

Mullica Township Government Building

Addendum 1: Narrative

The following documents have been added or revised as described below:

Notice to Bidder's: Bid Opening date has changed to Thursday September 3rd, 2026 at 2PM Sharp in the ACIA Conference Room, 600 Aviation Research Boulevard Bldg. 3, Egg Harbor Township, NJ 08234.

Addendum 1: Narrative (019M – 260724 – ADDENDUM 1 NARRATIVE.pdf)

Document listing alternations made to bid documents

Note, any unanswered questions shall be addressed in Addendum 2

RFI Log (019M – 260724 – ADDENDUM 1 RFI LOG.pdf)

Master Log of RFI requests and responses

Construction Drawings (019M – 260724 – ADDENDUM 1 DRAWINGS.pdf)

G0.00: Updated Drawing List

G1.01: The Building Code Analysis was updated

C-11

D1.00: Roof Demolition plan has been updated

A0.00: The Finish Legend has been updated

A1.10: Add note about stepped footing

A2.01: The entrance on the South Elevation has been updated

A2.02: An unused detail callout from the East Elevation has been removed

A3.01: Drawings 1 and 5 have been updated.

A4.01: The threshold detail callouts have been added to Drawing 1. Drawing 3 finishes have also been updated.

A4.10: Interior finishes in the interior elevations have been updated along with the threshold detail being added to Drawing 6.

A5.10: Revised New/Ex'g Footing Detail.

A5.11: Exterior Threshold Detail has been added.

A5.20: Interior Threshold Detail has been added.

A6.01: A note regarding security glazing has been added.

A6.10: A note regarding security glazing has been added.

MD1.01

E0.00

ED1.10

E1.10

E2.00

Substitution Request Forms (019M – 260724 – SUBSTITUTION REQUESTS.pdf)

Substitution Request 013513.16

Substitution Request 119812

Substitution Request 125500

Test Boring Log (019M – 260724 – TEST BORING LOG.pdf)

REQUEST FOR INFORMATION LOG					
PROJECT NAME		MULICA TOWNSHIP GOVERNMENT BUILDING			
PROJECT NUMBER		25019M			
PROJECT MANAGER		AUSTIN SOCHOCKY			
NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
001	G0.00	The contract drawings are currently marked "Not for Construction." Please confirm whether a final construction-issued set of drawings will be issued by addendum prior to the bid date. If no revised drawings will be issued, please confirm that the current drawing set shall be considered the official bid documents.	07.20.26	07.24.26	THE CURRENT DRAWINGS ALONG WITH ALONG WITH ALL ADDENDA ISSUED SHALL BE CONSIDERED THE CONTRACT DOCUMENTS. A FINAL CONFORMED SET SHALL BE COMPILED AND ISSUED AT THE CONCLUSION OF THE BID PERIOD AND BE THE RECORD SET OF DOCUMENTS.
002	E0.00	Field observations indicate that the existing basement ceiling contains numerous unsupported and intertwined low-voltage and data cables routed throughout the building. Due to the extent of the existing installations, it appears impractical to identify or trace all systems. Please clarify the Contractor's responsibility regarding removal, protection, relocation, reconnection, and/or abandonment of these existing systems. If the full extent of work cannot reasonably be determined prior to bidding, will the Owner consider establishing an allowance or unit-price item for unforeseen work associated with these existing conditions?	07.20.26	07.24.26	CEG: Existing devices to remain to be shown on plans and note to be added to direct contractor to replace all existing wiring in kind.

NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
003	E0.00	Performance Note No. 1 on Drawing E0.00 requires the Electrical Contractor to retain a New Jersey Licensed Professional Engineer to design and seal the fire alarm system. Since contractor-designed systems may result in varying system layouts, equipment selections, and bid pricing, please confirm whether the Engineer of Record intends to issue a complete engineered fire alarm design prior to bid. If not, please identify the minimum design criteria and performance requirements bidders shall include to ensure all proposals are based on an equivalent scope.	07.20.26	07.24.26	CEG: Please refer to drawings E0.03, E1.10, E1.31 and Specifications 284621.11 for Fire Alarm requirements, details, and plans.
004	E0.03	Drawing E0.03 requires the Electrical Contractor to provide the design of the Emergency Responder Radio Coverage System. Please confirm whether the Engineer of Record will issue a complete engineered design and performance criteria prior to bid. If contractor design remains required, please clarify the minimum design requirements and acceptance criteria necessary to ensure all bidders are pricing an equivalent system.	07.20.26	07.24.26	CEG: Fire Alarm system is delegated design. Please refer to notes on E0.03 and Specifications 284621.11 for requirements and criteria.

NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
005	G1.02	Please clarify the minimum thermal performance requirements for all swinging and non-swinging exterior doors, including required insulation values, U-factor, and any additional energy code compliance requirements. Additionally, please identify which contract documents govern the building thermal envelope requirements.	07.20.26	07.24.26	MINIMUM THERMAL VALUES ARE PROVIDED ON SHEET G1.02. ADDITIONAL INFORMATION CAN BE FOUND WITHIN APPROPRIATE SPECIFICATION DIVISIONS. WHERE IN CONFLICT, THE MORE RESTRICTIVE REQUIREMENT SHALL BE USED.
006	A0.00	Several architectural drawings reference work to be performed by the Owner or coordinated with the Owner. Please clarify which items are Owner-furnished, Owner-installed, or Owner-contracted work and identify where these responsibilities are documented within the contract documents.	07.20.26		THIS QUESTION IS TO BE ADDRESSED IN ADDENDUM 2.
007	-	Please confirm whether the Owner will relocate all existing furniture from the work areas prior to construction or whether furniture relocation is included within the Contractor's scope of work. Will the owner relocate all the furniture before construction starts?	07.20.26		THIS QUESTION IS TO BE ADDRESSED IN ADDENDUM 2.
008	-	Please confirm whether any environmental investigations, geotechnical reports, subsurface investigations, or soil borings are available for the proposed addition area. If available, please provide these reports for bidding	07.20.26	07.24.26	A TEST BORING LOG IS BEING PROVIDED AS PART OF ADDENDUM 1. REMAINING REPORTS TO BE PROVIDED IN ADDENDUM 2.

NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
009	-	Please confirm whether the Owner will relocate all existing records and stored materials located within the basement work area prior to construction, or whether relocation of these materials is included within the Contractor's scope.	07.20.26		THIS QUESTION IS TO BE ADDRESSED IN ADDENDUM 2.
010	-	Please confirm whether any existing safes or vaults located within the basement or Armory are to remain in place, be protected during construction, or be removed or relocated as part of this project. Please identify the party responsible for this work.	07.20.26		THIS QUESTION IS TO BE ADDRESSED IN ADDENDUM 2.
011	-	The Contract Documents indicate that the building will remain occupied and operational throughout all phases of construction, with temporary relocation of Municipal Offices and Police operations. Please clarify whether the Contractor is responsible for providing temporary partitions, dust containment, noise barriers, temporary restroom facilities, temporary IT/network infrastructure, temporary police communications, and all other temporary measures required to maintain uninterrupted operations throughout each construction phase.	07.20.26	07.24.26	THE CONTRACTOR SHALL PROVIDE TEMPORARY PARTITIONS AND DUST CONTAINMENT. SHEET A1.11 HAS BEEN UPDATED IN ADDENDUM 1 TO SHOW THE LOCATION AND CONSTRUCTION OF TEMPORARY PARTITIONS.

NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
012	-	Please confirm whether the existing building has been surveyed for hazardous materials, including asbestos-containing materials, lead-based paint, PCB-containing materials, or other regulated hazardous substances. If available, please provide copies of all applicable survey reports.	07.20.26		THIS QUESTION IS TO BE ADDRESSED IN ADDENDUM 2.
013	-	If hazardous materials are encountered during construction or their existence has not been fully determined, please clarify which party will be responsible for investigation, testing, abatement, disposal, associated permitting, and all related costs.	07.20.26		THIS QUESTION IS TO BE ADDRESSED IN ADDENDUM 2.
014	E0.01	The drawings indicate that the existing 400A, 208Y/120V electrical service and existing 130kW standby generator are to remain in service for the renovated building and new addition. Please confirm that the existing electrical service and standby generator have sufficient capacity to accommodate all proposed building additions and new electrical and mechanical loads. If upgrades are required, please identify whether such work is included within this Contract.	07.20.26	07.24.26	CEG: Existing electrical service and generator have sufficient capacity to accommodate all proposed and existing loads.

NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
015	G1.01	Life Safety Notes indicate that the building is currently non-sprinklered, while code review notes reference automatic sprinkler requirements for portions of the project. Please clarify whether a new fire sprinkler or fire suppression system is required for any portion of the building or addition, including the sally port/garage area. If required, please identify the governing drawings and specification sections defining this scope of work.	07.20.26	07.24.26	A FIRE SUPPRESSION SYSTEM IS NOT REQUIRED UNDER APPLICABLE CODES AND IS NOT TO BE PROVIDED. THE REFERENCE TO SPRINKLERS ON SHEET G1.01 HAS BEEN MODIFIED IN ADDENDUM 1 TO REFLECT THIS.
016	E0.00	Please confirm whether temporary construction power will be provided by the Owner or whether the Contractor shall furnish all temporary power, including generators, distribution equipment, and associated electrical infrastructure required during construction.	07.20.26	07.24.26	CEG: Please refer to note #33 on sheet E0.00 stating electrical contractor shall provide temporary power. Coordinate all power shut downs and requirements with Township.
017	-	Please confirm whether a dedicated Contractor field office and/or construction trailer is required for this project. If required, please identify the minimum requirements, permitted location, utility responsibilities, and any Owner-provided accommodations.	07.20.26		THIS QUESTION IS TO BE ADDRESSED IN ADDENDUM 2.
018	A5.10 S3	Please clarify the details where the new foundation abuts the existing foundation. Detail F/S3 shows underpinning and extending the existing footing without dowels. Details 2&3/A5.1 show cutting back the existing footing and doweling the new footing to the existing footing. 1.If we are to follow detail F/S3 please provide a drawing of the sequencing of the underpinning.	07.20.26	07.24.26	THE DETAIL IN THE STRUCTURAL DRAWINGS IS TO BE USED. SHEET A5.10 HAS BEEN REVISED IN ADDENDUM 1 TO MATCH.

NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
019	C11	Please provide a design for the new control building foundation and slab.	07.20.26	07.24.26	Sheet 11 has been revised to specify a concrete slab and a floating foundation of crushed stone or sand for the proposed control building.
020	-	A Geotech report was not found in the bid documents. Please share if available.	07.20.26	07.24.26	A TEST BORING LOG IS BEING PROVIDED AS PART OF ADDENDUM 1.
021	-	A Geotech report was not found in the bid documents. 1. Are onsite materials suitable for backfill foundations?	07.20.26	07.24.26	SITE FILL IS NOT TO BE UTILIZED. PROVIDE CLEAN ENGINEERED FILL FOR ALL BACKFILLING.
022	C4	On civil drawing 4 of 13, the site plan, there is a note to sod all disturbed areas, specification section 329200 turf and grasses only mentions seeding. Is seeding the disturbed areas acceptable?	07.20.26	07.24.26	Seeding the disturbed area is acceptable.
023	-	Please confirm if there is an existing lawn sprinkler system?	07.20.26	07.24.26	Based on available information, an existing lawn sprinkler system is not present.
024	A0.00	Drawings A0.00 "Schedules" shows ceramic tile CT-25 base and C-T30 wall tile on the room finish schedules; however, they are not listed on the finish legend. Please provide these specifications.	07.20.26	07.24.26	CT-25 & CT-30 ARE NO LONGER USED. THE ROOM SCHEDULE ON SHEET A0.00 AND ELEVATIONS ON SHEETS A4.01 & A4.02 HAVE BEEN REVISED IN ADDENDUM 1 TO REFLECT THIS.
025	A5.20	What are the floor transitions at the tiled rooms when meeting adjacent surfaces at the doorways?	07.20.26	07.24.26	A STONE THRESHOLD IS TO BE PROVIDED AS A TRANSITION AT THESE LOCATIONS. SHEET A5.20 HAS BEEN REVISED IN ADDENDUM 1 TO INCLUDE THIS DETAIL.
026	E2.00	Drawing E2.00 reflects the location of the Amphidrome building. Drawing E3.00 provides the panel schedule for the new panel CBP in this building. The electrical loads are not shown on the building plan. Please confirm branch circuits out of panel CBP will be provided by others.	07.20.26	07.24.26	CEG: Contractor responsible for providing all branch circuitry out of Panel CBP to power amphidrome system equipment. Coordinate with civil drawings.
027	A0.00	Please confirm the contractor is only responsible for empty raceways for voice/data, CCTV, and card access.	07.20.26		THE TELECOMMUNICATION SCOPE WILL BE CLARIFIED IN ADDENDUM 2.
028	-	Please provide manufacturer breaker model number required for new breakers in panel MDP.	07.20.26	07.24.26	CEG: New circuit breakers to match existing types and ratings.
029	-	Please provide manufacturer and part number for required floor boxes.	07.20.26	07.24.26	CEG: Basis of design: Hubbell model CFB4G30CI. Provide with (2) duplex receptacles, low voltage divider, and accommodations for low voltage device(s).

NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
030	-	Please confirm metal clad cable is permitted for branch circuits where allowable by code.	07.20.26	07.24.26	CEG: MC cable is permitted for branch circuit wiring where permitted by the NEC, project specifications, and the authority having jurisdiction. MC cable shall not be used where a raceway is specifically indicated on the contract documents or where subject to physical damage.
031	A0.00	Please confirm the owner will be responsible for the installation, wiring, components, software, and hardware for the following systems and contractor is only responsible for conduit stub-ups with a pull string. 1.CCTV/Surveillance 2.Tele/Data 3.Intercom 4.Access Control Equipment	07.20.26		THE TELECOMMUNICATION SCOPE WILL BE CLARIFIED IN ADDENDUM 2.
032	E0.03	Can the Emergency Responders Radio System be incorporated into the bid as an allowance in lieu of the contractor being responsible?	07.20.26		THIS QUESTION IS TO BE ADDRESSED IN ADDENDUM 2.
033	E1.31	Please confirm that the following Fire Alarm System manufacturers are acceptable 1.Simplex/JCI 2.EST 3.Kidde 4.Siemens 5.Honeywell 6.Notifier 7.Potter	07.20.26	07.24.26	CEG: Refer to specification 284621.11 for permitted manufacturers.

NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
034	-	Specification section 230900 1.9. A .4. states that the FMS contractor shall provide 100 percent of all services with company personnel and no portion of services can be subcontracted to others without expressed written permission of the owner. Can the FMS contractor subcontract the installation of wiring and BAS controllers/devices with supervision of the FMS contractor? All start up and commissioning of equipment will be completed by factory-certified technicians directly employed by the FMS contractor.	07.20.26	07.24.26	CEG: Installation of the wiring and Bas controller/devices can be subcontracted, but refer to the last part of Specification 230900 1.9.A.4: "all specifications, terms, and conditions specified herein shall be the responsibility of the Prime Contractor." The Facility Management System contractor will still need to service this install, and knowledge of how the installation was made and device locations will be required.
035	-	Specification section 230900 3.7.F. indicates all BAS wiring must be installed in raceway. Please confirm if plenum cable is allowed above ceilings as permitted by the National Electric Code.	07.20.26	07.24.26	CEG: Yes. Note there is no plenum in this project. Please follow Specifications "Control-Voltage Electrical Power Cables" 260523 2.1 for cable requirements.
036	-	Is there a specification or basis of design for the CO/NO2 system in the sallyport?	07.20.26	07.24.26	CEG: Refer to Contract Drawing M1.11, note #4. Basis of Design: Critical Environment Technologies cGAS SC controller.
037	-	Are all exhaust fans, including the restroom fans, intended to tie into the BAS?	07.20.26	07.24.26	CEG: Yes, all exhaust fans will be tied into the BAS according to the details in 230993 Sequence of Operations for HVAC Controls: 1.5 Exhaust Fan - On/Off and 1.6 Exhaust Fan - Heat Rejection Type. EF-1, tied into the light switch, will only have the on/off function monitored.
038	-	There are both standalone and BAS sequence of operations for unit heaters. Please confirm if the unit heaters in this project are intended to be standalone or tied into the BAS.	07.20.26	07.24.26	CEG: Both Electric and Gas unit heaters are intended for standalone operation and will follow Spec 230993: 1.8 & 1.9, respectively.

NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
039	A6.01	Drawing notes indicate 9/16" Security Grade Polycarbonate." Specification Section 088853 is a performance specification for security glazing and does not identify a specific polycarbonate product or required security performance level. Please clarify the required glazing product and minimum performance criteria (forced entry, ballistic, impact, or other) and confirm whether abrasion-resistant architectural polycarbonate is acceptable.	07.20.26	07.24.26	9/16" SECURITY GLASS OR 1/2" SECURITY POLYCARBONATE SHALL BE ACCEPTABLE AT ALL LOCATIONS WHERE SECURITY GLAZINGS ARE SPECIFIED. AT THESE LOCATIONS THE GLAZINGS SHALL BE UL752 LEVEL 3 RATED. SHEETS A6.01 AND 6.10 HAVE BEEN REVISED IN ADDENDUM 1 TO REFLECT THIS REQUIREMENT.
040	-	There are no Fire Suppression drawings. Is a delegated design fire protection system required for this project?	07.20.26	07.24.26	A FIRE SUPPRESSION SYSTEM IS NOT REQUIRED UNDER APPLICABLE CODES AND IS NOT TO BE PROVIDED.
041	A1.12	Drawing A1.12 indicates "new asphalt shingle roof finish" on the existing town hall building, however, drawing D1.00 states "hip roof to remain, protect during all phases...". Please clarify if roof is existing to remain for is intended to be removed and replaced during construction.	07.20.26	07.24.26	THE EXISTING ROOF FINISH IS TO BE REMOVED AT THIS LOCATION, THE SHEATHING AND STRUCTURE BELOW ARE TO REMAIN AND BE PROTECTED. A NEW UNDERLAYMENT AND ROOF FINISH ARE TO BE INSTALLED. SHEET D1.00 HAS BEEN REVISED IN ADDENDUM 1 TO CLARIFY.

NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
042	MD1.01	Please clarify the extent of the mechanical ductwork and piping demolition noted on drawing MD1.01 note 'B'.	07.20.26	07.24.26	CEG: Refer to MD1.01: Demolition General Note 1C: Contractor to Verify Existing equipment before demolition. Scope of work contains but is not limited to: Existing First Floor Garage: Remove the gas unit heater, vent, gas piping, and power control wiring. Remove power wiring back to electrical panel per NEC guidelines. Patch all roof and wall sections affect by this demolition. Existing First Floor: Within the offices and townhall area, remove the existing GRDs (floor or wall or ceiling) and associated ductwork back to the AHU's being demolished (28x12 Main ducts for offices). Remove vairous exhaust fans, grilles and ductwork. Hydronic piping will need to be removed as well as the fin tube radiators (found throughout the offices). Demolish the control wiring and thermostats. Patch all roof and wall sections affect by this demolition. Existing Basement Floor: Within the offices and basement storage area, remove the existing GRDs and associated ductwork back to the AHU's being demolished (20x8 Main ducts for office and storage rooms) Hydronic piping will need to be removed as well as the fin tube radiators (found throughout the offices). Note that most of the hydronic piping is fed throughout the building in the ceiling of the basement. Main sizes are 1-1/4" Supply and Return. The boiler system will be removed completely along with any expansion tanks and pumps. Cap the domestic water feed per NSPC. Demolish the power and control wiring and thermostats. Remove power wiring back to electrical panel per NEC guidelines.
043	-	Who is responsible for building utilities during the project? GC or owner?	07.20.26		THIS QUESTION IS TO BE ADDRESSED IN ADDENDUM 2.
044	-	Please confirm contractor is responsible for paying for all building permits.	07.20.26		THIS QUESTION IS TO BE ADDRESSED IN ADDENDUM 2.
045	-	Please confirm if this project will have an ST-5, ST-8 or ST-13 tax exempt status?	07.20.26		THIS QUESTION IS TO BE ADDRESSED IN ADDENDUM 2.
046		1.Is the Enterprise Buildings Integrator (EBI) requirement intended for a new Building Management System (BMS), or is it intended to integrate with an existing system?	07.22.26	07.24.26	CEG: EBI and other options listed in Spec: 230900.1.6.A are intended to be a new BMS system. The majority of HVAC/Plumbing equipment will be removed and provided new as part of this project.
047		2.If this is an integration or replacement project, who is the current or incumbent controls provider?	07.22.26	07.24.26	CEG: This is a replacement project. Confirm with owner for current controls provider.

NUMBER	SHEET	QUESTION	DATE RECEIVED	DATE RESPONDED	RESPONSE
048					
049					
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		Client: Czar Engineering	BORING LOG
		Project: Mullica Municipal Complex	Boring No. 1
		Address: 405 Elm Street, Mullica, NJ	Page: 1 of 3

Drilling Start Date: 03/22/2024	Boring Depth (ft): 50.0
Drilling End Date: 03/22/2024	Boring Diameter (in): 3.25
Drilling Company: Soil Borings Drilling	Sampling Method(s): Split Spoon
Drilling Method: Hollow Stem Auger	DTW During Drilling (ft): 25.0
Drilling Equipment: Mobile B-51	DTW After Drilling (ft): 25.0
Driller: Anthony Scafidi	Ground Surface Elev. (ft): N/A
Logged By: Matthew Klaus	Location (Lat, Long): N/A

DEPTH (ft)	LITHOLOGY	WATER LEVEL	BORING COMPLETION	COLLECT				SOIL/ROCK VISUAL DESCRIPTION	REMARKS	DEPTH (ft)
				Sample Type	Time	Blow Counts	Recovery (ft)	N Value	RQD%	
0				SS		9	1.50	27		0
						15				
						12				
						7				
				SS		5	1.50	12		
						6				
						6				
						5				
				SS		4	1.50	6		
5						3				5
						3				
						2				
				SS		4	1.50	17		
						8				
						9				
						9				
				SS		6	1.50	20		
						10				
						10				
10				SS		14	1.50	34		10
						16				
						18				
						19				
				SS		4	1.50	12		
						5				
						7				
15						9				15
				SS		3	1.50	11		
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						7				
						8				
20										20

NOTES:

	Client:	Czar Engineering	BORING LOG	
	Project:	Mullica Municipal Complex	Boring No.	1
	Address:	405 Elm Street, Mullica, NJ	Page:	2 of 3

Drilling Start Date: 03/22/2024	Boring Depth (ft): 50.0
Drilling End Date: 03/22/2024	Boring Diameter (in): 3.25
Drilling Company: Soil Borings Drilling	Sampling Method(s): Split Spoon
Drilling Method: Hollow Stem Auger	DTW During Drilling (ft): 25.0
Drilling Equipment: Mobile B-51	DTW After Drilling (ft): 25.0
Driller: Anthony Scafidi	Ground Surface Elev. (ft): N/A
Logged By: Matthew Klaus	Location (Lat, Long): N/A

DEPTH (ft)	LITHOLOGY	WATER LEVEL	BORING COMPLETION	COLLECT				SOIL/ROCK VISUAL DESCRIPTION	REMARKS	DEPTH (ft)
				Sample Type	Time	Blow Counts	Recovery (ft)	N Value	RQD%	
20										20
								(18') Yellowish Brown fine SAND, little silt		
				SS		5	1.50	13		
						6				
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25		▼				7				25
				SS		2	1.50	6		
						3				
						3				
30						4				30
				SS		8	1.50	18		
						9				
						9				
35						8				35
				SS		9	1.50	19		
						10				
						9				
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NOTES:

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE NEW JERSEY UNIFORM CONSTRUCTION CODE (NJAC 5:23) AND ALL APPLICABLE MODEL BUILDING SUBCODES, INCLUDING BUT NOT LIMITED TO:
NEW JERSEY INTERNATIONAL BUILDING CODE, 2021
ICC/ANSI 117.1, 2017 ACCESSIBLE AND USABLE BUILDING AND FACILITIES INTERNATIONAL MECHANICAL CODE, 2021
NATIONAL ELECTRICAL CODE, 2020
NATIONAL STANDARD PLUMBING CODE, 2021

ALL WORK SHALL BE PERFORMED DURING NORMAL WORK HOURS, AS SET FORTH IN THE MUNICIPAL ORDINANCE WHICH HOLDS JURISDICTION OVER THE AREA OF WORK, UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THESE CONTRACT DOCUMENTS, SPECIFICATIONS, OR OTHER WRITTEN AGREEMENTS BETWEEN OWNER AND CONTRACTOR.

THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL MAINTAIN A CLEAN WORK SITE AND PROTECT ALL BUILDING MATERIALS FROM THE ELEMENTS AND FROM ON-GOING CONSTRUCTION WORK AS NECESSARY TO MAINTAIN THE MATERIAL INTEGRITY.

THE AREA OF WORK SHALL BE SEPARATED FROM ALL OTHER OCCUPIED AREAS BY MINIMUM 6 MIL POLYETHYLENE DUST CURTAIN, WHERE AREAS OF WORK ARE ADJACENT TO PUBLIC AREAS TO BE OCCUPIED AND CONSTRUCTION PARTITIONS ARE NOT SPECIFIED IN OTHER AREAS OF THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, THE AREA OF WORK SHALL BE SEPARATED BY A UL DESIGN I465 ONE HOUR CONSTRUCTION PARTITION FROM FLOOR TO CEILING ABOVE THE MIN. 5/8" G.W.B. EACH SIDE OF 3-5/8" METAL STUD FRAMING AT 16" O.C. AND 3" S.A.F.B. IN THE STUD CAVITY. ALL CONSTRUCTION PARTITION REQUIREMENTS SHALL COMPLY WITH NJAC 5:23-9.6(C) IN ALL CASES.

WHEN NOT SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS, ALL SITE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION OVER THE PROJECT AREA AND ICC/ANSI 117.1, 2017.

ALL LANDSCAPING SHALL BE INSTALLED AT SUCH TIME SO AS TO BE IN HEALTHY CONDITION AT THE TIME OF SUBSTANTIAL COMPLETION. ANY LANDSCAPE MATERIALS NOT IN SUCH CONDITION AT THE TIME OF SUBSTANTIAL COMPLETION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, GROWING SEASON, AND CONSTRUCTION SCHEDULE IN SCHEDULING INSTALLATIONS AFTER SUBSTANTIAL COMPLETION.

ALL BEARING SOIL SHALL BE UNDISTURBED OR 100% COMPACTED SOIL TO ACCOMMODATE THE INSTALLATION OF FOOTINGS, FOUNDATION WALLS, PILING, ETC. WHEN NOT INDICATED OTHERWISE IN THESE CONTRACT DOCUMENTS AND SPECIFICATIONS VIA SOIL REPORT, BEARING CAPACITY OF THE SOIL IN THE AREA OF WORK SHALL BE CONSIDERED TO BE 3,000 PSI WITHOUT DETRIMENTAL SETTLEMENT. IN SUCH CASES, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TESTING TO VERIFY THIS CONDITION PRIOR TO COMMENCEMENT OF WORK.

FOOTINGS SHALL BE LOCATED A MINIMUM OF 30" BELOW GRADE, UNLESS OTHERWISE INDICATED IN THESE DOCUMENTS.

IN PERFORMING ANY EARTHWORK, ALL EXCAVATED AREAS SHALL BE PROVIDED WITH TEMPORARY SUPPORTS AND/OR SHORING TO PREVENT ANY COLLAPSE. EXCAVATED SOILS, FILL, ETC. SHALL BE STORED SO AS NOT TO EXCEED THE ANGLE OF REPOSE FOR EACH TYPE. ALL BEARING SOIL, WHEN EXCAVATED AND STORED SHALL BE PROPERLY PROTECTED FROM THE ELEMENTS UNTIL BACKFILLING.

BACKFILLING SHALL BE PERFORMED IN MAX. 6" LIFTS UNLESS OTHERWISE INDICATED IN THESE DOCUMENTS. EACH LIFT SHALL BE TAMPED PRIOR TO CONTINUING WORK.

ALL MISCELLANEOUS WOOD SHALL BE MIN. NO. 1 OR BETTER DOUGLASS FIR, WOOD NAILERS, BLOCKING, ETC. IN FOUNDATION CONSTRUCTION SHALL BE TREATED TO RESIST DECAY.

ALL CRAWL SPACES AND SLAB ON-GRADE CONDITIONS SHALL BE PROVIDED WITH 6 MIL POLYETHYLENE VAPOR BARRIER FOR THE ENTIRE FOOTPRINT AND MIN. 24" WIDE 2" RIGID INSULATION AT THE ENTIRE PERIMETER OF THE BUILDING FOOTPRINT.

ALL CONCRETE TO BE PROVIDED SHALL BE MIN. 4,000 PSI IN 28 DAYS UNLESS INDICATED OTHERWISE IN THESE DOCUMENTS.

ALL CONCRETE MASONRY UNITS WHEN LOAD-BEARING SHALL CONFORM TO ASTM C34-84. IN NON-LOAD-BEARING APPLICATIONS MASONRY UNITS SHALL COMPLY WITH C56-81.

ALL DOORS AND WINDOWS AT EXTERIOR WALLS SHALL BE PROVIDED WITH ALUM. SILL FLASHING UNDER THE ENTIRE WIDTH OF THE OPENING. AT WINDOW AREAS, FLASHING SHALL HAVE UPTURNED EDGES WITH SOLDERED CORNERS AND PITCH TO WINDWARD EXTERIOR. ALL DOORS AND WINDOWS SHALL BE PROVIDED WITH SHIM SPACES AT THE PERIMETER TO ENSURE A PLUMB AND TRUE INSTALLATION.

ALL GLAZING IN HAZARDOUS AREAS AS DEFINED IN 2406.2 SHALL BE TEMPERED GLAZED SAFETY GLASS AND SHALL BE IMPACT-RESISTANT GLAZED OPENINGS.

ALL GYPSUM WALL BOARD TO BE 5/8" FIRECODE 'C' UNLESS INDICATED OTHERWISE IN THE DOCUMENTS.

ALL BATHROOM AND KITCHEN AREAS SHALL BE PROVIDED WITH WATER RESISTANT G.W.B., TYPICAL. ALL TILE AREAS SHALL BE PROVIDED WITH CEMENTITIOUS BOARD BACK-UP UNLESS INDICATED OTHERWISE.

IN ALL PAINTED WALL AREAS, G.W.B. SHALL BE TAPED AND SPACKLED TO MIN. LEVEL 5 FINISH.

IN ALL WALL-COVERED AREAS, G.W.B. SHALL BE TAPED AND SPACKLED TO MIN. LEVEL 4 FINISH.

UNLESS OTHERWISE NOTED, AT A MINIMUM, ALL EXPOSED LUMBER TO RECEIVE (3) COATS POLYURETHANE OVER STAIN, ALL EXPOSED GYPSUM TO RECEIVE (2) COATS LATEX OVER PRIMER, ALL METALS TO RECEIVE (2) COATS LATEX OVER APPROPRIATE METAL PRIMER.

SHOP DRAWINGS SHALL BE REQUIRED FOR ALL MILLWORK.

ALL THRESHOLDS AND OTHER FLOORING TRANSITIONS SHALL COMPLY WITH THE FLOOR LEVEL CHANGES CONSTITUTED IN ICC/ANSI 117.1, 2017.

ALL SPECIALTIES, ACCESSORIES, OR OTHER WALL-MOUNTED EQUIPMENT, FIXTURES, ETC. SHALL BE PROVIDED WITH NON-COMBUSTIBLE BLOCKING IN THE WALL CAVITY FOR SUPPORT UNLESS SPECIFICALLY NOTED OTHERWISE.

ALL ELEVATOR PITS (WHERE APPLICABLE) SHALL BE PROVIDED WITH SUMP PUMP CONNECTED TO THE BUILDING STORM WATER SYSTEM. THE PIT SHALL BE PROVIDED WITH A GALV. STEEL ACCESS LADDER MOUNTED IN AN OSHA COMPLIANT LOCATION WITH WORK LIGHT AND SWITCH ACCESSIBLE FROM THE POINT OF ENTRY. ALL ELEVATOR DOORS SHALL BE PROVIDED WITH STRUCTURAL STEEL SILL ANGLES AS REQUIRED BY THE MANUFACTURER.

SUBSTITUTIONS ALLOWED FOR BUILDING PRODUCTS. MAKE AND MANUFACTURER TO PROVIDE ILLUSTRATION OF DESIGN INTENT

ARCHITECTURE ABBREVIATIONS

AB ANCHOR BOLT
ABV ABOVE
A/C AIR CONDITIONING
AC ASPHALTIC CONCRETE
AD AREA DRAIN
ADDM ADDENDUM
ADJ ADJUSTABLE
AFF ABOVE FINISHED FLOOR
AFG ABOVE FINISHED GRADE
AHU AIR HANDLING UNIT
ALT ALTERNATE
ALUM ALUMINUM
AMT AMOUNT
ANOD ANODIZE(D)
ARCH ARCHITECT[URAL]
AUTO AUTOMATIC
AWT ACOUSTIC WALL TREATMENT
BC BACK OF CURB
BD BOARD
BFF BELOW FINISHED FLOOR
BLDG BUILDING
BLK BLOCK
BLKG BLOCKING
BM BEAM OR BENCHMARK
BOD BOTTOM OF DECK
BOR BOTTOM OF REVEAL
BOT BOTTOM
BRG BEARING
BRK BRICK
BSMT BASEMENT
CAB CABINETS
CB CATCH BASIN
CEM CEMENT
CGV CORNER GUARD
CIP CAST-IN-PLACE
CL CENTER LINE
CLG CEILING
CLR CLEAR
CLK CLOCK
CMU CONCRETE MASONRY UNIT
CNR COUNTER
COL COLUMN
COMP COMPOSITE
CONC CONCRETE
CONT CONTINUE/CONTINUOUS
CORR CORRIDOR
COVER COVER PLATE
CVP COVER
CT CERAMIC TILE
CTR CENTER
D DEEP
DBL DOUBLE
DET DETAIL
DIA DIAMETER
DIM DIMENSION
DN DOWN
DR DOOR
DS DRAIN
DS DOWNSPOUT
DWG DRAWING
(E) EXISTING
EA EACH
EXP BT EXPANSION BOLT
EJ EXPANSION JOINT
EL ELEVATION
ELEC ELECTRIC[AL]
ELEV ELEVATOR
EMER EMERGENCY
ENCL ENCLOSURE
ENGR ENGINEER
EP ELECTRICAL PANEL
EQ EQUAL
EQUIP EQUIPMENT
EXIST EXISTING
EXH EXHAUST
EXP EXPANSION
EXT EXTERIOR
F FACE
FA FIRE ALARM
FB FLAT BAR
FD FLOOR DRAIN
FDIN FOUNDATION
FE FIRE EXTINGUISHER
FIN FLR FINISH FLOOR
FIN FINISHED
FLASH FLASHING
FLR FLOOR
FLUR FLOURESCENT
FM FLOOR MAT
FNF FACE OF FINISH
FOC FACE OF CONCRETE
FOM FACE OF MASONRY
FOS FACE OF STUDS
FPRF FIRE PROTECTION
FR FIRE RESISTANT
FRAP FIREMAN'S REMOTE ANNUNCIATOR PANEL
FT FOOT OR FEET
FIC FOOTING
FURN FURNITURE
G GROUND
GA GAUGE
GALV GALVANIZED
GB GRAB BAR
GC GENERAL CONTRACTOR
GLASS GLASS
GYP BD GYPSUM BOARD
H HOSE BIB
HDR HEADER
HWD HARDWARE
HDM HOLLOW METAL
HMDR HANDRAIL
HORZ HORIZONTAL
HOUR HOUR
HT HEIGHT
HTG HEATING
HTR HEATER
HVAC HEATING, VENTILATING & AIR CONDITIONING

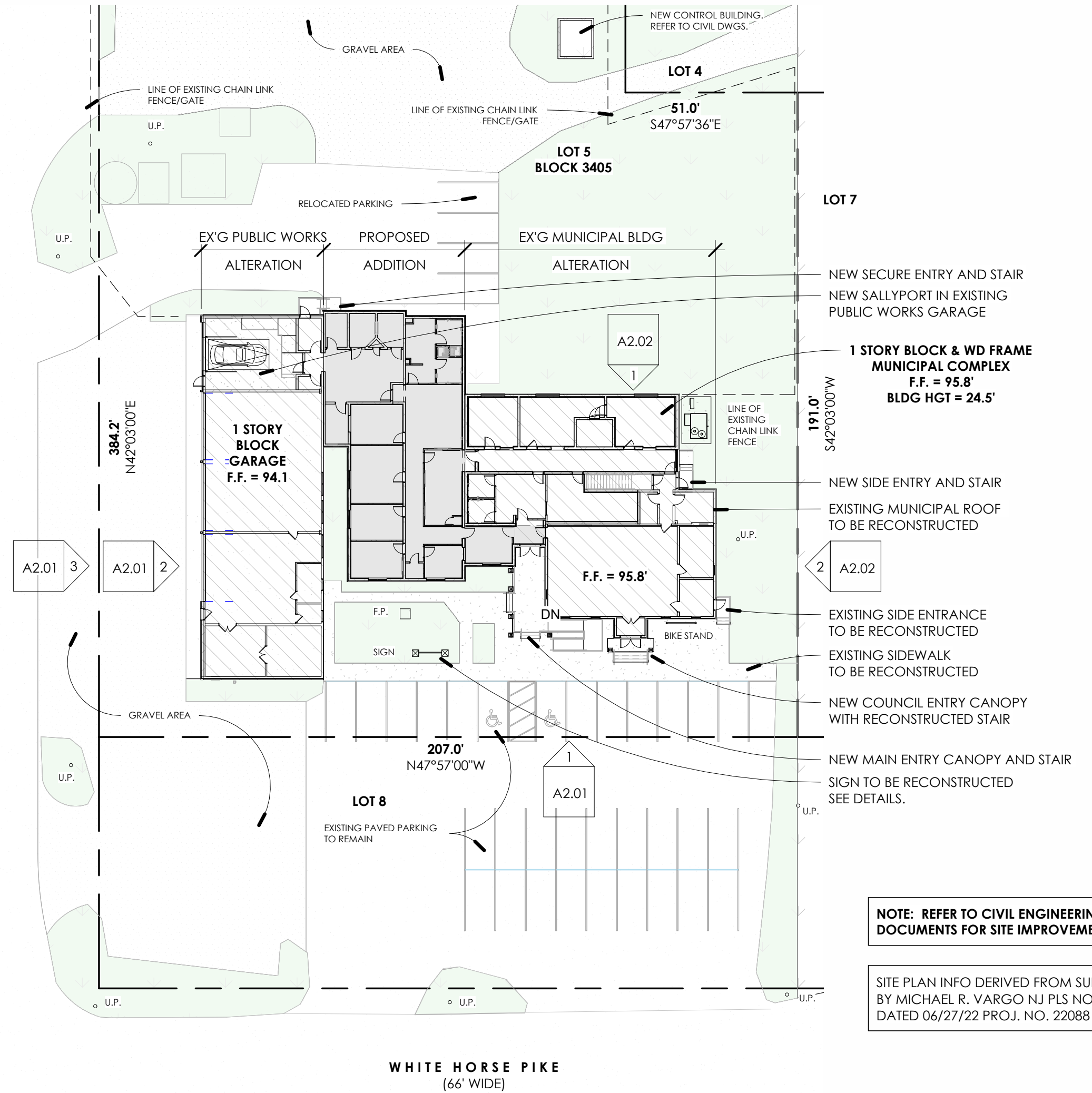
ID INSIDE DIAMETER/DIMENSION
IN INCH
INCL INCLUDE(D)
INFO INFORMATION
INSUL INSULATION
INT INTERIOR
INV INVERT
JB BOX
JOIST JOIST
JT JOINT
JAN JANITOR CLOSET
KO KNOCKOUT
KPL KICKPLATE
L LENGTH
LAM LAMINATE
LAV LAVATORY
LB POUND
LFR LINEAR FOOT OR FEET
LVR LOUVER

M MACH
MAS MASONRY
MATL MATERIAL
MAX MAXIMUM
MCP METAL CEILING PANEL
MECH MECHANICAL
MEMB MEMBRANE
MFG MANUFACTURER
MH MANHOLE
MIN MINIMUM
MISC MISCELLANEOUS
MO MASONRY OPENING
MIRR MIRROR
MTD MOUNTED
MTL METAL
MWP METAL WALL PANEL
N NORTH
N/A NOT APPLICABLE
NIC NOT IN CONTRACT
NO NUMBER
NOM NOMINAL
NTS NOT TO SCALE
OAS OUTSIDE AIR
OC ON CENTER
OD OUTSIDE DIAMETER/DIMENSION
ODS OVERFLOW DOWNSPOUT
OPNG OPENING
OPP OPPOSITE
OPT OPTIONAL
ORIG ORIGINAL
OTB OPEN TO BELOW
OVRHD OVERHEAD
PGV PAVING
PC PRECAST CONCRETE
PCF POUNDS PER CUBIC FOOT
PERF PERFORATED
PL PROPERTY LINE
PL PLATE
PLAM PLASTIC LAMINATE
PLAS PLASTER
PLBG PLUMBING
PLYWD PLYWOOD
PNL PANEL
PRELIM PRELIMINARY
PSI POUNDS PER CUBIC INCH
PT POST TENSIONED
PNT PAINT
PRT PRESSURE TREATED
PTN PARTITION
QT QUARRY TILE
R RADIUS
RA RISER
R RETURN AIR
RCP REFLECTED CEILING PLAN
RD ROOF DRAIN
REC RECESSED
REF REFERENCE
REFL REFLECTED
REINF REINFORCED
REQD REQUIRED
RESIL RESILIENT
REV REVISION
RM ROOM
RND ROUND
RO ROUGH OPENING
RV ROOF VENT
S SOUTH
SAM SELF ADHERED MEMBRANE
SAT SATURATED ACOUSTICAL TILE
SC SOLID CORE
SCHD SCHEDULE
SCR SCREEN
SD SOAP DISPENSER
SECT SECTION
SF SQUARE FOOT OR FEET
SHD WINDOW SHADE
SHING SHEATHING
SHT SHEET
SIM SIMILAR
SOG SLAB ON GRADE
SPEC SPECIFICATION
SQ SQUARE
ST STEEL
ST STREET
STD STANDARD
STL STEEL
STN STAIN
STOR STORAGE
STRUCT STRUCTURAL
SUSS SUSPENDED
SYM SYMMETRICAL
SYS SYSTEM
T TOP OF
T TREAD
TOB TOP OF BEAM
TEMP TEMPORARY
TERM TERMINATION
TG TONGUE & GROOVE
THK THICKNESS
THRES THRESHOLD
THRU THROUGH
TOF TOP OF CONCRETE OR CURB
TOFF TOP OF FINISHED FLOOR
TOS TOP OF SLAB
TOT TOTAL
TPNG TOPPING
THV THERMAL RESISTANCE VALUE
TYP TYPICAL
UNFIN UNFINISHED
UNO UNLESS OTHERWISE NOTED
UR URINAL
VB VAPOR BARRIER
VOLT VOLTAGE
VAPOR VAPOR RETARDER
VENT VENTILATION
VERT VERTICAL
VEST VESTIBULE
VIF VERIFY IN FIELD
VNR VENEER
VP VENEER PLASTER
VIFY VERIFY
W WEST
W WITH
WC WATER CLOSET
WD WOOD
WB WOOD BASE
WDW WINDOW
WGL WIRE GLASS
W/O WITHOUT
WP WATERPROOFING
WR WASTE RECEPTACLE
WSCOT WAINSCOT
WT WEIGHT
WTR WATER
W/W WALL TO WALL
WWF WELDED WIRE FABRIC
XFMR TRANSFORMER
YD YARD



MULLICA TOWNSHIP GOVERNMENT BUILDING
BLOCK 3405, LOT 5
MULLICA TOWNSHIP, NJ 08217

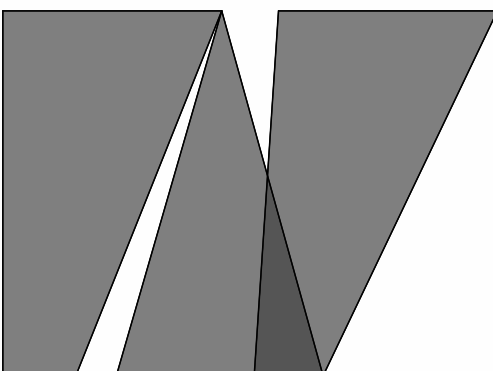
OWNER:	MULLICA TOWNSHIP 4528 WHITE HORSE PIKE MULLICA TOWNSHIP, NJ 08217 609.561.0064	CIVIL ENGINEER/SURVEYOR:	ARH ASSOCIATES 215 BELLEVUE AVENUE HAMMONTON, NEW JERSEY 08037 609.561.0482
ARCHITECT:	WILLIAM MCLEES ARCHITECTURE 5 MACARTHUR BOULEVARD SOMERS POINT, NJ 08244 CONTACT: WILLIAM MCLEES, AIA 609.927.0888	STRUCTURAL ENGINEER:	CZAR ENGINEERING 5014 FERNWOOD AVENUE EGG HARBOR TOWNSHIP, NJ 08234 609.653.9445
INTERIOR DESIGN:	WILLIAM MCLEES ARCHITECTURE 5 MACARTHUR BOULEVARD SOMERS POINT, NJ 08244 CONTACT: WILLIAM MCLEES, AIA 609.927.0888	MECHANICAL, PLUMBING, ELECTRICAL ENGINEER:	CONCORD ENGINEERING 2311 ATLANTIC AVENUE ATLANTIC CITY, NJ 08401 609.272.9620
GEOTECHNICAL ENGINEER:	GZA GEOENVIRONMENTAL, INC. 856 SO. WHITE HORSE PIKE SUITE 101 HAMMONTON, NJ 08037 609.567.9930		



