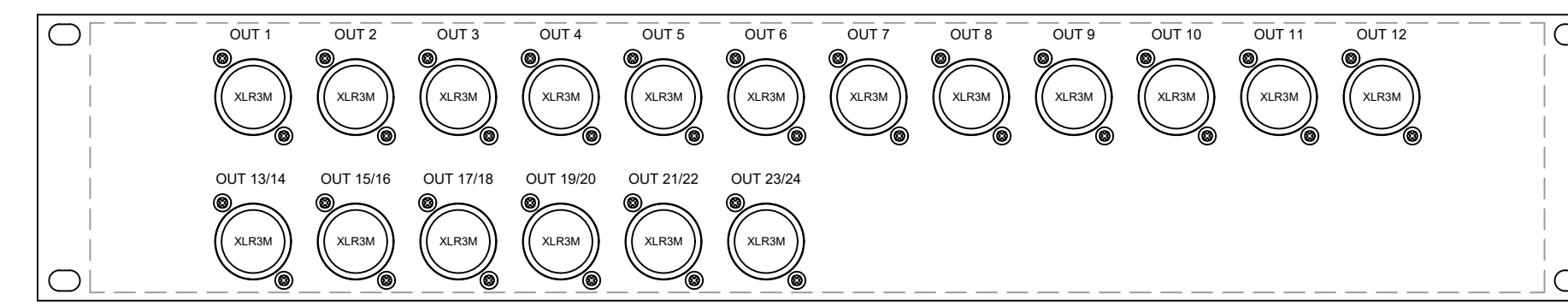
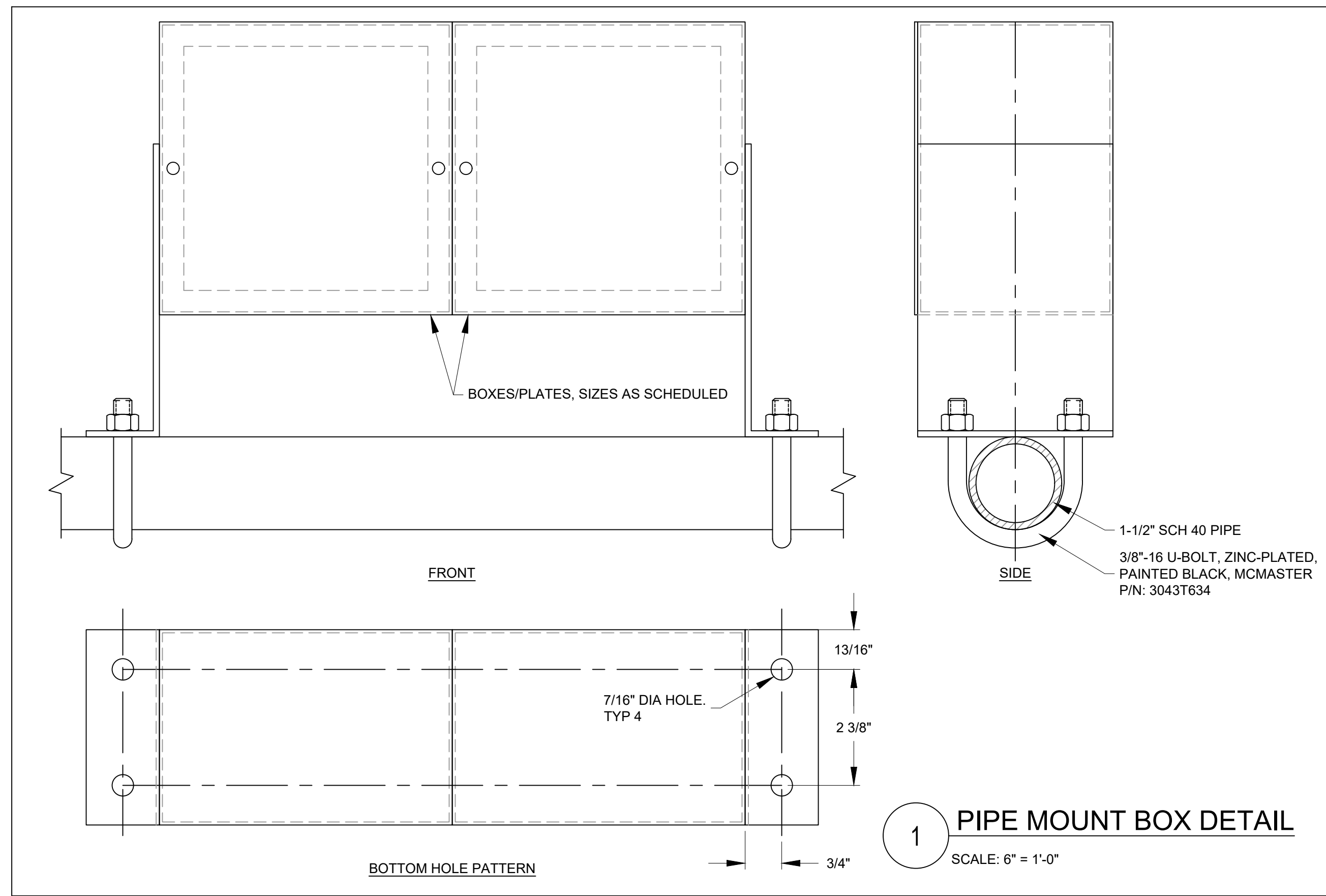
**A NEMA 5-20R - TYP.**  
NEMA 5-20R, SPEC GRADE, DUPLEX, BLACK TAMPER RESISTANT

