VINELAND SENIOR CENTER

103 SOUTH 6TH STREET, BLOCK 4007 LOT 1, VINELAND, NEW JERSEY 08360 EXTERIOR RENOVATION IMPROVEMENTS





EMAIL: bwampier@oskdp.com





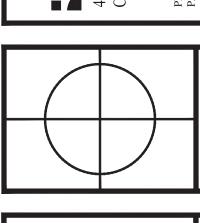
PROJECT TEAM CODE REFERENCES GENERAL NOTES PROJECT INFORMATION 1. INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION, 2021 (IBC) THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO STARTING CONSTRUCTION AND SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES **PROJECT:** VINELAND SENIOR CENTER (PATRICK FIORILLI SENIOR CENTER) WHICH ALTER OR IMPEDE THE ORIGINAL OR INTENDED DESIGN. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK AND OF ALL TRADES. THE CITY OF VINELAND, NEW JERSEY 2. UNIFORM CONSTRUCTION CODE, STATE OF NEW JERSEY (NJAC) 640 EAST WOOD STREET, 2. ARCHITECT IS NOT RESPONSIBLE FOR EXISTING CONDITIONS. LOCATION: 103 SOUTH 6TH STREET VINELAND, NEW JERSEY 08360 3. NATIONAL STANDARD PLUMBING CODE, 2021 (NSPC) VINELAND, NEW JERSEY Ø836Ø 3. ALL WORK MUST COMPLY WITH THE LATEST VERSION OF THE STATE OF NEW JERSEY UNIFORM CONSTRUCTION CODE AND ALL SUBCODES. PHONE: 856-794-4000 4. NATIONAL ELECTRIC CODE, 2020 (NFPA 10) OCCUPANCY GROUP: A-3, ASSEMBLY 4. CONTRACTORS MUST COMPLY WITH ALL STATE AND FEDERAL OSHA SAFETY REGULATIONS. CONSTRUCTION MANAGER: 5. INTERNATIONAL MECHANICAL CODE, 2021 RENOVATION/NEW: EXTERIOR IMPROVEMENTS, RENOVATIONS NEW ROAD CONSTRUCTION MANAGEMENT 5. DO NOT "SCALE" FROM THESE DRAWINGS. THE DIMENSIONS INDICATED ON THE DRAWINGS SHALL GOVERN. IF A DISCREPANCY IS NOTED, IMMEDIATELY NOTIFY THE ARCHITECT. 6. INTERNATIONAL FUEL GAS CODE, 2021 1816 GREENTREE ROAD. 6. ALL DIMENSIONS INDICATED ON DRAWINGS ARE MEASURED TO THE FACE OF STUD FRAMING, EDGES OF CONCRETE SLABS, FACE OF MASONRY, OR FACE OF CONCRETE WALL. (UNLESS NOTED OTHERWISE) THE NUMBER OF STORIES: CHERRY HILL, NEW JERSEY 08003 7. ENERGY SUBCODE, AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND DIMENSIONS INDICATED ARE NOT CLEAR FINISH TO FINISH DIMENSIONS. AIR-CONDITIONING ENGINEERS, ASHREA 90:1-2019 PHONE: 856-424-8888 856-424-1688 1. MASONRY DIMENSIONS INDICATED ON DRAWINGS ARE "NOMINAL" DIMENSIONS (NOT ACTUAL). CONCRETE DIMENSIONS INDICATED ON DRAWINGS ARE ACTUAL DIMENSIONS. 8. ICC/ANSI AII7.I-2017, AMERICAN NATIONAL STANDARD, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC/ANSI) 8. LIFE SAFETY SYSTEMS SHALL REMAIN OPERABLE DURING CONSTRUCTION. BRUCE FARRELL EMAIL: bfarrell@newroadconstruction.com 9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES FOR ARCHITECT AND OWNER'S REVIEW PRIOR TO PURCHASING OR FABRICATION OF PROPOSED ITEMS. DRAWING LIST ARCHITECT: 10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FOR THIS PROJECT AND PAYMENT OF SAME. OSK DESIGN PARTNERS, PA WORK REQUIRING EXCESSIVE AND/OR DISTURBING NOISE TO NORMAL OPERATION OF THE BUILDING SHALL BE REVIEWED WITH THE OWNER PRIOR TO THE 475 WHITE HORSE PIKE, START OF SUCH WORK. THE OWNER RESERVES THE RIGHT TO RESTRICT ANY WORK THEY DEEM DISTURBING TO THE OPERATION OF THE BUILDING. ALL SUCH ARCHITECTURAL DRAWING LIST: COLLINGSWOOD, NEW JERSEY Ø81Ø7 WORK SHALL BE COORDINATED WITH THE OWNER. PHONE: 856-854-0580 COVER SHEET - PROJECT INFORMATION & GENERAL NOTES PRIOR TO FINAL BID AND OR THE START OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND IDENTIFY IN WRITING 856-854-0993 SITE WALL REPAIR PLAN TO THE ARCHITECT ANY DISCREPANCIES OF CONFLICTS BETWEEN THE EXISTING AS-BUILT CONDITIONS AND THOSE SHOWN ON THE FLOOR PLANS & NOTES CONSTRUCTION DOCUMENTS CONTAINED HEREIN. COMMENCEMENT OF WORK INDICATES THE CONTRACTOR'S ACCEPTANCE OF THE EXISTING JERRY BLACKMAN, AIA FRONT ELEVATIONS & NOTES CONDITIONS AND THE ASSUMPTION OF RESPONSIBILITY, INCLUDING ALL COSTS AND EXPENSES, FOR PROVIDING A FINISHED PRODUCT AS EMAIL: jblackman@oskdp.com LEFT SIDE ELEVATION & NOTES DESIGNED AND PERMITTED. REAR ELEVATION & NOTES 01-08-2025 SSUED FOR BIDDING RIGHT SIDE ELEVATION & NOTES BRAD WAMPLER, AIA 13. ITEMS THAT ARE NOT PART OF THE CONTRACTOR'S CONTRACT ARE INDICATED BY "(NIC)" AND ARE SHOWN DASHED.

RCHITECTS & LANDPLANERS, F
RCHITECTS & LANDPLANNE, SUITE 20
854-0580 FAX: (856)-854-0993 WEB: www.oskdp.com
FOUNDER: JOHN J. OLIVIERI (1956-1999)
SENIOR ASSOCIATE: DANIEL A. SHOUSKY, AIA, PP, NCARB
SENIOR ASSOCIATE: STEVEN J. BOLOGNO, AIA
ASSOCIATE: JAMES G. ELLIOTT, AIA, NCARB, LEED AP
ASSOCIATE: JAMES G. ELLIOTT, AIA, NCARB, LEI

A R C H

475 WHITE HORSE PIKE

COLLINGSWOOD, NEW JERSEY
PHONE: (856)-854-0580



PROJECT NORTH

ERIOR MPROVEMENTS
103 8 6TH STREET
161 NEW JERSEY 08360

ARTING CONSTRUCTION

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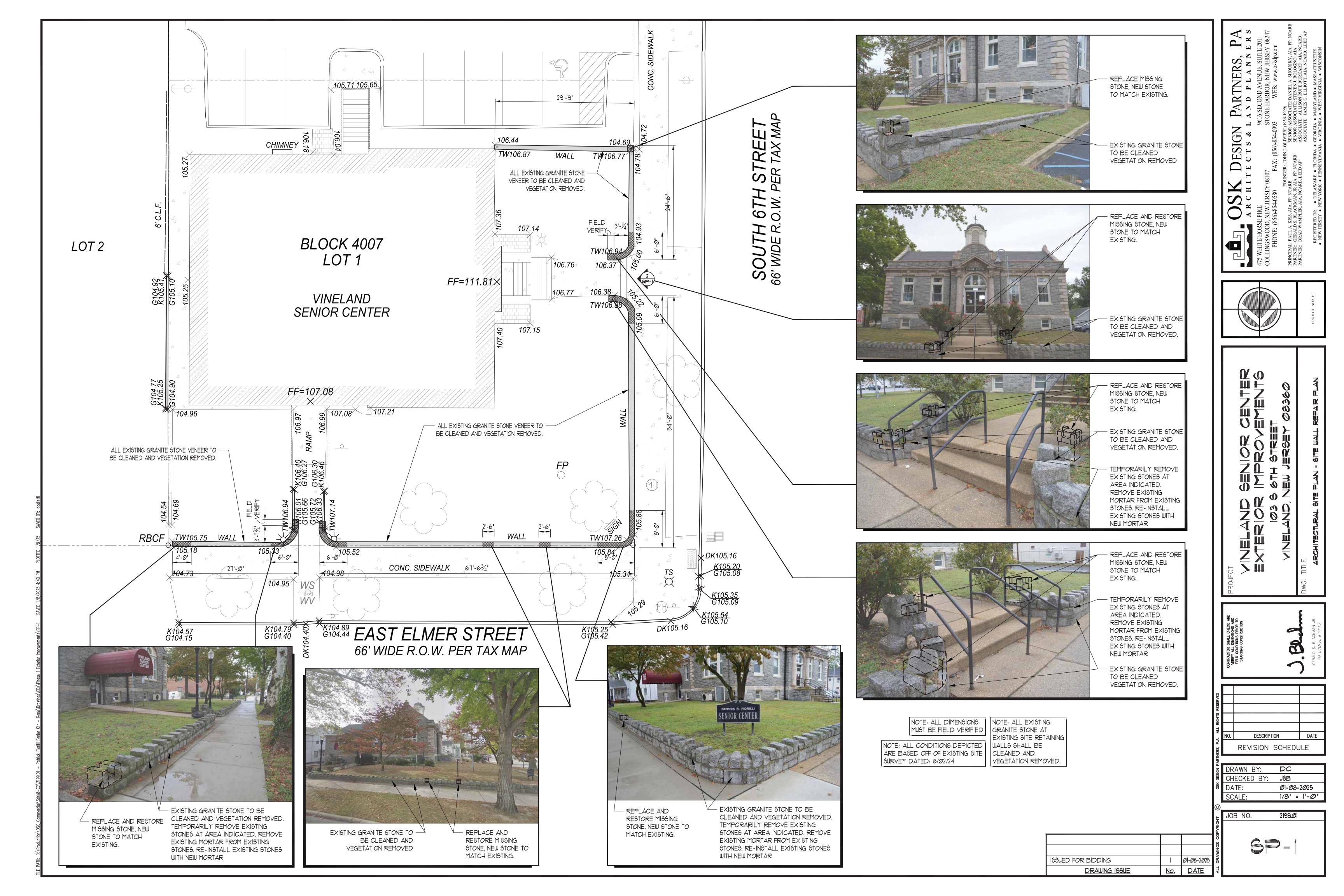
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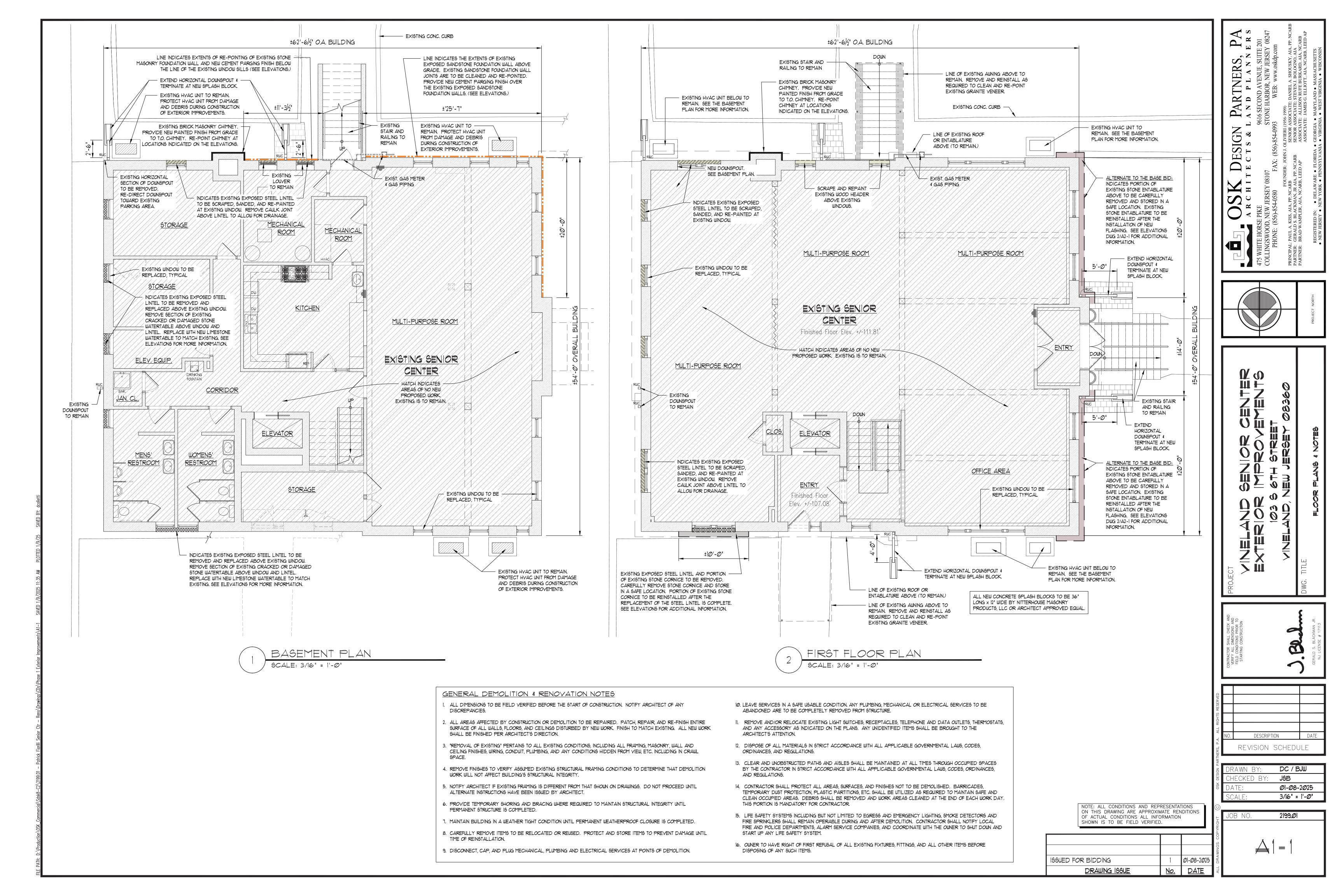
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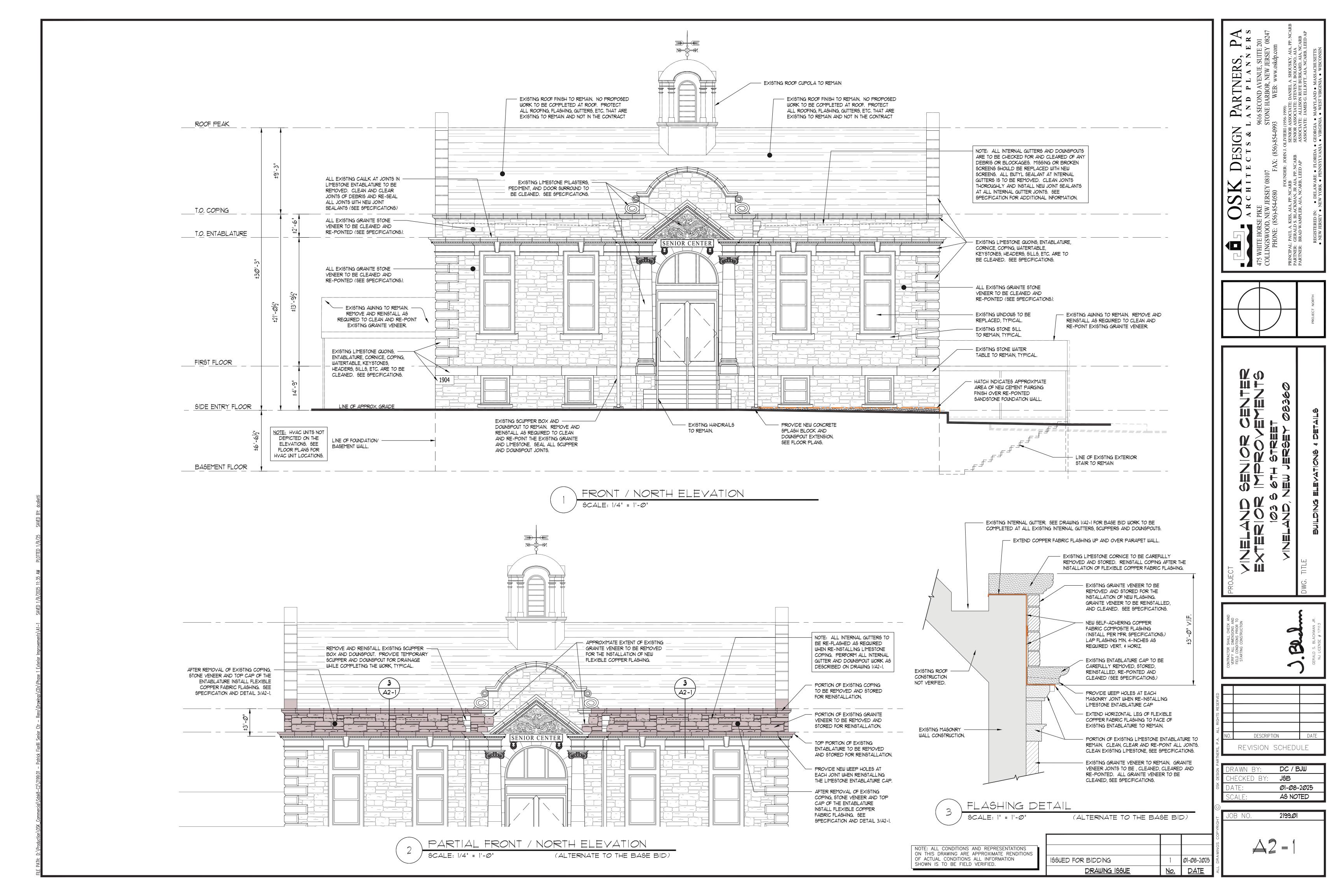
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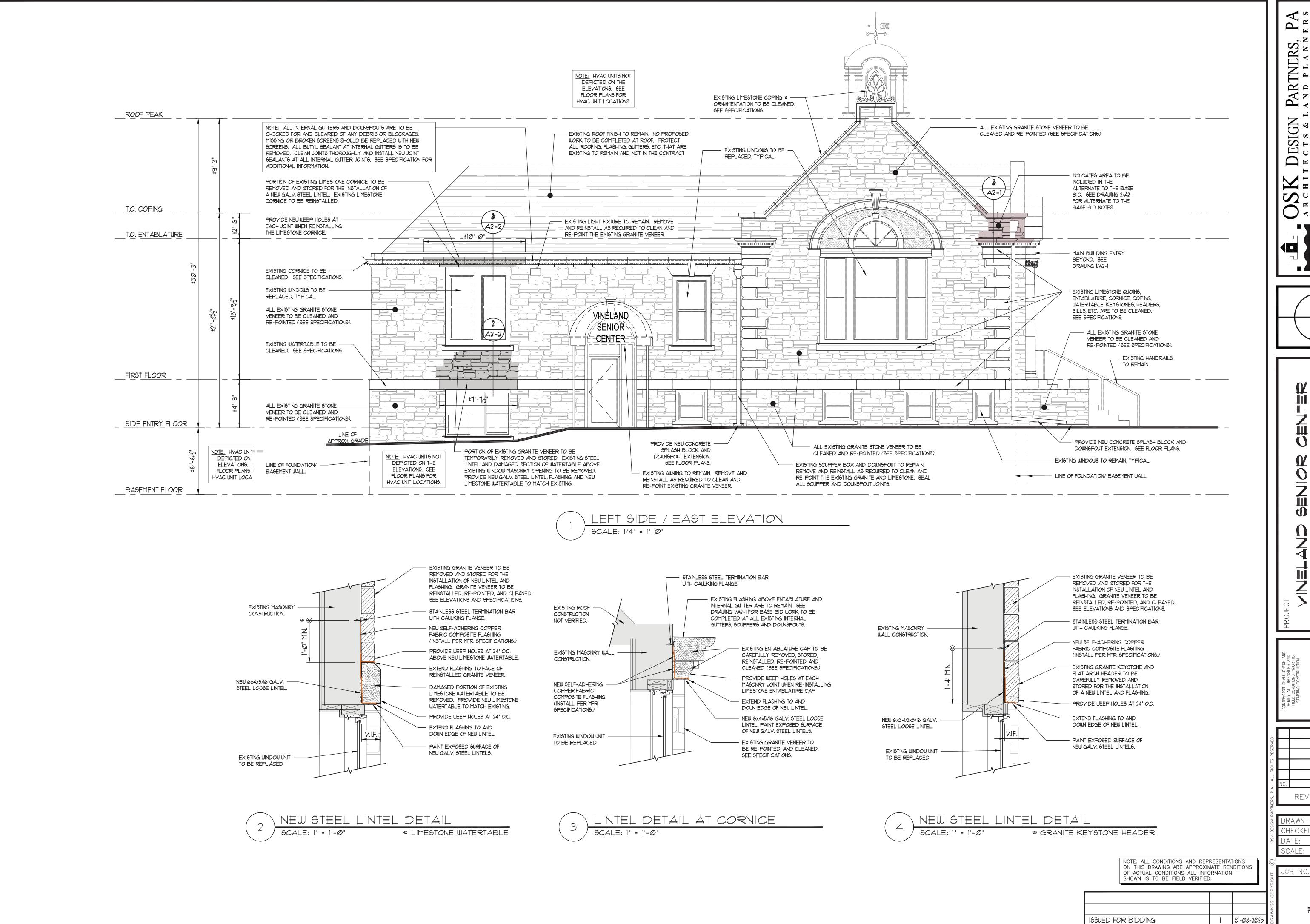
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DATE









SWHITE HORSE PIKE
PHONE: (856)-854-0580
FOUNDER: JOHN J. OLIVIERI (1956-1999)
FOUNDER: DANIE A. SKOCIATE: STONE HARBOR, NEW JERS
FOUNDER: JOHN J. OLIVIERI (1956-1999)
SENIOR ASSOCIATE: DANIEL A. SHOUSKY, SENIOR ASSOCIATE: STEVEN J. BOLOGNO, ASSOCIATE: STEVEN J. BOLOGNO, RTNER: BRAD WAMPLER, AIA, NCARB, LEED AP
ASSOCIATE: ALLISON RUFE BURKARD, AI

INELAND SENIOR CENTE EXTERIOR MEDROVEMENT 103 8 6TH STREET VINELAND, NEW JERSEY 08360

ZING. TITLE

GERALD S. BLACKMAN JR.