1 PROPOSED SITE PLAN
1" = 30'-0"



DRAWING LIST				
SHEET NUMBER	SHEET NAME	ISSUE DATE	CURRENT REVISION	REVISION DATE
G0.00	COVER SHEET	07.07.26	1	07.24.26
G1.01	LIFE SAFETY PLANS and CODE ANALYSIS	07.07.26		
G1.02	LIFE SAFETY PARTITIONS, DETAILS and SECTIONS	07.07.26		
G1.03	FIRESTOPPING DETAILS	07.07.26		
C-1	COVER	07.02.26		
C-2	NOTES	07.02.26		
C-3	EXISTING & DEMO	07.02.26		
C-4	SITE PLAN	07.02.26		
C-5	UTILITIES PLAN	07.02.26		
C-6	DETAILS - 1	07.02.26		
C-7	DETAILS - 2	07.02.26		
C-8	DETAILS - 3	07.02.26		
C-9	DETAILS - 4	07.02.26		
C-10	DETAILS - 5	07.02.26		
C-11	DETAILS - 6	07.02.26	1	07.24.26
C-12	SESC PLAN	07.02.26		
C-13	SESC DETAILS	07.02.26		
D1.00	DEMOLITION PLANS	07.07.26	1	07.24.26
A0.00	SCHEDULES	07.07.26	1	07.24.26
A1.10	BASEMENT FLOOR PLAN	07.07.26	1	07.24.26
A1.11	FIRST FLOOR PLAN	07.07.26		
A1.12	ROOF PLAN	07.07.26		
A1.20	BASEMENT REFLECTED CEILING PLAN	07.07.26		
A1.21	FIRST FLOOR REFLECTED CEILING PLAN	07.07.26		
A2.01	EXTERIOR ELEVATIONS	07.07.26	1	07.24.26
A2.02	EXTERIOR ELEVATIONS	07.07.26	1	07.24.26
A3.01	BUILDING SECTIONS	07.07.26		
A3.20	WALL SECTIONS	07.07.26		
A3.21	WALL SECTIONS	07.07.26		
A3.31	ENLARGED STAIR PLANS & SECTIONS	07.07.26	1	07.24.26
A3.32	ENLARGED STAIR & RAMP PLANS & SECTIONS, DETAILS	07.07.26		
A4.01	ENLARGED PLANS & ELEVATIONS	07.07.26	1	07.24.26
A4.10	ENLARGED PLANS & ELEVATIONS	07.07.26	1	07.24.26
A4.11	ENLARGED PLANS & ELEVATIONS (SECURE)	07.07.26		
A5.10	DETAILS	07.07.26	1	07.24.26
A5.11	DETAILS	07.07.26	1	07.24.26
A5.20	INTERIOR DETAILS	07.07.26	1	07.24.26
A5.30	ROOF DETAILS - SHINGLE	07.07.26		
A5.31	ROOF DETAILS TPO	07.07.26		
A5.40	EXPANSION JOINT DETAILS	07.07.26		
A6.01	DOOR SCHEDULES & DETAILS	07.07.26	1	07.24.26
A6.10	WINDOW SCHEDULES & DETAILS	07.07.26	1	07.24.26
S-1	FOUNDATION PLAN	07.07.26		
S-2	ROOF FRAMING PLAN	07.07.26		
S-3	SECTIONS & DETAILS	07.07.26		
S-4	SECTIONS & DETAILS	07.07.26		
S-5	GENERAL NOTES	07.07.26		
M0.00	MECHANICAL GENERAL NOTES	07.07.26		
M0.01	MECHANICAL LEGEND, SYMBOLS, CONTROL NOTES	07.07.26		
M0.02	MECHANICAL DETAILS	07.07.26		
M0.03	MECHANICAL DETAILS	07.07.26		
M0.04	MECHANICAL DETAILS	07.07.26		
M0.05	MECHANICAL VENTILATION SCHEDULES	07.07.26		
M0.06	MECHANICAL VENTILATION SCHEDULES	07.07.26		
M0.07	MECHANICAL EQUIPMENT SCHEDULES	07.07.26		
MD1.01	MECHANICAL DEMOLITION PLANS	07.07.26	1	07.24.26
M1.01	MECHANICAL BASEMENT PLAN - NEW WORK	07.07.26		
M1.11	MECHANICAL FIRST FLOOR PLAN - NEW WORK PARTIAL	07.07.26		
M1.12	MECHANICAL FIRST FLOOR PLAN - NEW WORK PARTIAL	07.07.26		
P0.00	PLUMBING LEAD SHEET	07.07.26		
P0.01	PLUMBING DETAILS	07.07.26		
P0.02	PLUMBING SCHEDULES	07.07.26		
PD1.00	PLUMBING BASEMENT PLAN DEMOLITION	07.07.26		
PD1.01	PLUMBING FIRST FLOOR PLAN DEMOLITION	07.07.26		
P1.00	PLUMBING BASEMENT PLAN DRAINAGE	07.07.26		
P1.01	PLUMBING FIRST FLOOR PLAN DRAINAGE	07.07.26		
P1.02	PLUMBING SECOND FLOOR PLAN DRAINAGE	07.07.26		
P2.00	PLUMBING BASEMENT PLAN SERVICE	07.07.26		
P2.01	PLUMBING FIRST FLOOR PLAN SERVICE	07.07.26		
P2.02	PLUMBING ROOF PLAN SERVICE	07.07.26		
P3.00	SANITARY RISER DIAGRAM	07.07.26		
P3.01	DOMESTIC WATER & NATURAL GAS RISER DIAGRAMS	07.07.26		
E0.00	ELECTRICAL LEAD SHEET	07.07.26	1	07.24.26
E0.01	ELECTRICAL NEW WORK SINGLE LINE DIAGRAM	07.07.26		
E0.02	ELECTRICAL DETAILS	07.07.26		
E0.03	FIRE ALARM DETAILS	07.07.26		
ED1.10	ELECTRICAL BASEMENT & ROOF DEMOLITION PLANS	07.07.26	1	07.24.26
ED1.11	ELECTRICAL FIRST FLOOR DEMOLITION PLANS	07.07.26		
E1.10	ELECTRICAL FIRST FLOOR DEMOLITION PLANS	07.07.26	1	07.24.26
E1.11A	ELECTRICAL FIRST FLOOR PARTIAL NEW WORK POWER PLAN	07.07.26		
E1.11B	ELECTRICAL FIRST FLOOR PARTIAL NEW WORK POWER PLAN	07.07.26		
E1.12	ELECTRICAL ROOF NEW WORK POWER PLAN	07.07.26		
E1.21	ELECTRICAL FIRST FLOOR NEW WORK LIGHTING PLAN	07.07.26		
E1.31	FIRE ALARM FIRST FLOOR NEW WORK PLAN	07.07.26		
E2.00	ELECTRICAL NEW WORK SITE PLAN	07.07.26	1	07.24.26
E3.00	ELECTRICAL PANEL SCHEDULES	07.07.26		
E3.01	ELECTRICAL PANEL SCHEDULES	07.07.26		
E3.02	ELECTRICAL PANEL SCHEDULES	07.07.26		



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William McLees Architecture, LLC
New Jersey State Certificate of Authorization # 21AC0055500

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ALTERATION / ADDITION

MULLICA TOWNSHIP
GOVERNMENT
BUILDING
4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

BID SET

No.	Description	Date
1	ADDENDUM 1	07.24.26

COVER SHEET

Scale As indicated
Drawn by WSZ
Date 07.07.26

GO.00

Comission no. 25019M

THIS WORK IS GOVERNED BY THE NEW JERSEY UNIFORM CONSTRUCTION CODE, NEW JERSEY EDITION OF THE 2021 INTERNATIONAL BUILDING CODE, AND ALL OTHER APPLICABLE SUBCODES AS ADOPTED THEREIN. THIS WORK SHALL QUALIFY AS **ALTERATION/ADDITION** UNDER THE REQUIREMENTS AND DEFINITIONS OF THE NEW JERSEY U.C.C.

SECTION 3
USE GROUP:

A-3	CIVIC
B	ADMINISTRATION
S-1	MOTOR VEHICLE REPAIR GARAGE

SECTION 406: MOTOR-VEHICLE RELATED OCCUPANCIES

406.2.1 AUTOMATIC GARAGE DOOR OPENERS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 325.

406.2.2 THE CLEAR HEIGHT OF EACH FLOOR LEVEL IN VEHICLE AND TRUCK TRAFFIC AREAS SHALL NOT BE LESS THAN 14 FEET.

406.2.3 WHERE PARKING IS PROVIDED, ACCESSIBLE PARKING SPACES, ACCESS ISLES AND VEHICULAR ROUTES SERVING ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1106.

406.2.4 FLOOR SURFACES SHALL BE OF CONCRETE OR SIMILAR APPROVED NONCOMBUSTIBLE AND NONABSORBENT MATERIALS.

406.2.5 MIXED USES SHALL BE ALLOWED IN THE SAME BUILDING AS PUBLIC PARKING GARAGES AND REPAIR GARAGES IN ACCORDANCE WITH SECTION 501.

406.2.9 EQUIPMENT AND APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 406.2.9.1 THROUGH 406.2.9.3 AND THE INTERNATIONAL MECHANICAL CODE, INTERNATIONAL FIRE GAS CODE, AND NFPA 70.

406.2.9.1 EQUIPMENT AND APPLIANCES HAVING AN IGNITION SOURCE AND LOCATED IN HAZARDOUS LOCATIONS AND PUBLIC GARAGES SHALL BE ELEVATED SUCH THAT THE IGNITION SOURCE IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR SURFACE ON WHICH THE EQUIPMENT OR APPLIANCE RESTS.

406.2.9.2 APPLIANCES LOCATED REPAIR GARAGES SHALL BE INSTALLED NOT LESS THAN 8 FEET ABOVE THE FLOOR, WHERE MOTOR VEHICLES ARE CAPABLE OF PASSING UNDER AN APPLIANCE, THE APPLIANCE SHALL BE INSTALLED AT THE CLEARANCES REQUIRED BY THE APPLIANCE MANUFACTURER AND NOT LESS THAN 1 FOOT HIGHER THAN THE TALLEST VEHICLE GARAGE DOOR OPENING.

406.8 REPAIR GARAGES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE.

406.8.1 MECHANICAL REPAIR GARAGES SHALL BE MECHANICALLY VENTED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE AND THE VENTILATION SYSTEM SHALL BE CONTROLLED AT THE GARAGE ENTRANCE.

CONSTRUCTION CLASS:		VB
SPRINKLER:		NON-SPRINKLERED
ALLOWABLE HEIGHT:	USE GROUP	REQUIRED
	A-3	40
	B	40
	S-1	40
ALLOWABLE STORIES ABOVE GRADE:	A-3	1
	B	2
	S-1	1
TOTAL BUILDING AREAS:	A-3	6,000
	B	9,000
	S-1	9,000
FRONTAGE INCREASE FACTOR:		50%
FRONTAGE INCREASE AREAS:	A-3	9,000
	B	13,500
	S-1	13,500
TOTAL BUILDING AREAS		ENCLOSED
FIRE AREA 'A':	FIRST FLOOR:	3,650 S.F.
	TOTAL:	3,650 S.F.
FIRE AREA 'B':		
	BASEMENT:	3,205 S.F.
	FIRST FLOOR:	7,010 S.F.
	TOTAL:	10,015 S.F.
BUILDING FOOTPRINT:		10,668 S.F.

506.1.3 BASEMENTS NEED NOT BE INCLUDED IN TOTAL ALLOWABLE FLOOR AREA OF A BUILDING PROVIDED THE TOTAL AREA OF SUCH BASEMENTS DOES NOT EXCEED THE AREA PERMITTED FOR A ONE-STORY ABOVE GRADE PLANE BUILDING.

508.3 THE BUILDING QUALIFIES FOR NONSEPARATED OCCUPANCIES PER SECTION 508.3.

CONSTRUCTION CLASS:	TYPE VB
FIRE RESISTANCE RATING REQUIREMENTS	
PRIMARY STRUCTURAL FRAME:	0 HR
BEARING WALLS	
EXTERIOR:	0 HR
INTERIOR:	0 HR
NONBEARING WALLS AND PARTITIONS	
INTERIOR:	0 HR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0 HR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS:	0 HR

FIRE SEPARATION DISTANCE:	X < 5 FT:	S-1	2 HR
		B / A-3	1 HR
	5 FT < X < 10 FT:	S-1	1 HR
		B / A-3	1 HR
	10 FT < X < 30 FT:	S-1	1 HR
		B / A-3	1 HR
	X < 30 FT:	S-1	0 HR
		B / A-3	0 HR

	USE	REQUIRED
FIRE WALLS:	B	3 HR
	A-3	3 HR
	S-1	3 HR
FIRE BARRIERS:	B	2 HR
	A-3	2 HR
	S-1	2 HR
VERTICAL SHAFT ENCLOSURES:		1 HR

OPENING PROTECTION:	ASSEMBLY	REQUIRED
	2 HR EXTERIOR WALLS	90 MIN.
	1 HR HORIZONTAL EXIT	
	IN FIRE WALLS	1 HR
	1 HR CORRIDOR	
	FIRE PARTITION	20 MIN.
	1 HR FIRE PARTITION	45 MIN.

INTERIOR FINISH CLASSIFICATIONS			
GROUP	INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMPS, AND EXIT PASSAGES	CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS	ROOM AND ENCLOSED SPACES

PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED (2) PER FLOOR AND SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 906.
A MANUAL FIRE ALARM SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 907.

OCCUPANT LOAD:	119
FIRST FLOOR MIN. NUMBER OF EXITS:	2
MINIMUM STAIR WIDTH:	44 IN.
ALL EXITS SHALL BE PROTECTED WITH A FIRE BARRIER IN ACCORDANCE WITH 1023.2	
EXIT ACCESS TRAVEL DISTANCE:	USE REQUIRED

CORRIDOR FIRE RESISTANCE RATING:	USE	REQUIRED
	A-3	0 HR
	B	1 HR
	S-1	0 HR

WHERE PARKING IS PROVIDED, ACCESSIBLE PARKING SPACES SHALL BE PROVIDED IN COMPLIANCE WITH TABLE 1106.2.

1107.1 ELECTRICAL VEHICLE CHARGING STATIONS SHALL COMPLY WITH SECTION 1107.2.

FUEL-DISPENSING SYSTEMS SHALL COMPLY WITH SECTION 1107.3.

1107.2.1 ACCESSIBLE VEHICLE PARKING SPACES, NOT LESS THAN 5 PERCENT OF THE VEHICLE SPACES ON THE SITE SERVICED BY ELECTRICAL VEHICLE CHARGING SYSTEMS, BUT NOT FEWER THAN ONE FOR EACH TYPE OF ELECTRICAL CHARGING SYSTEM, 1107.2.2 VEHICLE SPACE SIZE. ACCESSIBLE VEHICLE SPACES SHALL COMPLY WITH THE REQUIREMENTS FOR A VAN ACCESSIBLE PARKING SPACE THAT IS 132 INCHES MINIMUM IN WIDTH WITH AN ADJOINING ACCESS ISLE THAT IS 40 INCHES MINIMUM IN WIDTH.

1108.5.6 ACCESSIBLE UNITS SHALL BE PROVIDED IN GROUP 1,3 OCCUPANCY.

1108.5.6.1 AT LEAST 3 PERCENT OF THE TOTAL NUMBER OF SLEEPING UNITS IN THE FACILITY, BUT NOT LESS THAN ONE UNIT IN EACH CLASSIFICATION LEVEL, SHALL BE ACCESSIBLE UNITS. MIN (1) TOILET, LAV, AND SHOWER SHALL BE PROVIDED AS ACCESSIBLE KITCHEN AREAS SHALL BE ACCESSIBLE

MECHANICAL VENTILATION IS PROVIDED IN ACCORDANCE WITH IMC

OF GLAZING:	8 PERCENT OF FLOOR AREA
ALL CEILINGS AREAS	
SHALL BE MINIMUM:	7 FT

ASHRAE ANALYSIS BELOW.

REFER TO WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.

ALL ROOF AREAS TO BE MINIMUM CLASS 'B'.

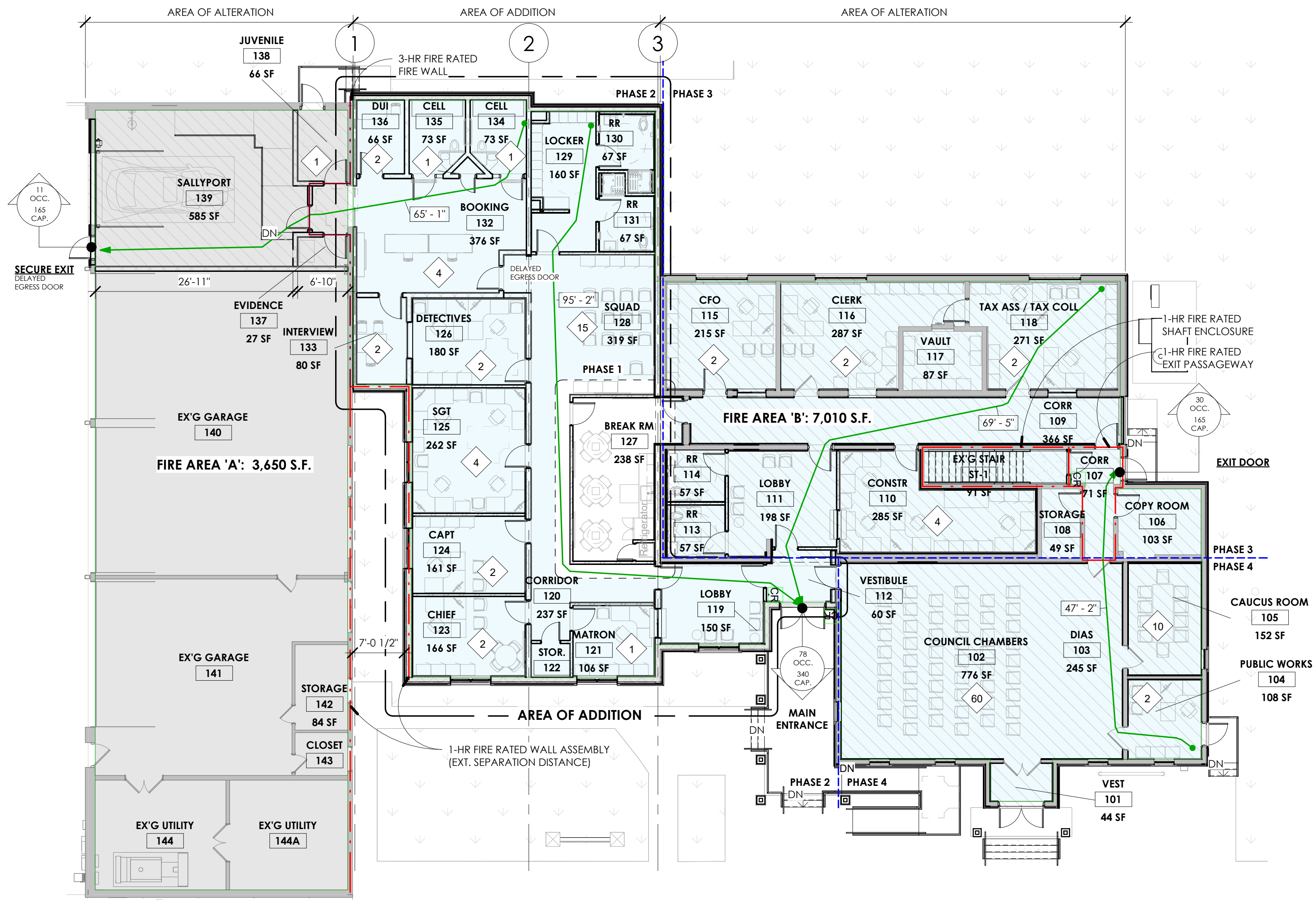
DESIGN LIVE LOADS

BUSINESS/OFFICE:	50 LBS/SF
CORRIDORS:	100 LBS/SF
STORAGE AREAS (LIGHT):	125 LBS/SF
ROOF:	20 LBS/SF
GARAGE:	MIN. 50 LBS/SF
GROUND SNOW LOAD:	20 LBS/SF

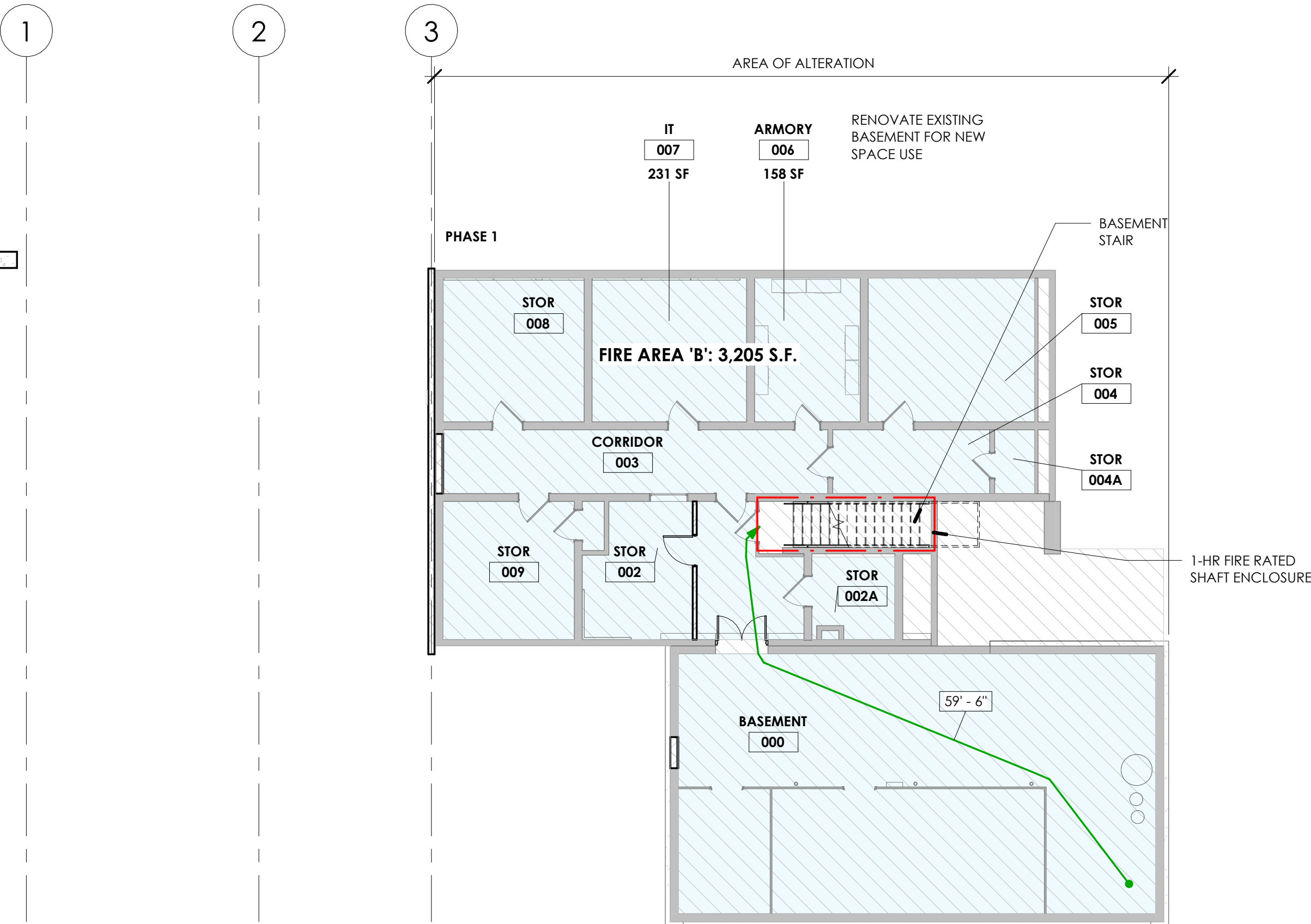
EXPOSURE CATEGORY:	C
RISK CATEGORY:	4

FIRE RATINGS

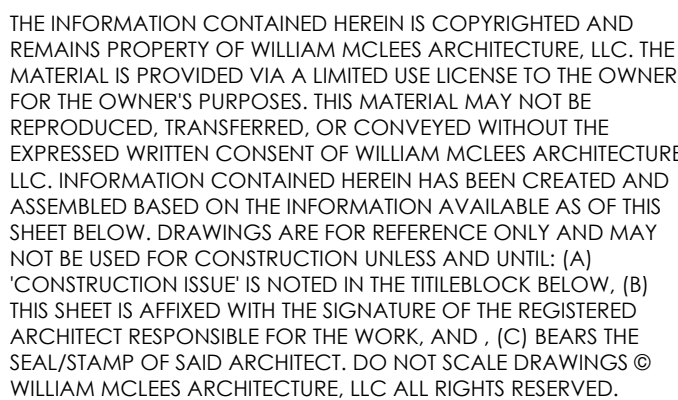
	1-HR FIRE RATING
	2-HR FIRE RATING
	3-HR FIRE RATING



2 1ST FLOOR LIFE SAFETY PLAN



1 BASEMENT LIFE SAFETY PLAN



ALTERATION / ADDITION
MULLICA TOWNSHIP
GOVERNMENT
BUILDING
4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

BID SET

[illegible]

LIFE SAFETY PLANS and CODE ANALYSIS

Scale	As indicated
Drawn by	AJS
Date	07.07.26

G1.01

Comission no.	25019M
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 Pennsylvania State License RA40347

William McLees Architecture, LLC

New Jersey State Certificate of Authorization
21AC00055500

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BID SET

DEMOLITION PLANS

Scale	As indicated
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Drawn by	AJ
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Date	07.07.20
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Comission no.	25019M
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GC SHALL COORDINATE WITH THE OWNER ON ALL DEMOLITION AREAS PRIOR TO COMMENCEMENT OF WORK SO AS TO MINIMIZE DISRUPTION OF TENANTS, OCCUPANTS, ETC.

GC SHALL PROVIDE THE OWNER AND AFFECTED TENANTS WITH 48 HOURS NOTICE PRIOR TO ANY UTILITY SHUT OFFS IN CONJUNCTION WITH THE SCOPE OF WORK. DURATION AND SCHEDULED COMPLETION SHALL BE PROVIDED TO THE SAME AT SUCH TIME.

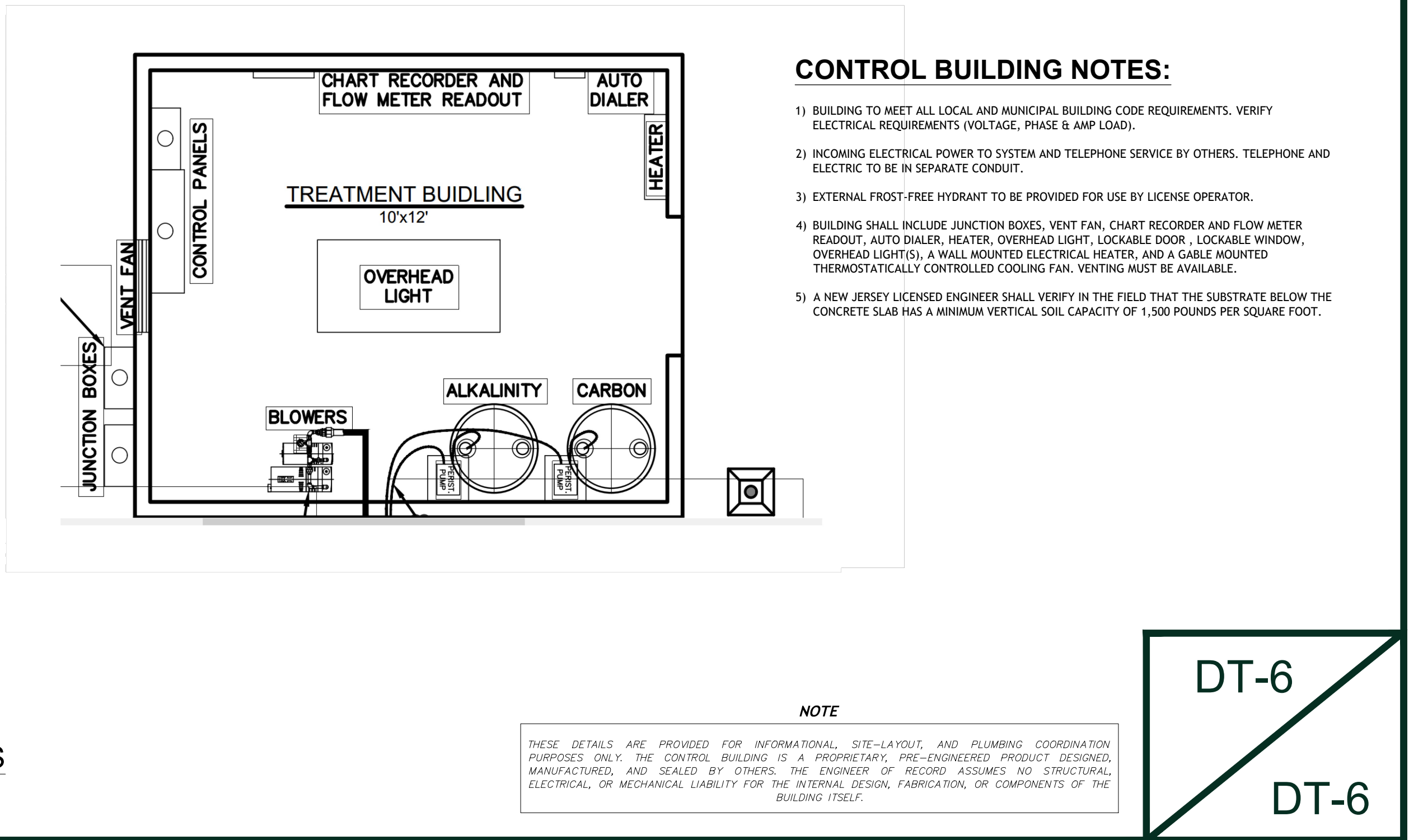
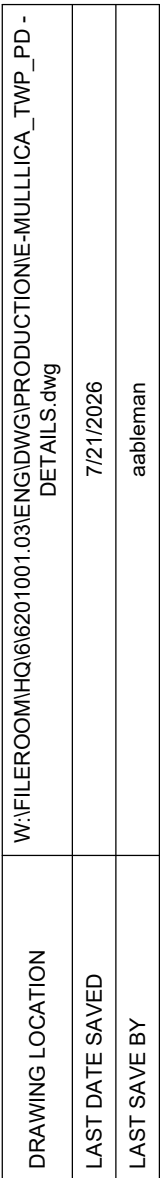
GC SHALL PROVIDE THE OWNER AND AFFECTED TENANTS WITH 48 HOURS NOTICE PRIOR TO ANY UTILITY SHUT OFFS IN CONJUNCTION WITH THE SCOPE OF WORK. DURATION AND SCHEDULED COMPLETION SHALL BE PROVIDED TO THE SAME AT SUCH TIME.

GC SHALL STAGE ALL DEMOLITION SO AS TO MAINTAIN THE FUNCTION OF ALL LIFE SAFETY SYSTEMS IN THE BUILDING DURING DEMOLITION AND ALL OTHER PHASES OF WORK. IF MODIFICATIONS TO THE LIFE SAFETY SYSTEMS ARE REQUIRED, THE CONTRACTOR SHALL PROVIDE TEMPORARY REDUNDANT SYSTEMS FOR THE FULL DURATION OF THIS PORTION OF WORK.

GC SHALL COORDINATE WITH THE OWNER AND THE BUILDING OFFICIAL DURING DEMOLITION OF EXIT STAIR AREAS IN ORDER TO MAINTAIN EGRESS CAPACITY FOR THE ENTIRE BUILDING DURING ALL PHASES OF WORK.

STAGING AREAS SHALL BE CONTAINED COMPLETELY WITHIN THE CONFINES OF THE SITE AND SHALL BE COORDINATED WITH THE OWNER'S NEEDS/USE OF THE SITE.





ROOM SCHEDULE - FIRST FLOOR															
ROOM NUMBER	ROOM NAME	AREA	OCC	FLOOR FINISH	BASE FINISH	CHAIR RAIL FINISH	CEILING FINISH	CROWN FINISH	WALL FINISH				CASEWORK		
									NORTH	EAST	SOUTH	WEST	BASE CABINETS	COUNTER TOP	UPPER CABINETS
101	VEST	44 SF	--	LVT-10	WB-10		MP10		PT-10	PT-10	PT-10	PT-10	--	--	--
102	COUNCIL CHAMBERS	776 SF	60	LVT-10	WB-10	CHR-10	ACT-10/ PT-00	CR-10	PT-10	--	PT-10	PT-10	--	--	--
103	DIAS	245 SF		LVT-10	WB-10	CHR-10	ACT-10/ PT-00	CR-10	PT-10	PT-10	PT-10	--	--	--	--
104	PUBLIC WORKS	108 SF	2	LVT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	--	--
105	CAUCUS ROOM	152 SF	10	LVT-10	WB-10	CHR-10	ACT-10	CR-10	PT-10	PT-10	PT-10	PT-10	--	--	--
106	COPY ROOM	103 SF	--	LVT-10	WB-10		PT-00		PT-10	PT-10	PT-10	PT-10	--	--	--
107	CORR	71 SF	--	LVT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	--	--
108	STORAGE	49 SF	--	LVT-10	WB-10		PT-00		PT-10	PT-10	PT-10	PT-10	--	--	--
109	CORR	366 SF	--	LVT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	--	--
110	CONSTR	285 SF	4	CPT-10	WB-10		ACT10		PT-10	PT-10	PT-10	PT-10	--	SS-10	--
111	LOBBY	198 SF	--	LVT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	--	--
112	VESTIBULE	60 SF	--	LVT-10	WB-10		PT-00		PT-10	PT-10	PT-10	PT-10	--	--	--
113	RR	57 SF	--	CT-20	CT-25		PT-00		CT-10/ PT-11	CT-10/ PT-11	CT-10	CT-10	--	--	--
114	RR	57 SF	--	CT-20	CT-25		PT-00		CT-10	CT-10/ PT-11	CT-10/ PT-11	CT-10	--	--	--
115	CFO	215 SF	2	CPT-10	WB-10		PT-00		PT-10	PT-10	PT-10	PT-10	--	SS-10	--
116	CLERK	287 SF	2	CPT-10	WB-10		PT-00		PT-10	PT-10	PT-10	PT-10	--	SS-10	--
117	VAULT	87 SF	--	--	--		PT-00		PT-10	PT-10	PT-10	PT-10	--	--	--
118	TAX ASS / TAX COLL	271 SF	2	CPT-10	WB-10		PT-00		PT-10	PT-10	PT-10	PT-10	--	SS-10	--
119	LOBBY	150 SF	--	LVT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	--	--
120	CORRIDOR	237 SF	--	LVT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	--	--
121	MATRON	106 SF	1	CPT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	SS-10	--
122	STOR.	24 SF	--	LVT-10	WB-10		PT-00		PT-10	PT-10	PT-10	PT-10	--	--	--
123	CHIEF	166 SF	2	CPT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	--	--
124	CAPT	161 SF	2	CPT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	--	--
125	SGT	262 SF	4	CPT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	--	--
126	DETECTIVES	180 SF	2	CPT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	--	--
127	BREAK RM	238 SF	--	LVT-10	WB-10		ACT-10		PT-10	PT-10/ CT-40	PT-10	PT-10	LAM-10	SS-10	LAM-10
128	SQUAD	319 SF	15	LVT-10	WB-10		ACT-10		PT-10	PT-10	PT-10	PT-10	--	--	--
129	LOCKER	160 SF	--	CT-20	CT-25		PT-00		CT-10/ PT-12	CT-10/ PT-11	CT-10/ PT-11	CT-10/ PT-12	--	--	--
130	RR	67 SF	--	CT-20	CT-25		PT-00		CT-10/ PT-11	CT-10/ PT-11	CT-10/ PT-11 & CT-30	CT-10/ PT-11	--	--	--
131	RR	67 SF	--	CT-20	CT-25		PT-00		CT-10/ PT-11 & CT-30	CT-10/ PT-11	CT-10/ PT-11	CT-10/ PT-11	--	--	--
132	BOOKING	376 SF	4	RS-10	RS-10		PT-01		PT-12	PT-12	PT-12	PT-12	--	--	--
133	INTERVIEW	80 SF	2	RS-10	RS-10		PT-01		PT-12	PT-12	PT-12	PT-12	--	--	--
134	CELL	73 SF	1	RS-10	RS-10		PT-01		PT-12	PT-12	PT-12	PT-12	--	--	--
135	CELL	73 SF	1	RS-10	RS-10		PT-01		PT-12	PT-12	PT-12	PT-12	--	--	--
136	DUI	66 SF	2	RS-10	RS-10		PT-01		PT-12	PT-12	PT-12	PT-12	--	--	--
137	EVIDENCE	27 SF	--	RS-10	RS-10		--		PT-12	PT-12	PT-12	PT-12	--	--	--
138	JUVENILE	66 SF	1	RS-10	RS-10		--		PT-12	PT-12	PT-12	PT-12	--	--	--
139	SALLYPORT	585 SF	--	RS-10	RS-10		--		PT-12	PT-12	PT-12	PT-12	--	--	--
140	EX'G GARAGE	1423 SF	--	--	--		--		--	--	--	--	--	--	--
141	EX'G GARAGE	781 SF	--	--	--		--		--	--	--	--	--	--	--
142	STORAGE	84 SF	--	--	--		--		--	--	--	--	--	--	--
143	CLOSET	42 SF	--	--	--		--		--	--	--	--	--	--	--
144	EX'G UTILITY	266 SF	--	--	--		--		--	--	--	--	--	--	--
144A	EX'G UTILITY	241 SF	--	--	--		--		--	--	--	--	--	--	--
ST-1	EX'G STAIR	91 SF	--	--	--		--		--	--	--	--	--	--	--

ROOM SCHEDULE - BASEMENT															
ROOM NUMBER	ROOM NAME	AREA	OCC	FLOOR FINISH	BASE FINISH	CHAIR RAIL FINISH	CEILING FINISH	CROWN FINISH	WALL FINISH				CASEWORK		
									NORTH	EAST	SOUTH	WEST	BASE CABINETS	COUNTER TOP	UPPER CABINETS
000	BASEMENT	1294 SF		--	--	--		--	--	--	--				
001	ENTRY	119 SF					ACT-20								
002	STOR	142 SF					ACT-20								
002A	STOR	70 SF		--	--	--	ACT-10	--							
003	CORRIDOR	255 SF					ACT-20								
004	STOR	104 SF		--	--	--	ACT-20	--							
004A	STOR	27 SF		--	--	--	--	--							
005	STOR	248 SF		--	--	--	ACT-10	--							
006	ARMORY	158 SF					--	--							
007	IT	231 SF		--	--	--	ACT-10	--	--	--	--	--	--	--	
008	STOR	210 SF		--	--	--	ACT-10	--							
009	STOR	188 SF		--	--	--	ACT-10	--							

1. PROVIDE A ROOM SIGN AT EACH STAIR ENTRANCE AT EACH FLOOR.
2. FINAL ROOM NUMBER AND NAME ON ROOM SIGN TO BE COORDINATED WITH OWNER. SEE SIGN DETAIL.
3. ALL EXPOSED FACES/EDGES OF UNFINISHED MATERIALS TO RECEIVE APPROPRIATE FINISH. REFER TO FINISH SCHEDULE &/OR SPECIFICATIONS.

FINISH LEGEND					
TAG	DESCRIPTION	MANUFACTURER	PRODUCT	REMARKS	
ACT-10	ACOUSTIC CEILING TILE	ARMSTRONG	ULTIMA TEGULAR ACOUSTICAL TILE CEILING IN 15/16" SUSPENDED GRID	24" X 24"	
ACT-20	PVC SOFFIT BOARD	ARMSTRONG	ULTIMA TEGULAR ACOUSTICAL TILE CEILING IN 15/16" SUSPENDED GRID	24" X 48"	
CHR-10	CHAIR RAIL	-	AS DETAILED	STAIN GRADE	
CPT-10	CARPET TILE	INTERFACE	OPEN AIR 403 ACCENT- PEARL	OFFICE FLOORING- ALL	
CR-10	CROWN MOULDING	-	AS DETAILED	STAIN GRADE	
CT-10	WALL TILE	WAYNE TILE	METROCRETE 12X24- WHITE	WHITE GROUT, BATHROOM/ LOCKER RM WALL	
CT-20	FLOOR TILE 1	MSI	GRIDSCALE- CONCRETE	WHITE GROUT, BATHROOM/ LOCKER ROOM FLOOR	
CT-40	BACKSPASH 1	SOMERTILE	CASTILLO- DENIM	WHITE GROUT, BACKSPASH	
FRP-10	SANITARY WALL PANEL	KYDEX	KYDEX T THERMOPLASTIC WALL SHEATHING, WHITE.		
	GWB GYPSUM CEILING		(2) LAYERS 5/8" GYPSUM BOARD TYPE "X", TYPICAL CEILING. PROVIDE AQUATOUGH OR EQUAL.		
LAM-10	PLASTIC LAMINATE 1	WILSONART	WHITE BARN 7977	CABINETRY	
LVT-10	LUXURY VINYL TILE	MILLIKEN	FORTIFIED FOUNDATIONS 5.0MM - CANE FAR18		
MTL10	SECURE METAL CEILING	TRUSSBILT	16 GA BARRIERDECK METAL PLANK CEILING SYSTEM		
PT-00	CEILING PAINT	SHERWIN-WILLIAMS	CEILING BRIGHT WHITE SW7007 - FLAT FINISH	TYPICAL CEILING PAINT	
PT-01	TRIM PAINT	SHERWIN-WILLIAMS	TBD - SATIN FINISH	TYPICAL DOOR AND TRIM PAINT	
PT-01	CEILING PAINT - CONCRETE	SHERWIN-WILLIAMS	(2) COATS Loxon WATER BLOCKING PRIMER - FINISH & (1) COAT SUPERPAINT AIR PURIFYING TECHNOLOGY INTERIOR ACRYLIC - SATIN FINISH BY ARCHITECT	CONCRETE CEILING PAINT	
PT-10	WALL PAINT 1	SHERWIN WILLIAMS	PRIME & (2) COATS INTERIOR LATEX - EGGSHELL FINISH - WHITE SNOW SW 9571	TYPICAL WALL PAINT	
PT-11	WALL PAINT 2	SHERWIN WILLIAMS	PRIME & (2) COATS INTERIOR LATEX - EGGSHELL FINISH - COLOR BY ARCHITECT	BATHROOM WALL PAINT	
PT-12	WALL PAINT - MASONRY	SHERWIN-WILLIAMS	(2) COATS Loxon WATER BLOCKING PRIMER - FINISH & (1) COAT SUPERPAINT AIR PURIFYING TECHNOLOGY INTERIOR ACRYLIC - SATIN FINISH BY ARCHITECT	MASONRY WALL PAINT	
PT-20	TRIM PAINT	SHERWIN-WILLIAMS	TBD - SATIN FINISH	TYPICAL DOOR AND TRIM PAINT	
PVC	PVC SOFFIT BOARD	AZEK	AZEK NON-VENTED SOFFIT BOARD - COLOR BY ARCHITECT		
RS-10	RESINOUS FLOORING	SHERWIN WILLIAMS	DECO QUARTZ HIGH PERFORMANCE RESINOUS FLOORING WITH SELF-LEVELING COLORED FLAKE OVERLAY SYSTEM. NON-POROUS, WATERPROOF WITH 6" INTEGRAL COVE BASE. COLOR-BIRCH BARK	TYPICAL FLOOR FINISH	
SECURE	ABUSE-RESISTANT BOARD	FIBEROCK	AQUA-TOUGH AR BOARD	INSTALLED IN ALL SECURE AREAS FOR WALLS & CEILINGS	
SS-10	SOLID SURFACE 1	PORCELANOSA	BEIGE MARFIL L505- 1/2"	COUNTERTOP	
VCT	VINYL COMPOSITION TILE	ARMSTRONG	VINYL COMPOSITION TILE 1/8" THICK. COLOR AND STYLE BY ARCHITECT.		
VCT	VINYL COMPOSITION TILE	ARMSTRONG	VINYL COMPOSITION TILE 1/8" THICK. COLOR AND STYLE BY ARCHITECT.		
WB-10	WALL BASE	TBD	AS DETAILED	ARCHITECT TO APPROVE STAIN SAMPLES PRIOR TO INSTALL	
WB-20	VINYL WALL BASE - 1	TARKETT	JOHNSONITE TIGHTLOCK 6-1/2" WALL BASE - CASTAWAY FINISH		

1. ALL PRODUCT MANUFACTURES & MODELS ARE TO BE USED AS A BASIS OF DESIGN. SUBSTITUTIONS ARE PERMITTED PER SPECIFICATIONS.