26 55 61



1406 Longfellow Drive, Cherry Hill, NJ 08003  
O +1 (856) 512 6400 | E usa@hewshott.com | hewshott.com

1/7/25	ISSUED FOR BID	
No.	DATE	DESCRIPTION
REVISIONS		
APPROVAL:	PROJECT:	REVISIONS
INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLoucester TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012		
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: <b>PLATES 1</b>
JOSEPH F. MCKERNAN JR., R.A. <small>NJ ARCH # 1084 - PA ARCH #A-01421-1 - CT ARCH 7234</small>	SEAL:	DIMENSIONS MUST BE VERIFIED BY CONTRACTOR. VERIFY THE ACCURACY OF ALL DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. VERIFY ALL NOT SCALE DIMENSIONS. SCALE: AS NOTED PROJECT NO: 1016H DATE: 1/7/25 REV'D: 001 DRAWN BY: JES CHECKED BY: MC/JES
DRAWING NO: <b>TS5.3</b>		



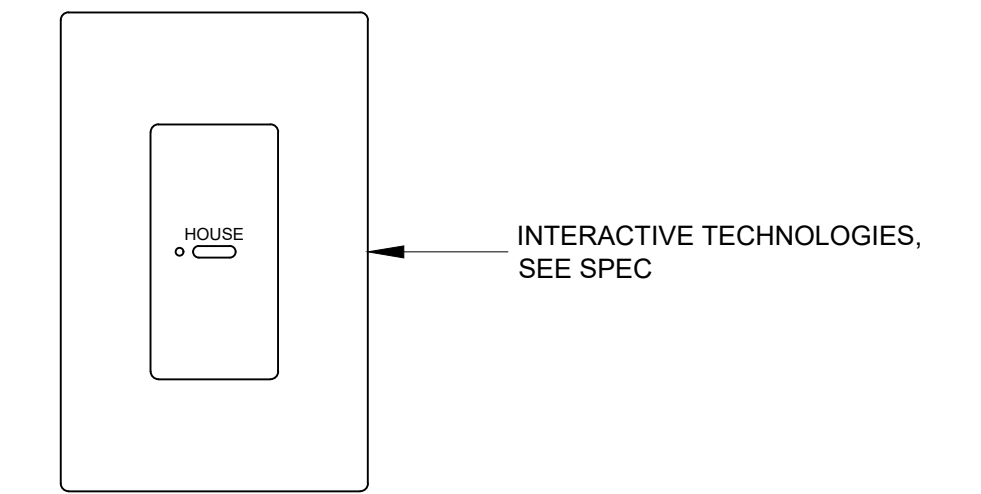
APP AUDIO PATCH PANEL

SCALE: 6" = 1'-0"