NO. DESCRIPTION DATE

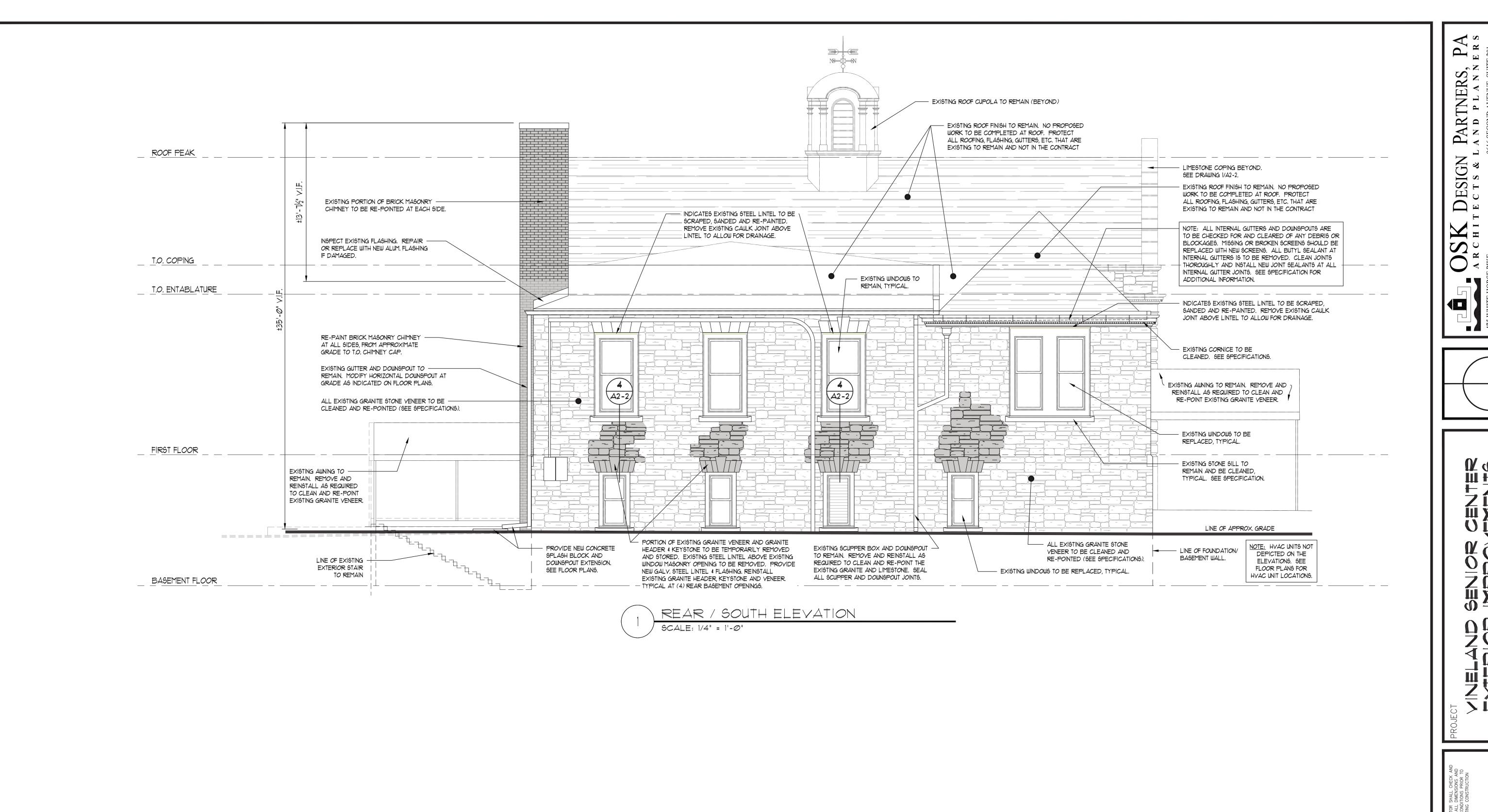
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NOTE: ALL CONDITIONS AND REPRESENTATIONS ON THIS DRAWING ARE APPROXIMATE RENDITIONS OF ACTUAL CONDITIONS ALL INFORMATION SHOWN IS TO BE FIELD VERIFIED.

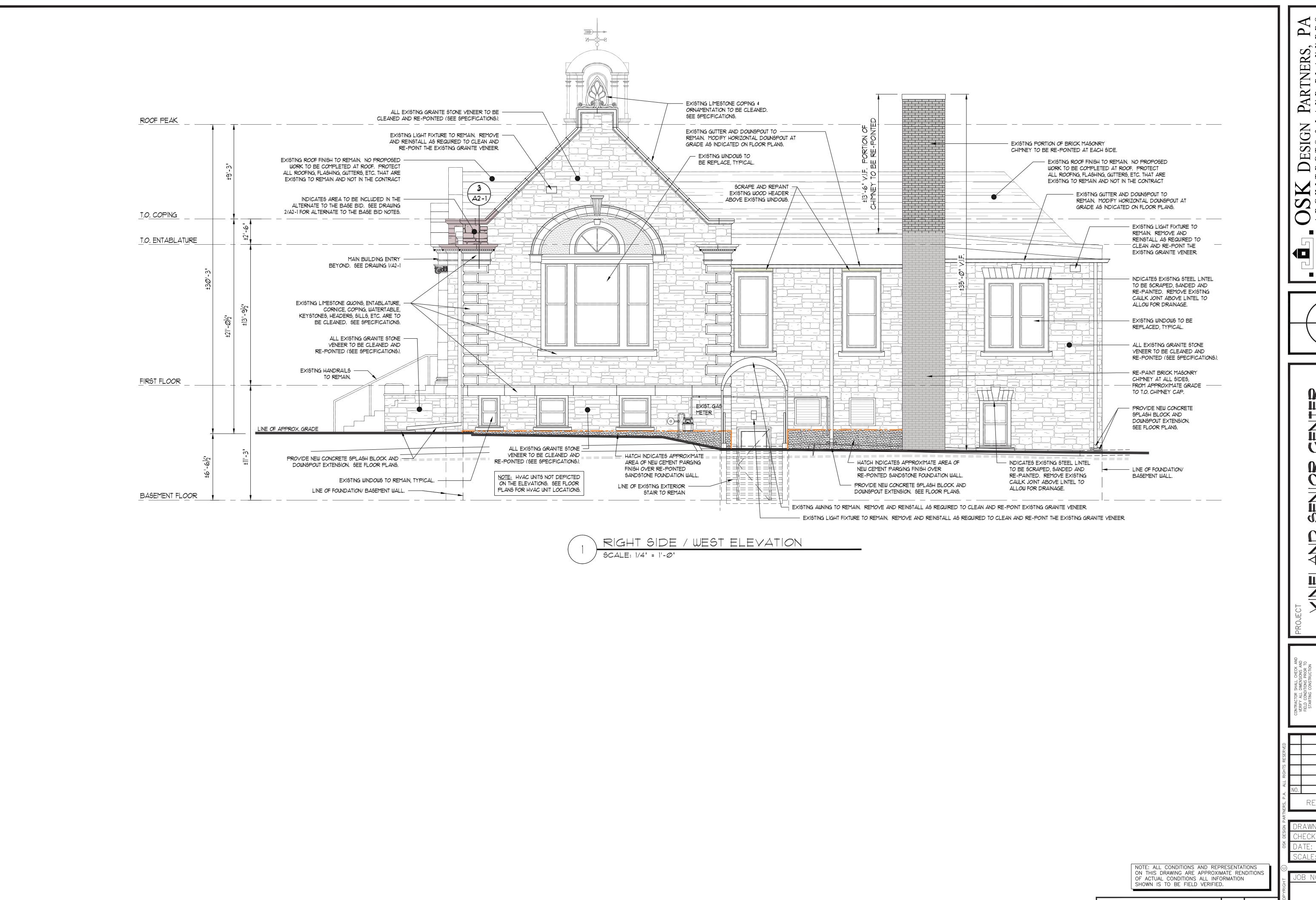
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VINELAND SENIOR CENTER

103 SOUTH 6TH STREET, BLOCK 4007 LOT 1, VINELAND, NEW JERSEY 08360 INTERIOR ALTERATIONS / RENOVATIONS

PLAN REVIEW & GENERAL NOTES PROJECT INFORMATION PLAN REVIEW RECORD INTERIOR FINISHES (CHAPTER 8) **PROJECT:** VINELAND SENIOR CENTER HEIGHT AND AREA COMPUTATIONS: THE BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. THE ALLOWABLE A. INTERIOR WALL & CEILING FINISH REQUIREMENTS BY OCCUPANCY (TABLE 803.11 SPRINKLERED) BUILDING HEIGHT AND ALLOWABLE STORIES ABOVE GRADE PLANE HAVE BEEN DETERMINED LOCATION: 103 S 6TH STREET VINELAND, NEW JERSEY 08360 A. OCCUPANCY GROUP CLASSIFICATION (SECTION 302.1) : (A-3) ASSEMBLY FROM TABLES 504.3 AND 504.4 FOR NON-SPRINKLERED BUILDINGS. THE BUILDING AREA (A,) HAS BEEN DETERMINED FROM TABLE 5062 USING THE ALLOWABLE AREA FACTOR 'NS' FOR (A-3) ASSEMBLY BUILDINGS OF TWO OR MORE STORE ABOVE THE GRADE PLANE. B. ACTUAL BUILDING AREA AND HEIGHT: OCCUPANCY GROUP: A-3, ASSEMBLY INTERIOR EXIT STAIRWAYS, RAMPS & PASSAGWAYS THE BUILDING IS ELIGIBLE FOR A FRONTAGE INCREASE ACCORDING TO SECTION 5063, 15% OF CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRS & RAMPS CLASS A THE BUILDING'S PERIMETER IS ON AN OPEN SPACE WITH A WIDTH GREATER THEN 30 FT. RENOVATION/NEW: BUILDING ALTERATION BASEMENT FLOOR: : 2,981 SF ROOMS AND ENCLOSED SPACES CLASS C 2,953 SF FIRST FLOOR: 3. A FIRE ALARM SYSTEM WILL BE NOT PROVIDED FOR THE BUILDING. NUMBER OF STORIES: ONE-STORY WITH BASEMENT TOTAL FLOOR AREA: : 5,934 SF B. INTERIOR FLOOR FINISH 4. IN GENERAL, DOORS MUST BE AT LEAST 36" WIDE (TO ACHIEVE MINIMUM CLEAR WIDTH OF 32" REQUIRED BY SECTION 1008.1.1). CORRIDORS MUST BE AT LEAST 44' WIDE ACCORDING TO 2. HEIGHT 1. TESTING REQUIREMENTS (SECTION 804.4.1): SECTION 10182. STAIRS MUST BE AT LEAST 44" WIDE ACCORDING TO SECTION 1009.1 WITH TOTAL HEIGHT : 1-STORIES, 30.25' (EXCLUDING CUPOLA) SHALL COMPLY WITH DOC FF-1 'PILL TEST' OR ASTM D2859 HANDRAIL PROJECTIONS OF 41/5" MAX EACH. 2. MINIMUM CRITICAL RADIANT FLUX (SECTION 804.4.2): THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR NOT LESS THAN CLASS II MATERIALS. C. TYPE OF CONSTRUCTION: : '3B' UNPROTECTED TO STARTING CONSTRUCTION : 40-FEET C. DECORATIVE MATERIALS AND TRIM (SECTION 806.1.2 \$ 806.5) I. ALLOWABLE BUILDING HEIGHT (TABLE 504.3) 6. DO NOT "SCALE" FROM THESE DRAWINGS. THE DIMENSIONS INDICATED ON THE DRAWINGS SHALL GOVERN. IF A DISCREPANCY IS NOTED, IMMEDIATELY NOTIFY THE ARCHITECT. NONCOMBUSTIBLE MATERIALS (SECTION 806.2): 2. ALLOWABLE NUMBER OF STORIES (TABLE 504.4) : 1-STORIES THE PERMISSIBLE AMOUNT OF NONCOMBUSTIBLE MATERIALS SHALL NOT BE PROHIBITED. ALL DIMENSIONS INDICATED ON DRAWINGS ARE MEASURED TO THE FACE OF STUD FRAMING. 3. ALLOWABLE BUILDING AREA, At (TABLE 506.2) : 6,000 SF EDGES OF CONCRETE SLABS, FACE OF MASONRY, OR FACE OF CONCRETE WALL. (UNLESS 2. INTERIOR TRIM (SECTION 806.7): NOTED OTHERWISE) THE DIMENSIONS INDICATED ARE NOT CLEAR FINISH TO FINISH DIMENSIONS. MATERIALS (OTHER THAN FOAM PLASTIC) SHALL HAVE A MINIMUM CLASS C FLAME SPREAD AND SMOKE-DEVELOPED INDEX, WHEN TESTED IN ACCORDANCE WITH ASTM ES4 OR UL 123. COMBUSTIBLE TRIM, EXCLUDING HANDRAILS AND THE CABINETRY, CASEWORK, MILLWORK INDICATED ON THE DRAWINGS (WITH PLUMBING FIXTURES GUARDRAILS, SHALL NOT EXCEED 10-PERCENT OF THE SPECIFIC WALL OR CEILING AREA IN WHICH IT IS ATTACHED. TYPE OF CONSTRUCTION (CHAPTER 6) AND FIRE-RESISTIVE CONSTRUCTION (CHAPTER 1) AND/OR APPLIANCES) IS PART OF THE CONTRACTOR'S CONTRACT. COORDINATE INSTALLATION OF ALL MILLWORK, CABINETRY AND CASEWORK WITH THE ARCHITECT (OWNER'S 3. INTERIOR FLOOR-WALL BASE (SECTION 806.8): PROJECT TEAM A. FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601) - 3B CONSTRUCTION REPRESENTATIVE) TO VERIFY CONFIGURATIONS. FLOOR-WALL BASE LESS THAN 6-INCHES IN HEIGHT SHALL NOT BE LESS THAN CLASS II MATERIALS IN ACCORDANCE WITH NFPA 253. (EXCEPTION: INTERIOR TRIM MATERIALS COMPLYING WITH SECTION 806.7) 9. ITEMS THAT ARE NOT PART OF THE CONTRACTOR'S CONTRACT ARE INDICATED BY "(NIC.)" AND 1. STRUCTURAL FRAME : Ø HOUR <u>OWNER:</u> ARE SHOWN DASHED. 2. BEARING WALLS EXTERIOR : Ø HOURS THE CITY OF VINELAND, NEW JERSEY FIRE PROTECTION SYSTEMS (CHAPTER 9) 10. MASONRY DIMENSIONS INDICATED ON DRAWINGS ARE "NOMINAL" DIMENSIONS (NOT ACTUAL). INTERIOR : Ø HOURS 640 EAST WOOD STREET CONCRETE DIMENSIONS INDICATED ON DRAWINGS ARE ACTUAL DIMENSIONS. 3. NONBEARING WALLS AND PARTITIONS NOT REQUIRED VINELAND, NEW JERSEY 08360 EXTERIOR : SEE TABLE 602 AUTOMATIC SPRINKLER SYSTEMS (SECTIONS 903.2.13) PHONE: 856-794-4000 : Ø HOURS 1. OCCUPANCY GROUP: A-3, 3B CONSTRUCTION 4. FLOOR CONSTRUCTION : Ø HOURS : Ø HOURS 5. ROOF CONSTRUCTION CONSTRUCTION MANAGER: STANDPIPE SYSTEMS (SECTION 905.3) 1. OCCUPANCY GROUP: A-3 NEW ROAD CONSTRUCTION MANAGEMENT B. FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR 1816 GREENTREE ROAD, FIRE DEPARTMENT CONNECTIONS (SECTION 912) WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 105.5) CHERRY HILL, NEW JERSEY 08003 1. OCCUPANCY GROUP: A-3 PHONE: 856-424-8888 856-424-1688 FIRE SEPARATION DISTANCE TYPE OF CONSTRUCTION FIRE-RESISTANCE RATING FIRE ALARM & DETECTION SYSTEMS (SECTIONS 907.2.2) 3B 1. OCCUPANCY GROUP: A-3 BRUCE FARRELL EMAIL: bfarrell@newroadconstruction.com EAST: 5 FT+ 1 HOURS FIRE EXTINGUISHERS (SECTION 906.1): -SEE FLOOR PLANS FOR LOCATIONS. EXTINGUISHERS TO COMPLY WITH NFPA-10. ARCHITECT: SOUTH: 30 FT+ OSK DESIGN PARTNERS. PA ROOF COVERING (SECTION 1505.1) WEST: 30 FT+ Ø HOURS 475 WHITE HORSE PIKE, -CLASS 'C' MINIMUM. (CLASS "A" MATERIALS ACTUALLY USED) COLLINGSWOOD, NEW JERSEY Ø81Ø7 PHONE: 856-854-0580 C. MAXIMUM AREA OF EXTERIOR WALL OPENINGS (TABLE 105.8) MEANS OF EGRESS (CHAPTER 10) FAX: 856-854-0993 SOUTH EAST WEST CLASSIFICATION OF OPENING A. OCCUPANCY LOAD (SECTION 1004 & TABLE 1004.1.2) JERRY BLACKMAN, AIA 3Ø FT+ 5 FT+ 3Ø FT+ 3Ø FT+ EMAIL: jblackman@oskdp.com USE GROUP: A-3 UNPROTECTED, NON-SPRINKLERED NO LIMIT NO LIMIT 10% NO LIMIT LOCATION NET FLOOR AREA SQ. FT/ PERSON <u>TOTAL</u> BRAD WAMPLER, AIA BASEMENT FLOOR 85 PERSONS 2,981 SF 35 NET EMAIL: bwampler@oskdp.com FIRST FLOOR 2,953 SF 35 NET 85 PERSONS D. FIRE RESISTANCE RATING REQUIREMENTS FOR MISCELLANEOUS BUILDING ELEMENTS TOTAL OCCUPANCY: 170 PERSONS CODE REFERENCES FIRE WALLS (TABLE 706.4) : NOT APPLICABLE FIRE DOOR & FIRE SHUTTER (TABLE 115.4) B. CAPACITY OF EXITS (SECTION 1005.1) : NOT APPLICABLE CAPACITY UNIT EGRESS WIDTH/ OCCUPANT LOAD 1. INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION, 2021 (IBC) FIRE BARRIERS (SECTION 101.1) USE GROUP: A-3 : I HOUR EXIT ENCLOSURES (SECTION 713.4, 1023, \$ 1024) STAIRWAYS: Ø.3' PER OCCUPANT 2. UNIFORM CONSTRUCTION CODE, STATE OF NEW JERSEY (NJAC) DOOR, RAMPS CORRIDOR: 02" : I HOUR EXIT ENCLOSURE DOORS (TABLE 115.4) LOCATION STAIRWAYS DOORS, RAMPS, CORRIDORS SHAFTS AND ELEVATOR HOISTWAYS (SECTION 708) : 2 HOUR 3. NATIONAL STANDARD PLUMBING CODE, 2021 (NSPC) MIXED OCCUPANCY (TABLE 508.4) : NOT APPLICABLE BASEMENT FLOOR 36" MIN. DOORS, 44" MIN. CORRIDORS FIRST FLOOR 36" MIN. DOORS, 44" MIN. CORRIDORS 4. NATIONAL ELECTRIC CODE, 2020 (NFPA 10) FIRE PARTITIONS (SECTION 109) : NOT APPLICABLE CORRIDOR WALLS (TABLE 1018.1) 5. INTERNATIONAL MECHANICAL CODE, 2021 C. NUMBER OF EXITS (SECTION 1021, TABLE 1021.1) CORRIDOR DOORS (TABLE 115.4) : NOT APPLICABLE USE GROUP: A-3 6. INTERNATIONAL FUEL GAS CODE, 2021 : I HOUR SMOKE BARRIERS (SECTION 1103) <u>LOCATION</u> OCCUPANT LOAD REQUIRED PROPOSED 1-500 PERSONS 2 EXITS 1. ENERGY SUBCODE, AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND BASEMENT FLOOR 2 EXITS STRUCTURAL FRAME (SECTION 104) : Ø HOURS AIR-CONDITIONING ENGINEERS, ASHREA 90:1-2019 1-500 PERSONS 2 EXITS FIRST FLOOR FLOOR CONSTRUCTION (SECTION 111.3) : Ø HOURS D. EXIT SIGNS COMPLYING WITH SECTION 1013 ARE REQUIRED THROUGHOUT THE BUILDING ADDITION DRAWING LIST ROOF CONSTRUCTION (SECTION 111.3) : O HOURS AT ALL EXITS, EXIT ACCESS DOORS, AND ALONG THE PATH OF EGRESS TRAVEL TO EXITS. E. FIRE BLOCKING (SECTION 117.2) G. EXIST ACCESS: COMMON PATH OF EGRESS TRAVEL (TABLE 1006.2.1): -INSTALLED IN LOCATIONS SPECIFIED IN SECTIONS 111.2.2 THROUGH 111.2.1 ARCHITECTURAL DRAWING LIST: OCCUPANCY GROUP: A-3 = 15 FT MAX. F. DRAFTSTOPPING (SECTION 117.4) COVER SHEET - PROJECT INFORMATION & PLAN REVIEW RECORD H. EXIT ACCESS TRAVEL DISTANCE (SECTION 1017 & TABLE 1017.2): -INSTALLED AS INDICATED ON PLANS TO SUBDIVIDE CONCEALED ROOF SPACES INTO MAX HORIZONTAL AREAS OF 3,000 SF. COVER SHEET - ACCESSIBILITY PLAN REVIEW RECORD & PLAN SYMBOLS OCCUPANCY GROUP: A-3 = 200 FT MAX. CS-3 COVER SHEET - ALTERATIONS SUB-CODE REVIEW SUMMARY DI-I BASEMENT DEMOLITION PLAN CORRIDORS (SECTION 1020) D1-2 FIRST FLOOR DEMOLITION PLAN 1. CONSTRUCTION (SECTION 1018.1) CORRIDORS SHOULD BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 1020.1 BASEMENT FLOOR PLAN FIRST FLOOR PLAN OCCUPANCY GROUP OCCUPANT LOAD SERVED BY CORRIDOR REQUIRED FIRE-RESISTANCE RATING BASEMENT FLOOR REFLECTED CEILING PLAN A1-3 GREATER THAN 30 FIRST FLOOR REFLECTED CEILING PLAN BUILDING ELEVATIONS BUILDING ELEVATIONS 2. CORRIDOR WIDTH & CAPACITY (SECTION 10202 & TABLE 10202) A2-3 BUILDING ELEVATIONS CORRIDOR WIDTH SHALL BE AS DETERMINED IN SECTION 1005.1, BUT NOT LESS THAN 44". 42-4BUILDING ELEVATIONS 3. DEAD ENDS (SECTION 1020.4) STAIR ENCLOSURE SECTIONS AND DETAILS EXIT ACCESS SHALL BE ARRANGED SUCH THAT THERE ARE NO DEAD END CORRIDORS MORE THAN 20 FEET IN LENGTH. SCHEDULES JOB NO. WINDOW DETAILS A5-2 WINDOW DETAILS A5-4 TRIM DETAILS / INTERIOR ELEVATION REPAIR MILLWORK PLANS AND ELEVATIONS MILLWORK DETAILS

