

VINELAND SENIOR CENTER

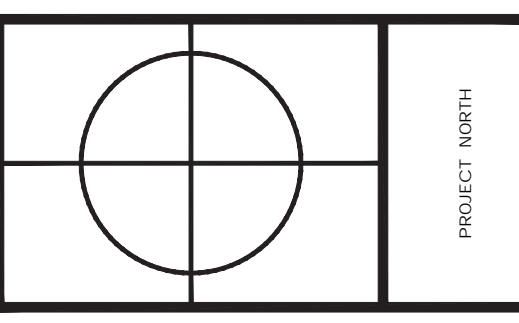
103 SOUTH 6TH STREET, BLOCK 4007 LOT 1, VINELAND, NEW JERSEY 08360

EXTERIOR RENOVATION IMPROVEMENTS



OSK DESIGN PARTNERS, PA
ARCHITECTS & LAND PLANNERS
 475 WHITE HORSE PIKE
 COLLINGSWOOD, NEW JERSEY 08107
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FOUNDER: JOHN J. OLIVERI (1956-1999)
 SENIOR ASSOCIATE: DANIEL A. SHOUSKY, AIA, PP, NCARB
 PRINCIPAL: PAUL A. KISS, AIA, PP, NCARB
 SENIOR ASSOCIATE: BRAD WAMPLER, AIA, NCARB, LEED AP
 PARTNER: BRAD WAMPLER, AIA, NCARB, LEED AP
 ASSOCIATE: ALLEN REBE BURKARD, AIA, NCARB
 ASSOCIATE: JAMES G. ELLIOTT, AIA, NCARB, LEED AP
 ASSOCIATE: MARYLAND • MASSACHUSETTS
 REGISTERED IN: • DELAWARE • FLORIDA • GEORGIA • MARYLAND • MASSACHUSETTS
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VINELAND SENIOR CENTER
EXTERIOR IMPROVEMENTS
 103 S 6TH STREET
 VINELAND, NEW JERSEY 08360

DWG. TITLE
COVER SHEET

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO STARTING CONSTRUCTION AND SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES WHICH ALTER OR IMPEDE THE ORIGINAL OR INTENDED DESIGN. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK AND OF ALL TRADES.

J. Blackman
 GERALD S. BLACKMAN, JR.
 N.J. LICENSE # 17113

| NO. | DESCRIPTION | DATE |
|-------------------|-------------|------|
| REVISION SCHEDULE | | |

DRAWN BY: DC / BJW
 CHECKED BY: JSB
 DATE: 01-08-2025
 SCALE: NO SCALE

JOB NO. 2199.01

ISSUED FOR BIDDING 1 01-08-2025
 DRAWING ISSUE No. DATE

CS-1

FILE PATH: D:\Production\OSK_CoverSheet\103-6th-Phase 1-Exterior Improvements\1-1 - Exterior Improvements\1-1 - Exterior Improvements.dwg - PLOTTED: 1/9/25 - 11:35 AM - SAVED: 1/9/25 - SAVED BY: danielk

PROJECT INFORMATION

PROJECT: VINELAND SENIOR CENTER (PATRICK FIORILLI SENIOR CENTER)
LOCATION: 103 SOUTH 6TH STREET VINELAND, NEW JERSEY 08360
OCCUPANCY GROUP: A-3, ASSEMBLY
RENOVATION/NEW: EXTERIOR IMPROVEMENTS, RENOVATIONS
NUMBER OF STORIES: 1

PROJECT TEAM

OWNER:
 THE CITY OF VINELAND, NEW JERSEY
 640 EAST WOOD STREET,
 VINELAND, NEW JERSEY 08360
 PHONE: 856-794-4000

CONSTRUCTION MANAGER:
 NEW ROAD CONSTRUCTION MANAGEMENT
 1816 GREENTREE ROAD,
 CHERRY HILL, NEW JERSEY 08003
 PHONE: 856-424-8888
 FAX: 856-424-1688

BRUCE FARRELL
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ARCHITECT:
 OSK DESIGN PARTNERS, PA
 475 WHITE HORSE PIKE,
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 FAX: 856-854-0993

JERRY BLACKMAN, AIA
 EMAIL: jblackman@oskdp.com

BRAD WAMPLER, AIA
 EMAIL: bwampler@oskdp.com

CODE REFERENCES

- INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION, 2021 (IBC)
- UNIFORM CONSTRUCTION CODE, STATE OF NEW JERSEY (NJAC)
- NATIONAL STANDARD PLUMBING CODE, 2021 (NSPC)
- NATIONAL ELECTRIC CODE, 2020 (NFPA 70)
- INTERNATIONAL MECHANICAL CODE, 2021
- INTERNATIONAL FUEL GAS CODE, 2021
- ENERGY SUBCODE, AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR-CONDITIONING ENGINEERS, ASHRAE 90.1-2019
- ICC/ANSI A117.1-2017, AMERICAN NATIONAL STANDARD, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC/ANSI)

DRAWING LIST

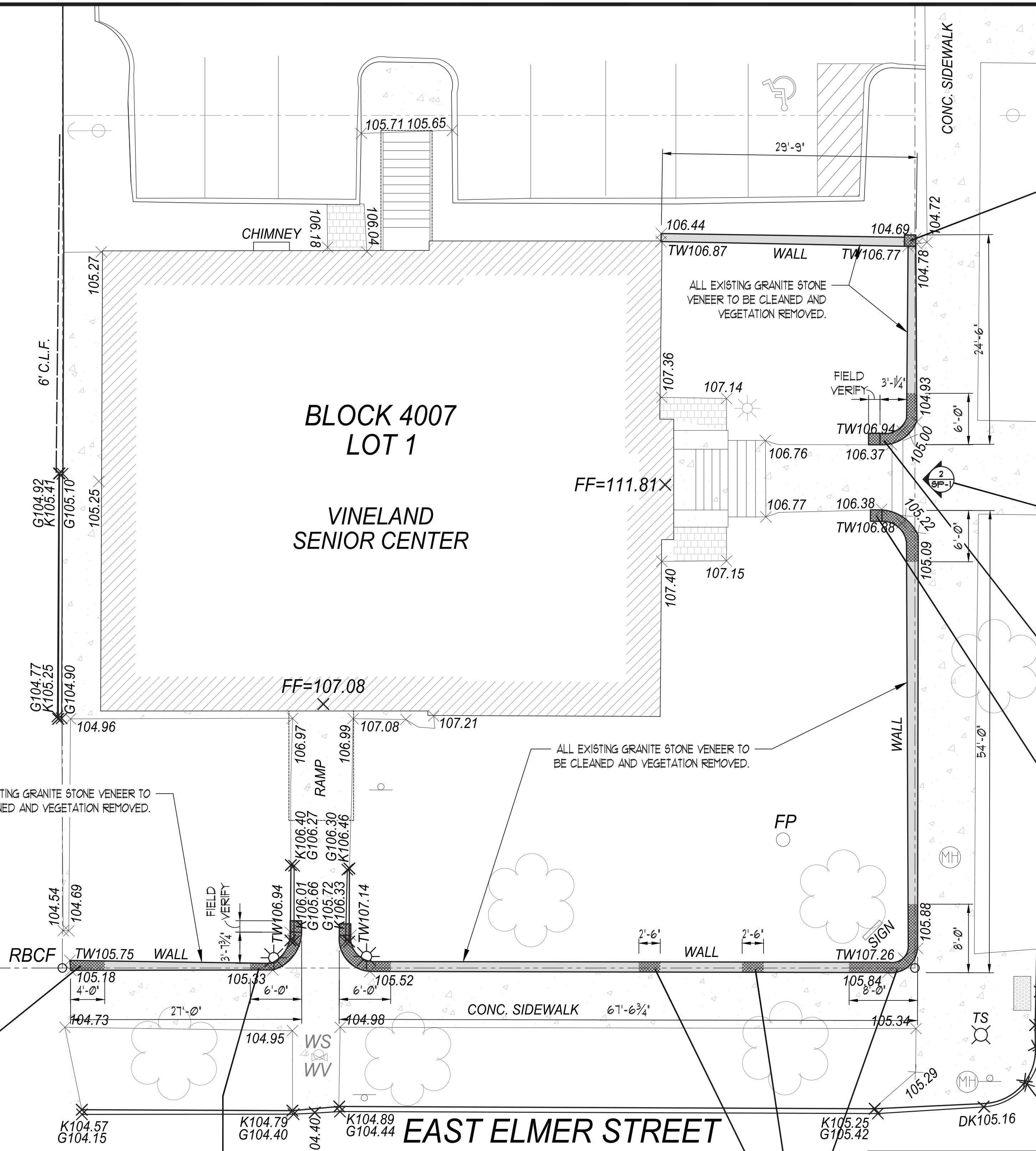
- ARCHITECTURAL DRAWING LIST:**
- CS-1 COVER SHEET - PROJECT INFORMATION & GENERAL NOTES
 - SP-1 SITE WALL REPAIR PLAN
 - A1-1 FLOOR PLANS & NOTES
 - A2-1 FRONT ELEVATIONS & NOTES
 - A2-2 LEFT SIDE ELEVATION & NOTES
 - A2-3 REAR ELEVATION & NOTES
 - A2-4 RIGHT SIDE ELEVATION & NOTES

GENERAL NOTES

- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO STARTING CONSTRUCTION AND SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES WHICH ALTER OR IMPEDE THE ORIGINAL OR INTENDED DESIGN. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK AND OF ALL TRADES.
- ARCHITECT IS NOT RESPONSIBLE FOR EXISTING CONDITIONS.
- ALL WORK MUST COMPLY WITH THE LATEST VERSION OF THE STATE OF NEW JERSEY UNIFORM CONSTRUCTION CODE AND ALL SUBCODES.
- CONTRACTORS MUST COMPLY WITH ALL STATE AND FEDERAL OSHA SAFETY REGULATIONS.
- DO NOT 'SCALE' FROM THESE DRAWINGS. THE DIMENSIONS INDICATED ON THE DRAWINGS SHALL GOVERN. IF A DISCREPANCY IS NOTED, IMMEDIATELY NOTIFY THE ARCHITECT.
- ALL DIMENSIONS INDICATED ON DRAWINGS ARE MEASURED TO THE FACE OF STUD FRAMING, EDGES OF CONCRETE SLABS, FACE OF MASONRY, OR FACE OF CONCRETE WALL. (UNLESS NOTED OTHERWISE) THE DIMENSIONS INDICATED ARE NOT CLEAR FINISH TO FINISH DIMENSIONS.
- MASONRY DIMENSIONS INDICATED ON DRAWINGS ARE 'NOMINAL' DIMENSIONS (NOT ACTUAL). CONCRETE DIMENSIONS INDICATED ON DRAWINGS ARE ACTUAL DIMENSIONS.
- LIFE SAFETY SYSTEMS SHALL REMAIN OPERABLE DURING CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES FOR ARCHITECT AND OWNER'S REVIEW PRIOR TO PURCHASING OR FABRICATION OF PROPOSED ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FOR THIS PROJECT AND PAYMENT OF SAME.
- WORK REQUIRING EXCESSIVE AND/OR DISTURBING NOISE TO NORMAL OPERATION OF THE BUILDING SHALL BE REVIEWED WITH THE OWNER PRIOR TO THE START OF SUCH WORK. THE OWNER RESERVES THE RIGHT TO RESTRICT ANY WORK THEY DEEM DISTURBING TO THE OPERATION OF THE BUILDING. ALL SUCH WORK SHALL BE COORDINATED WITH THE OWNER.
- PRIOR TO FINAL BID AND OR THE START OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND IDENTIFY IN WRITING TO THE ARCHITECT ANY DISCREPANCIES BETWEEN THE EXISTING AS-BUILT CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS CONTAINED HEREIN. COMMENCEMENT OF WORK INDICATES THE CONTRACTOR'S ACCEPTANCE OF THE EXISTING CONDITIONS AND THE ASSUMPTION OF RESPONSIBILITY, INCLUDING ALL COSTS AND EXPENSES, FOR PROVIDING A FINISHED PRODUCT AS DESIGNED AND PERMITTED.
- ITEMS THAT ARE NOT PART OF THE CONTRACTOR'S CONTRACT ARE INDICATED BY 'NIC' AND ARE SHOWN DASHED.

FILE PATH: G:\Production\OSK_Corrections\2025-08-27\2025-08-27 - Exterior Improvements\Phase 1 - Exterior Improvements\Phase 1 - Exterior Improvements.dwg - Patrick Farrell Senior Ctr. - Reno\Drawings\OSK\Phase 1 - Exterior Improvements\Phase 1 - Exterior Improvements.dwg - Saved By: dsdelliti

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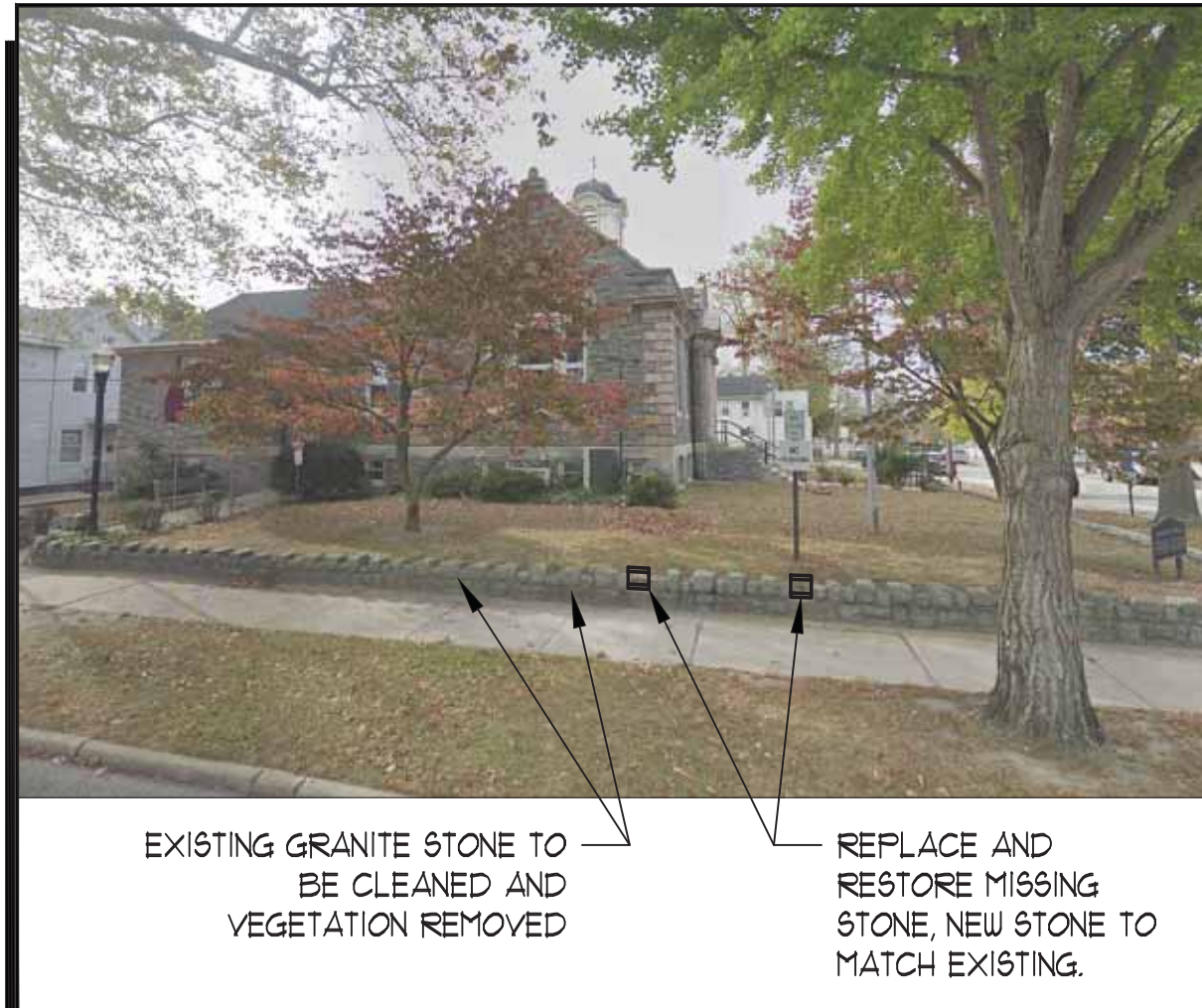
SOUTH 6TH STREET
66' WIDE R.O.W. PER TAX MAP

EAST ELMER STREET
66' WIDE R.O.W. PER TAX MAP



REPLACE AND RESTORE MISSING STONE, NEW STONE TO MATCH EXISTING.

EXISTING GRANITE STONE TO BE CLEANED AND VEGETATION REMOVED. TEMPORARILY REMOVE EXISTING STONES AT AREA INDICATED. REMOVE EXISTING MORTAR FROM EXISTING STONES. RE-INSTALL EXISTING STONES WITH NEW MORTAR.



EXISTING GRANITE STONE TO BE CLEANED AND VEGETATION REMOVED.

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TEMPORARILY REMOVE EXISTING STONES AT AREA INDICATED. REMOVE EXISTING MORTAR FROM EXISTING STONES. RE-INSTALL EXISTING STONES WITH NEW MORTAR.

EXISTING GRANITE STONE TO BE CLEANED AND VEGETATION REMOVED.

NOTE: ALL DIMENSIONS MUST BE FIELD VERIFIED

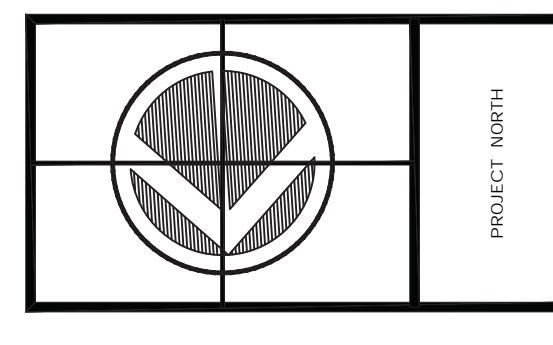
NOTE: ALL EXISTING GRANITE STONE AT EXISTING SITE RETAINING WALLS SHALL BE CLEANED AND VEGETATION REMOVED.

NOTE: ALL CONDITIONS PICTURED ARE BASED OFF OF EXISTING SITE SURVEY DATED: 8/02/24

| | | |
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OSK DESIGN PARTNERS, PA
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VINELAND SENIOR CENTERS
EXTERIOR IMPROVEMENTS
103 S 6TH STREET
VINELAND, NEW JERSEY 08360

PROJECT

ARCHITECTURAL SITE PLAN - SITE WALL REPAIR PLAN

DWG. TITLE

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE STARTING CONSTRUCTION

J. Blodum
GERALD S. BLACKMAN, JR.
NJ LICENSE # 1713

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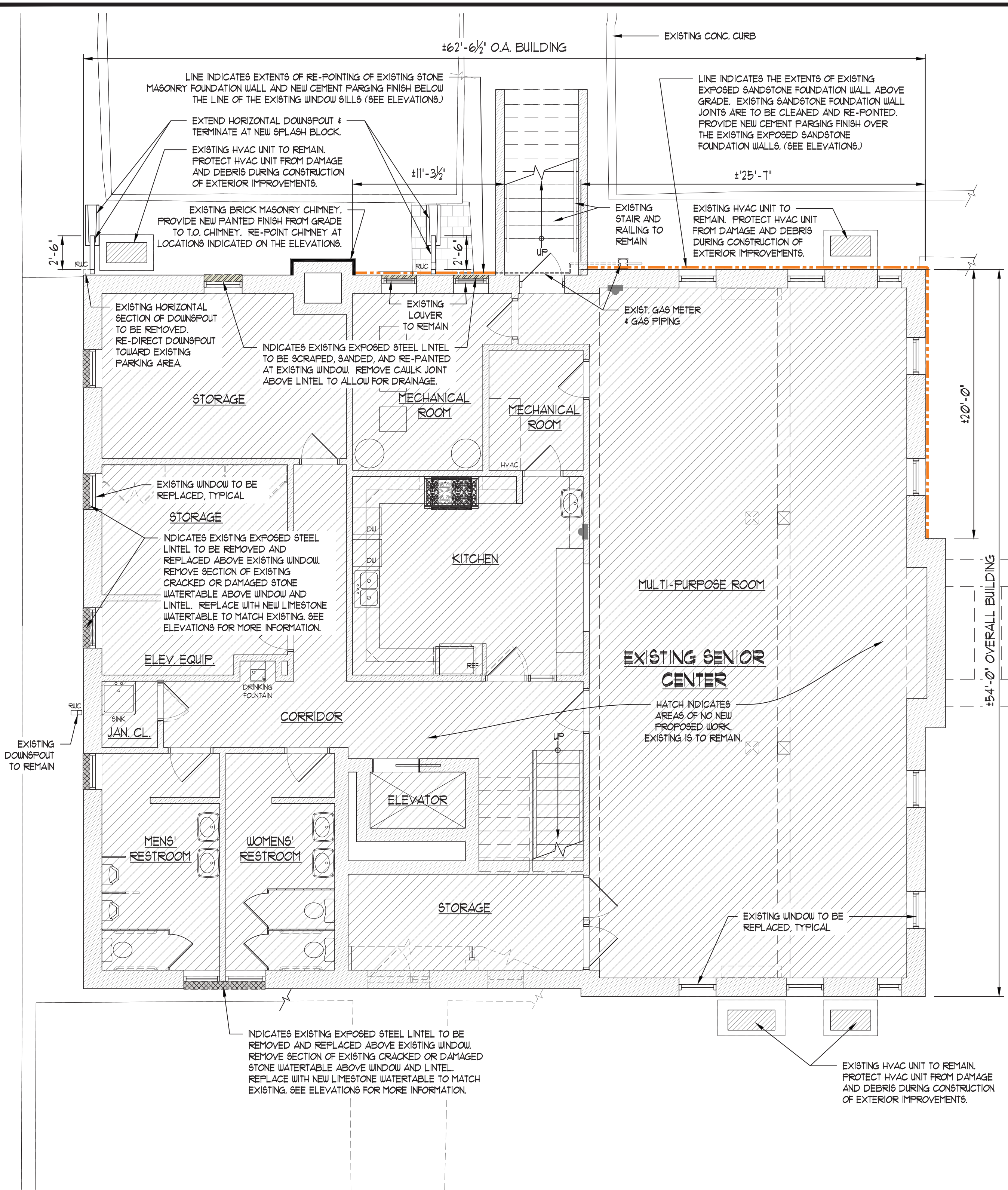
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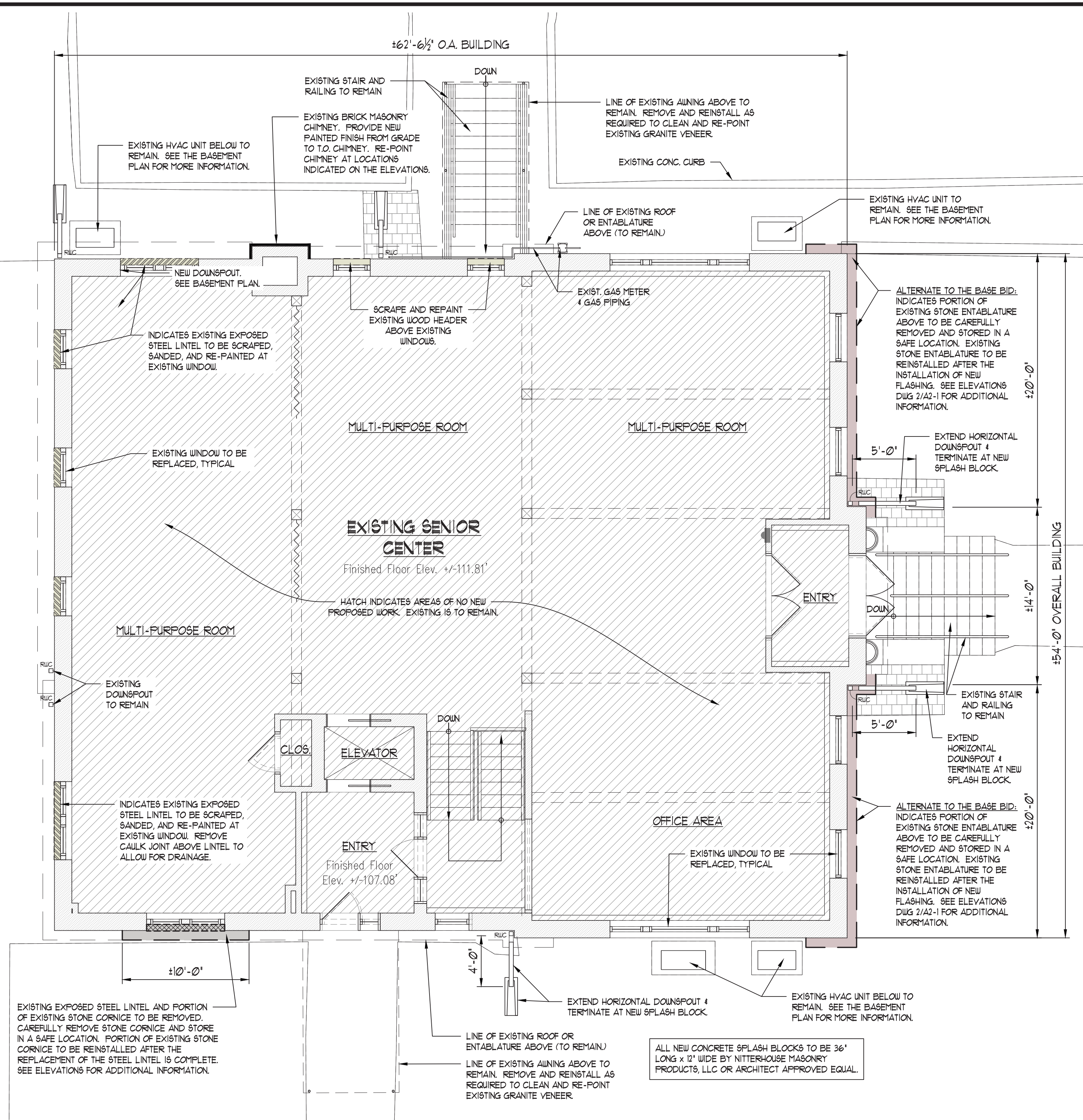
JOB NO. 2199.01

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1 BASEMENT PLAN
SCALE: 3/16" = 1'-0"



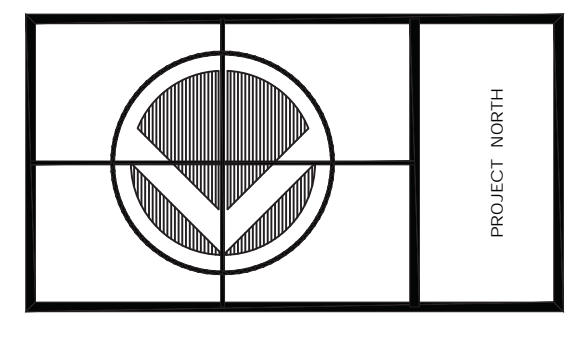
2 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

- GENERAL DEMOLITION & RENOVATION NOTES**
- ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE THE START OF CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - ALL AREAS AFFECTED BY CONSTRUCTION OR DEMOLITION TO BE REPAIRED. PATCH, REPAIR, AND RE-FINISH ENTIRE SURFACE OF ALL WALLS, FLOORS, AND CEILINGS DISTURBED BY NEW WORK. FINISH TO MATCH EXISTING. ALL NEW WORK SHALL BE FINISHED PER ARCHITECT'S DIRECTION.
 - 'REMOVAL OF EXISTING' PERTAINS TO ALL EXISTING CONDITIONS, INCLUDING ALL FRAMING, MASONRY, WALL AND CEILING FINISHES, WIRING, CONDUIT, PLUMBING, AND ANY CONDITIONS HIDDEN FROM VIEW, ETC. INCLUDING IN CRAWL SPACE.
 - REMOVE FINISHES TO VERIFY ASSUMED EXISTING STRUCTURAL FRAMING CONDITIONS TO DETERMINE THAT DEMOLITION WORK WILL NOT AFFECT BUILDING'S STRUCTURAL INTEGRITY.
 - NOTIFY ARCHITECT IF EXISTING FRAMING IS DIFFERENT FROM THAT SHOWN ON DRAWINGS. DO NOT PROCEED UNTIL ALTERNATE INSTRUCTIONS HAVE BEEN ISSUED BY ARCHITECT.
 - PROVIDE TEMPORARY SHORING AND BRACING WHERE REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY UNTIL PERMANENT STRUCTURE IS COMPLETED.
 - MAINTAIN BUILDING IN A WEATHER TIGHT CONDITION UNTIL PERMANENT WEATHERPROOF CLOSURE IS COMPLETED.
 - CAREFULLY REMOVE ITEMS TO BE RELOCATED OR REUSED. PROTECT AND STORE ITEMS TO PREVENT DAMAGE UNTIL TIME OF REINSTALLATION.
 - DISCONNECT, CAP, AND PLUG MECHANICAL, PLUMBING AND ELECTRICAL SERVICES AT POINTS OF DEMOLITION.
 - LEAVE SERVICES IN A SAFE USABLE CONDITION. ANY PLUMBING, MECHANICAL OR ELECTRICAL SERVICES TO BE ABANDONED ARE TO BE COMPLETELY REMOVED FROM STRUCTURE.
 - REMOVE AND/OR RELOCATE EXISTING LIGHT SWITCHES, RECEPTACLES, TELEPHONE AND DATA OUTLETS, THERMOSTATS, AND ANY ACCESSORY AS INDICATED ON THE PLANS. ANY UNIDENTIFIED ITEMS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
 - DISPOSE OF ALL MATERIALS IN STRICT ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL LAWS, CODES, ORDINANCES, AND REGULATIONS.
 - CLEAR AND UNOBSTRUCTED PATHS AND AISLES SHALL BE MAINTAINED AT ALL TIMES THROUGH OCCUPIED SPACES BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL LAWS, CODES, ORDINANCES, AND REGULATIONS.
 - CONTRACTOR SHALL PROTECT ALL AREAS, SURFACES, AND FINISHES NOT TO BE DEMOLISHED. BARRICADES, TEMPORARY DUST PROTECTION, PLASTIC PARTITIONS, ETC. SHALL BE UTILIZED AS REQUIRED TO MAINTAIN SAFE AND CLEAN OCCUPIED AREAS. DEBRIS SHALL BE REMOVED AND WORK AREAS CLEANED AT THE END OF EACH WORK DAY. THIS PORTION IS MANDATORY FOR CONTRACTOR.
 - LIFE SAFETY SYSTEMS INCLUDING BUT NOT LIMITED TO EGRESS AND EMERGENCY LIGHTING, SMOKE DETECTORS AND FIRE SPRINKLERS SHALL REMAIN OPERABLE DURING AND AFTER DEMOLITION. CONTRACTOR SHALL NOTIFY LOCAL FIRE AND POLICE DEPARTMENTS, ALARM SERVICE COMPANIES, AND COORDINATE WITH THE OWNER TO SHUT DOWN AND START UP ANY LIFE SAFETY SYSTEM.
 - OWNER TO HAVE RIGHT OF FIRST REFUSAL OF ALL EXISTING FIXTURES, FITTINGS, AND ALL OTHER ITEMS BEFORE DISPOSING OF ANY SUCH ITEMS.

NOTE: ALL CONDITIONS AND REPRESENTATIONS ON THIS DRAWING ARE APPROXIMATE. REPRESENTATIONS OF ACTUAL CONDITIONS ALL INFORMATION SHOWN IS TO BE FIELD VERIFIED.