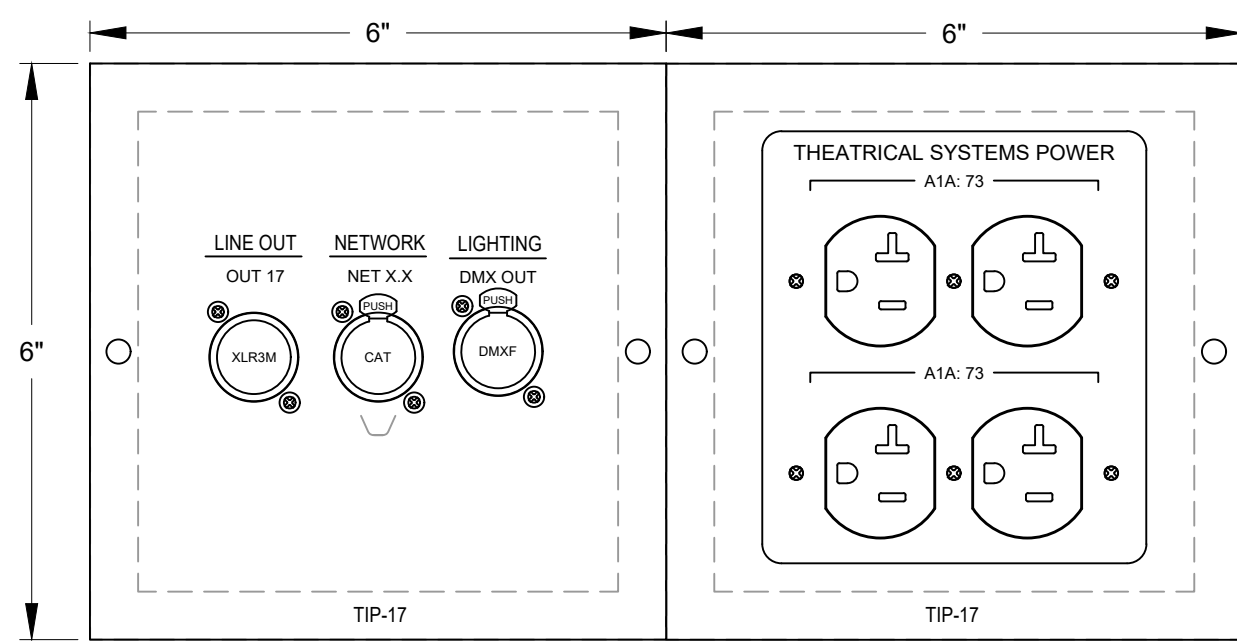
NP NAME PLATE

SCALE: 6" = 1'-0"