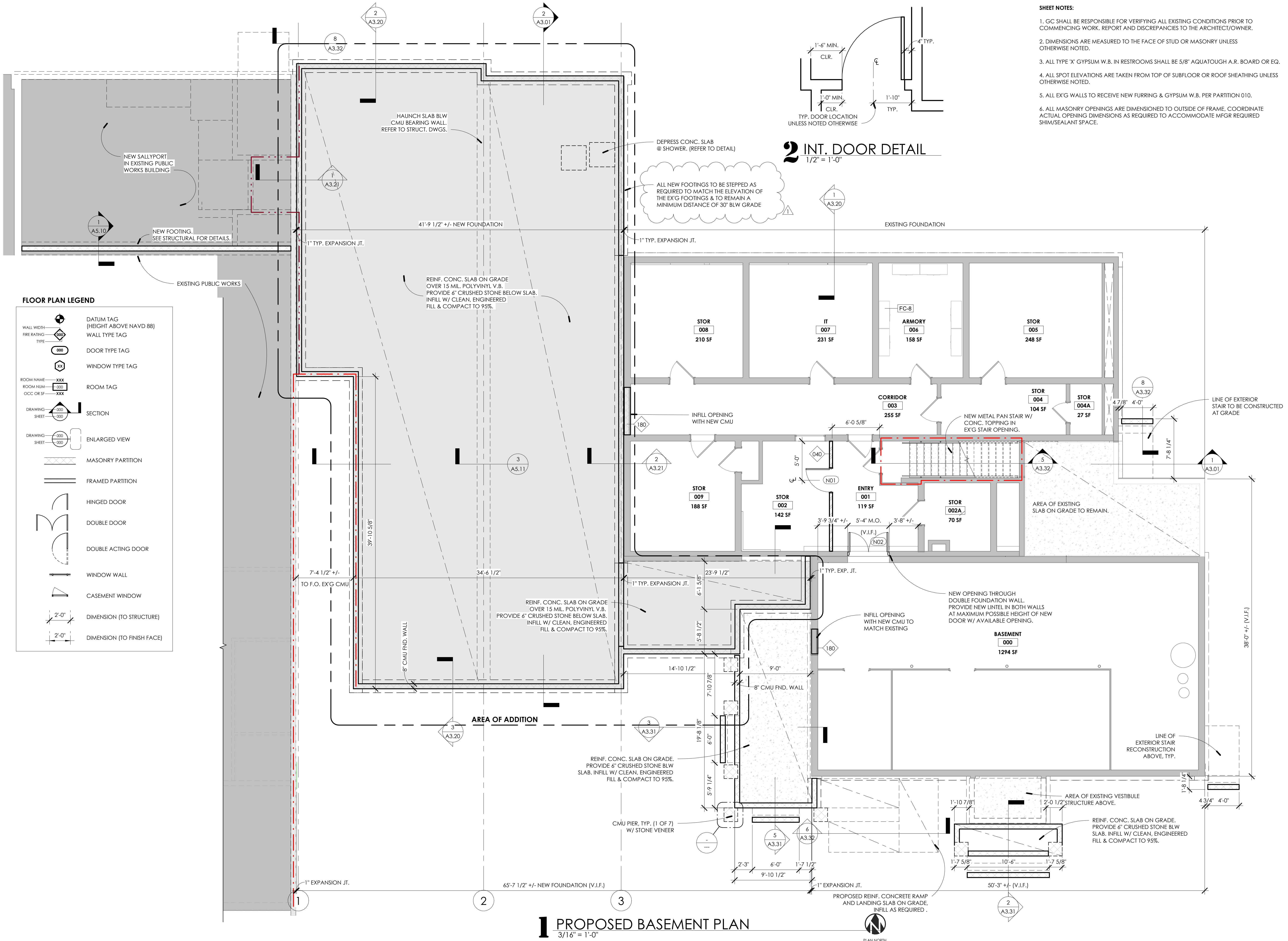
FURNITURE & EQUIPMENT SCHEDULE					
UNIT	DESCRIPTION	MANUF.	MODEL	COUNT	COMMENTS
F-1	DESK CHAIR	BY OWNER	BY OWNER	19	OWNER SUPPLIED, GC TO INSTALL
F-3	DESK - CORNER	BY OWNER	BY OWNER	19	OWNER SUPPLIED, GC TO INSTALL
F-4	GUEST CHAIR	BY OWNER	BY OWNER	43	OWNER SUPPLIED, GC TO INSTALL
F-5	SIDE TABLE 22"H X 17"DIA	BY OWNER	BY OWNER	3	OWNER SUPPLIED, GC TO INSTALL
F-6	FILE CABINET W/ BOOKSHELF	BY OWNER	BY OWNER	75	OWNER SUPPLIED, GC TO INSTALL
F-7	ROUND TABLE 5FT DIA	BY OWNER	BY OWNER	1	OWNER SUPPLIED, GC TO INSTALL
F-8	DESK - 30X60	BY OWNER	BY OWNER	1	OWNER SUPPLIED, GC TO INSTALL
F-9	CAFE TABLE 36"	BY OWNER	BY OWNER	3	OWNER SUPPLIED, GC TO INSTALL
F-10	CAFE CHAIR	BY OWNER	BY OWNER	12	OWNER SUPPLIED, GC TO INSTALL
F-11	LOCKER	SCRANTON	TUFFTECH	13	GC SUPPLIED, GC TO INSTALL
F-12	LOCKER BENCH - ADA	SCRANTON	TUFFTECH	1	GC SUPPLIED, GC TO INSTALL
F-13	TABLE - 6FT X 30 X 30H	BY OWNER	BY OWNER	1	OWNER SUPPLIED, GC TO INSTALL
F-14	CONFERENCE TABLE	BY OWNER	BY OWNER	1	OWNER SUPPLIED, GC TO INSTALL
F-15	TYP. COUNCIL CHAIR	BY OWNER	BY OWNER	61	OWNER SUPPLIED, GC TO INSTALL

1. CONTRACTOR RESPONSIBLE FOR VERIFYING FINAL COUNTS.
2. FINAL COLORS & FINISHES TO BE CHOSEN BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.

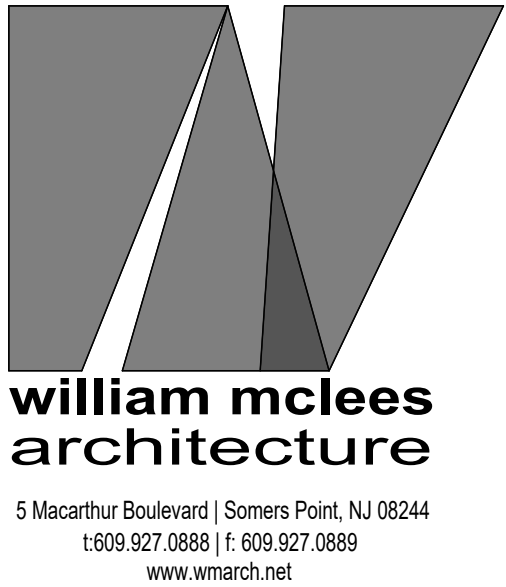
FURNITURE & EQUIPMENT SCHEDULE - SECURE				
UNIT	DESCRIPTION	MANUF.	MODEL	COMMENTS
FC-1	HANDGUN LOCKER - 3 HANDGUNS	SPACESAVER	EDHGF03V	
FC-2	CUFFING BENCH	KRYPTOMAX	KM-FDB-72IN-HCB	PROVICE TAMBER RESISTANT SCREWS
FC-3	PROCESSING TABLE	KRYPTOMAX	KM-TBL-307236-SS-C	
FC-4	INTERVIEW CHAIR	KRYPTOMAX	KM-IC-ADA	
FC-5	WALL MOUNT DETENTION BUNK	KRYPTOMAX	KM-WMB	TOPPED W/ 'MTJ AMERICAN' SECURE ADVANTAGE MATTRESS
FC-6	EVIDENCE LOCKER	FASCO	ELN-772-0115	
FC-7	INTERVIEW TABLE	KRYPTOMAX	KM-TBL-INT-304830	

1. CONTRACTOR RESPONSIBLE FOR VERIFYING FINAL COUNTS.
2. FINAL COLORS & FINISHES TO BE CHOSEN BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.
3. ALL SECURE FURNITURE & EQUIPMENT TO BE LIGATURE & TAMPER RESISTANT. PROVIDE TAMPER RESISTANT FASTENERS.

RESTROOM ACCESSORIES SCHEDULE						
TAG	DESCRIPTION	MANUF.	MODEL	DIMENSIONS	MOUNTING HT	NOTES
A	TOILET TISSUE	BOBRICK	B-4288	6-1/16" x 11" x 5 15/16"	15" A.F.F.	TO BOTTOM
B	GRAB BARS - TOILET	BOBRICK	B-6806X42	1-1/2" X 42"	36" A.F.F.	TO TOP
			B-6806X36	1-1/2" X 36"	36" A.F.F.	TO TOP
			B-6806X18	1-1/2" X 18"	41" A.F.F.	TO BOTTOM
C	SOAP DISPENSER	BOBRICK	818615	7" x 6-1/8" x 3-5/16"	48" A.F.F. MAX	TO TOP
D	REVERSIBLE FOLDING SHOWER SEAT	BOBRICK	B-5181	33" x 22-5/16" x 1/2"	18" A.F.F. MAX	
E	GRAB BARS - SHOWER	BOBRICK	B-6861	1-1/2" x 19-3/4" x 34-3/4"	34" A.F.F. MAX.	TO CENTER
			B-5806	1-1/4" X 18"	39" A.F.F.	TO BOTTOM
F	SHOWER CURTAIN ROD W/ CONCEALED MOUNTING	BOBRICK	B207	1-1/8" x 36"	74-1/2" A.F.F.	TO CENTER
G	MIRROR	BOBRICK	B-2908 2436	24" X 36"	38" A.F.F. MAX	TO REFL. SURFACE
H	RECESSED TOWEL DISPENSER W/ WASTE RECEPTACLE	BOBRICK	B-4369	12 3/4" X 28" X 5"	48" A.F.F. MAX	TO DISPENSER
J	HAND DRYER	BOBRICK	B7128 208-240V		42" A.F.F. MAX	TO BOTTOM



- SHEET NOTES:**
1. GC SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. REPORT AND DISCREPANCIES TO THE ARCHITECT/OWNER.
 2. DIMENSIONS ARE MEASURED TO THE FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
 3. ALL TYPE "X" GYPSUM W.B. IN RESTROOMS SHALL BE 5/8" AQUATOUGH A.R. BOARD OR EQ.
 4. ALL SPOT ELEVATIONS ARE TAKEN FROM TOP OF SUBFLOOR OR ROOF SHEATHING UNLESS OTHERWISE NOTED.
 5. ALL EX'G WALLS TO RECEIVE NEW FURRING & GYPSUM W.B. PER PARTITION 010.
 6. ALL MASONRY OPENINGS ARE DIMENSIONED TO OUTSIDE OF FRAME. COORDINATE ACTUAL OPENING DIMENSIONS AS REQUIRED TO ACCOMMODATE MFR REQUIRED SHIM/SEALANT SPACE.



William C. McLees, AIA
New Jersey State License AI 14054
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William McLees Architecture, LLC
New Jersey State Certificate of Authorization # 21AC00055500

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**ALTERATION / ADDITION
MULLICA TOWNSHIP
GOVERNMENT
BUILDING**
4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

BID SET

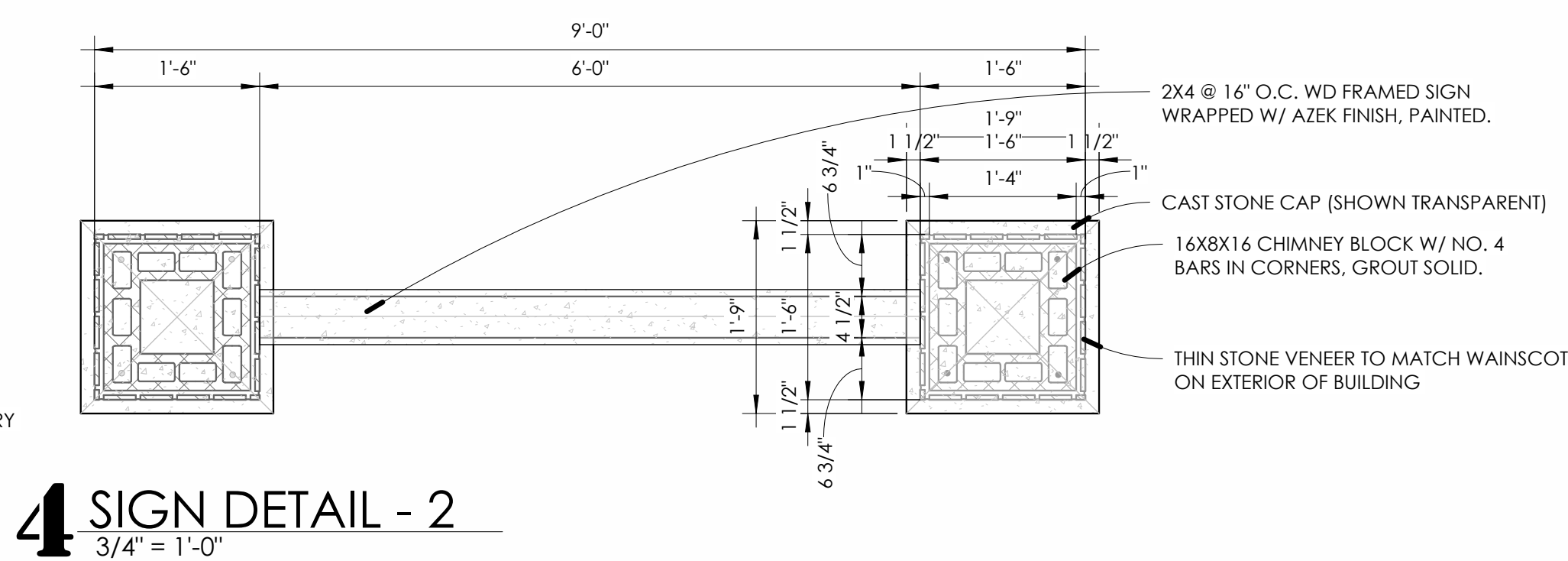
No.	Description	Date
1	ADDENDUM 1	07.24.26

**BASEMENT FLOOR
PLAN**

Scale As indicated
Drawn by AJS
Date 07.07.26

A1.10

Comission no. 25019M



EXTERIOR KEYNOTES	
KEYNOTE	KEYNOTE DESCRIPTION
AC10	ALUMINUM FASCIA COPING W/ GALV. STEEL CLEAT BY METAL-ERA OR EQ. COLOR BY ARCH.
BK10	CRAFTSMAN BRACKET BY EKENA MILLWORK OR EQUAL. COLOR BY ARCHITECT.
BR10	NEW BRICK VENEER TO MATCH EX'G.
CC10	HB&G 12" SQUARE PERMACAST ROUGH-SAWN COLUMN SURROUND.
DLR10	FULL LITE DOUBLE GLAZED THERMALLY BROKEN ALUMINUM DOOR
DR20	PTD FIBER REINFORCED PLASTIC INSULATED FULL FLUSH DOOR.
FB10	HARDBE FIBER CEMENT FASCIABOARD, ARTIC WHITE
GT10	PTD ALUM. BOX GUTTER AND ASSOCIATED COMPONENTS, COLOR TO MATCH DOWNSPOUTS.
LV10	8"-0"W. KYNAR FINISHED ALUMINUM LOUVERED SUNSHADE W/ 8" BLADE, 36" DEPTH.
MP10	TONGUE & GROOVE METAL PLANK SOFFIT BY LONGBOARD OR EQ. STYLE AND FINISH BY ARCH.
RF10	ASPHALT SHINGLE ROOF BY GAF, STYK AND COLOR BY ARCHITECT.
RL10	42" HIGHT GALV. STEEL GUARDRAIL WITH PAINTED METAL POSTS, PICKETS AND HANDRAIL.
SD10	HARDIE FIBER CEMENT PLANK SIDING, 7" EXPOSURE, 0.25" THK. PEARL GREY.
SL10	42" DIA. WOOD ENGRAVED TOWNSHIP SEAL
ST10	ELDORADO VENETO FIELDLEDGE STONE VENEER, COLOR BY ARCHITECT.
TB10	HARDBE FIBER CEMENT TRIMBOARD, ARTIC WHITE
WT10	ELDORADO CHISELED GEDG WAINSCOT SILL, SMOKE FINISH.
WW10	DOUBLE GLAZED, PTD ALUMINUM SINGLE HUNG WINDOW, 8400TL THERMAL WINDOWS BY KAWNEER OR EQ.

1. ALL PRODUCT MANUFACTURES & MODELS ARE TO BE USED AS A BASIS OF DESIGN. SUBSTITUTIONS ARE PERMITTED PER SPECIFICATIONS.

PUBLIC WORKS GARAGE

AREA OF ALTERATION

AREA OF WALL INFILL, SEE PLANS.

BR10

DR20

LT-01

N-141

N-140

PUBLIC WORKS GARAGE TO REMAIN (NO WORK)

ROOF
106'-7 5/8"

1ST FLOOR
95'-9 5/8"

GRADE
93'-3 5/8"

1/8" = 1'-0"

3/16" = 1'-0"

EXISTING PUBLIC WORKS
(NO WORK THIS FACADE)

AREA OF ADDITION

EXISTING MUNICIPAL BUILDING
AREA OF ALTERATION

9 A5.10

6" / 1'-0"

RF10

LV10

WW10

BKT10

2 A5.30

6" / 1'-0"

6" / 1'-0"

6" / 1'-0"

5 A2.02

6" / 1'-0"

6" / 1'-0"

6" / 1'-0"

4 A3.32

BIKE STAND

TOWNSHIP OF MULICA
MUNICIPAL BUILDING

CONTINUOUS FIRE RATED
EXPANSION JOINT
AT NEW TO EXISTING
WALL/WALL AND ROOF/WALL
CONNECTION

5 A2.01

106'-7 5/8"

ROOF

95'-9 5/8"

1ST FLOOR

93'-3 5/8"

GRADE

88'-7 5/8"

BASEMENT

RF10

TB10

MP10

BKT10

FB10

GT10

DR10

SD10

RL10

ST10

WT10

CC10

**william mclees
architecture**

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Winn-Dixie

William McLees Architecture, LLC

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ALTERATION / ADDITION
MULLICA TOWNSHIP
GOVERNMENT
BUILDING
4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

BID SET

[illegible]

EXTERIOR ELEVATIONS

Scale	As indicated
Drawn by	AJS
Date	07.07.26

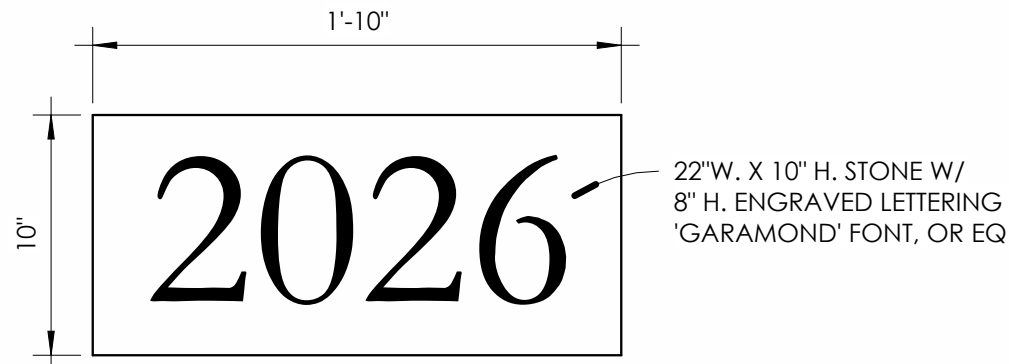
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Comission no.	25019M
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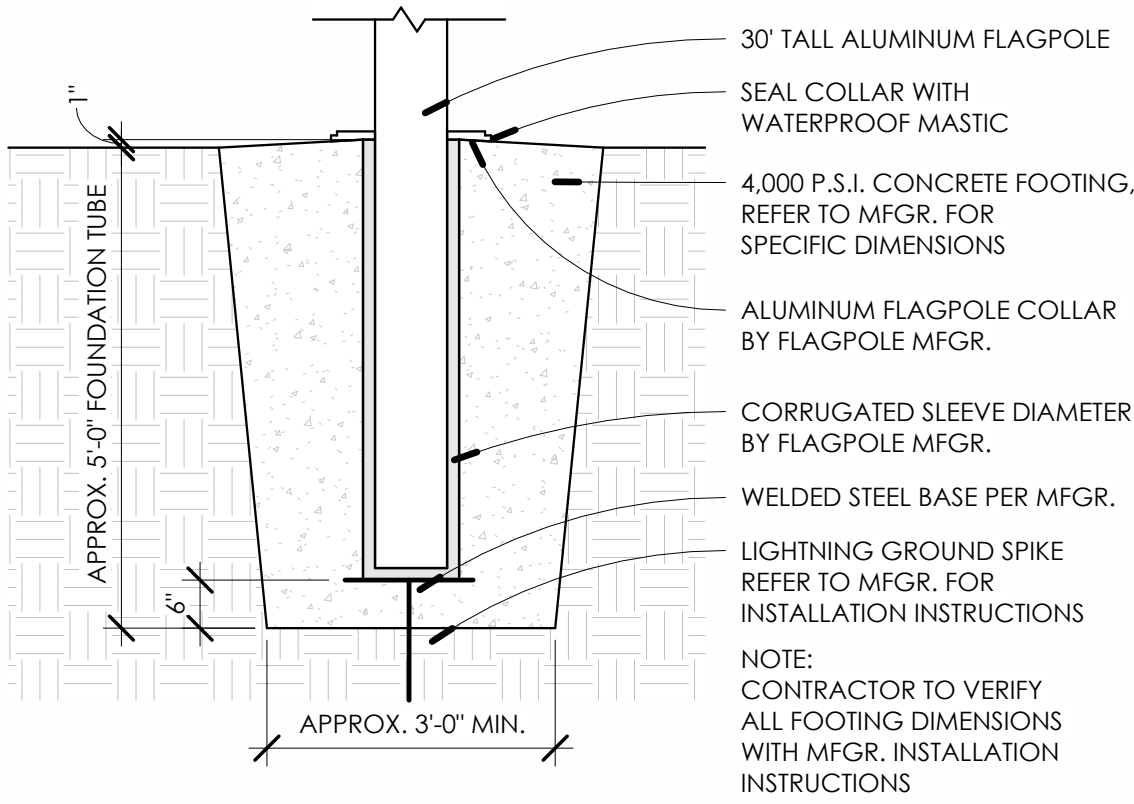


FINAL ARTWORK TO BE OBTAINED FROM THE CITY OF SIMILAR DESIGN.

5 CITY SEAL DETAIL
1" = 1'-0"



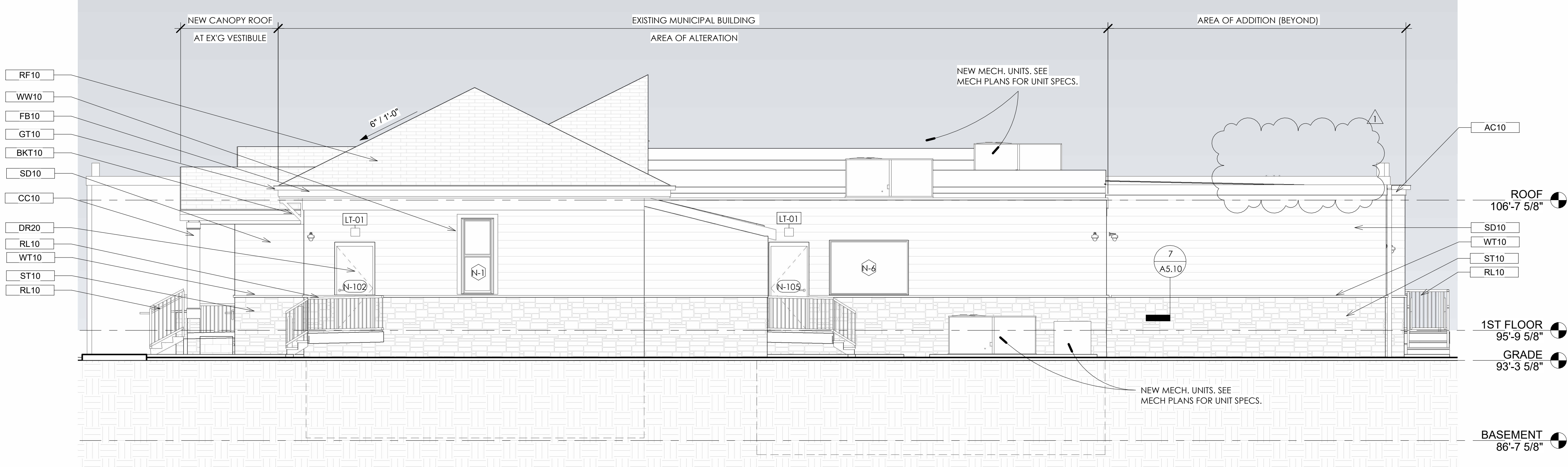
4 CORNERSTONE DETAIL
1 1/2" = 1'-0"



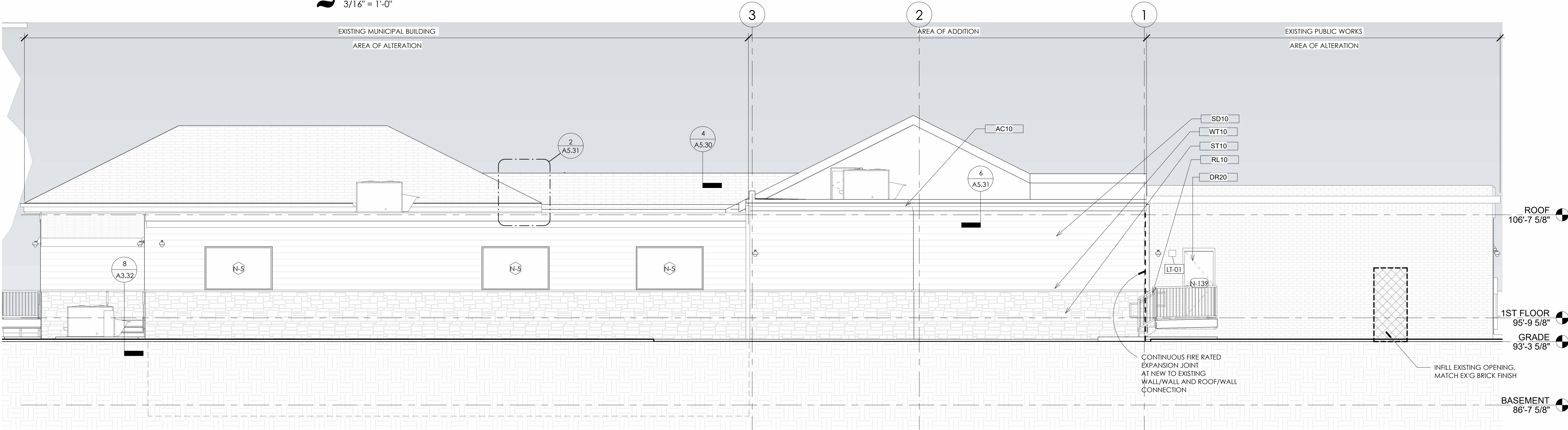
3 FLAGPOLE DETAIL
1 1/2" = 1'-0"

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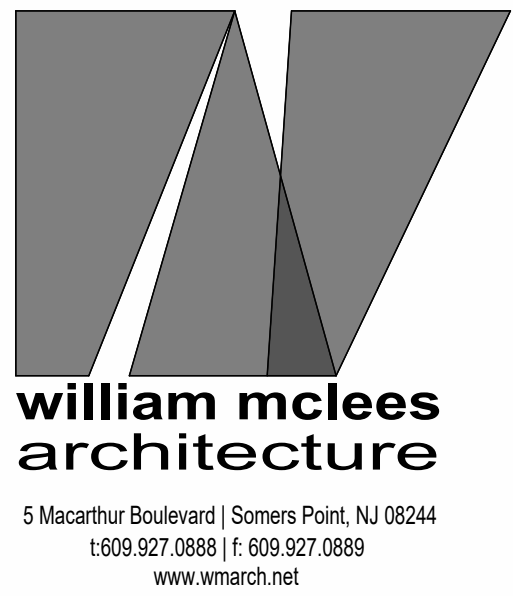
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2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"



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ALTERATION / ADDITION
MULLICA TOWNSHIP
GOVERNMENT
BUILDING
4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

BID SET

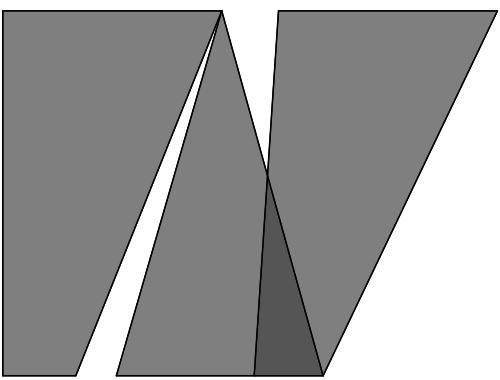
No.	Description	Date
1	ADDENDUM 1	07.24.26

EXTERIOR ELEVATIONS

Scale	As indicated
Drawn by	AJS
Date	07.07.26

A2.02

Comission no. 25019M



**william mclees
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ALTERATION / ADDITION
**MULLICA TOWNSHIP
GOVERNMENT
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4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

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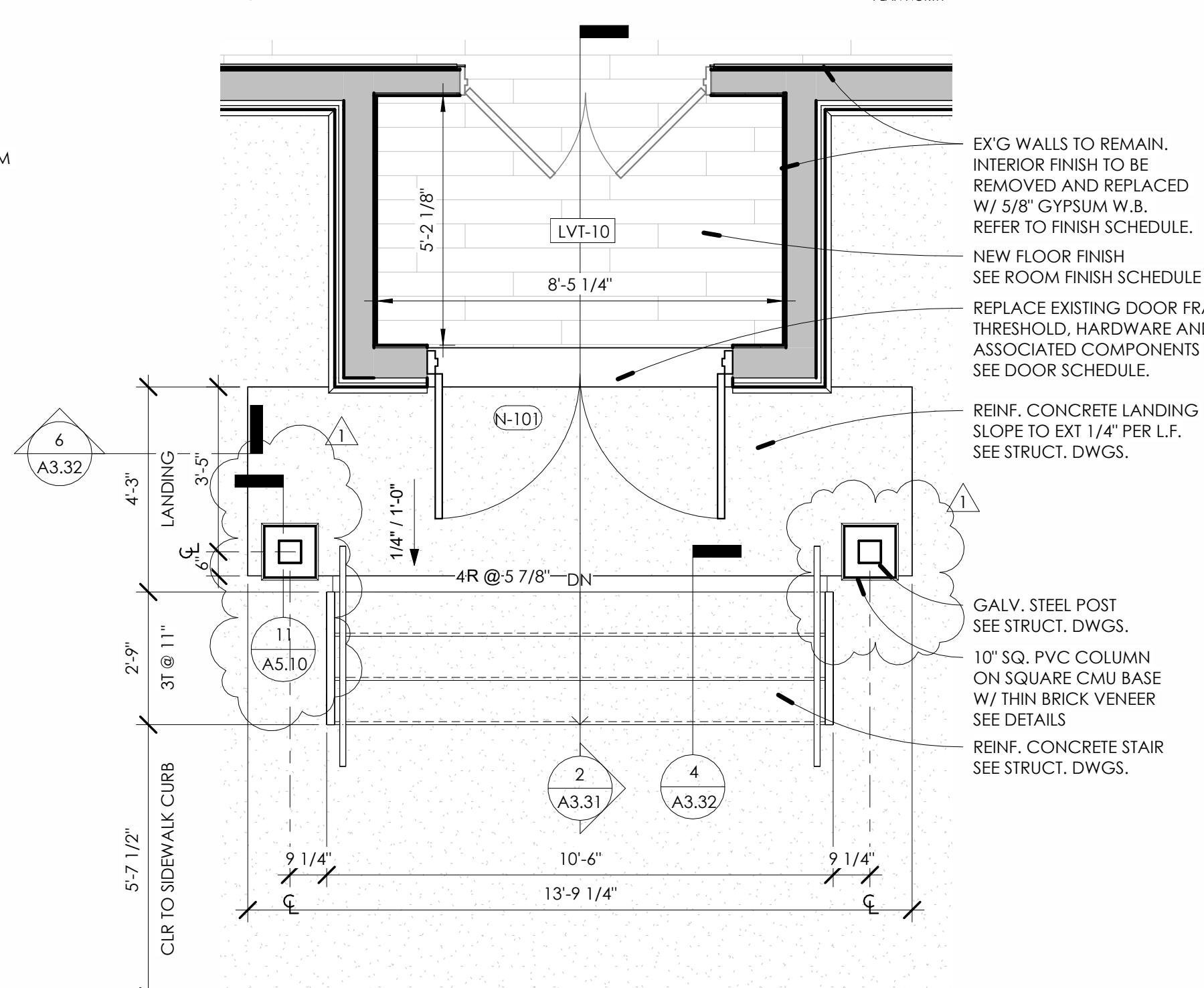
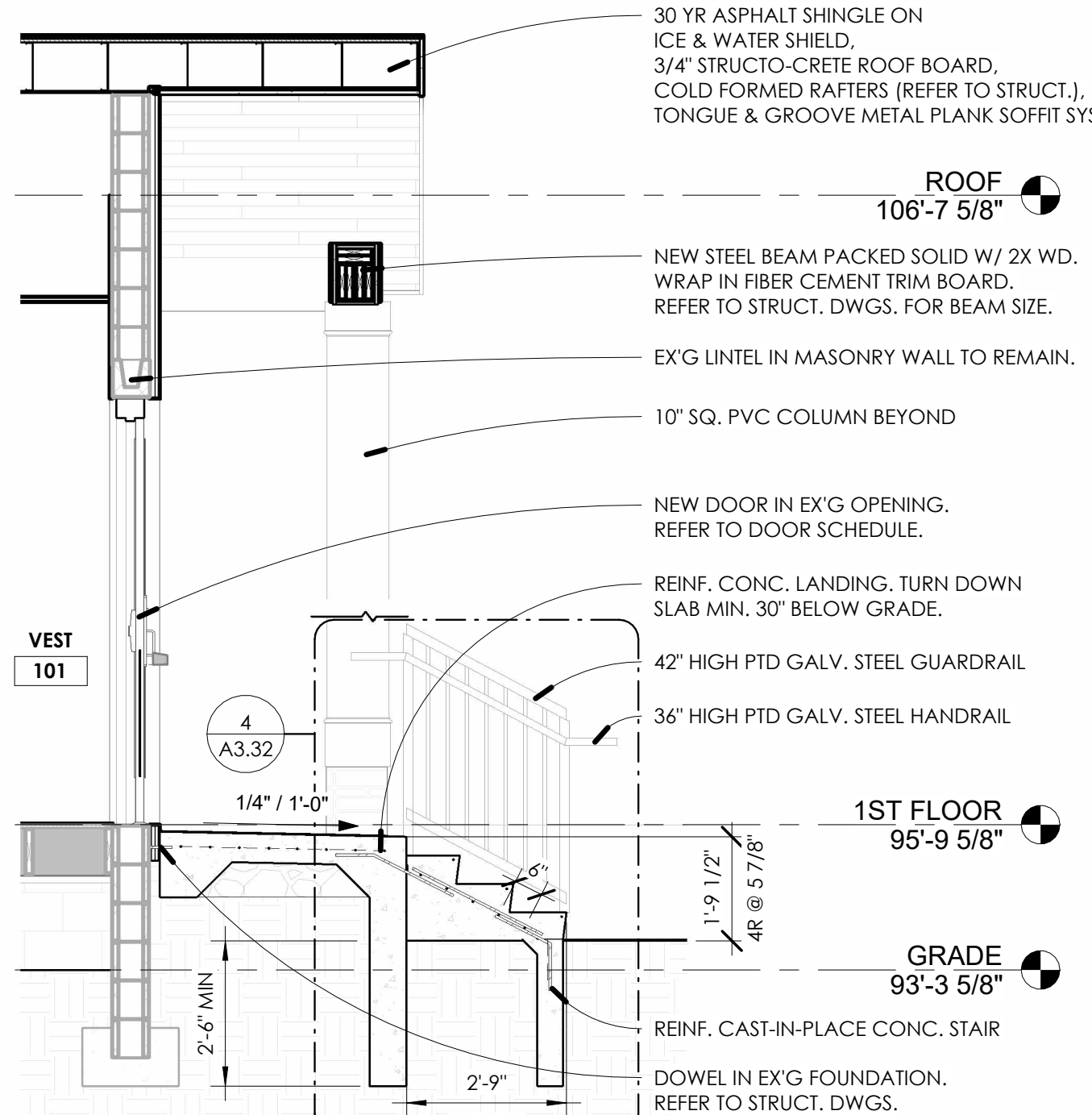
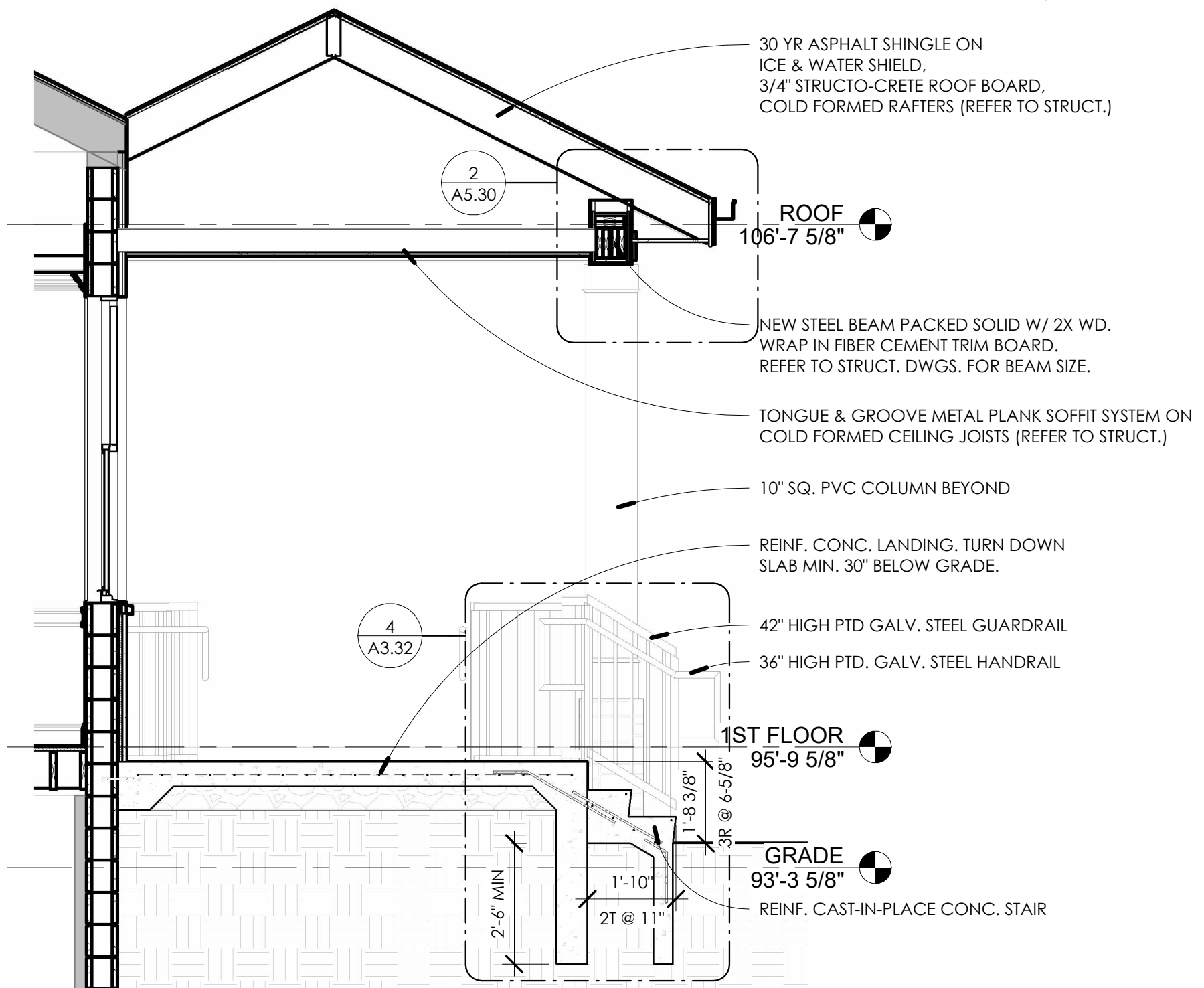
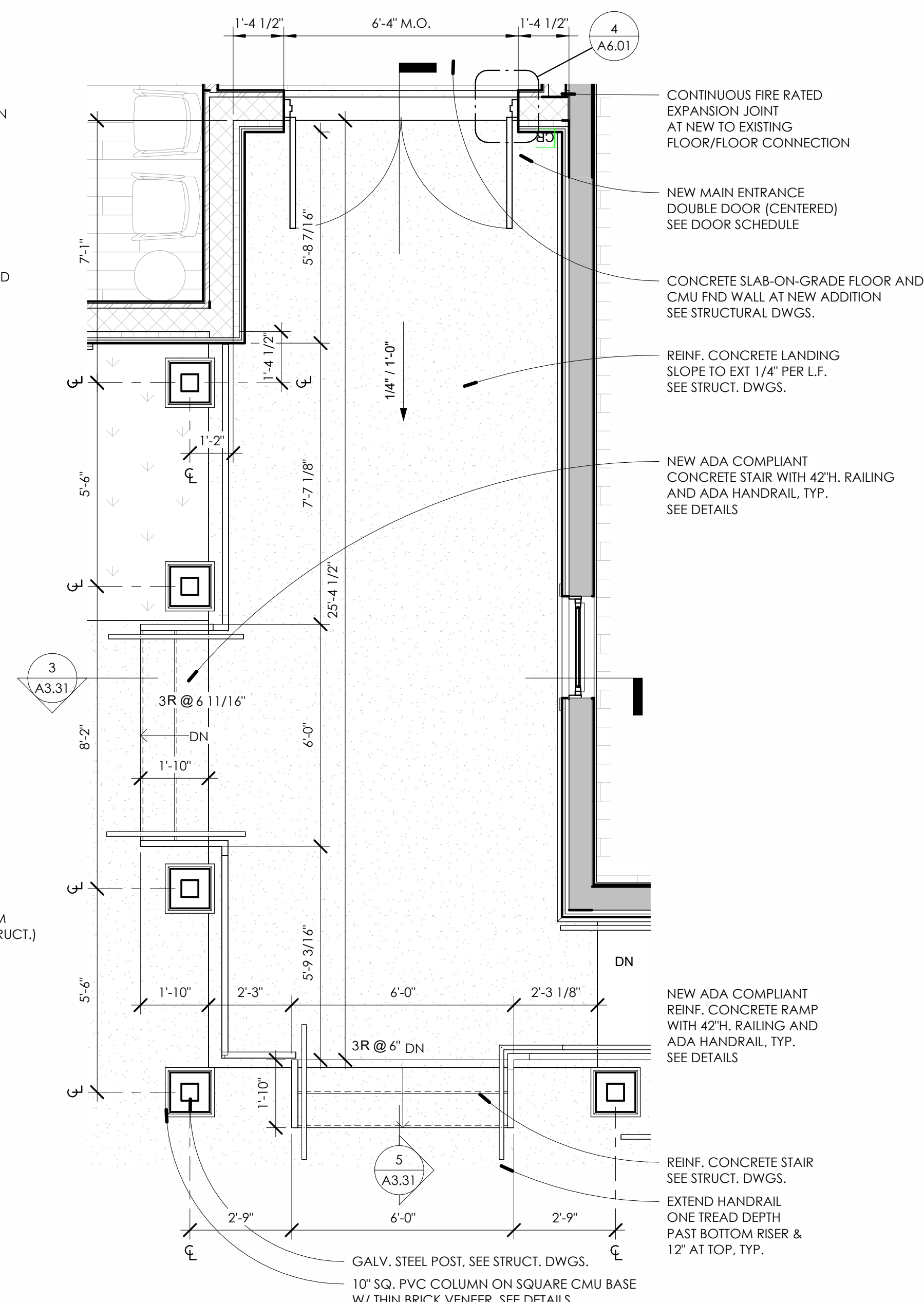
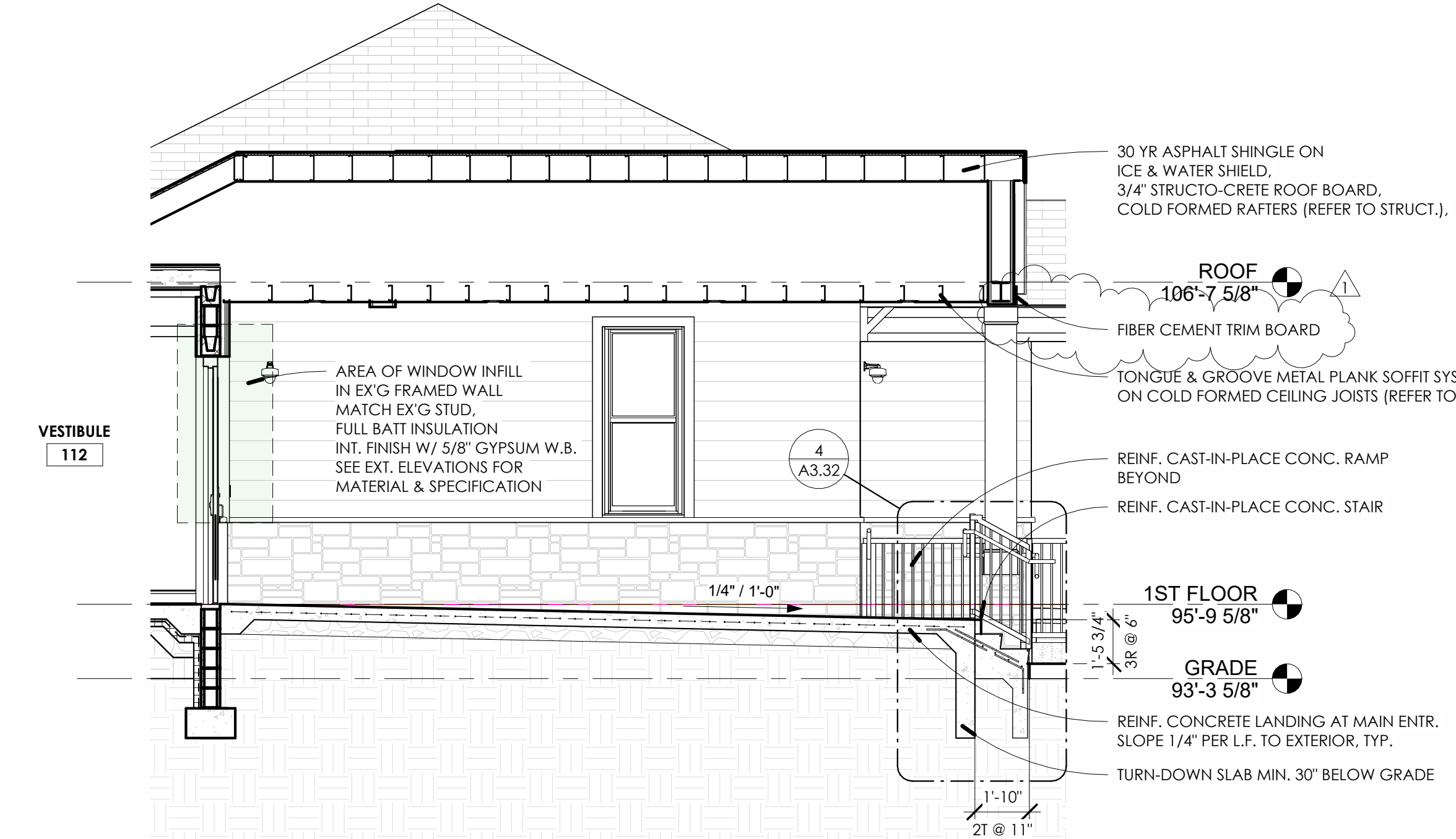
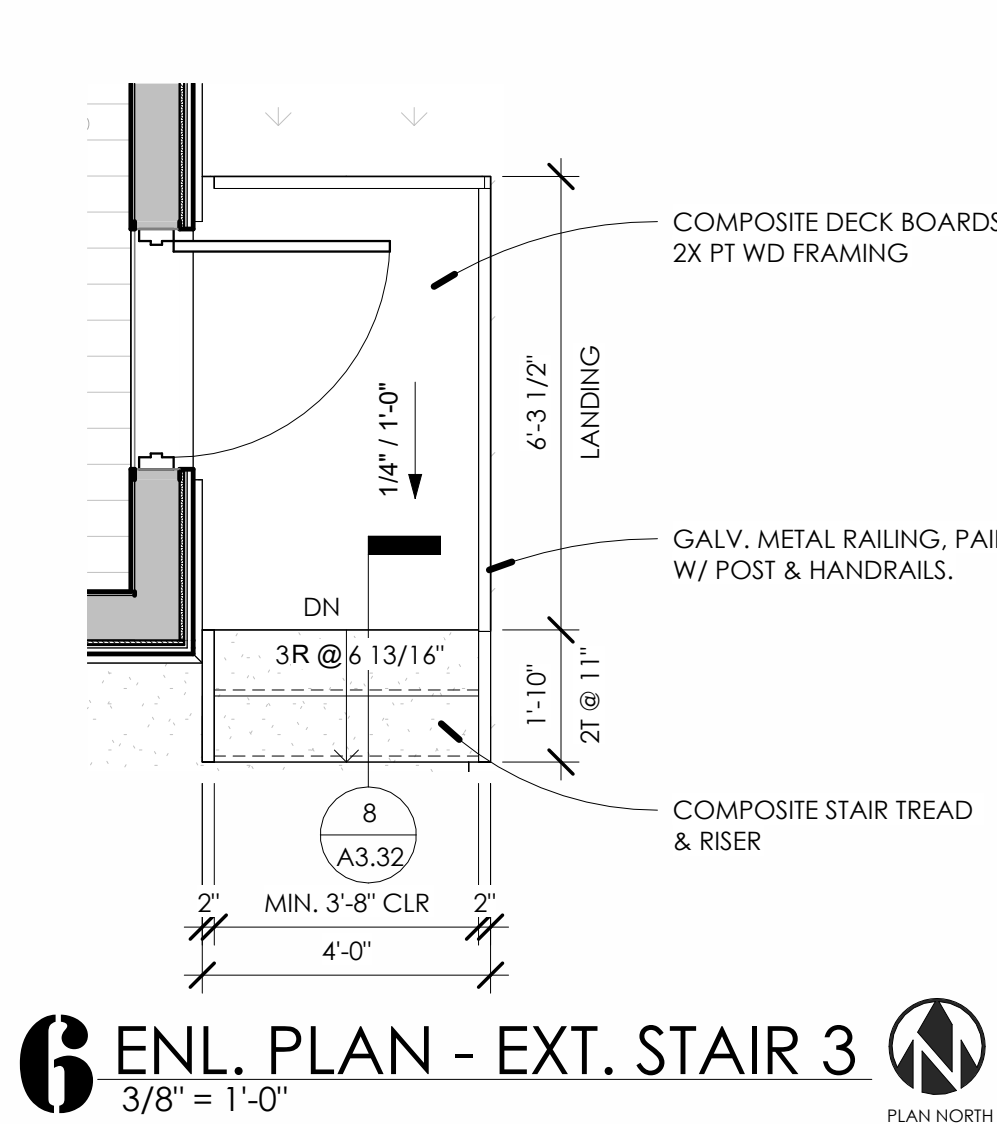
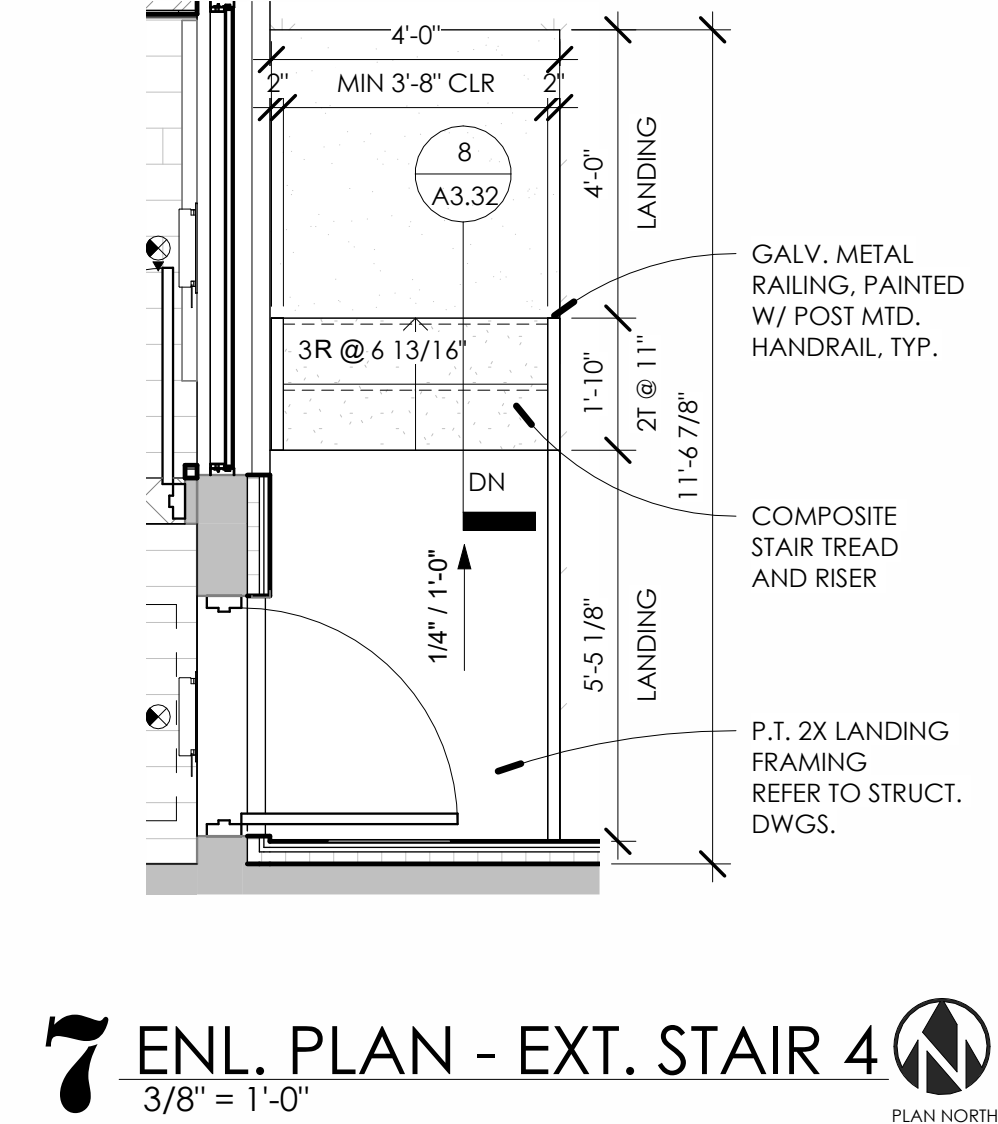
No.	Description	Date
1	ADDENDUM 1	07.24.26