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VINELAND SENIOR CENTERS EXTERIOR IMPROVEMENTS
103 S 6TH STREET
VINELAND, NEW JERSEY 08360
PROJECT TITLE
DWG. TITLE
FLOOR PLANS & NOTES

CONTRACTOR SHALL CHECK AND FIELD VERIFY DIMENSIONS AND CONDITIONS BEFORE STARTING CONSTRUCTION.
J. Blodman
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NJ LICENSE # 1713

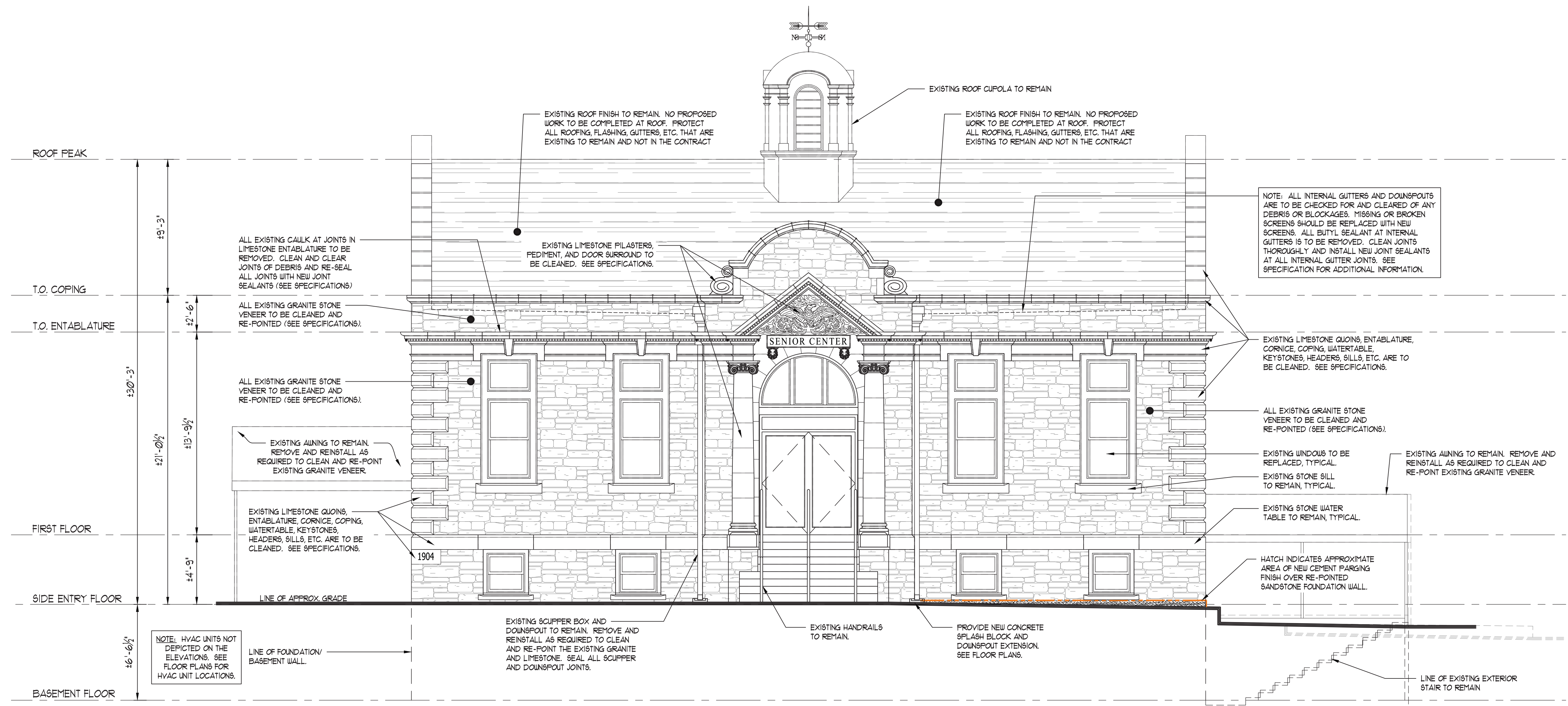
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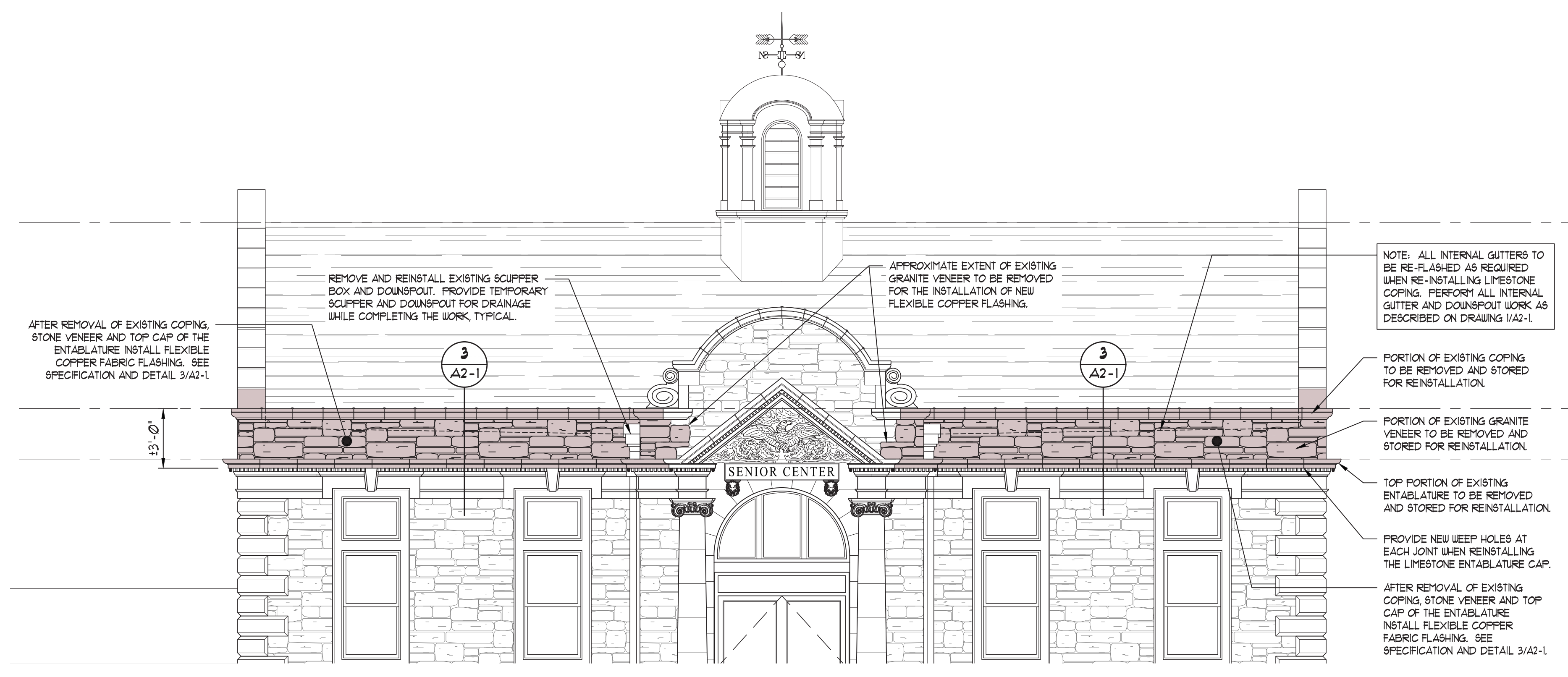
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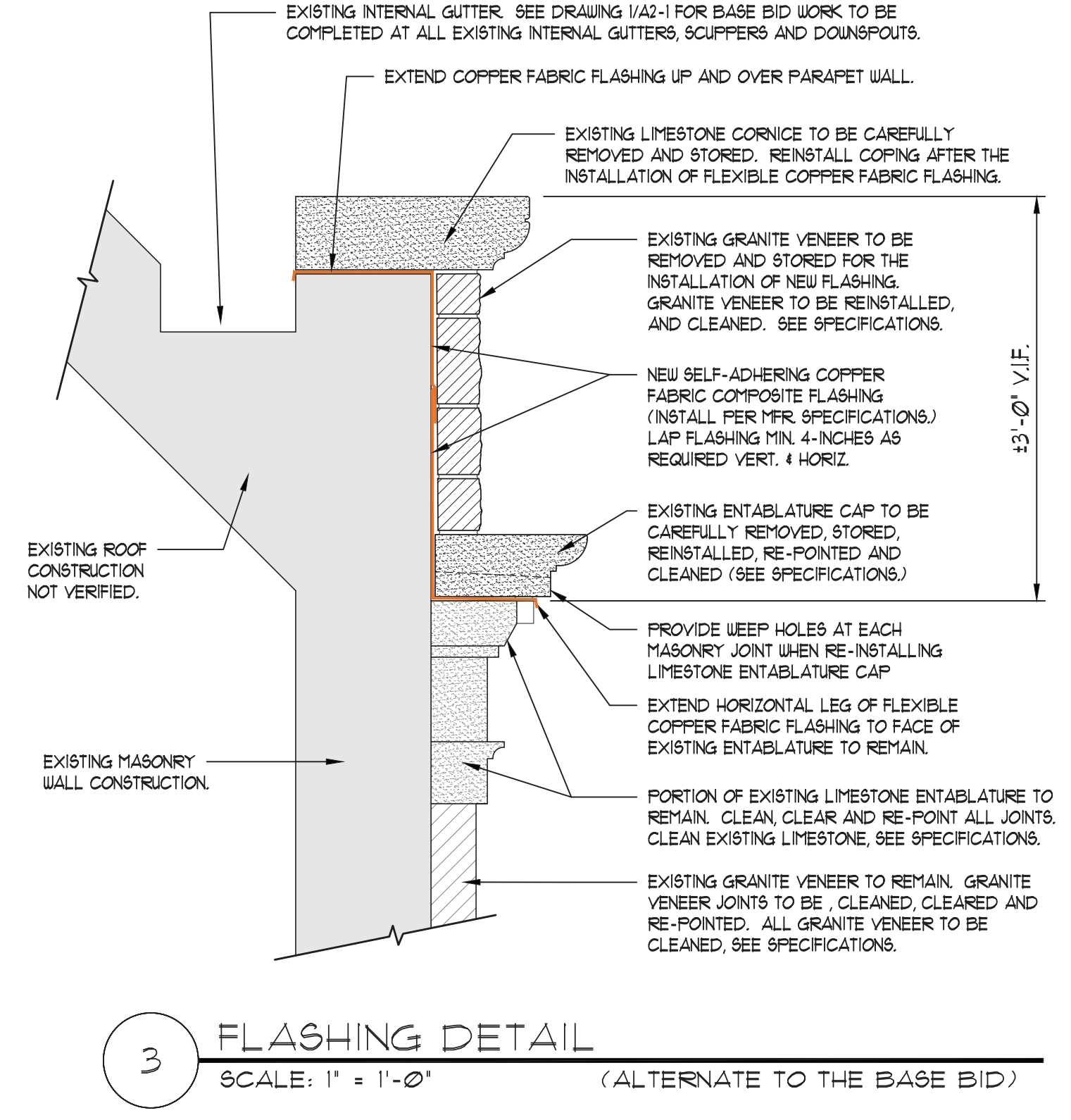
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1 FRONT / NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PARTIAL FRONT / NORTH ELEVATION
SCALE: 1/4" = 1'-0" (ALTERNATE TO THE BASE BID)



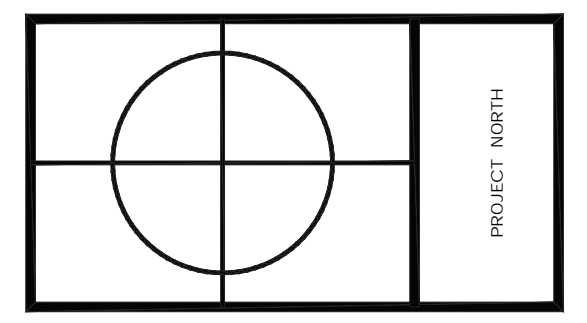
3 FLASHING DETAIL
SCALE: 1" = 1'-0" (ALTERNATE TO THE BASE BID)

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**VINELAND SENIOR CENTERS
EXTERIOR IMPROVEMENTS**
103 S 6TH STREET
VINELAND, NEW JERSEY 08360

PROJECT TITLE

BUILDING ELEVATIONS & DETAILS

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE STARTING CONSTRUCTION

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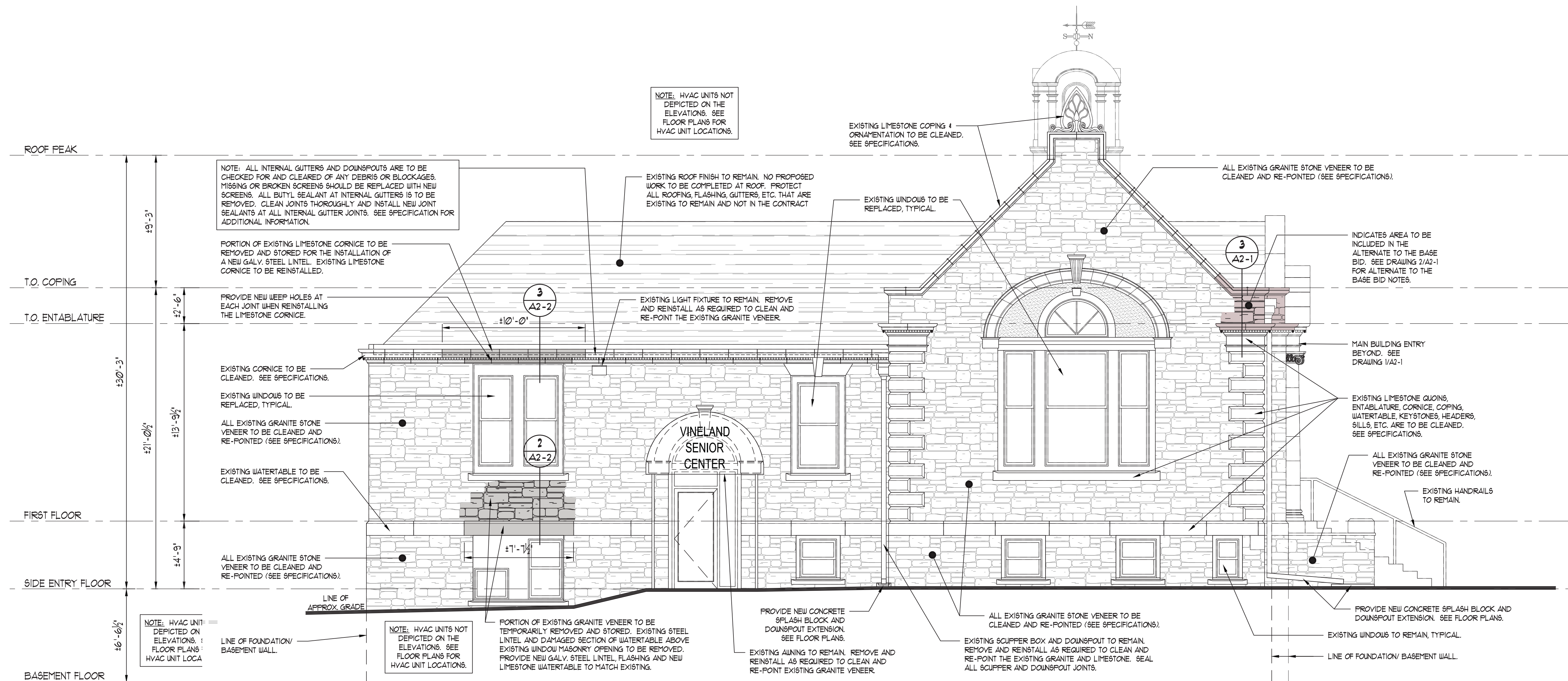
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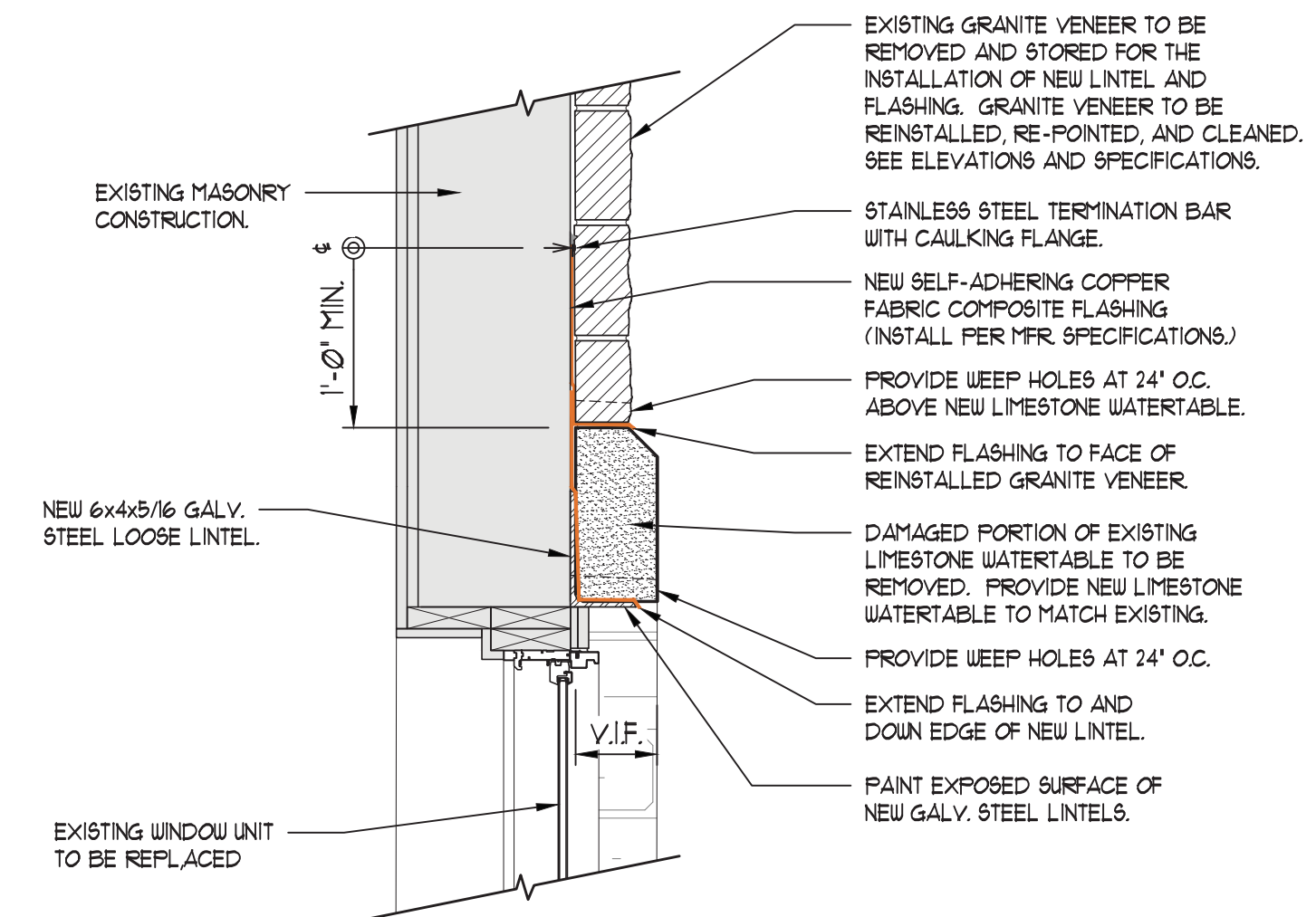
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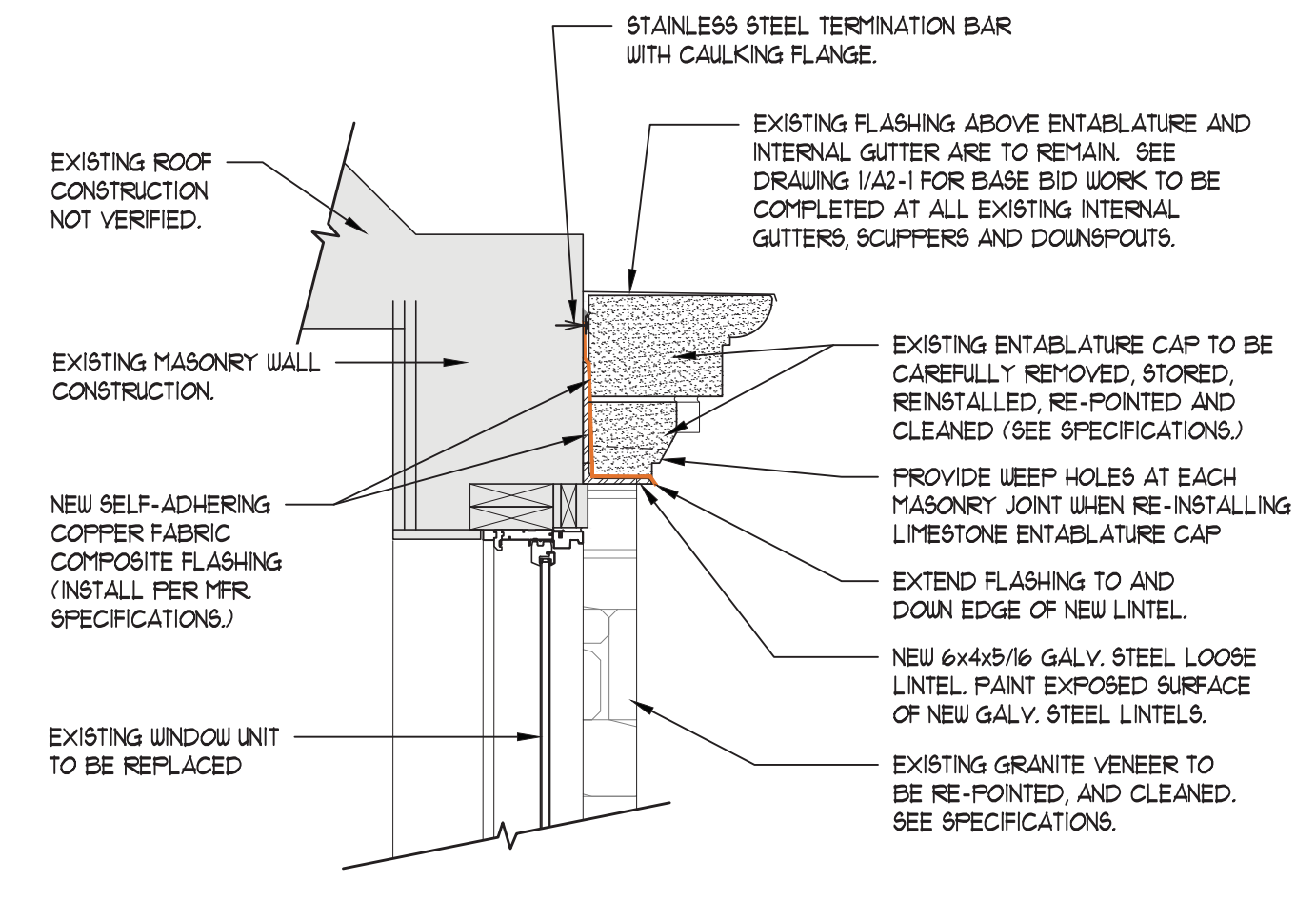
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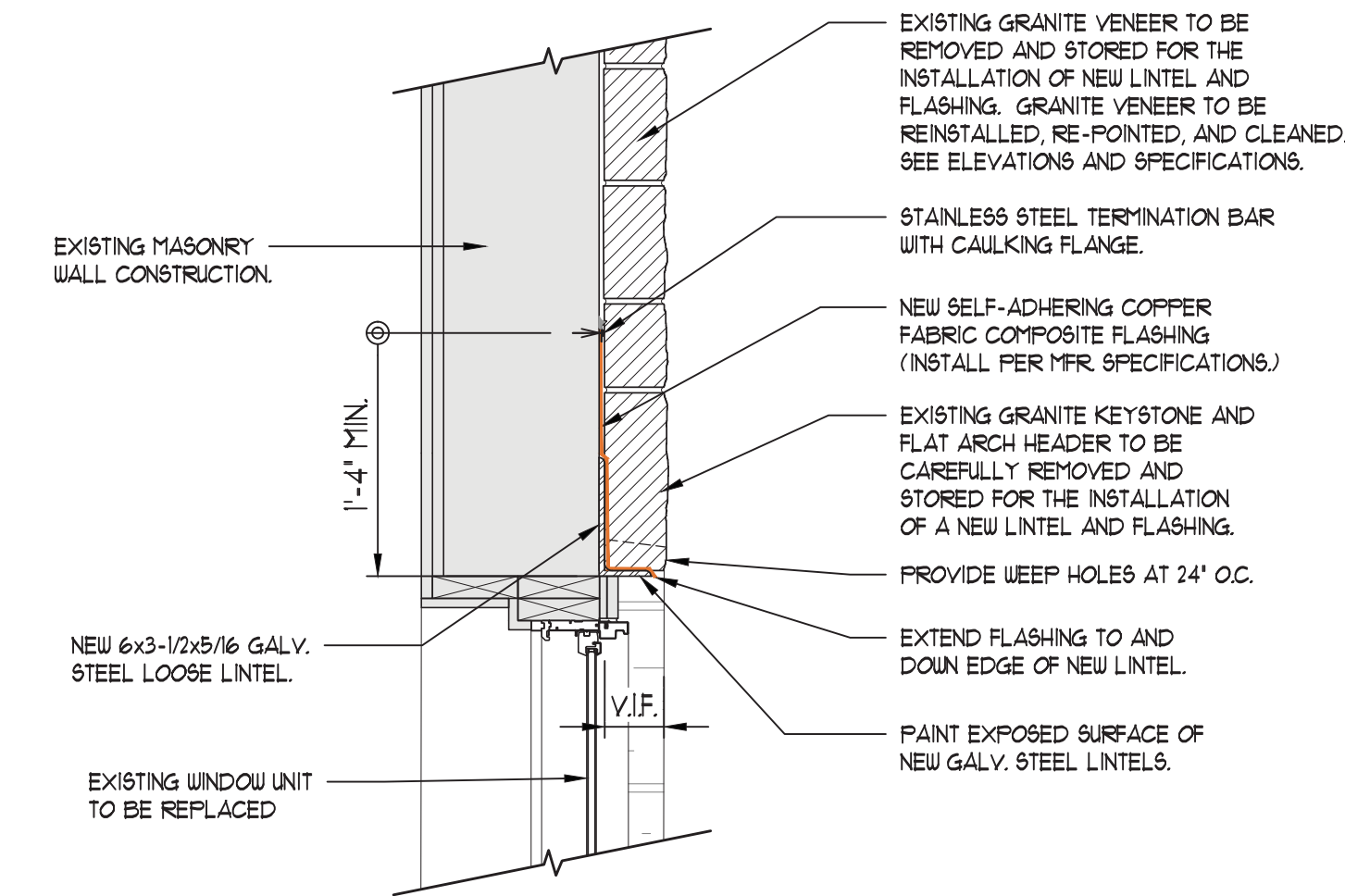
1 LEFT SIDE / EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NEW STEEL LINTEL DETAIL
SCALE: 1" = 1'-0" @ LIMESTONE WATERTABLE



3 LINTEL DETAIL AT CORNICE
SCALE: 1" = 1'-0"



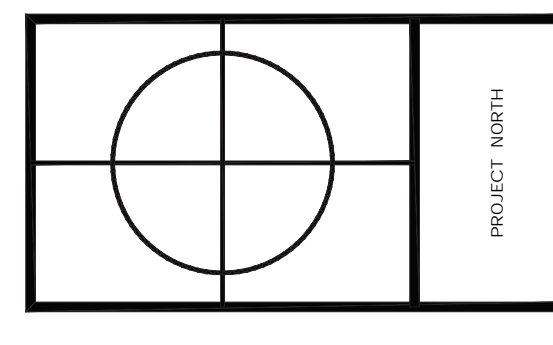
4 NEW STEEL LINTEL DETAIL
SCALE: 1" = 1'-0" @ GRANITE KEYSTONE HEADER

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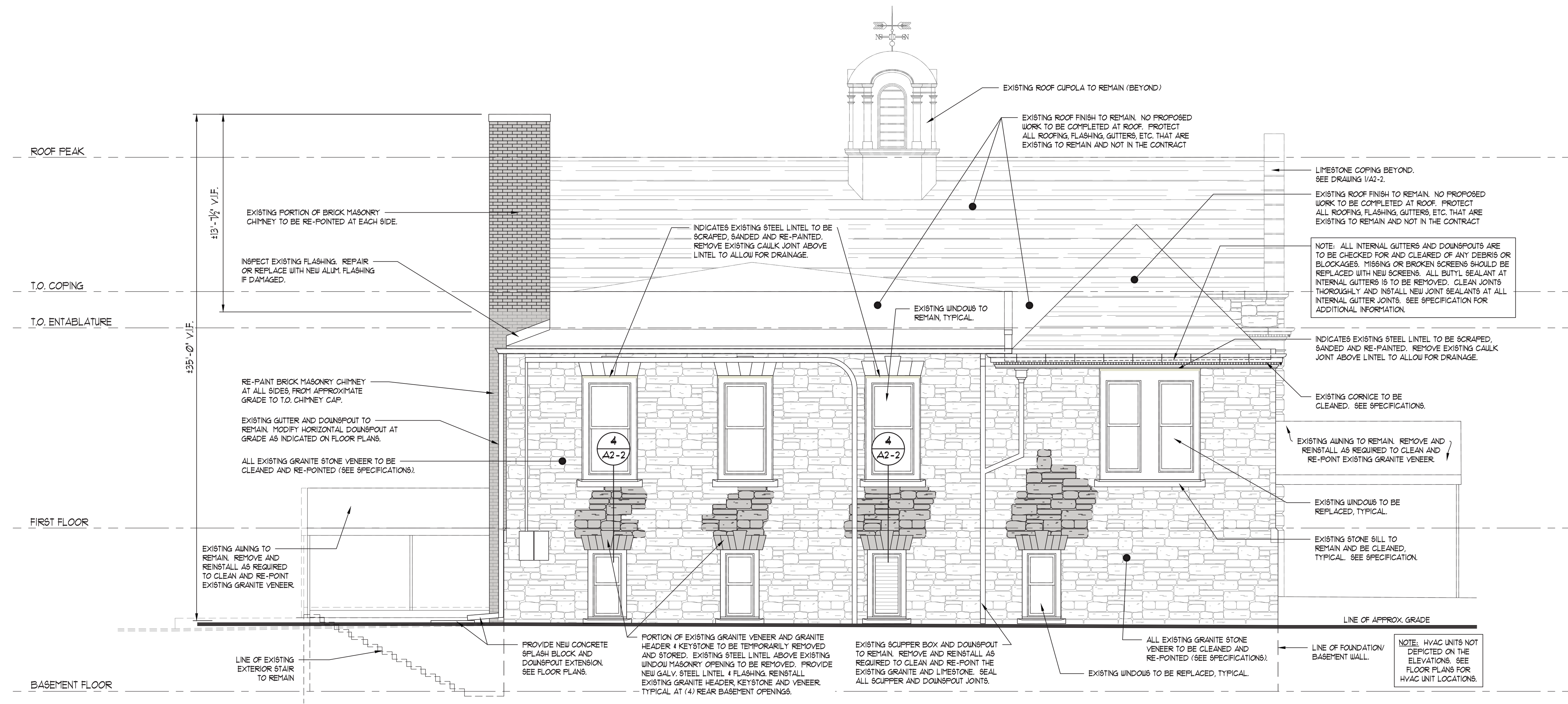
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JOB NO. 2199.01

A2-2

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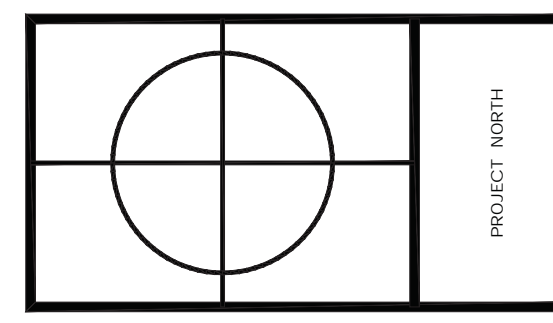


1 REAR / SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

OSK DESIGN PARTNERS, PA
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ASSOCIATE: JAMES G. ELLIOTT, AIA, NCARB, LEED AP
PARTNER: BRAD WAMBLER, AIA, NCARB, LEED AP

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**VINELAND SENIOR CENTERS
EXTERIOR IMPROVEMENTS**
103 S 6TH STREET
VINELAND, NEW JERSEY 08360

PROJECT
DWG. TITLE

BUILDING ELEVATIONS

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE STARTING CONSTRUCTION

J. Blodman
GERALD S. BLACKMAN, JR.
N.J. LICENSE # 1713

| NO. | DESCRIPTION | DATE |
|-------------------|-------------|------|
| REVISION SCHEDULE | | |

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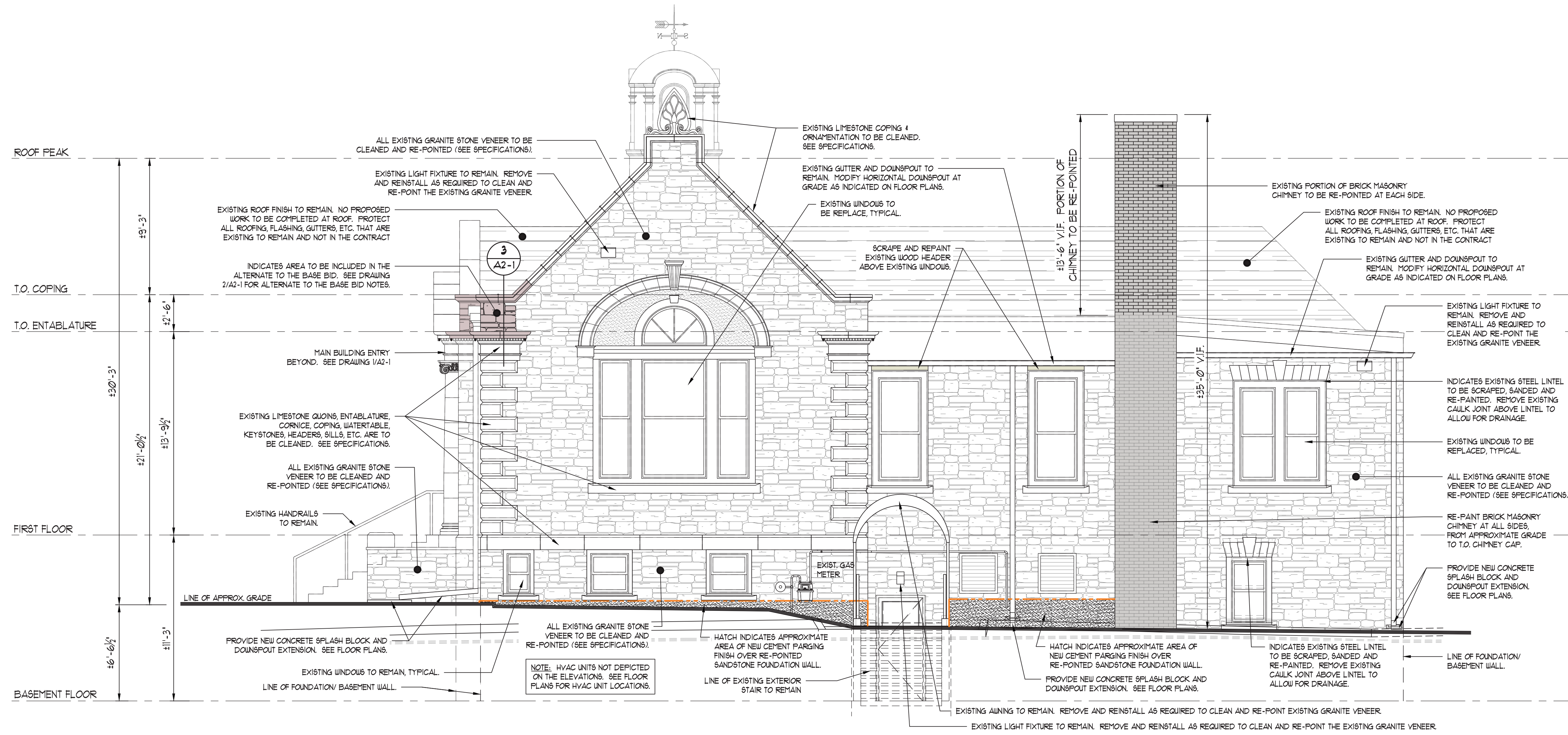
A2 - 3

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| DRAWING ISSUE | No. | DATE |

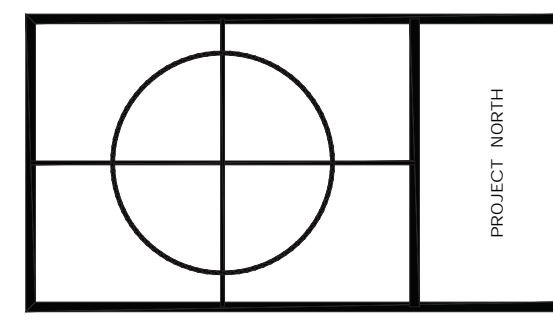
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**VINELAND SENIOR CENTERS
EXTERIOR IMPROVEMENTS**
103 S 6TH STREET
VINELAND, NEW JERSEY 08360

PROJECT
DWG. TITLE

BUILDING ELEVATIONS

CONTRACTOR SHALL CHECK AND
FIELD VERIFY DIMENSIONS AND
FIELD CONDITIONS PRIOR TO
STARTING CONSTRUCTION

J. Blodman
GERALD S. BLACKMAN, JR.
N.J. LICENSE # 17113

| NO. | DESCRIPTION | DATE |
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A2 - 4

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VINELAND SENIOR CENTER

103 SOUTH 6TH STREET, BLOCK 4007 LOT 1, VINELAND, NEW JERSEY 08360

BUILDING ALTERATION

ACCESSIBLE SITE & EXTERIOR FACILITY REQUIREMENTS

| | CODE SECTION | REQUIREMENT | PROPOSED |
|---|-----------------------|-------------------------------|-----------------------------------|
| PARKING: (SEE SITE PLAN) | | | |
| TOTAL NUMBER OF ON-SITE PARKING SPACES | : ---- | : ---- | : (11) SPACES |
| ACCESSIBLE PARKING SPACES REQUIRED | : IBC NJ 2018, 1106.1 | : (1) SPACES | : (1) SPACES |
| SIZE OF PARKING SPACE | : ICC/ANSI 502.2 | : 8' x 10' WITH 5' WIDE AISLE | : 8' x 10' W/ 5'-0" WIDE AISLE |
| SIGNAGE TYPE AT EACH ACCESSIBLE PARKING SPACE | : IBC NJ 2018, 1106.8 | : RT-8 WITH RT-8P BELOW | : RT-8 WITH RT-8P AND RT-8V BELOW |
| VAN ACCESSIBLE PARKING SPACES | : IBC NJ 2018, 1106.5 | : (1) PER (6) SPACES | : (1) SPACES |
| AISLE WIDTH AT VAN SPACES | : ICC/ANSI 502.3.1 | : 8'-0" | : 8'-0" WIDE |
| VERTICAL CLEARANCE AT VAN SPACE | : ICC/ANSI 502.5 | : 8'-2" MIN. | : UNLIMITED |
| BUILDING ENTRANCES | | | |
| TOTAL NUMBER OF ENTRANCES | : ---- | : ---- | : (3) ENTRANCES |
| TOTAL NUMBER OF PUBLIC ENTRANCES | : ---- | : ---- | : (1) ENTRANCES |
| NUMBER OF ACCESSIBLE ENTRANCES | : IBC NJ 2018, 1105.1 | : (1) ENTRANCE | : (2) ENTRANCES |
| CHANGE IN GRADE (EXTERIOR TO INTERIOR) | : ICC/ANSI 303.2 | : 1/2" MAX. | : 1/2" MAX. |

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

USE GROUP: A-3

A. FLOOR AREA:
BASEMENT FLOOR: 2,981 SF
FIRST FLOOR: 2,853 SF
TOTAL FLOOR AREA: 5,834 SF

B. OCCUPANCY PER EGRESS REQUIREMENTS: (110) PERSONS FOR BUILDING. (GROUP A-3 AREA/ 35 SF/PERSON FOR DAY CARE)

C. OCCUPANCY FOR PLUMBING FIXTURE REQUIREMENTS: (114) PERSONS
OCCUPANCY + EGRESS OCCUPANCY (1/3 ABOVE) x 1/3

D. NUMBER OF PERSONS FOR EACH SEX: (51) PERSONS
EACH SEX = NSPC OCCUPANCY (1/3 ABOVE) x 50%

E. TOTAL FIXTURES REQUIRED:
1. WATER CLOSETS
 MALE- 2 FEMALE- 2
2. LAVATORIES
 MALE- 2 FEMALE- 2

F. MALE FIXTURES PROVIDED:
1. WATER CLOSETS+1
2. URINALS+ 2
LAVATORIES+ 2

G. FEMALE FIXTURES PROVIDED:
1. WATER CLOSETS+ 2
2. LAVATORIES+ 2

H. DRINKING FOUNTAINS: 1 PER 100 OCCUPANTS. NSPC SECTION 1215 INDICATES A KITCHEN, OR BAR, SINK MAY MEET THE REQUIREMENT FOR DRINKING WATER FACILITIES FOR EMPLOYEES IF ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.

I. (1) SERVICE SINK IS REQUIRED PER FLOOR. (1) SERVICE SINK IS PROVIDED.

ACCESSIBILITY NOTES

- THERE ARE A TOTAL OF (3) TOILET ROOMS IN THE BUILDING. MEN'S RESTROOM 009 AND WOMEN'S RESTROOM 008 ARE LOCATED AT THE LOWER LEVEL. A SINGLE USE TOILET ROOM 101 IS PROPOSED AT THE FIRST FLOOR.
- ONE DRINKING FOUNTAIN IS PROVIDED FOR THE BUILDING AT THE LOWER LEVEL. ALSO, DRINKING WATER CAN BE PROVIDED OBTAINED FROM THE SINK IN KITCHEN 004.
- NEW UNISEX SINGLE USER TOILET ROOM TO BE INSTALLED ON FIRST FLOOR (ROOM 101) WILL BE ACCESSIBLE.