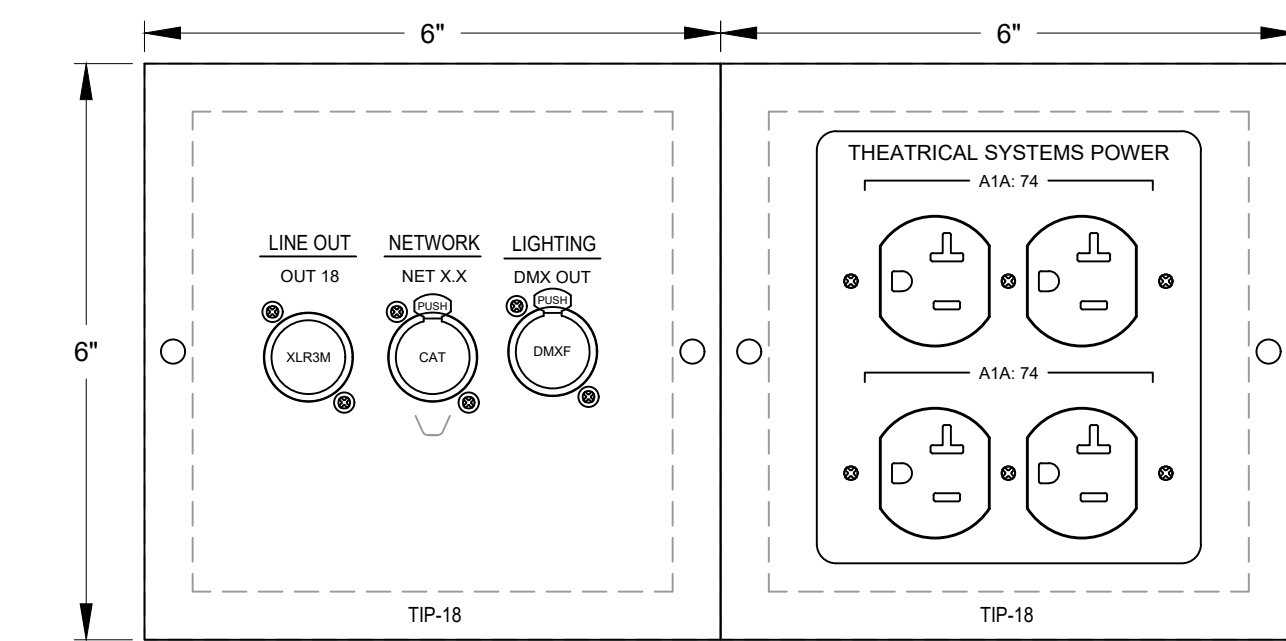
LCK LIGHTING CONTROL KEYPAD

SCALE: 6" = 1'-0"



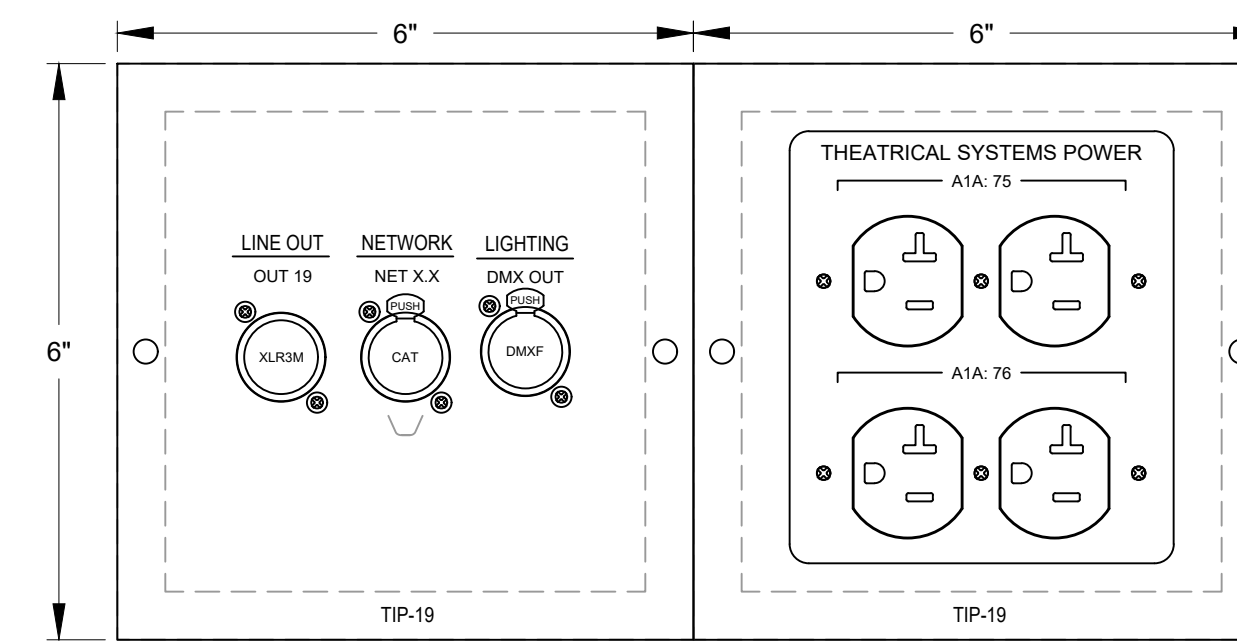
TIP17 TECHNICAL INTERFACE PLATE

SCALE: 6" = 1'-0"