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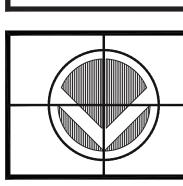
VINELAND SENIOR CENTER

103 SOUTH 6TH STREET, BLOCK 4007 LOT 1, VINELAND, NEW JERSEY 08360 BUILDING ALTERATION

CCESSIBLE SITE & EXT	LEKIUK FA	CILITY REC	QUIREMEN IS	BARRIER FRE	EE ACCESS	SIBILITY REQU	IKEMENIS	K	EY TO SYMBOLS	HAICE	1
PARKING: (SEE SITE PLAN)	CODE SECTION	REQUIREMENT	PROPOSED	ACCESSIBLE BUILDING REQUIREMENTS	CODE SECTION	REQUIREMENT	PROPOSED_	EARTHWORKS	COMPACTED CRUSHED STONE		
TOTAL NUMBER OF ON-SITE PARKING SPACES	:	;	: (17) SPACES	RAMPS:							
ACCESSIBLE PARKING SPACES REQUIRED	: IBC NJ 2018, 1106.1	: (1) SPACES	: (1) SPACES	SLOPE	: ICC/ANSI 405.2	: 1:12 MAX.	: NOT APPLICABLE	CAST-IN CONCRE	-PLACE TE		
SIZE OF PARKING SPACE	: ICC/ANSI 5022	: 8' x 18' WITH	: 8' x 18' W/	MAX RISE PER RAMP RUN	: ICC/ANSI 405.6	: 30' MAX.	: NOT APPLICABLE	CONCRETE			
		5' WIDE AISLE	5'-@" WIDE AISLE	WIDTH	: ICC/ANSI 405.5	: 36" MIN.	: NOT APPLICABLE	FINISH W	OOD PLYWOOD	RO	JGH
SIGNAGE TYPE AT EACH ACCESSIBLE PARKING SPACE	: IBC NJ 2018, 1106.8	: RT-8 WITH RT-8P BELOW	: RT-8 WITH RT-8P AND RT-8V	TOTAL LENGTH	:	:	: NOT APPLICABLE	WOOD	, , , , , , , , , , , , , , , , , , , ,		
VAN ACCESSIBLE PARKING SPACES	: IBC NJ 2018, 1106.5	: (1) PER (6) SPACES	BELOW	LANDING	: ICC/ANSI 405.7	: RAMP WIDTH x 5'-0" LONG AT	: NOT APPLICABLE	MILLWOF	* PAVERS		
AISLE WIDTH AT VAN SPACES	: ICC/ANSI 502.3.1	: 8'-0"	: (1) SPACES		ICCANCL ACT O	EVERY 30'-0' MAX. RUN	Not Applicable	MISCELLANEOUS			
VERTICAL CLEARANCE AT VAN SPACE	: ICC/ANSI 502.5	: 8'-2" MIN.	: 8'-Ø" WIDE	HANDRAILS	: ICC/ANSI 405.8	: DIA. 1 1/4"-2" O.D. HT. 2'-10"- 3'-2" TOP AND BOTTOM 12"	: NOT APPLICABLE	CONCRE	TE BLOCK DECORATIVE	<	
BUILDING ENTRANCES			: UNLIMITED	DOORS:		EXTENSIONS		BRICK	BRICK (ELEVATION	ON)	
TOTAL NUMBER OF ENTRANCES	;	:		MIN. SIZE	: ICC/ANSI 404.2.3	: 3'-0" x 6'-8"	: 3'-0" × 7'-0" MIN. FOR	MASONRY			
TOTAL NUMBER OF PUBLIC ENTRANCES			: (3) ENTRANCES				ACCESSIBLE DOORS	STEEL			
	;	(1) FNTD ANCE	: (1) ENTRANCES	THRESHOLD HEIGHT	: ICC/ANSI 404.2.5	: 1/2" MAX.	: 1/2" MAX.	METAL			
NUMBER OF ACCESSIBLE ENTRANCES	: IBC NJ 2018, 1105.1	: (1) ENTRANCE	: (2) ENTRANCES	HARDWARE	: ICC/ANSI 404.2.7	: LEVER, PUSH/ PULLS, PANIC	: LEVER, PUSH, PULL, PANIC	BATT/LC	OSE FILL RIGID		
CHANGE IN GRADE (EXTERIOR TO INTERIOR)	: ICC/ANSI 3Ø3.2	: 1/2" MAX.	: 1/2" MAX.	ACCESSIBLE ROUTES:				INSULATION			
				MIN. WIDTH	: ICC/ANSI 403.5	: 36'	: 36' MIN.	GYPSUM FINISHES	WALLBOARD		
INIMUM NUMBER OF I	KEQUIKED	LLUMBIN(J FIX I UKES	MIN. DOORWAY WIDTH (OPENINGS WITHOUT DOORS)	: ICC/ANSI 403.5	: 32" NOT TO EXCEED 24" DEPTH			-		
USE GROUP: A-3				MIN. VERTICAL CLEARANCES	: ICC/ANSI 3Ø7.4	: 6'-8"	: 7'-Ø' MIN.		NEW DOOR AND FRAME		IASE OR OPENING
A. FLOOR AREA: BASEMENT FLOOR: 2,981 SF					. 100/AI(01 30 1)-1		. 1 30 1 11113.			(1) 1	CCESSIBILITY CLEARANCES
FIRST FLOOR: 2,953 SF TOTAL FLOOR AREA: 5,934 SF				TOILET FACILITIES:	CODE SECTION	REQUIREMENT	PROPOSED				CCE66 PANEL
B. OCCUPANCY PER EGRESS REQUIREMENTS: (170) PERS	ONS FOR BUILDING.			SEAT HEIGHT	: ICC/ANSI 604.4	: 15"-19"	: 15"-19"		(1 HR.) FIRE RATED PARTITION	A.P.	ONCRETE FILLED, GALVANIZED STEEL
(GROUP A-3 AREA/ 35 SF/PERSON FOR DAY CARE)				CONTROLS HEIGHT	: ICC/ANSI 604.6	:44" MAX.	: 44" MAX.		(2 HR) FIRE RATED PARTITION		PE BOLLARD WITH PEWTER FINISH
C. OCCUPANCY FOR PLUMBING FIXTURE REQUIREMENTS: (OCCUPANCY = EGRESS OCCUPANCY (*B ABOVE) X 3/2				GRAB BARS	: ICC/ANSI 604.5	: 1 1/4" - 1 1/2" O.D.	: 1 1/2" O.D.			RD 4' 9E	DIA. ROOF DRAIN. W/ 4" DIA. DOWNSPOU" E ROOF PLAN.
D. NUMBER OF PERSONS FOR EACH SEX: (51) PERSONS EACH SEX = NSPC OCCUPANCY (*C ABOVE) x 50%				DIAMETER	;	: 33' - 36'	: 33'		(1 HR) FIRE RATED BARRIER	SE BE	CONDARY ROOF DRAIN. TO GRADE. TOF E 4' ABV. ROOF SURFACE. SEE ROOF PL
E. TOTAL FIXTURES REQUIRED:				HEIGHT	;	: 3'-0", 3'-6", 1'-6"	: 3'-0", 3'-6", 1'-6"		(2 HR.) FIRE RATED BARRIER	П	DIA. ROUND DOWNSPOUT FROM GUTTER
1. WATER CLOSETS MALE- 2 FEMALE- 2				LENGTH	:	: 15"-48" TO CENTER LINE	: 24" TO CENTER LINE MAX.			DO 4	DIA. ROUND DOWNSPOUT FROM GUTTER
2. LAVATORIES MALE- 2 FEMALE- 2				TOILET PAPER HOLDER HEIGHT	: ICC/ANSI 604.7		: SEE DRAWING A5-1	1	REVISION NUMBER	A-1	BUILDING OR WALL SECTION
F. MALE FIXTURES PROVIDED: 1. WATER CLOSETS= 1				CLEAR FLOOR AREA	: ICC/ANSI 604.3 OR	: 56" MIN. x 60" MIN.			WINDOW TYPE/ALUM. STOREFRONT		ì
2. URINALS= 2 LAYATORIES= 2					ICC/ANSI 604.8	59' MIN. x 60' MIN.		(101)	TYPE DOOR AND FRAME NUMBER	(A-1)	DETAIL
G. FEMALE FIXTURES PROVIDED:				NUMBER OF WATER CLOSETS	: NSPC TABLE 7.21.1	: 2 MALE, 2 FEMALE	: (2) MALE, (2) FEMALE	<u></u>	PARTITION TYPE	1 A-1	ELEVATION DETAIL
 WATER CLOSETS = 2 LAYATORIES = 2 				NUMBER OF ACCESSIBLE WATER CLOSETS	: IBC NJ 2015, 1109.2.2	: (1) PER TOILET FACILITY (4) TOTAL	: (2) MALE, (2) FEMALE (3) TOTAL	(A)	TOILET ROOM ACCESSORY	*	
H. DRINKING FOUNTAINS: I PER 100 OCCUPANTS. NSPC SI REQUIREMENT FOR DRINKING WATER FACILITIES FOR EI				NUMBER OF URINALS	: NSPC TABLE 7.21.5, a.	: 50% OF REQ'D W.C. MAX.	: (Ø) PROVIDED	_		•	ELEVATION, DATUM OR BEN
I. (1) SERVICE SINK IS REQUIRED PER FLOOR. (1) SERVICE				NUMBER OF LAVATORIES	: NSPC TABLE 7.21.1	: (2) MALE, (2) FEMALE	: (2) MALE, (2) FEMALE			+B	HOSE BIBB, FROST PROOF AT EXTERIOR LOCATIONS
				NUMBER OF ACCESSIBLE LAVATORIES	: IBC NJ 2015, 1109.2.3	: (1) PER TOILET FACILITY	: (2) MALE, (2) FEMALE		OOF SCUTTLE W. GUARD. SEE ROOF PLAN.	⊕ FD	FLOOR DRAIN W/ INLET GRATE
A CCECCIDII I	TV NOTEC				1,50,10,25,6,15,625	(4) TOTAL	(4) TOTAL			₩ FE I	FIRE EXTINGUISHER
ACCESSIBILI	II NOIES			CLEAR FLOOR AREA	: ICC/ANSI 606.2	: 2'-6" × 4'-0"	: 2'-6" × 4'-0"	R	POF EXHAUSTER. SEE ROOF PLAN.		IN SEMI-RECESSED CABINET ("JL INDUSTRIES - AMBASSADOR"
1. THERE ARE A TOTAL OF (3) TOILET ROOMS IN THE BUILT LOCATED AT THE LOWER LEVEL. A SINGLE USE TOILET			RE	RIM OR COUNTER HEIGHT	: ICC/ANSI 606.3	: 2'-1Ø"	: 2'-10"				*2017-V-10 W/ RED VERTICAL LET
ONE DRINKING FOUNTAIN IS PROVIDED FOR THE BUILDIN			OVIDED	SIZE OF KNEE SPACE	: ICC/ANSI 6062	: 2'-6" x 1'-7" x 2'-5" HIGH	: 2'-6" x 1'-7" x 2'-5" HIGH		POF-TOP MOUNTED HYAC EQUIPMENT. E ROOF PLAN.	FE 2	WALL-MTD., FIRE EXTINGUISHER W. MOUNT BRACKET AND SIGN. (10 I TYPE ABC, MULTI-PURPOSE,
OBTAINED FROM THE SINK IN KITCHEN 004.				MIRROR MOUNTING HEIGHT	: ICC/ANSI 603.3	: 40' MAX.	: 40" MAX.	FI.	JE FOR FUEL-BURNING: APPLIANCE,		DRY CHEMICAL, UL '4A-80BC')
3. NEW UNISEX SINGLE USER TOILET ROOM TO BE INSTALLE	ED ON FIRST FLOOR (ROOM 107	1) WILL BE ACCESSIBLE.		(BOTTOM OF REFLECTING SURF.)			Not Applicable	S OF	R EXHAUST RISER. SEE MECHANICAL DWGS	K	KNOX BOX RAPID ENTRY SYSTEN #3264, SURFACE-MTD. ALUMINUM W
				NUMBER OF SHOWERS	;	;	: NOT APPLICABLE	VTR O 3'	PLUMBIMG VENT THRU-ROOF. E PLUMBING DRAWINGS.		TAMPER SWITCH.
				NUMBER OF ACCESSIBLE SHOWERS	: IBC NJ 2015, 1109.2	: (1) PER BATHING FACILITY	: NOT APPLICABLE			ALT.	ALUMINUM THRESHOLD
					CODE SECTION	REQUIREMENT	PROPOSED	1 A-1	DRAWING NUMBER SHEET NUMBER	+ + + + + + + + + + + + + + + + + + + +	MILLWORK BY G.C., SEE DETAILS ON DWG A6-1
				DRINKING FOUNTAINS:						_ C.J.	CONTROL JOINT
				TOTAL NUMBER PROVIDED	: NSPC TABLE 7.21.1	: 1 PER 100 PEOPLE	: Ø	OFFICE DEL	ROOM NUMBER	_ C.G.	INDICATES CORNER OR END OF
				NO. OF ACCESSIBLE DRINKING FOUNTAINS	: IBC NJ 2015, 1109.5.1	: 1	: Ø	(A)	COLUMN LINE IDENTIFICATION NUMBER/LETTER	7	WALL VINYL WALL PROTECTION (INPRO CORPORATION, *130,
				CLEAR FLOOR AREA	: ICC/ANSI 602.2	: 2'-6" × 4'-0"	: 2'-6" × 4'-0"	1)——	ROOF DETAIL NUMBER.		3 INCH CORNER GUARD, SURFACE MOUNTED, 8'-0" HEIGHT
				MOUNTING HEIGHT TO SPOUT	: ICC/ANSI 602.4	: 3'-Ø"	: 3' -Ø'	Ø3 - Ø1	SPECIFICATION NOTE NUMBER	(*) _{FT}	INDICATES FULLY TEMPERED SAFETY GLAZING
								REFERS TO NOTE		FR	FLOOR AND ROOF TRUSS WALL
										<u> </u>	MOUNTED SIGN
										1	

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JOB NO. 2199.01

- (A) ALTERATIONS, AS DEFINED IN N.J.A.C. 5:23-6.3, SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION.
- (B) ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER
- (C) THE WORK SHALL NOT CAUSE ANY DIMINUTION OF EXISTING STRUCTURAL STRENGTH, SYSTEM CAPACITY OR MECHANICAL VENTILATION BELOW THAT WHICH EXISTS AT THE TIME OF APPLICATION FOR A PERMIT OR THAT WHICH IS REQUIRED BY THE APPLICABLE SUBCODES OF THE UNIFORM CONSTRUCTION CODE, WHICHEVER IS LOWER. THE REPLACEMENT OR ADDITION OF FIXTURES, EQUIPMENT OR APPLIANCES SHALL NOT INCREASE LOADS ON THESE SYSTEMS UNLESS THE SYSTEM IS UPGRADED IN ACCORDANCE WITH THE APPLICABLE SUBCODE OF THE UCC TO ACCOMMODATE THE INCREASED LOAD.
 - NEWLY INTRODUCED FIXED LOADS SHALL NOT EXCEED THE UNIFORMLY DISTRIBUTED LIVE LOADS OR CONCENTRATED LIVE LOAD CRITERIA OF TABLE 1607.1 OF THE BUILDING SUBCODE OR TABLE R301.5 OF THE ONE- AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE, AND SHALL NOT CREATE DEFLECTION THAT EXCEEDS THE STANDARDS SET FORTH AS USED IN THIS SECTION, FIXED LOADS SHALL MEAN UNIFORM OR CONCENTRATED LOADS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, EQUIPMENT, FILES, LIBRARY STACKS, OR SIMILAR LOADING CONDITIONS. (BUILDING)
 - i. FOR WOOD FRAME CONSTRUCTION, DEFLECTION SHALL NOT EXCEED L/180 FOR ROOFS WITH A SLOPE OF 3 IN 12 OR LESS OR L/120 FOR ROOFS WITH A SLOPE OF GREATER THAN 3 IN 12 AND FOR FLOORS.
 - FOR STEEL FRAME CONSTRUCTION, DEFLECTION SHALL NOT EXCEED L/240 FOR ROOFS WITH A SLOPE OF 3 IN 12 OR LESS OR L/180 FOR ROOFS WITH A SLOPE OF GREATER THAN 3 IN 12 AND FOR FLOORS.
 - III. FOR CONCRETE CONSTRUCTION, DEFLECTION SHALL NOT EXCEED L/180 FOR ROOFS OR L/240 FOR FLOORS.
 - FIRE PROTECTION SYSTEM REMOVAL: ANY FIRE PROTECTION SYSTEM PROVIDING PARTIAL OR REDUNDANT PROTECTION ORIGINALLY INSTALLED TO PROTECT A SPECIAL HAZARD THAT NO LONGER EXISTS AND THAT IS NOT REQUIRED IN ACCORDANCE WITH THE CURRENT UNIFORM CONSTRUCTION CODE, IS ALLOWED TO BE REMOVED WITH THE WRITTEN APPROVAL OF THE FIRE SUBCODE OFFICIAL AND FIRE OFFICIAL. ALL DISCONNECTED EQUIPMENT AND DEVICES, SUCH AS PULL STATIONS, NOZZLES, DETECTORS, SPRINKLERS, SENSORS, PANELS AND HOSE CONNECTIONS, SHALL BE REMOVED SO AS NOT TO GIVE A FALSE INDICATION THAT THE STRUCTURE, AREA OR SPACE IS PROTECTED. (FIRE)
 - NO WORK SHALL BE UNDERTAKEN THAT DIMINISHES ACCESSIBILITY BELOW THAT WHICH IS REQUIRED BY CHAPTER II OF THE BUILDING SUBCODE. (BUILDING)
 - CONSTRUCTION MATERIALS USED AS PART OF AN ALTERATION PROJECT SHALL BE CONSISTENT WITH THE EXISTING CONSTRUCTION TYPE OR THE ALLOWABLE CONSTRUCTION TYPE, WHICHEVER IS LESS RESTRICTIVE. (PLAN REVIEW - BUILDING, FIRE. INSPECTION - BUILDING)
- (D) THE FOLLOWING PRODUCTS AND PRACTICES SHALL NOT BE USED:
 - WOOD PANELING BEING USED AS AN INTERIOR FINISH NOT IN CONFORMANCE WITH TABLE 2 OF N.J.A.C. 5:23-6.11 OF THIS SUBCODE + (BUILDING)
 - 2. CARPET USED FOR FLOOR COVERING THAT FAILS TO MEET THE DOC FF-1 "PILL TEST" (CONSUMER PRODUCT SAFETY COMMISSION IS CFR 1630)± (PLAN REVIEW - BUILDING, FIRE. INSPECTION - BUILDING)
 - ELECTRICAL MATERIALS/SUPPLIES: UNLISTED OR UNAPPROVED ELECTRICAL PRODUCTS. AS STATED IN THE NATIONAL ELECTRICAL CODE (SECTIONS 90.1, 1102, 1103, AND ARTICLE 100), ONLY ELECTRICAL PRODUCTS LISTED, LABELED, APPROVED, AND IDENTIFIED ARE ACCEPTABLE. APPROVAL IS TO BE BASED ON TESTS AND LISTINGS OF TESTING LABORATORIES SUCH AS UNDERWRITERS LABORATORIES, INC. (UL.), FACTORY MUTUAL (FM) OR CANADIAN STANDARDS ASSOCIATION/NATIONALLY RECOGNIZED TESTING LABORATORY (CSA/NRTL), ETC.± AND (ELECTRICAL)
 - 4. PLUMBING MATERIALS AND SUPPLIES:
 - i. ALL PURPOSE SOLVENT CEMENT±
 - II. CLEAR PB (POLYBUTYLENE) PIPING±
 - III. FLEXIBLE TRAPS AND TAILPIECES±
 - IV. SHEET AND TUBULAR COPPER AND BRAGG TRAP AND TAILPIECE FITTINGS LEGG THAN B4S (BROWN 4 SHARPE) IT GAUGE (.045 INCH)± AND
 - SOLDER HAVING MORE THAN 02 PERCENT LEAD SHALL NOT BE USED IN THE REPAIR OF POTABLE WATER SYSTEMS. (PLUMBING)
- 5. BARS, GRILLES AND SCREENS SHALL NOT BE PLACED OVER EMERGENCY ESCAPE WINDOWS OR DOORS IN GROUPS R OR I-1 UNLESS THEY ARE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR THE NORMAL OPERATION OF THE WINDOW OR DOOR (BUILDING)
- 6. THE FOLLOWING PRACTICES SHALL NOT BE USED ON PAINTED SURFACES IN ALL BUILDINGS OF GROUP R THAT WERE CONSTRUCTED BEFORE 1978, GROUP E AND GROUP 1-4 BUILDINGS USED AS CHILD-CARE FACILITIES UNLESS THE PAINTED SURFACE HAS BEEN TESTED AND FOUND TO BE FREE OF LEAD-BASED PAINT:
 - I. OPEN FLAME BURNING OR THE USE OF HIGH TEMPERATURE (IN EXCESS OF 1100 DEGREES FAHRENHEIT)
 - II. POWER SANDING OR SANDBLASTING, UNLESS A SPECIAL HEPA (HIGH EFFICIENCY PARTICULATE AIR) FILTER EQUIPPED VACUUM ATTACHMENT IS USED TO CONTAIN DUST:
 - III. UNCONTAINED WATER BLASTING OR POWER WASHING! OR
 - IV. DRY SCRAPING OR SANDING MORE THAN TWO SQUARE FEET PER ROOM (INTERIOR) OR 10 SQUARE FEET OR MORE PER BUILDING (EXTERIOR). (BUILDING)
 - 1. A MIRROR SHALL NOT BE PLACED IN OR ADJACENT TO ANY MEANS OF EGRESS SO AS TO CONFUSE THE DIRECTION OF EGRESS OR GIVE THE APPEARANCE OF A DOORWAY, EXIT, OR PASSAGEWAY. DRAPERIES OR SIMILAR HANGINGS SHALL NOT OBSCURE AN EXIT. (PLAN REVIEW - BUILDING, FIRE. INSPECTION - BUILDING)
 - i. EXCEPTION: WITHIN DWELLING UNITS OF GROUPS R-2, R-3, R-4 AND R-5.
- (E) THE FOLLOWING PRODUCTS AND PRACTICES SHALL BE REQUIRED, WHEN APPLICABLE:
 - WHEN ANY WATER CLOSET IS REPLACED, THE REPLACEMENT WATER CLOSET SHALL REQUIRE NOT MORE THAN 1.6 GALLONS OF WATER PER FLUSH AS REQUIRED BY THE PLUMBING SUBCODE. (PLUMBING.)
 - IN BUILDINGS REQUIRED BY CHAPTER II OF THE BUILDING SUBCODE TO BE ACCESSIBLE, WHEN BATHROOMS OR TOILET ROOMS ARE ALTERED, THE FOLLOWING REQUIREMENTS FOR PROVIDING ACCESSIBILITY SHALL APPLY UNLESS THE REQUIREMENTS OF CHAPTER II OF THE BUILDING SUBCODE HAVEBEEN MET:
 - WHEN TOILET PARTITIONS ARE MOVED OR INSTALLED, BUT EXISTING FIXTURES ARE NOT BEING MOVED, AN ACCESSIBLE STALL COMPLYING WITH ICC A117.1, SECTION 604.9, SHALL BE CREATED PROVIDED THAT THIS CAN BE ACCOMPLISHED WITHOUT MOVING FIXTURES. (BUILDING)
 - WHEN BATHROOM FIXTURES OR HARDWARE ARE REPLACED, THE REPLACEMENT FIXTURES OR HARDWARE SHALL COMPLY WITH ICC AIIT.I, SECTIONS 603 THROUGH 608, AS APPLICABLE, FOR NONRESIDENTIAL BUILDINGS ORICC AIIT.I, CHAPTER 10, FOR RESIDENTIAL BUILDINGS REQUIRED BY CHAPTER II OF THE BUILDING SUBCODE TO BE ACCESSIBLE. (PLUMBING.)
 - III. WHERE FULL COMPLIANCE IS TECHNICALLY INFEASIBLE, A SINGLE FIXTURE UNISEX ACCESSIBLE BATHROOM SHALL BE PERMITTED. THIS MAY BE ACCOMPLISHED BY PROVIDING TWO UNISEX BATHROOMS, ONE OF WHICH IS ACCESSIBLE. (BUILDING)
 - IV. WHERE IT IS TECHNICALLY INFEASIBLE TO GAIN COMPLIANCE WITH THE ALTERED BATHROOM, SIGNAGE TO THE CLOSEST ACCESSIBLE BATHROOM (IF ANY) SHALL BE PROVIDED AT THE ALTERED BATHROOM. (BUILDING)
- 3. IN BUILDINGS REQUIRED BY CHAPTER 11 OF THE BUILDING SUBCODE TO BE ACCESSIBLE, WHEN SPACE IS RECONFIGURED, THE ALTERED SPACE SHALL COMPLY WITH CHAPTER II OF THE BUILDING SUBCODE. WHERE FULL COMPLIANCE IS TECHNICALLY INFEASIBLE, COMPLIANCE SHALL BE ACHIEVED TO THE MAXIMUM EXTENT FEASIBLE. (BUILDING)
- 4. REPLACEMENT DOORS SHALL COMPLY WITH THE FOLLOWING: (BUILDING)
- I. IN BUILDINGS REQUIRED BY CHAPTER II OF THE BUILDING SUBCODE TO BE ACCESSIBLE, WHEN NEW DOOR OPENINGS ARE CREATED, EXISTING DOOR OPENINGS ARE ENLARGED OR DOOR ASSEMBLIES ARE REPLACED AND THE REQUIRED DOOR WIDTH CAN BE ACHIEVED WITHIN THE EXISTING OPENING, THE NEW DOOR SHALL COMPLY WITH ICC AIIT.I, SECTION 404. (1) IF THE DOOR BEING ADDED, ENLARGED, OR REPLACED IS A BUILDING ENTRANCE AND AT LEAST 60 PERCENT OF THE ENTRANCE DOORS ARE ACCESSIBLE, THEN THE DOOR BEING ADDED, ENLARGED, OR REPLACED IS NOT REQUIRED TO COMPLY WITH ICC AIIT, I, SECTION 404.