BARRIER FREE ACCESSIBILITY REQUIREMENTS

| ACCESSIBLE BUILDING REQUIREMENTS | CODE SECTION | REQUIREMENT | PROPOSED |
|----------------------------------|--------------------|--|---|
| RAMPS: | | | |
| SLOPE | : ICC/ANSI 405.2 | : 1:12 MAX. | : NOT APPLICABLE |
| MAX RISE PER RAMP RUN | : ICC/ANSI 405.6 | : 30" MAX. | : NOT APPLICABLE |
| WIDTH | : ICC/ANSI 405.5 | : 36" MIN. | : NOT APPLICABLE |
| TOTAL LENGTH | : | : ---- | : NOT APPLICABLE |
| LANDING | : ICC/ANSI 405.7 | : RAMP WIDTH x 5'-0" LONG AT EVERY 30'-0" MAX. RUN | : NOT APPLICABLE |
| HANDRAILS | : ICC/ANSI 405.8 | : DIA. 1 1/4"-2" O.D. HT. 2'-10"-3'-2" TOP AND BOTTOM 12" EXTENSIONS | : NOT APPLICABLE |
| DOORS: | | | |
| MIN. SIZE | : ICC/ANSI 404.2.3 | : 3'-0" x 6'-8" | : 3'-0" x 7'-0" MIN. FOR ACCESSIBLE DOORS |
| THRESHOLD HEIGHT | : ICC/ANSI 404.2.5 | : 1/2" MAX. | : 1/2" MAX. |
| HARDWARE | : ICC/ANSI 404.2.7 | : LEVER, PUSH/ PULLS, PANIC | : LEVER, PUSH, PULL, PANIC |

| ACCESSIBLE ROUTES: | CODE SECTION | REQUIREMENT | PROPOSED |
|---|------------------|-------------------------------|--------------|
| MIN. WIDTH | : ICC/ANSI 403.5 | : 36" | : 36" MIN. |
| MIN. DOORWAY WIDTH (OPENINGS WITHOUT DOORS) | : ICC/ANSI 403.5 | : 32" NOT TO EXCEED 24" DEPTH | : 36" MIN. |
| MIN. VERTICAL CLEARANCES | : ICC/ANSI 307.4 | : 6'-8" | : 7'-0" MIN. |

| TOILET FACILITIES: | CODE SECTION | REQUIREMENT | PROPOSED |
|---|------------------------------------|---|----------------------------------|
| SEAT HEIGHT | : ICC/ANSI 604.4 | : 15'-19" | : 15'-19" |
| CONTROLS HEIGHT | : ICC/ANSI 604.6 | : 44" MAX. | : 44" MAX. |
| GRAB BARS | : ICC/ANSI 604.5 | : 1 1/4" - 1 1/2" O.D. | : 1 1/2" O.D. |
| DIAMETER | : ---- | : 33" - 36" | : 33" |
| HEIGHT | : ---- | : 3'-0", 3'-6", 1'-6" | : 3'-0", 3'-6", 1'-6" |
| LENGTH | : ---- | : 15'-48" TO CENTER LINE | : 24" TO CENTER LINE MAX. |
| TOILET PAPER HOLDER HEIGHT | : ICC/ANSI 604.7 | | : SEE DRAWING A5-1 |
| CLEAR FLOOR AREA | : ICC/ANSI 604.3 OR ICC/ANSI 604.8 | : 56" MIN. x 60" MIN. 59" MIN. x 60" MIN. | |
| NUMBER OF WATER CLOSETS | : NSPC TABLE 1211 | : 2 MALE, 2 FEMALE | : (2) MALE, (2) FEMALE |
| NUMBER OF ACCESSIBLE WATER CLOSETS | : IBC NJ 2015, 1109.2.2 | : (1) PER TOILET FACILITY (4) TOTAL | : (2) MALE, (2) FEMALE (4) TOTAL |
| NUMBER OF URINALS | : NSPC TABLE 1215, a. | : 50% OF REQ'D W.C. MAX. | : (0) PROVIDED |
| NUMBER OF LAVATORIES | : NSPC TABLE 1211 | : (2) MALE, (2) FEMALE | : (2) MALE, (2) FEMALE |
| NUMBER OF ACCESSIBLE LAVATORIES | : IBC NJ 2015, 1109.2.3 | : (1) PER TOILET FACILITY (4) TOTAL | : (2) MALE, (2) FEMALE (4) TOTAL |
| CLEAR FLOOR AREA | : ICC/ANSI 606.2 | : 2'-6" x 4'-0" | : 2'-6" x 4'-0" |
| RIM OR COUNTER HEIGHT | : ICC/ANSI 606.3 | : 2'-10" | : 2'-10" |
| SIZE OF KNEE SPACE | : ICC/ANSI 606.2 | : 2'-6" x 1'-1" x 2'-5" HIGH | : 2'-6" x 1'-1" x 2'-5" HIGH |
| MIRROR MOUNTING HEIGHT (BOTTOM OF REFLECTING SURF.) | : ICC/ANSI 603.3 | : 40" MAX. | : 40" MAX. |
| NUMBER OF SHOWERS | : ---- | : ---- | : NOT APPLICABLE |
| NUMBER OF ACCESSIBLE SHOWERS | : IBC NJ 2015, 1109.2 | : (1) PER BATHING FACILITY | : NOT APPLICABLE |

| DRINKING FOUNTAINS: | CODE SECTION | REQUIREMENT | PROPOSED |
|--------------------------------------|-------------------------|--------------------|-----------------|
| TOTAL NUMBER PROVIDED | : NSPC TABLE 1211 | : 1 PER 100 PEOPLE | : 0 |
| NO. OF ACCESSIBLE DRINKING FOUNTAINS | : IBC NJ 2015, 1109.5.1 | : 1 | : 0 |
| CLEAR FLOOR AREA | : ICC/ANSI 602.2 | : 2'-6" x 4'-0" | : 2'-6" x 4'-0" |
| MOUNTING HEIGHT TO SPOUT | : ICC/ANSI 602.4 | : 3'-0" | : 3'-0" |

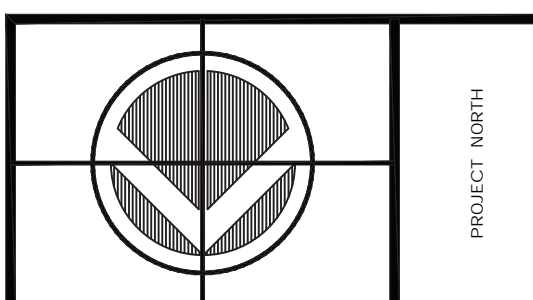
KEY TO SYMBOLS / HATCH

| | | | |
|--|--|--|---|
| | EARTH | | COMPACTED CRUSHED STONE |
| | EARTHWORKS | | |
| | CAST-IN-PLACE CONCRETE | | |
| | CONCRETE | | |
| | FINISH WOOD | | PLYWOOD |
| | ROUGH | | |
| | WOOD | | |
| | MILLWORK | | PAVERS |
| | MISCELLANEOUS | | |
| | CONCRETE BLOCK | | DECORATIVE CONCRETE BLOCK |
| | BRICK | | BRICK (ELEVATION) |
| | MASONRY | | |
| | STEEL | | |
| | METAL | | |
| | BATT/LOOSE FILL | | RIGID |
| | INSULATION | | |
| | GYPSPUM WALLBOARD | | |
| | FINISHES | | |
| | NEW DOOR AND FRAME | | CHASE OR OPENING |
| | (1) HR FIRE RATED PARTITION | | ACCESS PANEL |
| | (2) HR FIRE RATED PARTITION | | CONCRETE FILLED, GALVANIZED STEEL PIPE BOLLARD WITH FEATHER FINISH |
| | (1) HR FIRE RATED BARRIER | | |
| | (2) HR FIRE RATED BARRIER | | SECONDARY ROOF DRAIN TO GRADE, TOP TO BE 4" ABV. ROOF SURFACE. SEE ROOF PLAN. |
| | REVISION NUMBER | | BUILDING OR WALL SECTION |
| | WINDOW TYPE/ALUM. STOREFRONT TYPE | | DETAIL |
| | DOOR AND FRAME NUMBER | | ELEVATION DETAIL |
| | PARTITION TYPE | | ELEVATION, DATUM OR BENCHMARK |
| | TOILET ROOM ACCESSORY | | HOSE BIBB, FROST PROOF AT EXTERIOR LOCATIONS |
| | ROOF SCUTTLE W/ GUARD. SEE ROOF PLAN. | | FLOOR DRAIN W/ INLET GRATE |
| | ROOF EXHAUSTER. SEE ROOF PLAN. | | FIRE EXTINGUISHER IN SEMI-RECESSED CABINET (UL INDUSTRIES - AMBASSADOR, 2011-V-10 W/ RED VERTICAL LETTERS) |
| | ROOF TOP MOUNTED HVAC EQUIPMENT. SEE ROOF PLAN. | | WALL-MTD. FIRE EXTINGUISHER W/ WALL MOUNT BRACKET AND SIGN (10 LBS, TYPE ABC, MULTI-PURPOSE, DRY CHEMICAL, UL 4A-80BC) |
| | FLUE FOR FUEL-BURNING APPLIANCE, OR EXHAUST RISER. SEE MECHANICAL DWGS | | KNOX BOX RAPID ENTRY SYSTEM (3264, SURFACE-MTD. ALUMINUM W/ TAMPER SWITCH) |
| | 3" PLUMBING VENT THRU-ROOF. SEE PLUMBING DRAWINGS. | | ALUMINUM THRESHOLD |
| | DRAWING NUMBER SHEET NUMBER | | MILLWORK BY GC, SEE DETAILS ON DWG A6-1 |
| | ROOM NAME ROOM NUMBER | | CONTROL JOINT |
| | COLUMN LINE IDENTIFICATION NUMBER/LETTER | | INDICATES CORNER OR END OF WALL VINYL WALL PROTECTION (INFRO CORPORATION #50, 3 INCH CORNER GUARD, SURFACE MOUNTED, 8'-0" HEIGHT) |
| | ROOF DETAIL NUMBER | | INDICATES FULLY TEMPERED SAFETY GLAZING |
| | SPECIFICATION NOTE NUMBER | | FLOOR AND ROOF TRUSS WALL MOUNTED SIGN |

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VINELAND SENIOR CENTER
103 S 6TH STREET
VINELAND, NEW JERSEY 08360

PROJECT

DWG. TITLE

COVER SHEET - ACCESSIBILITY PLAN REVIEW RECORD & PLAN SYMBOLS

CONTRACTOR SHALL CHECK AND SIGN ALL DIMENSIONS AND NOTATIONS PRIOR TO STARTING CONSTRUCTION

| NO. | DESCRIPTION | DATE |
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ALTERATION SUBCODE REVIEW RECORD

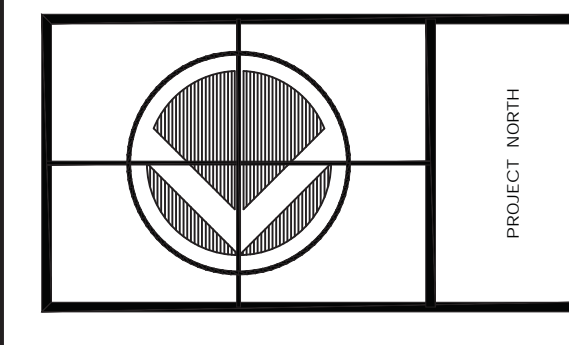
§ 5:23-6.6 ALTERATIONS
(A) ALTERATIONS, AS DEFINED IN N.J.A.C. 5:23-6.3, SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION.
(B) ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER.
(C) THE WORK SHALL NOT CAUSE ANY DIMINUTION OF EXISTING STRUCTURAL STRENGTH, SYSTEM CAPACITY OR MECHANICAL VENTILATION BELOW THAT WHICH EXISTS AT THE TIME OF APPLICATION FOR A PERMIT OR THAT WHICH IS REQUIRED BY THE APPLICABLE SUBCODES OF THE UNIFORM CONSTRUCTION CODE...

II. REPLACEMENT DUELLING UNIT, GUEST ROOM OR ROOMING UNIT CORRIDOR DOORS IN GROUPS R-1, R-1 OR R-2 SHALL BE 1/4 INCH SOLID CORE WOOD OR APPROVED EQUAL WITH APPROVED DOOR GLASS...
5. IN BUILDINGS REQUIRED BY CHAPTER II OF THE BUILDING SUBCODE TO BE ACCESSIBLE, WHEN ENTRANCE STEPS ARE BEING REPLACED, AN ACCESSIBLE ENTRANCE SHALL BE PROVIDED IF THIS DOES NOT ADD MORE THAN 20 PERCENT TO THE COST OF REPLACING THE STEPS...
I. IF AT LEAST 60 PERCENT OF THE OTHER BUILDING ENTRANCES ARE ACCESSIBLE, THEN THE INSTALLATION OF A RAMP SHALL NOT BE REQUIRED.

23. WHERE WORK OTHER THAN ORDINARY MAINTENANCE OR MINOR WORK, IS BEING PERFORMED ON AN ELEVATOR, THE ELEVATOR SHALL BE EQUIPPED TO OPERATE WITH A STANDARDIZED FIRE SERVICE KEY. (FIRE)
24. THE WORK SHALL NOT CAUSE AN EXIT ENCLOSURE TO BE USED FOR ANY PURPOSE OTHER THAN MEANS OF EGRESS, EXCEPT THOSE PENETRATIONS PERMITTED BY SECTION 1023.3 OF THE BUILDING SUBCODE.
25. EXISTING OPENINGS THAT BECOME PART OF AN EXIT OR EXIT ACCESS AND NEWLY CREATED OPENINGS TO BE USED AS AN EXIT OR EXIT ACCESS SHALL MEET SECTION 1008.3 AND SECTION 1003 OF THE BUILDING SUBCODE WHEN MORE THAN ONE EXIT OR EXIT ACCESS IS REQUIRED, THIS SHALL APPLY ONLY TO THE PORTION OF THE BUILDING SERVED BY THE NEW EXIT OR EXIT ACCESS.

2. A SINGLE EXIT IS PERMITTED IN THE STORY AT THE LEVEL OF EXIT DISCHARGE WHEN THE OCCUPANT LOAD OF THE STORY DOES NOT EXCEED 50 AND THE EXIT ACCESS TRAVEL DISTANCE DOES NOT EXCEED 75 FEET. (PLAN REVIEW - BUILDING, FIRE, INSPECTION - BUILDING)
(C) EGRESS DOORWAYS: A MINIMUM OF TWO EGRESS DOORWAYS SHALL BE REQUIRED FOR ALL ROOMS AND SPACES WITH AN OCCUPANT LOAD GREATER THAN 50 OR IN WHICH THE TRAVEL DISTANCE EXCEEDS 75 FEET...
1. EXCEPTION: STORAGE ROOMS WITH A MAXIMUM OCCUPANT LOAD OF 10 SHALL NOT BE REQUIRED TO HAVE TWO EGRESS DOORWAYS.

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PROJECT NORTH
COVER SHEET - ALTERATIONS SUB-CODE REVIEW SUMMARY
DWG. TITLE

CONTRACTOR SHALL CHECK AND SIGN ALL DIMENSIONS AND FIELD CONDITIONS BEFORE STARTING CONSTRUCTION
J. Blalock
GERALD S. BLACKMAN, JR.
NJ LICENSE # 1713

Table with 3 columns: NO., DESCRIPTION, DATE. Header: REVISION SCHEDULE.

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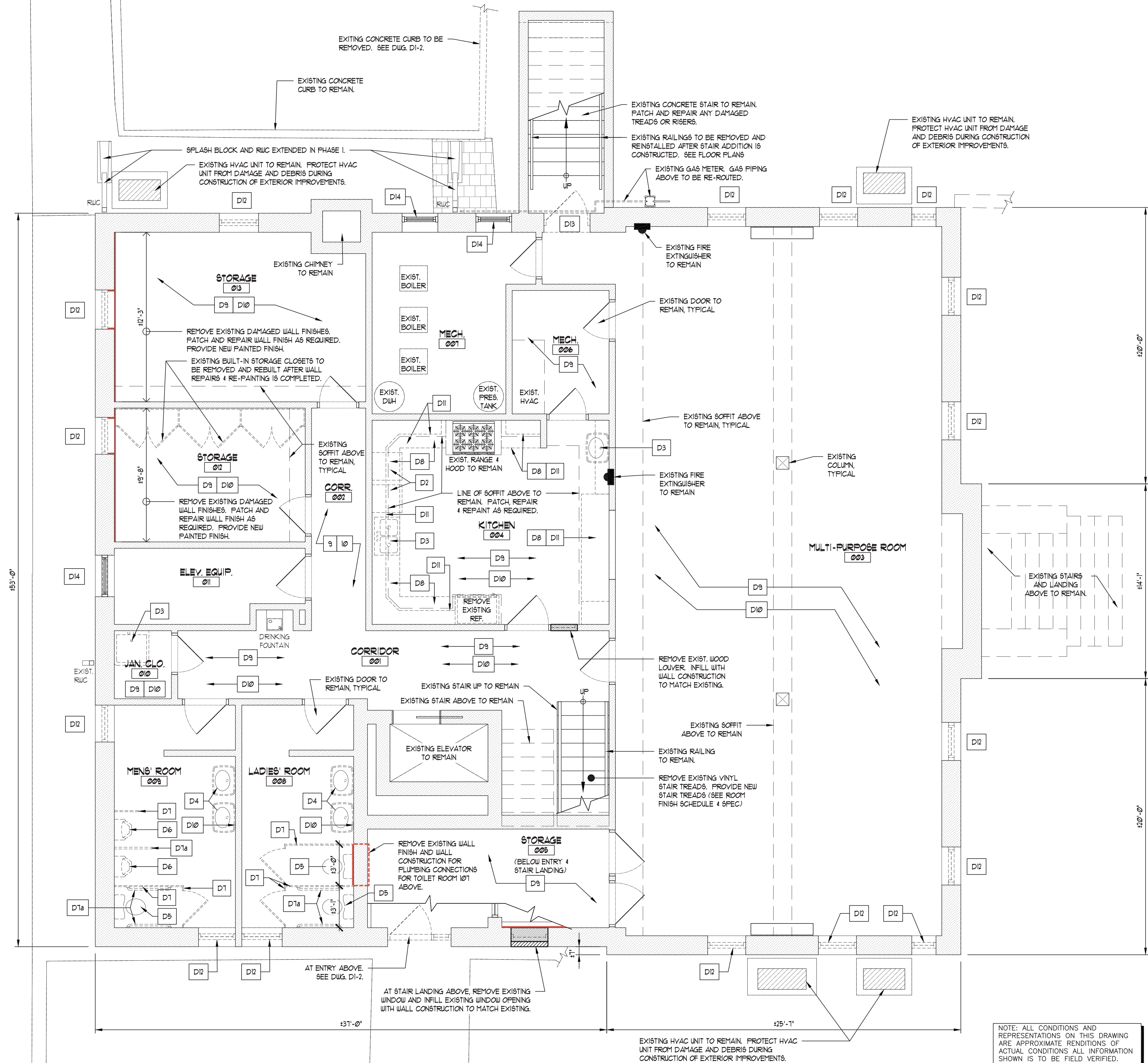
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GENERAL DEMOLITION & ALTERATION NOTES

- ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE THE START OF CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL AREAS AFFECTED BY CONSTRUCTION OR DEMOLITION TO BE REPAIRED. PATCH, REPAIR, AND RE-FINISH ENTIRE SURFACE OF ALL WALLS, FLOORS, AND CEILINGS DISTURBED BY NEW WORK. FINISH TO MATCH EXISTING. ALL NEW WORK SHALL BE FINISHED PER ARCHITECT'S DIRECTION.
- 'REMOVAL OF EXISTING' PERTAINS TO ALL EXISTING CONDITIONS, INCLUDING ALL FRAMING, MASONRY, WALL AND CEILING FINISHES, WIRING, CONDUIT, PLUMBING, AND ANY CONDITIONS HIDDEN FROM VIEW, ETC. INCLUDING IN CRAWL SPACE.
- REMOVE FINISHES TO VERIFY ASSUMED EXISTING STRUCTURAL FRAMING CONDITIONS TO DETERMINE THAT DEMOLITION WORK WILL NOT AFFECT BUILDING'S STRUCTURAL INTEGRITY.
- NOTIFY ARCHITECT IF EXISTING FRAMING IS DIFFERENT FROM THAT SHOWN ON DRAWINGS. DO NOT PROCEED UNTIL ALTERNATE INSTRUCTIONS HAVE BEEN ISSUED BY ARCHITECT.
- PROVIDE TEMPORARY SHORING AND BRACING WHERE REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY UNTIL PERMANENT STRUCTURE IS COMPLETED.
- MAINTAIN BUILDING IN A WEATHER TIGHT CONDITION UNTIL PERMANENT WEATHERPROOF CLOSURE IS COMPLETED.
- CAREFULLY REMOVE ITEMS TO BE RELOCATED OR REUSED. PROTECT AND STORE ITEMS TO PREVENT DAMAGE UNTIL TIME OF REINSTALLATION.
- DISCONNECT, CAP, AND PLUG MECHANICAL, PLUMBING AND ELECTRICAL SERVICES AT POINTS OF DEMOLITION. LEAVE SERVICES IN A SAFE USABLE CONDITION. ANY PLUMBING, MECHANICAL OR ELECTRICAL SERVICES TO BE ABANDONED ARE TO BE COMPLETELY REMOVED FROM STRUCTURE.
- REMOVE AND/OR RELOCATE EXISTING LIGHT SWITCHES, RECEPTACLES, TELEPHONE AND DATA OUTLETS, THERMOSTATS, AND ANY ACCESSORY AS INDICATED ON THE PLANS. ANY UNIDENTIFIED ITEMS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
- DISPOSE OF ALL MATERIALS IN STRICT ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL LAWS, CODES, ORDINANCES, AND REGULATIONS.
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- CONTRACTOR SHALL PROTECT ALL AREAS, SURFACES, AND FINISHES NOT TO BE DEMOLISHED. BARRICADES, TEMPORARY DUST PROTECTION, PLASTIC PARTITIONS, ETC. SHALL BE UTILIZED AS REQUIRED TO MAINTAIN SAFE AND CLEAN OCCUPIED AREAS. DEBRIS SHALL BE REMOVED AND WORK AREAS CLEANED AT THE END OF EACH WORK DAY. THIS PORTION IS MANDATORY FOR CONTRACTOR.
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- OWNER TO HAVE RIGHT OF FIRST REFUSAL OF ALL EXISTING FIXTURES, FITTINGS, AND ALL OTHER ITEMS BEFORE DISPOSING OF ANY SUCH ITEMS.

PLAN LEGEND OF DEMOLITION NOTES

- D1 (NOT USED)
- D2 REMOVE EXISTING DISHWASHER.
- D3 REMOVE EXISTING SINK. SINK TO BE REPLACED.
- D4 REMOVE EXISTING LAVATORIES. LAVATORIES TO BE REPLACED.
- D5 REMOVE EXISTING TOILETS. TOILETS TO BE REPLACED.
- D6 REMOVE EXISTING URINALS. URINALS TO BE REPLACED.
- D7 REMOVE EXISTING TOILET PARTITION / URINAL SCREEN. TOILET PARTITIONS AND URINAL SCREENS TO BE REPLACED.
- D7a REMOVE EXISTING GRAB BAR. PROVIDE NEW GRAB BAR TO MATCH EXISTING AT EXISTING TOILET ROOM. SEE DRAWING A1-2 FOR NEW TOILET ROOM GRAB BAR LOCATIONS & DETAILS.
- D8 REMOVE EXISTING COUNTERTOP. COUNTERTOP TO BE REPLACED. SEE MILLWORK DRAWING A6-1.
- D9 REMOVE EXISTING VCT FLOOR TILES THROUGHOUT. VCT TO BE REPLACED.
- D10 REMOVE EXISTING CEILING AND LIGHTING FIXTURES THROUGHOUT. CEILING AND LIGHT FIXTURES TO BE REPLACED.
- D11 EXISTING CABINETS TO BE REMOVED AND REPLACED WITH NEW CABINETS. SEE DRAWING A6-1.
- D12 REMOVE EXISTING WINDOW AND SILL. WINDOW AND SILL TO BE REPLACED.
- D13 REMOVE EXISTING DOOR AND FRAME. DOOR AND FRAME TO BE REPLACED.
- D14 REMOVE EXISTING LOUVER TO REMAIN.
- D15 REMOVE EXISTING CARPET THROUGHOUT. CARPET TO BE REPLACED.



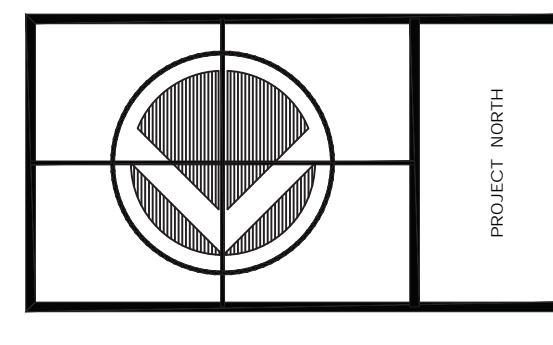
1 DEMOLITION BASEMENT PLAN
SCALE: 1/4" = 1'-0"

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VINELAND SENIOR CENTER
103 S 6TH STREET
VINELAND, NEW JERSEY 08360

PROJECT

BASMENT DEMOLITION PLAN

DWG. TITLE

CONTRACTOR SHALL CHECK AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING CONSTRUCTION

J. Blodum
GERALD S. BLACKMAN, JR.
NJ LICENSE # 1713

| NO. | DESCRIPTION | DATE |
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| REVISION SCHEDULE | | |

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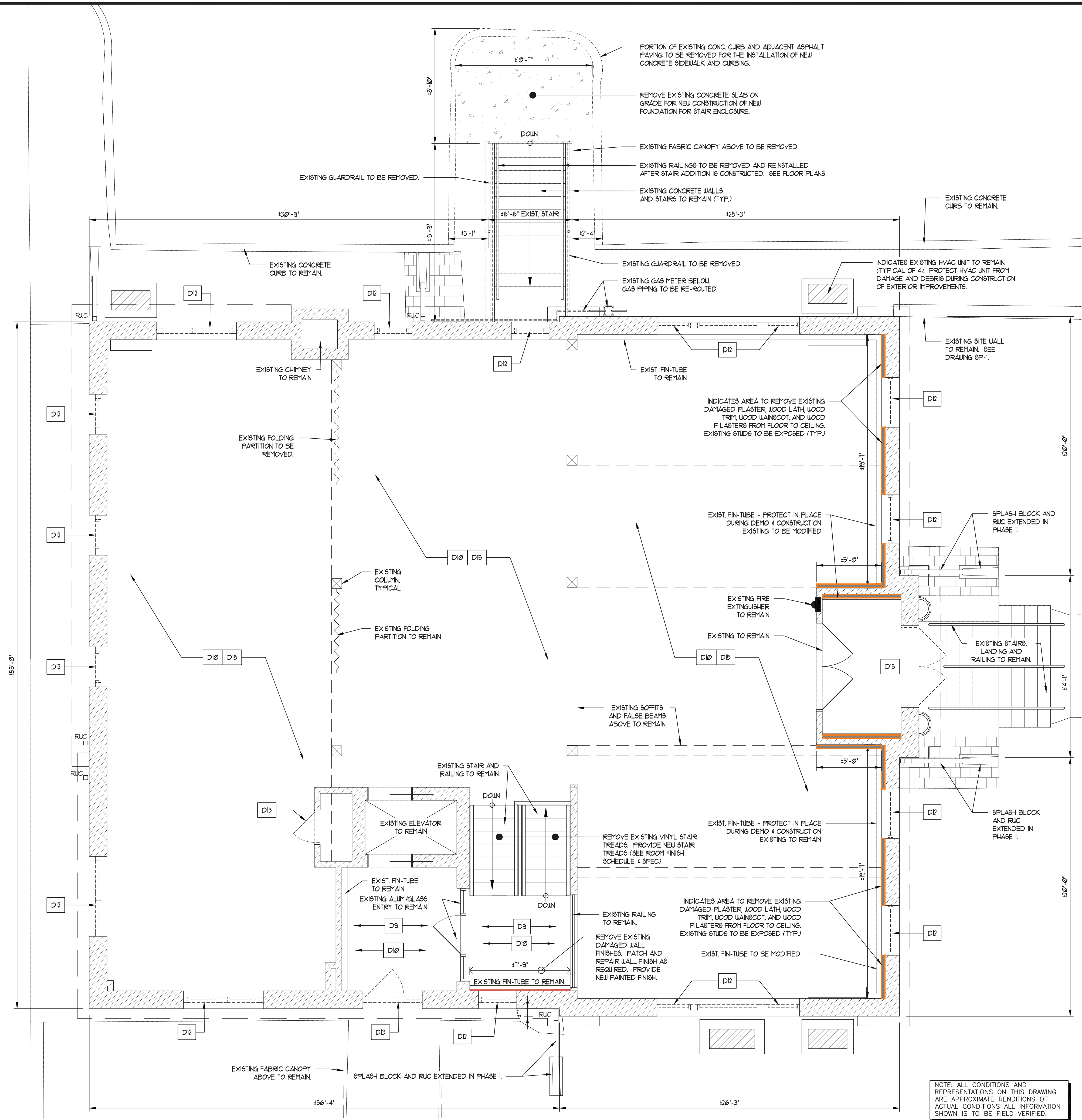
D1-1

GENERAL DEMOLITION & ALTERATION NOTES

- ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE THE START OF CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL AREAS AFFECTED BY CONSTRUCTION OR DEMOLITION TO BE REPAIRED, PATCH, REPAIR, AND RE-FINISH ENTIRE SURFACE OF ALL WALLS, FLOORS, AND CEILINGS DISTURBED BY NEW WORK. FINISH TO MATCH EXISTING. ALL NEW WORK SHALL BE FINISHED PER ARCHITECT'S DIRECTION.
- 'REMOVAL OF EXISTING' PERTAINS TO ALL EXISTING CONDITIONS, INCLUDING ALL FRAMING, MASONRY, WALL AND CEILING FINISHES, WIRING, CONDUIT, PLUMBING, AND ANY CONDITIONS HIDDEN FROM VIEW, ETC. INCLUDING IN CRAWL SPACE.
- REMOVE FINISHES TO VERIFY ASSUMED EXISTING STRUCTURAL FRAMING CONDITIONS TO DETERMINE THAT DEMOLITION WORK WILL NOT AFFECT BUILDING'S STRUCTURAL INTEGRITY.
- NOTIFY ARCHITECT IF EXISTING FRAMING IS DIFFERENT FROM THAT SHOWN ON DRAWINGS. DO NOT PROCEED UNTIL ALTERNATE INSTRUCTIONS HAVE BEEN ISSUED BY ARCHITECT.
- PROVIDE TEMPORARY SHORING AND BRACING WHERE REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY UNTIL PERMANENT STRUCTURE IS COMPLETED.
- MAINTAIN BUILDING IN A WEATHER TIGHT CONDITION UNTIL PERMANENT WEATHERPROOF CLOSURE IS COMPLETED.
- CAREFULLY REMOVE ITEMS TO BE RELOCATED OR REUSED. PROTECT AND STORE ITEMS TO PREVENT DAMAGE UNTIL TIME OF REINSTALLATION.
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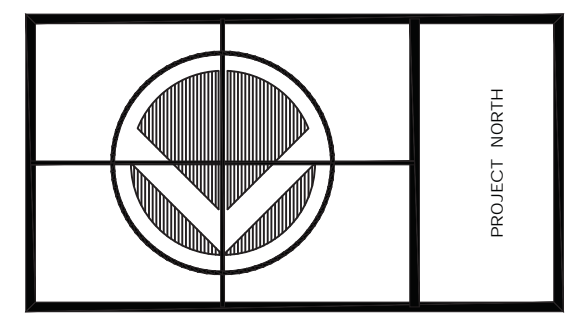


1 DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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PROJECT TITLE
FIRST FLOOR DEMOLITION PLAN

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE STARTING CONSTRUCTION.