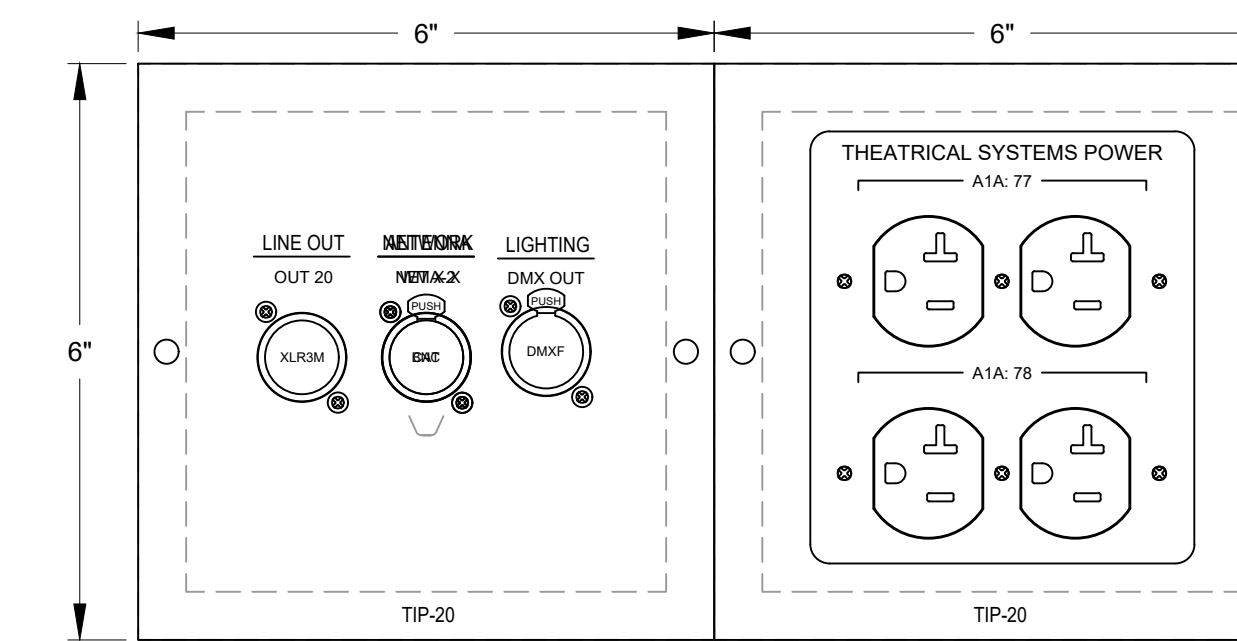
TIP18 TECHNICAL INTERFACE PLATE

SCALE: 6" = 1'-0"



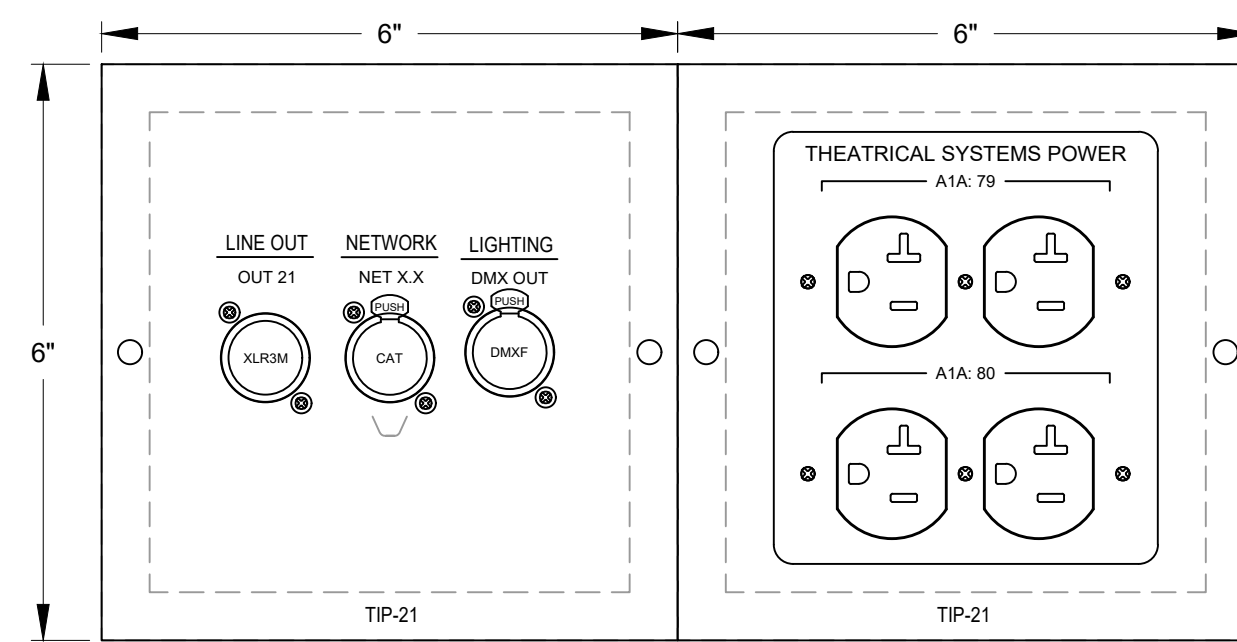
TIP19 TECHNICAL INTERFACE PLATE

SCALE: 6" = 1'-0"