- II. REPLACEMENT DWELLING UNIT, GUEST ROOM OR ROOMING UNIT CORRIDOR DOORS IN GROUPS 1-1, R-1 OR R-2 SHALL BE 13/4 INCH SOLID CORE WOOD OR APPROVED EQUAL WITH APPROVED DOOR CLOSERS AND SHALL NOT HAVE ANY GLASS PANELS, OTHER THAN APPROVED WIRE GLASS IN METAL FRAMES. (1) 13/8 INCH SOLID CORE REPLACEMENT DOORS SHALL BE ACCEPTED IF THE EXISTING FRAME IS NOT BEING REPLACED AND WILL ACCOMMODATE ONLY A 13/8 INCH DOOR
- 5. IN BUILDINGS REQUIRED BY CHAPTER II OF THE BUILDING SUBCODE TO BE ACCESSIBLE, WHEN ENTRANCE STEPS ARE BEING REPLACED, AN ACCESSIBLE ENTRANCE SHALL BE PROVIDED IF THIS DOES NOT ADD MORE THAN 20 PERCENT TO THE COST OF REPLACING THE STEPS. (BUILDING)
 - 1. IF AT LEAST 60 PERCENT OF THE OTHER BUILDING ENTRANCES ARE ACCESSIBLE, THEN THE INSTALLATION OF A RAMP SHALL NOT BE REQUIRED.
- WHEN PROVIDING VERTICAL ACCESS IS PART OF THE SCOPE OF WORK, A LIMITED USE LIMITED APPLICATION ELEVATOR OR PLATFORM LIFT MAY BE INSTALLED AS PERMITTED BY CHAPTER II OF THE BUILDING SUBCODE. (BUILDING)
- REPLACEMENT GLASS SHALL COMPLY WITH THE "SAFETY GLAZING" REQUIREMENTS OF THE BUILDING SUBCODE AND SHALL BE INSTALLED IN THE "HAZARDOUS LOCATIONS" AS SPECIFIED BY SECTIONS 2406.4 AND 2406.5 OF THE BUILDING SUBCODE OR BY SECTION R308.4 OF THE ONE- AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE. (BUILDING)
- WHERE A FIREPROOFING MATERIAL IS REMOVED THAT IS INTEGRAL TO THE RATING OF AN EXISTING FIRE-RATED ASSEMBLY, THE MATERIAL SHALL BE REPLACED SO THAT THE RATING IS PRESERVED. (BUILDING)
- PLUG FUSES OF THE EDISON-BASE TYPE SHALL BE USED ONLY FOR REPLACEMENTS WHERE THERE IS NO EVIDENCE OF OVER FUSING OR TAMPERING PER SECTION 240.5(B) OF THE ELECTRICAL SUBCODE. (ELECTRICAL)
- IO. ANY REPLACEMENT TO THE ELECTRICAL SERVICE EQUIPMENT SHALL REQUIRE THAT THE GROUNDING ELECTRODE SYSTEM BE UPDATED TO THE REQUIREMENTS OF ARTICLE 250 PART III OF THE ELECTRICAL SUBCODE. (ELECTRICAL)
- NON-"HOSPITAL GRADE" RECEPTACLES IN PATIENT BED LOCATIONS OF HEALTH CARE FACILITIES, GROUP 1-2, SHALL BE REPLACED WITH 'HOSPITAL GRADE' RECEPTACLES. (ELECTRICAL)
- IN BUILDINGS OF GROUP R OR I-1, WHEN THE WORK BEING PERFORMED CREATES A BEDROOM, THE FOLLOWING SHALL BE PROVIDED: I. A HARD-WIRED SMOKE ALARM SHALL BE INSTALLED WITHIN EACH NEW BEDROOM AND A SECOND, HARD-WIRED SMOKE ALARM SHALL BE INSTALLED WITHIN THE IMMEDIATE VICINITY OF THE BEDROOM IN ACCORDANCE WITH NFPA 12. (FIRE)
 - II. A BEDROOM WINDOW OR EXTERIOR DOOR THAT MEETS THE REQUIREMENTS AT N.J.A.C. 5:23-6.9(B)/6 SHALL BE PROVIDED WHEN THE BEDROOM CREATED IS BELOW THE FOURTH FLOOR. (BUILDING.) (1) THIS REQUIREMENT SHALL NOT APPLY IN BUILDINGS WHERE THE SLEEPING ROOM IS PROVIDED WITH A DOOR TO A CORRIDOR HAVING ACCESS TO TWO REMOTE EXITS OR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.
- 13. IN BUILDINGS OF USE GROUPS R-3, R-4, AND R-5:
 - WHEN THE WORK BEING PERFORMED CREATES LIVING SPACE OVER A PRIVATE GARAGE, THE PRIVATE GARAGE SHALL COMPLY WITH SECTION 406.3.2 OF THE BUILDING SUBCODE OR R302.6 OF THE ONE-AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE, FOR FIRE RESISTANCE RATING.
 - WHEN THE WORK BEING PERFORMED CREATES AN ADDITIONAL DWELLING UNIT WITHIN THE BUILDING, THE NEW DWELLING UNIT SHALL BE SEPARATED FROM THE EXISTING DWELLING UNIT(S) WITH FIRE PARTITIONS OR HORIZONTAL ASSEMBLIES HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN ONE HOUR CONSTRUCTED IN ACCORDANCE WITH SECTIONS 108 AND 111 OF THE BUILDING SUBCODE OR R302 OF THE ONE- AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE.
 - III. WHEN FINISHED SPACE IS CREATED IN PREVIOUSLY UNFINISHED SPACE, RECEPTACLE AND LIGHTING OUTLETS SHALL COMPLY WITH SECTION 210.52 AND 210.70, RESPECTIVELY, OF THE ELECTRICAL
- 14. IN BUILDINGS OF GROUP R-1, IN AT LEAST ONE SLEEPING ROOM OR SUITE OF EVERY 25 OR FEWER THAT ARE PART OF THE SCOPE OF WORK, THE WORK BEING PERFORMED SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF ICC AIIT.I, UNLESS THE FACILITY ALREADY PROVIDES THE NUMBER OF ACCESSIBLE SLEEPING ROOMS REQUIRED BY CHAPTER II OF THE BUILDING SUBCODE. IN ADDITION, AT LEAST ONE SLEEPING ROOM OR SUITE OF EVERY 25 OR FEWER THAT ARE PART OF THE SCOPE OF WORK SHALL BE EQUIPPED WITH A VISUAL ALARM AND NOTIFICATION DEVICE FOR THE HEARING IMPAIRED UNLESS THE FACILITY ALREADY PROVIDES THE NUMBER REQUIRED BY CHAPTER II OF THE BUILDING SUBCODE. (BUILDING)
- 15. IN BUILDINGS OF GROUPS R-1 AND R-2:
 - WHEN HABITABLE SPACE IS CREATED IN PREVIOUSLY UNOCCUPIED SPACE, THE MINIMUM CLEAR CEILING HEIGHT SHALL BE SEVEN FEET. FOR ROOMS WITH A SLOPED CEILING, THE MINIMUM CLEAR CEILING HEIGHT SHALL BE SEVEN FEET FOR AT LEAST 35 SQUARE FEET OF THE FLOOR AREA OF THE ROOM. ANY PORTION OF THE ROOM MEASURING LESS THAN FIVE FEET FROM THE FINISHED FLOOR TO THE FINISHED CEILING SHALL NOT BE CONSIDERED USABLE FLOOR AREA. (PLAN REVIEW - BUILDING, FIRE. INSPECTION
 - II. GROUP R-2 ONLY: WHEN FINISHED SPACE IS CREATED IN PREVIOUSLY UNFINISHED SPACE, RECEPTACLE AND LIGHTING OUTLETS SHALL COMPLY WITH SECTION 210.52 AND 210.70, RESPECTIVELY, OF THE
- WHEN A NEW REFRIGERANT IS INTRODUCED, THE REQUIREMENTS OF THE MECHANICAL SUBCODE APPLICABLE TO THAT REFRIGERANT, IF ANY, SHALL BE MET. THIS SHALL APPLY TO THE INSTALLATION OF NEW EQUIPMENT, THE REPLACEMENT OF EXISTING EQUIPMENT WITH EQUIPMENT USING A DIFFERENT REFRIGERANT, OR THE REPLACEMENT OF THE REFRIGERANT IN EXISTING EQUIPMENT WITH A DIFFERENT REFRIGERANT. (PLUMBING)
- 17. WHEN THE WORK BEING PERFORMED CREATES OR EXPOSES WOOD FRAMING OF ANY WALL, FLOOR, CEILING, OR ROOF, FIREBLOCKING SHALL BE PROVIDED AS REQUIRED BY SECTION 1182 OF THE BUILDING SUBCODE OR SECTION R3/02.11 OF THE ONE- AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE. THE FIREBLOCKING MATERIAL SHALL COMPLY WITH SECTION 1182.1 OF THE BUILDING SUBCODE OR SECTION R302.11.1 OF THE ONE-AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE.
- 18. WHEN THE WORK BEING PERFORMED CREATES OR EXPOSES THE ROOF DECKING/SHEATHING OR THE FRAMING OF ANY WALL, FLOOR, CEILING, OR ROOF ASSEMBLY THAT IS PART OF THE BUILDING THERMAL ENVELOPE (ENCLOSES CONDITIONED SPACE), ANY ACCESSIBLE VOIDS IN INSULATION SHALL BE FILLED USING INSULATION MEETING THE RYALUES OF TABLE R402.12 (NII02.12) OF THE RESIDENTIAL ENERGY CODE FOR WOOD FRAMING AND OF TABLE R40226 (NII0226) OF THE RESIDENTIAL ENERGY CODE FOR METAL FRAMING EQUIVALENTS OR OF TABLE 5.5-4 OR 5.5-5 OF THE COMMERCIAL ENERGY CODE, AS APPLICABLE.
- IN THE EVENT THAT INSULATION MEETING THE R-VALUES ABOVE CANNOT BE INSTALLED DUE TO SPACE CONSTRAINTS, AND THE EQUIVALENCY EXCEPTIONS OF SECTIONS R4022.1 AND R40222 (NII022.1 AND NII0222) CANNOT BE APPLIED FOR RESIDENTIAL BUILDINGS, INSULATION THAT FILLS THE CAVITIES OF THE FRAMED ASSEMBLY SHALL BE INSTALLED.
- WHEN FENESTRATION (WINDOWS, SKYLIGHTS, OR DOORS) IS NEWLY INSTALLED OR REPLACED, THE U-FACTOR (THERMAL TRANSMITTANCE) SHALL NOT EXCEED THE U-FACTOR OF TABLE R402.12 (NII02.12) OF THE REGIDENTIAL ENERGY CODE OR OF TABLE 5.5-4 OR 5.5-5 OF THE COMMERCIAL ENERGY CODE, AS
- I. EXCEPTION: IN RESIDENTIAL BUILDINGS, FENESTRATION THAT MEETS SECTIONS R402.3.3 (NIIØ2.3.3) AND R4Ø2.3.4 (NIIØ2.3.4), AS APPLICABLE.
- 20. DUCTS THAT ARE NEWLY INSTALLED OR REPLACED SHALL BE INSTALLED WITH INSULATION MEETING THE R-VALUES OF SECTION R403.3.1 (NII03.3.1) OF THE RESIDENTIAL ENERGY CODE OR OF SECTION 6.4.4.1.2 OF THE COMMERCIAL ENERGY CODE, AS APPLICABLE.
- THE TOTAL REPLACEMENT OF A BUILDING LIGHTING SYSTEM OR A NEWLY INSTALLED BUILDING LIGHTING SYSTEM SHALL MEET SECTION R404 (NII04) OF THE RESIDENTIAL ENERGY CODE OR SECTION 9.12 OF THE COMMERCIAL ENERGY CODE, AS APPLICABLE. (A "LIGHTING SYSTEM" IS DEFINED BY THE COMMERCIAL ENERGY CODE AS 'A GROUP OF LUMINAIRES CIRCUITED OR CONTROLLED TO PERFORM A SPECIFIC FUNCTION.")
 - EXCEPTION: THE TOTAL REPLACEMENT OF A LIGHTING SYSTEM WITHIN A ROOM, SPACE OR TENANCY SHALL BE REQUIRED TO MEET SECTION 9.1.2 FOR THE ROOM, SPACE, OR TENANCY ONLY.
- 22. WHEN THE WORK BEING PERFORMED RESULTS IN AN INDOOR OR OUTDOOR GAS METER, RELATED REGULATOR OR PIPING BECOMING SUBJECT TO VEHICLE IMPACT, WHICH WORK INCLUDES, BUT IS NOT LIMITED TO, NEW INSTALLATION, RELOCATION OR OTHER CONSTRUCTION, THE GAS METER, RELATED REGULATOR OR PIPING SHALL BE PROTECTED BY BARRIERS MEETING THE REQUIREMENTS OF SECTION 312 OF THE INTERNATIONAL FIRE CODE. FOR THE PURPOSE OF APPLYING THIS PROVISION, "SUBJECT TO VEHICLE IMPACT" SHALL MEAN LOCATED WITHIN THREE FEET OF ANY GARAGE DOOR OPENING, DRIVEWAY OR DESIGNATED PARKING AREA AND NOT SEPARATED BY A BUILDING WALL FROM THE SPACE WHERE A VEHICLE MAY BE OPERATED.
 - I. EXCEPTION: IF VERIFICATION OF THE INSTALLATION OF AN EXCESS FLOW VALVE IS PROVIDED BY THE GAS UTILITY, VEHICLE IMPACT BARRIERS SHALL NOT BE REQUIRED.

- 23. WHERE WORK, OTHER THAN ORDINARY MAINTENANCE OR MINOR WORK, IS BEING PERFORMED ON AN ELEVATOR, THE ELEVATOR SHALL BE EQUIPPED TO OPERATE WITH A STANDARDIZED FIRE SERVICE KEY.
- 24. THE WORK SHALL NOT CAUSE AN EXIT ENCLOSURE TO BE USED FOR ANY PURPOSE OTHER THAN MEANS OF EGRESS, EXCEPT THOSE PENETRATIONS PERMITTED BY SECTION 1023.5 OF THE BUILDING SUBCODE.
- 25. EXISTING OPENINGS THAT BECOME PART OF AN EXIT OR EXIT ACCESS AND NEWLY CREATED OPENINGS TO BE USED AS AN EXIT OR EXIT ACCESS SHALL MEET SECTION 10/08.3 AND SECTION 10/13 OF THE BUILDING SUBCODE WHEN MORE THAN ONE EXIT OR EXIT ACCESS IS REQUIRED. THIS SHALL APPLY ONLY TO THE PORTION OF THE BUILDING SERVED BY THE NEW EXIT OR EXIT ACCESS.
- (F) IN BUILDINGS OF GROUPS R-3, R-4, AND R-5 AND IN DWELLING UNITS OF GROUP R-2, SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED ON EACH LEVEL OF THE STRUCTURE, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND LOCATED ON OR NEAR THE CEILING. BATTERY-OPERATED UNITS SHALL BE PERMITTED, BUT SHALL NOT REPLACE ANY AC-POWERED SMOKE ALARMS OR A HOUSEHOLD FIRE ALARM SYSTEM. (FIRE)
- (G) IN BUILDINGS CONTAINING A FUEL BURNING APPLIANCE OR HAVING AN ATTACHED GARAGE, CARBON MONOXIDE DETECTION EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 915 OF THE BUILDING SUBCODE OR SECTION R315 OF THE ONE- AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE. (FIRE)
 - EXCEPTION: BATTERY-POWERED OR PLUG-IN DEVICES SHALL BE ACCEPTED FOR PURPOSES OF MEETING THE REQUIREMENTS OF THIS SECTION.
- (H) THE WORK SHALL NOT MAKE THE BUILDING LESS CONFORMING WITH THE BASIC REQUIREMENTS OF THIS SUBCHAPTER THAN IT WAS WHEN THE ALTERATION WAS UNDERTAKEN.
 - WHERE THE BUILDING CURRENTLY EXCEEDS THE BASIC REQUIREMENTS, THE EXTENT TO WHICH IT EXCEEDS SHALL NOT BE REDUCED UNLESS THE BUILDING ALSO EXCEEDS THE REQUIREMENTS OF THE CORRESPONDING SUBCODE OF THE UCC. IN THIS CASE, THE EXTENT OF COMPLIANCE WITH THE BASIC REQUIREMENTS MAY BE REDUCED, BUT NOT BELOW THE REQUIREMENTS OF THE CORRESPONDING SUBCODE OF THE UCC.
 - WHERE THE SCOPE OF WORK CONSISTS OF AN ITEM FOR WHICH REQUIREMENTS ARE ESTABLISHED IN THE BASIC REQUIREMENTS OF THIS SUBCODE, THE WORK SHALL COMPLY WITH THE BASIC REQUIREMENTS.
- (1) ALL MATERIALS AND METHODS USED SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED IN N.J.A.C. 5:23-6.8, MATERIALS AND METHODS.
- EXCEPTION: WINDOWS MAY BE REPLACED WITH WINDOWS LIKE THOSE EXISTING WITHOUT MEETING THE SIZE REQUIREMENTS OF THE BUILDING SUBCODE.
 - IN SLEEPING ROOMS BELOW THE FOURTH STORY IN OCCUPANCIES OF GROUPS R OR 1-1, WHERE NEW WINDOW OPENINGS ARE BEING CREATED OR THE SIZE OF WINDOW OPENINGS IS BEING CHANGED, AT LEAST ONE WINDOW SHALL:

 - (2) HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES! (3) HAVE A WIDTH OF AT LEAST 20 INCHES, A HEIGHT OF AT LEAST 24 INCHES AND A MINIMUM TOTAL AREA OF 5.7 SQUARE FEET MEASURED FROM HEAD TO SILL AND FROM SIDE TO SIDE.
- (4) NEW WINDOW OPENINGS IN SLEEPING ROOMS SHALL NOT BE REQUIRED TO MEET THESE REQUIREMENTS IN BUILDINGS WHERE THE SLEEPING ROOM IS PROVIDED WITH A DOOR TO A CORRIDOR HAVING ACCESS TO TWO REMOTE EXITS OR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.
 - BASEMENT WINDOWS IN BUILDINGS OF GROUP R-2 SHALL COMPLY WITH THE REQUIREMENTS OF N.J.A.C. 5:23-6.26(B)3 WHERE THE WINDOW SERVES AS THE SECOND MEANS OF EGRESS FROM THE DWELLING UNIT (PLAN REVIEW - BUILDING, FIRE, INSPECTION - BUILDING).
- 2. NEWLY INSTALLED AND REPLACEMENT HANDRAILS AND GUARDRAILS SHALL COMPLY WITH SECTIONS 1011.11, 1012.8, 1014, AND 1015 OF THE BUILDING SUBCODE, RESPECTIVELY, OR SECTIONS R311.7.8, R311.8.3, AND R312.1 OF THE ONE- AND TWO-FAMILY DWELLING SUBCODE, RESPECTIVELY, AS APPLICABLE. WHERE 50 PERCENT OR MORE OF A HANDRAIL OR GUARDRAIL ON A FLIGHT OR ON A LEVEL IS REPLACED, THEN THIS SHALL BE CONSIDERED A COMPLETE REPLACEMENT AND SHALL COMPLY WITH THE ABOVE REFERENCED SECTIONS. THE REPAIR OR REPLACEMENT OF LESS THAN 50 PERCENT OF A HANDRAIL OR GUARDRAIL SHALL BE PERMITTED TO MATCH THE EXISTING HANDRAIL OR GUARDRAIL. (BUILDING)
- (J) ALL NEW BUILDING ELEMENTS, AS LISTED IN N.J.A.C. 5:23-6.9, SHALL COMPLY WITH THE REQUIREMENTS OF THAT
- (K) IN A BUILDING REQUIRED BY CHAPTER 11 OF THE BUILDING SUBCODE TO BE ACCESSIBLE, WHERE THE SPACE ALTERED IS A PRIMARY FUNCTION SPACE, AN ACCESSIBLE PATH OF TRAVEL TO THE ALTERED SPACE SHALL BE PROVIDED UP TO THE POINT AT WHICH THE COST OF PROVIDING ACCESSIBILITY IS DISPROPORTIONATE TO THE COST OF THE OVERALL ALTERATION PROJECT: A COST IS DISPROPORTIONATE IF IT EXCEEDS 20 PERCENT OF THE COST OF THE ALTERATION WORK. (BUILDING)
 - THE ACCESSIBLE PATH OF TRAVEL SHALL INCLUDE, BUT NOT BE LIMITED TO, AN ACCESSIBLE PARKING SPACE, AN ACCESSIBLE EXTERIOR ROUTE, AN ACCESSIBLE BUILDING ENTRANCE, AN ACCESSIBLE INTERIOR ROUTE TO THE ALTERED AREA, ACCESSIBLE RESTROOMS, ACCESSIBLE DRINKING FOUNTAINS, AND ACCESSIBLE TELEPHONES SERVING THE ALTERED PRIMARY FUNCTION SPACE, PRIORITY SHALL BE GIVEN TO PROVIDING AN ACCESSIBLE ENTRANCE OR ACCESSIBLE RESTROOMS WHERE POSSIBLE.
- 2. IN DETERMINING DISPROPORTIONATE COST, THE FOLLOWING MATERIALS MAY BE DEDUCTED FROM THE OVERALL COST OF THE PROJECT:
 - WINDOWS, HARDWARE, OPERATING CONTROLS, ELECTRICAL OUTLETS AND SIGNAGE±
 - MECHANICAL SYSTEMS, ELECTRICAL SYSTEMS, INSTALLATIONS OR ALTERATIONS OF FIRE PROTECTION SYSTEMS OR ABATEMENT OF HAZARDOUS MATERIALS + OR
- III. THE REPAIR OR INSTALLATION OF ROOFING, SIDING, OR OTHER EXTERIOR WALL FACADE. WHERE THE WORK CONSISTS SOLELY OF THE ALTERATION OF MATERIALS OR SYSTEMS LISTED IN (K)2 ABOVE,
- THE PATH OF TRAVEL REQUIREMENTS SHALL NOT APPLY. 4. WHERE THE ALTERATION WORK IS FOR THE PRIMARY PURPOSE OF INCREASING THE ACCESSIBILITY OF THE
- BUILDING OR TENANCY, THE REQUIREMENT TO FURTHER IMPROVE THE PATH OF TRAVEL SHALL NOT APPLY.
- WHERE IT IS TECHNICALLY INFEASIBLE TO COMPLY WITH THE TECHNICAL STANDARDS IN CHAPTER II OF THE BUILDING SUBCODE, THE WORK MUST COMPLY TO THE MAXIMUM EXTENT FEASIBLE.
- (L) WHEN WORK IS PERFORMED IN A CLASS I STRUCTURE OR WHEN WORK IS PERFORMED ON A SMOKE CONTROL SYSTEM, A LIST OF ALL MATERIALS AND WORK REQUIRING SPECIAL INSPECTIONS, AND A LIST OF AGENCIES, QUALIFIED LICENSED PROFESSIONALS OR FIRMS INTENDED TO BE RETAINED FOR CONDUCTING THOSE INSPECTIONS IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING SUBCODE SHALL BE SUBMITTED AS PART OF THE PERMIT APPLICATION. (BUILDING, EXCEPT SMOKE CONTROL SYSTEMS - FIRE)
- § 5:23-6.14 BASIC REQUIREMENTS--GROUPS A-2 OTHER THAN NIGHTCLUBS, A-3 AND A-4
- (A) AUTOMATIC SPRINKLER SYSTEM: AN AUTOMATIC SPRINKLER SYSTEM SHALL BE REQUIRED IN SPACES OF GROUP A-3 USED AS BALLROOMS, EXHIBIT AREAS AND ACCESSORY SPACES WHICH EXCEED 12,000 SQUARE FEET AND ARE LOCATED IN BUILDINGS OF GROUP R-1 AND R-2.
- 1. EXCEPTIONS:
 - AN AUTOMATIC SPRINKLER SYSTEM SHALL NOT BE REQUIRED IF THE SPACE IS DIVIDED INTO FIRE AREAS OF NOT MORE THAN 12,000 SQUARE FEET BY A TWO-HOUR FIRE SEPARATION WITH 1 1/2-HOUR OPENING PROTECTIVES OR IF THE SPACE IS COMPLETELY SEPARATED FROM ANY OTHER USES BY A TWO-HOUR FIRE SEPARATION WITH 1 1/2- HOUR OPENING PROTECTIVES. (FIRE)
- (B) EXITS: TWO EXITS SHALL BE REQUIRED FOR STORIES WITH LESS THAN 500 OCCUPANTS. THREE EXITS SHALL BE REQUIRED FOR STORIES WITH 501 TO 1,000 OCCUPANTS. FOUR EXITS SHALL BE REQUIRED FOR STORIES WITH MORE THAN 1,000 OCCUPANTS. TWO MEANS OF EGRESS ARE ALSO REQUIRED FROM ALL MEZZANINES WITH AN OCCUPANT LOAD GREATER THAN 50 OR WITH EXIT TRAVEL DISTANCE GREATER THAN 15 FEET.
 - WHEN MORE THAN ONE EXIT IS REQUIRED, EXISTING FIRE ESCAPES SHALL BE ACCEPTED AS PROVIDING ONE OF THE REQUIRED MEANS OF EGRESS UNLESS JUDGED TO BE DANGEROUS FOR USE UNDER EMERGENCY EXITING CONDITIONS. FOR USE OF FIRE ESCAPES, ACCESS SHALL BE THROUGH A DOOR EXCEPT WHEN SERVING AN OCCUPANT LOAD OF 10 OR FEWER. ALL OCCUPANTS SHALL HAVE UNOBSTRUCTED ACCESS TO FIRE ESCAPES WITHOUT HAVING TO PASS THROUGH A ROOM SUBJECT TO LOCKING.
 - WHEN MORE THAN ONE EXIT IS REQUIRED AND THERE IS NOT SUFFICIENT SPACE FOR AN EXTERIOR STAIR WITHIN THE LOT LINE, A NEW FIRE ESCAPE SHALL BE ACCEPTED AS PROVIDING ONE OF THE REQUIRED MEANS OF EGRESS. NEWLY-INSTALLED FIRE ESCAPES SHALL COMPLY WITH FTO-3.
 - LADDERS SHALL BE PROHIBITED ON FIRE ESCAPES USED AS A REQUIRED MEANS OF EGRESS.

- 2. A SINGLE EXIT IS PERMITTED IN THE STORY AT THE LEVEL OF EXIT DISCHARGE WHEN THE OCCUPANT LOAD OF THE STORY DOES NOT EXCEED 50 AND THE EXIT ACCESS TRAVEL DISTANCE DOES NOT EXCEED 15 FEET. (PLAN REVIEW--BUILDING, FIRE. INSPECTION--BUILDING)
- (C) EGRESS DOORWAYS: A MINIMUM OF TWO EGRESS DOORWAYS SHALL BE REQUIRED FOR ALL ROOMS AND SPACES WITH AN OCCUPANT LOAD GREATER THAN 50 OR IN WHICH THE TRAVEL DISTANCE EXCEEDS 15 FEET. ALL EGRESS DOORS SERVING AN OCCUPANT LOAD GREATER THAN 50 SHALL SWING IN THE DIRECTION OF EXIT TRAVEL.
- EXCEPTION: STORAGE ROOMS WITH A MAXIMUM OCCUPANT LOAD OF 10 SHALL NOT BE REQUIRED TO HAVE TWO EGRESS DOORWAYS.
- 2. ALL REQUIRED EXIT DOORS EQUIPPED WITH LATCHING DEVICES IN BUILDINGS OR SPACES WITH AN OCCUPANT LOAD GREATER THAN 100 SHALL BE EQUIPPED WITH APPROVED PANIC HARDWARE. 3. IF THERE ARE MORE THAN TWO INDIVIDUAL ROOMS WHICH CAN BE USED FOR SEPARATE FUNCTIONS, EACH WITH AN OCCUPANT LOAD OF MORE THAN 300, THE REQUIRED EGRESS DOORS FROM SUCH ROOMS SHALL LEAD DIRECTLY OUTSIDE OR TO AN EXIT PASSAGEWAY. EXIT PASSAGEWAYS SHALL BE COMPLETELY ENCLOSED BY ASSEMBLIES HAVING A FIRERESISTANCE RATING OF AT LEAST TWO HOURS, SHALL LEAD DIRECTLY OUTSIDE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. (PLAN REVIEW--BUILDING, FIRE. INSPECTION--BUILDING.)
- (D) CAPACITY OF MEANS OF EGRESS: THE CAPACITY OF THE MEANS OF EGRESS IN EACH WORK AREA SHALL BE DETERMINED IN ACCORDANCE WITH N.J.A.C. 5:23-6.11(B). ADDITIONALLY, FOR BUILDINGS WITH AN OCCUPANT LOAD OF 100 OR MORE, A MAIN ENTRANCE CAPABLE OF SERVING AS THE MAIN EXIT WITH AN EGRESS CAPACITY FOR AT LEAST ONEHALF THE TOTAL OCCUPANT LOAD IS REQUIRED. THE REMAINING EXITS SHALL BE CAPABLE OF PROVIDING ONE-HALF OF THE TOTAL REQUIRED EXIT CAPACITY. THIS PROVISION SHALL NOT APPLY IN BUILDINGS WITH MULTIPLE MAIN ENTRANCES. (PLAN REVIEW-BUILDING, FIRE. INSPECTION-BUILDING.)
- (E) DEAD END CORRIDORS: EXISTING DEAD END CORRIDORS SHALL NOT EXCEED 35 FEET IN LENGTH, EXCEPTIONS ARE AS FOLLOWS:
- DEAD END CORRIDORS MAY BE UP TO 50 FEET IN LENGTH IN A BUILDING WITH AN AUTOMATIC ALARM SYSTEM INSTALLED IN CONFORMANCE WITH THE BUILDING CODE IN EFFECT AT THE TIME OF ITS INSTALLATION.
- DEAD END CORRIDORS MAY BE UP TO 10 FEET IN LENGTH IN A BUILDING WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN CONFORMANCE WITH THE BUILDING CODE IN EFFECT AT THE TIME OF ITS INSTALLATION. (PLAN REVIEW--BUILDING, FIRE. INSPECTION--BUILDING)
- (F) MEANS OF EGRESS LIGHTING: ARTIFICIAL LIGHTING WITH AN INTENSITY OF NOT LESS THAN ONE FOOT CANDLE AT FLOOR LEVEL SHALL BE REQUIRED DURING ALL TIMES THAT THE CONDITIONS OF OCCUPANCY OF THE BUILDING REQUIRE THAT THE EXITS BE AVAILABLE. LIGHTING SHALL ALSO BE REQUIRED TO ILLUMINATE THE EXIT DISCHARGE. IN ALL BUILDINGS, ROOMS OR SPACES REQUIRED TO HAVE MORE THAN ONE EXIT OR EXIT ACCESS, MEANS OF EGRESS LIGHTING SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM CONFORMING TO NFPA 10 (NEC) EXCEPT THAT CONTINUED ILLUMINATION SHALL BE REQUIRED TO BE PROVIDED FOR NOT LESS THAN ONE HOUR IN THE CASE OF PRIMARY POWER LOSS.
 - IN BUILDINGS USED FOR MOTION PICTURES OR OTHER PROJECTIONS BY MEANS OF DIRECTED LIGHT, THE ILLUMINATION OF AISLES MAY BE REDUCED DURING PERIODS OF PROJECTION TO NOT LESS THAN 02 FOOT CANDLE. THE SWITCH REQUIREMENTS AND LOCATION(S) FOR CONTROLLING EGRESS LIGHTING CONNECTED TO THE EMERGENCY ELECTRICAL SYSTEM SHALL BE IN CONFORMANCE WITH THE NFPA 10 (NEC.). (PLAN REVIEW--BUILDING, FIRE, ELECTRIC. INSPECTION--BUILDING)
- (G) ILLUMINATED EXIT SIGNS: ILLUMINATED EXIT SIGNS SHALL BE PROVIDED FOR ALL REQUIRED MEANS OF EGRESS IN ALL BUILDINGS, ROOMS OR SPACES REQUIRED TO HAVE MORE THAN ONE EXIT OR EXIT ACCESS. EXIT SIGNS SHALL BE VISIBLE FROM THE EXIT ACCESS AND SUPPLEMENTED BY DIRECTIONAL SIGNS WHEN NECESSARY. (EXCEPTION: APPROVED MAIN EXTERIOR DOORS THAT ARE CLEARLY IDENTIFIED AS EXITS ARE NOT REQUIRED TO HAVE EXIT SIGNS.) EXIT SIGNS SHALL MEET THE FOLLOWING CRITERIA:
 - RED OR GREEN LETTERS AT LEAST SIX INCHES HIGH± MINIMUM WIDTH OF EACH STROKE 3/4 INCH ON A WHITE BACKGROUND OR IN OTHER APPROVED DISTINGUISHABLE COLORS. ARROWS, IF PROVIDED, SHALL BE SUCH THAT THE DIRECTION CANNOT READILY BE CHANGED. THE WORD "EXIT" SHALL BE CLEARLY DISCERNIBLE WHEN THE SIGN IS NOT ENERGIZED.
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES WHEN THE BUILDING IS OCCUPIED BY A SOURCE PROVIDING AT LEAST FIVE FOOT CANDLES AT THE ILLUMINATED SURFACE OR SHALL BE APPROVED SELF-LUMINOUS SIGNS WHICH PROVIDE EVENLY ILLUMINATED LETTERS WITH A MINIMUM LUMINANCE OF 0.06 FOOT LAMBERTS. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM CONFORMING TO NFPA 10 (NEC) EXCEPT THAT CONTINUED ILLUMINATION SHALL BE REQUIRED TO BE PROVIDED FOR NOT LESS THAN ONE HOUR IN THE CASE OF PRIMARY POWER LOSS, NO EMERGENCY POWER SHALL BE REQUIRED FOR APPROVED SELF-LUMINOUS SIGNS. (PLAN REVIEW-BUILDING, FIRE. INSPECTION-BUILDING)
- HANDRAILS OR IN WHICH THE EXISTING HANDRAILS ARE IN DANGER OF COLLAPSING WHEN USED UNDER EMERGENCY EXITING CONDITIONS, SHALL BE PROVIDED WITH HANDRAILS FOR THE FULL LENGTH OF THE RUN OF STEPS ON AT LEAST ONE SIDE. ALL EXIT STAIRWAYSMORE THAN 66 INCHES WIDE SHALL HAVE HANDRAILS ON BOTH SIDES UNLESS THE FULL WIDTH OF THE STAIRWAY IS NOT NEEDED TO ACCOMMODATE THE DESIGN OCCUPANCY. (PLAN REVIEW--BUILDING, FIRE. INSPECTION--BUILDING)

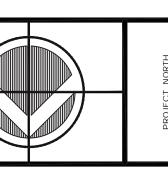
(H) HANDRAILS: EVERY REQUIRED EXIT STAIRWAY HAVING THREE OR MORE RISERS AND NOT PROVIDED WITH

- GUARDS: EVERY OPEN PORTION OF A STAIR, LANDING OR BALCONY WHICH IS MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AND IS NOT PROVIDED WITH GUARDS OR THOSE IN WHICH THE EXISTING GUARDS ARE IN DANGER OF COLLAPSING WHEN USED UNDER EMERGENCY EXITING CONDITIONS, SHALL BE PROVIDED WITH GUARDS. (PLAN REVIEW--BUILDING, FIRE. INSPECTION--BUILDING)
- (J) YERTICAL OPENING PROTECTION: YERTICAL OPENING PROTECTION FOR INTERIOR STAIRWAYS AND OTHER VERTICAL OPENINGS SHALL BE PROVIDED AS FOLLOWS:
 - FOR VERTICAL OPENINGS CONNECTING MORE THAN SIX FLOOR LEVELS, APPROVED ASSEMBLIES HAVING A FIRE REGISTANCE RATING OF NOT LEGS THAN TWO HOURS WITH APPROVED OPENING PROTECTIVES SHALL BE
 - FOR VERTICAL OPENINGS CONNECTING FOUR TO SIX FLOOR LEVELS, APPROVED ASSEMBLIES HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN ONE HOUR WITH APPROVED OPENING PROTECTIVES SHALL BE
- FOR VERTICAL OPENINGS NOT EXCEEDING THREE STORIES, A MINIMUM 30-MINUTE UFC FIRE BARRIER SHALL BE REQUIRED. EXCEPTIONS ARE AS FOLLOWS:
 - I. WHEN CONNECTING THE MAIN FLOOR AND MEZZANINES OR
 - ii. WHEN ALL OF THE FOLLOWING CONDITIONS ARE MET:
 - (1) THE COMMUNICATING AREA HAS A LOW HAZARD OCCUPANCY OR HAS A MODERATE HAZARD OCCUPANCY WHICH IS PROTECTED THROUGHOUT BY AN AUTOMATIC SPRINKLER SYSTEM±
 - (2) THE LOWEST OR NEXT TO THE LOWEST LEVEL IS A STREET FLOOR!
 - (3) THE ENTIRE AREA IS OPEN AND UNOBSTRUCTED IN A MANNER SUCH THAT IT MAY BE ASSUMED THAT A FIRE IN ANY PART OF THE INTERCONNECTED SPACES WILL BE READILY OBVIOUS TO ALL
 - (4) EXIT CAPACITY IS SUFFICIENT TO PROVIDE EGRESS SIMULTANEOUSLY FOR ALL THE OCCUPANTS OF ALL LEVELS BY CONSIDERING ALL AREAS TO BE A SINGLE FLOOR AREA FOR THE DETERMINATION OF REQUIRED EXIT CAPACITY AND
 - (5) EACH FLOOR LEVEL, CONSIDERED SEPARATELY, HAS AT LEAST ONE-HALF OF ITS INDIVIDUAL REQUIRED EXIT CAPACITY PROVIDED BY AN EXIT OR EXITS LEADING DIRECTLY OUT OF THAT LEVEL WITHOUT HAVING TO TRAVERSE ANOTHER COMMUNICATING FLOOR LEVEL OR BE EXPOSED TO THE SMOKE OR FIRE SPREADING FROM ANOTHER COMMUNICATING FLOOR LEVEL. (PLAN REVIEW--BUILDING, FIRE. INSPECTION-- BUILDING)
- (K) STRUCTURAL ELEMENTS: STRUCTURAL ELEMENTS WHICH ARE UNCOVERED DURING THE COURSE OF THE REHABILITATION AND WHICH ARE FOUND TO BE UNSOUND OR OTHERWISE STRUCTURALLY DEFICIENT, SHALL BE REINFORCED, SUPPORTED OR REPLACED IN ACCORDANCE WITH THE APPLICABLE STRUCTURAL DESIGN CRITERIA OF THE BUILDING SUBCODE. WHERE STRUCTURAL ELEMENTS ARE SOUND, THERE IS NO EXCESSIVE DEFLECTION (DEFINED AS DEFLECTION IN EXCESS OF THE STANDARDS SET FORTH IN N.J.A.C. 5:23-6.7(C)1), AND FIXED LOADS ARE NOT CHANGING IN A WAY THAT WILL INCREASE THE STRESSES ON EXISTING STRUCTURES BEYOND THAT WHICH IS PERMITTED BY N.J.A.C. 5:23-6.7(C), EXISTING STRUCTURAL ELEMENTS SHALL BE PERMITTED TO REMAIN. (BUILDING)
- (L) PLUMBING FIXTURES: THE FOLLOWING APPLY TO PLUMBING FIXTURES: (PLUMBING)
 - FOR AUDITORIUMS, MUSEUMS, LIBRARIES, AND SIMILAR FACILITIES, PLUMBING FIXTURES SHALL BE PROVIDED AS FOLLOWS, WHERE THE PLUMBING SUBCODE ALLOWS FOR THE SUBSTITUTION OR OMISSION OF FIXTURES, SUCH SUBSTITUTIONS OR OMISSIONS SHALL ALSO BE PERMITTED UNDER THIS SECTION.