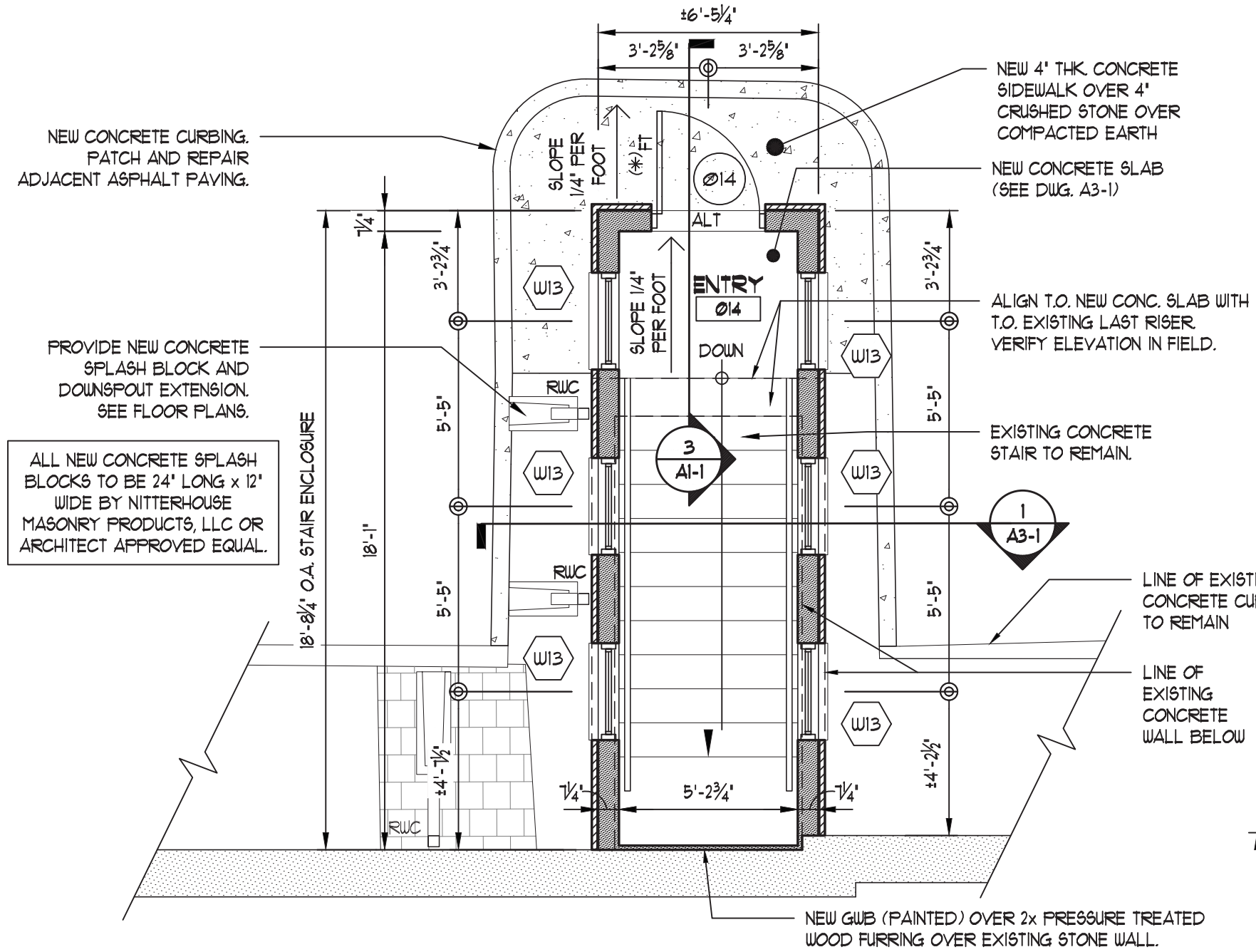
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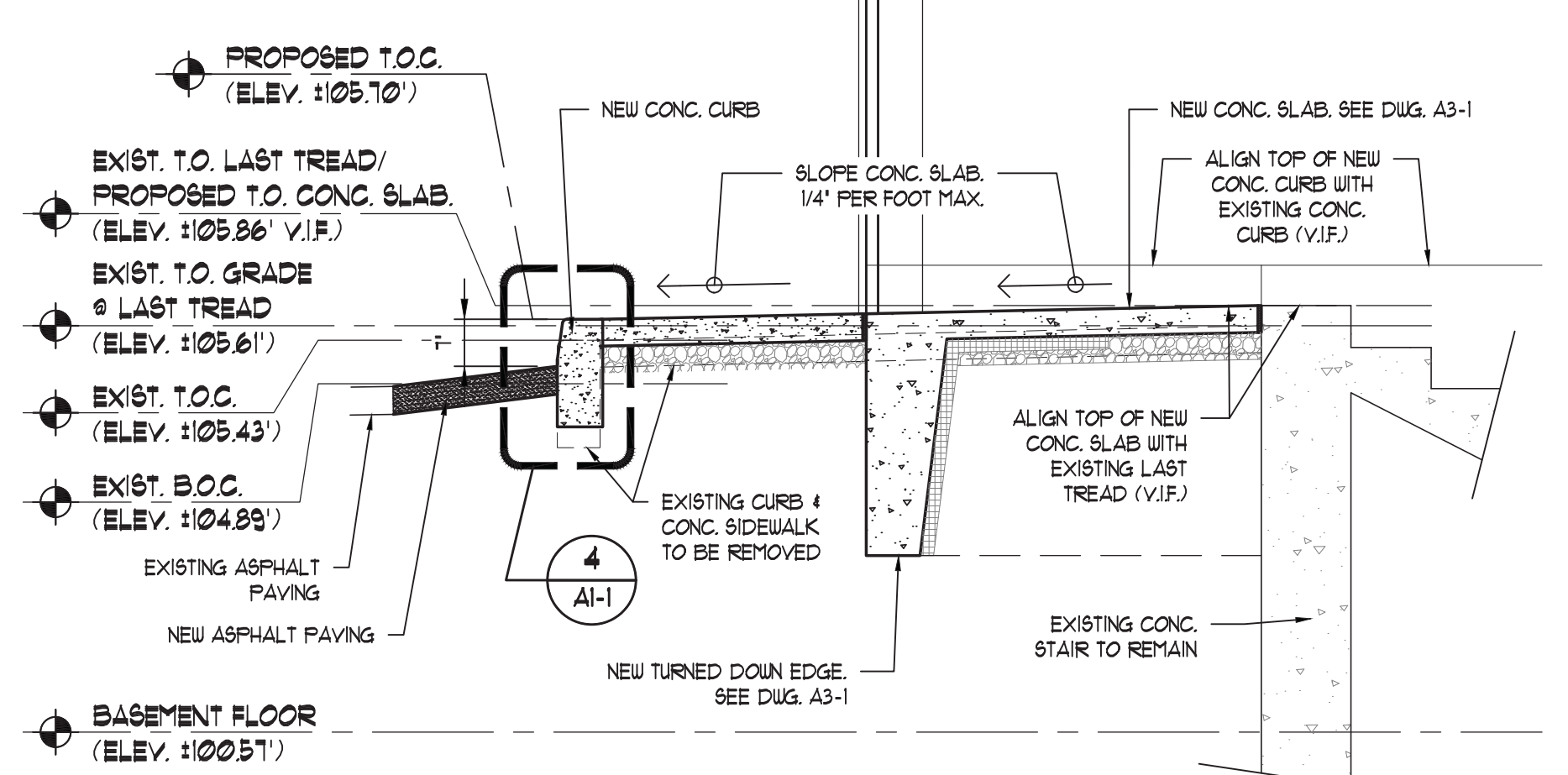
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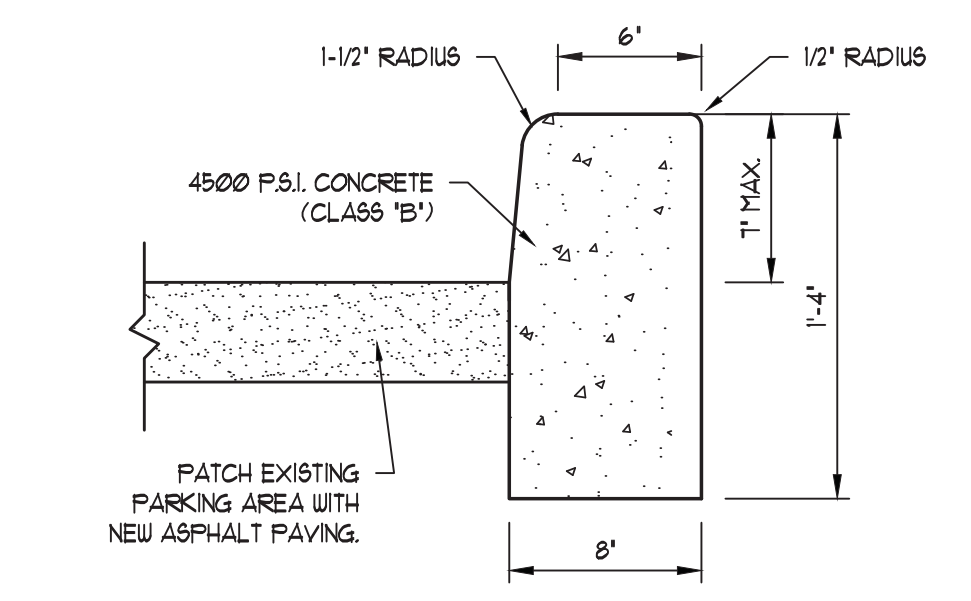
D1-2



2 STAIR PLAN
SCALE: 1/4" = 1'-0"

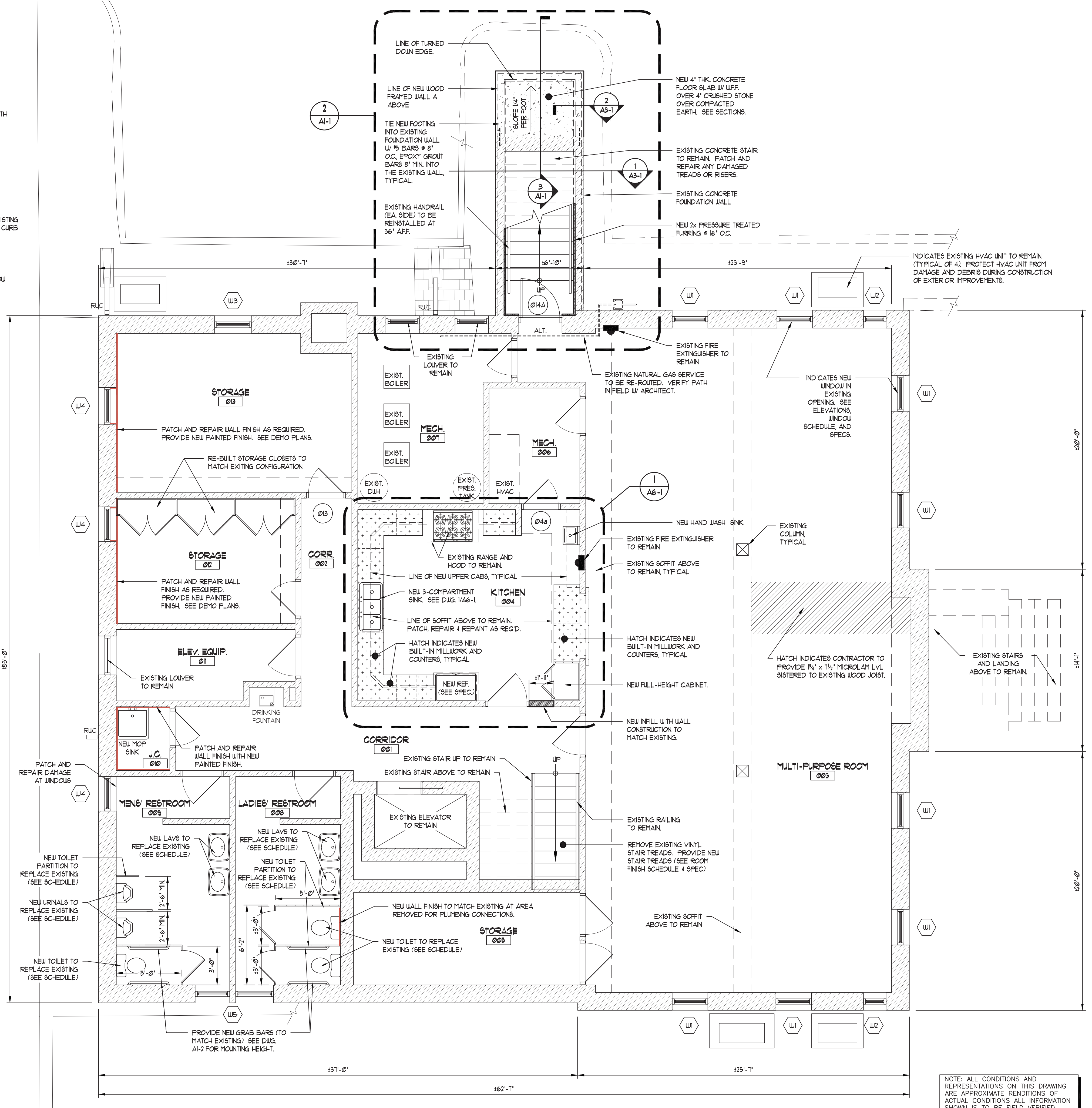


3 SECTION DETAIL
SCALE: 1/2" = 1'-0"



4 CONCRETE CURB DETAIL
SCALE: 1/2" = 1'-0"

- NOTES:
- TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20' APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
 - EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE PROVIDED IN ACCORDANCE WITH THE SPECIFICATIONS.
 - THE CONTRACTOR SHALL INSTALL FALSE JOINTS IN THE CURB AT INTERVALS NOT EXCEEDING 10 FEET.
 - CONCRETE VERTICAL CURB SHALL BE CLASS 'B', 4500 P.S.I. AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 607.



1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
KEEP HARDWARE + KEEP DOOR ADJUST + REPAIR TO BE FULLY OPERABLE.

GENERAL NOTE:
PATCH, REPAIR AND PAINT AROUND INTERIOR PERIMETER OF WINDOWS AS PART OF REPLACE.

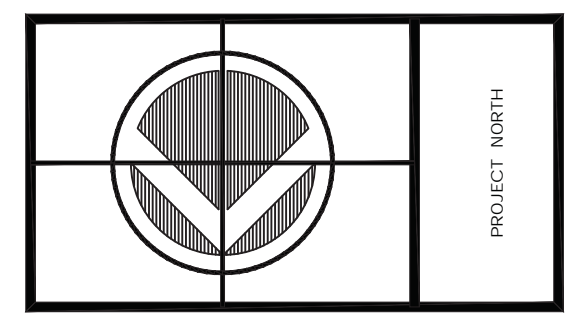
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PROJECT

BASMENT PLAN

DWG. TITLE

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND STARTING CONSTRUCTION

J. Blodum
GERALD S. BLACKMAN, JR.
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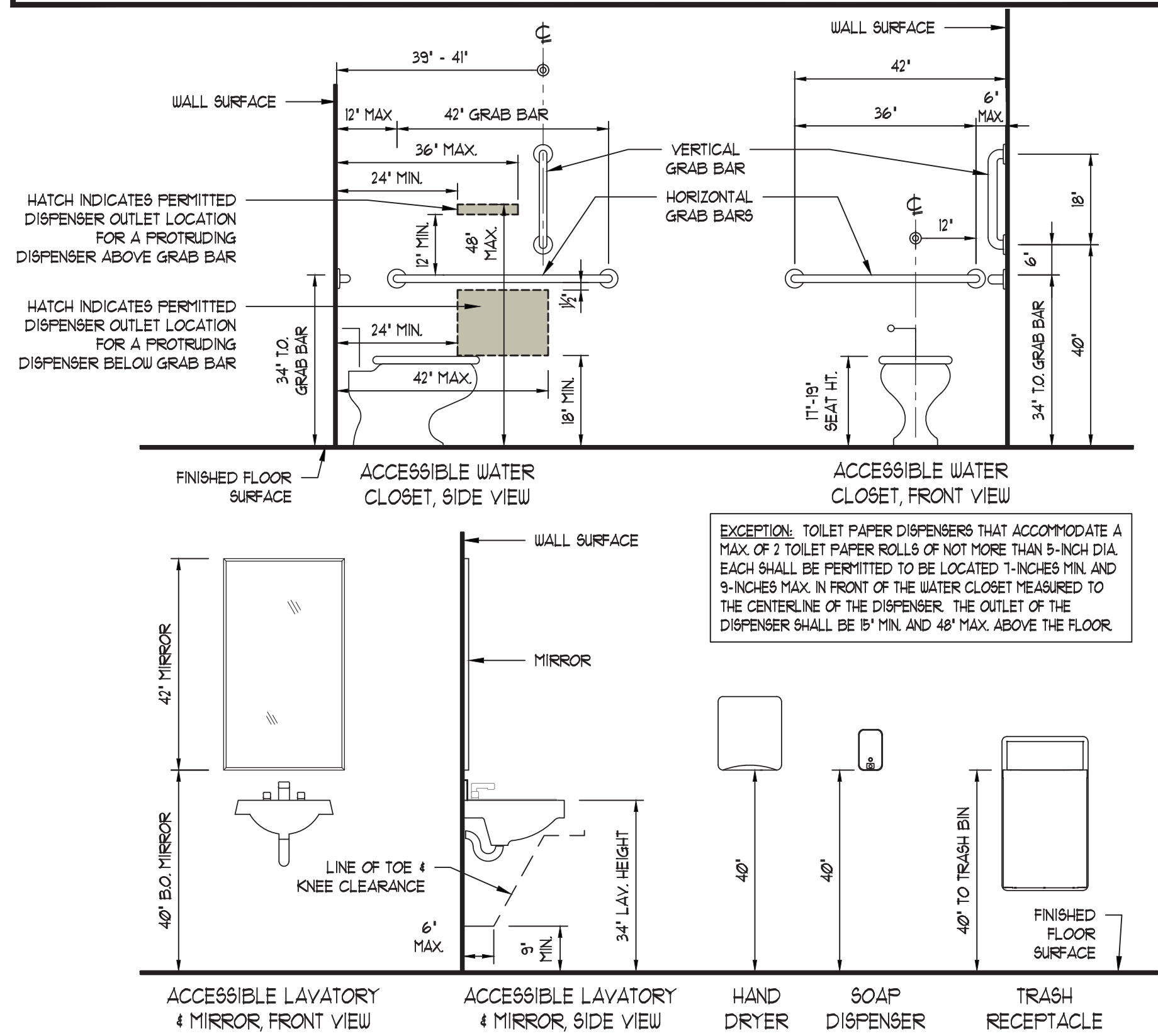
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TOILET ROOM ACCESSORY SCHEDULE

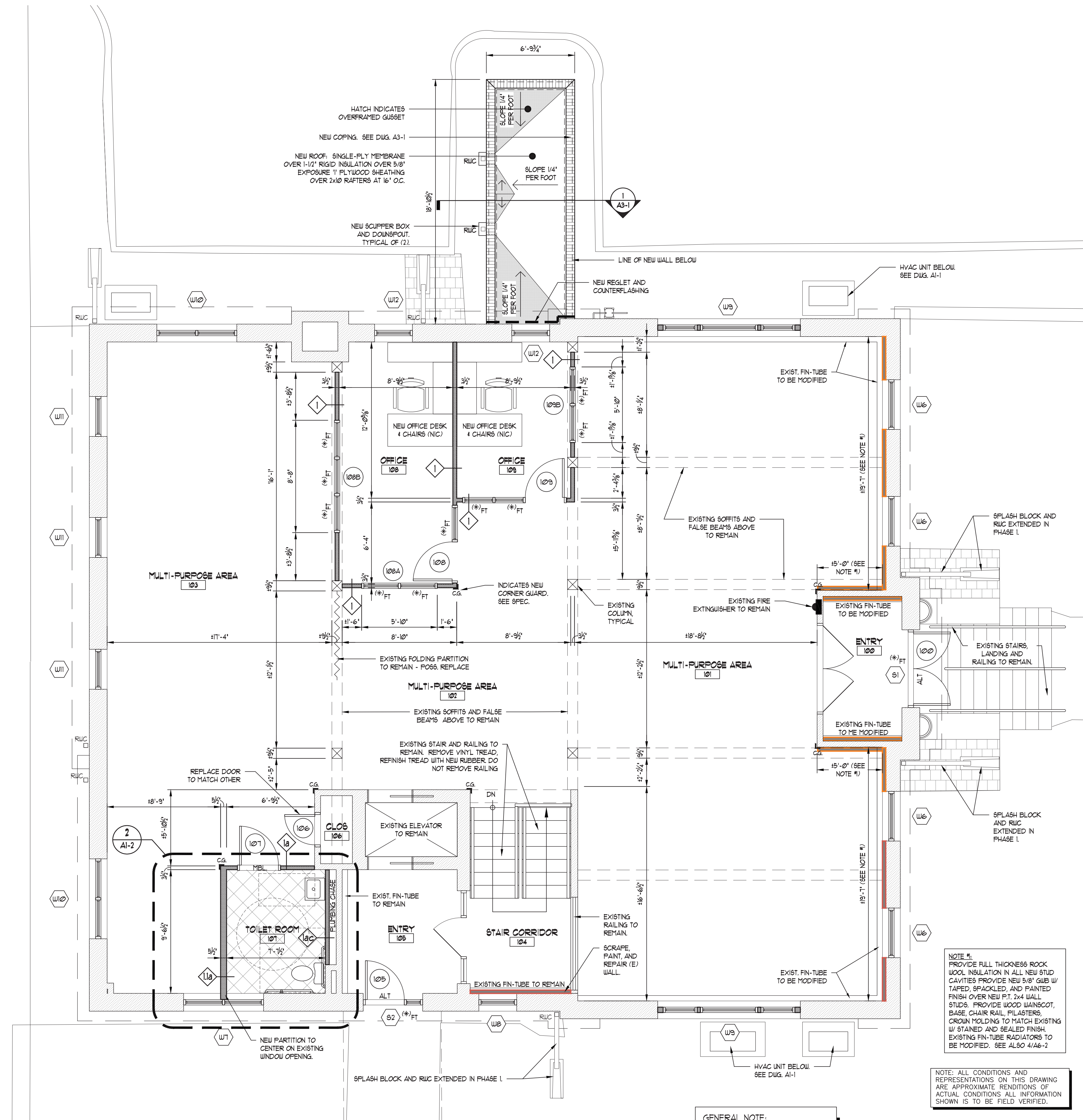
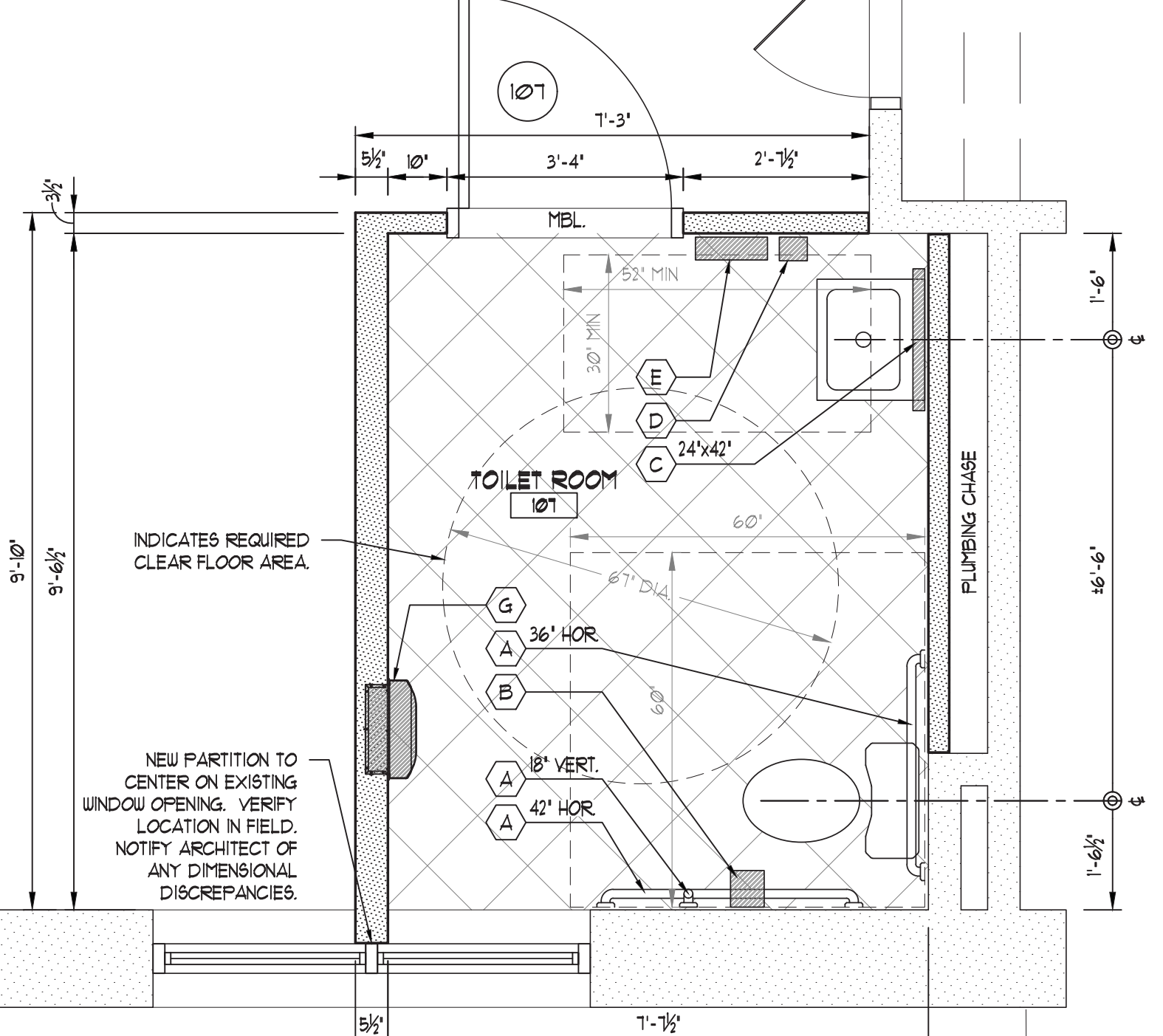
| DES. | ACCESSORY | MANUF. | CAT. NUMBER | REMARKS |
|------|--|---------|----------------------|---|
| A | CONCEALED MOUNTING GRAB BAR W/ SNAP FLANGE COVER | BRADLEY | 802-18", 36", OR 42" | 1 1/2" DIA, 18 GA. STAINLESS STEEL |
| B | SURFACE-MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER | | | FURNISHED BY OWNER |
| C | SURFACE-MOUNTED MIRROR | BRADLEY | 180-2 | SEE PLAN FOR SIZES, TEMPERED GLASS MIRROR |
| D | SURFACE-MOUNTED SOAP DISPENSER, VERTICAL ORIENTATION | | | MANUAL OPERATION, FURNISHED BY OWNER |
| E | PAPER TOWEL DISPENSER | | | FURNISHED BY OWNER |
| F | NOT USED | | | |
| G | SURFACE-MOUNTED RECESSED WASTE RECEPTACLE | BRADLEY | 3A05 | STAIN STAINLESS STL, 12-GALLON LINER |

TOILET ROOM ACCESSORY NOTES

- TOILET PARTITION HARDWARE TO BE OPTIONAL CAST STAINLESS STEEL, 18-8S, TYPE 304, HEAVY DUTY, INSTITUTIONAL HARDWARE. PROVIDE CONTINUOUS BRACKETS AT WALLS.
- TUMBLER LOCKS FOR TOILET ROOM ACCESSORIES SHALL BE KEYS ALIKE.
- ALL TOILET ROOM ACCESSORIES SHALL BE TYPE 304 SATIN STAINLESS STEEL UNLESS NOTED OTHERWISE.
- COORDINATE SPECIFIED TOILET ROOM ACCESSORIES W/ TOILET PARTITION SUPPLIER TO PROVIDE REINFORCEMENT, CUT-OUT, ETC. AT INDICATED LOCATIONS AND HEIGHTS.
- MANUFACTURER AND CATALOG NUMBERS ARE LISTED IN THE SCHEDULE TO ESTABLISH A 'BASIS OF DESIGN'. SUBSTITUTIONS MAY BE PERMITTED SUBJECT TO THE REQUIREMENTS LISTED IN DIVISION 1 SPECIFICATIONS.
- PROVIDE PIPE INSULATION COVER FOR ALL EXPOSED PIPING BENEATH LAVATORIES (HUIU), SANITARY) SEE PLUMBING DUGS.
- OWNER WILL FURNISH TOILET TISSUE DISPENSERS AND SOAP DISPENSERS FOR INSTALLATION BY THE CONTRACTOR.



3 TOILET FIXTURE & ACCESSORY MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"



GENERAL NOTE:
REPAIRS TRIM AROUND WINDOWS AS PART OF REPLACEMENT - MATCH EXIST, BUT DO NOT REPLACE FULLY.

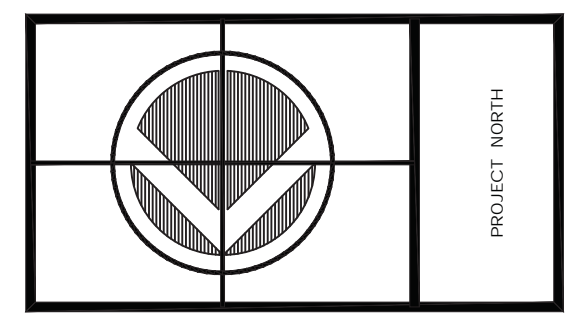
NOTE #1:
PROVIDE FULL THICKNESS ROCK WOOL INSULATION IN ALL NEW STUD CAVITIES PROVIDE NEW 5/8" GIB W/ TAPED, SPACKLED, AND PAINTED FINISH OVER NEW P.T. 2x4 WALL STUDS. PROVIDE WOOD WAINSCOT, BASE, CHAIR RAIL, FILASTERS, CROWN MOLDING TO MATCH EXISTING W/ STAINED AND SEALED FINISH. EXISTING FIN-TUBE RADIATORS TO BE MODIFIED. SEE ALSO 4/A6-2

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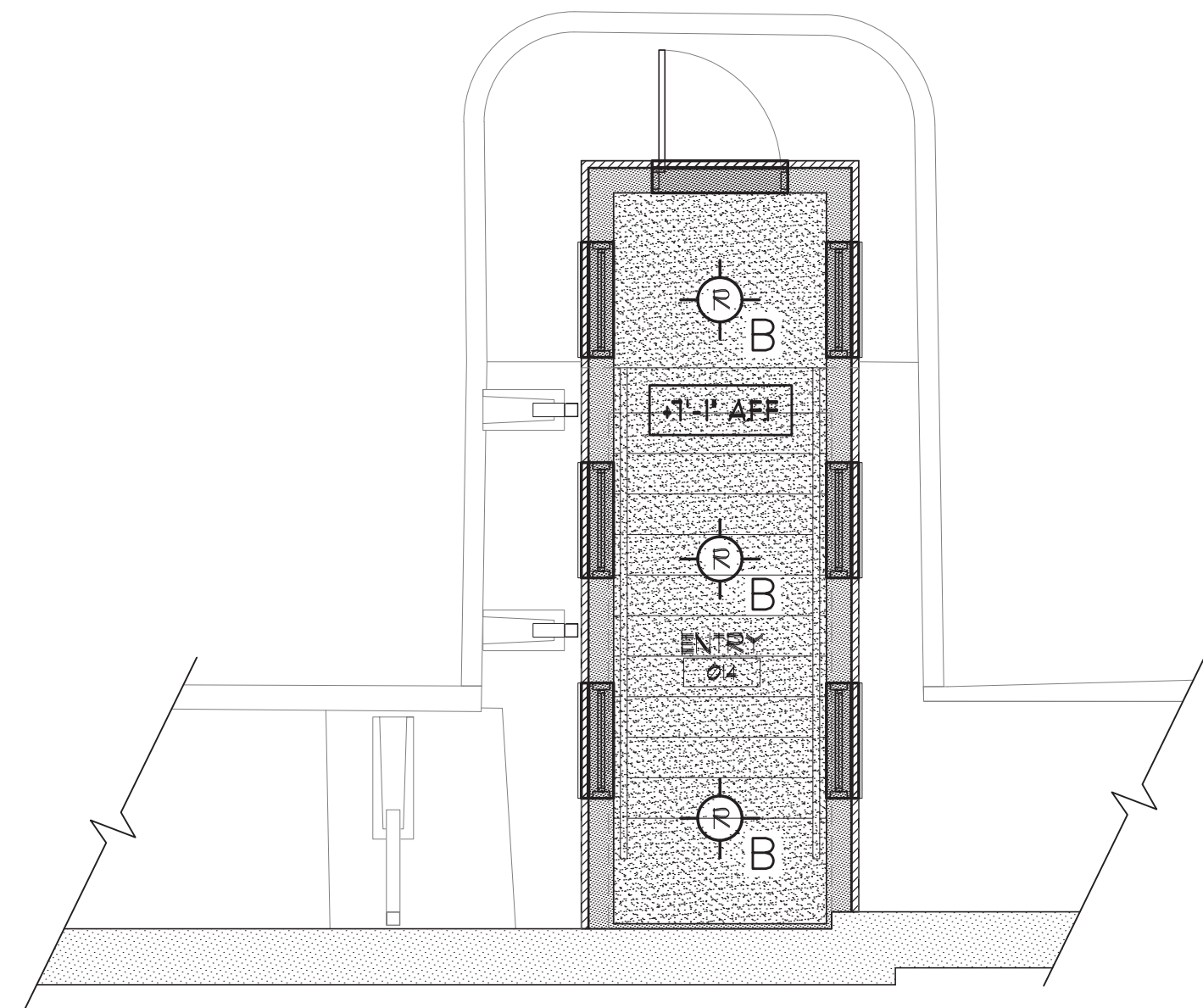
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A1-2

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2 STAIR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN SYMBOLS

- ACT-1, 2 x 4 ACT CEILING SYSTEM (SEE SPEC). CEILING HEIGHTS TO MATCH EXISTING (UNO)
- NEW GUB CEILING OR SOFFIT WITH PAINTED FINISH
- EXISTING CEILING OR SOFFIT TO REMAIN. PATCH, REPAIR AND REPAINT.
- INDICATES CEILING HEIGHT ABOVE FINISH FLOOR

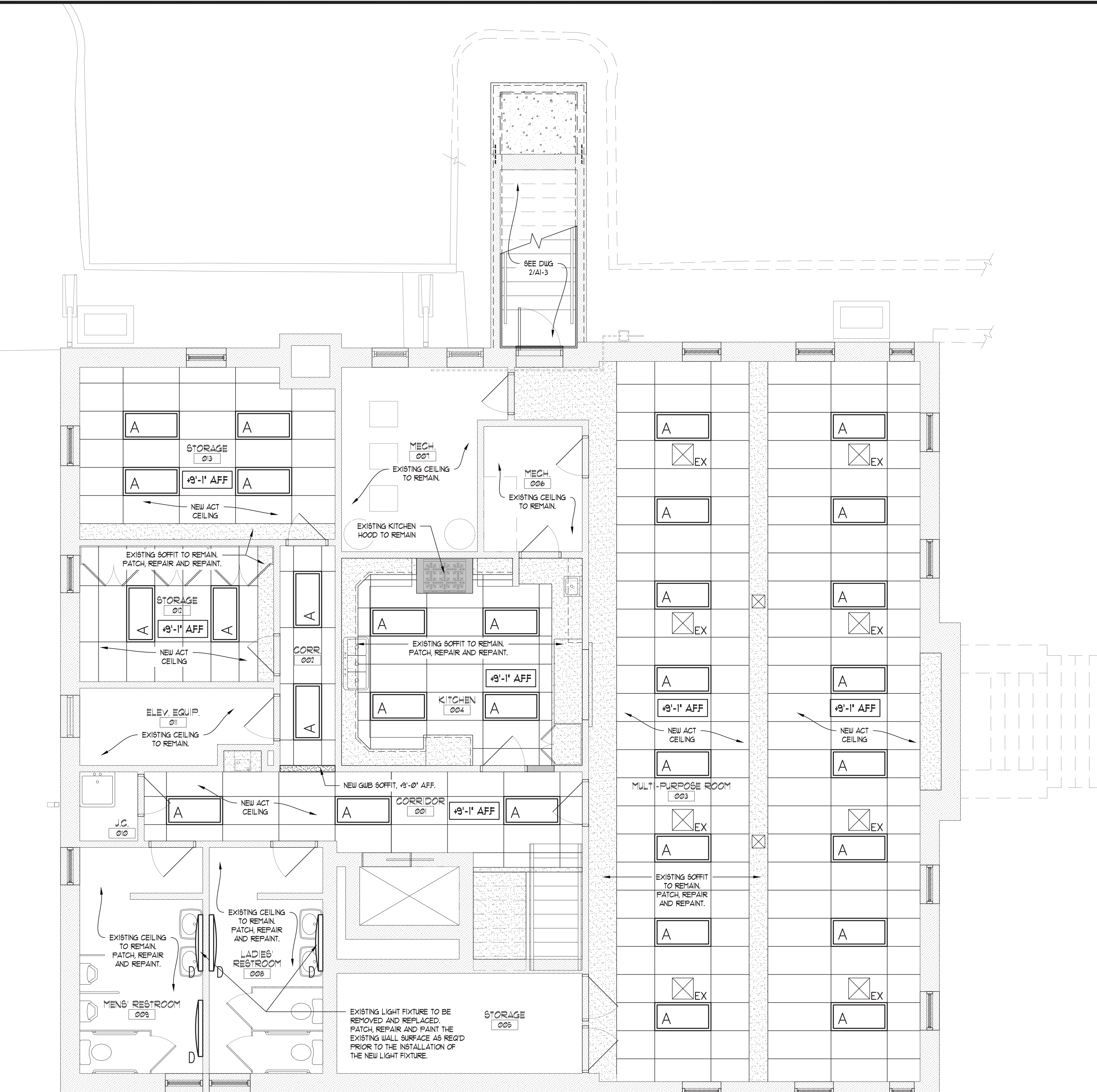
REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

HVAC & MISC. CEILING EQUIPMENT:

- NEW HVAC SUPPLY AIR DIFFUSER TO MATCH EXISTING, VERIFY & COORDINATE NEW DUCT AND FLEX DUCT ROUTING TO NEW DIFFUSER LOCATIONS IN FIELD WITH ARCHITECT.
- EXISTING HVAC SUPPLY AIR DIFFUSER TO BE REINSTALLED IN NEW CEILING TILE/GRID. REPAIR OR REPLACE EXISTING DIFFUSER WITH NEW TO MATCH EXISTING AS REQUIRED.
- NEW HVAC SUPPLY AIR DIFFUSER TO MATCH EXISTING, VERIFY & COORDINATE NEW DUCT AND FLEX DUCT ROUTING TO NEW DIFFUSER LOCATIONS IN FIELD WITH ARCHITECT.
- EXISTING HVAC RETURN AIR GRILLE TO BE REINSTALLED IN NEW CEILING TILE/GRID. REPAIR OR REPLACE EXISTING DIFFUSER WITH NEW TO MATCH EXISTING AS REQUIRED.
- NEW EXHAUST FAN. VENT TO EXTERIOR.

REFLECTED CEILING PLAN FIXTURE SYMBOLS

- 2' x 4' LED LIGHT FIXTURE (RECESSED LAY-IN). BASIS OF DESIGN: ILF VFAN SELECT BACK-LIT FLAT PANEL. *VPAN4-22L/33L/44L-1J-CCT5
- 1" DIA. LED SURFACE MOUNT LIGHT FIXTURE. BASIS OF DESIGN: ELITE *RL79-202L/100L-21K/30K/35K/40K/50K-50-BZ
- 2'-0" L. LED WALL MOUNTED LIGHT FIXTURE. BASIS OF DESIGN: CENTROLUX BY LEVITON, VRSE-5. *VRSE54RC-LED92765KCT09LUNV-DFF
- 4'-0" L. LED WALL MOUNTED LIGHT FIXTURE. BASIS OF DESIGN: CENTROLUX BY LEVITON, VRSE-5. *VRSE54RC-LED92765KCT09LUNV-DFF
- CEILING HUNG SUSPENDED LIGHT FIXTURE. BASIS OF DESIGN: LOUIS POULSEN, VL RING CROWN S LIGHT PENDANT



NOTE: ALL EXISTING EMERGENCY LIGHTING, EGRESS LIGHTING AND SMOKE DETECTORS TO REMAIN. G.C. TO VERIFY ALL EXISTING EQUIPMENT TO REMAIN IS IN GOOD WORKING CONDITION. REPAIR OR REPLACE ANY DAMAGED OR DEFICIENT EMERGENCY LIGHTING, EGRESS LIGHTING, OR SMOKE DETECTORS WITH NEW TO MATCH EXISTING.

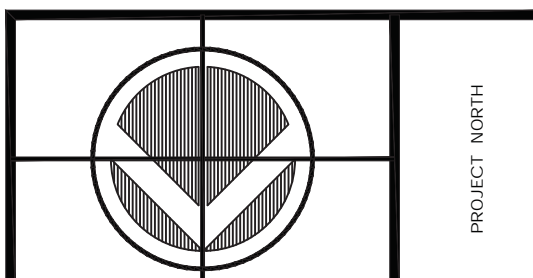
NOTE: ALL CONDITIONS AND REPRESENTATIONS ON THIS DRAWING ARE APPROXIMATE RENDITIONS OF ACTUAL CONDITIONS ALL INFORMATION SHOWN IS TO BE FIELD VERIFIED.