**ENLARGED STAIR
PLANS & SECTIONS**

Scale As indicated
Drawn by AJS
Date 07.07.26

A3.31

Comission no. 25019M



3 SECTION AT EXT. STAIR 2-A
3/8" = 1'-0"

2 SECTION AT EXT. STAIR 1
3/8" = 1'-0"

1 ENL. PLAN - EXTERIOR STAIR 1
3/8" = 1'-0"

William C. McLees, AIA

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William C. McLees

William McLees Architecture, LLC

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ALTERATION / ADDITION
**MULLICA TOWNSHIP
GOVERNMENT
BUILDING**
4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

BID SET

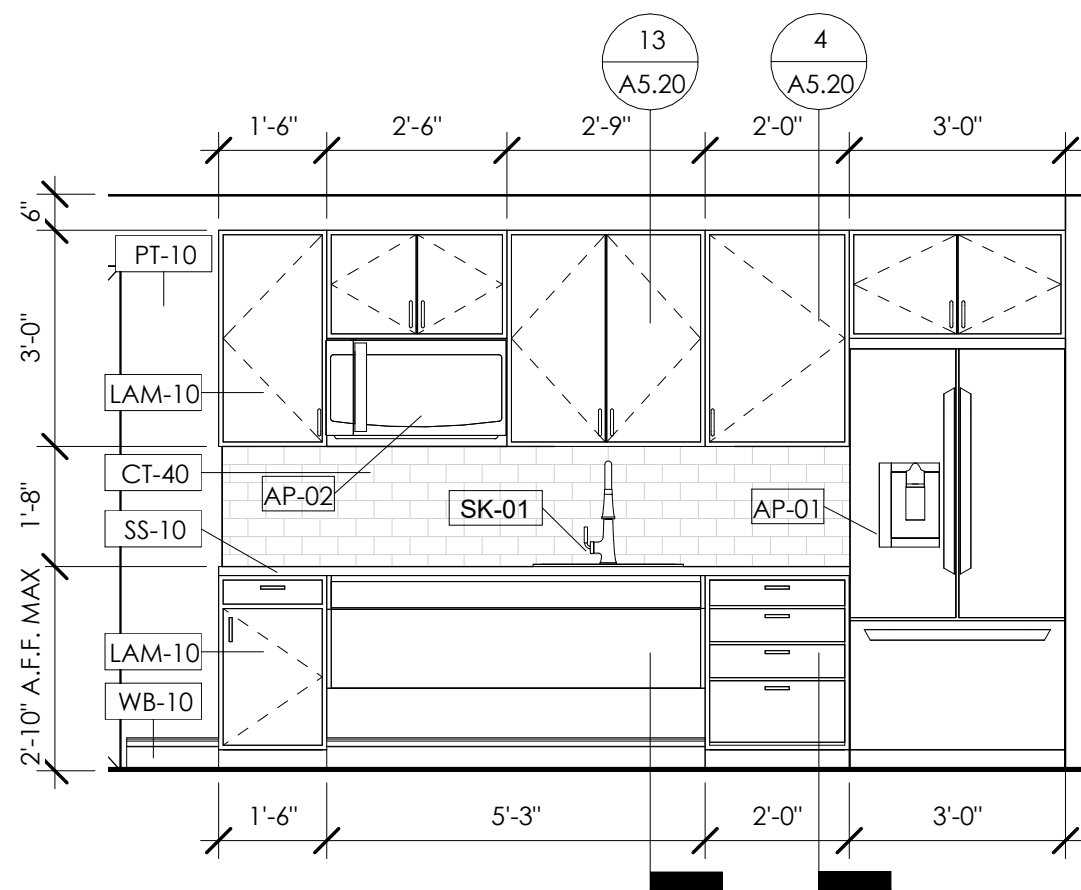
No.	Description	Date
1	ADDENDUM 1	07.24.26

**ENLARGED PLANS &
ELEVATIONS**

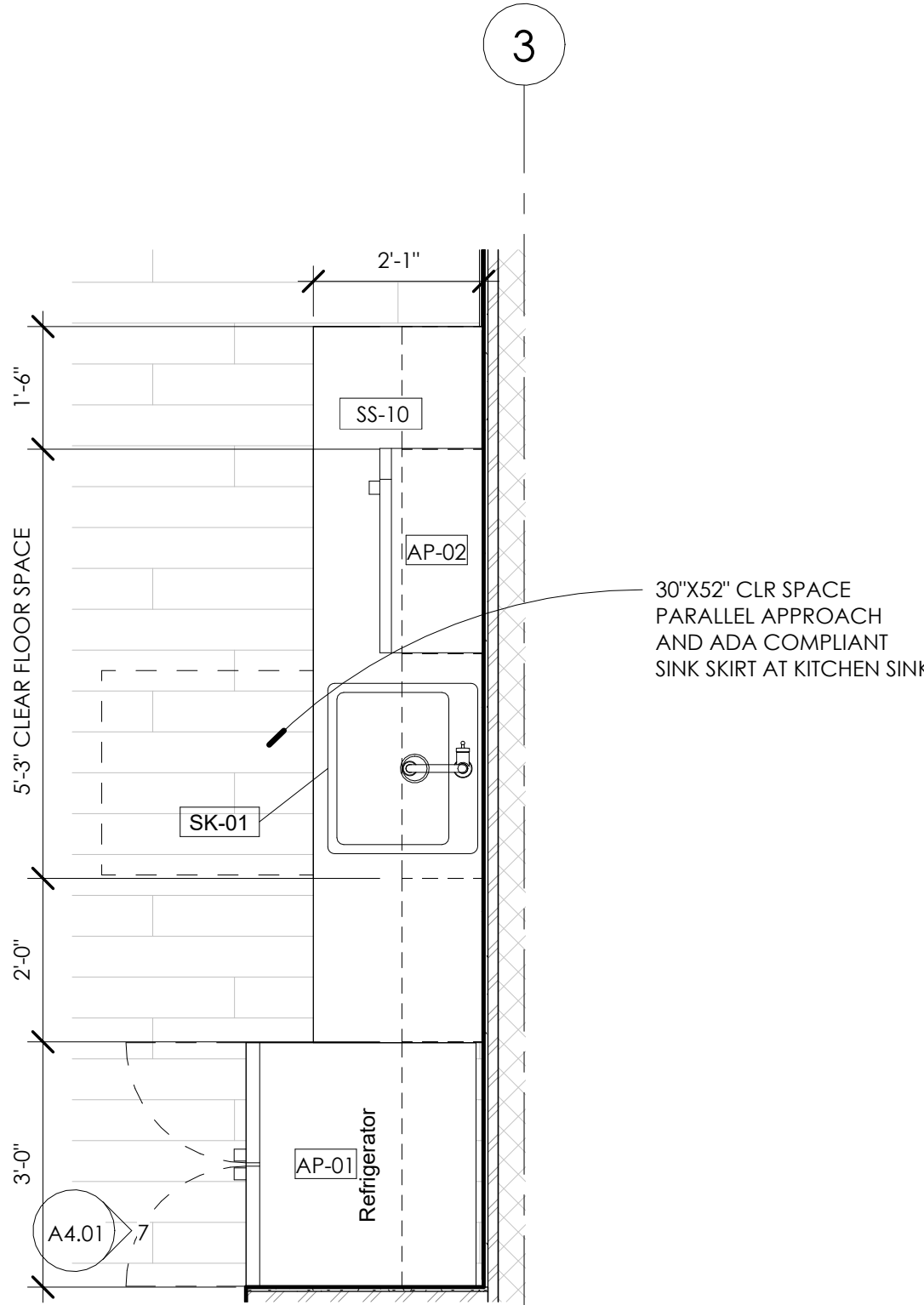
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Date 07.07.26

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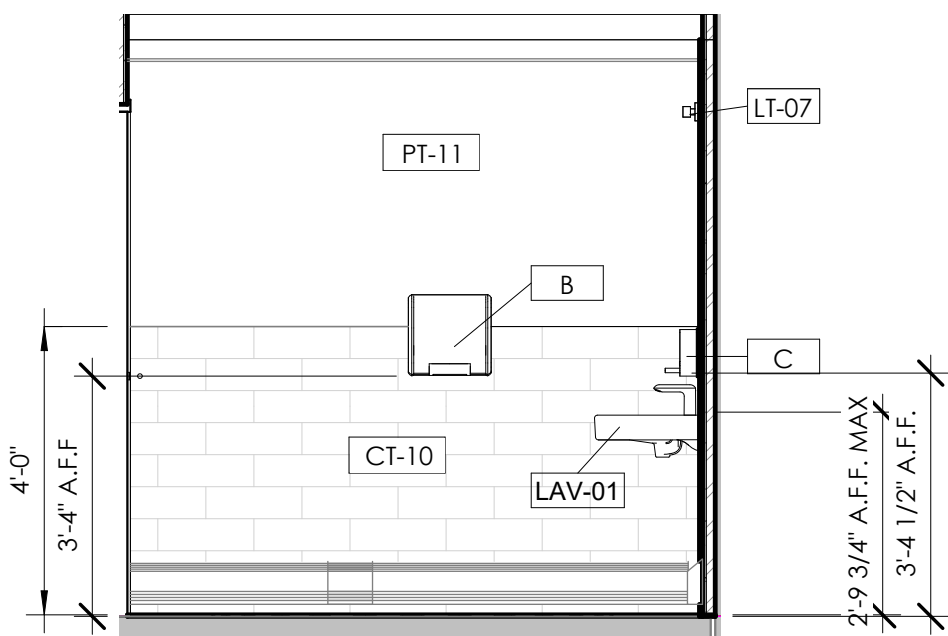
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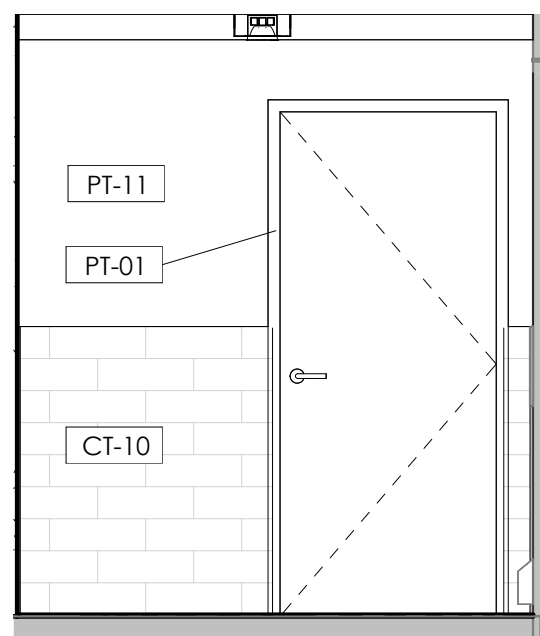
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3/8" = 1'-0"



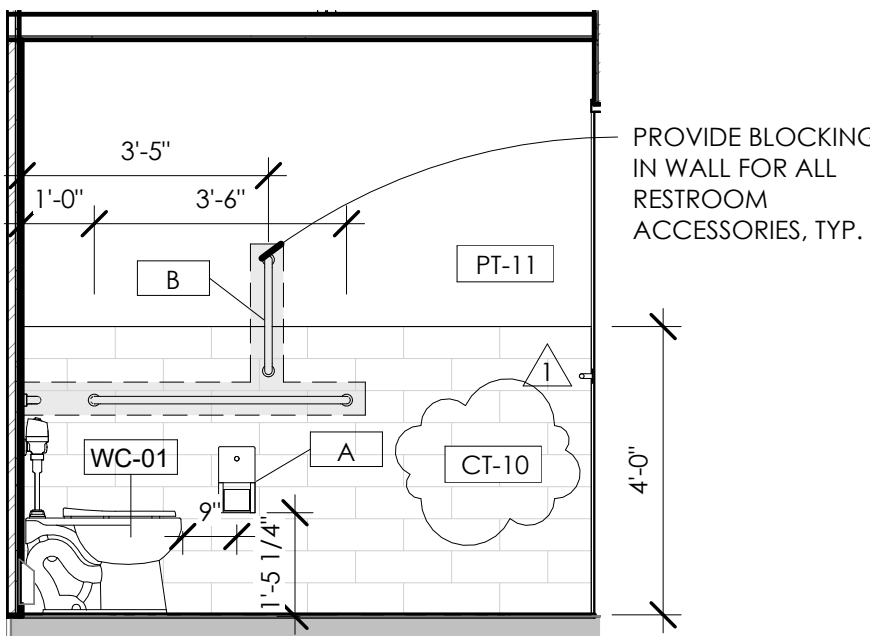
6 ENLARGED PLAN - BREAK RM
1/2" = 1'-0"



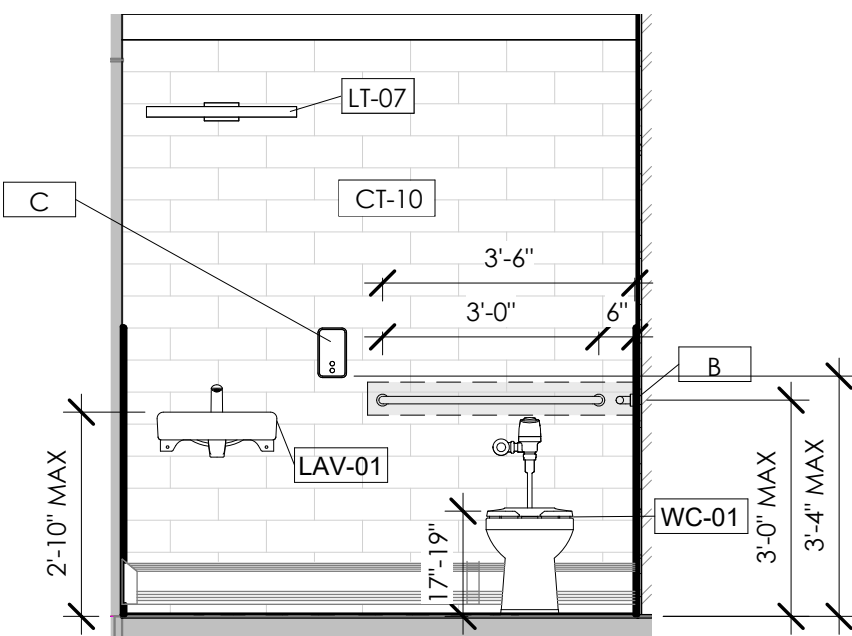
5 INT. ELEV. - LOBBY RR W
3/8" = 1'-0"



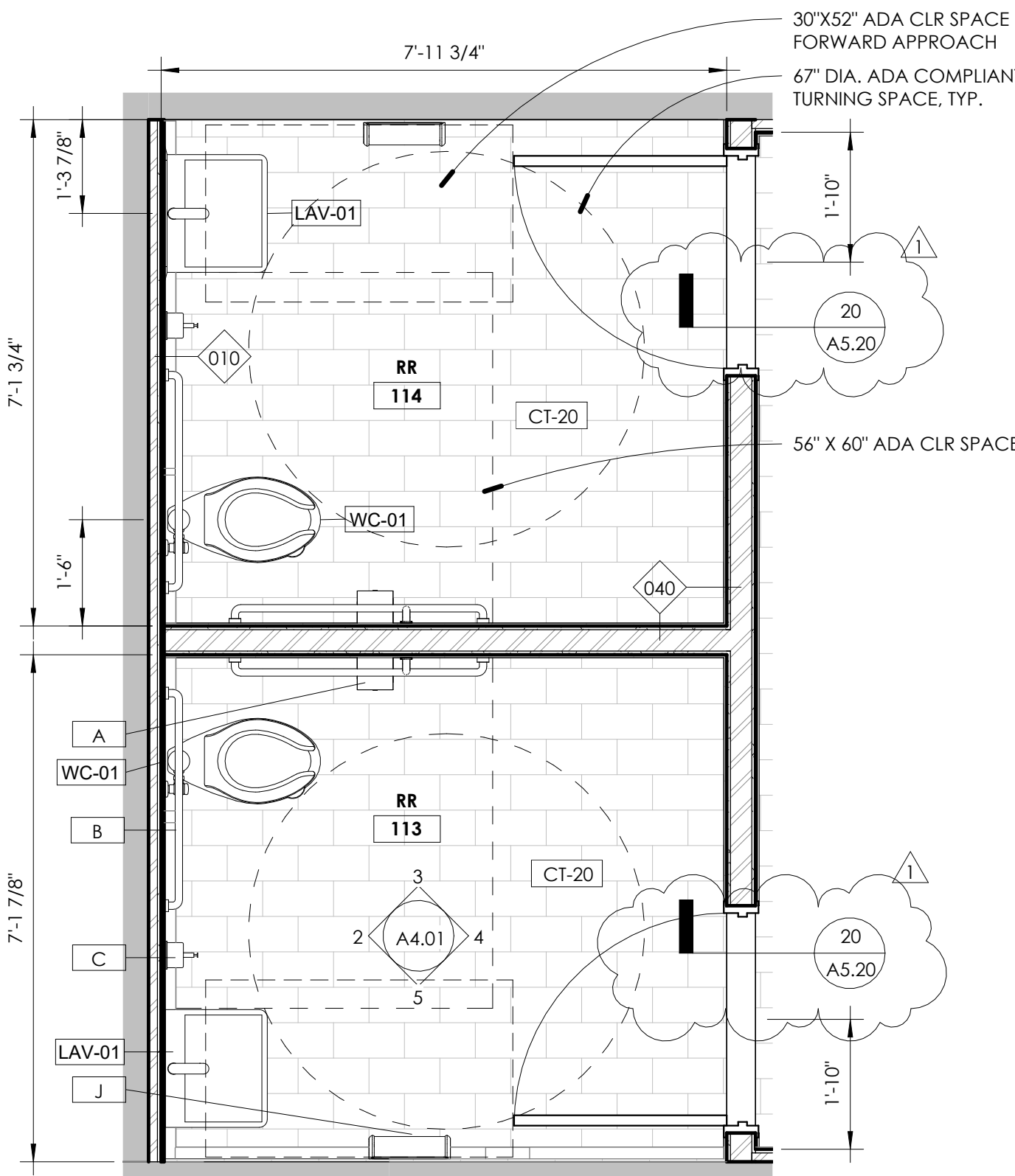
4 INT. ELEV. - LOBBY RR S
3/8" = 1'-0"



3 INT. ELEV. - LOBBY RR E
3/8" = 1'-0"



2 INT. ELEV. - LOBBY RR N.
3/8" = 1'-0"



1 ENLARGED PLAN - LOBBY RESTROOM
1/2" = 1'-0"





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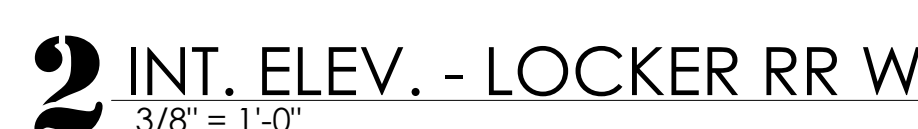
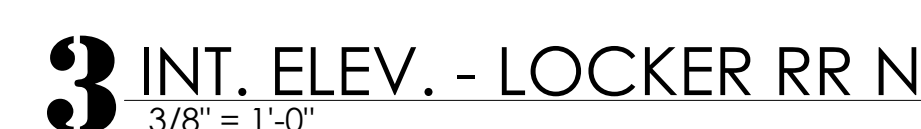
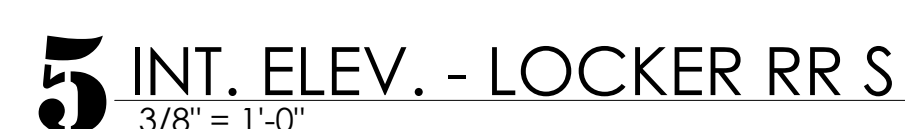
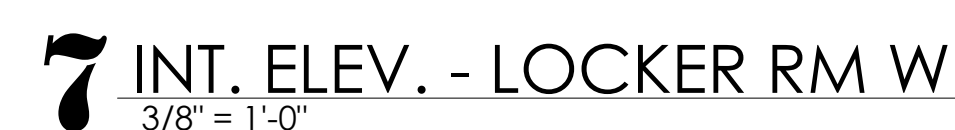
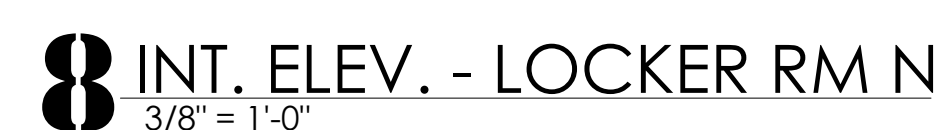
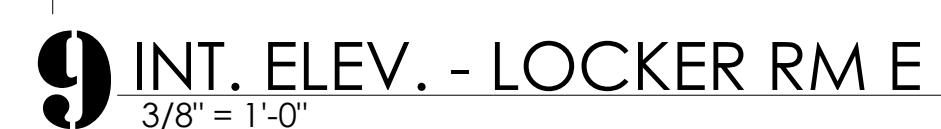
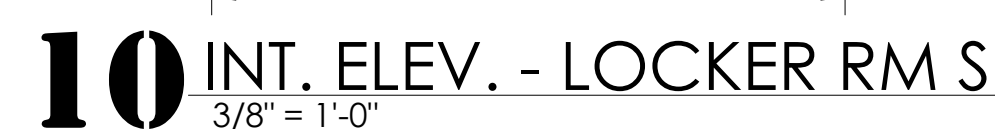
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ALTERATION / ADDITION
MULLICA TOWNSHIP
GOVERNMENT
BUILDING
4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

[illegible]

Scale	As indicated
Drawn by	AJ
Date	07.07.20

H	Comission no.	25019M
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Pennsylvania State License RA403479

William C. McLees

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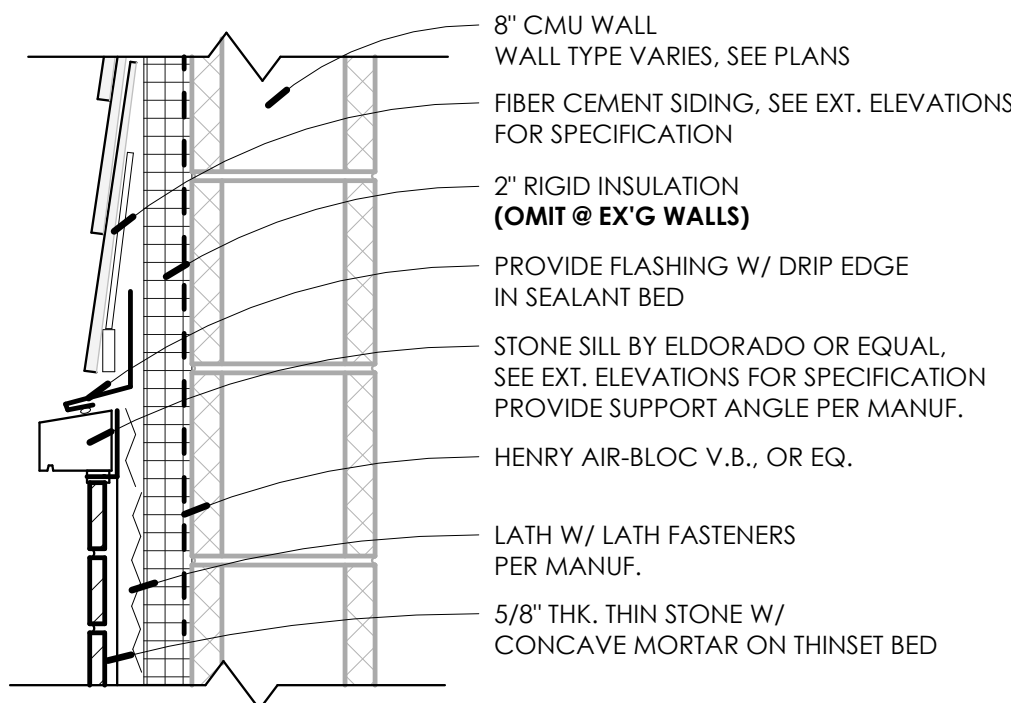
No.	Description	Date
1	ADDENDUM 1	07.24.26

DETAILS

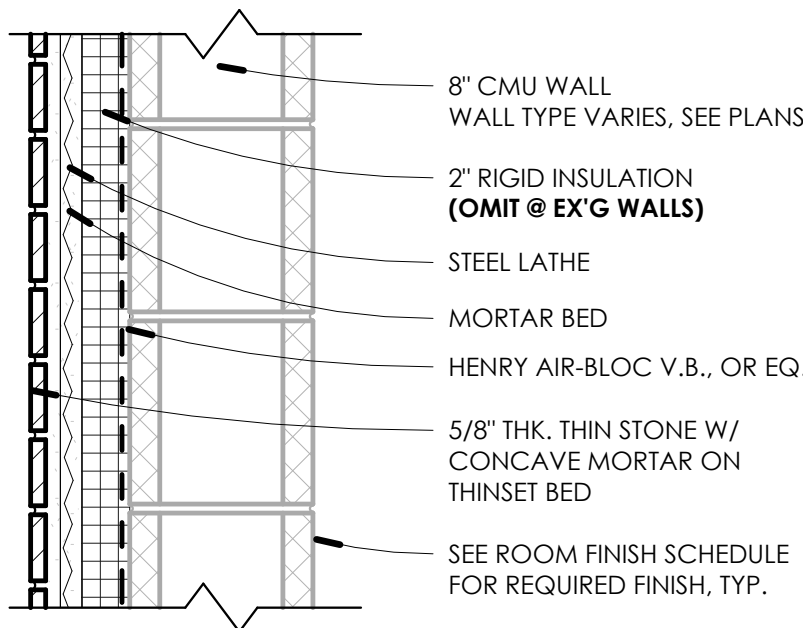
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Date 07.07.26

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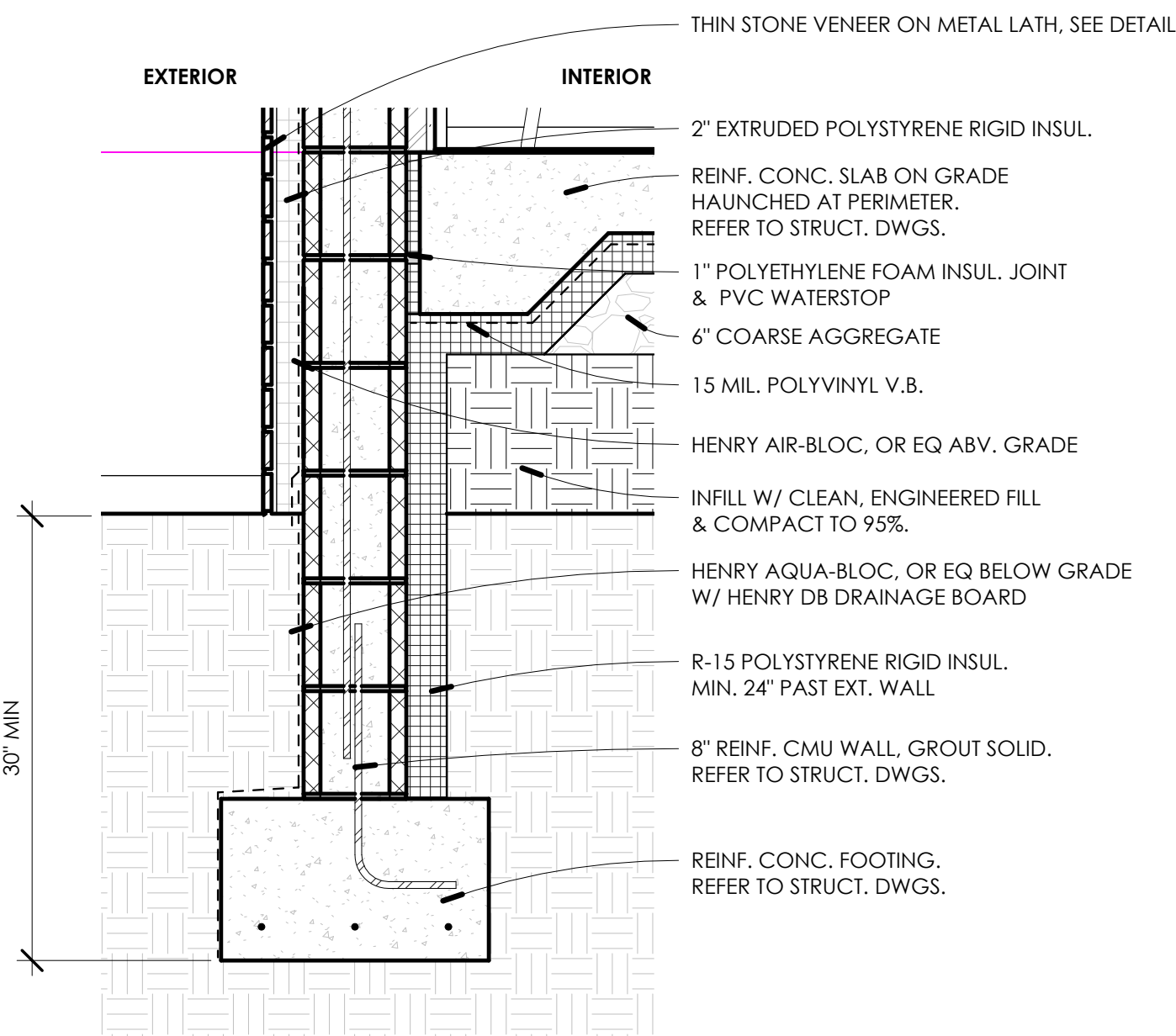
Comission no. 25019M



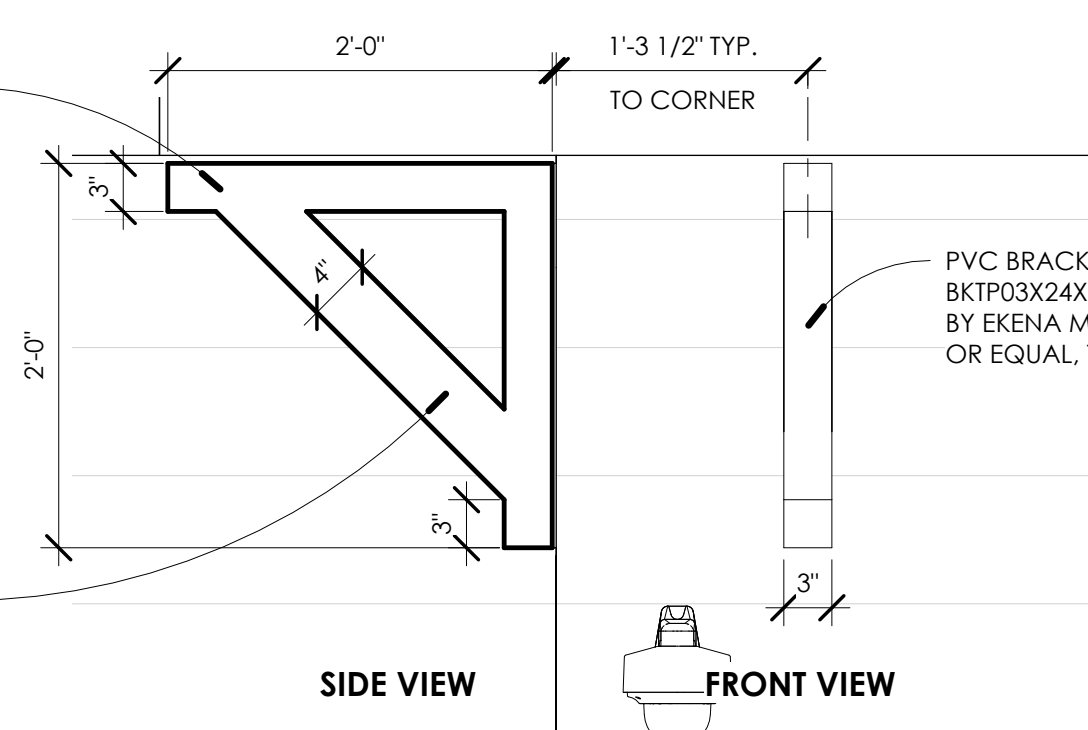
7 EXT. SIDING TRANSITION DETAIL
1 1/2" = 1'-0"



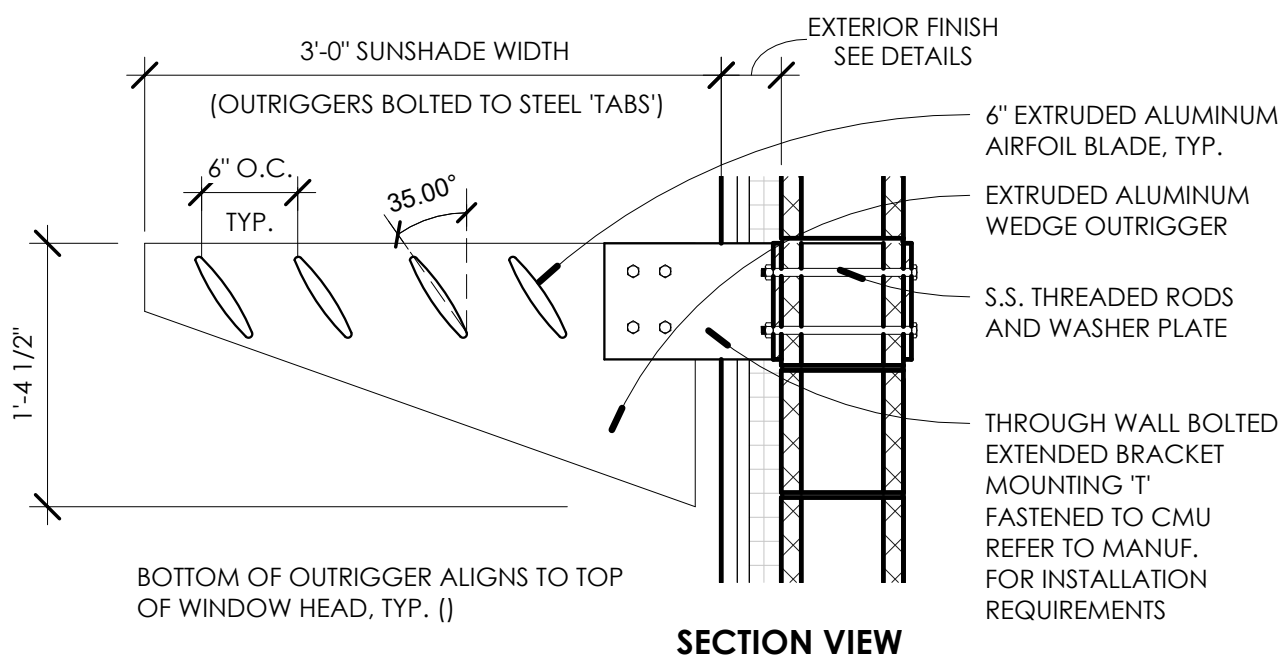
6 EXT. BRICK VENEER DETAIL
1 1/2" = 1'-0"