01-08-2 ISSUED FOR BIDDING DRAWING ISSUE <u>No.</u>

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DESCRIPTION REVISION SCHEDULE

DRAWN BY: DC CHECKED BY: JSB Ø1-Ø8-2Ø25 AS NOTED

> JOB NO. 2199.01

- ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE THE START OF CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- 2. ALL AREAS AFFECTED BY CONSTRUCTION OR DEMOLITION TO BE REPAIRED. PATCH, REPAIR, AND RE-FINISH ENTIRE SURFACE OF ALL WALLS, FLOORS, AND CEILINGS DISTURBED BY NEW WORK. FINISH TO MATCH EXISTING. ALL NEW WORK SHALL BE FINISHED PER ARCHITECT'S DIRECTION.
- 3. "REMOVAL OF EXISTING" PERTAINS TO ALL EXISTING CONDITIONS, INCLUDING ALL FRAMING, MASONRY, WALL AND CEILING FINISHES, WIRING, CONDUIT, PLUMBING, AND ANY CONDITIONS HIDDEN FROM VIEW, ETC. INCLUDING IN CRAWL SPACE.
- 4. REMOVE FINISHES TO VERIFY ASSUMED EXISTING STRUCTURAL FRAMING CONDITIONS TO DETERMINE THAT DEMOLITION WORK WILL NOT AFFECT BUILDING'S STRUCTURAL INTEGRITY.
- 5. NOTIFY ARCHITECT IF EXISTING FRAMING IS DIFFERENT FROM THAT SHOWN ON DRAWINGS. DO NOT PROCEED UNTIL ALTERNATE INSTRUCTIONS HAVE BEEN ISSUED BY ARCHITECT.
- 6. PROVIDE TEMPORARY SHORING AND BRACING WHERE REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY UNTIL PERMANENT STRUCTURE IS COMPLETED.
- 1. MAINTAIN BUILDING IN A WEATHER TIGHT CONDITION UNTIL PERMANENT WEATHERPROOF CLOSURE IS COMPLETED.
- 8. CAREFULLY REMOVE ITEMS TO BE RELOCATED OR REUSED. PROTECT AND STORE ITEMS TO PREVENT DAMAGE UNTIL TIME OF REINSTALLATION.
- 9. DISCONNECT, CAP, AND PLUG MECHANICAL, PLUMBING AND ELECTRICAL SERVICES AT POINTS OF DEMOLITION. LEAVE SERVICES IN A SAFE USABLE CONDITION. ANY PLUMBING, MECHANICAL OR ELECTRICAL SERVICES TO BE ABANDONED ARE TO BE COMPLETELY REMOVED FROM STRUCTURE.
- 10. REMOVE AND/OR RELOCATE EXISTING LIGHT SWITCHES, RECEPTACLES, TELEPHONE AND DATA OUTLETS, THERMOSTATS, AND ANY ACCESSORY AS INDICATED ON THE PLANS. ANY UNIDENTIFIED ITEMS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
- 11. DISPOSE OF ALL MATERIALS IN STRICT ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL LAWS, CODES, ORDINANCES, AND REGULATIONS.
- 12. CLEAR AND UNOBSTRUCTED PATHS AND AISLES SHALL BE MAINTAINED AT ALL TIMES THROUGH OCCUPIED SPACES BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL LAWS, CODES, ORDINANCES, AND REGULATIONS.
- 13. CONTRACTOR SHALL PROTECT ALL AREAS, SURFACES, AND FINISHES NOT TO BE DEMOLISHED. BARRICADES, TEMPORARY DUST PROTECTION, PLASTIC PARTITIONS, ETC. SHALL BE UTILIZED AS REQUIRED TO MAINTAIN SAFE AND CLEAN OCCUPIED AREAS. DEBRIS SHALL BE REMOVED AND WORK AREAS CLEANED AT THE END OF EACH WORK DAY. THIS PORTION IS MANDATORY FOR CONTRACTOR.
- 14. LIFE SAFETY SYSTEMS INCLUDING BUT NOT LIMITED TO EGRESS AND EMERGENCY LIGHTING, SMOKE DETECTORS AND FIRE SPRINKLERS SHALL REMAIN OPERABLE DURING AND AFTER DEMOLITION. CONTRACTOR SHALL NOTIFY LOCAL FIRE AND POLICE DEPARTMENTS, ALARM SERVICE COMPANIES, AND COORDINATE WITH THE OWNER TO SHUT DOWN AND START UP ANY LIFE SAFETY SYSTEM.
- 15. OWNER TO HAVE RIGHT OF FIRST REFUSAL OF ALL EXISTING FIXTURES, FITTINGS, AND ALL OTHER ITEMS BEFORE DISPOSING OF ANY SUCH ITEMS.

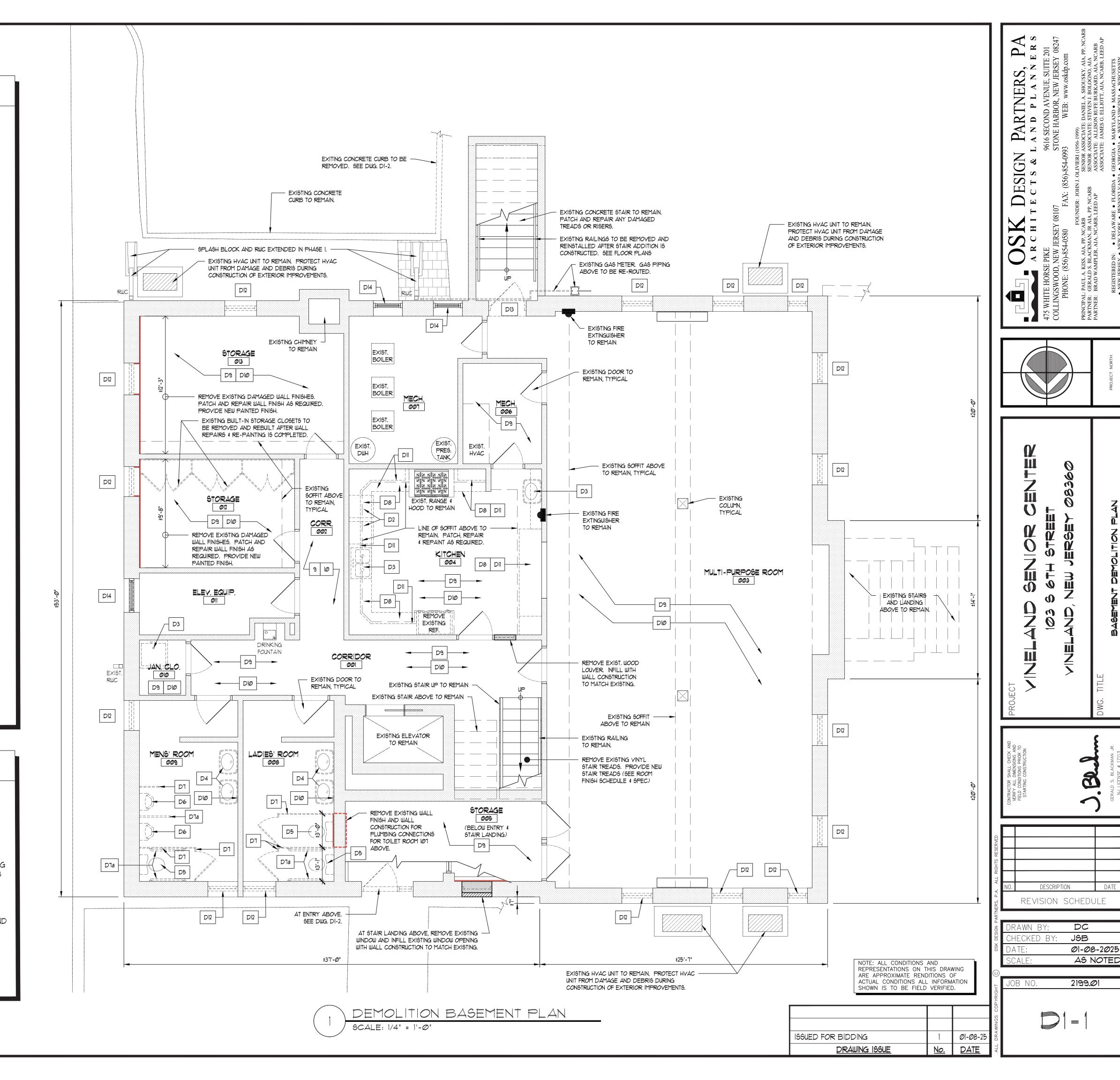
PLAN LEGEND OF DEMOLITION NOTES

- DI (NOT USED)
- 22 REMOVE EXISTING DISHWASHER.
- D3 REMOVE EXISTING SINK, SINK TO BE REPLACED.
- D4 REMOVE EXISTING LAVATORIES. LAVATORIES TO BE REPLACED.

 D5 REMOVE EXISTING TOILETS. TOILETS TO BE REPLACED.
- D6 REMOVE EXISTING URINALS. URINALS TO BE REPLACED.
- DT REMOVE EXISTING TOILET PARTITION / URINAL SCREEN, TOILET PARTITIONS AND URINAL SCREENS TO BE REPLACED.
- DTA REMOVE EXISTING GRAB BAR. PROVIDE NEW GRAB BAR TO MATCH EXISTING AT EXISTING TOILET ROOM. SEE DRAWING A1-2 FOR NEW TOILET ROOM GRAB BAR LOCATIONS & DETAILS.
- D8 REMOVE EXISTING COUNTERTOP. COUNTERTOP TO BE REPLACED. SEE MILLWORK DRAWING A6-1.
- D9 REMOVE EXISTING VCT FLOOR TILES THROUGHOUT, VCT TO BE REPLACED.
- DIØ REMOVE EXISTING CEILING AND LIGHTING FIXTURES THROUGHOUT. CEILING AND LIGHT FIXTURES TO BE REPLACED.
- DII EXISTING CABINETS TO BE REMOVED AND REPLACED WITH NEW CABINETS. SEE DRAWING A6-1.
- DI2 REMOVE EXISTING WINDOW AND SILL. WINDOW AND SILL TO BE REPLACED.

 DI3 REMOVE EXISTING DOOR AND FRAME. DOOR AND FRAME TO BE REPLACED.
- DIA REMOVE EXISTING LOUVER TO REMAIN.
- DIS REMOVE EXISTING LOUVER TO REITIAIN.

 DIS REMOVE EXISTING CARPET THROUGHOUT, CARPET TO BE REPLACED.



GENERAL DEMOLITION & ALTERATION NOTES

- ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE THE START OF CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- 2. ALL AREAS AFFECTED BY CONSTRUCTION OR DEMOLITION TO BE REPAIRED.
 PATCH, REPAIR, AND RE-FINISH ENTIRE SURFACE OF ALL WALLS, FLOORS, AND
 CEILINGS DISTURBED BY NEW WORK. FINISH TO MATCH EXISTING. ALL NEW
 WORK SHALL BE FINISHED PER ARCHITECT'S DIRECTION.
- 3. "REMOVAL OF EXISTING" PERTAINS TO ALL EXISTING CONDITIONS, INCLUDING ALL FRAMING, MASONRY, WALL AND CEILING FINISHES, WIRING, CONDUIT, PLUMBING, AND ANY CONDITIONS HIDDEN FROM VIEW, ETC. INCLUDING IN CRAWL SPACE.
- 4. REMOVE FINISHES TO VERIFY ASSUMED EXISTING STRUCTURAL FRAMING CONDITIONS TO DETERMINE THAT DEMOLITION WORK WILL NOT AFFECT BUILDING'S STRUCTURAL INTEGRITY.
- 5. NOTIFY ARCHITECT IF EXISTING FRAMING IS DIFFERENT FROM THAT SHOWN ON DRAWINGS. DO NOT PROCEED UNTIL ALTERNATE INSTRUCTIONS HAVE BEEN ISSUED BY ARCHITECT.
- 6. PROVIDE TEMPORARY SHORING AND BRACING WHERE REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY UNTIL PERMANENT STRUCTURE IS COMPLETED.
- 1. MAINTAIN BUILDING IN A WEATHER TIGHT CONDITION UNTIL PERMANENT WEATHERPROOF CLOSURE IS COMPLETED.
- 8. CAREFULLY REMOVE ITEMS TO BE RELOCATED OR REUSED. PROTECT AND STORE ITEMS TO PREVENT DAMAGE UNTIL TIME OF REINSTALLATION.
- 9. DISCONNECT, CAP, AND PLUG MECHANICAL, PLUMBING AND ELECTRICAL SERVICES AT POINTS OF DEMOLITION. LEAVE SERVICES IN A SAFE USABLE CONDITION. ANY PLUMBING, MECHANICAL OR ELECTRICAL SERVICES TO BE ABANDONED ARE TO BE COMPLETELY REMOVED FROM STRUCTURE.
- 10. REMOVE AND/OR RELOCATE EXISTING LIGHT SWITCHES, RECEPTACLES, TELEPHONE AND DATA OUTLETS, THERMOSTATS, AND ANY ACCESSORY AS INDICATED ON THE PLANS. ANY UNIDENTIFIED ITEMS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
- 11. DISPOSE OF ALL MATERIALS IN STRICT ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL LAWS, CODES, ORDINANCES, AND REGULATIONS.
- 12. CLEAR AND UNOBSTRUCTED PATHS AND AISLES SHALL BE MAINTAINED AT ALL TIMES THROUGH OCCUPIED SPACES BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL LAWS, CODES, ORDINANCES, AND REGULATIONS.
- 13. CONTRACTOR SHALL PROTECT ALL AREAS, SURFACES, AND FINISHES NOT TO BE DEMOLISHED. BARRICADES, TEMPORARY DUST PROTECTION, PLASTIC PARTITIONS, ETC. SHALL BE UTILIZED AS REQUIRED TO MAINTAIN SAFE AND CLEAN OCCUPIED AREAS. DEBRIS SHALL BE REMOVED AND WORK AREAS CLEANED AT THE END OF EACH WORK DAY. THIS PORTION IS MANDATORY FOR CONTRACTOR.
- 14. LIFE SAFETY SYSTEMS INCLUDING BUT NOT LIMITED TO EGRESS AND EMERGENCY LIGHTING, SMOKE DETECTORS AND FIRE SPRINKLERS SHALL REMAIN OPERABLE DURING AND AFTER DEMOLITION. CONTRACTOR SHALL NOTIFY LOCAL FIRE AND POLICE DEPARTMENTS, ALARM SERVICE COMPANIES, AND COORDINATE WITH THE OWNER TO SHUT DOWN AND START UP ANY LIFE SAFETY SYSTEM.
- 15. OWNER TO HAVE RIGHT OF FIRST REFUSAL OF ALL EXISTING FIXTURES, FITTINGS, AND ALL OTHER ITEMS BEFORE DISPOSING OF ANY SUCH ITEMS.

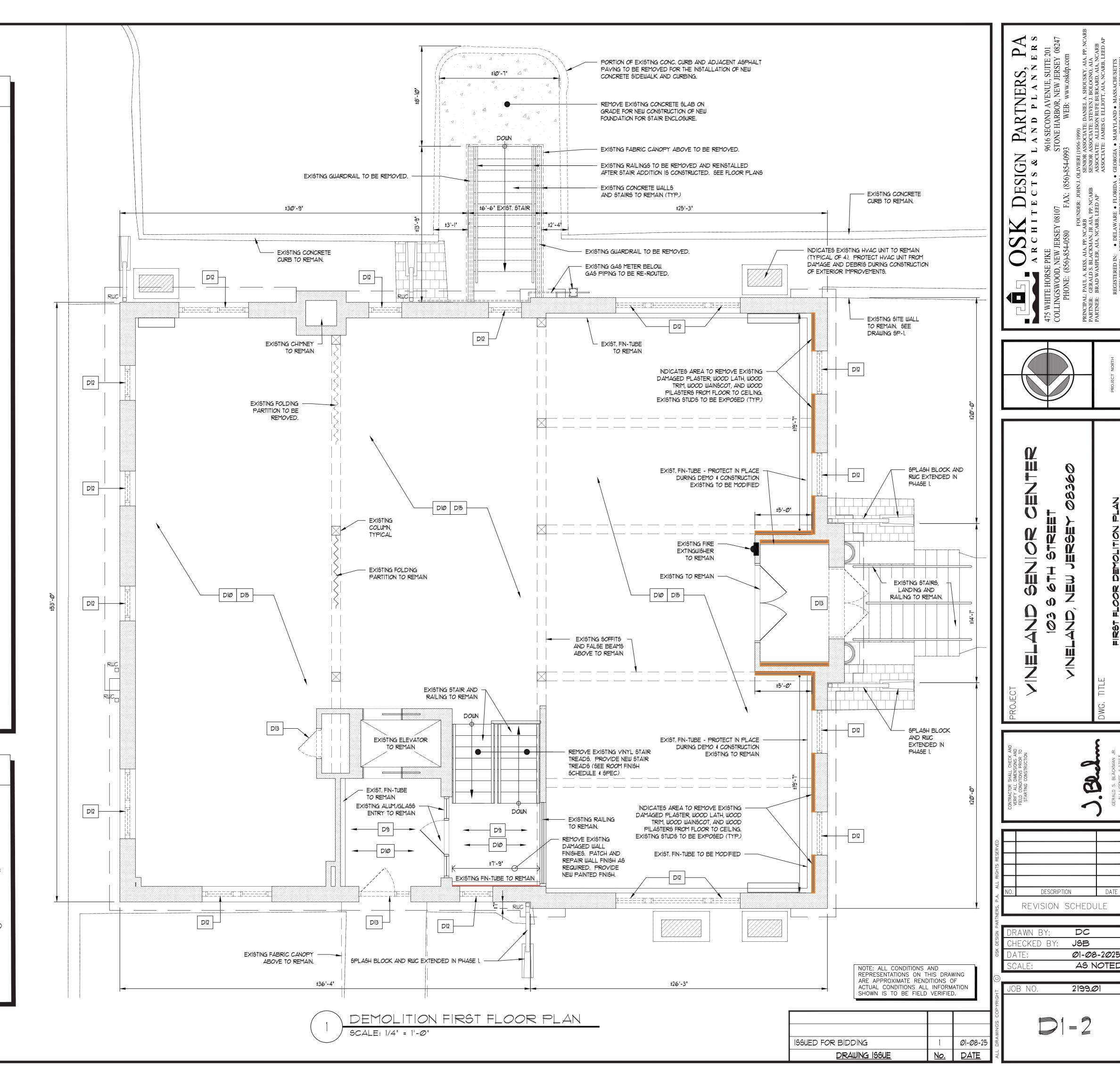
PLAN LEGEND OF DEMOLITION NOTES

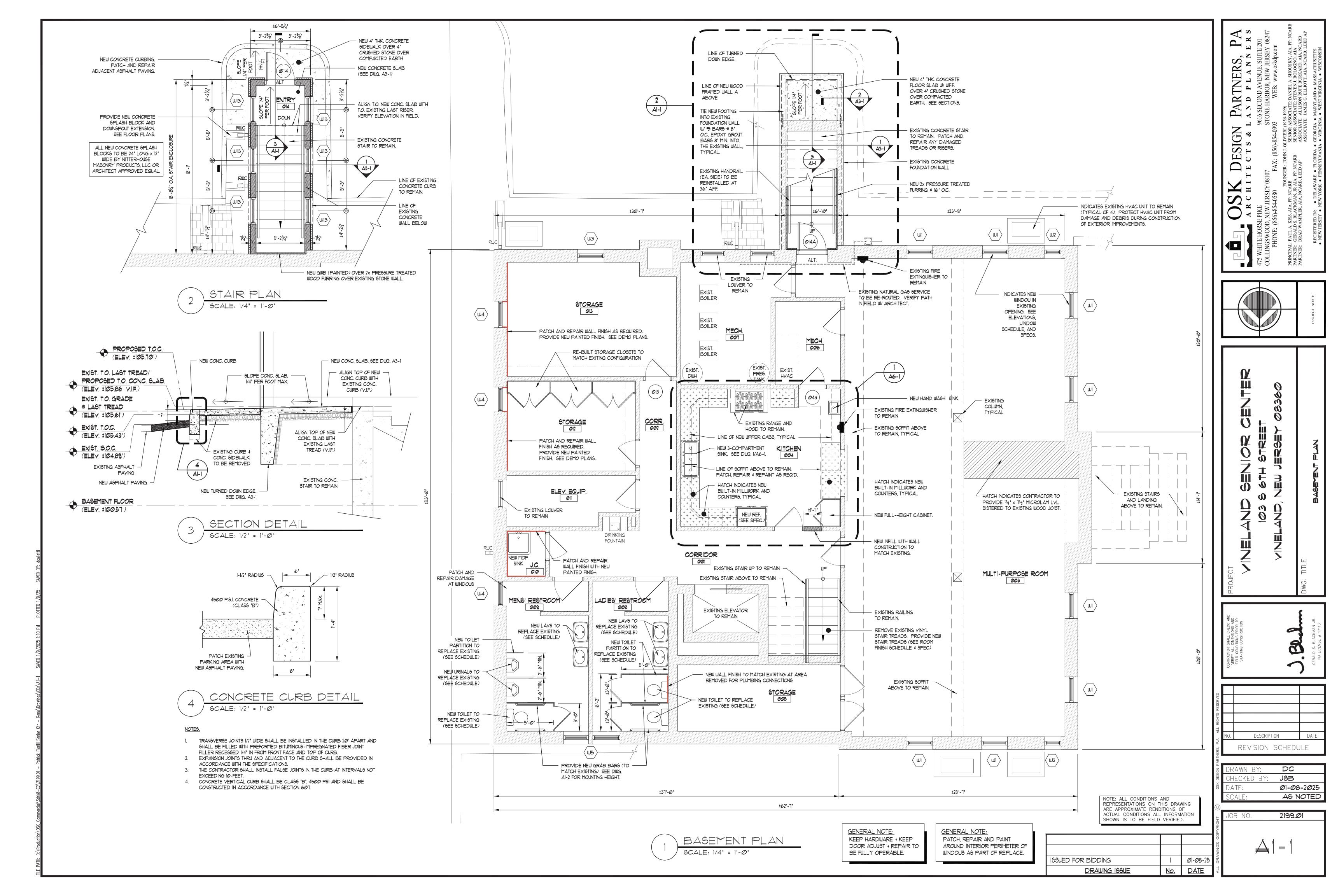
- DI (NOT USED)
- D2 REMOVE EXISTING DISHWASHER
- D3 REMOVE EXISTING SINK. SINK TO BE REPLACED.
 D4 REMOVE EXISTING LAVATORIES. LAVATORIES TO BE REPLACED.
- D5 REMOVE EXISTING LAVATORIES, LAVATORIES TO BE REPLACED
- D5 REMOVE EXISTING TOILETS. TOILETS TO BE REPLACED.