1 BASEMENT REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

| | | |
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| ISSUED FOR BIDDING | 1 | 01-08-25 |
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PHONE: (856) 854-4993 FAX: (856) 854-4993 WEB: www.oskdp.com

PRINCIPAL: PAUL A. KRIS, AIA, PP, NCARB
SENIOR ASSOCIATE: DANIEL A. SHROUSKY, AIA, PP, NCARB
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PROJECT TITLE

BASMENT REFLECTED CEILING PLAN

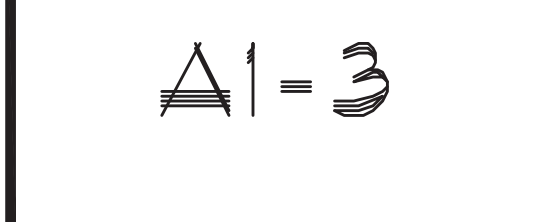
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO STARTING CONSTRUCTION

J. Blodman
GERALD S. BLACKMAN, JR.
N.J. LICENSE # 17113

| NO. | DESCRIPTION | DATE |
|-------------------|-------------|------|
| REVISION SCHEDULE | | |

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CHECKED BY: JSB
DATE: 01-08-2025
SCALE: AS NOTED

JOB NO. 219901



FILE PATH: D:\Production\OSK_Cornered\3888-CV19801 - Patrick Leffell Senior - Ctr - Reno\Drawings\DWG\1-3 - SAVED 12/14/2024 4:58 PM PLOTTED: 1/9/25 SAVED BY: dschell

REFLECTED CEILING PLAN SYMBOLS

- ACT-1, 2 x 4 ACT CEILING SYSTEM (SEE SPEC). CEILING HEIGHTS TO MATCH EXISTING (UNO)
- NEW GRID CEILING OR SOFFIT WITH PAINTED FINISH
- EXISTING CEILING OR SOFFIT TO REMAIN. PATCH, REPAIR AND REPAINT.
- INDICATES CEILING HEIGHT ABOVE FINISH FLOOR

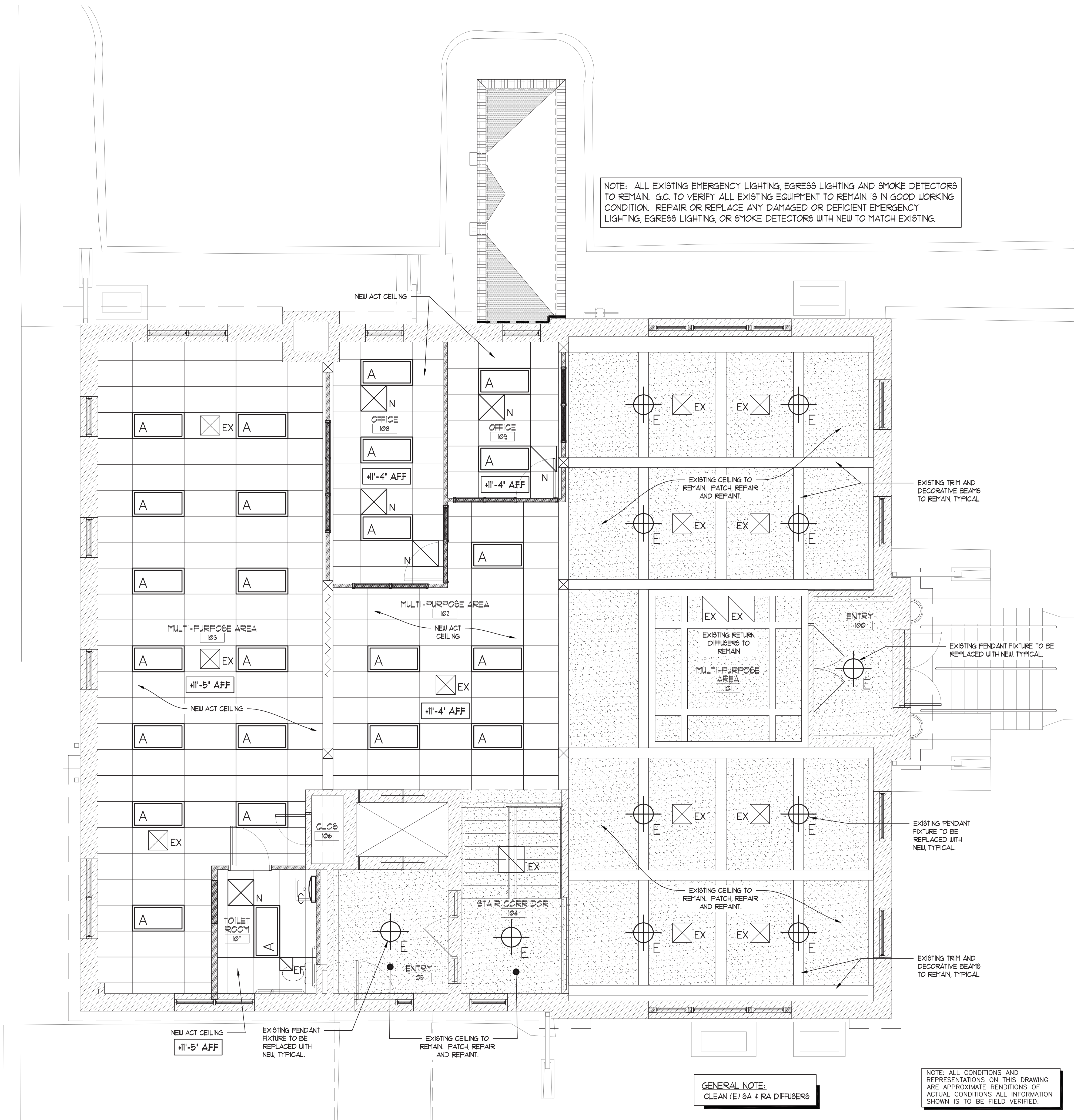
REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION

HVAC & MISC. CEILING EQUIPMENT:

- NEW HVAC SUPPLY AIR DIFFUSER TO MATCH EXISTING, VERIFY & COORDINATE NEW DUCT AND FLEX DUCT ROUTING TO NEW DIFFUSER LOCATIONS IN FIELD WITH ARCHITECT.
- EXISTING HVAC SUPPLY AIR DIFFUSER TO BE REINSTALLED IN NEW CEILING TILE/GRID. REPAIR OR REPLACE EXISTING DIFFUSER WITH NEW TO MATCH EXISTING AS REQUIRED.
- NEW HVAC SUPPLY AIR DIFFUSER TO MATCH EXISTING, VERIFY & COORDINATE NEW DUCT AND FLEX DUCT ROUTING TO NEW DIFFUSER LOCATIONS IN FIELD WITH ARCHITECT.
- EXISTING HVAC RETURN AIR GRILLE TO BE REINSTALLED IN NEW CEILING TILE/GRID. REPAIR OR REPLACE EXISTING DIFFUSER WITH NEW TO MATCH EXISTING AS REQUIRED.
- NEW EXHAUST FAN. VENT TO EXTERIOR.

REFLECTED CEILING PLAN FIXTURE SYMBOLS

- 2' x 4' LED LIGHT FIXTURE (RECESSED LAY-IN). BASIS OF DESIGN: ILF VFAN SELECT BACK-LIT FLAT PANEL. *VPAN4-22L/33L/44L-1J-CCT5
- 1" DIA. LED SURFACE MOUNT LIGHT FIXTURE. BASIS OF DESIGN: ELITE *RL791-200L/100L-21K/30K/35K/40K/50K-50-BZ
- 2'-0" L. LED WALL MOUNTED LIGHT FIXTURE. BASIS OF DESIGN: CENTROLUX BY LEVITON VRSE-5. *VRSE54RC-LED2165KCT05LUNV-DFF
- 4'-0" L. LED WALL MOUNTED LIGHT FIXTURE. BASIS OF DESIGN: CENTROLUX BY LEVITON VRSE-5. *VRSE54RC-LED2165KCT05LUNV-DFF
- CEILING HUNG SUSPENDED LIGHT FIXTURE. BASIS OF DESIGN: LOUIS POUlsen, VL RING CROWN 5 LIGHT PENDANT



NOTE: ALL EXISTING EMERGENCY LIGHTING, EGRESS LIGHTING AND SMOKE DETECTORS TO REMAIN. GC TO VERIFY ALL EXISTING EQUIPMENT TO REMAIN IS IN GOOD WORKING CONDITION. REPAIR OR REPLACE ANY DAMAGED OR DEFICIENT EMERGENCY LIGHTING, EGRESS LIGHTING, OR SMOKE DETECTORS WITH NEW TO MATCH EXISTING.

GENERAL NOTE:
CLEAN (E) SA & RA DIFFUSERS

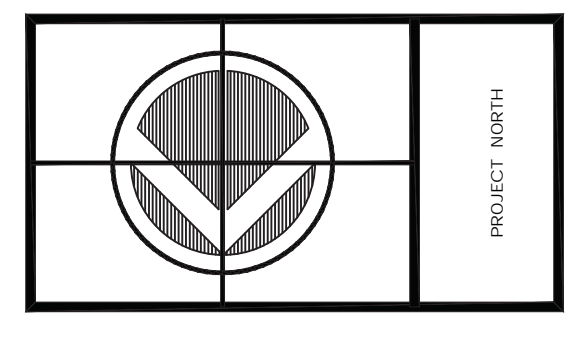
NOTE: ALL CONDITIONS AND REPRESENTATIONS ON THIS DRAWING ARE APPROXIMATE RENDITIONS OF ACTUAL CONDITIONS ALL INFORMATION SHOWN IS TO BE FIELD VERIFIED.

1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

| | | |
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PROJECT TITLE
DWG. TITLE
FIRST FLOOR REFLECTED CEILING PLAN

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE STARTING CONSTRUCTION

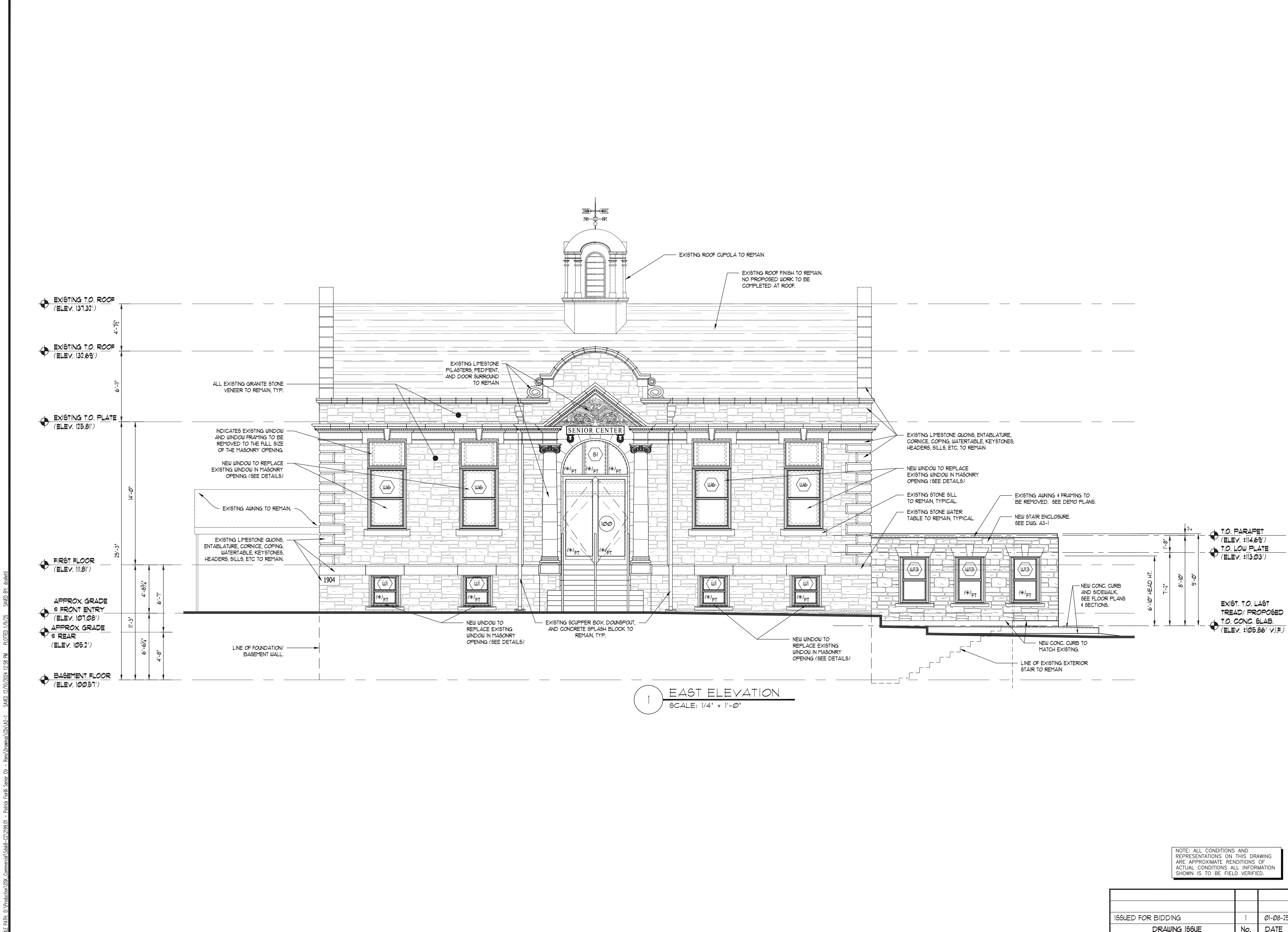
J. Blodman
GERALD S. BLACKMAN, JR.
NJ LICENSE # 17113

| NO. | DESCRIPTION | DATE |
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| REVISION SCHEDULE | | |

DRAWN BY: DC
CHECKED BY: JSB
DATE: 01-08-2025
SCALE: AS NOTED

JOB NO. 219901

1 = 4



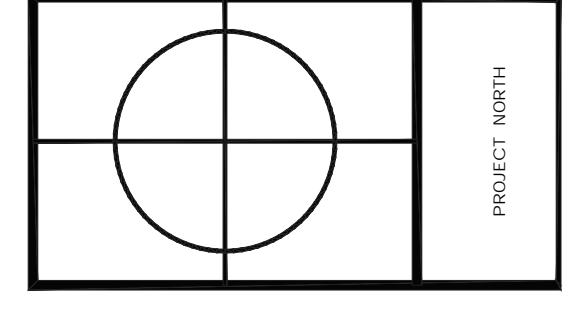
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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FOUNDER: JOHN J. OLVIERI (1956-1999)
SENIOR ASSOCIATE: DANIEL A. SHIGUSKY, AIA, PP, NCARB
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PROJECT

BUILDING ELEVATIONS

DWG. TITLE

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N.J. LICENSE # 17113

| NO. | DESCRIPTION | DATE |
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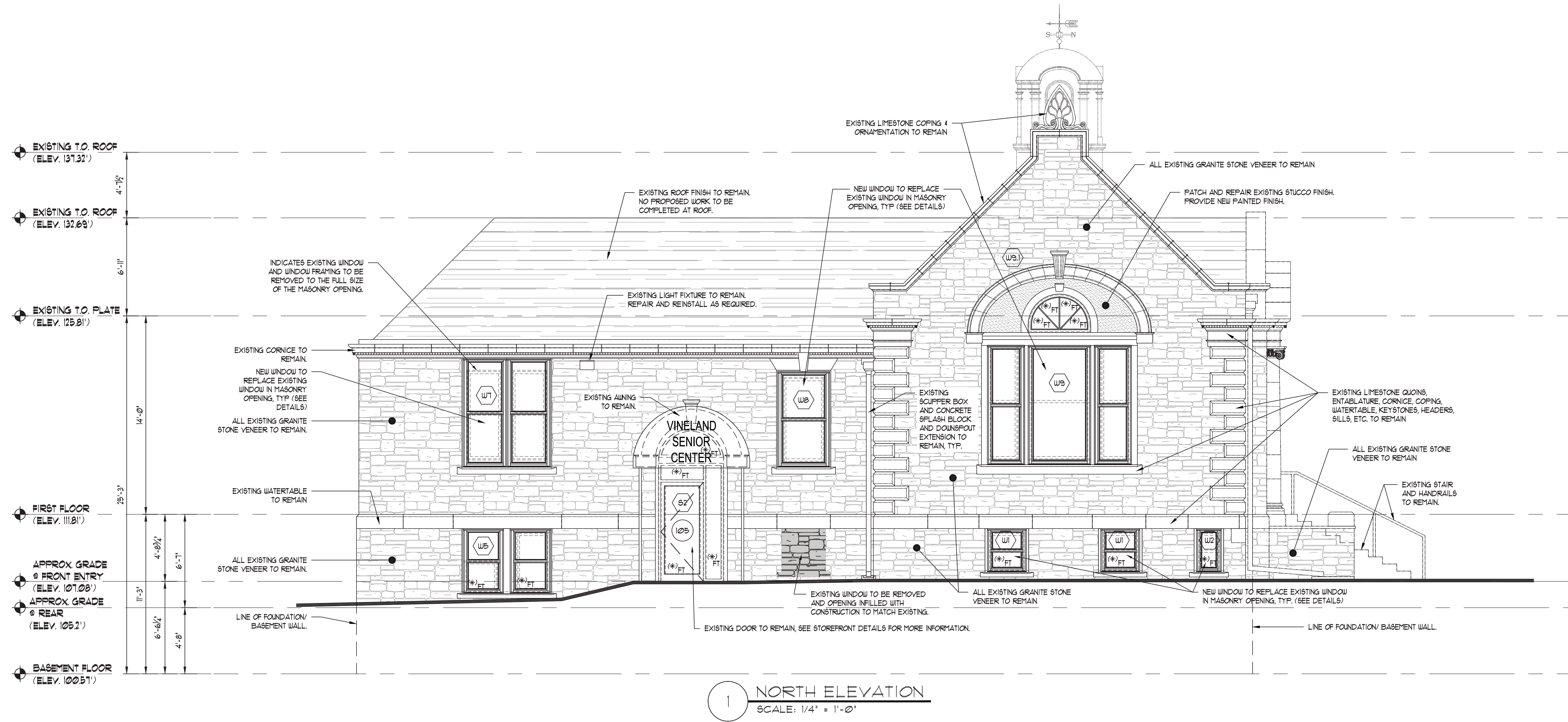
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DATE: 01-08-2025
SCALE: AS NOTED

JOB NO. 2199.01

A2 = 1

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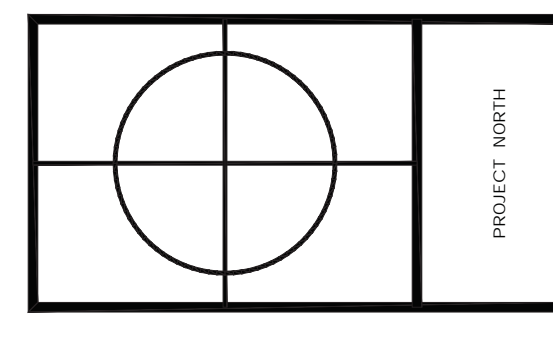
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT
BUILDING ELEVATIONS
DWG. TITLE

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND STARTING CONSTRUCTION

J. Blalock
GERALD S. BLALOCK, JR.
N.J. LICENSE # 17113

| NO. | DESCRIPTION | DATE |
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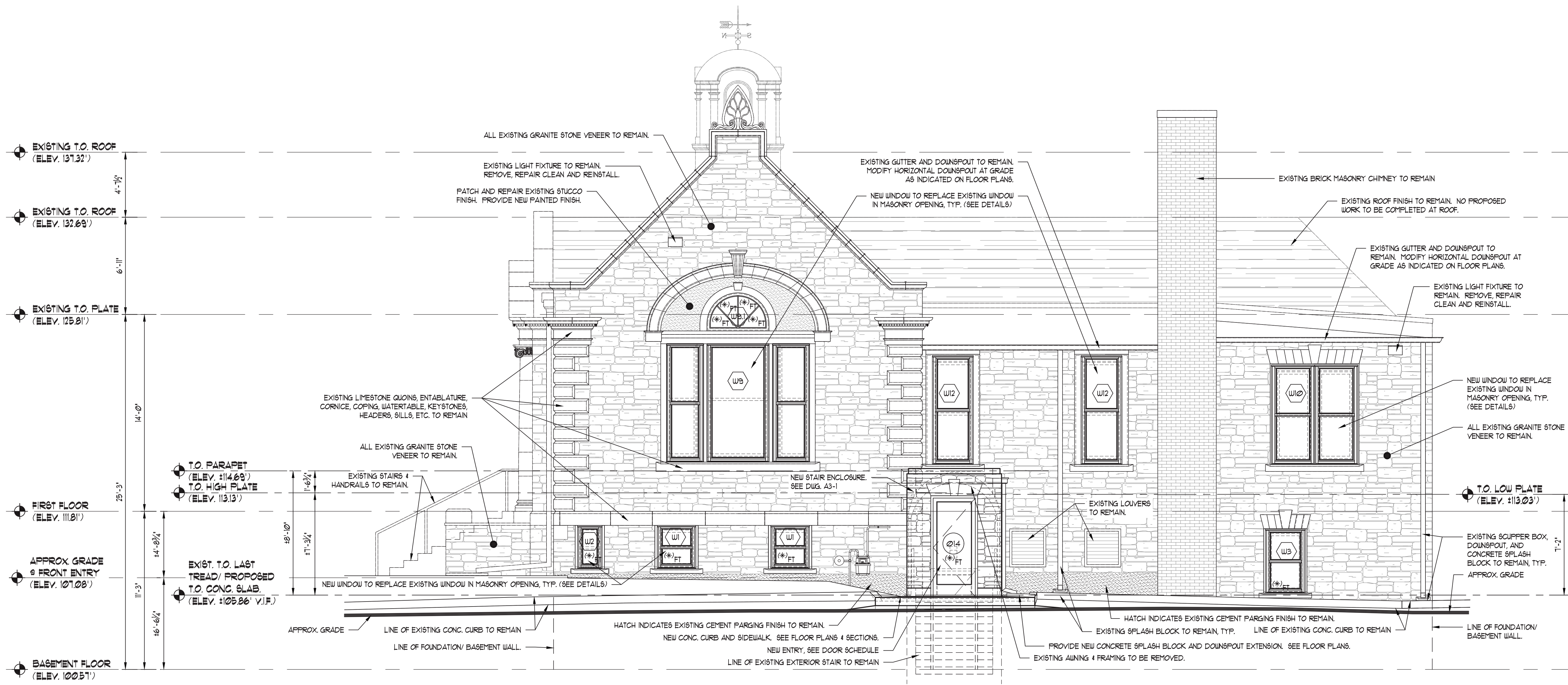
REVISION SCHEDULE

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| CHECKED BY: | JSB |
| DATE: | 01-08-2025 |
| SCALE: | AS NOTED |

JOB NO. 2199.01

A2 = 2

FILE PATH: D:\Production\OSK_Comerced\388-CV1983.01 - Patrick Forth Senior Ctr. - Reno\Drawings\CD\A2-1 - PLOTTED: 1/9/25 3:45 PM. D:\Production\OSK_Comerced\388-CV1983.01 - Patrick Forth Senior Ctr. - Reno\Drawings\CD\A2-1



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

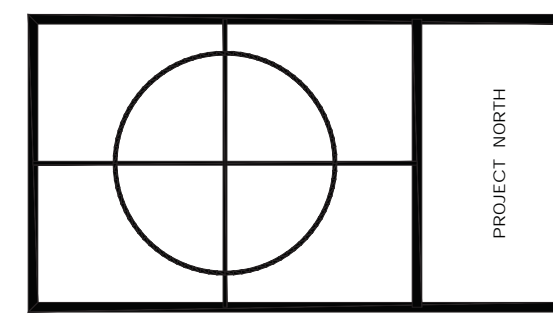
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DWG. TITLE
BUILDING ELEVATIONS

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND STARTING CONSTRUCTION

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NJ LICENSE # 17113

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A2-3

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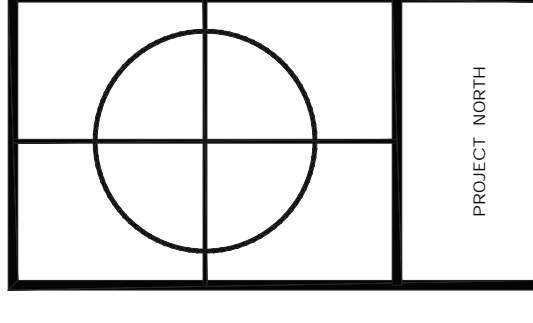
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT
BUILDING ELEVATIONS
DWG. TITLE

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND STARTING CONSTRUCTION

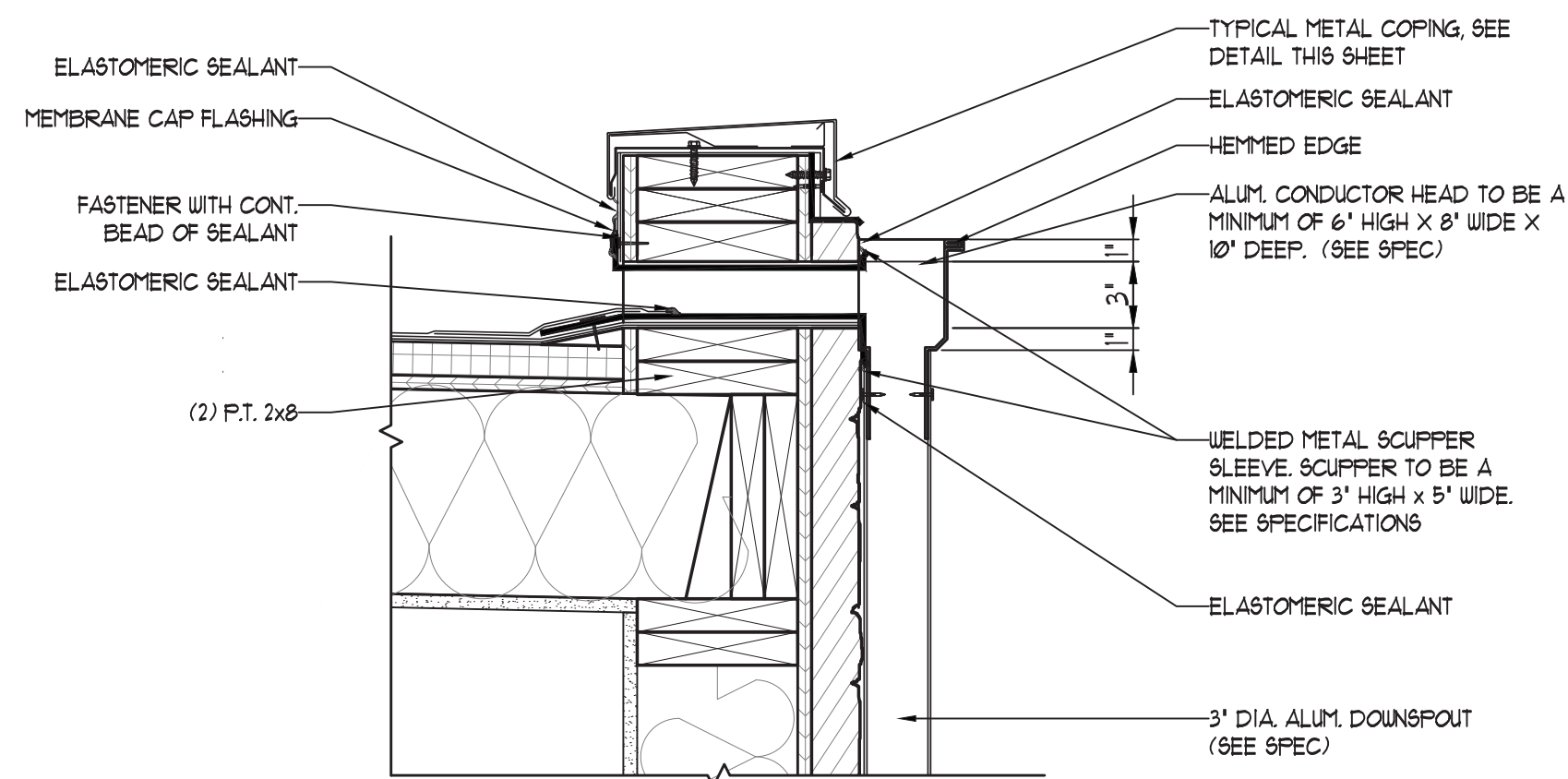
J. Blodman
GERALD S. BLACOMAN, JR.
N.J. LICENSE # 17113

| NO. | DESCRIPTION | DATE |
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| REVISION SCHEDULE | | |

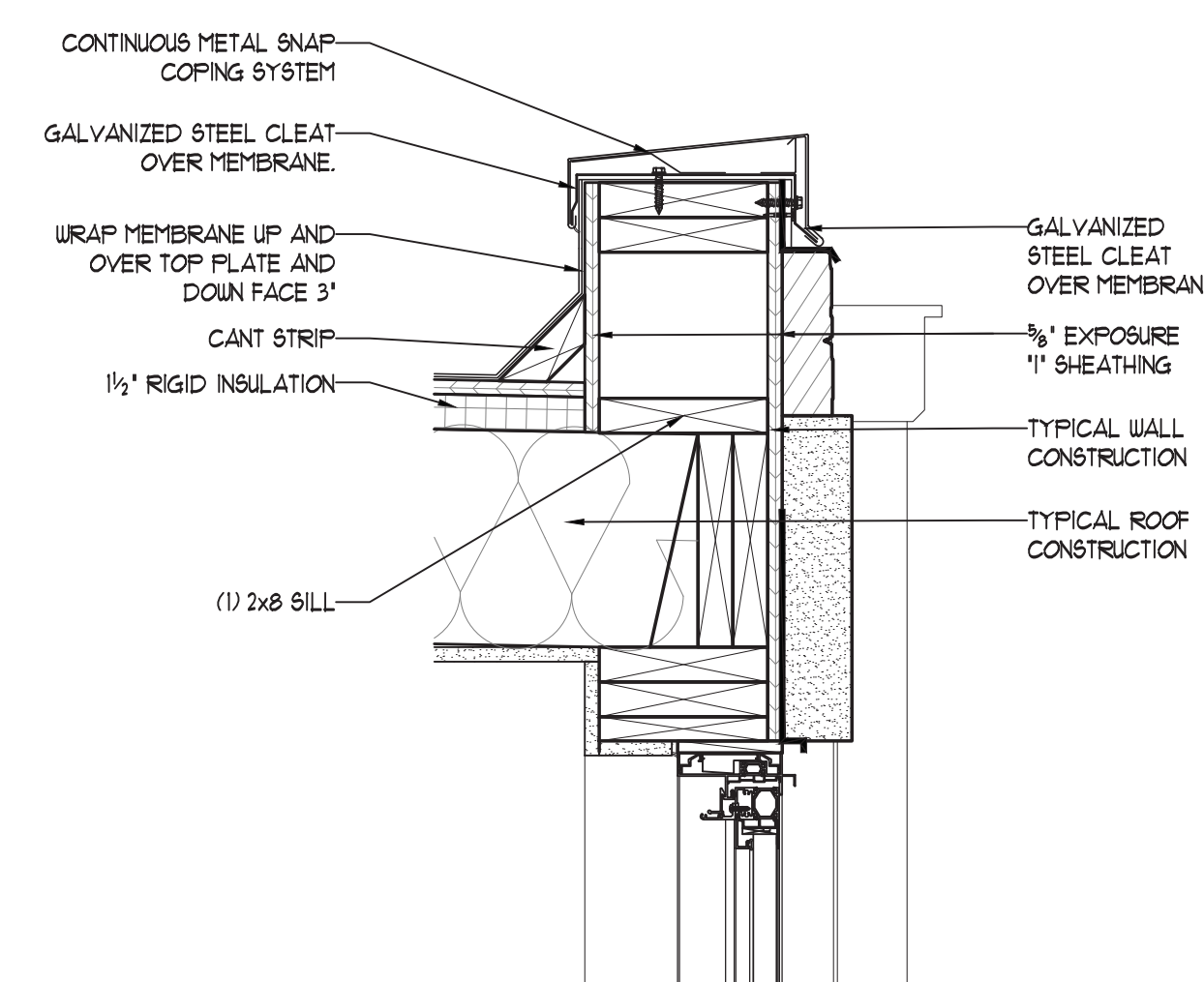
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JOB NO. 2199.01

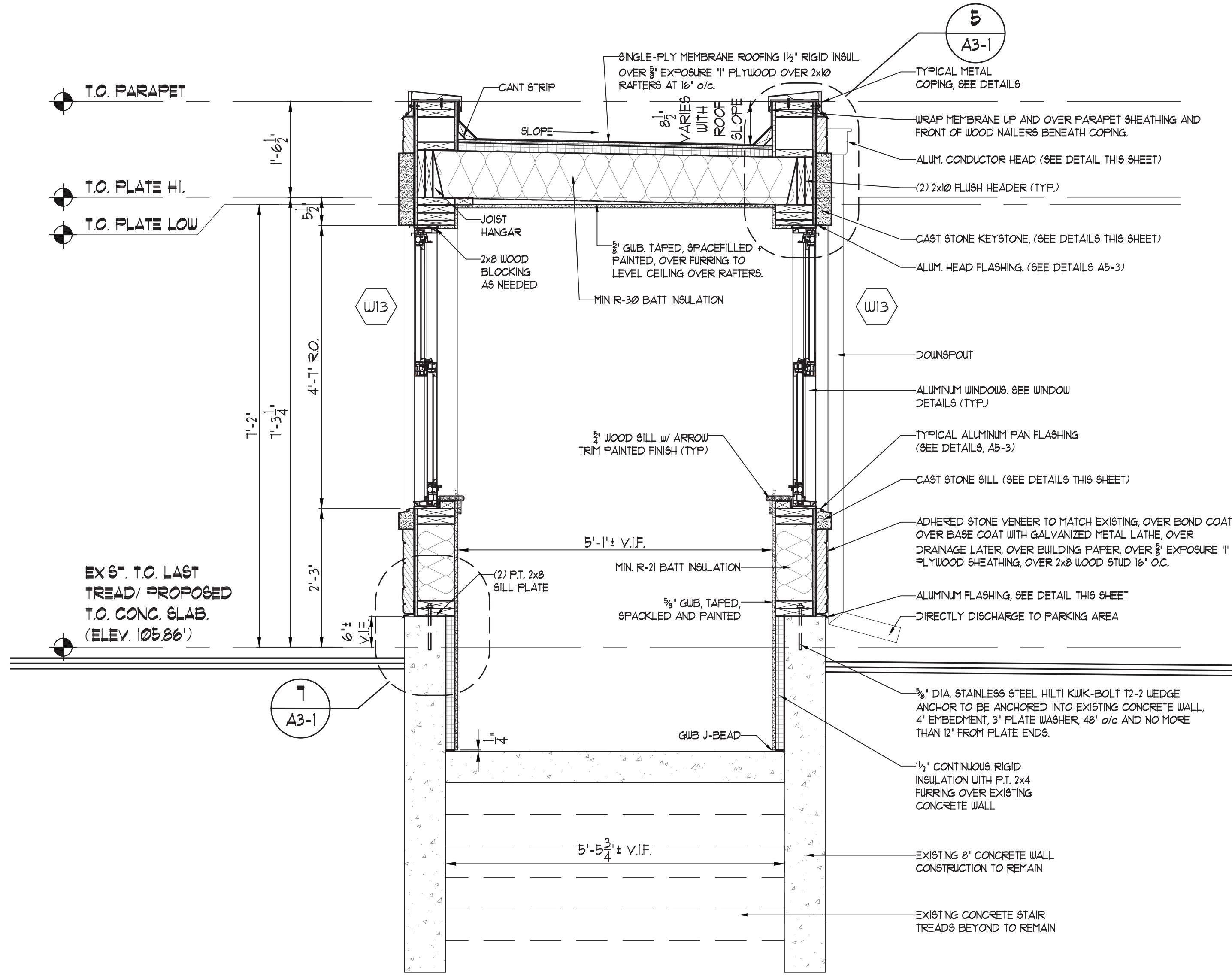
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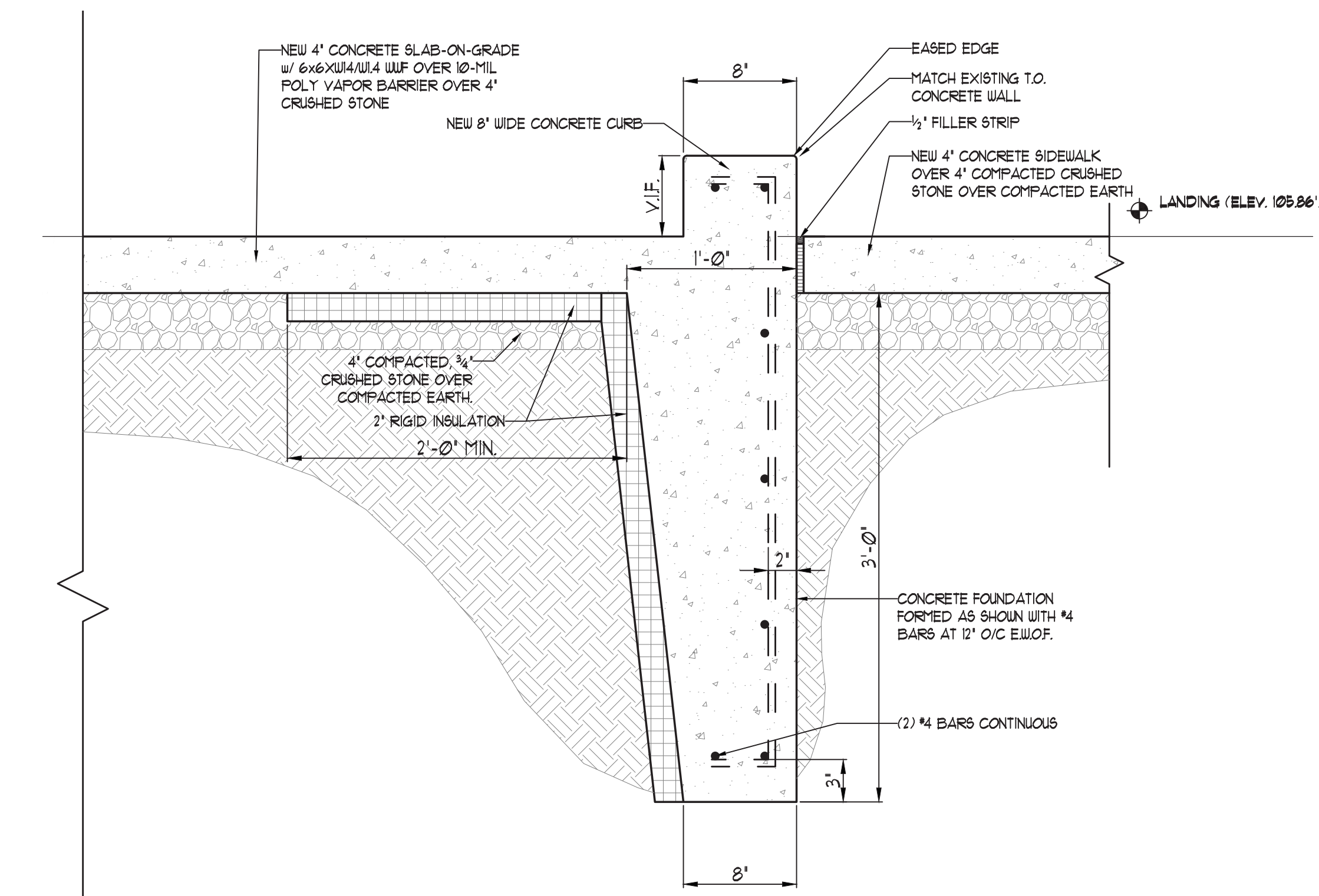
4 SCUPPER DETAIL
SCALE: 1-1/2" = 1'-0"