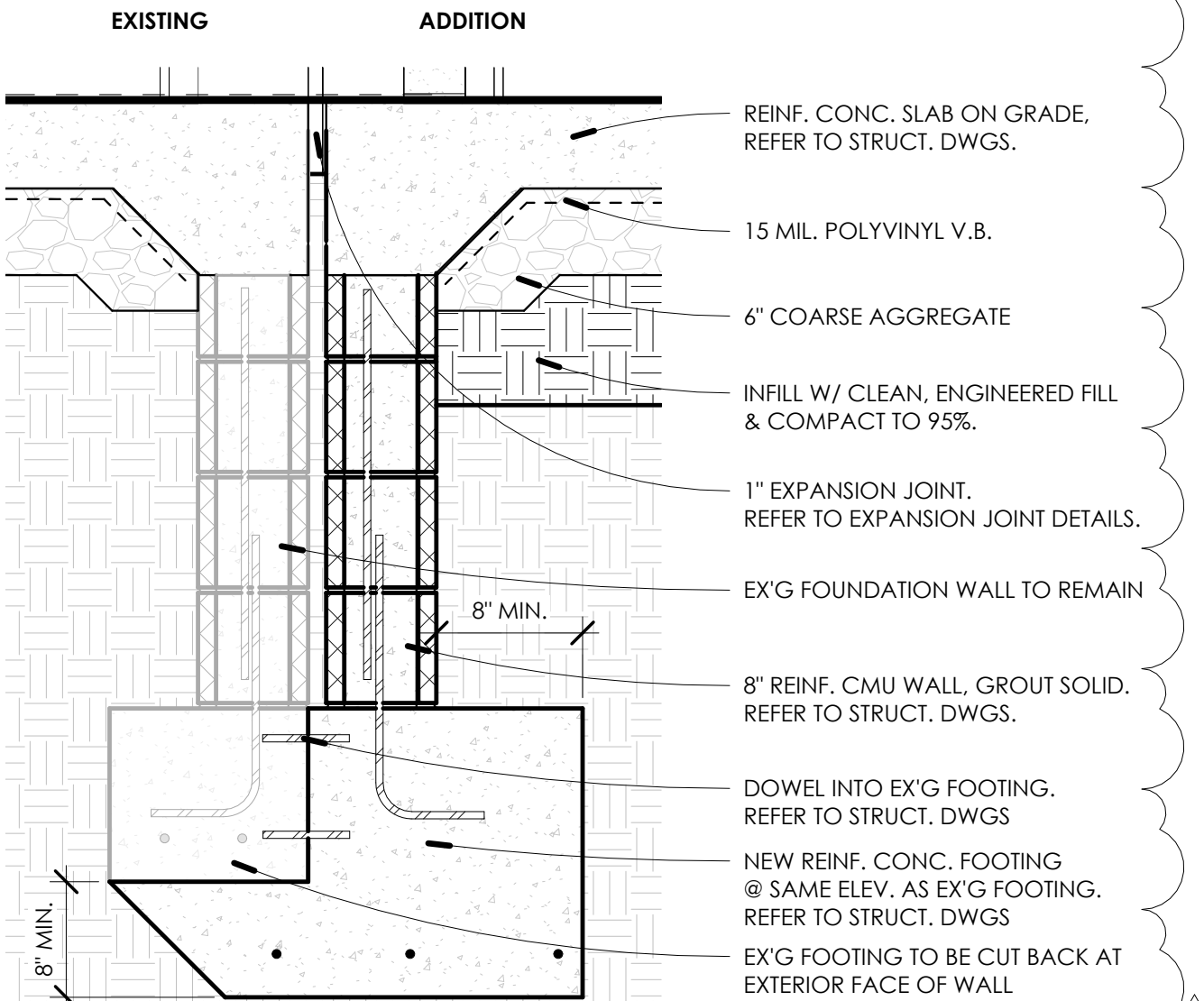
1 NEW FOOTING DETAIL
1" = 1'-0"



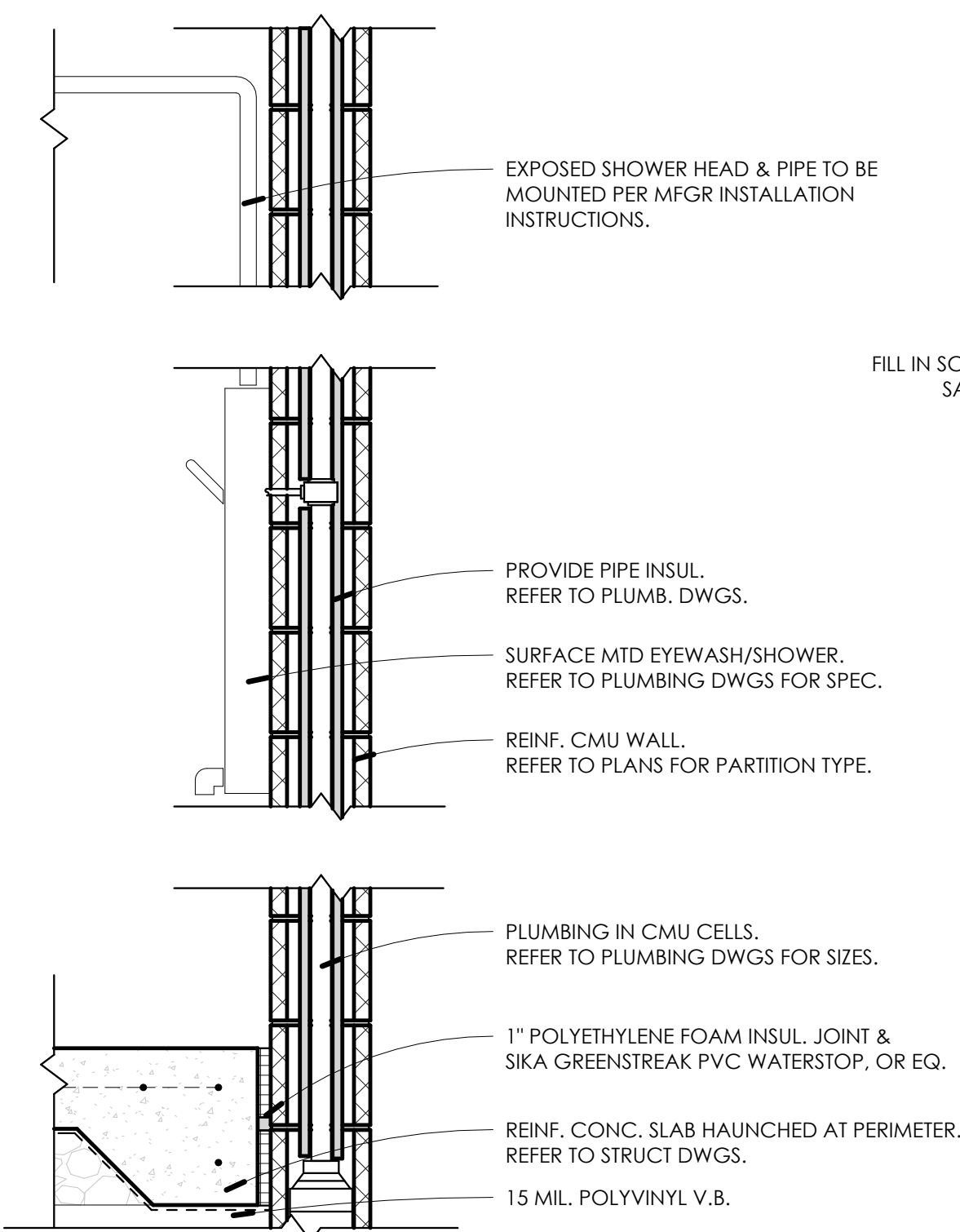
9 DETAIL AT BRACKET
1" = 1'-0"



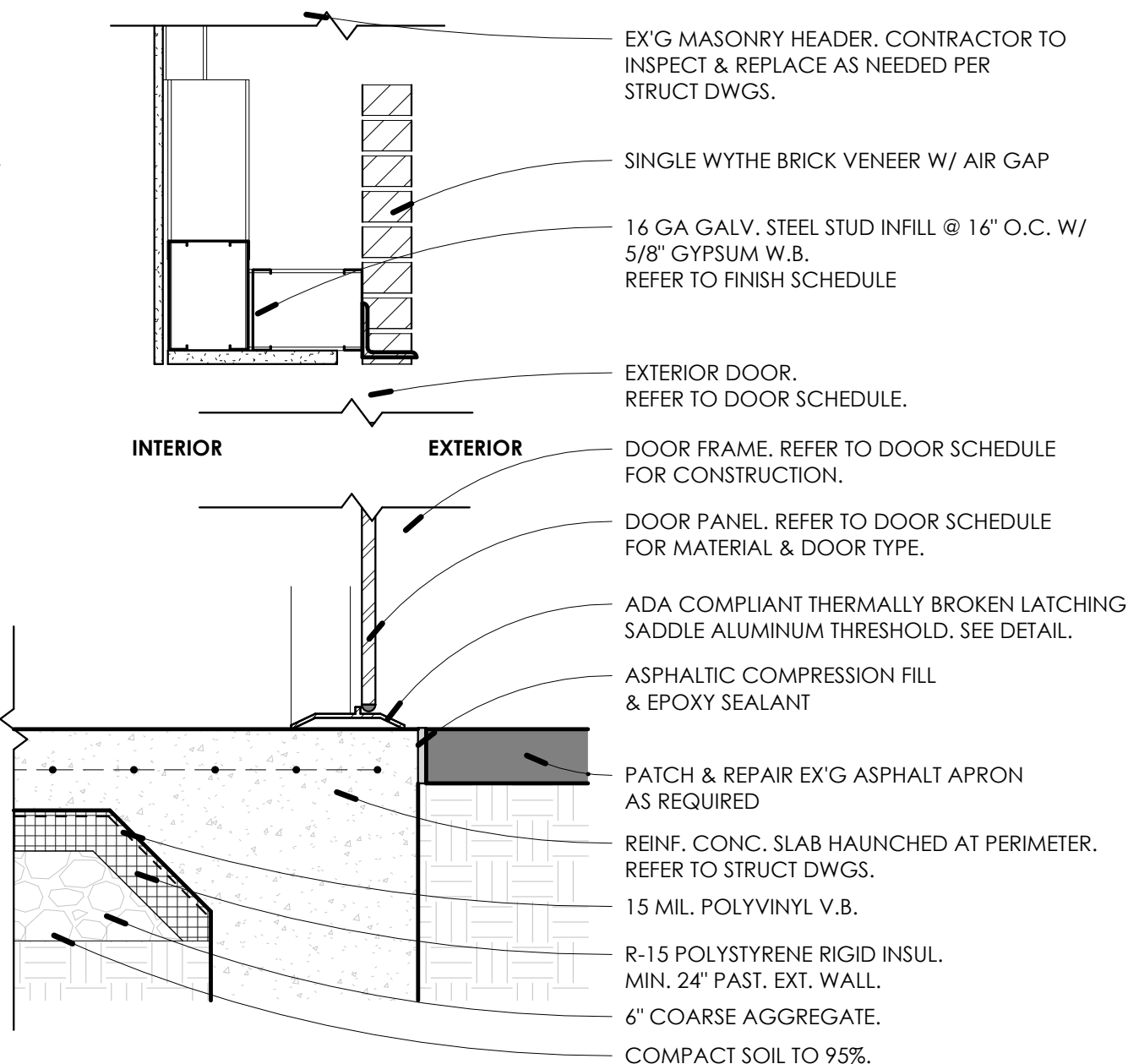
8 DETAIL AT SUNSHADE
1" = 1'-0"



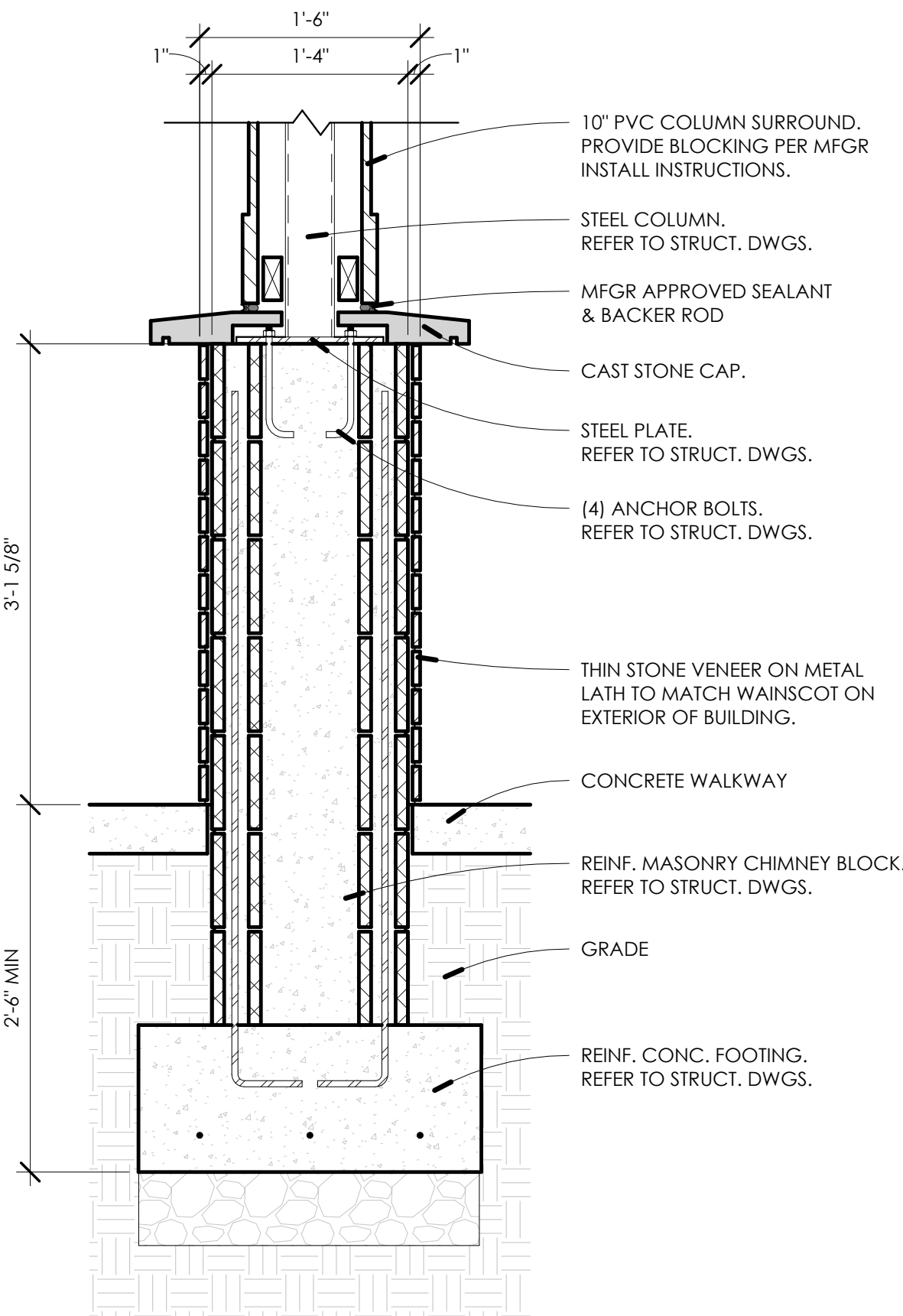
2 NEW/EX'G FOOTING DETAIL
1" = 1'-0"



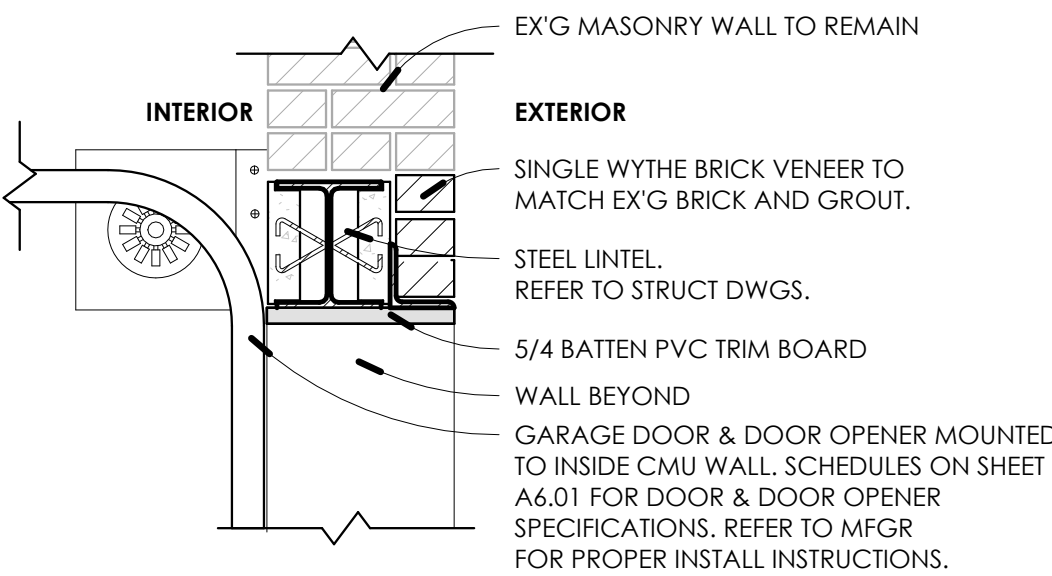
10 SALLYPORT SHOWER WALL DETAIL
1" = 1'-0"



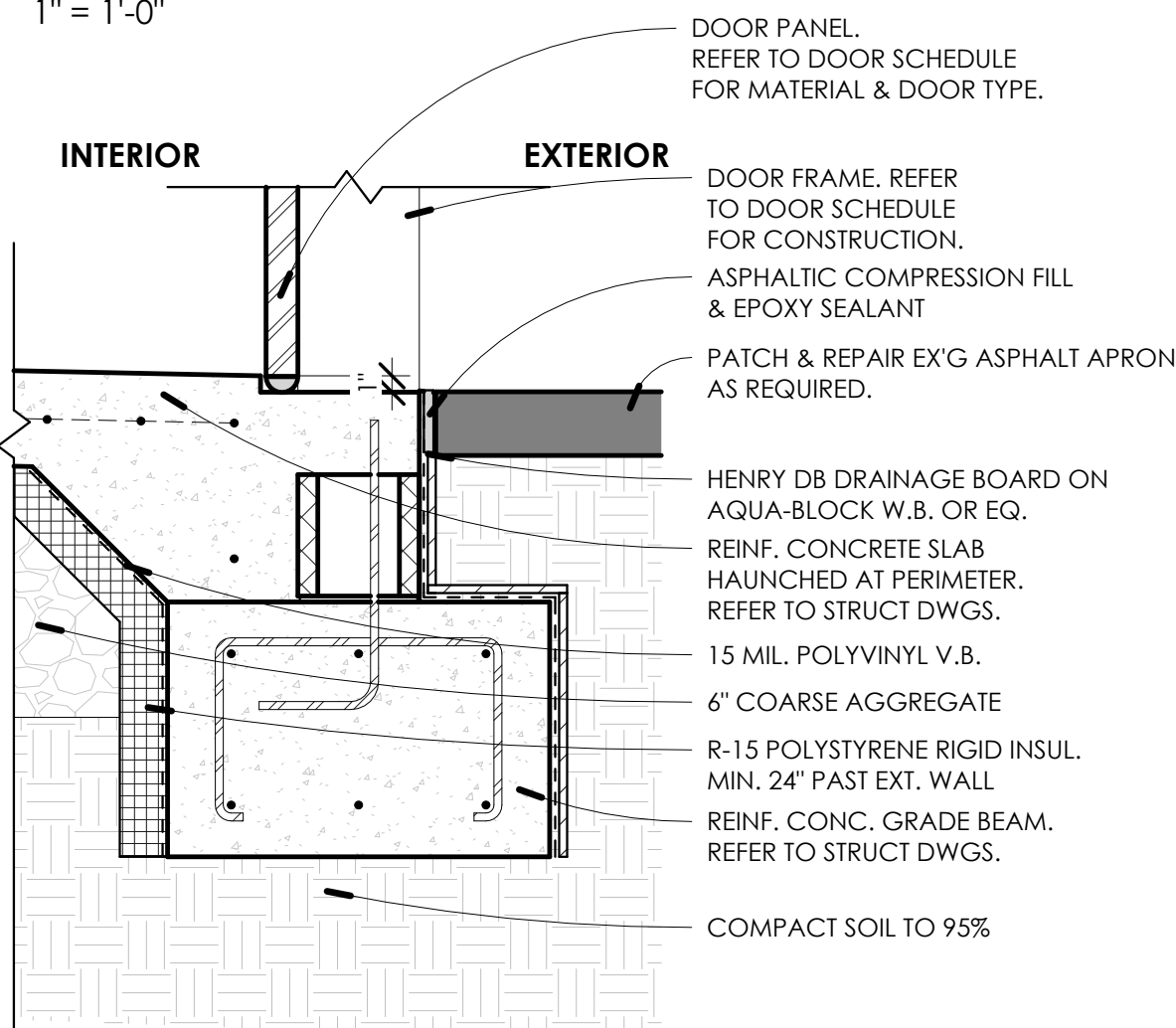
3 SECTION AT NEW DOOR IN EX'G WALL
1" = 1'-0"



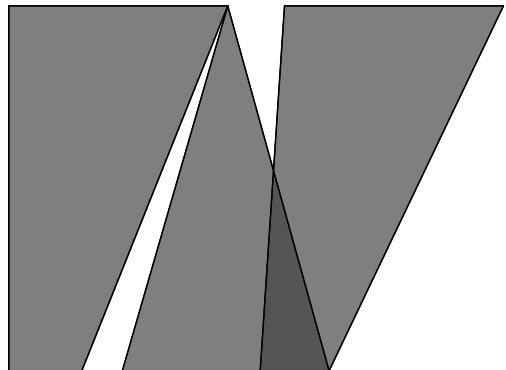
11 TYP. COLUMN DETAIL
1" = 1'-0"



5 GARAGE DOOR DETAIL AT EX'G WALL
1" = 1'-0"



4 GARAGE DOOR FOOTING DETAIL
1" = 1'-0"



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21AC00055500

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ALTERATION / ADDITION
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GOVERNMENT
BUILDING
4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

BID SET

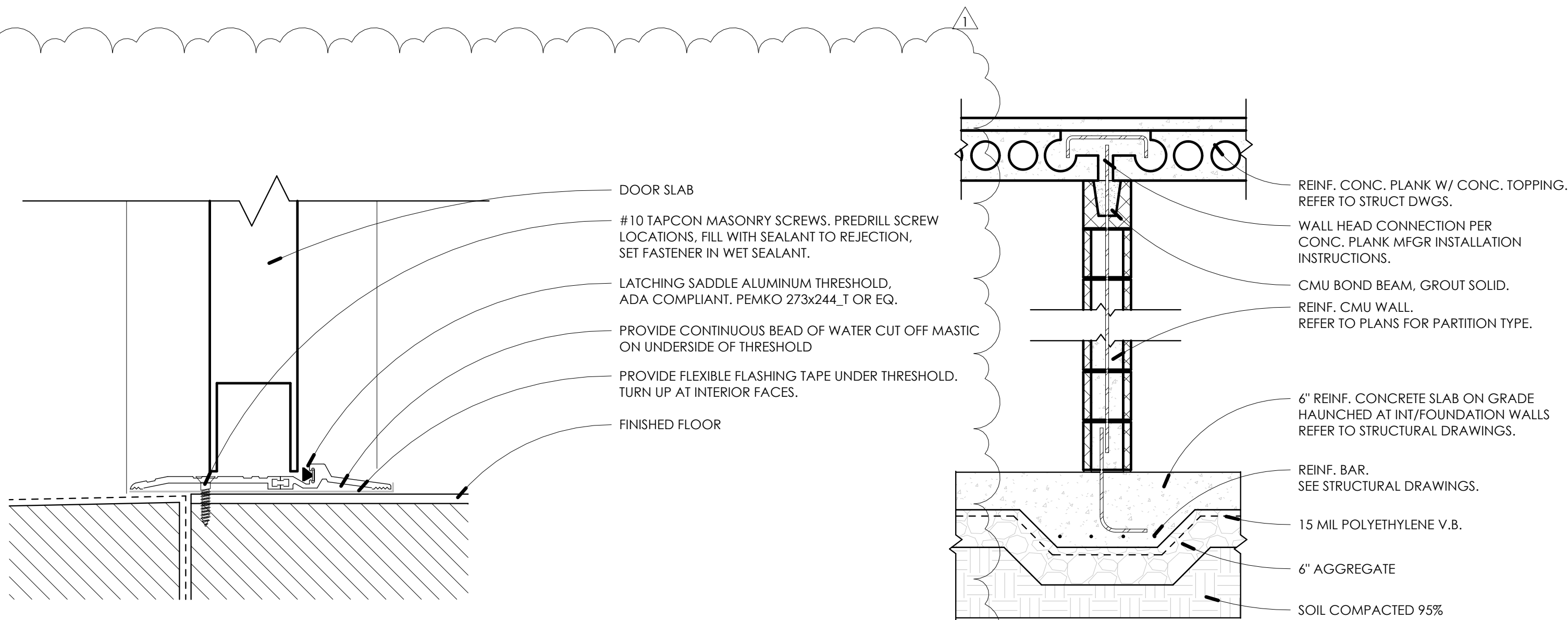
No.	Description	Date
1	ADDENDUM 1	07.24.26

DETAILS

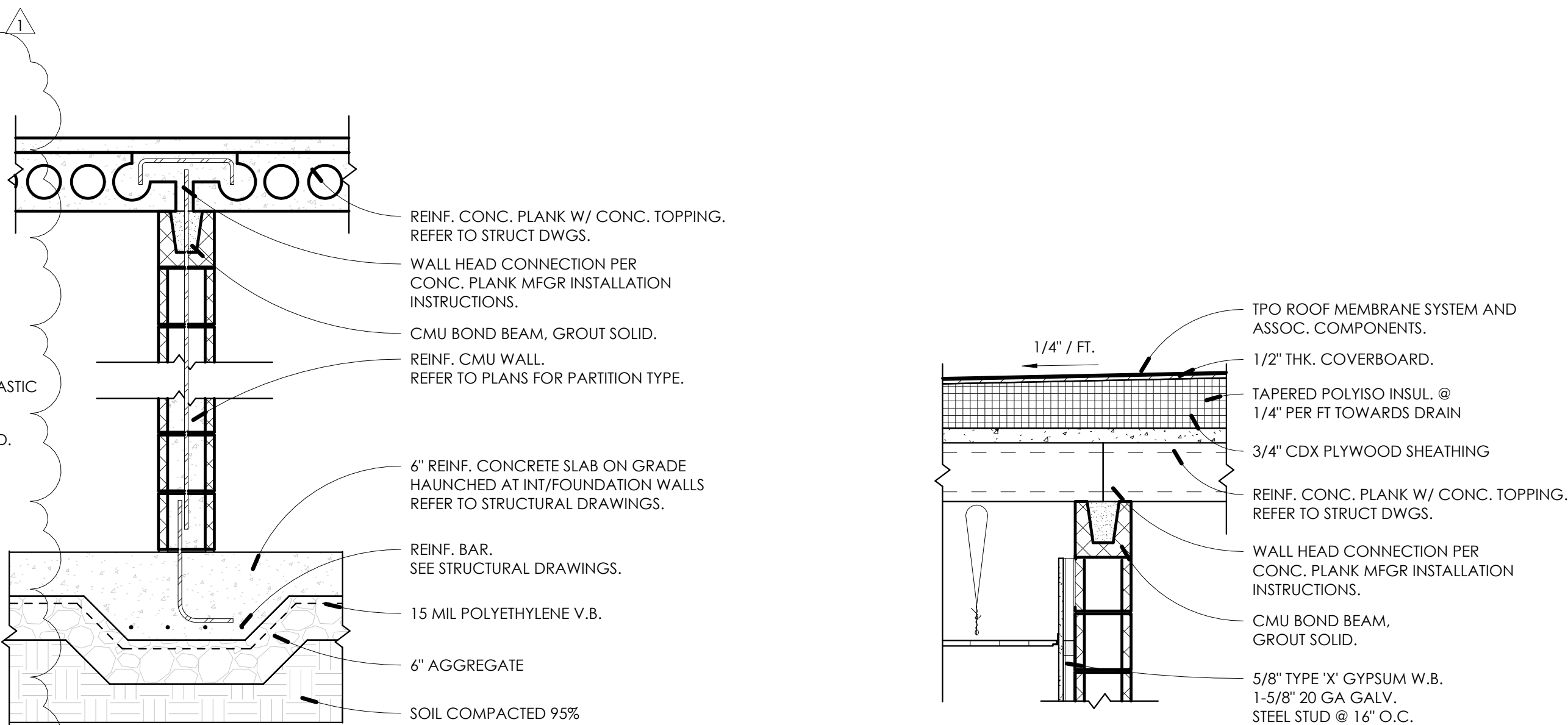
Scale	As indicated
Drawn by	WSZ
Date	07.07.26
Comision no.	25019M

A5.11

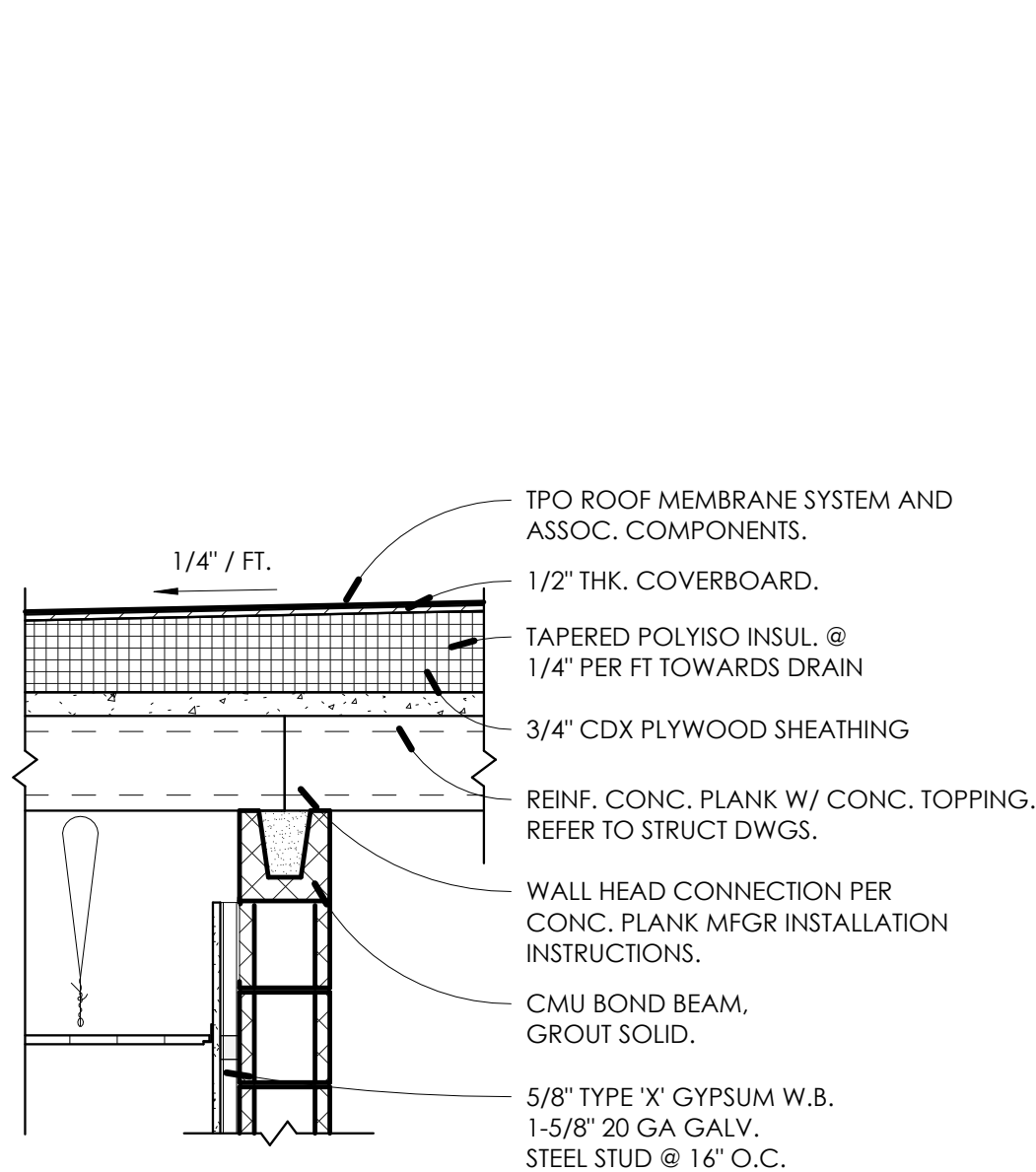
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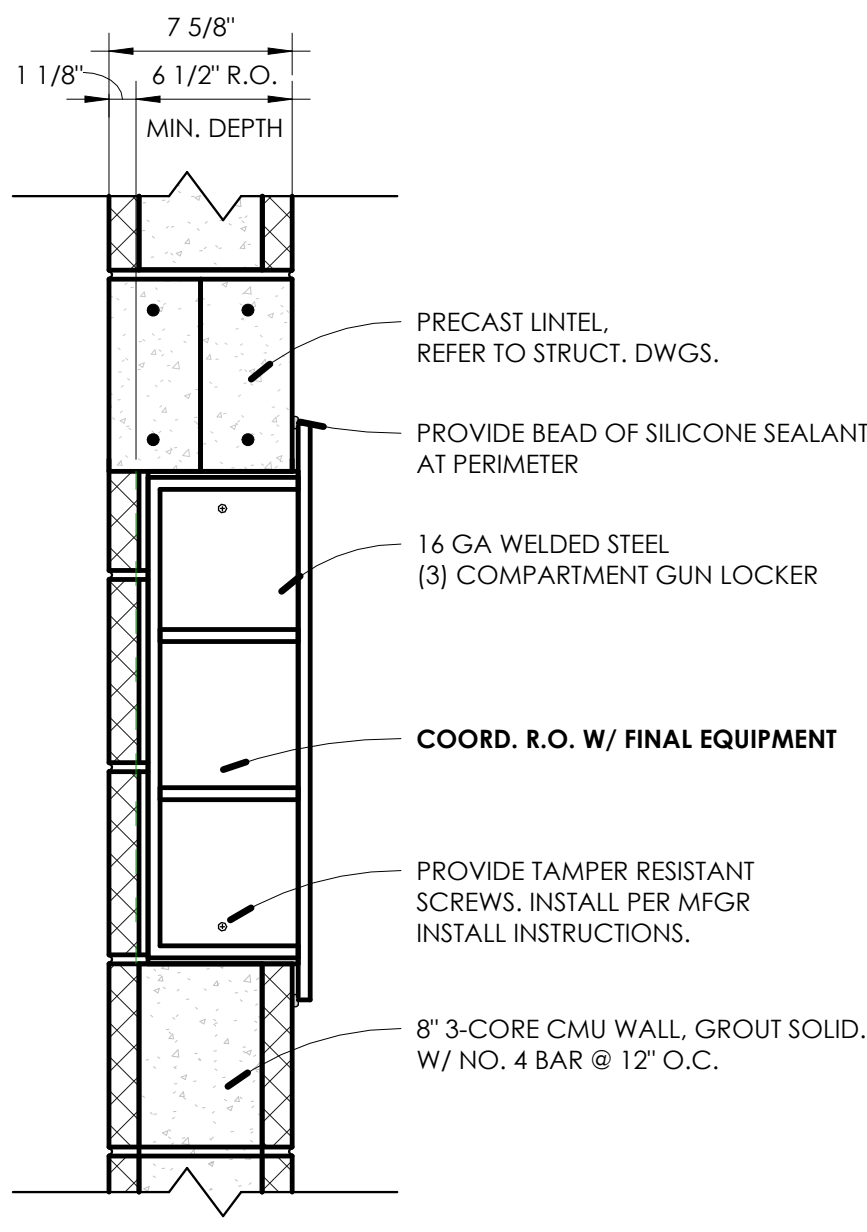
4 EXT. THRESHOLD DETAIL
6" = 1'-0"



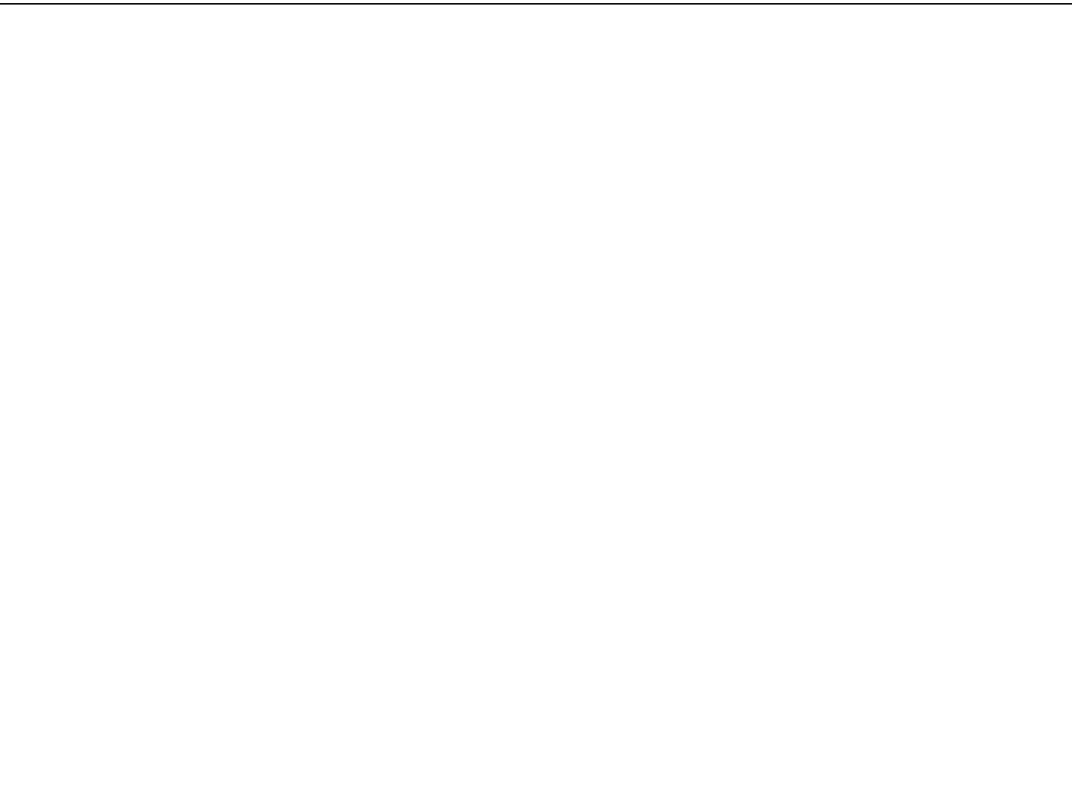
3 PRECAST DETAIL AT INTERIOR CMU WALL
3/4" = 1'-0"



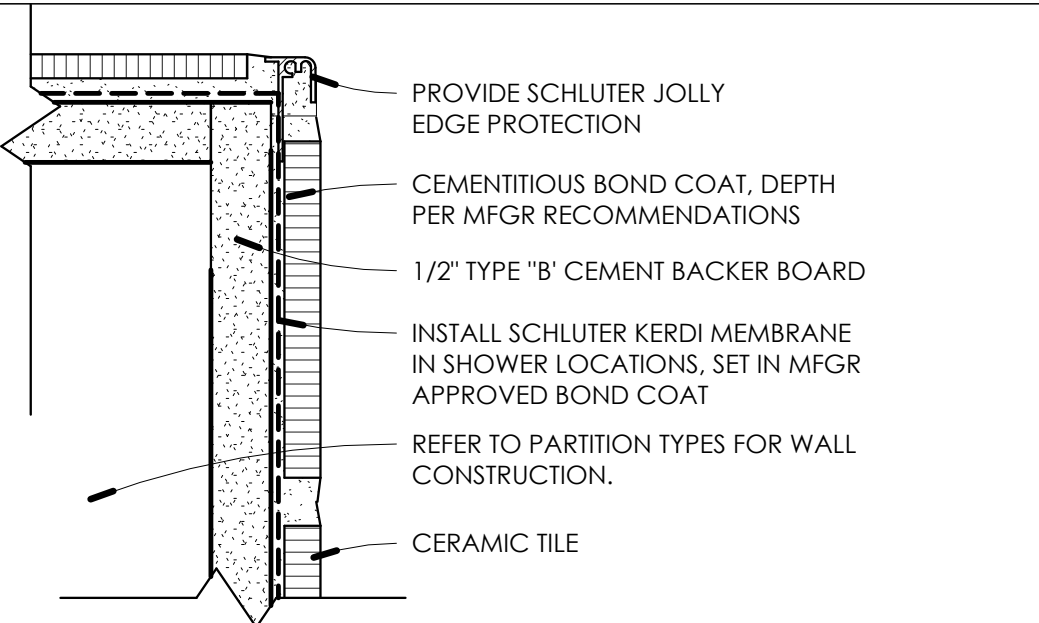
2 PRECAST DETAIL AT ROOF BEARING
3/4" = 1'-0"



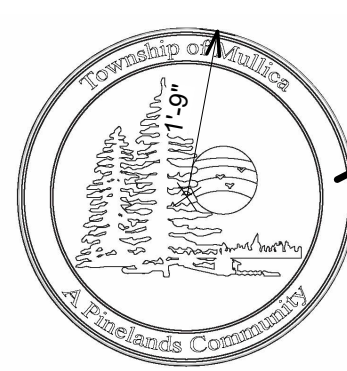
1 HANDGUN LOCKER DETAIL
1 1/2" = 1'-0"



20 INT. THRESHOLD DETAIL
6" = 1'-0"



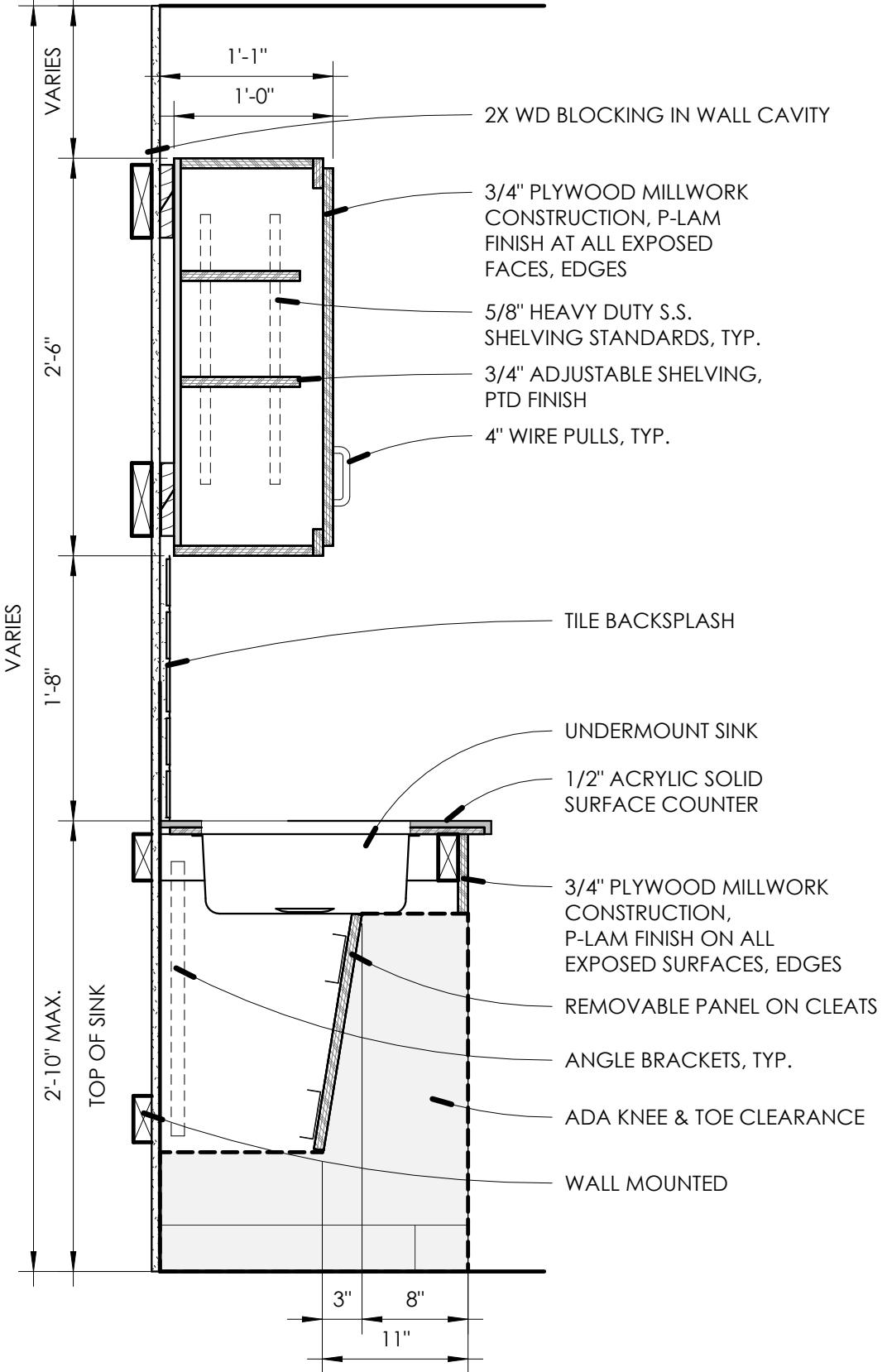
19 TILE DETAIL - OUTSIDE CORNER
6" = 1'-0"



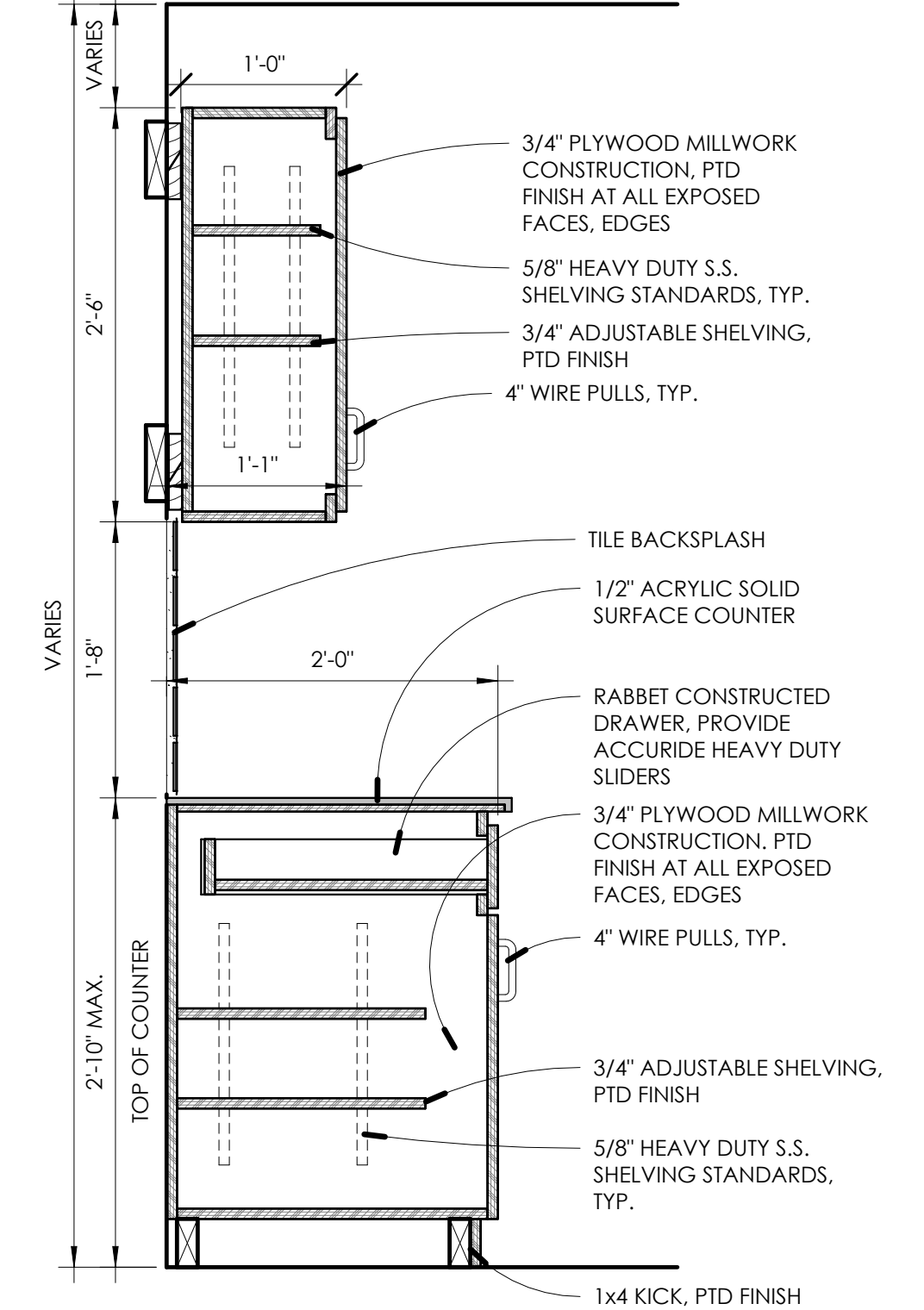
PROVIDE WD CUT SIGN TO MATCH WALL VENEER. SIGN TO CONTAIN COURT ROOM SEAL.