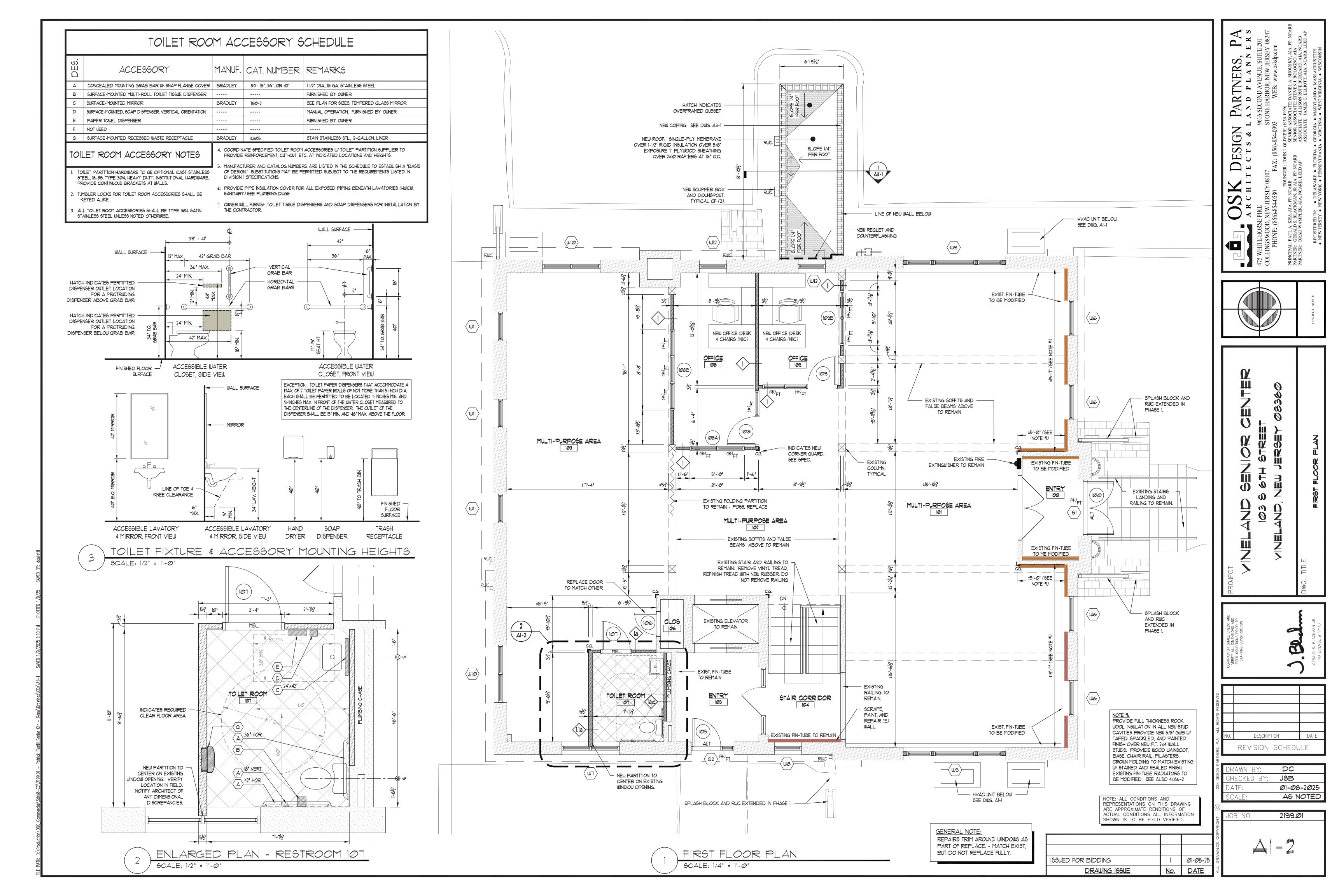
 D6 REMOVE EXISTING URINALS. URINALS TO BE REPLACED.
- DT REMOVE EXISTING TOILET PARTITION / URINAL SCREEN. TOILET PARTITIONS AND URINAL SCREENS TO BE REPLACED.
- DTA REMOVE EXISTING GRAB BAR. PROVIDE NEW GRAB BAR TO MATCH EXISTING AT EXISTING TOILET ROOM. SEE DRAWING A1-2 FOR NEW TOILET ROOM GRAB BAR LOCATIONS & DETAILS.
- D8 REMOVE EXISTING COUNTERTOP. COUNTERTOP TO BE REPLACED. SEE MILLWORK DRAWING A6-1.
- D9 REMOVE EXISTING VCT FLOOR TILES THROUGHOUT, VCT TO BE REPLACED.
- DIØ REMOVE EXISTING CEILING AND LIGHTING FIXTURES THROUGHOUT. CEILING AND LIGHT FIXTURES TO BE REPLACED.
- DII EXISTING CABINETS TO BE REMOVED AND REPLACED WITH NEW CABINETS. SEE DRAWING A6-1.
- DI2 REMOVE EXISTING WINDOW AND SILL. WINDOW AND SILL TO BE REPLACED.

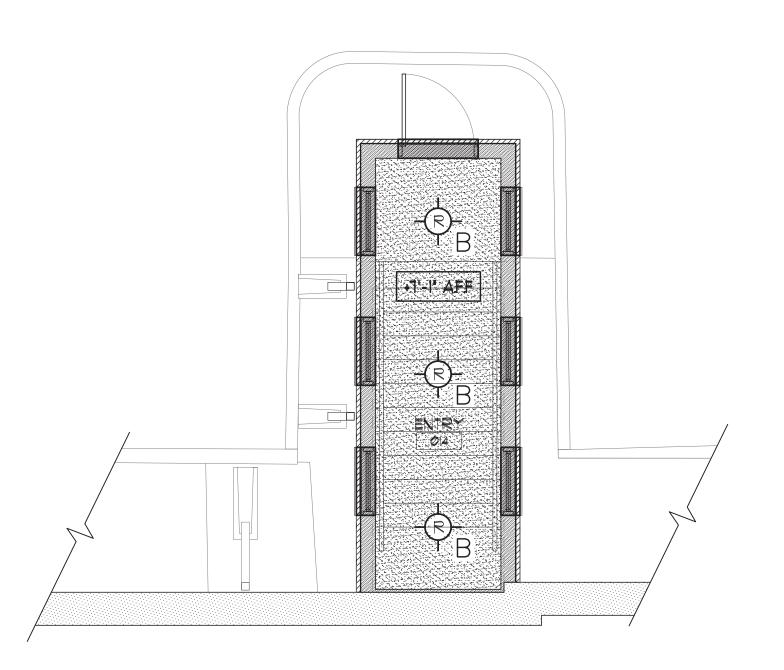
 DI3 REMOVE EXISTING DOOR AND FRAME. DOOR AND FRAME TO BE REPLACED.
- DI4 REMOVE EXISTING LOUVER TO REMAIN.
- DIS REMOVE EXISTING LOUVER TO REITIAIN.

 DIS REMOVE EXISTING CARPET THROUGHOUT. CARPET TO BE REPLACED.

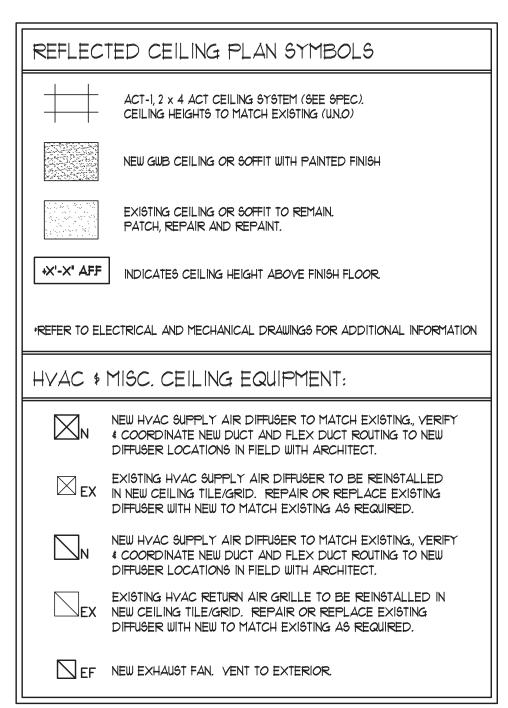




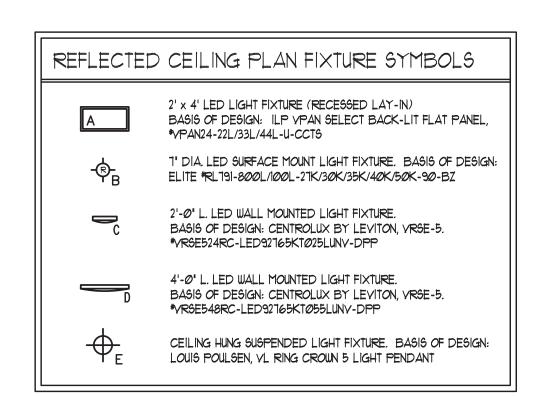


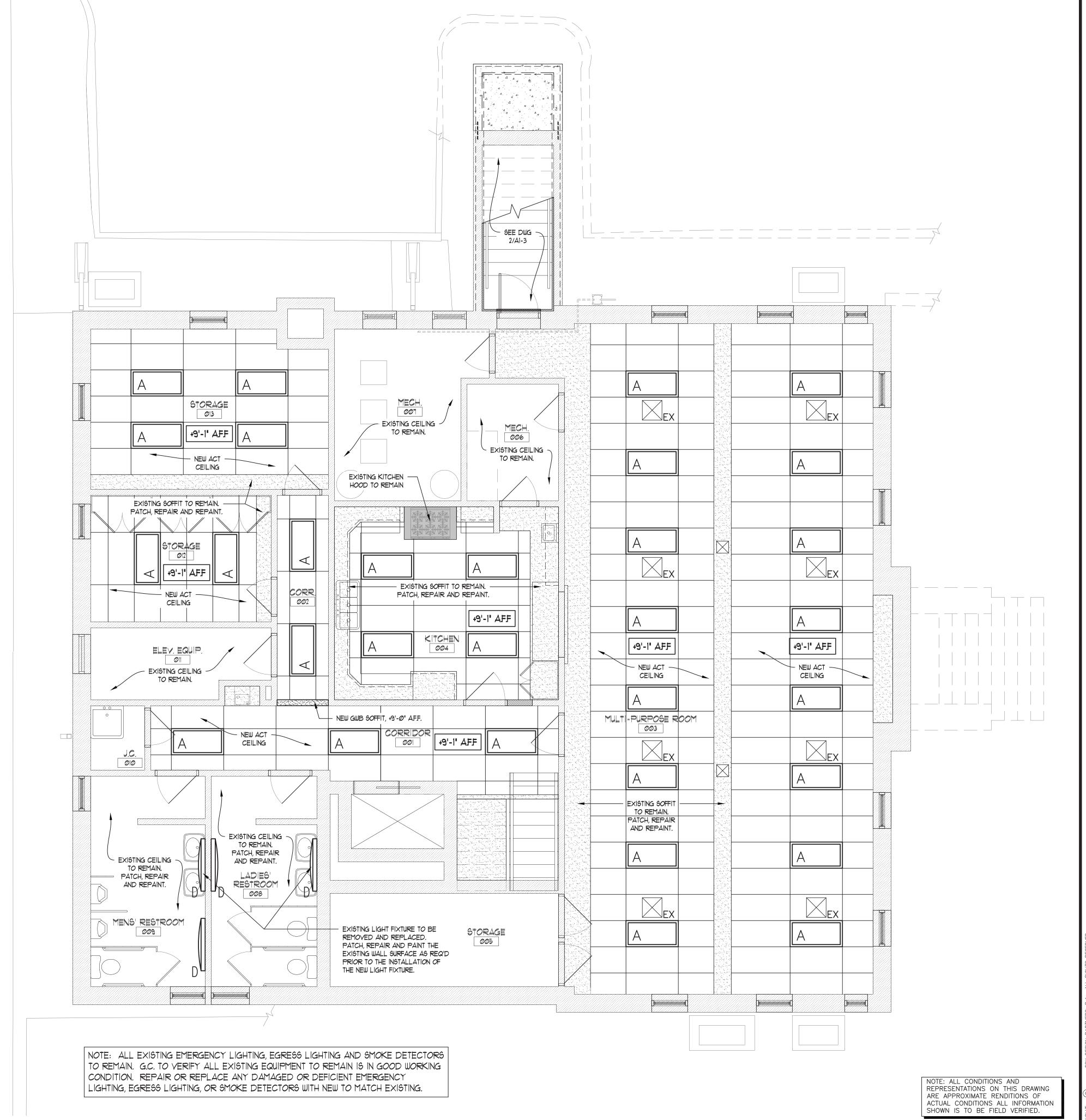


STAIR REFLECTED CEILING PLAN



NOTE: ARCHITECTURAL DRAWINGS ARE FOR CEILING LAYOUT PURPOSES. REFER TO ELECTRICAL, MECHANICAL, AND FIRE PROTECTION DRAWINGS FOR INSTALLATION INFORMATION THAT SUPERCEDES ARCHITECTURAL DRAWINGS.





BASEMENT REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0"

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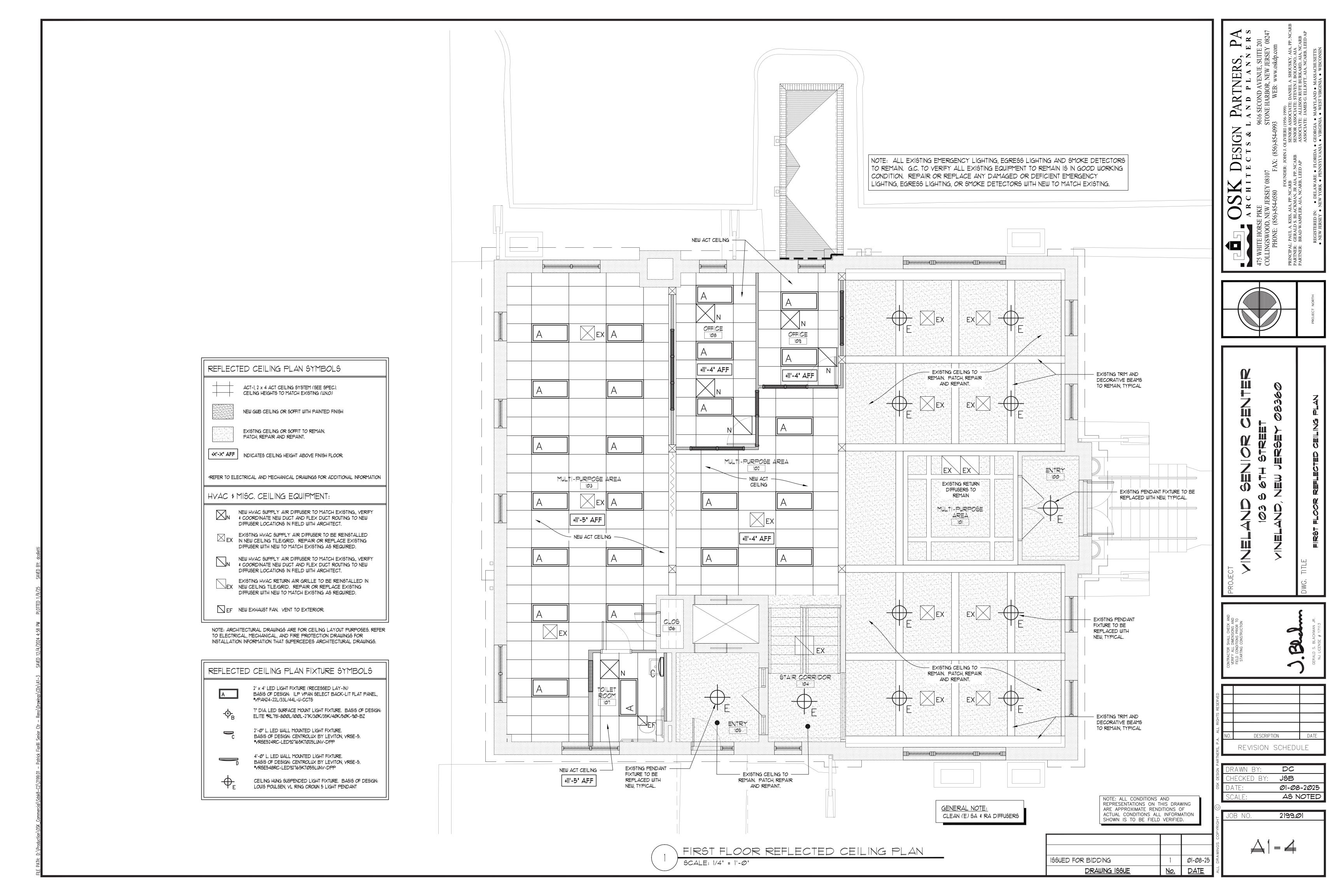
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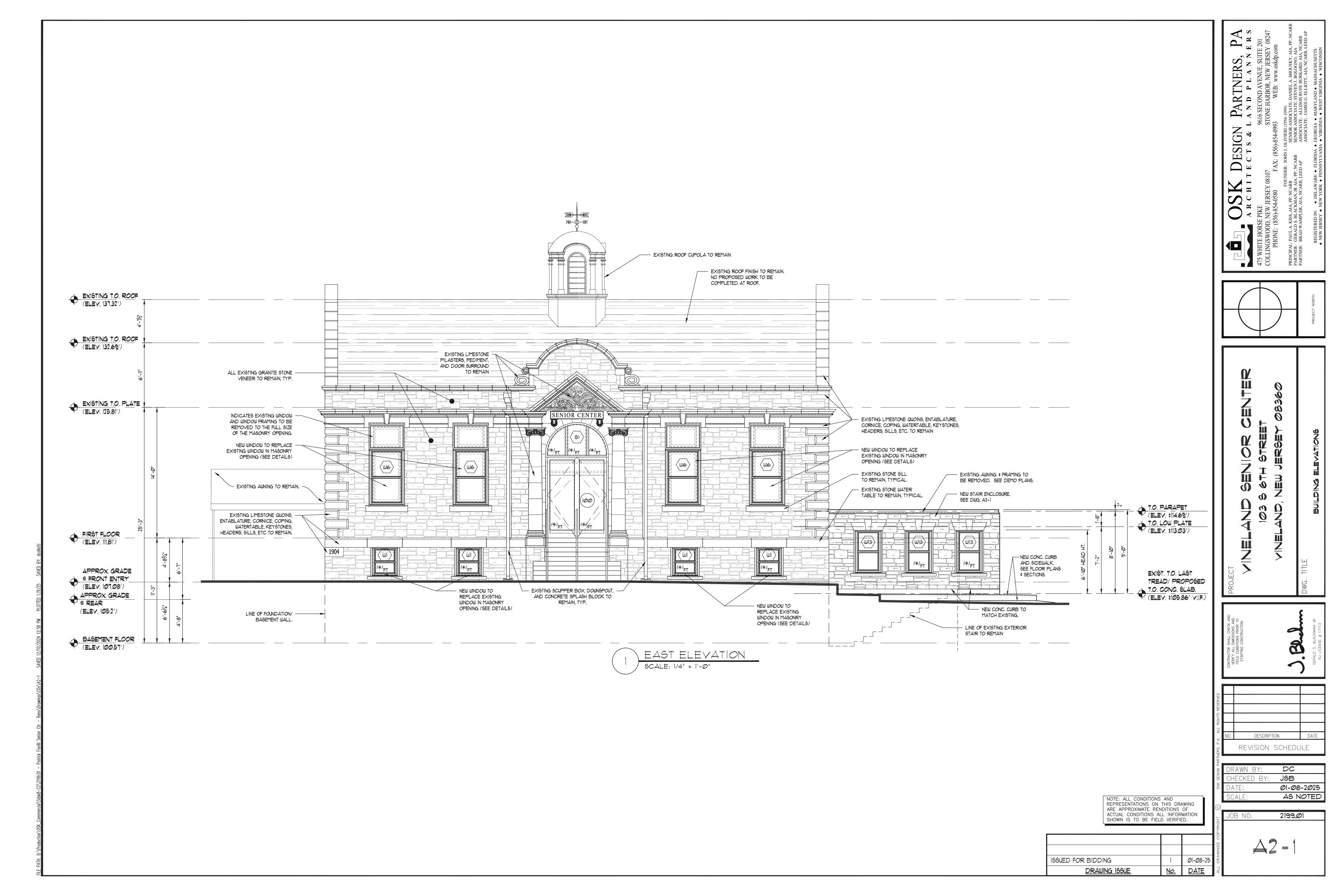
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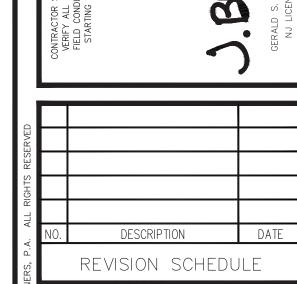
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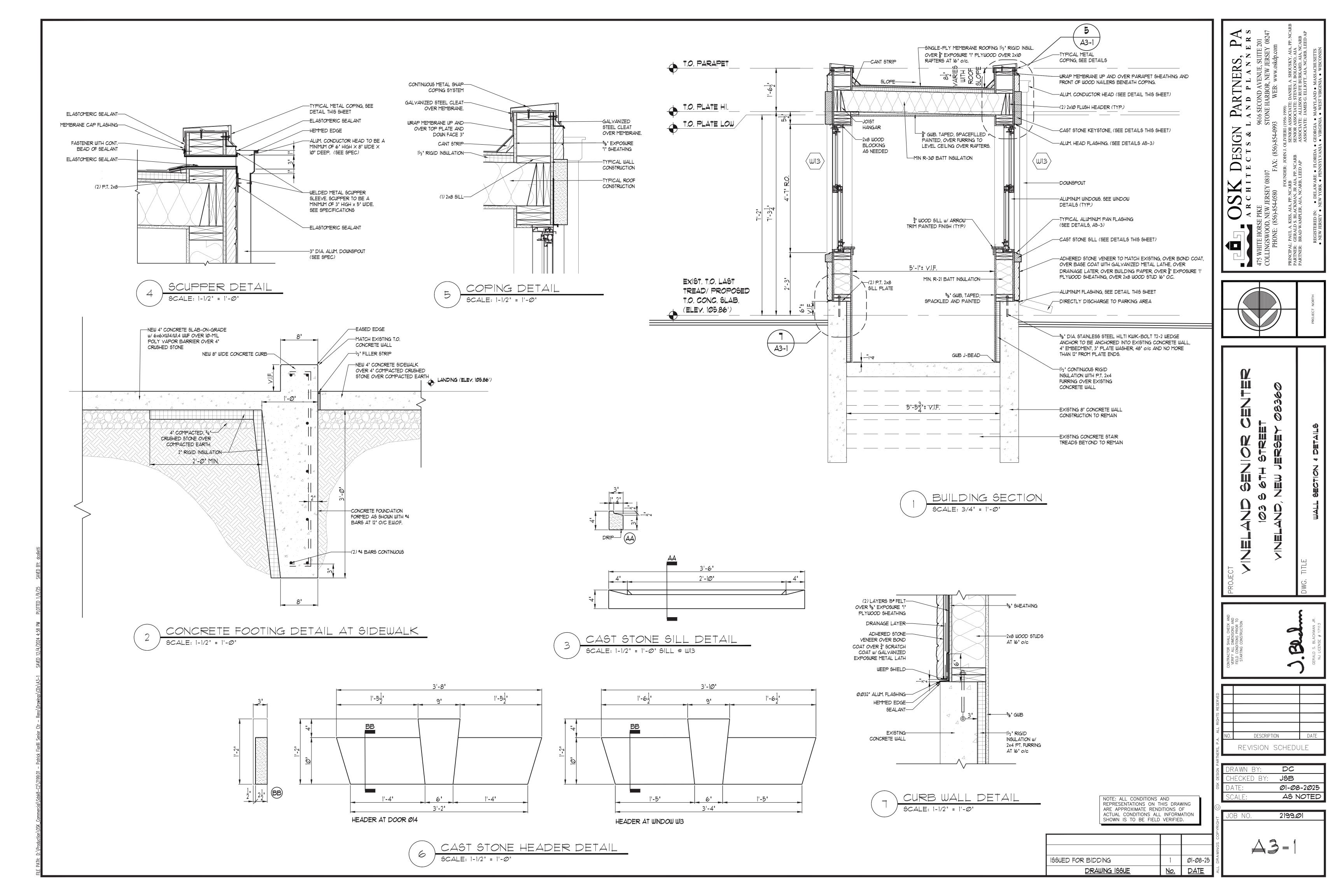