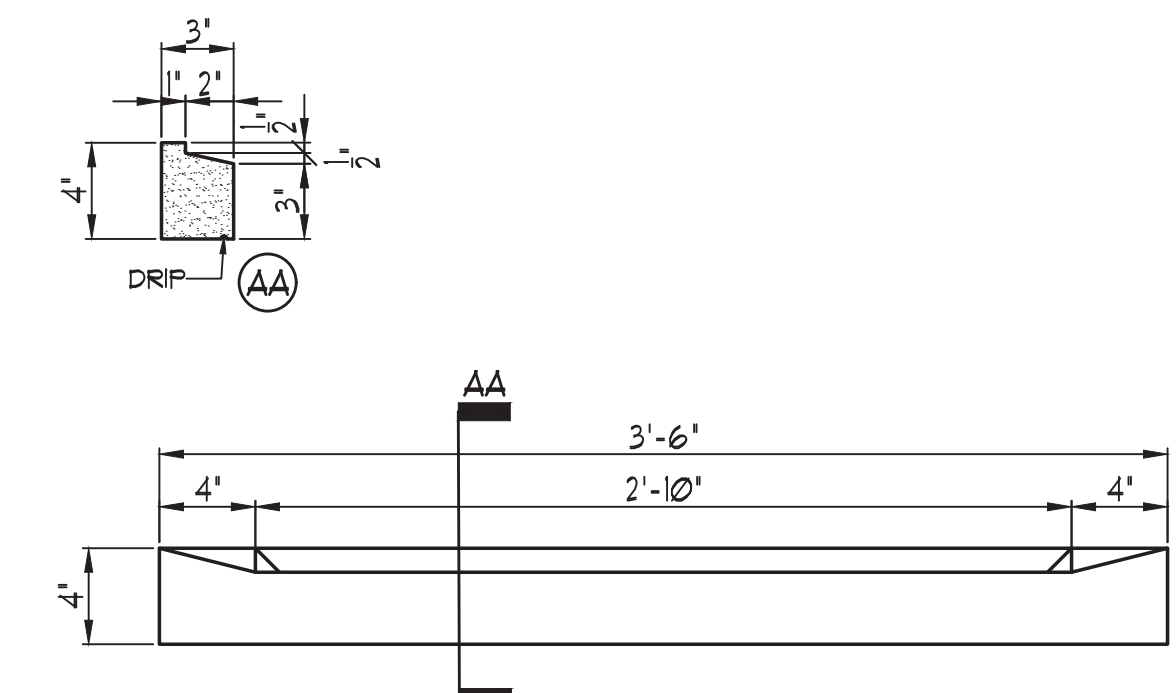
5 COPING DETAIL
SCALE: 1-1/2" = 1'-0"



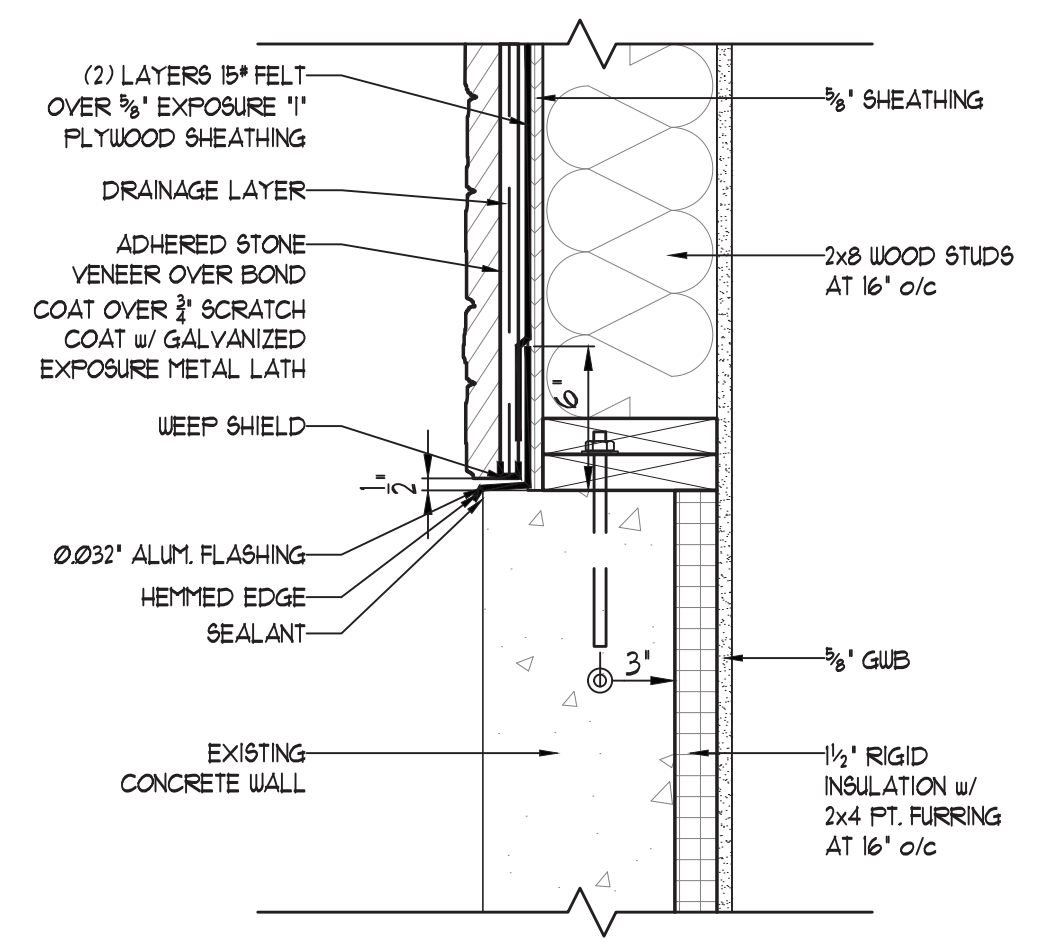
1 BUILDING SECTION
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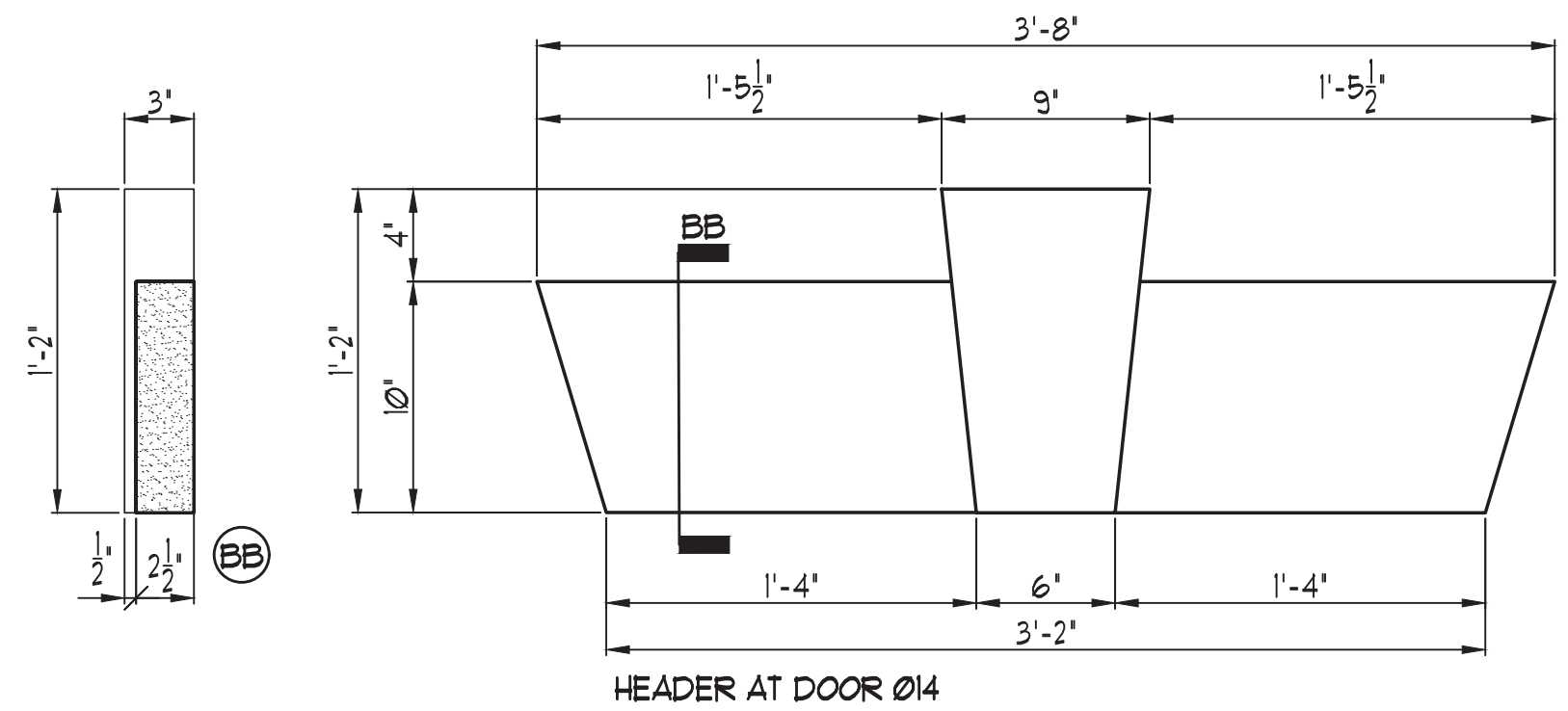
2 CONCRETE FOOTING DETAIL AT SIDEWALK
SCALE: 1-1/2" = 1'-0"



3 CAST STONE SILL DETAIL
SCALE: 1-1/2" = 1'-0" SILL @ W13



7 CURB WALL DETAIL
SCALE: 1-1/2" = 1'-0"

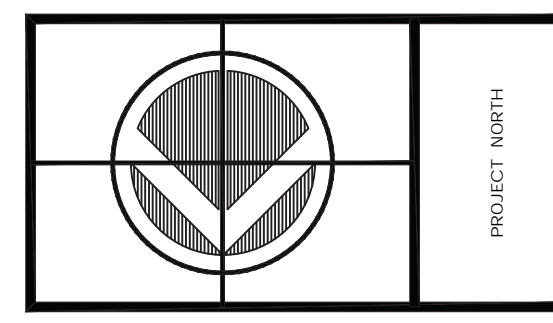


6 CAST STONE HEADER DETAIL
SCALE: 1-1/2" = 1'-0"

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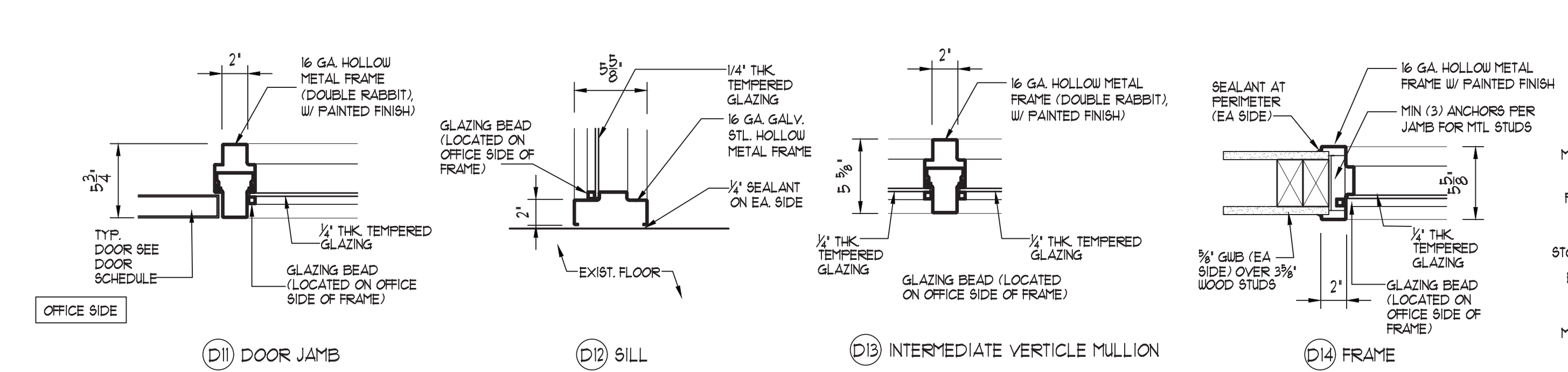
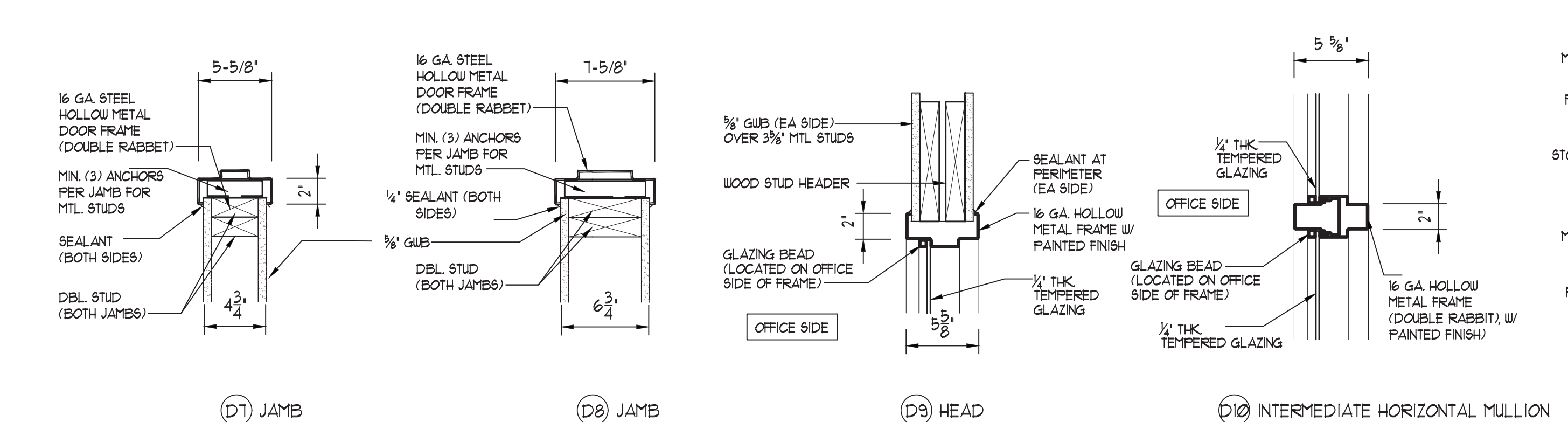
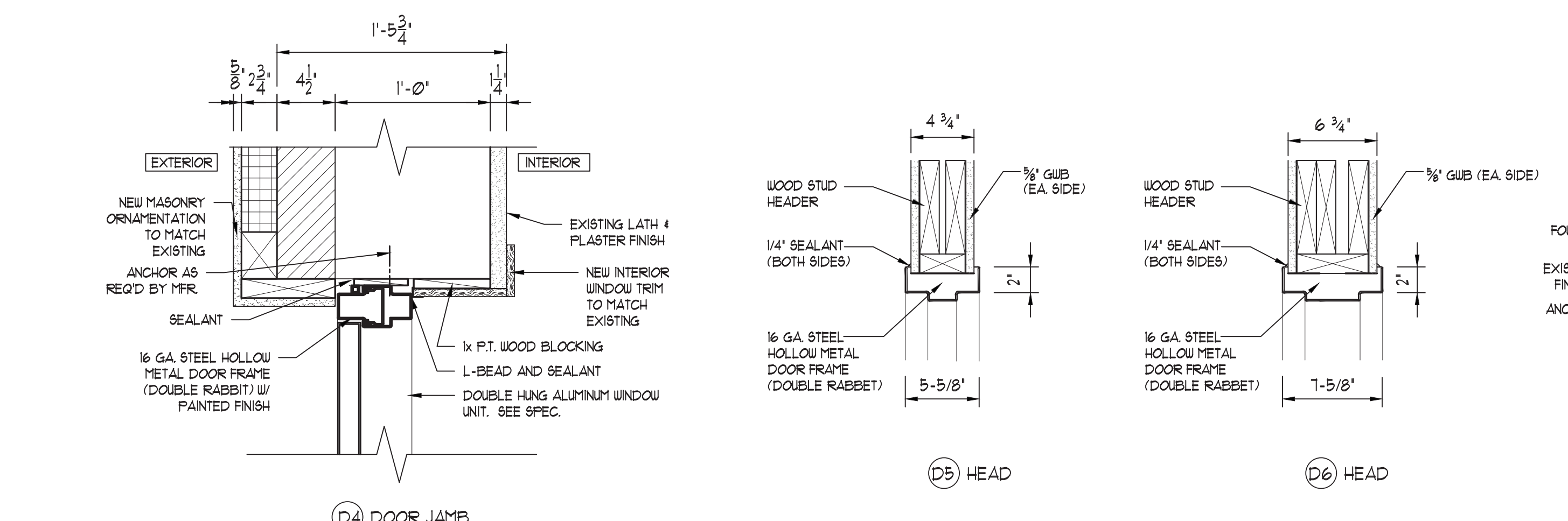
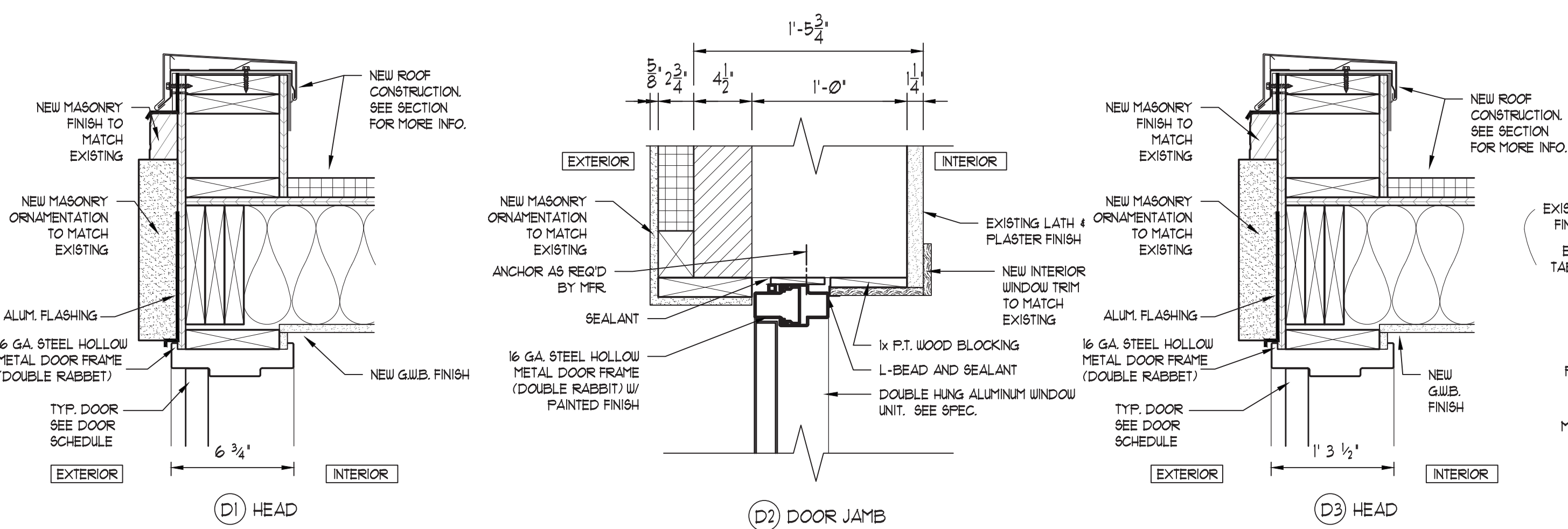
JOB NO. 219901

A3-1

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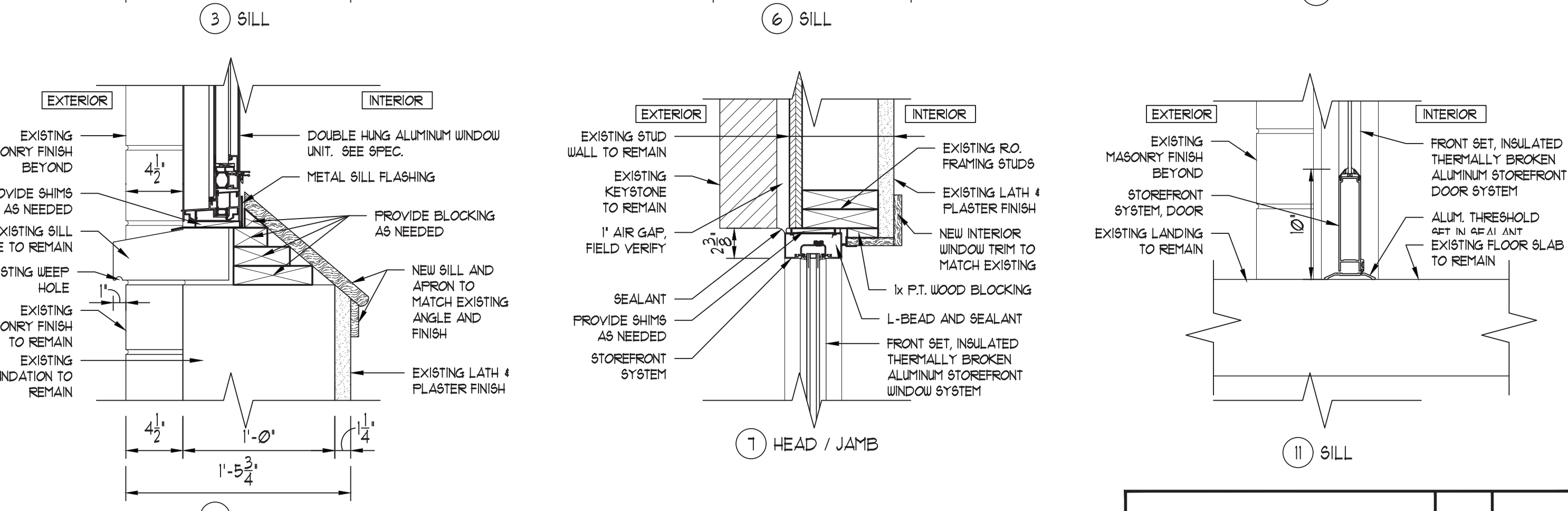
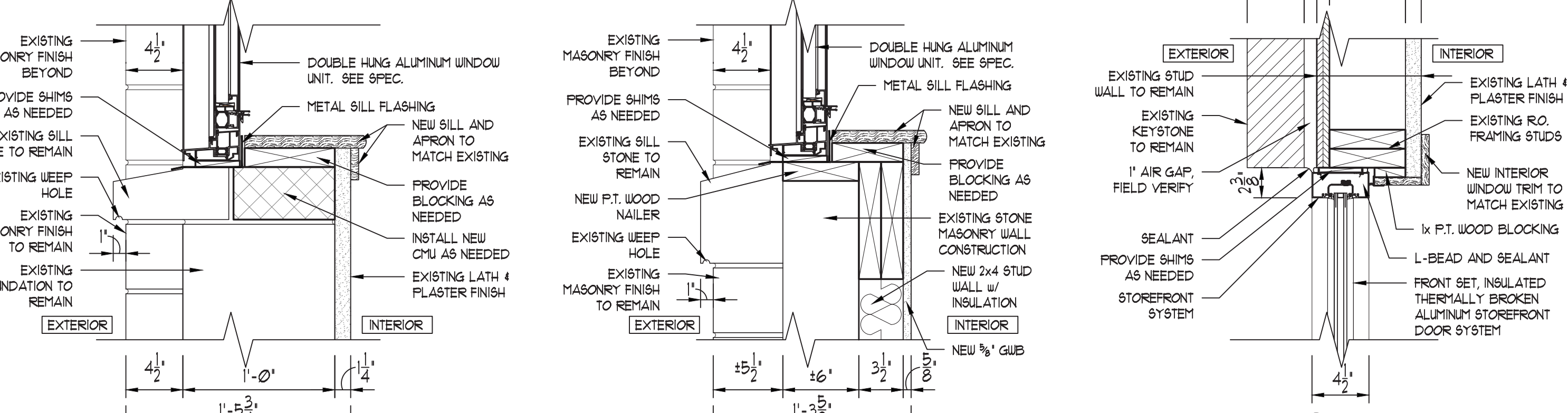
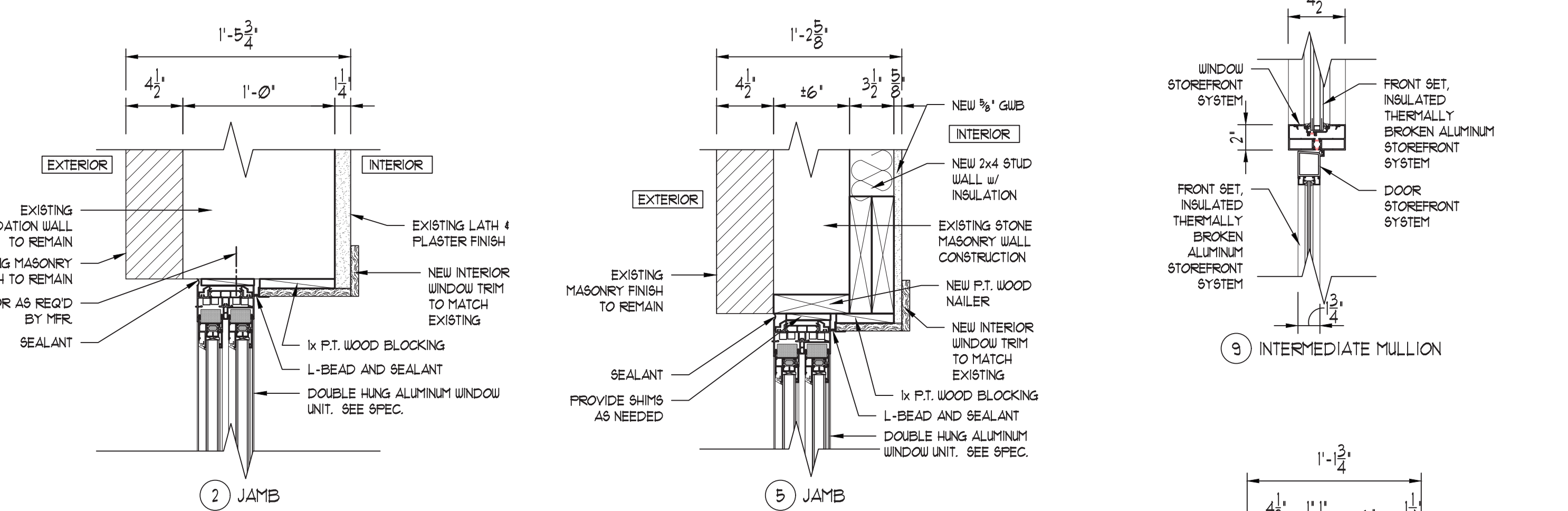
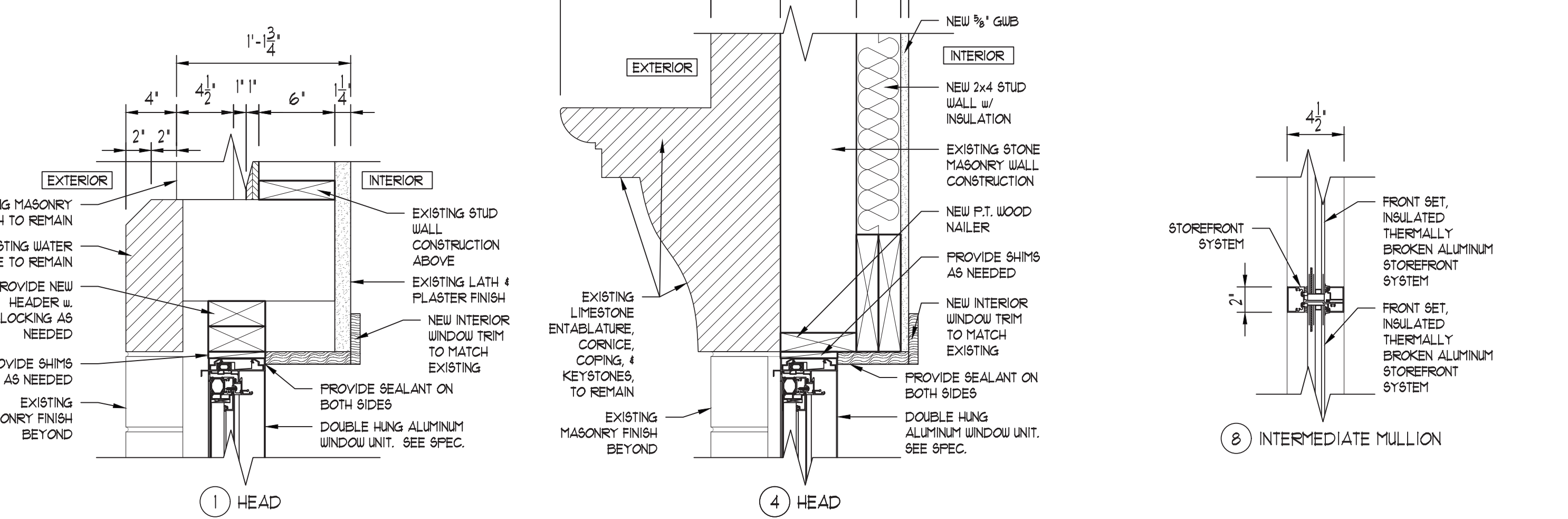
DOOR FRAME DETAILS:

SCALE: 1-1/2" = 1'-0"



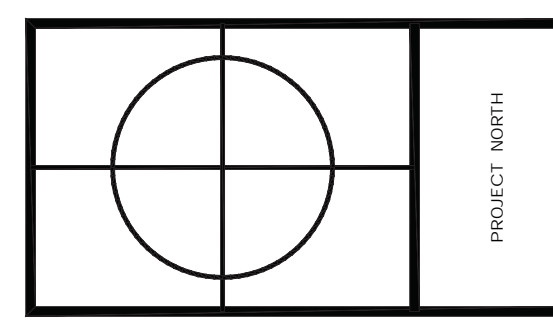
WINDOW AND DOOR FRAME DETAILS:

SCALE: 1-1/2" = 1'-0"



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 103 S 6TH STREET
 VINELAND, NEW JERSEY 08360