FINAL ARTWORK TO BE OBTAINED FROM THE CITY OF SIMILAR DESIGN.

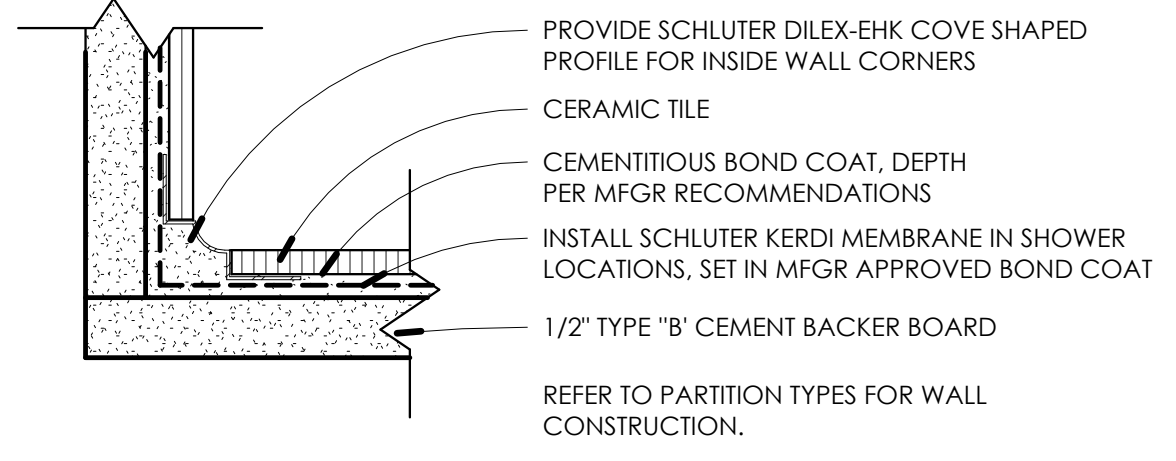
18 INT. SEAL DETAIL
1/2" = 1'-0"



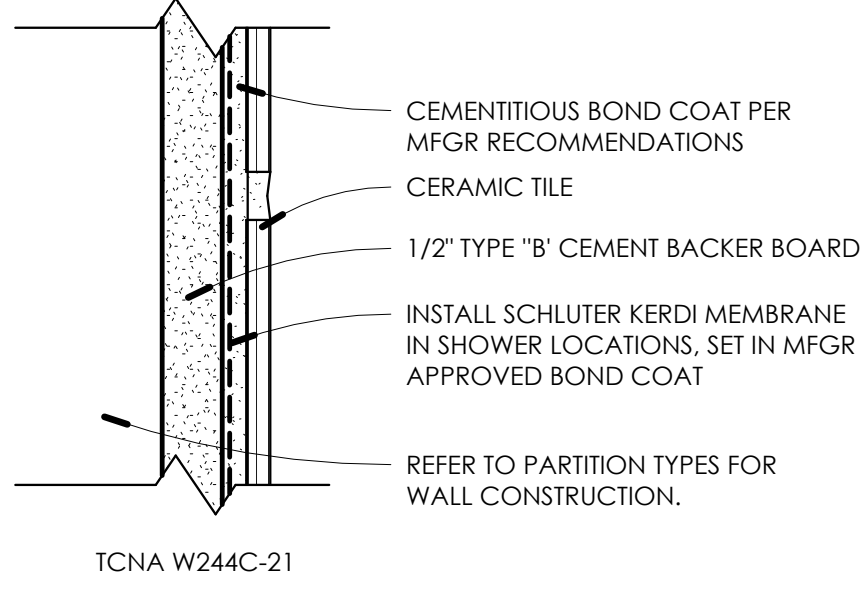
13 ADA COUNTER DETAIL
1" = 1'-0"



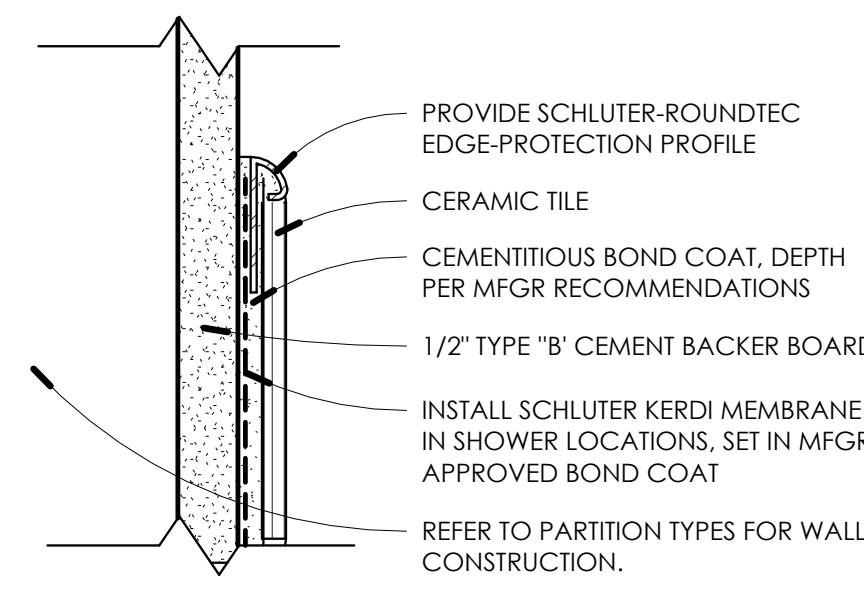
4 MILLWORK DETAIL
1" = 1'-0"



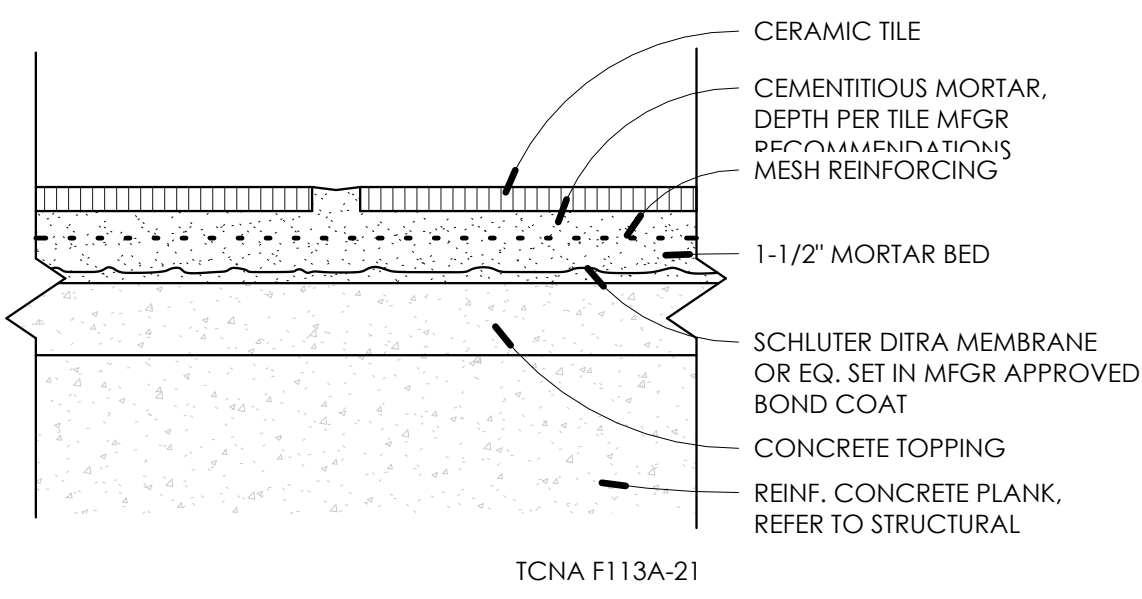
17 TILE DETAIL - INSIDE CORNER
6" = 1'-0"



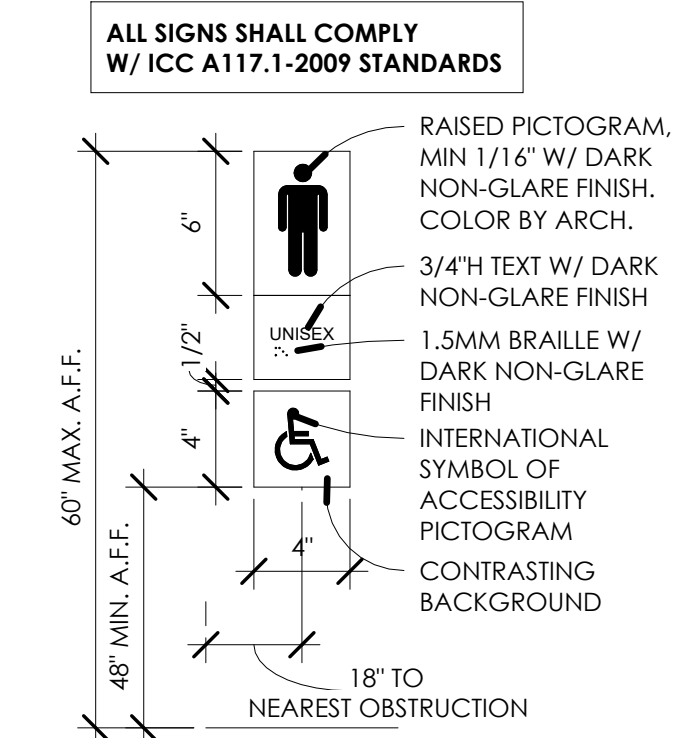
16 TILE DETAIL - WALL
6" = 1'-0"



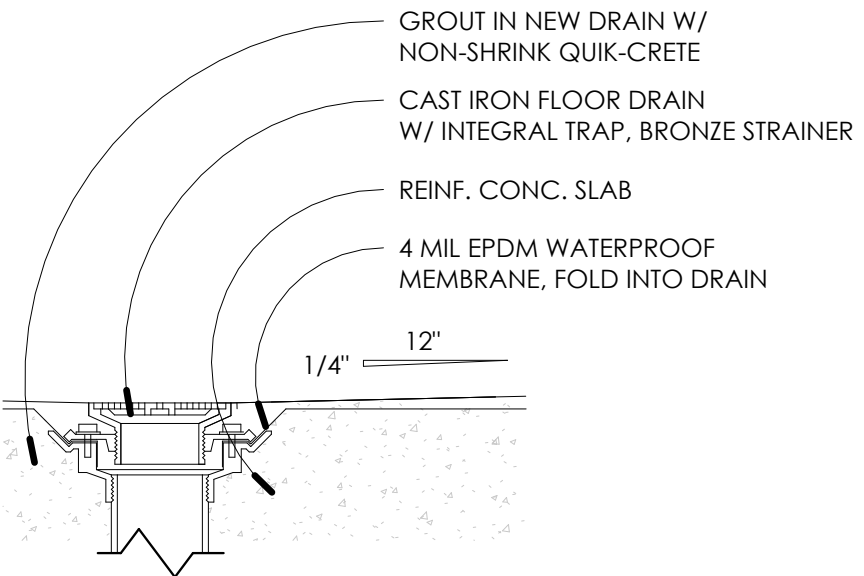
15 TILE DETAIL - WALL CAP
6" = 1'-0"



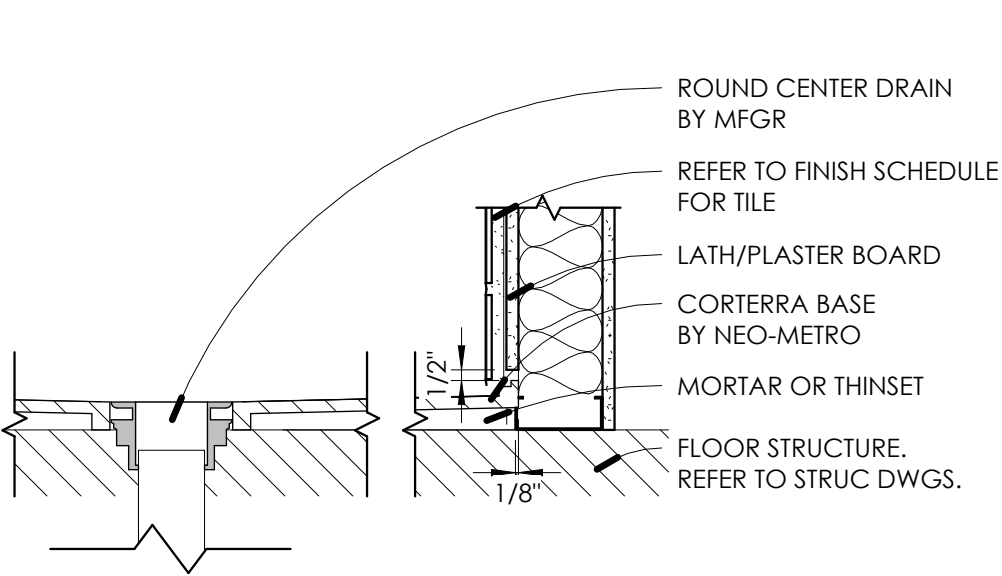
14 TILE DETAIL - CONCRETE FLOOR
6" = 1'-0"



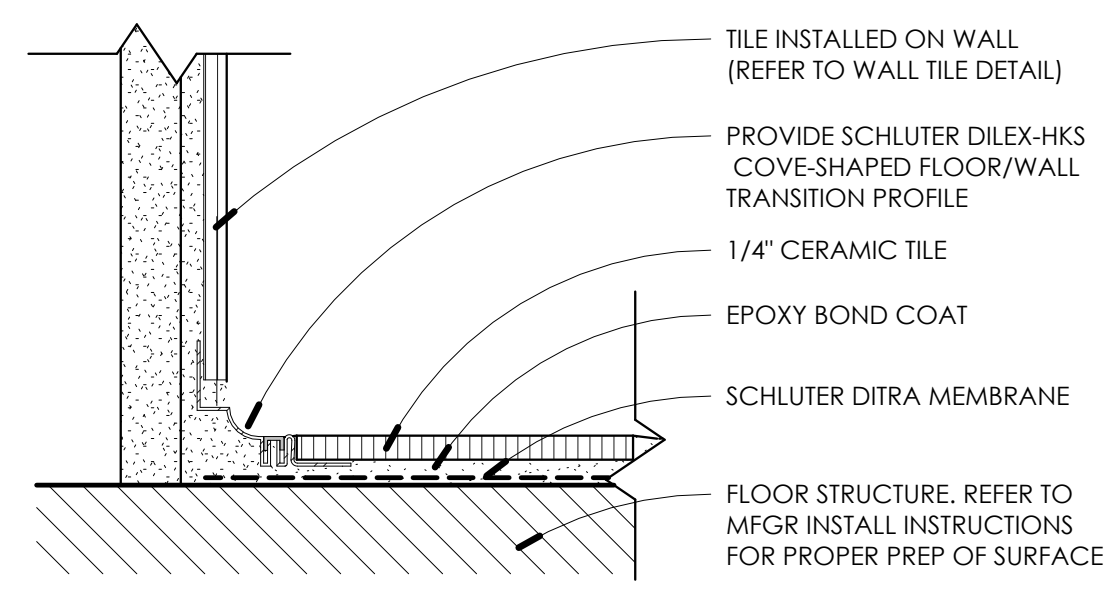
12 SIGNAGE DETAIL
1 1/2" = 1'-0"



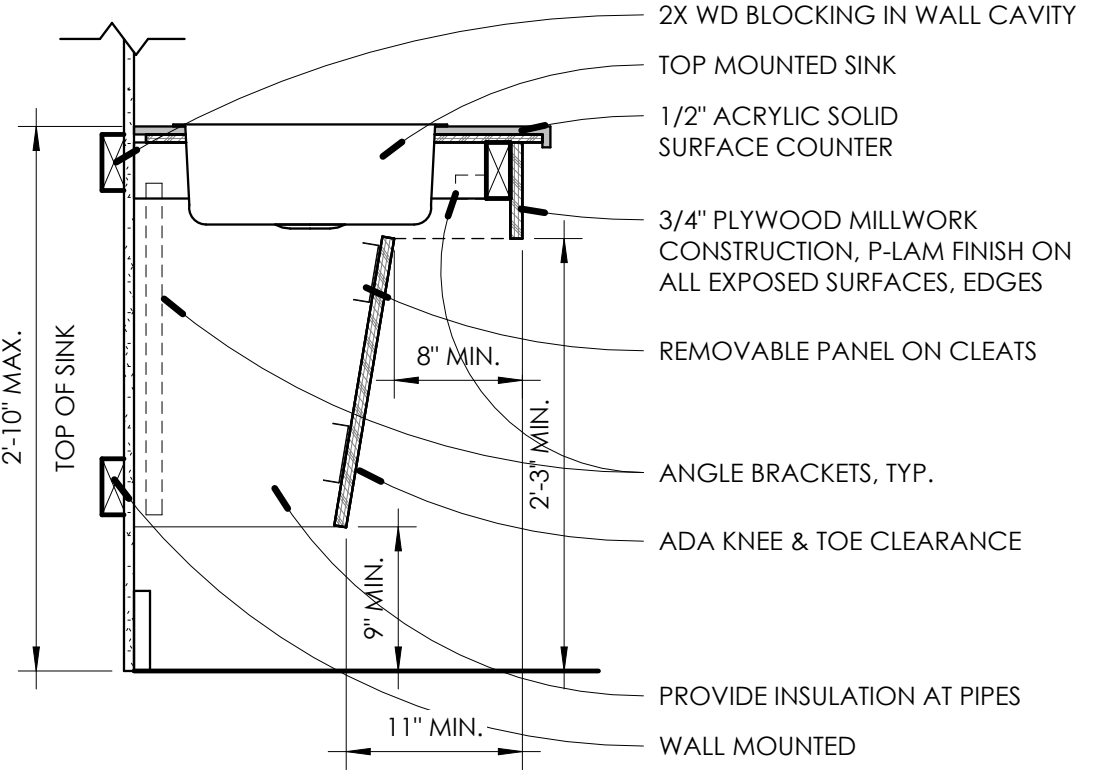
11 FLOOR DRAIN DETAIL
1 1/2" = 1'-0"



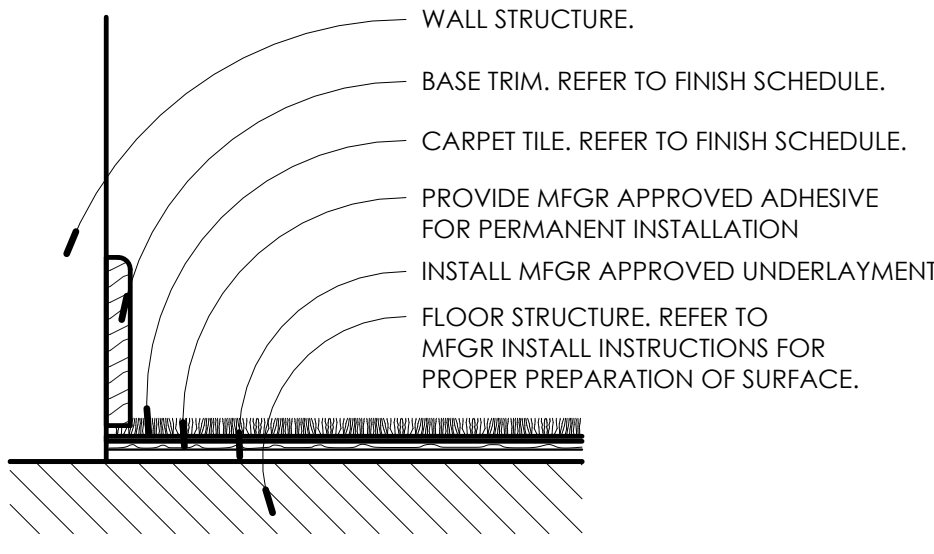
10 SHOWER BASE DETAIL
1 1/2" = 1'-0"



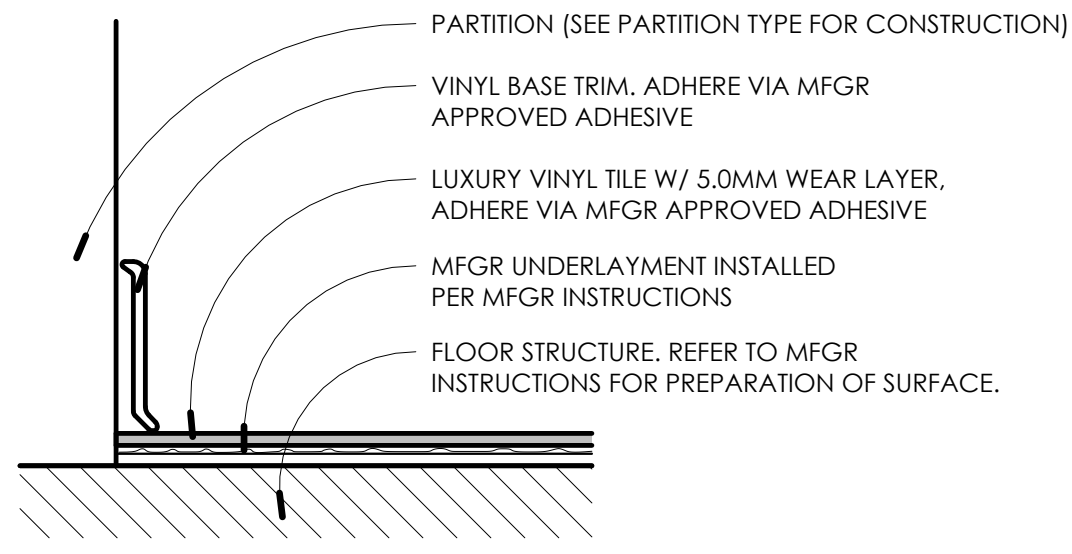
9 TILE TRANSITION AT FLOOR/WALL
6" = 1'-0"



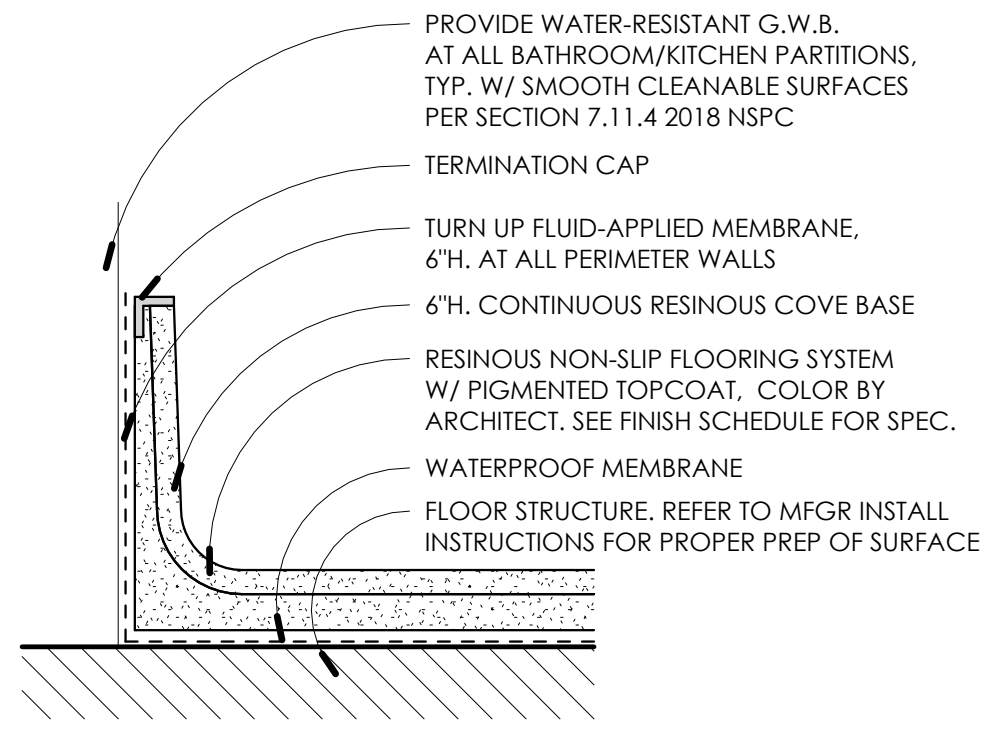
8 ADA SINK SKIRT
1" = 1'-0"



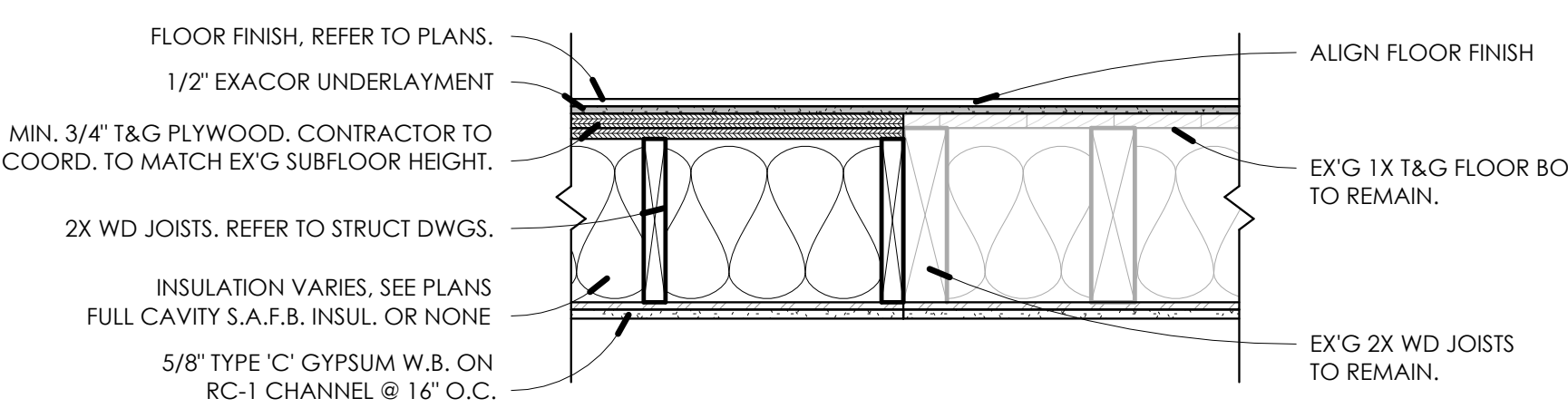
7 CARPET TILE FLOOR DETAIL
3" = 1'-0"



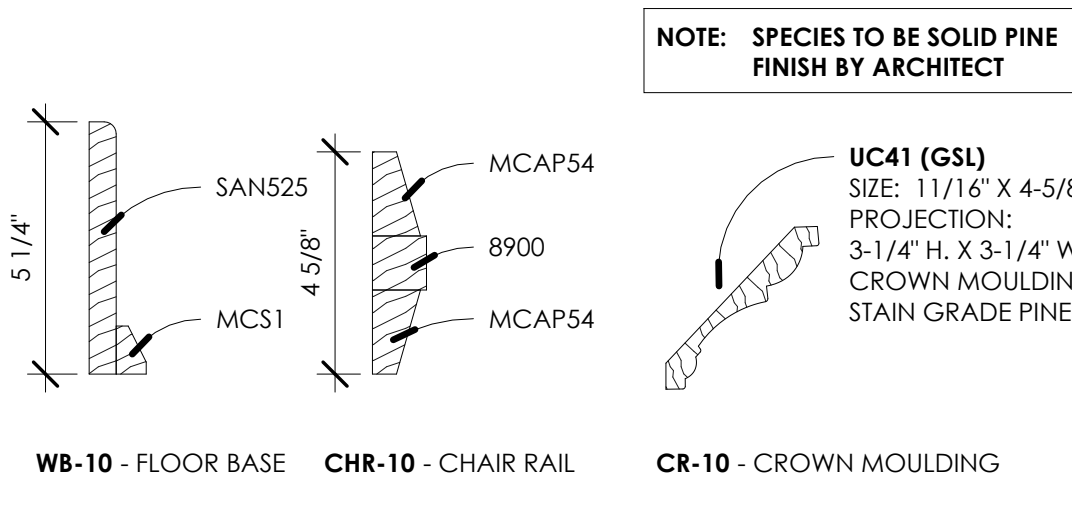
6 LVT FLOOR DETAIL
3" = 1'-0"



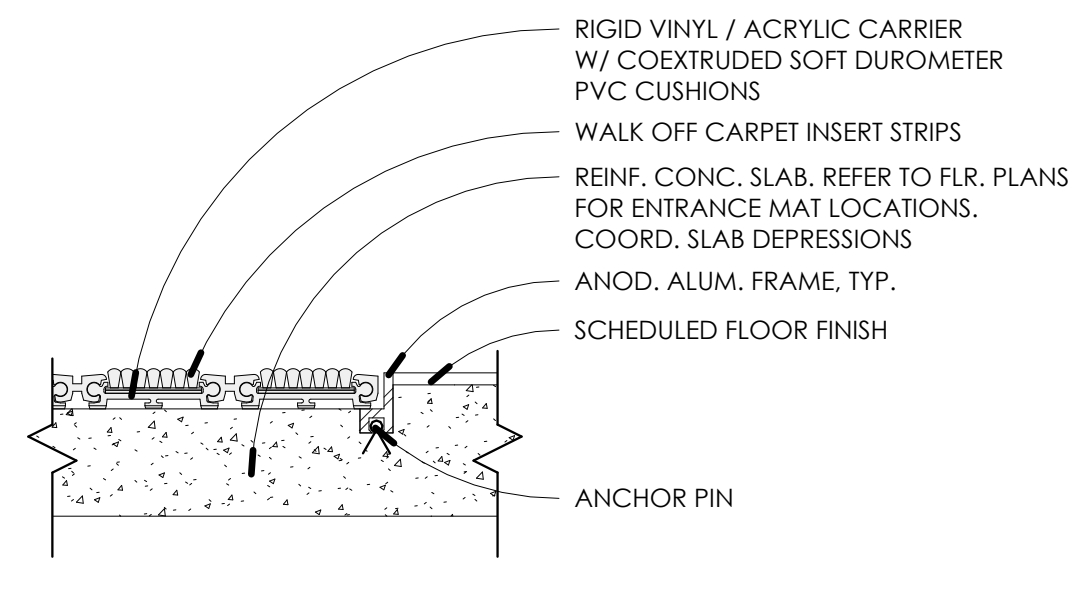
5 RESINOUS FLOOR DETAIL
3" = 1'-0"



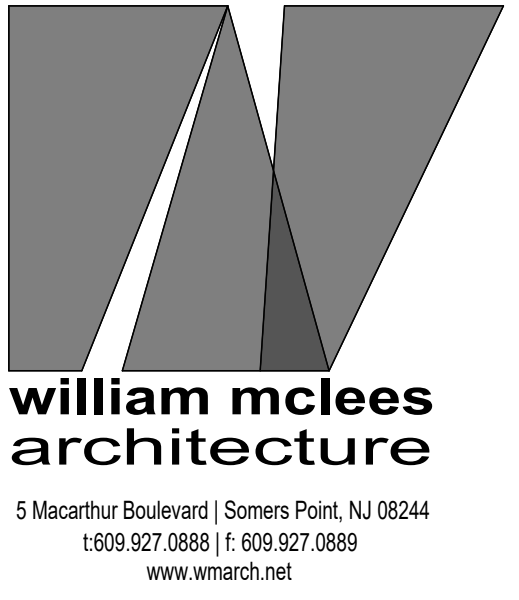
3 INT. FLOOR INFILL DETAIL
1" = 1'-0"



2 TYPICAL TRIM PROFILES
3" = 1'-0"



1 RECESSED WALK-OFF MAT
3" = 1'-0"



William C. McLees, AIA
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William McLees Architecture, LLC
New Jersey State Certificate of Authorization # 21AC0005500

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ALTERATION / ADDITION
MULLICA TOWNSHIP
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ELWOOD, NJ 08217

BID SET

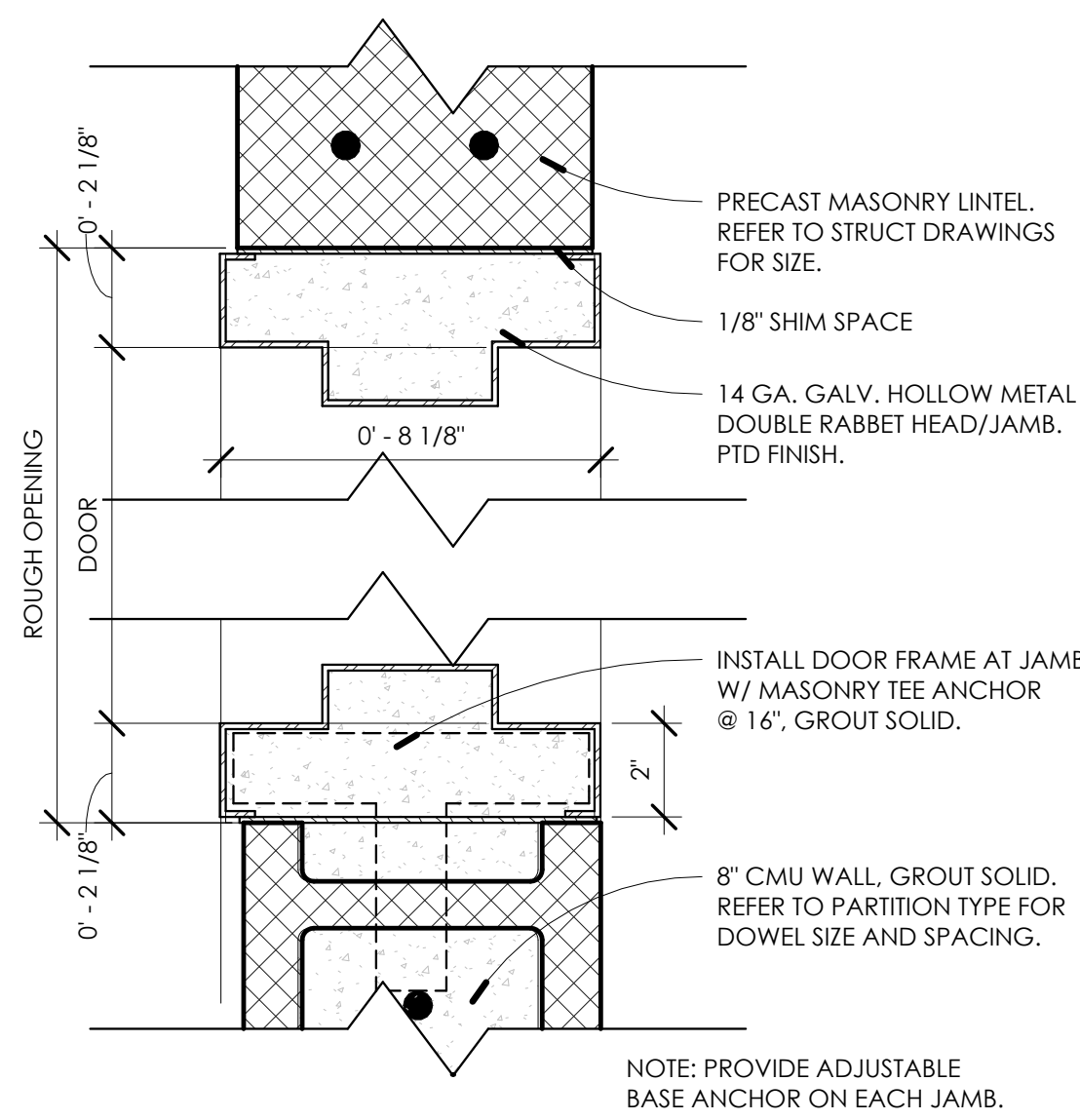
No.	Description	Date
1	ADDENDUM 1	07.24.26

INTERIOR DETAILS

Scale As indicated
Drawn by AJS
Date 07.07.26

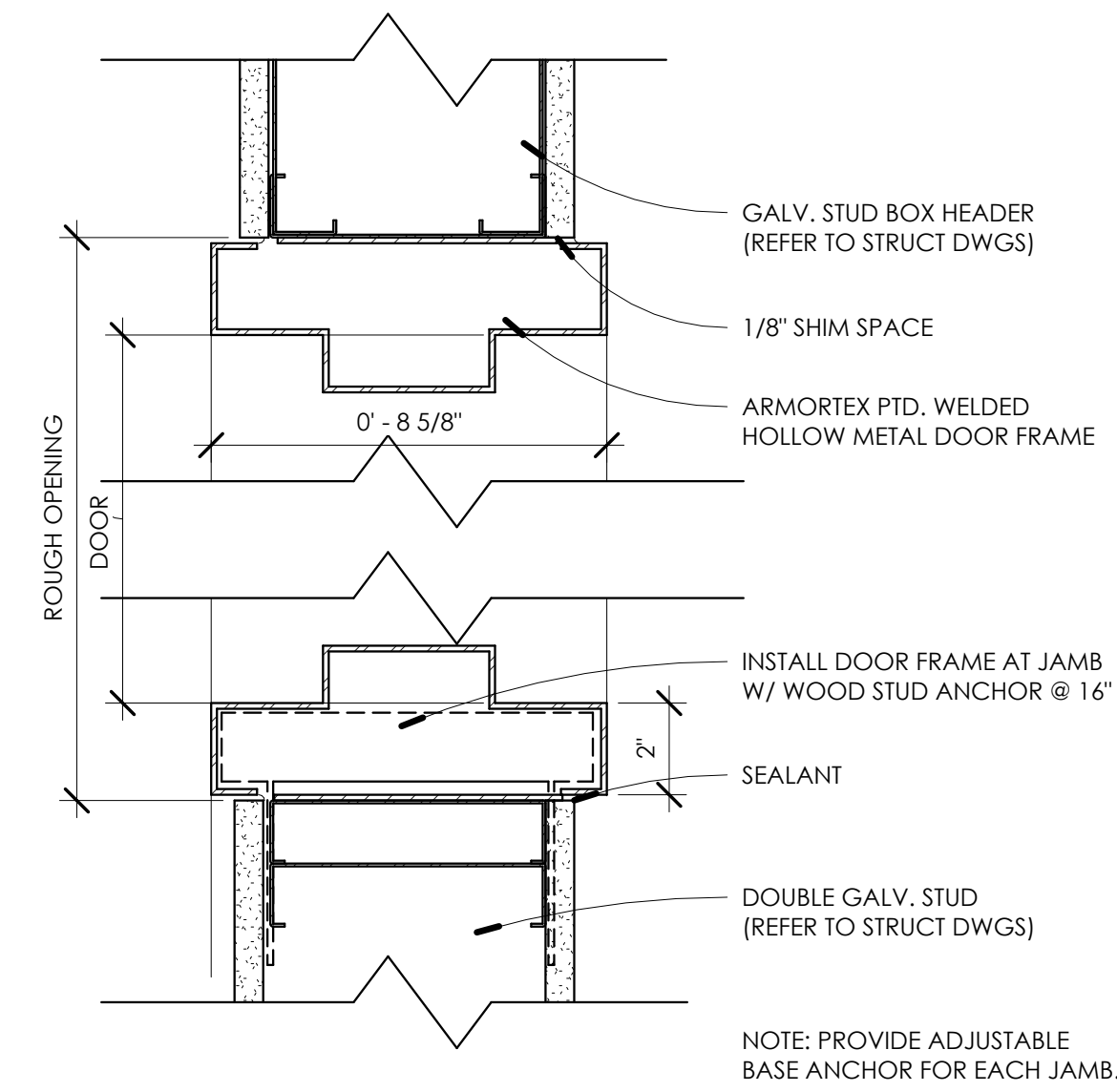
A5.20

Comision no. 25019M



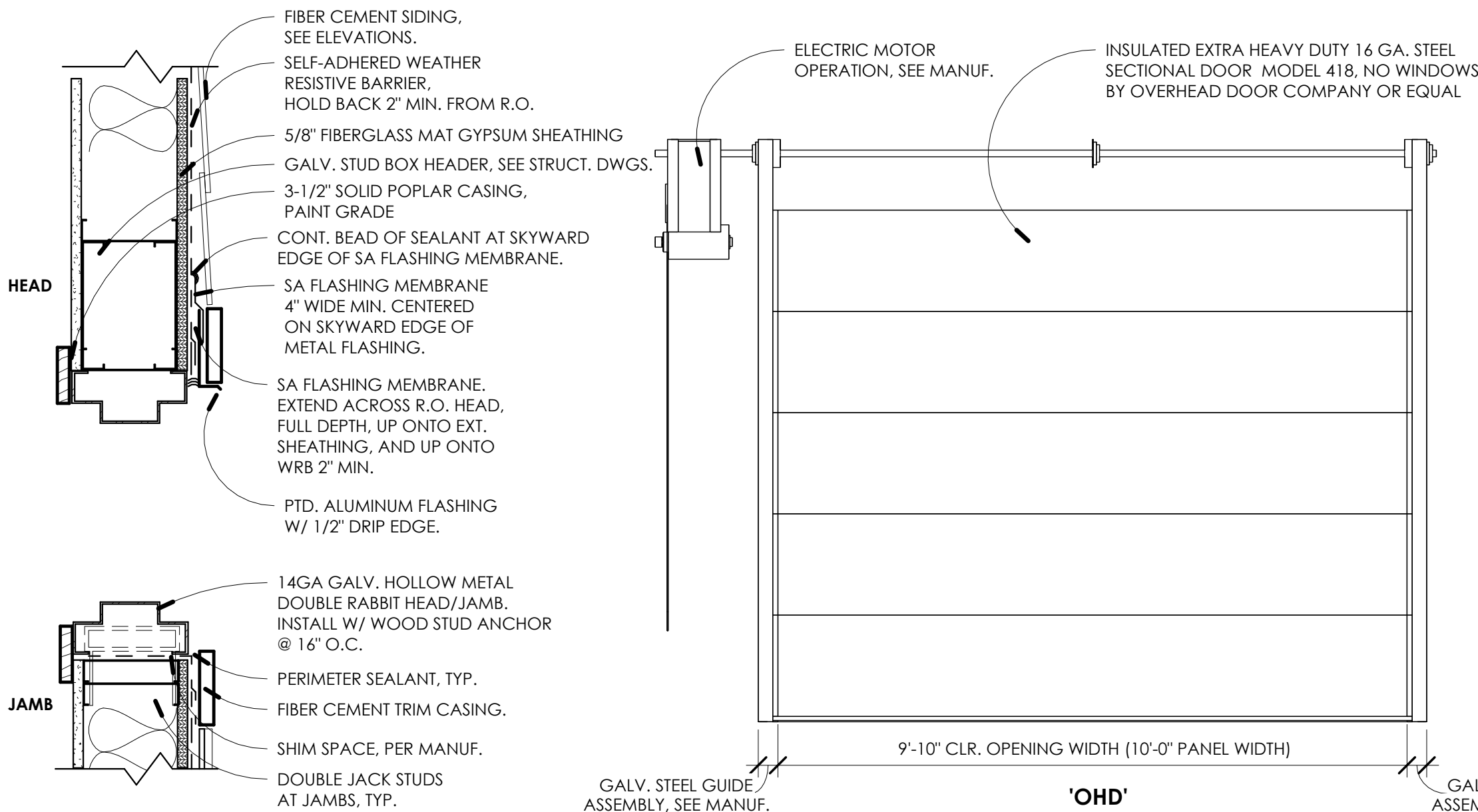
4 HEAD/JAMB DETAIL - MASONRY

3\"/>



3 FRAMED DOOR HEAD/JAMB DETAIL

3\"/>



2 EXTERIOR DOOR DETAIL

1 1/2\"/>

1 DOOR TYPES

1 1/2\"/>

HARDWARE SCHEDULE - CORRECTIONAL

TYPE 1 - SECURE
LOCKSET: SARGENT SN SERIES WIRED ACCESS CONTROL, FULL MORTISE WITH ADA COMPLIANT LEVER HANDLE
HINGES: STANLEY 5 KNUCKLE HW MORTISED HINGES, IHTCB199, (3) PER LEAF
CLOSER: NONE
DOOR BOTTOM: PEMKO 411 SERIES
SEALS: CONTINUOUS VINYL BULB INSERT
STOP: IVES CONCAVE WALL MOUNT