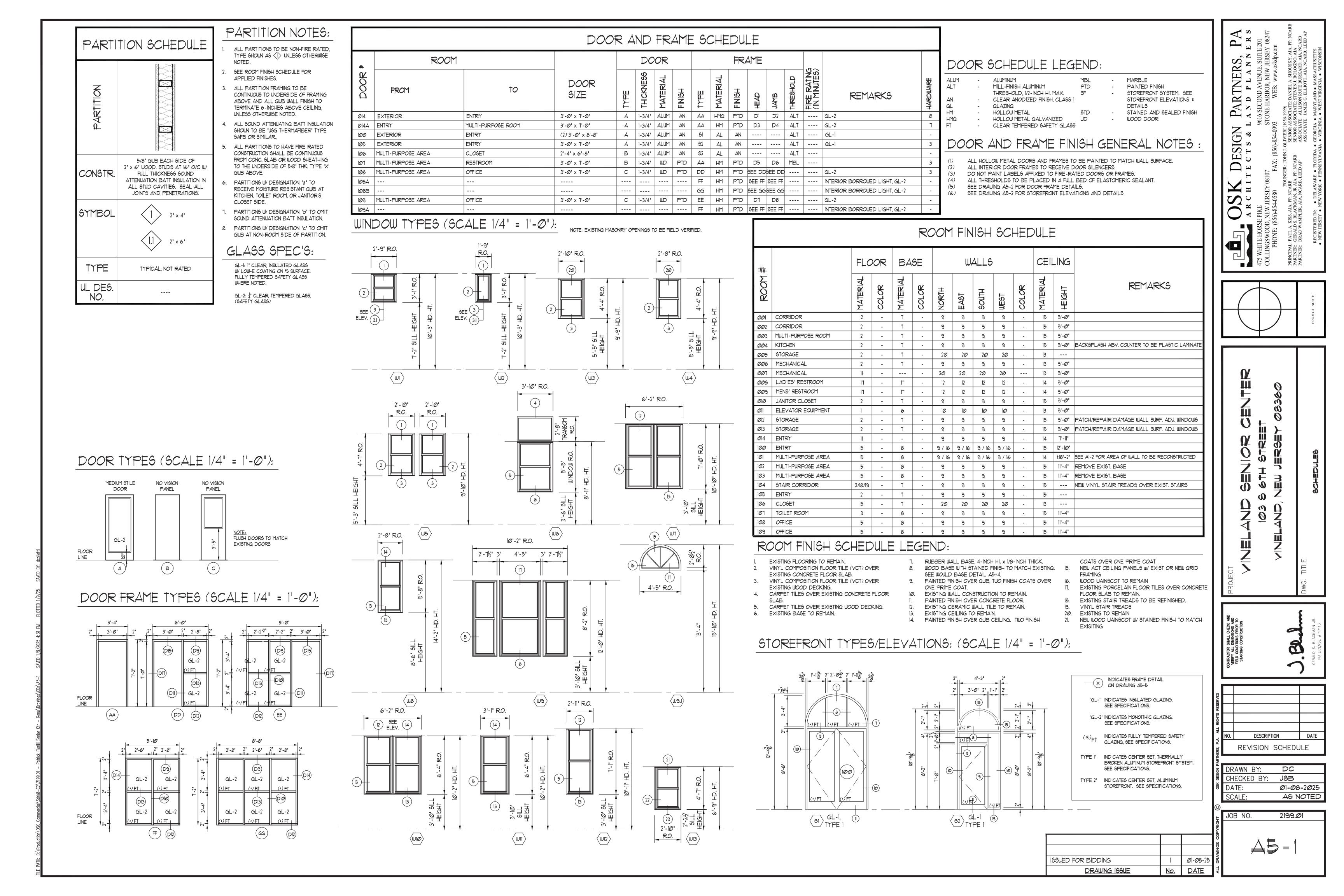
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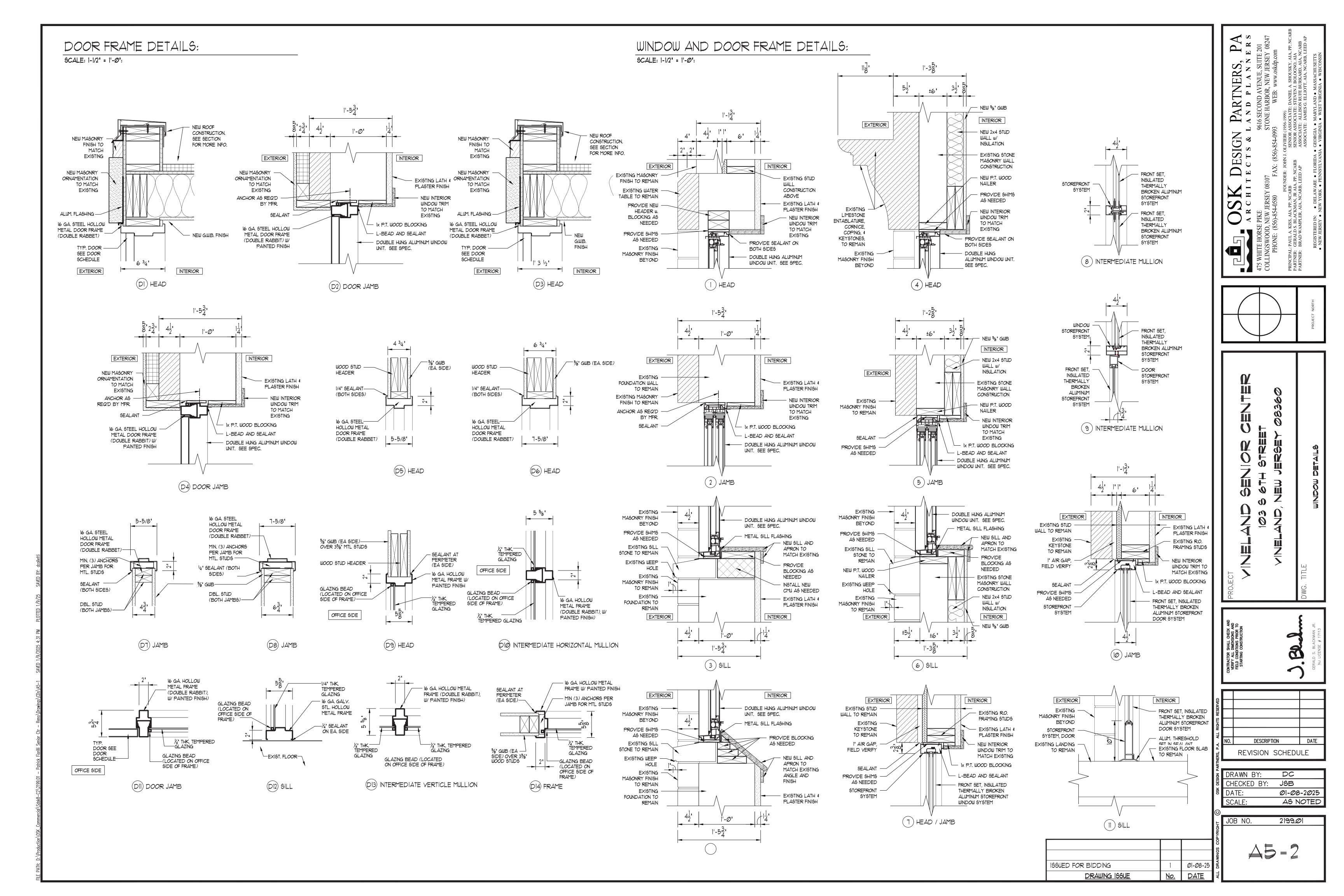
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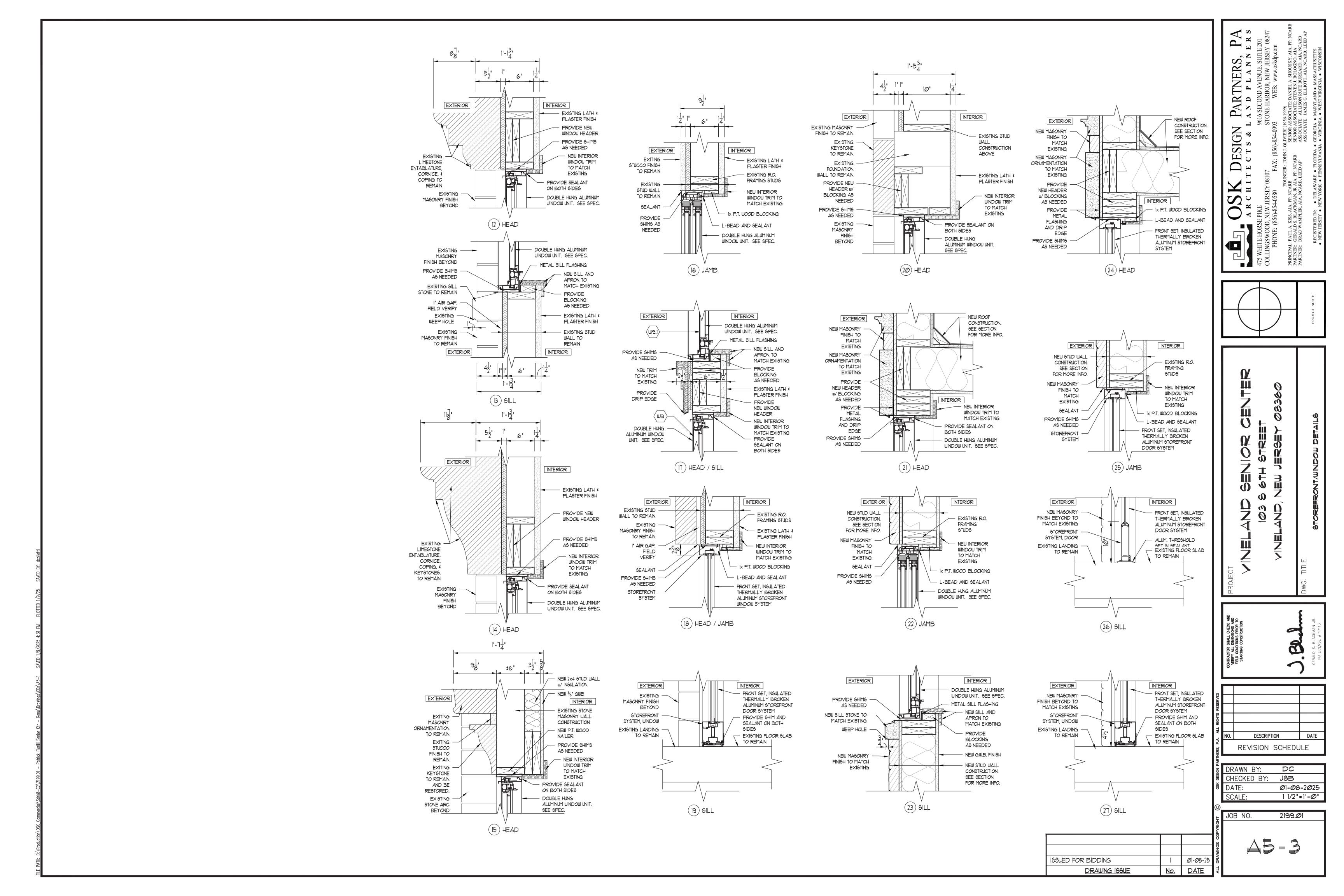
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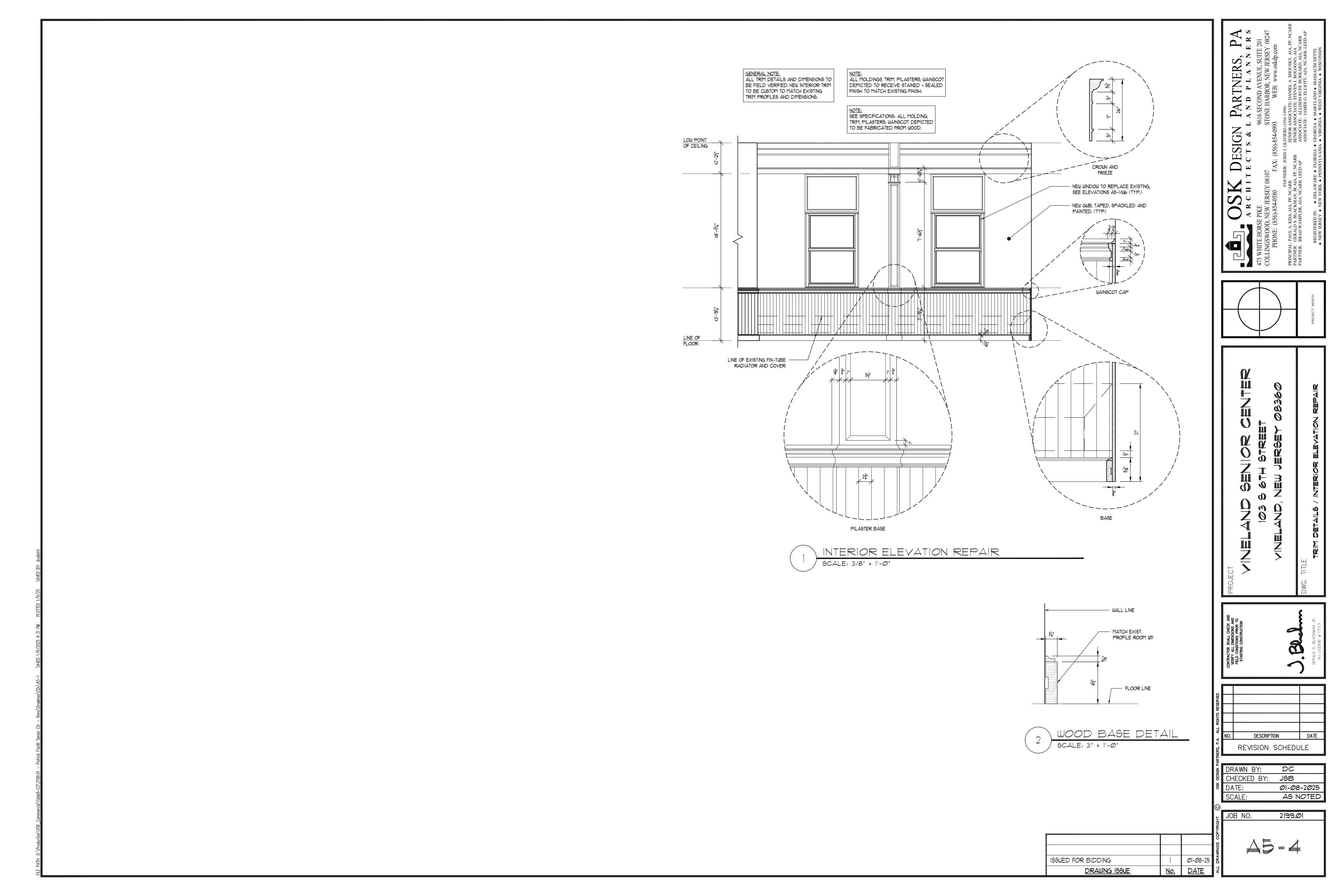


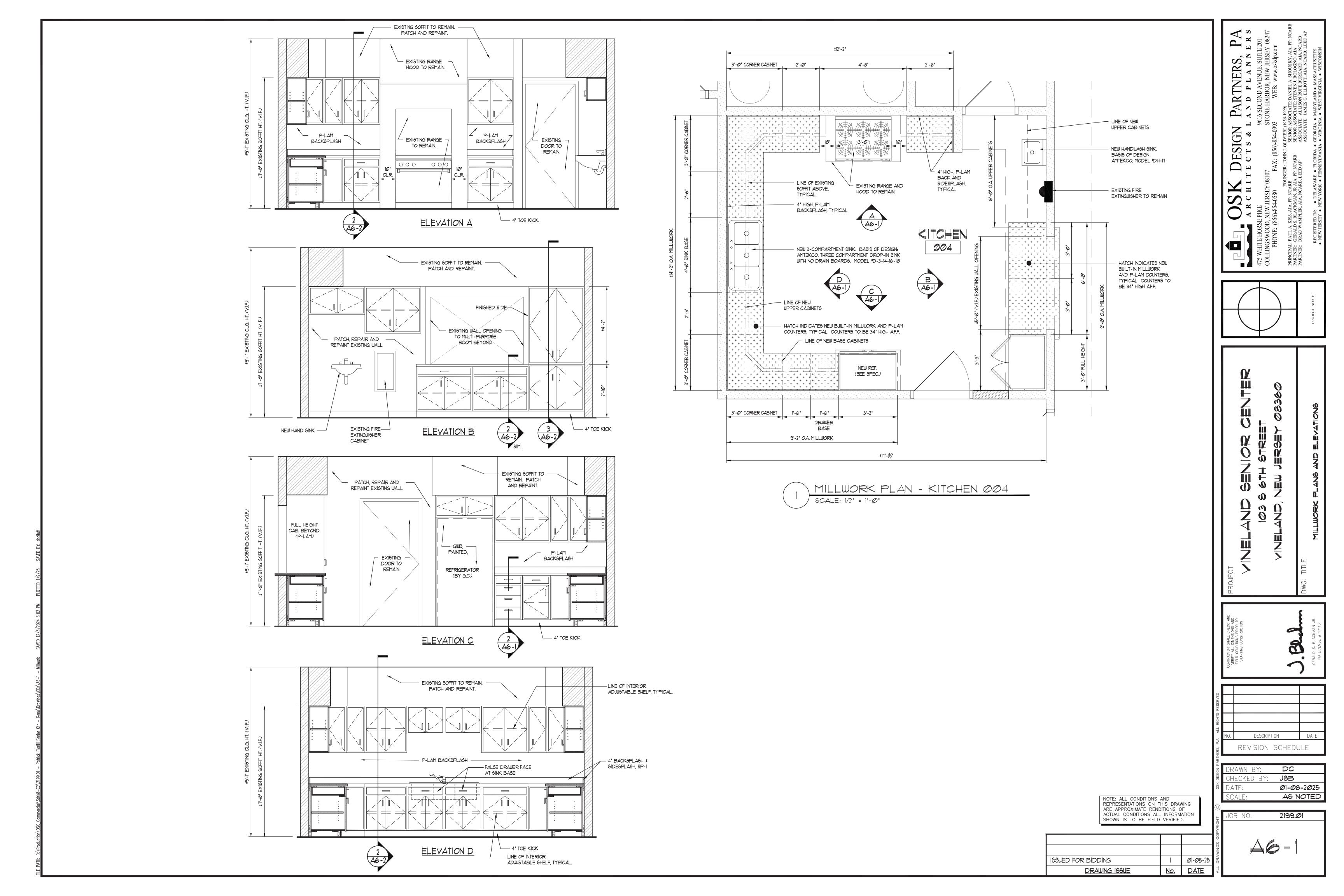


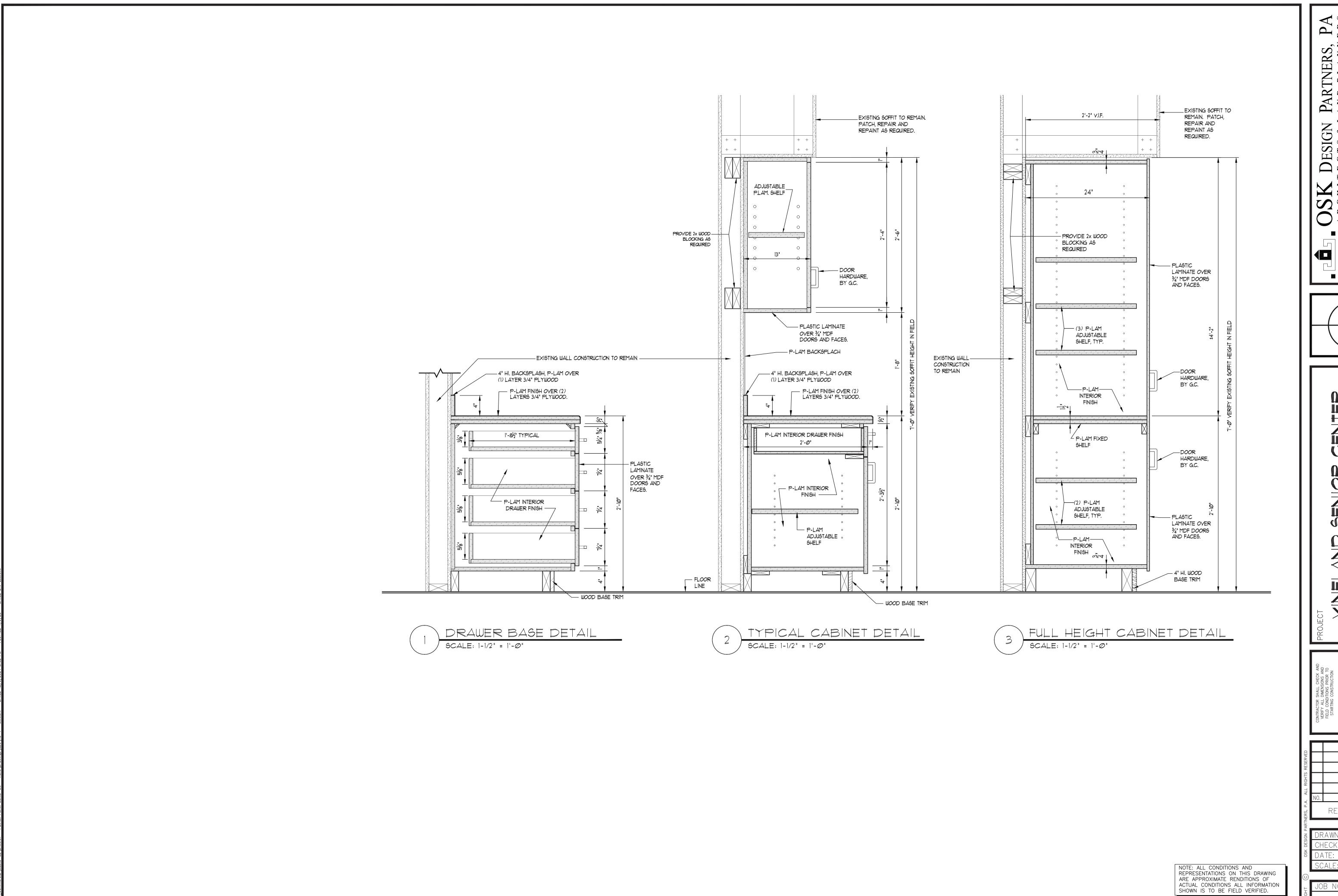












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