PROJECT DWG. TITLE

WINDOW DETAILS

J. Blodum
 GERALD S. BLACKMAN, JR.
 NJ LICENSE # 1713

CONTRACTOR SHALL VERIFY AND FIELD VERIFY ALL DIMENSIONS AND STARTING CONSTRUCTION

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |

REVISION SCHEDULE

DRAWN BY: DC
 CHECKED BY: JSB
 DATE: 01-08-2025
 SCALE: AS NOTED

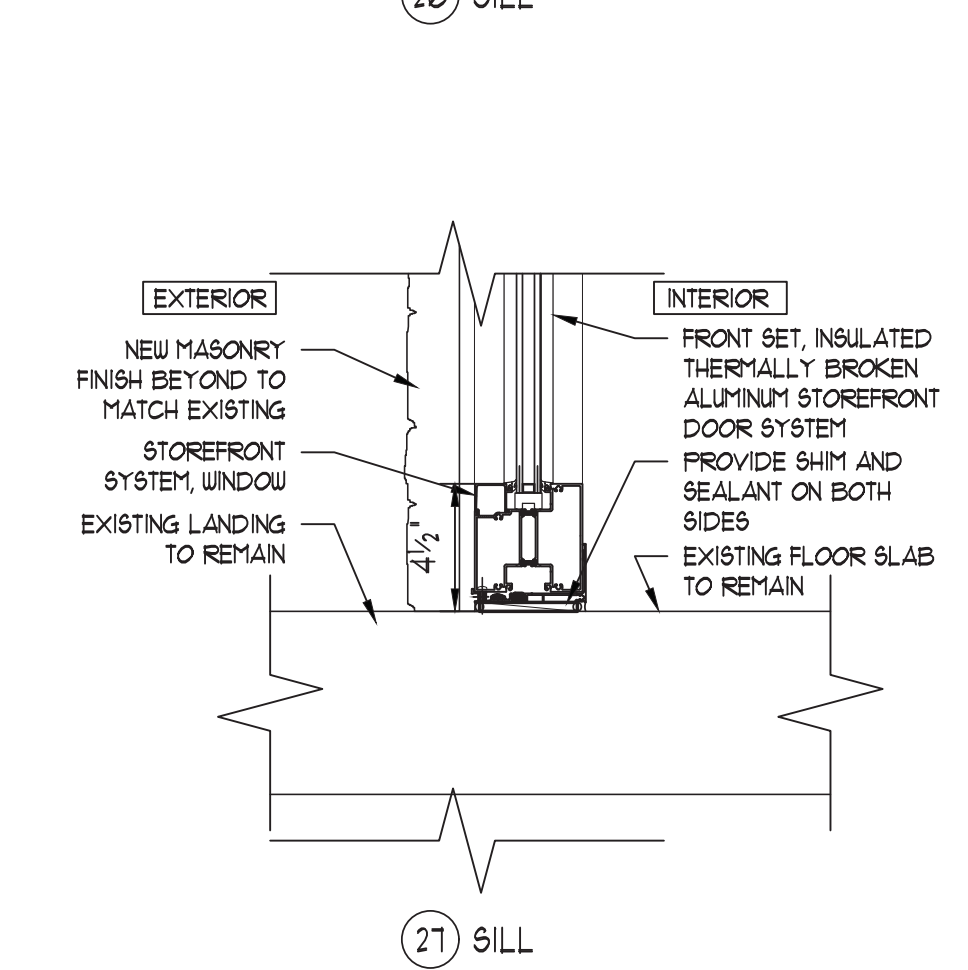
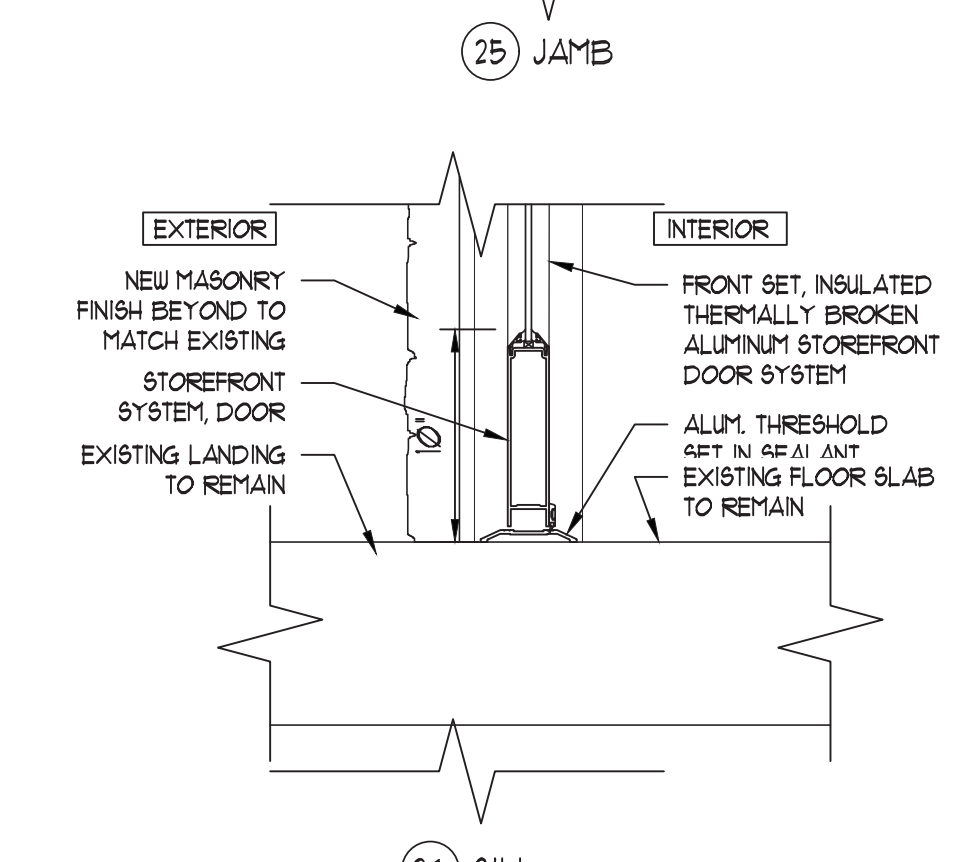
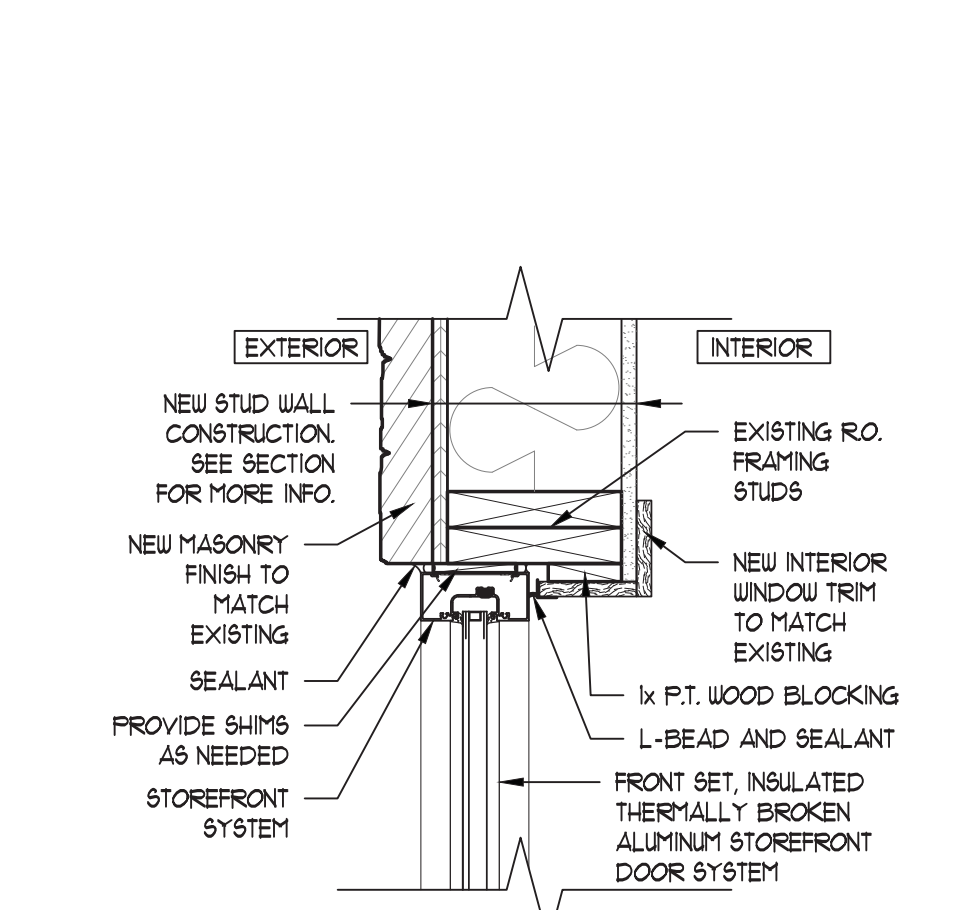
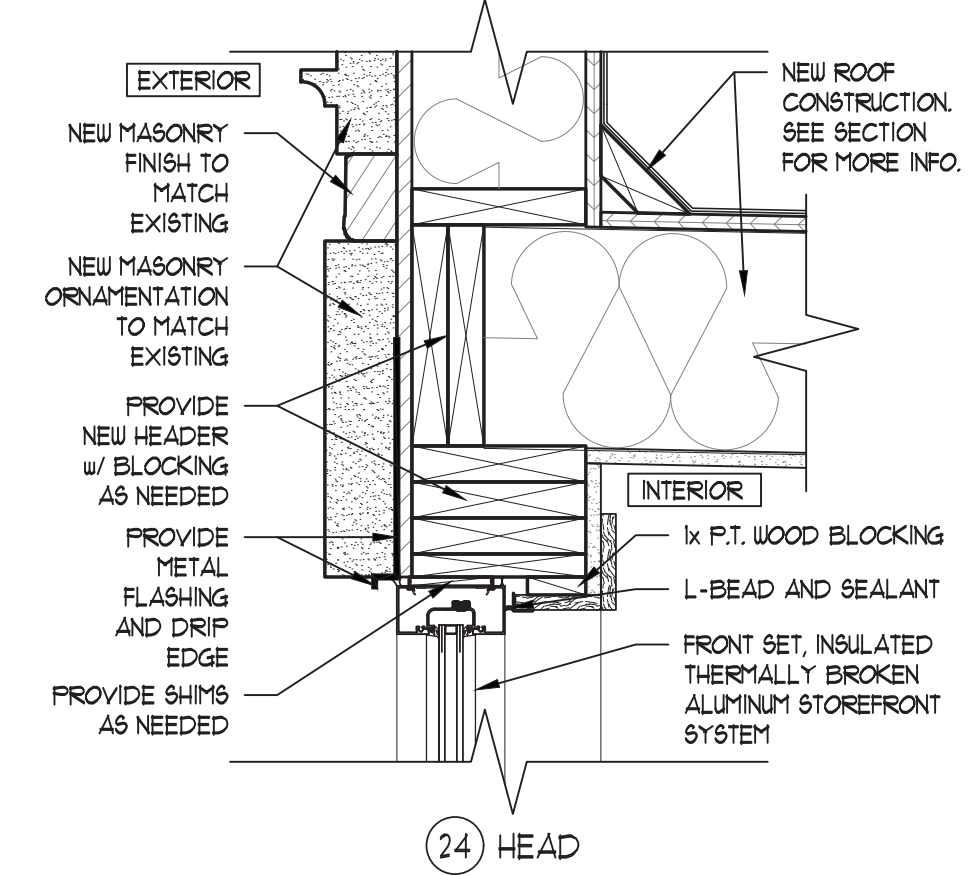
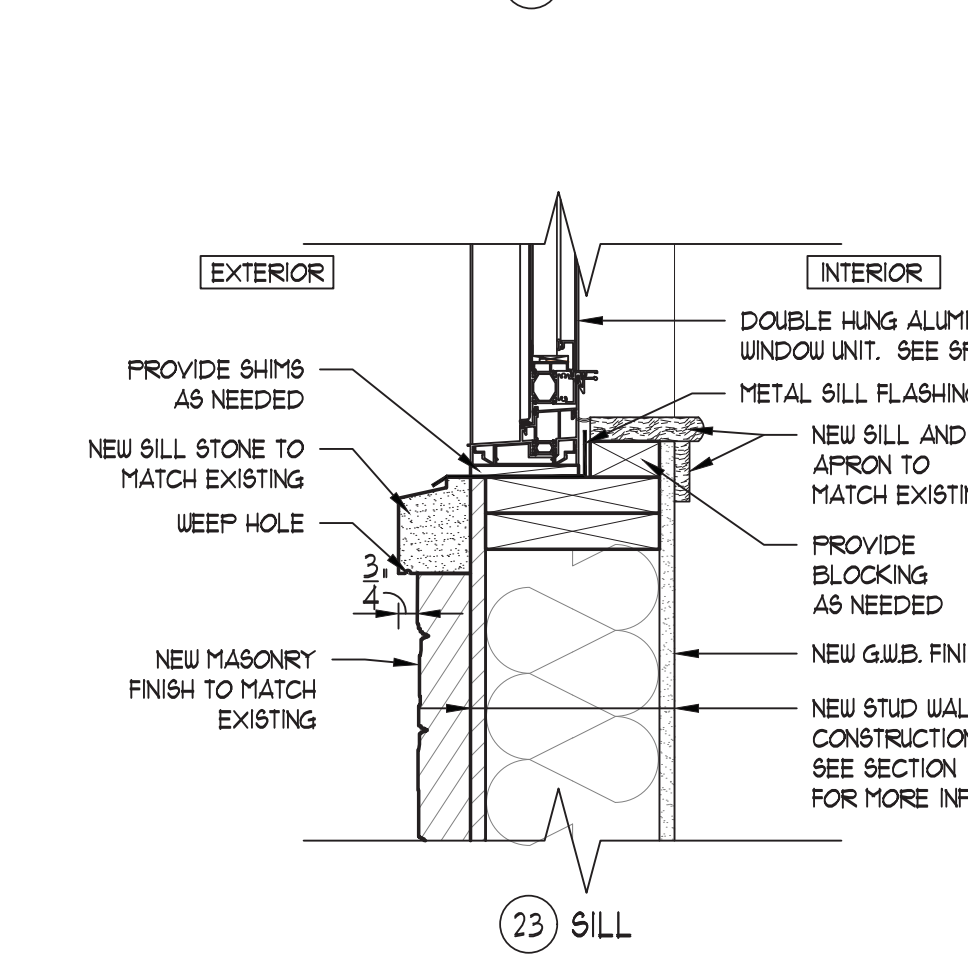
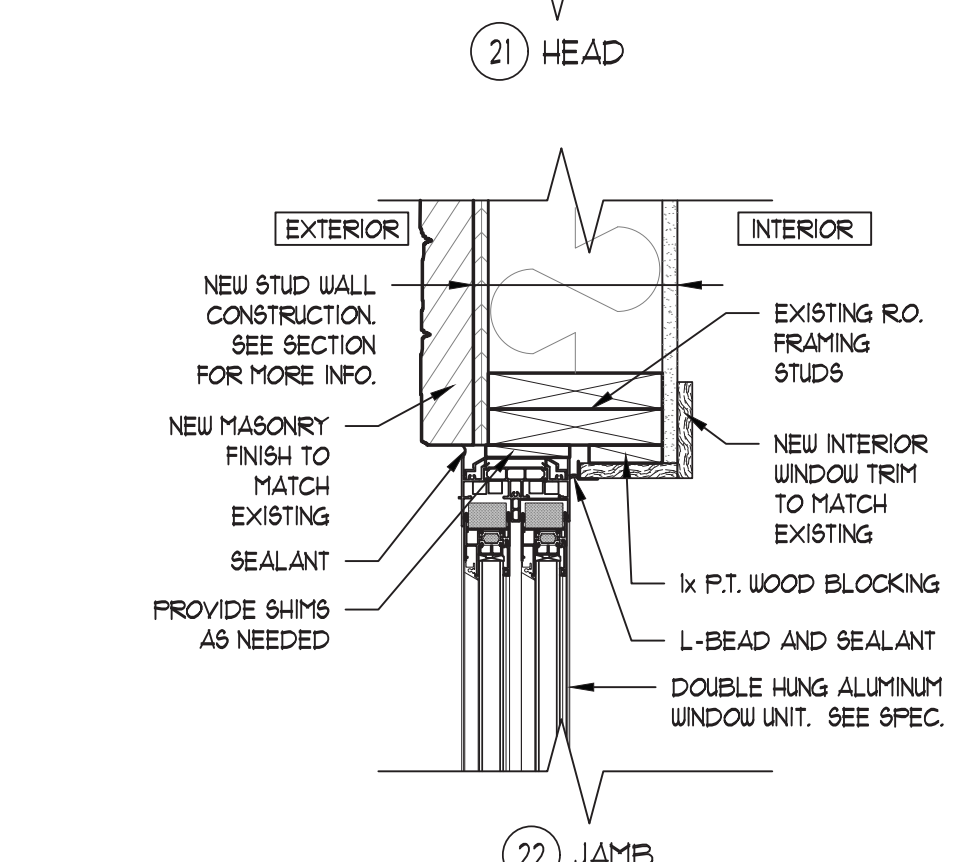
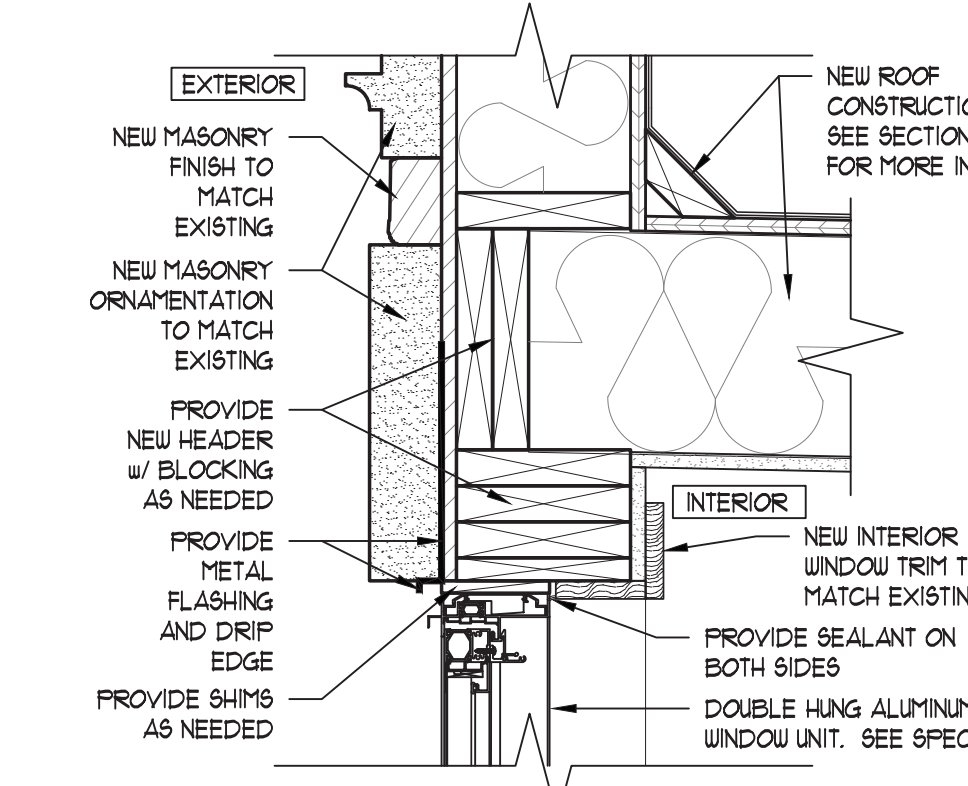
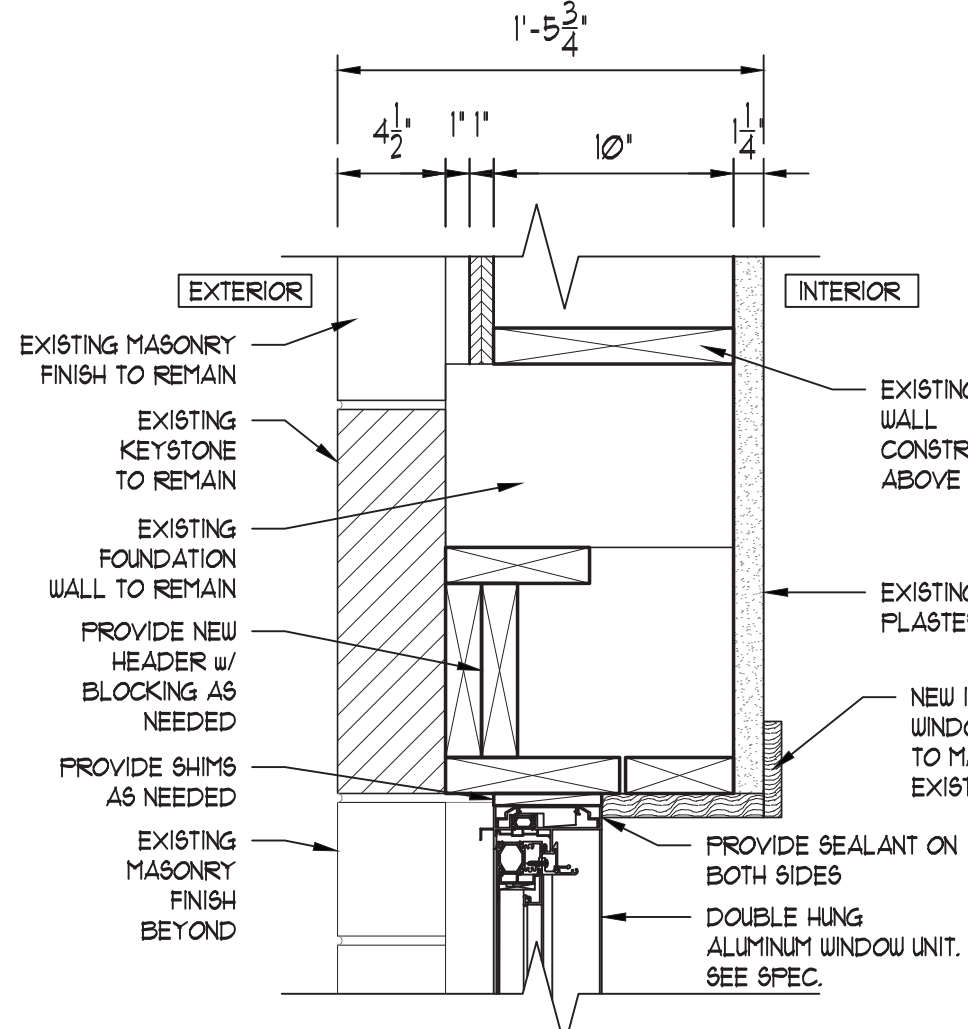
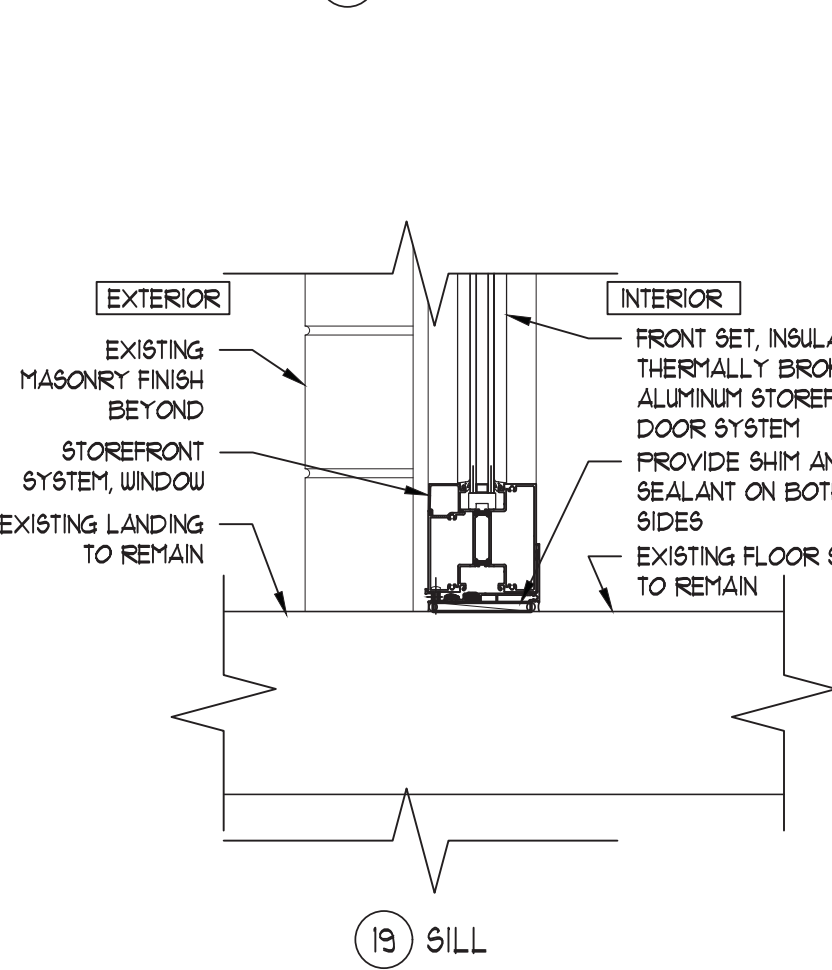
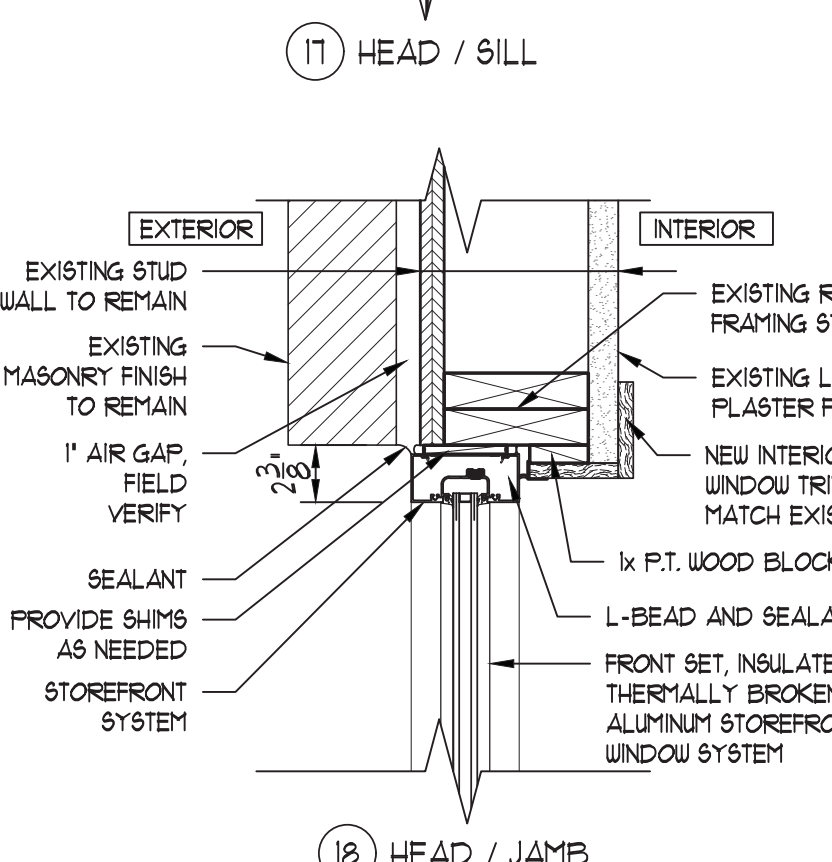
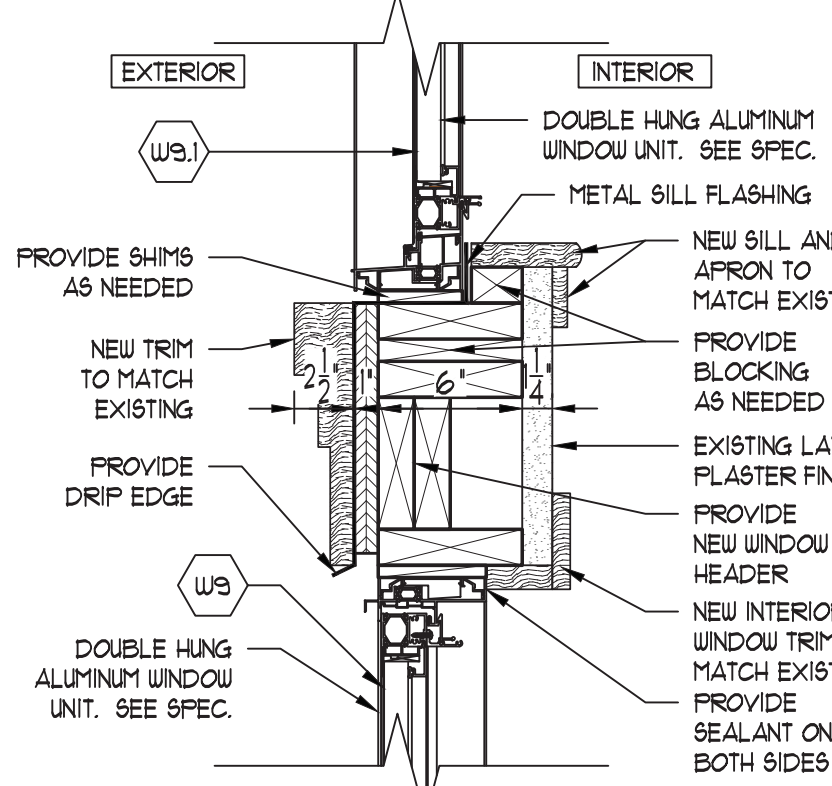
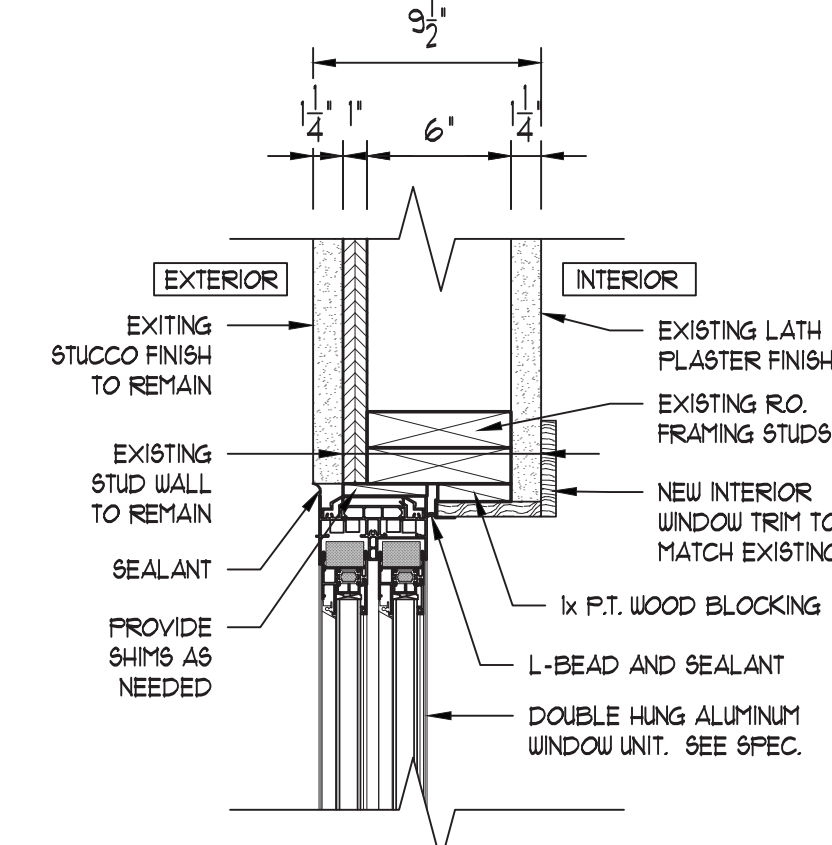
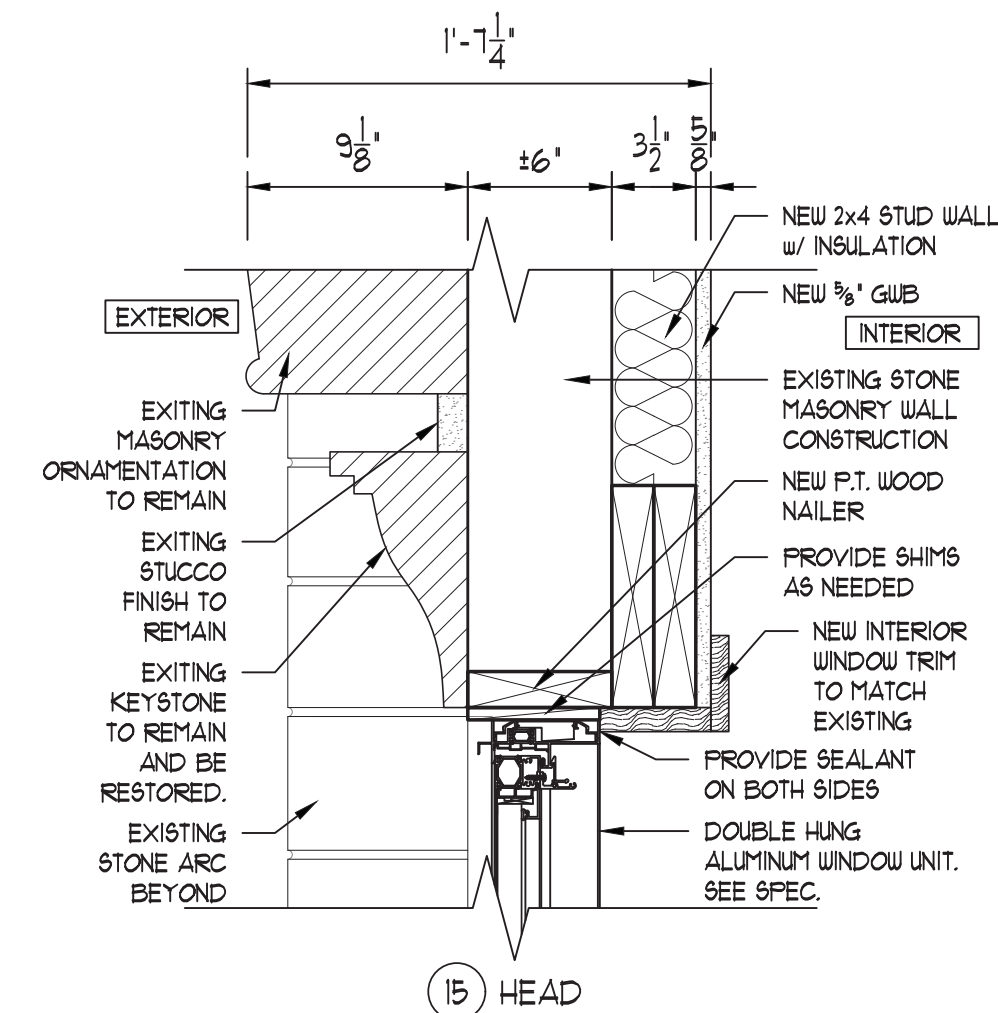
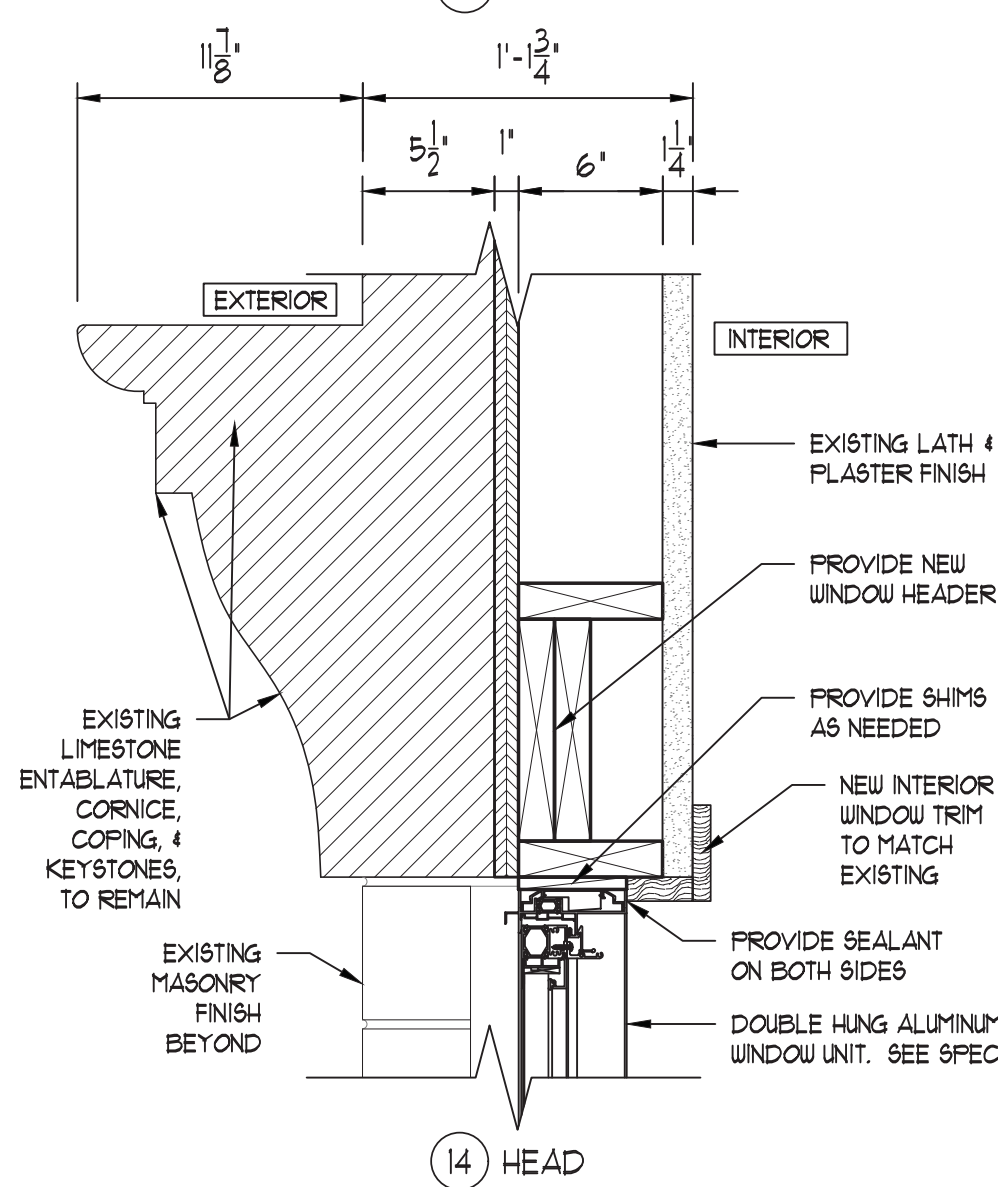
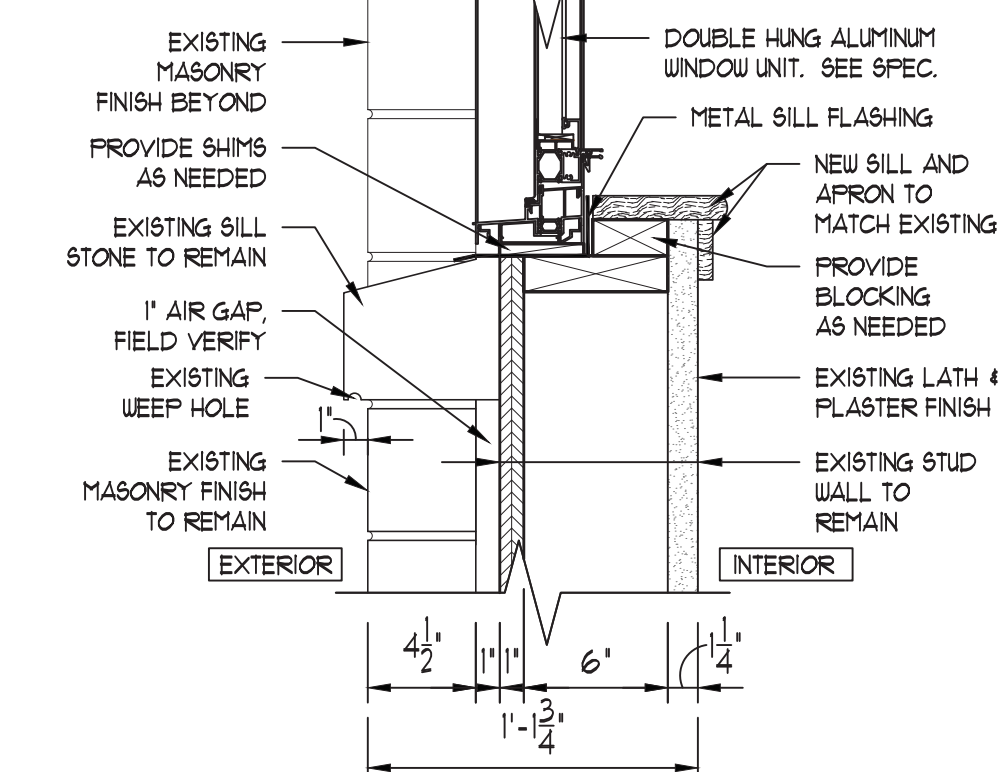
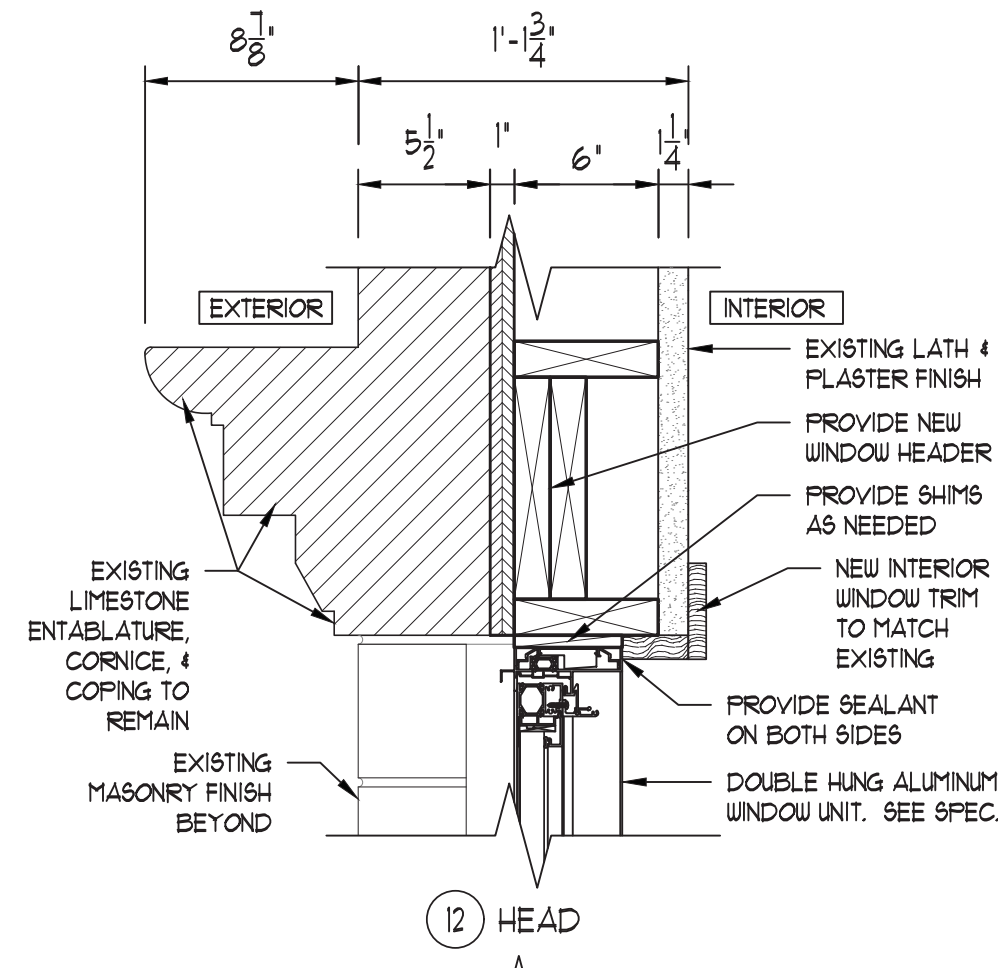
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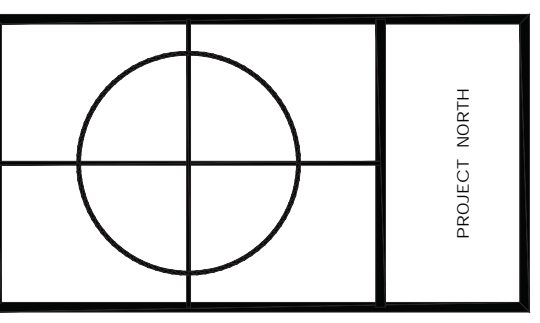
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OSK DESIGN PARTNERS, PA
ARCHITECTS & LAND PLANNERS
9616 SECOND AVENUE, SUITE 201
STONE HARBOR, NEW JERSEY 08247
PHONE: (856) 454-4993 FAX: (856) 454-4995
WEB: www.oskdp.com
FOUNDER: JOHN J. OLIVERI (1956-1999)
SENIOR ASSOCIATE: DANIEL A. BRONSKI, AIA, PP, NCARB
PRINCIPAL: PAUL A. KISS, AIA, PP, NCARB
ASSOCIATE: ALISSA RUFFE BURKARD, AIA, NCARB
PARTNER: BRAD WAMBER, AIA, NCARB, LEED AP
ASSOCIATE: JAMES G. ELLIOTT, AIA, NCARB, LEED AP
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VINELAND SENIOR CENTER
103 S 6TH STREET
VINELAND, NEW JERSEY 08360
PROJECT
DWG. TITLE