TYPE 2 - SECURE EVIDENCE
LOCKSET: SARGENT SN SERIES WIRED ACCESS CONTROL, FULL MORTISE WITH ADA COMPLIANT LEVER HANDLE
HINGES: STANLEY 5 KNUCKLE HW MORTISED HINGES, IHTCB199, (3) PER LEAF
CLOSER: NONE
DOOR BOTTOM: PEMKO 411 SERIES
SEALS: CONTINUOUS VINYL BULB INSERT
STOP: IVES CONCAVE WALL MOUNT

TYPE 3 - SECURE CELL
LOCKSET: FOLGER ADAMS 51E DEADLATCH ELECTRO-MECHANICAL DETENTION LOCKSET
HINGES: STANLEY BB852 FACE MOUNT, (3) PER LEAF
CLOSER: NONE
DOOR BOTTOM: NONE
SEALS: NONE
STOP: NONE

TYPE 4 - SECURE - PASSAGE
LOCKSET: SARGENT SN SERIES WIRED ACCESS CONTROL, FULL MORTISE W/ CORBIN RUSSWIN PANIC DEVICE ED4200 SERIES, ADA 'REGIS' LEVER HANDLE
HINGES: STANLEY 5 KNUCKLE HW MORTISED HINGES
CLOSER: LCN 4510 HIGH-SECURITY CLOSER
GASKETING: PEMKO KERF-IN THERMOPLASTIC BULB
SWEEP: NONE
STOP: LCN CLOSER MTD STOP
THRESHOLD: NONE

TYPE 5 - SECURE - STORAGE
LOCKSET: SARGENT SN SERIES WIRED ACCESS CONTROL, FULL MORTISE W/ CORBIN RUSSWIN ADA 'REGIS' LEVER HANDLE
HINGES: STANLEY 5 KNUCKLE HW MORTISED HINGES
CLOSER: LCN 4510 HIGH-SECURITY CLOSER
GASKETING: PEMKO KERF-IN THERMOPLASTIC BULB
SWEEP: NONE
STOP: LCN CLOSER MTD STOP
THRESHOLD: NONE

TYPE 6 - GARAGE DOOR
OPENER: RSX OPERATOR BY OH DOOR COMPANY WITH RELAY FOR MAN TRAP DOOR INTERCONNECT, WALL MOUNT

HARDWARE SCHEDULE

TYPE 7 - EXTERIOR - B.O.H. ENTRY
LOCKSET: CORBIN RUSSWIN FULL MORTISE 'ENTRY' FUNCTION W/ ADA 'REGIS' LEVER HANDLE
HINGES: ELECTRONIC FOB READER
CLOSER: PEMKO FULL MORTISE GEARED ALUMINUM HINGE LCN 4000 SERIES
GASKETING: PEMKO KERF-IN THERMOPLASTIC BULB
SWEEP: PEMKO FULL MORTISE AUTOMATIC DOOR BOTTOM LCN CLOSER MTD STOP
STOP: PEMKO ADA COMPLIANT THERMAL BARRIER LATCHING SADDLE ALUMINUM THRESHOLD

TYPE 8 - EXTERIOR - MAIN ENTRY
LOCKSET: BALDWIN LONGVIEW LEVER FULL MORTISE ELECTRONIC FOB READER
HINGES: PEMKO FULL MORTISE GEARED ALUMINUM HINGE LCN 4000 SERIES
CLOSER: PEMKO KERF-IN THERMOPLASTIC BULB
GASKETING: PEMKO FULL MORTISE AUTOMATIC DOOR BOTTOM LCN CLOSER MTD STOP
SWEEP: PEMKO ADA COMPLIANT THERMAL BARRIER LATCHING SADDLE ALUMINUM THRESHOLD

TYPE 9 - EXTERIOR - DOUBLE
LOCKSET: BALDWIN LONGVIEW LEVER FULL MORTISE
COORDINATOR: ASSA ABBLOY 2600 SERIES
HINGES: PEMKO NYLON BRUSH
CLOSER: PEMKO FULL MORTISE GEARED ALUMINUM HINGE LCN 4000 SERIES
GASKETING: PEMKO KERF-IN THERMOPLASTIC BULB
SWEEP: PEMKO FULL MORTISE AUTOMATIC DOOR BOTTOM LCN CLOSER MTD STOP
STOP: PEMKO ADA COMPLIANT THERMAL BARRIER LATCHING SADDLE ALUMINUM THRESHOLD

TYPE 10 - INTERIOR - STAIR
LOCKSET: CORBIN RUSSWIN RIM MOUNTED PANIC DEVICE ED4200 SERIES, 'PASSAGE' FUNCTION W/ ADA 'REGIS' LEVER HANDLE
HINGES: PEMKO FULL MORTISE GEARED ALUMINUM HINGE LCN 4000 SERIES
CLOSER: PEMKO KERF-IN THERMOPLASTIC BULB
GASKETING: PEMKO FULL MORTISE AUTOMATIC DOOR BOTTOM LCN CLOSER MTD STOP
SWEEP: PEMKO ADA COMPLIANT THERMAL BARRIER LATCHING SADDLE ALUMINUM THRESHOLD

NOTE: GC TO COORDINATE LOCATION OF ALL DOOR CLOSERS.

TYPE 11 - INTERIOR - STORAGE
LOCKSET: CORBIN RUSSWIN FULL MORTISE 'STORAGE ROOM' FUNCTION W/ ADA 'REGIS' LEVER HANDLE
HINGES: PEMKO FULL MORTISE GEARED ALUMINUM HINGE LCN 4000 SERIES
CLOSER: PEMKO KERF-IN THERMOPLASTIC BULB
GASKETING: NONE
SWEEP: LCN CLOSER MTD STOP
STOP: NONE
THRESHOLD: NONE

TYPE 12 - INTERIOR - OFFICE
LOCKSET: CORBIN RUSSWIN FULL MORTISE 'OFFICE' FUNCTION W/ ADA 'REGIS' LEVER HANDLE
HINGES: PEMKO FULL MORTISE GEARED ALUMINUM HINGE LCN 4000 SERIES
CLOSER: PEMKO KERF-IN THERMOPLASTIC BULB
GASKETING: NONE
SWEEP: LCN CLOSER MTD STOP
STOP: NONE
THRESHOLD: NONE

TYPE 13 - INTERIOR - STORAGE DOUBLE
LOCKSET: CORBIN RUSSWIN FULL MORTISE 'STORAGE ROOM' FUNCTION W/ ADA 'REGIS' LEVER HANDLE
COORDINATOR: ASSA ABBLOY 2600 SERIES
HINGES: PEMKO NYLON BRUSH
CLOSER: LCN FULL MORTISE GEARED ALUMINUM HINGE LCN 4000 SERIES
GASKETING: PEMKO KERF-IN THERMOPLASTIC BULB
SWEEP: NONE
STOP: LCN CLOSER MTD STOP
THRESHOLD: NONE

TYPE 14 - INTERIOR - LOCKER ROOM
LOCKSET: CORBIN RUSSWIN FULL MORTISE 'PASSAGE' FUNCTION
HINGES: W/ ADA 'REGIS' LEVER HANDLE
CLOSER: PEMKO FULL MORTISE GEARED ALUMINUM HINGE LCN 4000 SERIES
GASKETING: PEMKO KERF-IN THERMOPLASTIC BULB
SWEEP: NONE
STOP: LCN CLOSER MTD STOP
THRESHOLD: NONE

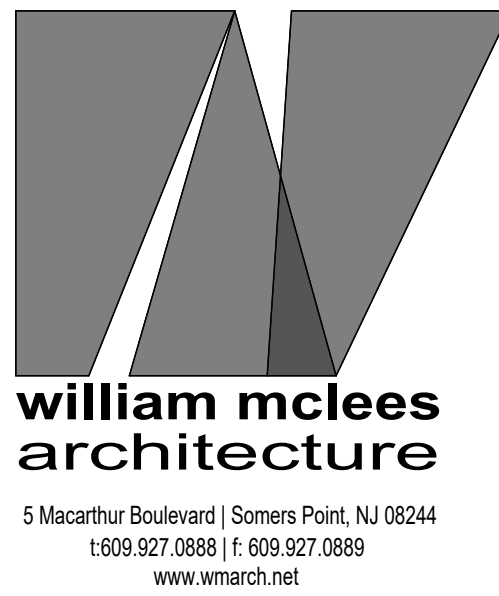
TYPE 15 - INTERIOR - RESTROOM
LOCKSET: CORBIN RUSSWIN FULL MORTISE 'RESTROOM' FUNCTION W/ ADA 'REGIS' LEVER HANDLE
HINGES: PEMKO FULL MORTISE GEARED ALUMINUM HINGE LCN 4000 SERIES
CLOSER: PEMKO KERF-IN THERMOPLASTIC BULB
GASKETING: NONE
SWEEP: LCN CLOSER MTD STOP
STOP: NONE
THRESHOLD: NONE

TYPE 16 - INTERIOR - PASSAGE
LOCKSET: CORBIN RUSSWIN FULL MORTISE 'PASSAGE' FUNCTION W/ ADA 'REGIS' LEVER HANDLE
HINGES: 5-KNUCKLE MORTISED BALL BEARING HINGES LCN 4000 SERIES
CLOSER: NONE
DOOR BOTTOM: PEMKO KERF-IN THERMOPLASTIC BULB
SEALS: LCN CLOSER MTD STOP
STOP: NONE
THRESHOLD: NONE

DOOR SCHEDULE (NEW)

NUMBER	WIDTH	HEIGHT	DOOR MATERIAL	DOOR TYPE	FRAME MATERIAL	RATING	HARD WARE	ELECTRIC KEY FOB	NOTES
N-01	3'-0"	6'-8"	HM	C	HM	-	11		
N-02	5'-0"	6'-4"	HM	D	HM	-	13		
N-101	6'-0"	7'-0"	ALUM/GL	A	ALUM	-	9		
N-102	3'-0"	7'-0"	HM	C	HM	-	7		
N-103	3'-0"	7'-0"	WD	E	16 GA HM	-	11		
N-104	3'-0"	7'-0"	WD	E	16 GA HM	-	11		
N-105	3'-0"	7'-0"	HM	C	HM	-	7		
N-106	3'-0"	7'-0"	WD/GL	F	16 GA HM	1 HR	10		
N-107	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	16		
N-108	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	12		
N-109	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	12		
N-110	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	12		
N-111	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	12	Y	
N-112	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	4		
N-113	3'-0"	7'-0"	WD	E	16 GA HM	-	15		1" UNDERCUT AT R.R.
N-114	3'-0"	7'-0"	WD	E	16 GA HM	-	15		1" UNDERCUT AT R.R.
N-115	3'-0"	7'-0"	WD/GL	K	16 GA HM	-	16		
N-116	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	16		
N-117	6'-0"	8'-0"	ALUM/GL	A	ALUM	-	8		
N-118	3'-0"	7'-0"	WD/GL	K	16 GA HM	-	16		
N-119	3'-0"	7'-0"	12 GA HM	H	12 GA HM	-	4	Y	
N-120	2'-6"	7'-0"	16 GA	G	16 GA HM	-	11		
N-121	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	12		
N-122	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	12		
N-123	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	12		
N-124	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	12		
N-125	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	16		
N-126	3'-0"	7'-0"	WD/GL	F	16 GA HM	-	12		
N-127	3'-0"	7'-0"	WD	E	16 GA HM	-	14		
N-128	3'-0"	7'-0"	WD	E	16 GA HM	-	15		1" UNDERCUT AT R.R.
N-129	3'-0"	7'-0"	WD	E	16 GA HM	-	15	Y	PROVIDE 30 SECOND DELAYED EGRESS
N-130	3'-0"	7'-0"	12 GA HM		12 GA HM	-	5		
N-131	3'-0"	7'-0"	12 GA HM/GL	H	12 GA HM	-	5	Y	
N-132	3'-0"	7'-0"	12 GA HM/GL	J	12 GA HM	-	2		
N-133	2'-0"	7'-0"	12 GA HM	G	12 GA HM	-	6		
N-134	3'-0"	7'-0"	12 GA HM/GL	J	12 GA HM	-	2		
N-135	3'-0"	7'-0"	12 GA HM/GL	H	12 GA HM	-	5	Y	
N-136	3'-0"	7'-0"	12 GA HM	G	12 GA HM	3 HR	3	Y	
N-137	3'-0"	7'-0"	12 GA HM/GL	H	12 GA HM	3 HR	5	Y	
N-138	3'-0"	7'-0"	12 GA HM	G	12 GA HM	3 HR	5	Y	
N-139	3'-0"	7'-0"	12 GA HM	G	12 GA HM	-	4		
N-140	3'-0"	7'-0"	12 GA HM		12 GA HM	-	5	Y	PROVIDE 30 SECOND DELAYED EGRESS
N-141	10'-0"	8'-0"	16 GA	OHD	16 GA	-	1		
N-142	2'-2"	7'-0"	WD	C	16 GA HM	-	11		

- DOOR NOTES:**
- DOOR CONSTRUCTION TYPES:
ALUM=ALUMINUM, POLY=POLYCARBONATE, GL=GLAZING, STL=STEEL, FRP= FIBER REINFORCED PLASTIC, WD=WOOD, HM= HOLLOW METAL.
 - ALL EXTERIOR DOORS ARE TO BE INSULATED.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL DETAILS AND CONDITIONS, MATERIALS ETC.
 - ALL DOOR HARDWARE TO BE ADA COMPLIANT.
 - ALL KEYING FOR LOCKSETS SHALL BE COORDINATED W/ OWNER.
 - ALL EXTERIOR DOORS SHALL BE PROVIDED WITH AN ADA COMPLIANT THERMALLY BROKEN LATCHING SADDLE THRESHOLD & AUTOMATIC DOOR BOTTOMS.
 - FIRE-RESISTANT-RATED GLAZING TESTED TO ASTM E119 REQUIRED IN FIRE RATED DOORS.
 - ALL GLAZED EXTERIOR DOORS TO RECEIVE IMPACT GLAZING.
 - PROVIDE ELECTRIC INTERLOCK AT ALL SECURE DOORS AS NOTED IN SCHEDULE.
 - PROVIDE CONTINENTAL ACCESS FOB AND ELECTRONIC STRIKE ON ALL DOORS INDICATED IN DOOR SCHEDULE.
 - ALL DOOR HARDWARE TO HAVE A STAINLESS STEEL FINISH.
 - ALL DOORS IN MASONRY WALLS TO RECEIVE MASONRY JAMBS AND HEADS.
 - ALL STOREFRONT DOORS TO HAVE ADA COMPLIANT 10" BOTTOM STILE.
 - ALL RESTROOM DOORS TO BE UNDERCUT 1" TYP.
 - CONTRACTOR TO VERIFY THE SIZE OF ALL EXG OPENINGS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
 - AT LOCATIONS WHERE SECURITY GLAZING IS SPECIFIED, GLAZING SHALL MEET UL752 LEVEL 3 RATING.



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ALTERATION / ADDITION
MULLICA TOWNSHIP
GOVERNMENT
BUILDING
4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

BID SET

No.	Description	Date
1	ADDENDUM 1	07.24.26

DOOR SCHEDULES & DETAILS

Scale As indicated
Drawn by AJS
Date 07.07.26

A6.01

Comision no. 25019M



William McLees Architecture, LLC
New Jersey State Certificate of Authorization #
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ALTERATION / ADDITION
MULLICA TOWNSHIP
GOVERNMENT
BUILDING
4528 S WHITE HORSE PIKE
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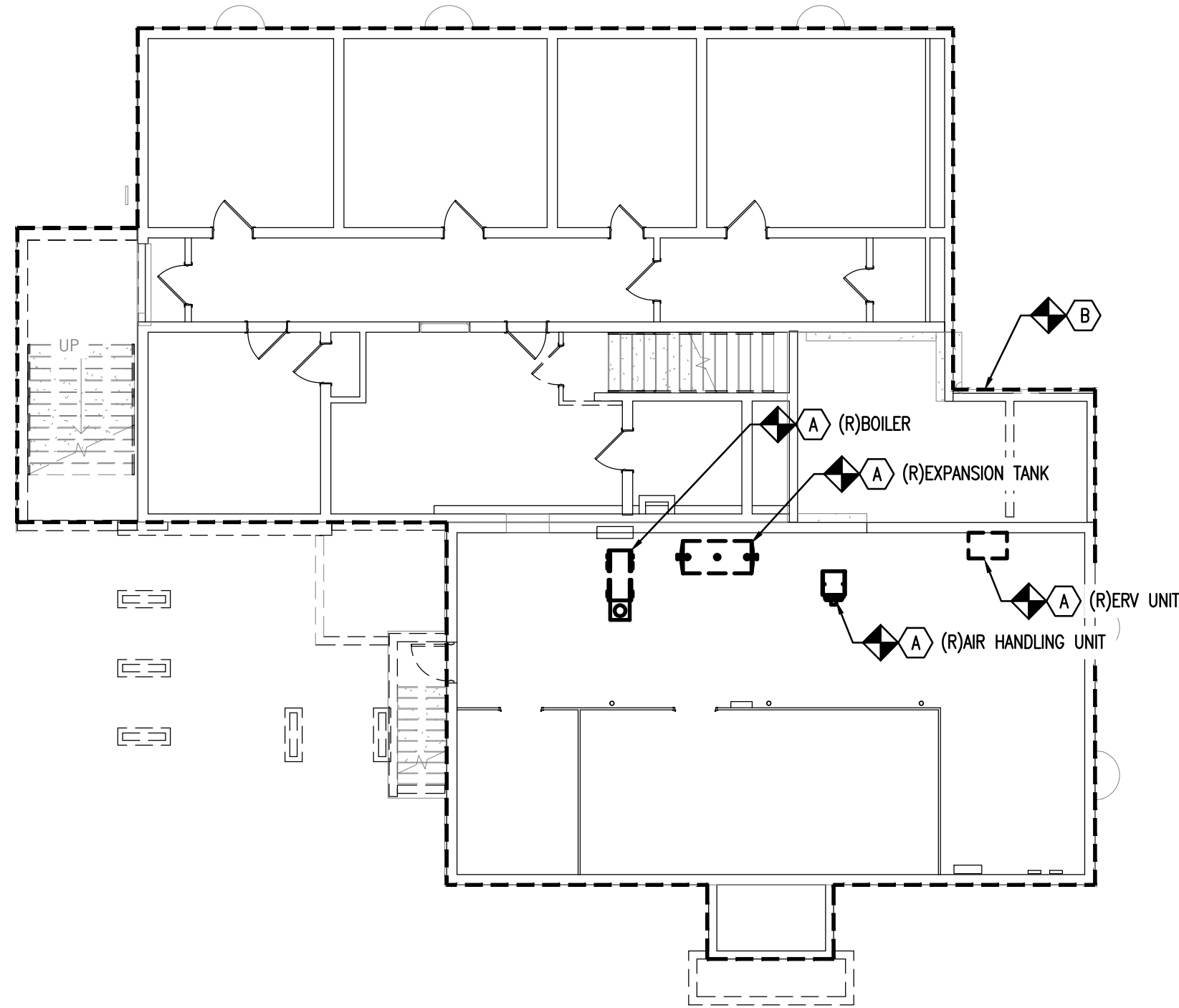
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Comission no.	25019M
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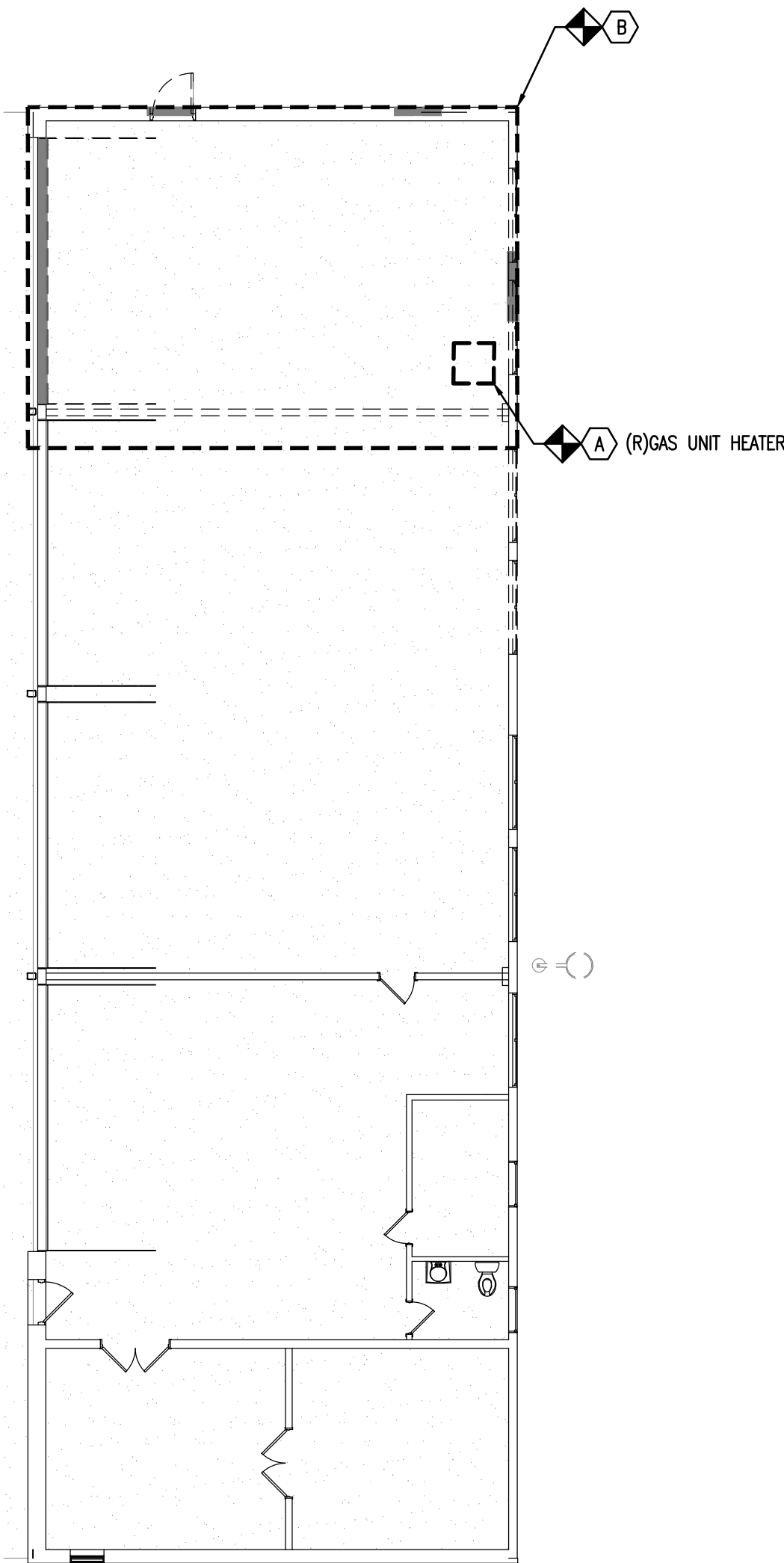


WINDOW NOTES:

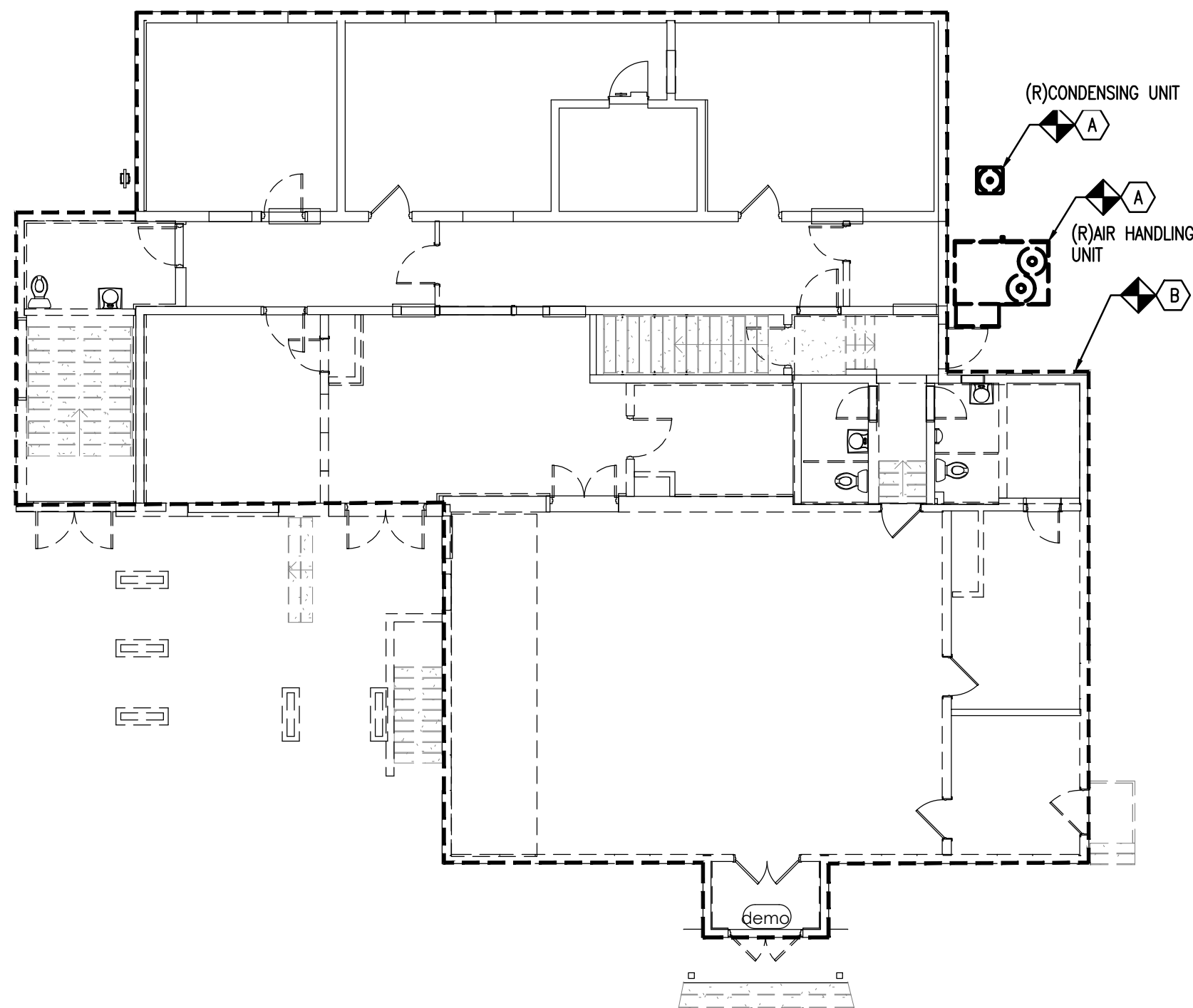
1. ALL WINDOWS TO BE 1" CLEAR LOW-INSULATED GLASS TO MEET ASHRAE 90.1 2019 GLAZING REQUIREMENTS UNLESS OTHERWISE NOTED.
2. INTERIOR CASING TO BE STAIN GRADE FINISH. PROVIDE JAMB EXTENSIONS FOR ALL WINDOWS.
3. SCREENS REQUIRED FOR ALL OPERABLE WINDOWS.
4. PROVIDE OPENING CONTROL DEVICES AT SILLS 24" OR LESS.
5. ALL EXTERIOR WINDOWS TO RECEIVE IMPACT GLAZING.
6. ALL WINDOWS LOCATED IN RESTROOM/LOCKER AREAS SHALL BE PROVIDED W/ OBSCURING FILM @ ALL LOCATIONS
7. WINDOWS ARE STACKED PROVIDE A SINGLE ROLLER SHADE TO THE MULLED LENGTH OF THE ASSEMBLY.
8. CONTRACTOR TO VERIFY THE SIZE OF ALL EXISTING OPENINGS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
9. AT LOCATIONS WHERE SECURITY GLAZING IS SPECIFIED, GLAZING SHALL MEET UL752 LEVEL 3 RATING. 1



1 MECHANICAL BASEMENT PLAN – DEMOLITION WORK
MD1.01 SCALE: 3/32" = 1'-0"



2 MECHANICAL FIRST FLOOR PLAN – DEMOLITION WORK
MD1.01 SCALE: 3/32" = 1'-0"



3 MECHANICAL ROOF PLAN – DEMOLITION WORK
MD1.01 SCALE: 3/32" = 1'-0"

- DEMOLITION OF EXISTING SYSTEM NOTES:
- GENERAL NOTES:
 - REFER TO MECHANICAL LEAD SHEET, M0.00 FOR "NOTES" THAT PERTAIN TO THE SCOPE OF THIS PROJECT.
 - CONTRACTOR SHALL COORDINATE THE REMOVAL OF MECHANICAL EQUIPMENT WITH OTHER TRADES SO AS NOT TO AFFECT THE OPERATION OF EXISTING SYSTEMS. PARTICULAR ATTENTION SHALL BE GIVEN TO UTILITY SERVICES, ELECTRIC, WATER AND BUILDING UTILITIES.
 - CONTRACTOR SHALL VERIFY LOCATION OF EXISTING EQUIPMENT, EXISTING GAS PIPE SIZE & ROUTING AND ALL VALVES AND SPECIALTIES ASSOCIATED WITH THE EXISTING SYSTEM BEFORE INITIALIZING DEMOLITION.
 - DEMOLITION KEYED NOTES:

GENERAL: DEMOLITION NOTES ARE INDICATED WITH THE FOLLOWING SYMBOL AND ARE NUMBERED AS FOLLOWS:

A DEMOLISH AND REMOVE EXISTING MECHANICAL EQUIPMENT ALONG WITH ASSOCIATED EQUIPMENT CURB AND APPURTENANCES. COORDINATE WITH ELECTRICAL CONTRACTOR TO DISCONNECT ELECTRICAL POWER PER NEC GUIDELINES. COORDINATE WITH PLUMBING CONTRACTOR TO DISCONNECT GAS SUPPLY (IF APPLICABLE). PATCH ROOF OR WALL PENETRATIONS TO MATCH EXISTING AS REQUIRED.

B AREA OF DEMOLITION. DEMOLISH AND REMOVE EXISTING MECHANICAL DUCTWORK, AIR DEVICES, HYDRONIC RADIATORS AND PIPING.

A CONTRACTOR TO VERIFY EXISTING EQUIPMENT BEFORE DEMOLITION. SCOPE OF WORK CONTAINS BUT IS NOT LIMITED TO:

EXISTING FIRST FLOOR GARAGE: REMOVE THE GAS UNIT HEATER, VENT, GAS PIPING, AND POWER CONTROL WIRING. REMOVE POWER WIRING BACK TO ELECTRICAL PANEL PER NEC GUIDELINES. PATCH ALL ROOF AND WALL SECTIONS AFFECT BY THIS DEMOLITION.

EXISTING FIRST FLOOR: WITHIN THE OFFICES AND TOWNHALL AREA, REMOVE THE EXISTING GRDS (FLOOR OR WALL OR CEILING) AND ASSOCIATED DUCTWORK BACK TO THE AHU'S BEING DEMOLISHED (28X12 MAIN DUCTS FOR OFFICES). REMOVE VARIOUS EXHAUST FANS, GRILLES AND DUCTWORK. HYDRONIC PIPING WILL NEED TO BE REMOVED AS WELL AS THE FIN TUBE RADIATORS (FOUND THROUGHOUT THE OFFICES). DEMOLISH THE CONTROL WIRING AND THERMOSTATS. PATCH ALL ROOF AND WALL SECTIONS AFFECT BY THIS DEMOLITION.

EXISTING BASEMENT FLOOR: WITHIN THE OFFICES AND BASEMENT STORAGE AREA, REMOVE THE EXISTING GRDS AND ASSOCIATED DUCTWORK BACK TO THE AHU'S BEING DEMOLISHED (20X8 MAIN DUCTS FOR OFFICE AND STORAGE ROOMS). HYDRONIC PIPING WILL NEED TO BE REMOVED AS WELL AS THE FIN TUBE RADIATORS (FOUND THROUGHOUT THE OFFICES). NOTE THAT MOST OF THE HYDRONIC PIPING IS FED THROUGHOUT THE BUILDING IN THE CEILING OF THE BASEMENT. MAIN SIZES ARE 1-1/4" SUPPLY AND RETURN. THE BOILER SYSTEM WILL BE REMOVED COMPLETELY ALONG WITH ANY EXPANSION TANKS AND PUMPS. CAP THE DOMESTIC WATER FEED PER NSPC. DEMOLISH THE POWER AND CONTROL WIRING AND THERMOSTATS. REMOVE POWER WIRING BACK TO ELECTRICAL PANEL PER NEC GUIDELINES.



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ALTERATION / ADDITION
MULLICA TOWNSHIP
GOVERNMENT
BUILDING
4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

NOT FOR CONSTRUCTION

No.	Description	Date
1	BID SET	07.07.2026
1	ADDENDUM 1	07.24.2026

MECHANICAL
DEMOLITION PLANS

Scale: As indicated
Drawn by: MAU
Date: 07.07.26

MD1.01

Comission no. 25019M



SCALE BAR: 3/32"=1'-0"

ABBREVIATIONS			
@	A OR AMP	AT	KWH
ABV.	AMPERE	ABOVE	KILOWATT-HOUR
AC	ALTERNATE CURRENT	AL	LIGHTNING SURGE ARRESTER
AF	AMP FRAME	ALC	LOCAL CONTROL PANEL
A.F.C.	ABOVE FINISHED CEILING	AF	LED
A.F.F.	ABOVE FINISHED FLOOR	AF	LINE ISOLATION MONITOR
A.F.G.	ABOVE FINISHED GRADE	AF	LUGS ONLY
A.I.C.	AMPERE INTERRUPTING CAPACITY	AF	LIMIT SWITCH
AL	ALUMINUM	AF	LONG, SHORT, INSTANTANEOUS
ALT	ALTERNATE	AF	LSIA
AM	AMMETER	AF	LONG, SHORT, INST, GROUND-FAULT
ANN.	ANNUNCIATOR	AF	LT.
ANT.	ANTENNA	AF	LTG.
ARCH.	ARCHITECT	AF	LV
AS	AMMETER SWITCH	AF	MAX.
AT	AMP TRIP	AF	MCB
ATS	AUTOMATIC TRANSFER SWITCH	AF	MCC
AUX.	AUXILIARY	AF	MCP
BD	BUS DUCT	AF	MCS
BIL	BASIC IMPULSE LEVEL	AF	ME
BRK.	BREAKER	AF	MFR.
C. OR CDT.	CONDUIT	AF	MIN.
CAB	CABINET	AF	M.L.O.
CB OR CB	CIRCUIT BREAKER	AF	MTD.
CBL	CABLE	AF	MTS
CKT	CIRCUIT	AF	MV
CLG.	CEILING	AF	NEUTRAL
CON.	CONNECTION	AF	(N)
CONST.	CONSTRUCTION	AF	NAC
CONT.	CONTINUOUS	AF	N.C.
CONTR.	CONTRACTOR	AF	N.E.C.
CPT	CONTROL POWER TRANSFORMER	AF	N.I.C.
CT	CURRENT TRANSFORMER	AF	N.O.
CU	COPPER	AF	N.T.S.
DEM.O. OR D	DEMOLITION	AF	O.C.
DC	DIRECT CURRENT	AF	O.C.B.
DIA.	DIAMETER	AF	O.C.P.
DISC.	DISCONNECT	AF	O.D.
DIST.	DISTRIBUTION	AF	POLE
DWG.	DRAWING	AF	PB
DP	DISTRIBUTION PANEL	AF	PF
EM.	EMERGENCY	AF	PH OR Ø
EA.	EACH	AF	PL
E.C.	ELECTRICAL CONTRACTOR	AF	PNL.
E.D.P.	ELECTRONIC DATA PROCESSING	AF	PRI
ELEC.	ELECTRICAL	AF	PS
ELEV.	ELEVATOR	AF	PSI
EMT	ELECTRICAL METALLIC TUBING	AF	PT
ENCL.	ENCLOSURE	AF	PWR
E.O.	ELECTRICALLY OPERATED	AF	RCVR.
E.R.	EXISTING RELOCATED	AF	RE OR (RE)
EQUIP.	EQUIPMENT	AF	REQ.
E.W.C.	ELECTRIC WATER COOLER	AF	REX
EX. OR E	EXISTING TO REMAIN	AF	SEC.
F.	FUSED	AF	S.L.C.
F/A	FIRE ALARM	AF	SLD.
F.B.O.	FURNISHED BY OWNER	AF	SLV.
F.D.	FEEDER DUCT	AF	SPEC.
FDR.	FEEDER	AF	SS.
F.H.C.	FIRE HOSE CABINET	AF	S.T.
FL.	STANDARD	AF	STD.
F.S.	FLOW SWITCH	AF	STR.
FUT.	FUTURE	AF	SW.
G	EQUIPMENT GROUND CONDUCTOR	AF	SWGR.
G.	GAUGE	AF	SWGR.
G.C.	GENERAL CONTRACTOR	AF	SYS.
G.C.A.	GROUND FAULT INTERRUPTER	AF	TEL.
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPTER	AF	TEMP.
G.F.S.C.	GROUND FAULT SENSING RELAY	AF	TERM.
GND.	GROUND	AF	TV
GSC	SYSTEM CIRCUIT GROUND CONDUCTOR	AF	TYP.
H.I.D.	HIGH INTENSITY DISCHARGE	AF	UC
H.O.A.	HAND-OFF-AUTOMATIC	AF	UF
H.P.	HORSEPOWER	AF	UL
HT.	HEIGHT	AF	U.O.N.
H.V.	HIGH VOLTAGE	AF	U.V.
HVAC	HEAT, VENT, AIR COND	AF	V
ID.	INSIDE DIMENSION	AF	VFD
ILL.	ILLUMINATION	AF	VM
IMC.	INTERMEDIATE METAL CONDUIT	AF	VS
INV.	INVERT	AF	W
JB OR J-BOX	JUNCTION BOX	AF	WP
JUNC.	JUNCTION	AF	XDR
KVA	KILOVOLT AMPERE	AF	XFMR
KW	KILOWATT	AF	XFR

SINGLE LINE DIAGRAM	
	TRANSFORMER
	GENERATOR
	MOLDED CASE CIRCUIT CIRCUIT BREAKER
	FUSE
	MOTOR - # INDICATES MOTOR HORSE POWER
	UTILITY COMPANY METER
	DELTA CONNECTION
	WYE CONNECTION
	CURRENT TRANSFORMER
	GROUND FAULT CURRENT PROTECTION
	KIRK-KEY INTERLOCK

CIRCUIT PROTECTION / DISCONNECT/MOTOR CONTROL	
	ELECTRICAL PANELBOARD, 480Y/277V OR 208Y/120V, SURFACE OR RECESSED MOUNTED - AS NOTED IN PANELBOARD SCHEDULES
	ELECTRICAL TRANSFORMER - XX INDICATES KVA RATING
	NON-FUSED DISCONNECT - XX INDICATES DEVICE AMPERAGE
	FUSED DISCONNECT - XX INDICATES DEVICE AMPERAGE. YY INDICATES FUSE AMPERAGE.
	FUSED COMBINATION STARTER - XX INDICATES DEVICE AMPERAGE. YY INDICATES FUSE AMPERAGE. # INDICATES NEMA STARTER RATING.
	VARIABLE FREQUENCY DRIVE

WIRING DEVICES AND BOXES	
	SIMPLEX RECEPTACLE, 125V, 20A - MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED
	DUPLEX RECEPTACLE, 125V, 20A - MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED
	DUPLEX RECEPTACLE, 125V, 20A, WITH GFCI PROTECTION - MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED
	DUPLEX RECEPTACLE, 125V, 20A, FOR POWER TO TV - LOCATE BEHIND TV. COORDINATE HEIGHT WITH AV CONSULTANT/OWNER/ARCHITECT
	DUPLEX RECEPTACLE, 125V, 20A, WITH GFCI PROTECTION IN WEATHER-PROOF ENCLOSURE - MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED
	DUPLEX RECEPTACLE, 125V, 20A, WITH TAMPER RESISTANT PROTECTION - MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED
	QUADRUPLEX RECEPTACLE, 125V, 20A - MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED
	CEILING MOUNTED DUPLEX RECEPTACLE, 125V, 20A
	ROOFTOP LIGHT & GFCI RATED RECEPTACLE WITH WEATHERPROOF ENCLOSURE - REFER TO ELECTRICAL DETAILS SHEET
	JUNCTION BOX
	FLUSH MOUNTED FLOOR BOX WITH QUADRUPLEX RECEPTACLE & PROVISIONS FOR TELECOM WIRING. COORDINATE EXACT LOCATION WITH ARCHITECTURAL DIMENSIONED LAYOUTS. PROVIDE (1) 1-1/4" CONDUIT FOR TELECOM WIRING ROUTED IN SLAB TO NEAREST WALL AND UP TO A STUD UP ABOVE NEAREST ACCESSIBLE CEILING. B.O.D. - HUBBELL MODEL CF84G30G. PROVIDE WITH (2) DUPLEX RECEPTABLES, LOW VOLTAGE DIVIDER, AND ACCOMMODATIONS FOR LOW VOLTAGE DEVICE(S).
	FLOOR POKE THROUGH WITH QUADRUPLEX RECEPTACLE & PROVISIONS FOR TELECOM WIRING. COORDINATE EXACT LOCATION WITH ARCHITECTURAL DIMENSIONED LAYOUTS. PROVIDE (1) 1-1/4" CONDUIT FOR TELECOM WIRING ROUTED ALONG CEILING BELOW AND UP TO A STUD UP ABOVE NEAREST ACCESSIBLE CEILING. B.O.D. - HUBBELL MODEL STR8PTDH

LOW VOLTAGE DEVICES	
	TV MONITOR - PROVIDE 2 GANG BOX WITH SINGLE GANG FLANGE LOCATED BEHIND TV. PROVIDE (1) 1-1/4" CONDUIT ROUTED UP TO STUD UP 6" ABOVE NEAREST ACCESSIBLE CEILING. COORDINATE MOUNTING HEIGHT WITH ARCHITECT. PROVIDE PULL STRING AND PLASTIC GROMMET ON CONDUIT END.
	DATA DROP (# INDICATES QUANTITY) - PROVIDE 2 GANG BOX WITH SINGLE GANG FLANGE - MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED. PROVIDE (1) 1-1/4" CONDUIT ROUTED UP TO STUD UP 6" ABOVE NEAREST ACCESSIBLE CEILING. PROVIDE PULL STRING AND PLASTIC GROMMET ON CONDUIT END.
	TELEPHONE DROP - PROVIDE 2 GANG BOX WITH SINGLE GANG FLANGE - MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED. PROVIDE (1) 1-1/4" CONDUIT ROUTED UP TO STUD UP 6" ABOVE NEAREST ACCESSIBLE CEILING. PROVIDE PULL STRING AND PLASTIC GROMMET ON CONDUIT END.
	DATA/TELEPHONE DROP - PROVIDE 2 GANG BOX WITH SINGLE GANG FLANGE - MOUNTED 18" A.F.F. UNLESS OTHERWISE NOTED. PROVIDE (1) 1-1/4" CONDUIT ROUTED UP TO STUD UP 6" ABOVE NEAREST ACCESSIBLE CEILING. PROVIDE PULL STRING AND PLASTIC GROMMET ON CONDUIT END.
	WIRELESS ACCESS POINT - SURFACE MOUNTED ON CEILING. COORDINATE ALL REQUIREMENTS WITH OWNER.