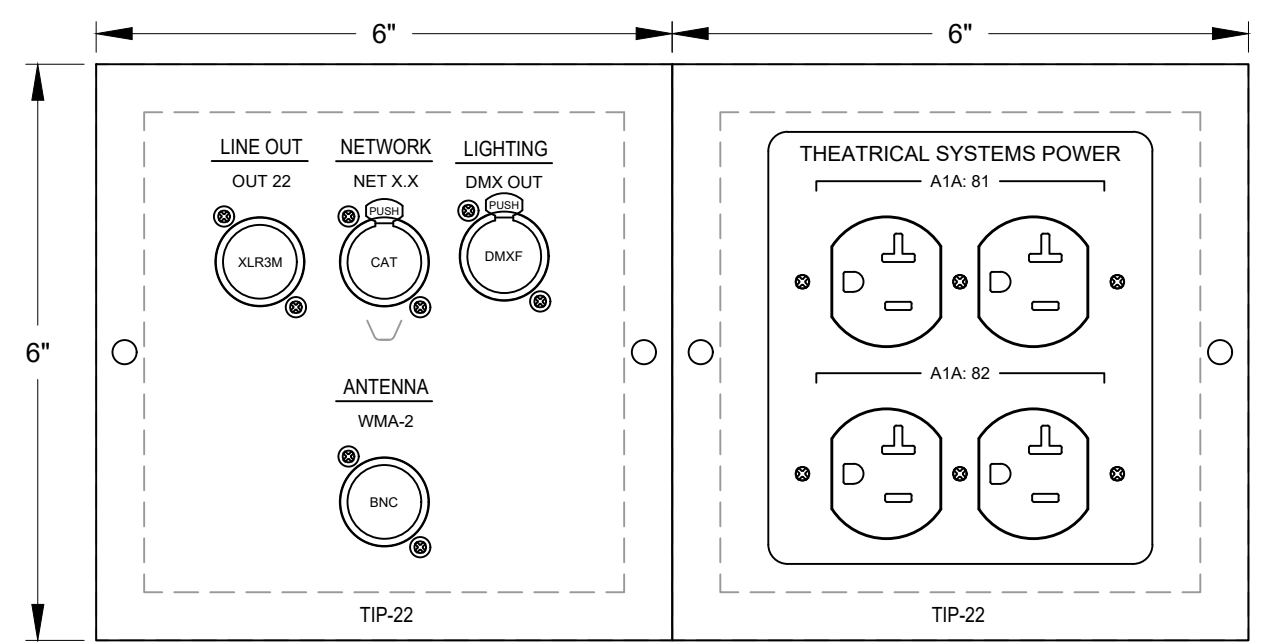
TIP20 TECHNICAL INTERFACE PLATE

SCALE: 6" = 1'-0"