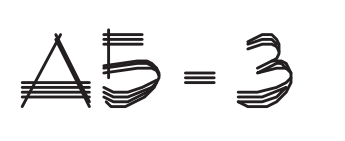
CONTRACTOR SHALL CHECK AND REEVALUATE ALL DIMENSIONS AND CONDITIONS BEFORE STARTING CONSTRUCTION
J. Blodman
GERALD S. BLAUGMAN, JR.
N.J. LICENSE # 17113

| NO. | DESCRIPTION | DATE |
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REVISION SCHEDULE

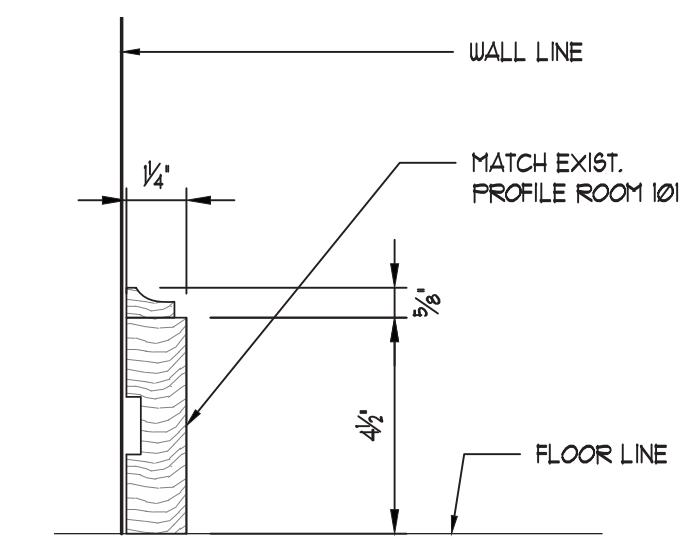
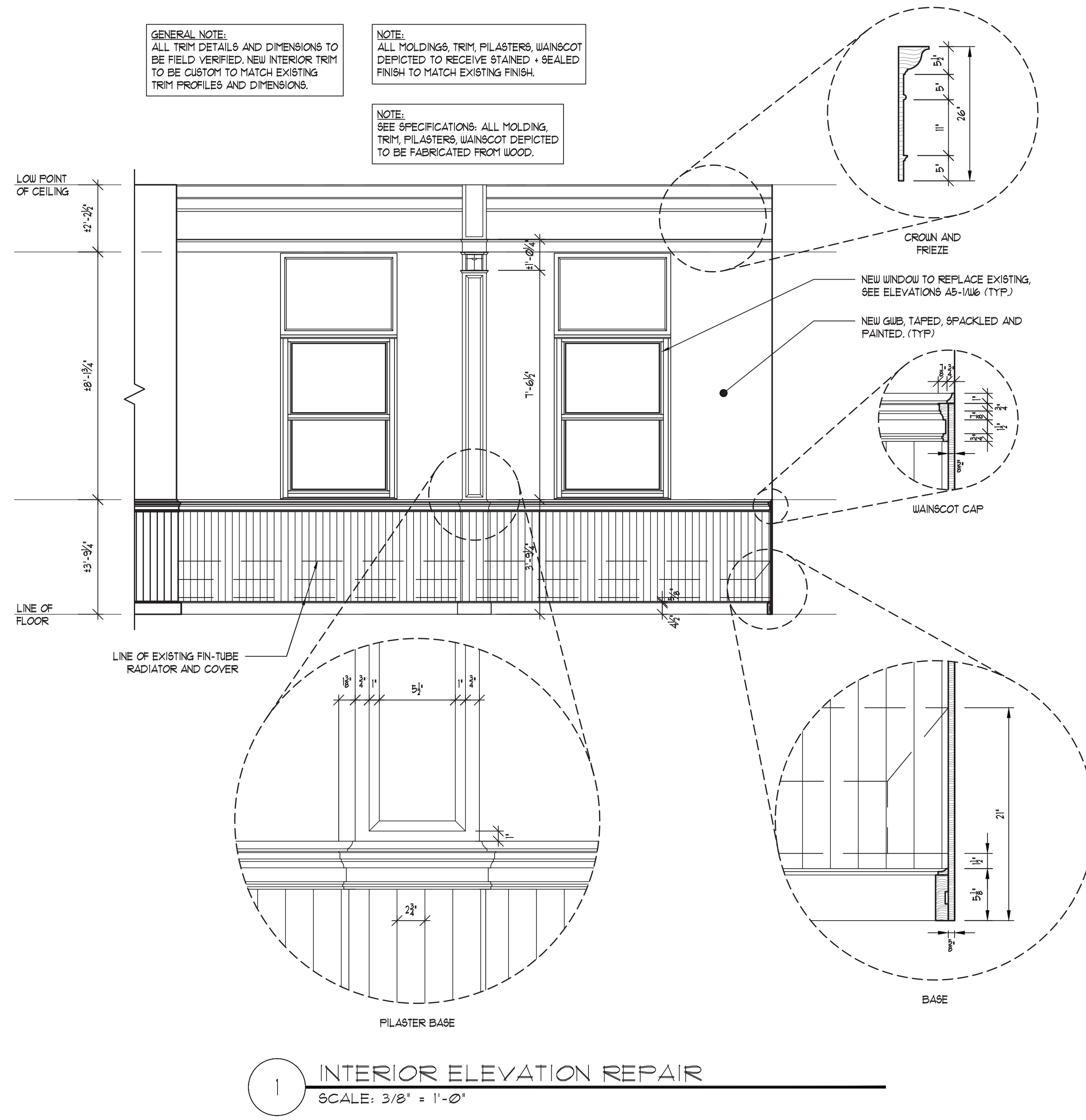
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JOB NO. 2199.01

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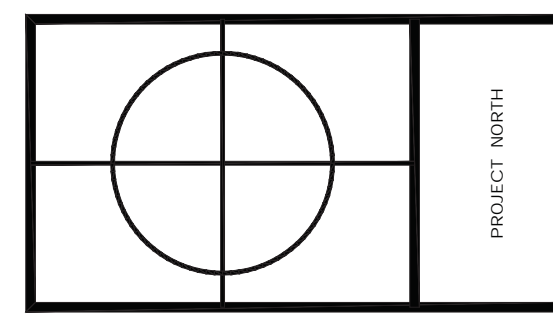
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ASSOCIATE: ALISON REBE BURKARD, AIA, NCARB
PARTNER: BRAD WAMPLER, AIA, NCARB, LEED AP
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VINELAND SENIOR CENTER
103 S 6TH STREET
VINELAND, NEW JERSEY 08360

PROJECT

DWG. TITLE
TRIM DETAILS / INTERIOR ELEVATION REPAIR

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING CONSTRUCTION

J. Blodman
GERALD S. BLAQUOIAN, JR.
NJ LICENSE # 17113

| NO. | DESCRIPTION | DATE |
|-------------------|-------------|------|
| REVISION SCHEDULE | | |

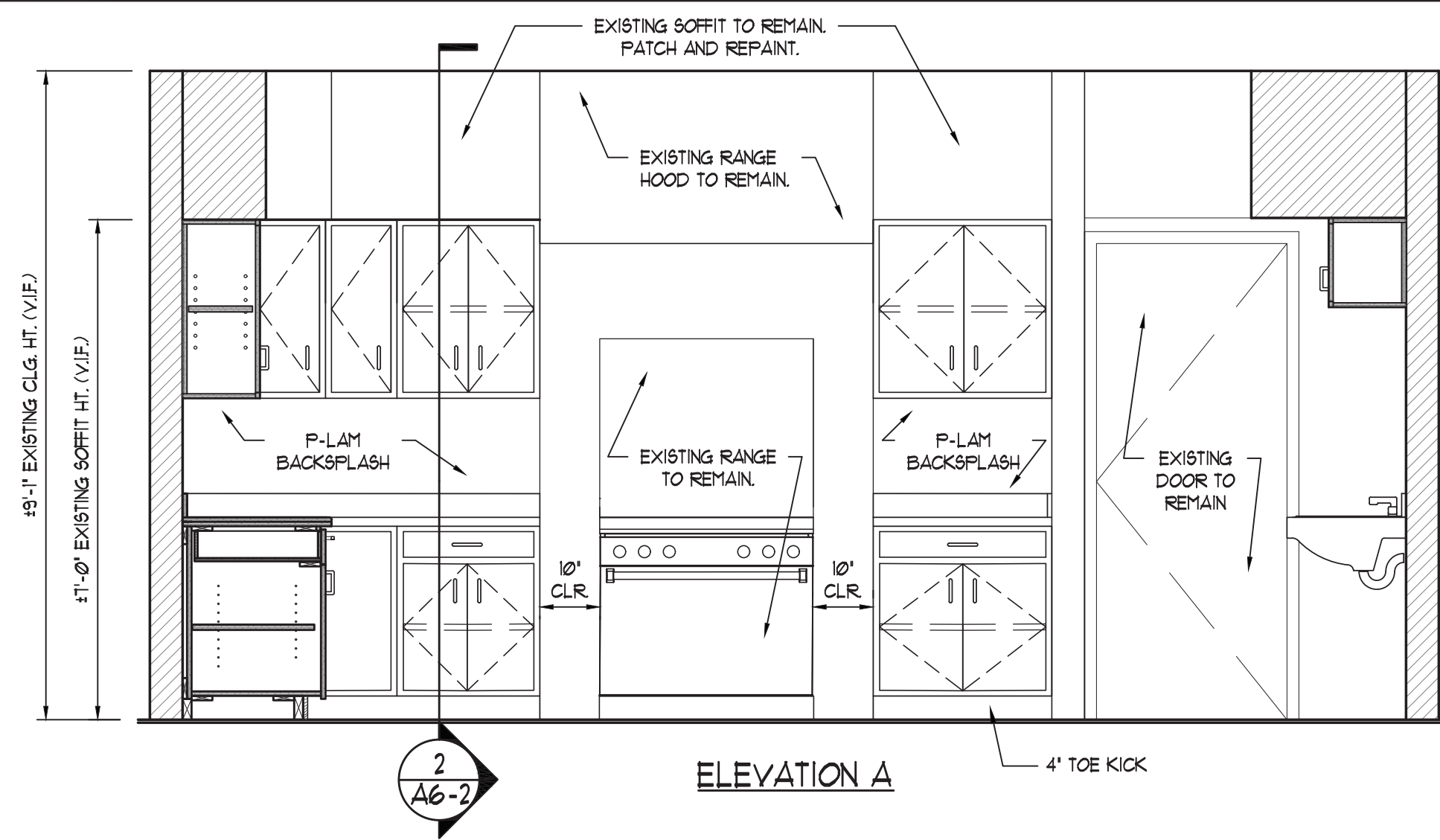
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| CHECKED BY: | JSB |
| DATE: | 01-08-2025 |
| SCALE: | AS NOTED |

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| JOB NO. | 2199.01 |
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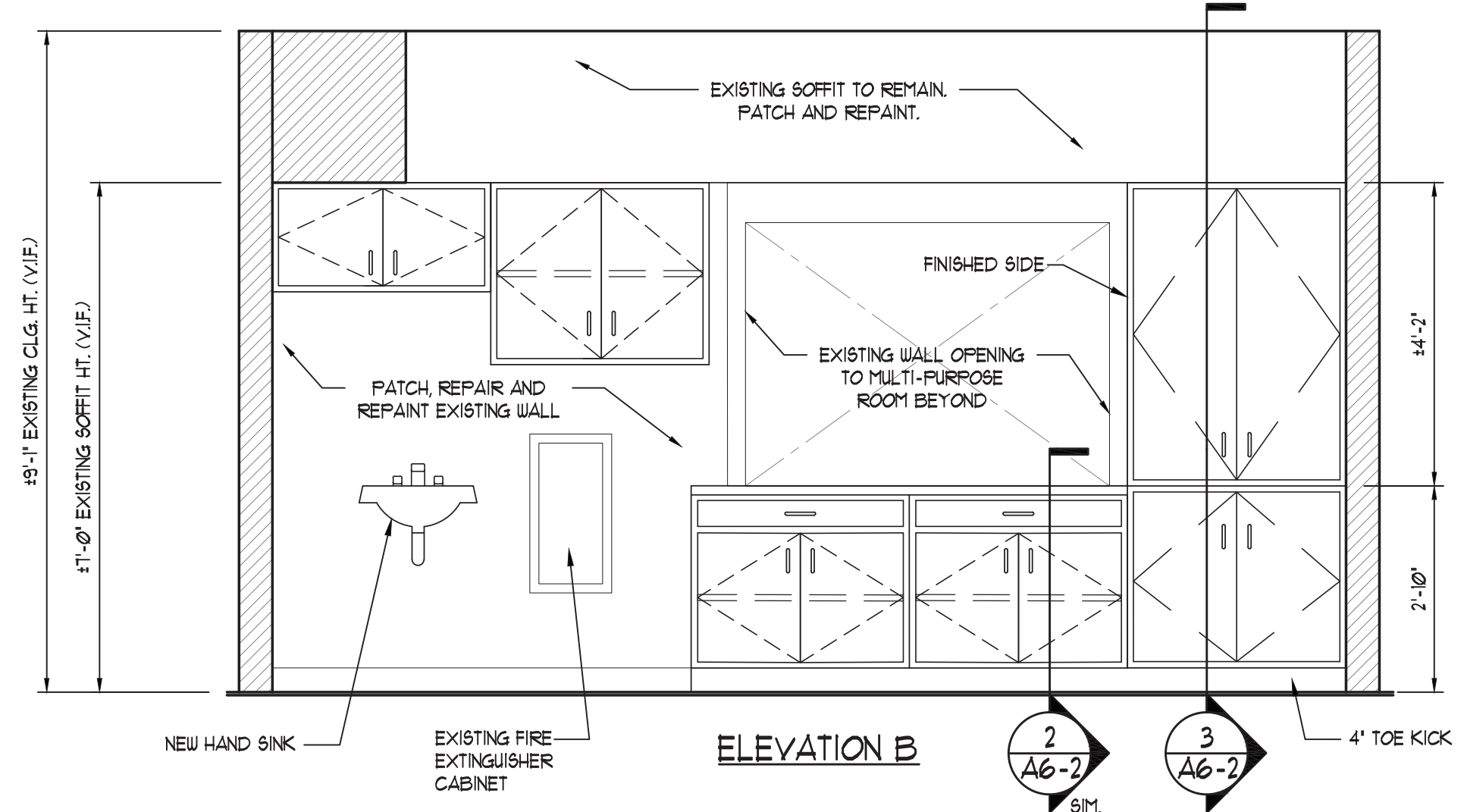
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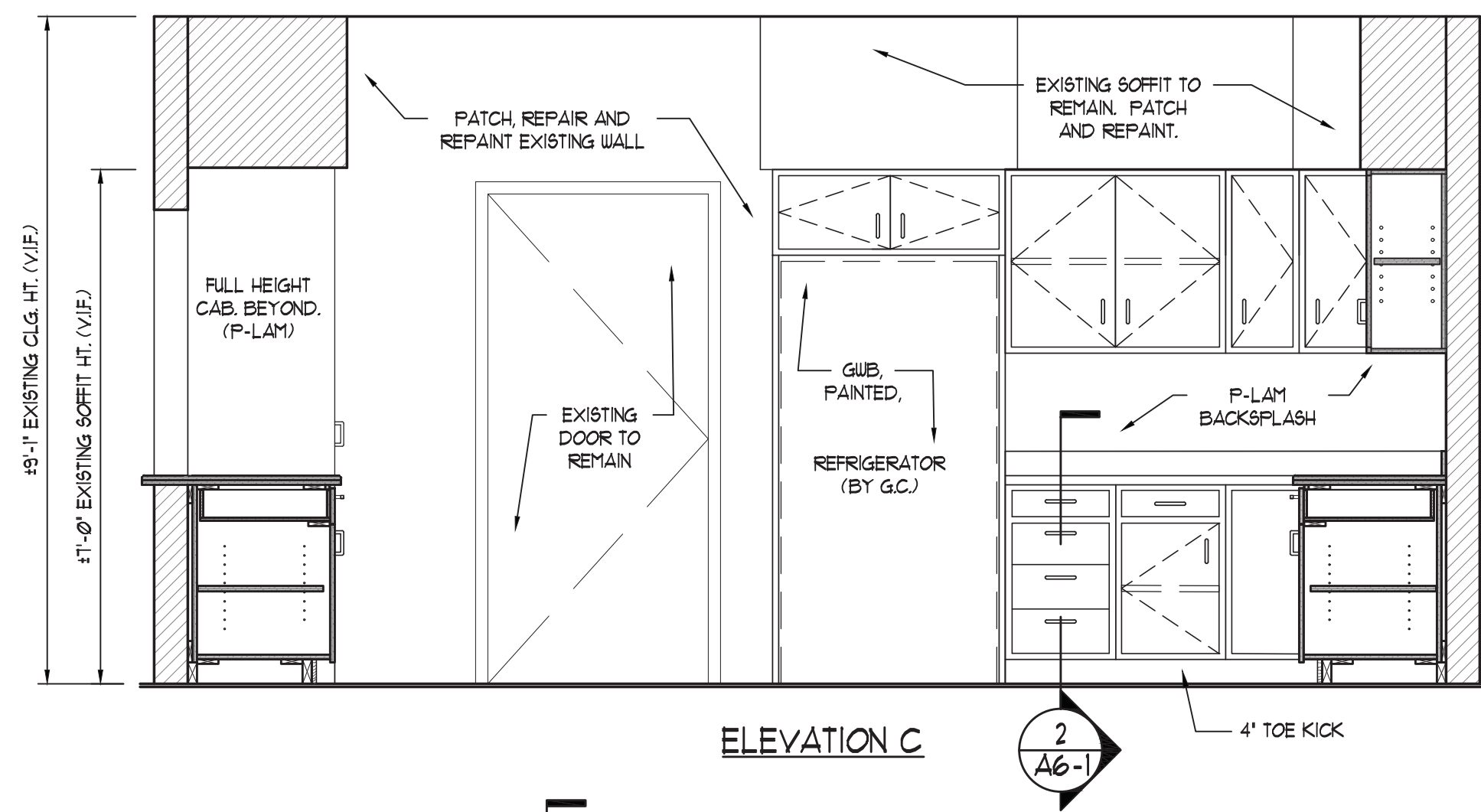
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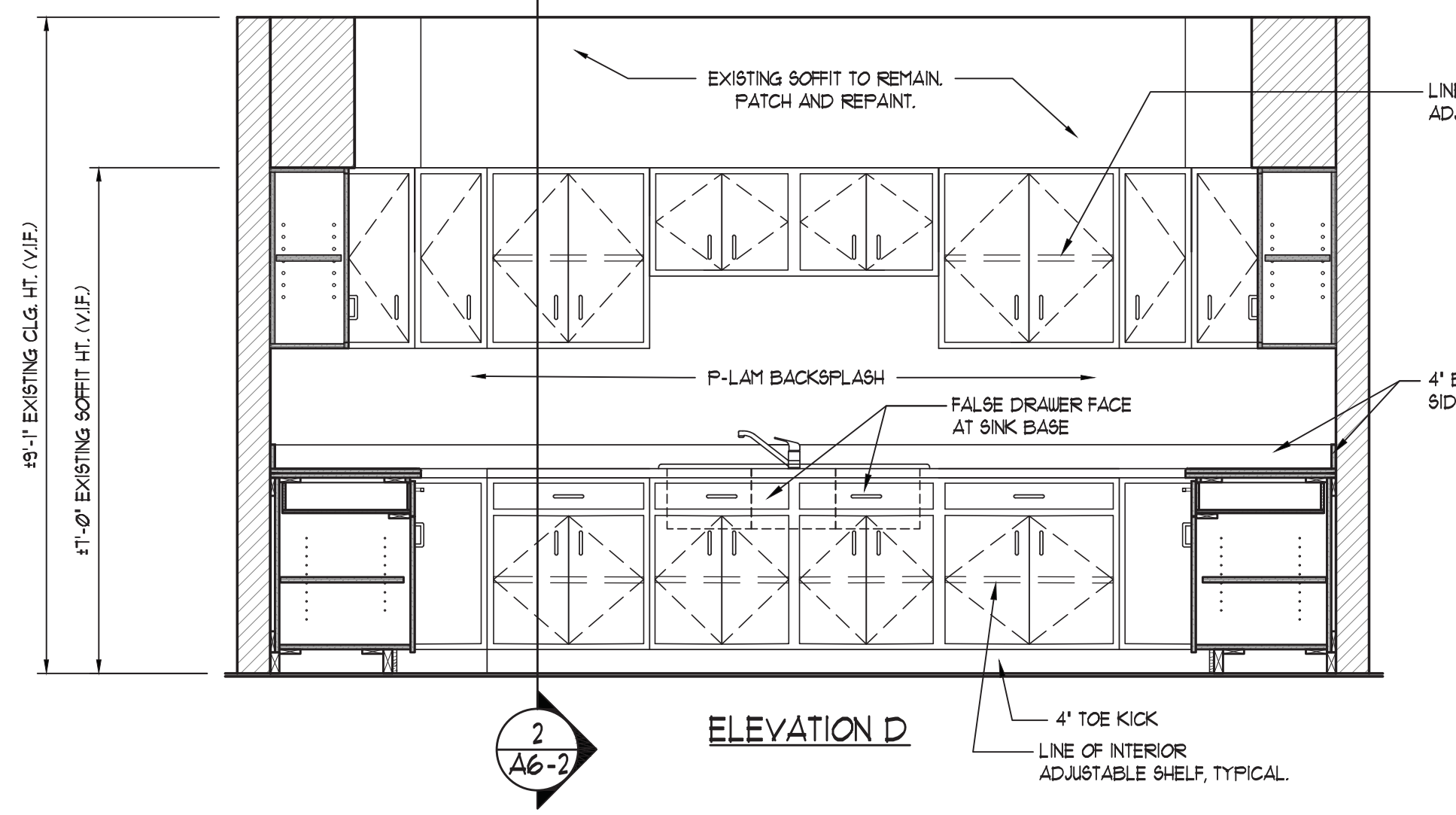
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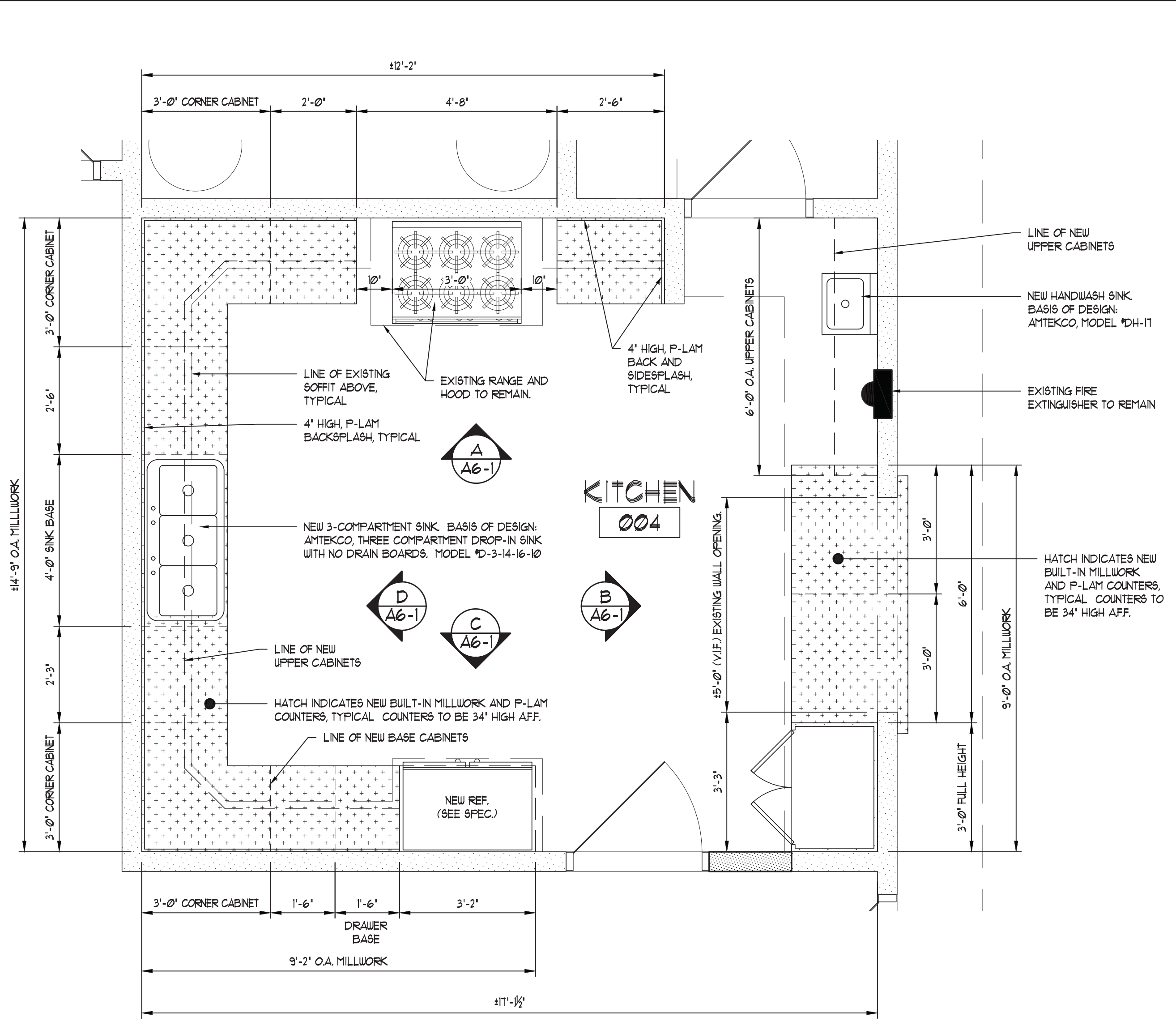
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ELEVATION C



ELEVATION D



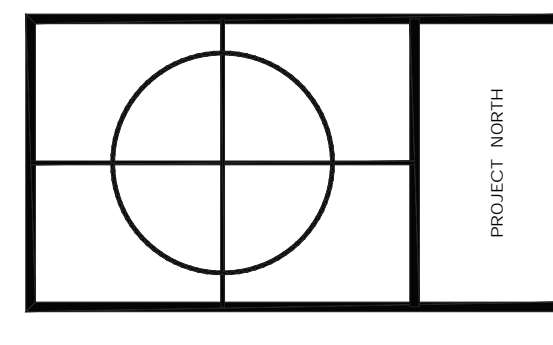
1 MILLWORK PLAN - KITCHEN 004
SCALE: 1/2" = 1'-0"

NOTE: ALL CONDITIONS AND REPRESENTATIONS ON THIS DRAWING ARE APPROXIMATE RENDITIONS OF ACTUAL CONDITIONS ALL INFORMATION SHOWN IS TO BE FIELD VERIFIED.

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9616 SECOND AVENUE, SUITE 201
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475 WHITE HORSE PIKE
COLLINGSWOOD, NEW JERSEY 08107
PRINCIPAL: PAUL A. KRIS, AIA, PP, NCARB
SENIOR ASSOCIATE: DANIEL A. SROGUSKY, AIA, PP, NCARB
ASSOCIATE: JOHN J. OLIVERI (1956-1999)
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ASSOCIATE: ALLISON REE BURKARD, AIA, NCARB
ASSOCIATE: JAMES G. ELLIOTT, AIA, NCARB, LEED AP
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PROJECT
VINELAND SENIOR CENTER
103 S 6TH STREET
VINELAND, NEW JERSEY 08360

DWG. TITLE
MILLWORK PLANS AND ELEVATIONS

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE STARTING CONSTRUCTION

J. Blodum
GERALD S. BLACKMAN, JR.
NJ LICENSE # 1713

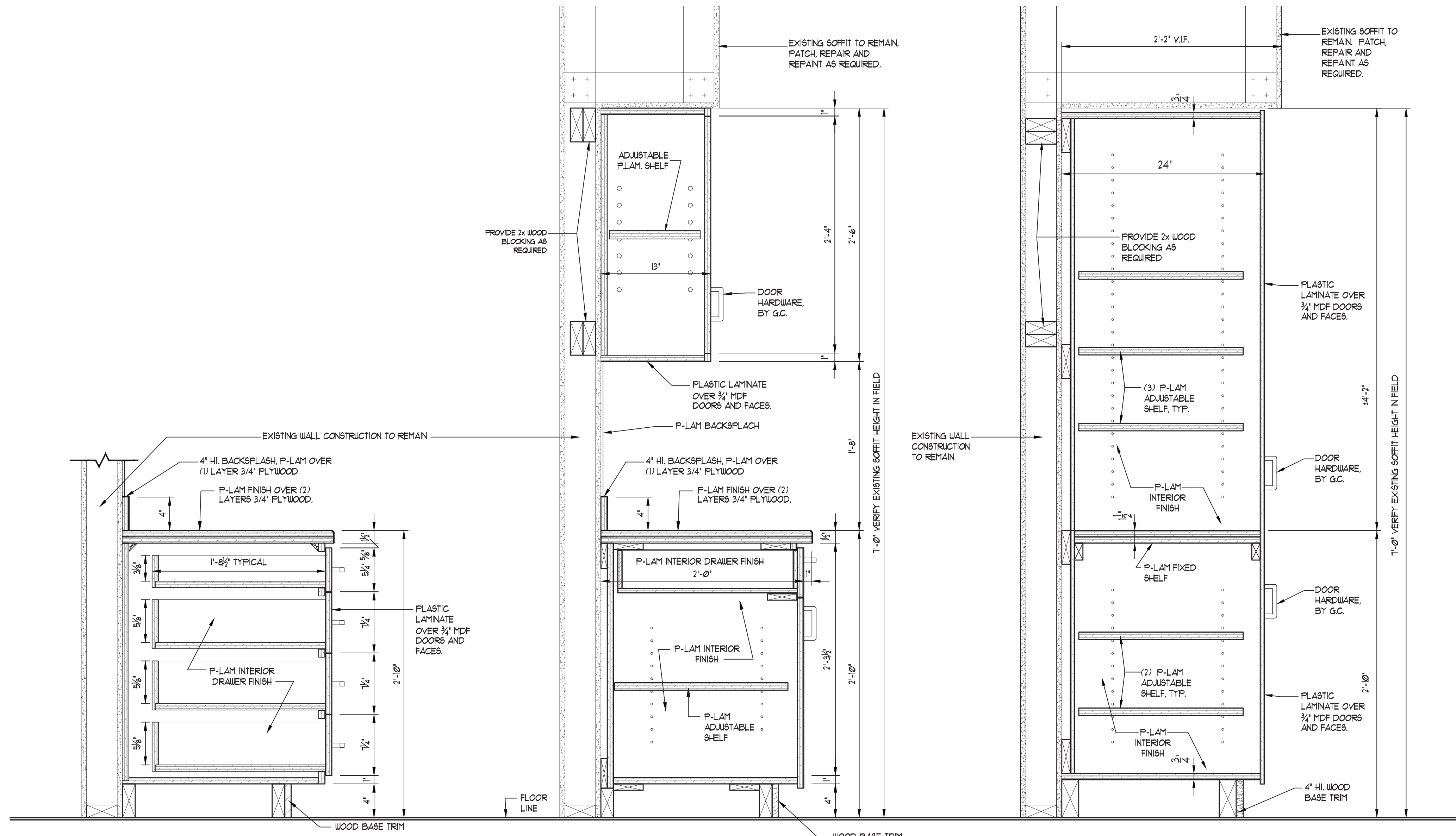
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DATE: 01-08-2025
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JOB NO. 2199.01

A6-1

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1 DRAWER BASE DETAIL
SCALE: 1-1/2" = 1'-0"

2 TYPICAL CABINET DETAIL
SCALE: 1-1/2" = 1'-0"

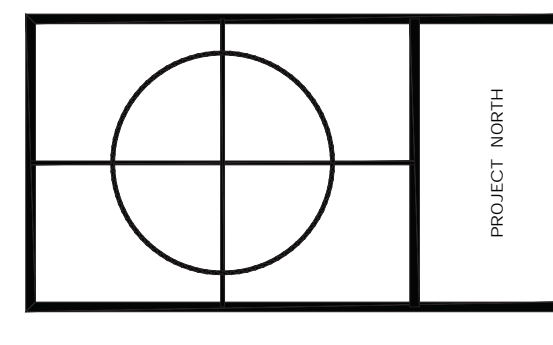
3 FULL HEIGHT CABINET DETAIL
SCALE: 1-1/2" = 1'-0"

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9616 SECOND AVENUE, SUITE 201
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VINELAND SENIOR CENTER
 103 S 6TH STREET
 VINELAND, NEW JERSEY 08360

PROJECT

DWG. TITLE

MILLWORK DETAILS

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE STARTING CONSTRUCTION

J. Blodman
 GERALD S. BLACKMAN, JR.
 N.J. LICENSE # 1713

| NO. | DESCRIPTION | DATE |
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REVISION SCHEDULE

DRAWN BY: DC
 CHECKED BY: JSB
 DATE: 01-08-2025
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JOB NO. 219901

A6-2

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