SECURITY DEVICES	
	CARD READER - PROVIDE (1) 1" CONDUIT ROUTED TO STUD UP 6" ABOVE NEAREST ACCESSIBLE CEILING. COORDINATE FINAL REQUIREMENTS WITH OWNER.
	CAMERA - PROVIDE BACKBOX AND (1) 1-1/4" CONDUIT ROUTED TO STUD UP 6" ABOVE NEAREST ACCESSIBLE CEILING. COORDINATE FINAL REQUIREMENTS WITH OWNER.

LIGHTING FIXTURES	
	SYMBOLS FOR LIGHTING FIXTURES ARE DIAGRAMMATIC AND WILL NOT REPRESENT PRODUCT APPEARANCE. FIXTURE LETTER DESIGNATION "A,B,C", WHICH REFER TO THE LUMINAIRE SCHEDULE WILL DETERMINE ACTUAL PRODUCT SPECIFIED.
	SHADED AND/OR EM FIXTURES REPRESENT FIXTURES OPERATING ON EMERGENCY POWER. EMERGENCY FIXTURES SHALL BE CONTROLLED IN THE SAME MANNER AS NORMAL FIXTURES IN THE SAME AREA. IN THE EVENT OF LOSS OF NORMAL POWER, EMERGENCY FIXTURES SHALL TURN ON TO FULL BRIGHTNESS.
	EXIT SIGN - ARROWS AS INDICATED ON PLANS - CEILING MOUNTED REFER TO ARCHITECTURAL EGRESS PLANS FOR ARROW DIRECTION AND FACE DIRECTION
	EXIT SIGN - ARROWS AS INDICATED ON PLANS - WALL MOUNTED REFER TO ARCHITECTURAL EGRESS PLANS FOR ARROW DIRECTION AND FACE DIRECTION
	EMERGENCY BATTERY UNIT (CONNECT AHEAD OF SWITCH)
	WALL PACK WALL MOUNTED LIGHTING FIXTURE - COORDINATE EXACT HEIGHT & LOCATION WITH OWNER / ARCHITECT APPROVAL -REFER TO LUMINAIRE SCHEDULE

CONTROL DEVICES	
S	SINGLE POLE SWITCH-MOUNTED 42" AFF UNLESS OTHERWISE NOTED
S ₃	THREE WAY SWITCH-MOUNTED 42" AFF UNLESS OTHERWISE NOTED
S ₄	FOUR WAY SWITCH-MOUNTED 42" AFF UNLESS OTHERWISE NOTED
S _a	LOWER CASE LETTER INDICATES SWITCH LEG
S _D	DIMMER SWITCH-MOUNTED 42" AFF UNLESS OTHERWISE NOTED
S _M	MOTOR RATED SWITCH WITH THERMAL PROTECTION- MOUNTED 42" AFF UNLESS OTHERWISE NOTED
S _O	AUTOMATIC WALL SWITCH OCCUPANCY SENSOR - MOUNTED 42" AFF UNLESS OTHERWISE NOTED
S _V	AUTOMATIC WALL SWITCH VACANCY SENSOR - MOUNTED 42" AFF UNLESS OTHERWISE NOTED
OC	CEILING MOUNTED OCCUPANCY SENSOR
VS	CEILING MOUNTED VACANCY SENSOR
PP	CEILING MOUNTED POWPAK RELAY MODULE 120/277

INTERCOM SYSTEM	
	INTERCOM SYSTEM STATION (STAFF) - PROVIDE (1) 1" CONDUIT ROUTED TO STUD UP 6" ABOVE NEAREST ACCESSIBLE CEILING.
	INTERCOM SYSTEM STATION (CEILING OR WALL MOUNTED) - PROVIDE (1) 1" CONDUIT ROUTED TO STUD UP 6" ABOVE NEAREST ACCESSIBLE CEILING.
	INTERCOM MASTER STATION - PROVIDE (1) 1" CONDUIT ROUTED TO STUD UP 6" ABOVE NEAREST ACCESSIBLE CEILING.

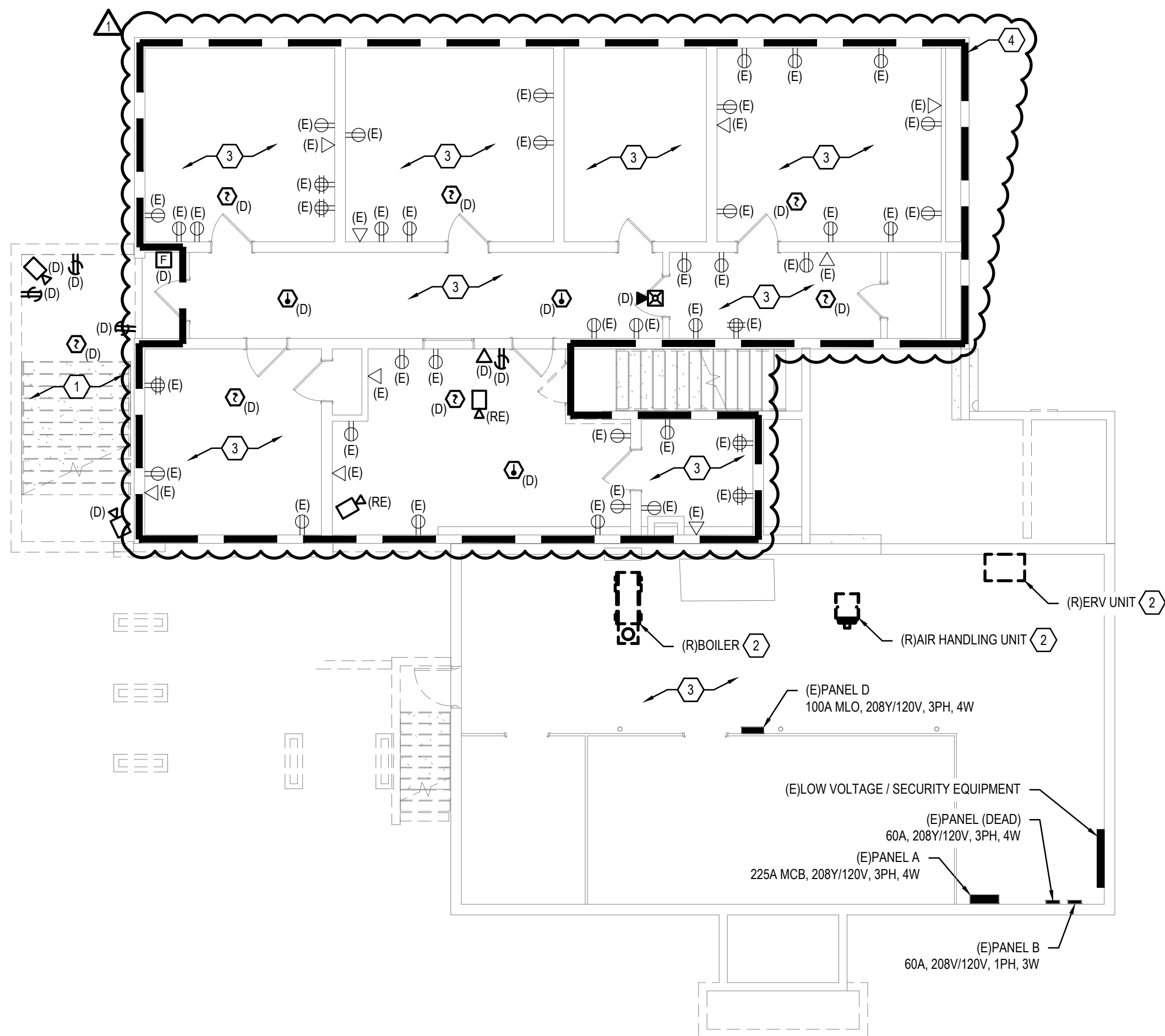
FIRE ALARM DEVICES	
	THERMAL DETECTOR - COMBINATION RATE OF RISE AND FIXED TEMPERATURE - MOUNTED AT CEILING - 135 DEG X INDICATES THE FOLLOWING: - P - ELEVATOR PIT - S - TOP OF ELEVATOR SHAFT
	PHOTOELECTRIC SMOKE DETECTOR - MOUNTED AT CEILING OR VIA UNI-STRUT AT EXISTING AIR HANDLING UNITS TO MATCH EXISTING MOUNTING
	CARBON MONOXIDE DETECTOR - MOUNTED @ 10" AFF
	PHOTOELECTRIC DUCT DETECTOR WITH, SAMPLING TUBE, REMOTE LED INDICATION, AND REMOTE KEY TEST SWITCH
	FIRE ALARM MANUAL PULL STATION - WALL MOUNTED +42" A.F.F.
	MONITOR MODULE, SINGLE INPUT
	CONTROL MODULE, SINGLE POLE 120V AC RATED CONTACT
	FIRE ALARM STROBE - WALL MOUNTED # INDICATES CANDELA RATING
	FIRE ALARM STROBE - WALL MOUNTED # INDICATES CANDELA RATING
	FIRE ALARM HORN
	FIRE ALARM ALARM ADDRESSABLE RELAY MODULE FOR 120V MOTORIZED SMOKE DAMPER, FIRE PIT SHUT OFF EQUIPMENT AND MOTORIZED DAMPERS
	FIRE SMOKE DAMPER
	FIRE DAMPER
	FIRE ALARM CONTROL PANEL, WALL MOUNTED, TOP OF PANEL AT +72" A.F.F.
	FIRE ALARM ANNUNCIATOR PANEL - LCD, WALL MOUNTED AT +48" A.F.F.

ELECTRICAL DEMOLITION NOTES	
1.	NOTES AND GRAPHIC REPRESENTATIONS SHALL NOT LIMIT THE EXTENT OF DEMOLITION REQUIRED. CONTRACTOR SHALL VISIT THE SITE, CAREFULLY EXAMINE EXISTING CONDITIONS AND SHALL PERFORM ALL DEMOLITION REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT AS REQUIRED BY THE CONTRACT DOCUMENTS. EXTENT OF ALL DEMOLITION WORK SHALL BE COORDINATED WITH THE OWNER & ENGINEER.
2.	ALL WORK REQUIRED TO REMAIN IN SERVICE BUT INTERFERING WITH THE ALTERATIONS SHALL BE RELOCATED AND RECONNECTED USING MATERIALS AND STANDARDS OF THIS CONTRACT.
3.	EQUIPMENT AND WIRING TO BE REMOVED SHALL BE DE-ENERGIZED PRIOR TO ANY DEMOLITION WORK.
4.	EQUIPMENT INDICATED TO BE REMOVED SHALL BE TAKEN FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND ENVIRONMENTAL REGULATIONS. EQUIPMENT REQUIRED TO BE TURNED OVER TO THE OWNER SHALL BE PLACED IN A MUTUALLY ACCEPTABLE LOCATION.
5.	PROCEDURE FOR FEEDERS AND BRANCH CIRCUITS TO BE REMOVED - CONDUIT AND SUPPORTS SHALL BE REMOVED TO THE PANEL OF ORIGIN OR THE BOUNDARY OF THE PROJECT AREA. WIRING SHALL BE REMOVED TO THE PANEL OF ORIGIN. WHERE EMPTY CONDUITS REMAIN, INSTALL A FULL STRING AND IDENTIFY AT BOTH ENDS.
6.	PROCEDURE FOR FEEDERS AND BRANCH CIRCUITS TO BE RE-USED - REMOVE CONDUIT AND WIRING TO LOCATIONS WHICH AVOID CONFLICTS WITH NEW WORK. INSTALL JUNCTION BOXES, TAPE OFF CONDUCTORS AND IDENTIFY WITH PANEL AND CIRCUIT NUMBER.
7.	WHERE PORTIONS OF EXISTING BRANCH CIRCUITS ARE REMOVED, MAINTAIN THE CONTINUITY OF CIRCUITING TO REMAINING DEVICES.
8.	PROVIDE BLANK COVER PLATES AT OPEN BOXES WHERE EXISTING RECEPTABLES OR ELECTRICAL DEVICES ARE REMOVED FROM ENCLOSURES OR SURFACES NOT INDICATED TO BE REPAIRED OR REFINISHED.
9.	PROVIDE ADDITIONAL SUPPORT FOR ALL EXISTING CONDUITS, LOW VOLTAGE CABLING AND DEVICES TO REMAIN WHICH ARE AFFECTED BY DEMOLITION OF EXISTING CEILINGS AND PARTITIONS.
10.	ALL WORK SHALL BE PROPERLY IDENTIFIED AFTER DEMOLITION. UPDATE ALL PANEL SCHEDULES TO REFLECT EQUIPMENT AND CIRCUIT REMOVALS.

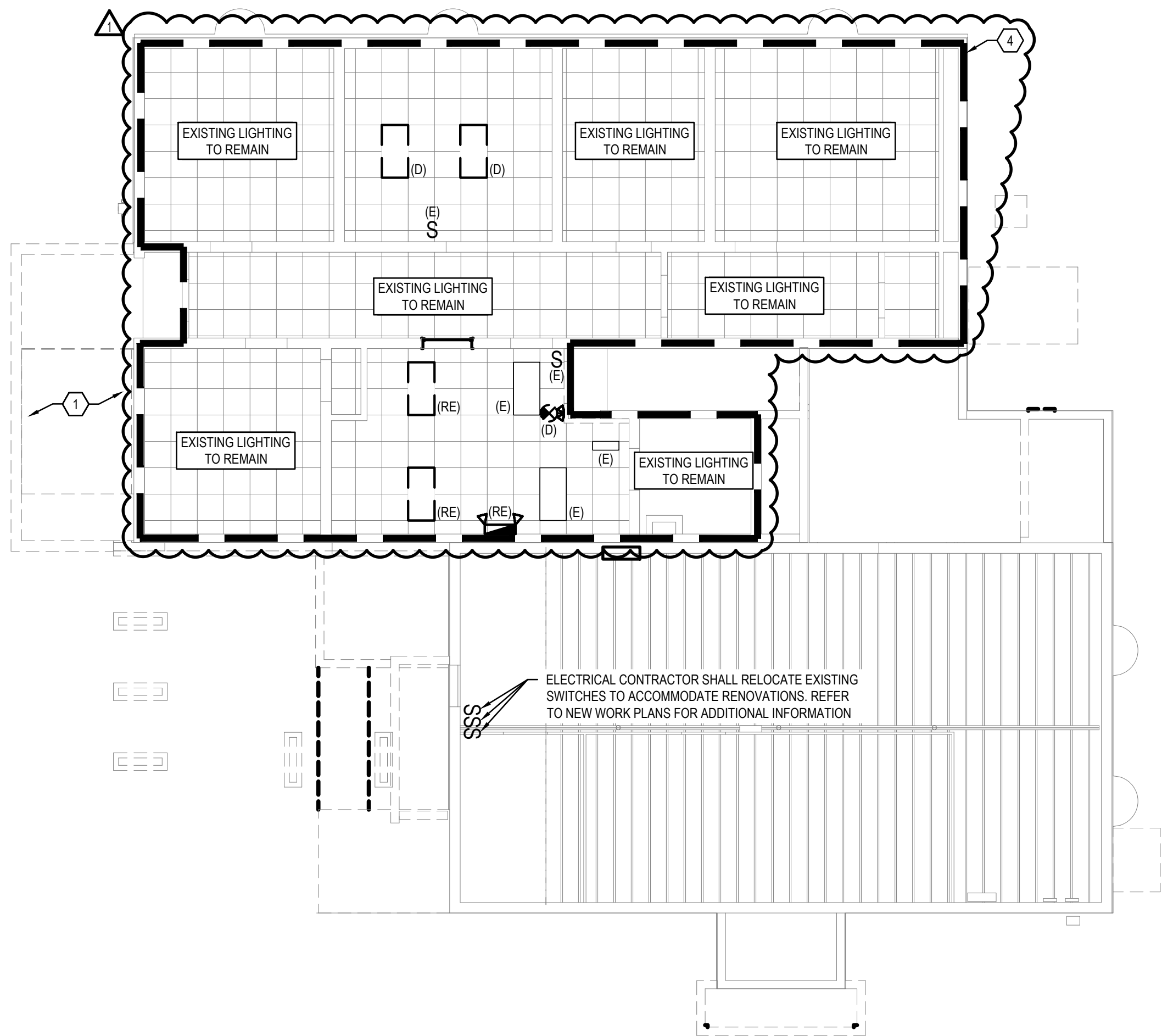
ELECTRICAL REFERENCE NOTES	
1.	REFER TO THE ARCHITECTURAL DRAWINGS FOR THE LOCATIONS OF THE FOLLOWING: - ALL CEILING MOUNTED LIGHTING FIXTURES AND DEVICES. - ALL FIRE RATED PARTITIONS AND BUILT-UP EXPANSION JOINTS. - MOUNTING HEIGHT OF EQUIPMENT AND DEVICES.
2.	REFER TO THE HVAC/MECHANICAL DRAWINGS FOR THE LOCATIONS OF THE FOLLOWING: - MECHANICAL EQUIPMENT, CONTROL PANELS, AND MOTORS. - AUTOMATIC TEMPERATURE CONTROL SYSTEM PANELS AND DEVICES. - MOTORIZED DAMPERS AND CONTROL VALVES.
3.	REFER TO THE PLUMBING DRAWINGS FOR THE LOCATIONS OF THE FOLLOWING: ELECTRIC FLUSH VALVES AND ELECTRIC FAUCETS.

PERFORMANCE NOTES	
1.	FIRE ALARM DESIGN AS SHOWN IS A PROTOTYPICAL DESIGN PROVIDED AS A BASIS OF DESIGN FOR BID PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE, AT OWN EXPENSE, TO HAVE PREPARED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER A FIRE ALARM SYSTEM DESIGN, WITH SHOP DRAWINGS, FOR THIS PROJECT. FIRE ALARM SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY THE QUALIFIED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW JERSEY, AND SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE ARCHITECT, ENGINEER AND APPROVING LOCAL CONSTRUCTION OFFICIALS PRIOR TO PERFORMANCE OF ANY WORK.
2.	PROVIDE THE SERVICES OF A QUALIFIED FIRE ALARM CONTRACTOR/VENDOR WITH A MINIMUM OF 10-YEARS OF CERTIFIABLE PROFESSIONAL EXPERIENCE WITH SIMILAR FIRE ALARM SYSTEMS WHICH ARE TYPICALLY INSTALLED AT THE PROJECT, AND IS LOCATED WITHIN 100-MILES OF THE PROJECT SITE.
3.	FIRE ALARM CONTRACTORS SHALL PROVIDE ALL MANPOWER, EQUIPMENT, AND LABOR AS NECESSARY TO PROVIDE A COMPLETE AND OPERABLE SYSTEM. TEST AND ADJUST NEW FIRE ALARM SYSTEM AS NOTED HEREIN.
4.	ALL FIRE ALARM TESTING SHALL OCCUR BETWEEN THE HOURS OF 9:00AM AND 4:00PM WEEKDAYS, EXCLUDING LOCAL CITY HOLIDAYS.
5.	TEST AND ADJUST EACH HOME RUN CIRCUIT INDEPENDENTLY FROM OTHER HOME RUNS. ADJUST SYSTEM GAIN SO THAT ALL FIRE ALARM SPEAKERS PROVIDE 100DB SPL 'A' WEIGHTED AT 5-FEET ABOVE FINISHED FLOOR. USE A CALIBRATED SOUND PRESSURE METER (PER NEW JERSEY UCC AND 2019 NFPA 72) DURING FIRE ALARM SYSTEM TESTS AND ADJUSTMENTS. BEGIN ALL TESTS WITH SYSTEM GAIN COMPLETELY OFF. DO NOT ACTIVATE OR TEST SYSTEM WITH AMPLIFIER GAINS FULLY OPEN.
6.	DEMONSTRATE SYSTEM PERFORMANCE TO THE OWNER AND LOCAL FIRE ALARM INSPECTOR AT THE SPECIFIED GAIN SETTINGS. ADJUST SOUND LEVELS AS NECESSARY TO SATISFY THE OWNER AND LOCAL FIRE INSPECTOR.
7.	ALL REQUIRED POWER CONNECTION, CONDUCTOR TYPES AND SIZES, BATTERY AND VOLTAGE DROP CALCULATIONS ARE TO BE SHOWN ON THE FIRE ALARM SHOP DRAWINGS.
8.	UPON SYSTEM ACCEPTANCE, THE FACTORY TRAINED AND AUTHORIZED ENGINEERED SYSTEMS DISTRIBUTOR NEW FIRE ALARM SYSTEM SHALL PROVIDE THE OWNER WITH A FULL PARTS, MATERIALS AND LABOR WARRANTY FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SYSTEM COMMISSIONING AND OWNER ACCEPTANCE.

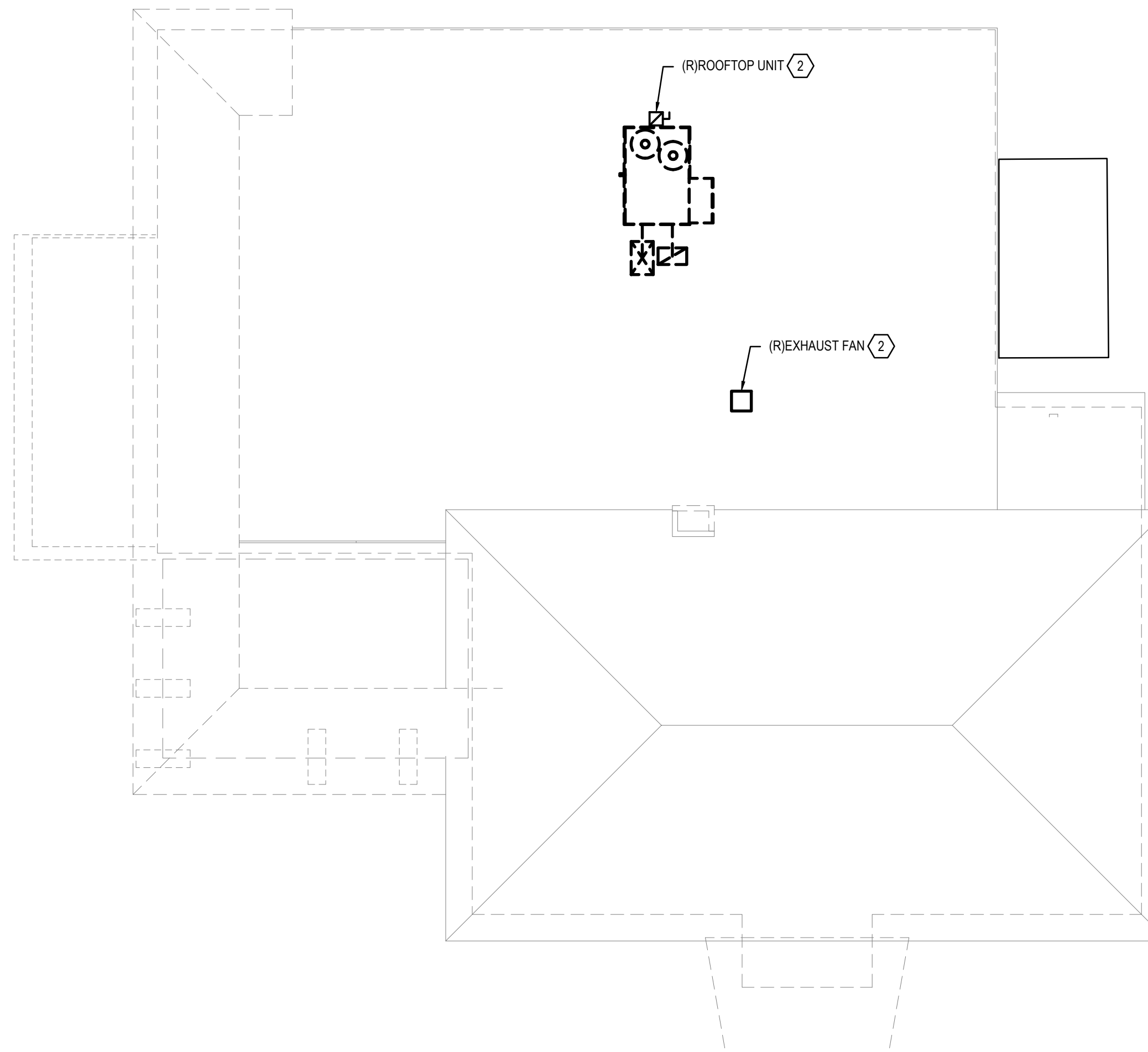
GENERAL ELECTRICAL PROJECT NOTES	
1.	SOME LEGEND SYMBOLS MAY NOT BE USED. SEE FLOOR PLANS FOR APPLICABLE DEVICES. ALL 125 VOLT, SINGLE-PHASE, 15 AND 20 AMP RECEPTABLES, WHEN INSTALLED OUTDOORS WHERE THERE IS DIRECT ACCESS, SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION AND WEATHERPROOF SECURE COVERS WITH LOCKING TAB. THIS SHALL APPLY, BUT NOT BE LIMITED TO, ALL OUTLETS ON THE EXTERIOR OF BUILDING AND ROOF.
3.	ALL 125 VOLT, SINGLE-PHASE, 15 AND 20 AMP RECEPTABLES, WHEN INSTALLED WITHIN A SIX FOOT RADIUS OF SINKS, SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION. THIS SHALL APPLY, BUT NOT BE LIMITED TO, PANTRY AREAS, LAVATORIES, AND OTHER WET AREAS.
4.	ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), THE SPECIFICATION, AND THE AUTHORITY HAVING JURISDICTION.
5.	ALL CIRCUIT BREAKERS SERVING HVAC EQUIPMENT SHALL BE UL LISTED AS "HACR".
6.	ALL CIRCUIT BREAKERS SERVING HEAT TRACE AND HEATING PANELS SHALL BE "GFPPE" TO SATISFY NEC 427.22.
7.	THE DRAWINGS ARE DIAGRAMMATIC. EXACT LOCATION OF EQUIPMENT, WIRING AND RACEWAYS SHALL BE DETERMINED BY CONTRACTOR SUBJECT TO ARCHITECT APPROVAL.
8.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ELECTRICAL CHARACTERISTICS OF ALL NEW EQUIPMENT, MOTORS, ETC. BEFORE INSTALLING CABLING AND RACEWAY. IF THERE ARE ANY DISCREPANCIES BETWEEN THE ACTUAL RATING OF EQUIPMENT AT THE SITE AND THE DRAWINGS, THEN THE ENGINEER SHALL BE NOTIFIED.
9.	THE CONTRACTOR SHALL SECURE FROM ALL OTHER CONTRACTORS ON THE PROJECT: SHOP DRAWINGS TO VERIFY CHARACTERISTICS OF ALL EQUIPMENT TO BE WIRED. IF THE CONTRACTOR FINDS DISCREPANCIES BETWEEN THE SHOP DRAWINGS AND THE ELECTRICAL PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PROMPTLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTIONS TO THE ELECTRICAL INSTALLATION IF THE DRAWING REVIEW IS NOT COMPLETED BY THE CONTRACTOR.
10.	THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND THE EXTERIOR LIGHTING DESIGNER FOR THE LOCATION OF ALL OUTDOOR LIGHTING FIXTURES. WIRING DEVICES, TRANSFORMERS, PAD MOUNTED SWITCHES, DISCONNECT SWITCHES, PANELBOARDS AND OTHER EQUIPMENT LOCATED OUTSIDE.
11.	ALL EMPTY CONDUITS SHALL HAVE PLASTIC BUSHINGS AND A PULL STRING INSTALLED.
12.	THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF THE MECHANICAL CONTRACTOR, STRUCTURAL CONTRACTOR, SITE CONTRACTOR, UTILITY COMPANY, OWNER PERSONNEL, AND ALL OTHER CONTRACTORS ON SITE, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT.
13.	ALL EQUIPMENT SPECIFIED IN THIS PROJECT WHICH IS LOCATED OUTDOORS SHALL BE WEATHERPROOF AND NEMA RATED FOR THE ENVIRONMENT/TEMPERATURE TO BE INSTALLED. OUTDOOR EQUIPMENT MINIMUM NEMA 3R RATING ALL PANELS, WIRING DEVICES, BOXES, AND ENCLOSURES LOCATED INDOORS SHALL BE NEMA 1 UNLESS OTHERWISE NOTED.
14.	ALL FUSES IN DISCONNECT SWITCHES SHOWN SHALL BE CLASS RK-1, FAST ACTING, UNLESS RECOMMENDED OTHERWISE BY THE EQUIPMENT SUPPLIER/MANUFACTURER.
15.	PROVIDE AND INSTALL ALL PHOTOCELLS AND PROGRAM TIME CLOCK CONTROL FOR OUTDOOR LIGHTING. LOCATE PHOTOCELLS FOR PROPER OPERATION. GENERAL SITE LIGHTING SHALL BE CONNECTED FOR PHOTO CELL-ON, TIME CLOCK OFF OPERATION. SITE SECURITY LIGHTING SHALL BE CONNECTED PHOTOCELL-ON AND OFF CONTROL. SEE DRAWINGS FOR ADDITIONAL INFORMATION.
16.	PROVIDE MOUNTING SUPPORTS FOR ALL DISCONNECT SWITCHES MOUNTED ON ROOF - STANCHION MOUNT ON P1000 UNISTRUT STRUCTURE. USE P1000 UNISTRUT FOR ALL INDOOR SUPPORTS AND GALVANIZED P1000 UNISTRUT FOR ALL OUTDOOR SUPPORTS.
17.	REFER TO ARCHITECTURAL DRAWINGS ("A" SERIES), FOR EXACT LOCATIONS OF WALLS, TYPE OF CEILINGS, LIGHTING FIXTURE LOCATIONS, FURNITURE, CASEWORK, DOOR SWINGS, ETC.. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF ELECTRICAL EQUIPMENT, SUBJECT TO ARCHITECT'S APPROVAL.
18.	ALL RACEWAYS PENETRATING FIRE RATED PARTITIONS, WALLS, AND CEILINGS SHALL BE SEALED USING APPROVED FIRE RATED SEALANT TO MATCH THE REQUIRED WALL FIRE RATING. COORDINATE ALL FIRE RATED PARTITIONS, WALLS, FLOORS, AND CEILINGS WITH THE ARCHITECTURAL DRAWINGS AND SUBMIT UL APPROVED METHOD FOR THE ENVIRONMENT/TEMPERATURE TO LIGHTING SPECIFIC LOCATION.
19.	PANELBOARD CIRCUIT DIRECTORY: SHALL BE PROVIDED AT PROJECT CONCLUSION AND SHALL BE TYPED AND INDICATE INSTALLED CIRCUIT LOADS
20.	ALL CABLES LOCATED ABOVE ACCESSIBLE CEILINGS SHALL BE SUPPORTED FROM THE STRUCTURE. ACCESS TO CEILING SPACE SHALL NOT BE OBSTRUCTED BY CABLES OR CABLE SUPPORTS.
21.	SUBMIT TO THE OWNER: CERTIFICATES OF INSPECTION FOR THE ELECTRICAL INSTALLATION FROM AN APPROVED INSPECTING AGENCY UPON COMPLETION OF ELECTRICAL WORK.
22.	THE ENTIRE ELECTRICAL SYSTEM SHALL BE TESTED FOR PROPER GROUNDING AND OPERATION. TEST SHALL VERIFY THAT THE SYSTEM HAS NO SHORT CIRCUITS, OPENS, OVERLOADS, OR PANEL IMBALANCES. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND TEST INSTRUMENTS.
23.	PRIOR TO FINAL ACCEPTANCE OF THE ELECTRICAL WORK, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A WRITTEN STATEMENT GUARANTEEING ALL EQUIPMENT, MATERIALS, AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE PROJECT. UPON WRITTEN NOTICE TO THE CONTRACTOR DURING THE WARRANTY PERIOD, THE CONTRACTOR, AT NO EXPENSE TO THE OWNER, SHALL REPAIR OR REPLACE ALL DEFECTIVE MATERIALS OR WORKMANSHIP.
24.	ALL WORK SHALL BE INSTALLED SO AS TO BE READILY ACCESSIBLE FOR OPERATION MAINTENANCE, AND REPAIR. MINOR DEVIATIONS FROM THE PLANS MAY BE MADE TO ACCOMPLISH THIS, SUBJECT TO THE APPROVAL OF THE ENGINEER.
25.	THE CONTRACTOR SHALL USE MAXIMUM OF 6" OF FLEXIBLE CONDUIT FOR EQUIPMENT SUBJECT TO VIBRATION, NOISE TRANSMISSION, OR MOVEMENT, AND FOR ALL MOTORS. USE LIQUID TIGHT FLEXIBLE CONDUIT IN WET OR DAMP LOCATIONS. INSTALL SEPARATE GROUND CONDUCTOR ACROSS FLEXIBLE CONNECTIONS.
26.	ALL WIRING SHALL BE COPPER CONDUCTOR WITH 600 VOLT TYPE THHN, OR THWN-2 INSULATION IN CONDUIT. THE MINIMUM SIZE WIRE FOR LIGHTING AND POWER CIRCUITS SHALL BE #12 AWG. SOLID CONDUCTORS SHALL BE USED FOR NUMBER 10 AND 12; STRANDED CONDUCTORS SHALL BE USED FOR NUMBER 8 AND LARGER.
27.	ALL MATERIALS AND EQUIPMENT FURNISHED FOR THIS PROJECT SHALL BE NEW, LISTED, AND APPROVED BY UL.
28.	THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS, INSPECTIONS AND LICENSES.
29.	PROVIDE ALL MOTOR STARTERS WITH DRIVEN EQUIPMENT AS DETAILED ON THE PLANS. PROVIDE CONDUIT AND FEEDER CABLES FROM PANELBOARD SOURCES TO STARTERS AND FROM STARTERS TO DRIVEN EQUIPMENT MOTOR.
30.	COORDINATE WITH THE FINAL ARCHITECTURAL FURNITURE/CABINET DRAWINGS AND ARCHITECTURAL ELEVATIONS FOR ALL RECEPTACLE FINAL LOCATIONS, PRIOR TO INSTALLATION OF ROUGH-IN BOXES AND/OR CONDUITS.
31.	PROVIDE STRUCTURAL SUPPORT AND BRACING WHERE REQUIRED FOR ALL EQUIPMENT IN ACCORDANCE WITH SEISMIC SPECIFICATION 260548. SEE DETAILS ON ELECTRICAL DRAWINGS. EQUIPMENT REQUIRING VIBRATION ISOLATION SHALL INCLUDE ALL FLOOR / WALL MOUNTED PANELS, SWITCHGEAR, AND TRANSFORMERS. SEISMIC RESTRAINTS SHALL BE SUPPLIED FOR ALL CONDUITS 2 1/2" AND LARGER SUPPORTED MORE THAN 12" FROM STRUCTURAL ELEMENTS OF THE BUILDING.
32.	ALL MOUNTING HEIGHTS SHOWN ARE ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
33.	PROVIDE ADEQUATE TEMPORARY ELECTRICAL LIGHT AND POWER FOR THE PROJECT WORK OF ALL TRADES DURING CONSTRUCTION.
34.	PROVIDE HEAVY GAUGE WELDED WIRE MESH PROTECTIVE GUARDS ON ALL FIRE ALARM DEVICES, CLOCKS, LOUDSPEAKERS, CALL INITIATING DEVICES, EXIT LIGHTS, EMERGENCY LIGHTING UNITS AND BATTERY PACKS IN MECHANICAL ROOMS, LOADING DOCKS, RECEIVING AREAS, PIPE SPACES, PIPE TUNNELS, STORAGE ROOMS, SHOPS, SHAFTS, ON THE BUILDING EXTERIOR, AND OTHER SPACES AND AREAS WHERE [DEVICES ARE] SUBJECT TO DAMAGE OR ACCIDENTAL OPERATION FROM PHYSICAL ACTIVITIES, GENERAL HOUSEKEEPING, MAINTENANCE, OR THE MOVEMENT OF SUPPLIES, MATERIALS, FURNITURE, AND EQUIPMENT.
35.	COORDINATE EXACT LOCATION OF LIGHTING FIXTURES WITH ARCHITECTURAL REFLECTED CEILING PLANS.
36.	WHERE EQUIPMENT BACKBOXES ARE INSTALLED ON BOTH SIDES OF A COMMON WALL IN THE SAME LOCATIONS, OFFSET BACKBOXES AS REQUIRED TO ALLOW PROPER BACKBOX CLEARANCES IN ACCORDANCE WITH NEC REQUIREMENTS.
37.	PROVIDE A SIGN PLACED AT SERVICE ENTRANCE EQUIPMENT INDICATING TYPE AND LOCATION OF ON-SITE EMERGENCY POWER SOURCE IN ACCORDANCE WITH NEC REQUIREMENTS.
38.	PROVIDE PLASTIC LAMP SLEEVES ON ANY FIXTURE THAT DOES NOT USE A BAFFLE, METAL LOUVERS, OR LENS. INSTALL ABOUT OR BELOW EACH LAMP FOR PROTECTION OF OCCUPANTS.
39.	PROVIDE CABLES WITH THE FINAL ARCHITECTURAL FURNITURE/CABINET DRAWINGS AND ARCHITECTURAL ELEVATIONS FOR ALL RECEPTACLE FINAL LOCATIONS, PRIOR TO INSTALLATION OF ROUGH-IN BOXES AND/OR CONDUITS.
41.	ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL EQUIPMENT, WIRING AND RACEWAY SUPPORTS INCLUDING ANY ADDITIONAL BUILDING STRUCTURE AND / OR STRUCTURAL SUPPORTS REQUIRED TO ACCOMMODATE MOUNTING THE ELECTRICAL EQUIPMENT, WIRING AND RACEWAYS. ELECTRICAL CONTRACTOR TO COORDINATE SUPPORTS WITH OTHER TRADES. ELECTRICAL CONTRACTOR TO HIRE A LICENSED STRUCTURAL ENGINEER TO DESIGN SUPPORTS AS REQUIRED. SEE SPECIFICATIONS FOR FURTHER INFORMATION.



1 ELECTRICAL BASEMENT DEMOLITION POWER PLAN
ED1.10 SCALE: 1/8" = 1'-0"
SCALE BAR: 1/8"=1'-0"



2 ELECTRICAL BASEMENT DEMOLITION LIGHTING PLAN
ED1.10 SCALE: 1/8" = 1'-0"
SCALE BAR: 1/8"=1'-0"



3 ELECTRICAL ROOF DEMOLITION POWER PLAN
ED1.10 SCALE: 1/8" = 1'-0"
SCALE BAR: 1/8"=1'-0"

DEMOLITION SYSTEM NOTES:

GENERAL NOTES:

- REFER TO ELECTRICAL LEAD SHEET, E0.00 FOR "NOTES" THAT PERTAIN TO THE SCOPE OF THIS PROJECT.
- REFER TO SHEET SPECIFICATIONS ON DRAWING E0.01 FOR PROJECT DETAILS AND EXECUTION REQUIREMENTS.
- REFER TO DETAILS ON SHEET E0.02 FOR PROJECT DETAILS AND EXECUTION REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE THE REMOVAL OF ELECTRICAL EQUIPMENT WITH OTHER TRADES SO AS NOT TO AFFECT THE OPERATION OF EXISTING SYSTEMS, PARTICULAR ATTENTION SHALL BE GIVEN TO UTILITY SERVICES, ELECTRIC, WATER AND BUILDING UTILITIES.
- CONTRACTOR SHALL VERIFY LOCATION OF EXISTING EQUIPMENT BEFORE INITIALIZING DEMOLITION.
- ALL POWER SHUT DOWNS MUST BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- THE ELECTRICAL CONTRACTOR SHALL MAKE AN ON SITE INSPECTION TO DETERMINE THE FULL SCOPE OF WORK AND WORKING CONDITIONS BEFORE SUBMITTING A PROPOSAL.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER ON DISPOSAL/REMOVAL OF ALL EQUIPMENT. COMPIL A DETAILED RECORD OF EXISTING EQUIPMENT TO BE REMOVED AND MAKE NOTATION AS TO CONDITION AND PROVIDE TO OWNER. OWNER SHALL MAKE FINAL DECISION ON DISPOSAL.
- ELECTRICAL CONTRACTOR SHALL RE-USE TO THE MAXIMUM EXTENT POSSIBLE ALL WIRING AND RACEWAY ASSOCIATED WITH THE EXISTING ELECTRICAL EQUIPMENT BEING REMOVED. RE-USE OF WIRING, RACEWAY AND CIRCUIT BREAKERS LOCATED IN LOCAL PANELS IS PERMITTED AS LONG AS IT MEETS THE INSTALLATION REQUIREMENTS OF THE NEW EQUIPMENT BEING PROVIDED. PROVIDE ADDITIONAL BOXES AND WIRING AS NECESSARY TO EXTEND EXISTING ELECTRICAL EQUIPMENT FEED TO TERMINATION POINTS AND INTEGRAL DISCONNECT SWITCHES. PROVIDE MEGGER TESTING OF CABLES TO BE RE-USED PER ANSI / NETA ATS-2025 STANDARDS. EXTEND EXISTING CABLES IN KIND.

DEMOLITION KEYED NOTES:

GENERAL: DEMOLITION NOTES ARE INDICATED WITH THE FOLLOWING SYMBOL (E) AND ARE NUMBERED AS FOLLOWS:

- UNLESS OTHERWISE NOTED, ELECTRICAL CONTRACTOR TO DEMOLISH AND REMOVE ALL EXISTING ELECTRICAL, LIGHTING, CONTROLS, FIRE ALARM, AND LOW VOLTAGE DEVICES IN THE SPACE BEING RENOVATED. NOT ALL DEVICES MAY BE SHOWN ON PLANS. THE CONTRACTOR SHALL REMOVE EXISTING BACK BOXES, CIRCUITRY, CONDUIT SYSTEMS, AND ASSOCIATED ELECTRICAL EQUIPMENT TO THE MAXIMUM EXTENT POSSIBLE FOR BACK BOXES THAT NO LONGER CONTAIN DEVICES. MAINTAIN EXISTING CIRCUIT AS REQUIRED FOR DEVICES SCHEDULED TO REMAIN IN THE RENOVATED SPACES (E).
- ELECTRICAL CONTRACTOR SHALL DEMOLISH AND REMOVE EXISTING DISCONNECT SWITCH AND ASSOCIATED ELECTRICAL FEED AND ALL ASSOCIATED ELECTRICAL EQUIPMENT BACK TO PANEL OF ORIGIN. LABEL CIRCUIT BREAKER AS SPARE.
- ELECTRICAL CONTRACTOR TO DEMOLISH AND REMOVE ALL EXISTING FIRE ALARM DEVICES IN THE SPACE INDICATED ON PLANS TO ACCOMMODATE NEW FIRE ALARM SYSTEM. NOT ALL DEVICES MAY BE SHOWN ON PLANS. THE CONTRACTOR SHALL REMOVE EXISTING WIRING AND CONDUIT TO THE MAXIMUM EXTENT POSSIBLE.
- ELECTRICAL CONTRACTOR SHALL REPLACE ALL POWER AND DATA WIRING, IN KIND, IN BASEMENT AREA INDICATED ON PLANS FOR ALL DEVICES SCHEDULED TO REMAIN IN SPACE. NOT ALL DEVICES MAY BE SHOWN ON PLANS. CONTRACTOR TO CONFIRM IN FIELD. PROVIDE NEW HANGERS AND SUPPORTS MOUNTED TO STRUCTURAL MEMBERS ABOVE CEILING GRID FOR NEW WIRING.

ALTERATION / ADDITION
MULLICA TOWNSHIP
GOVERNMENT
BUILDING
4528 S WHITE HORSE PIKE
ELWOOD, NJ 08217

NOT FOR CONSTRUCTION

No.	Description	Date
1	BID SET	07.07.2026
	ADDENDUM 1	07.24.2026

ELECTRICAL
BASEMENT & ROOF
DEMOLITION PLANS

Scale As indicated
Drawn by TJT
Date 07.07.26

ED1.10

Corrision no. 25019M



Comission no.	25019M
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Comission no.	25019M
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