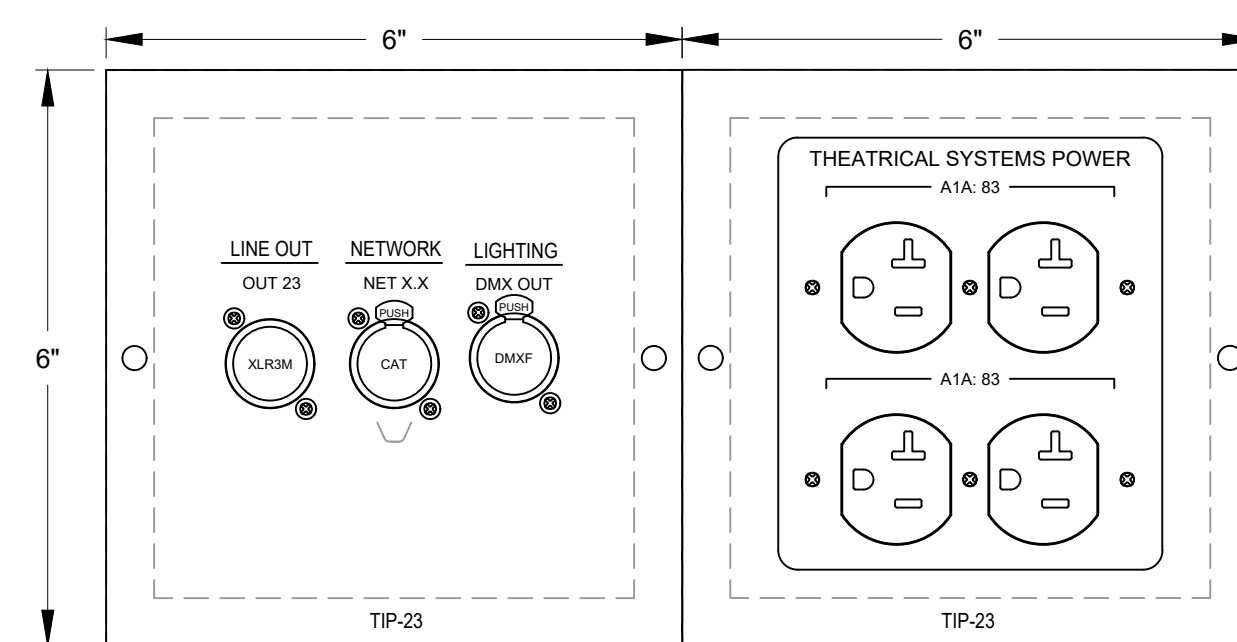
TIP21 TECHNICAL INTERFACE PLATE

SCALE: 6" = 1'-0"



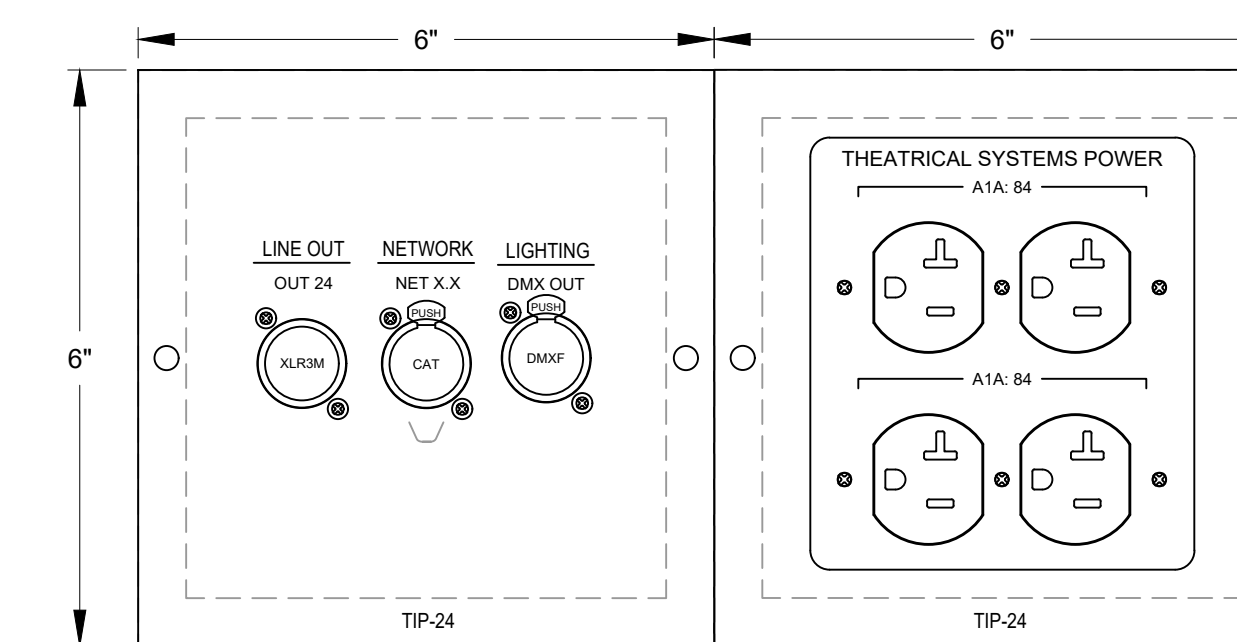
TIP22 TECHNICAL INTERFACE PLATE

SCALE: 6" = 1'-0"



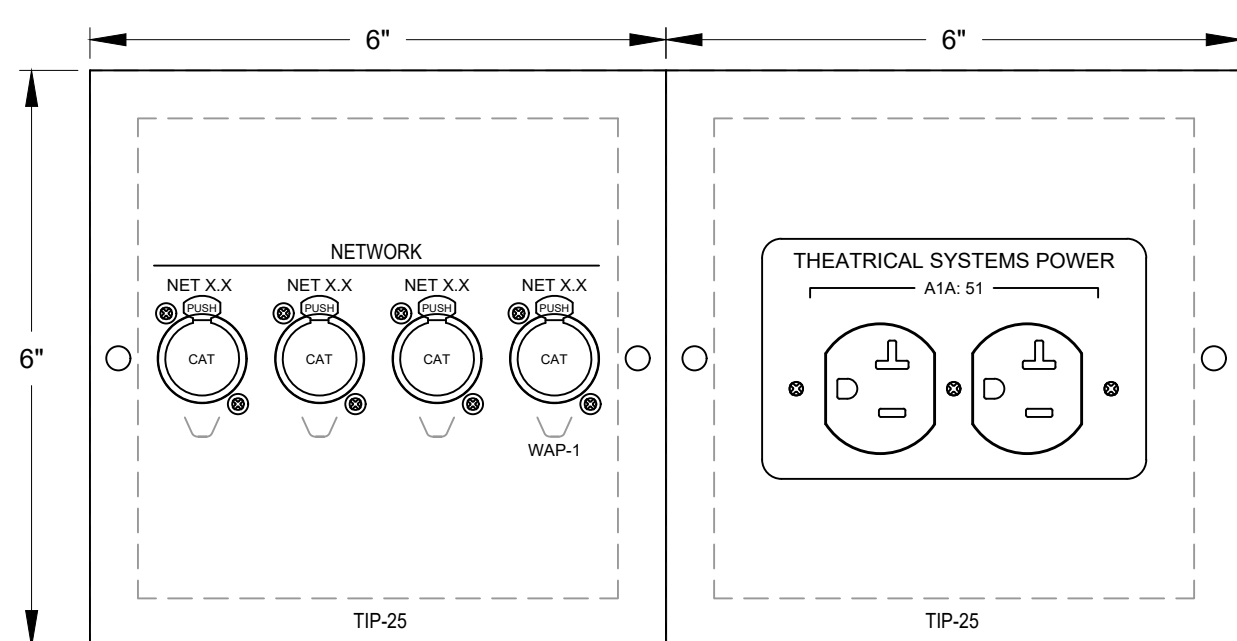
TIP23 TECHNICAL INTERFACE PLATE

SCALE: 6" = 1'-0"



TIP24 TECHNICAL INTERFACE PLATE

SCALE: 6" = 1'-0"



TIP25 TECHNICAL INTERFACE PLATE

SCALE: 6" = 1'-0"

No.	DATE	DESCRIPTION	REV'D BY
	1/7/25	ISSUED FOR BID	
REVISIONS			
APPROVAL:		PROJECT:	
		INTERIOR RENOVATIONS (PHASE 2 WORK) FOR THE: <b>GLoucester TWP. BLACK BOX COMMUNITY CENTER</b> 3 SOUTH BLACK HORSE PIKE BLACKWOOD, NEW JERSEY, 08012	
Joseph F. McKernan Jr., Architects & Associates 100 Dobbs Lane Suite 204 Cherry Hill, New Jersey 08034		TITLE: <b>PLATES 2</b>	
JOSEPH F. MCKERNAN JR., R.A. NJ ARCH # 10864 PA ARCH #A-014021-1, CT ARCH 7224		SCALE: AS NOTED PROJNO: 1016H DATE: 1/7/25 REV'D: 1/7/25 DRAWN BY: GES CHECKED BY: MC/SES	
DIMENSIONS MUST BE VERIFIED BY CONTRACTOR WITH THE ARCHITECT'S RECORD DRAWINGS. VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWING.		DRAWING NO: <b>TS5.4</b>	

